

April 18, 2024

PROJECT NAME: RING POWER EXPANSION

PROJECT NUMBER: 2022030278

APPLICATION: MAJOR SITE PLAN #30211

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC
STATUS OF REVIEW: INFO
REMARKS: 03/26/24-fees due with resubmittal - sk
02/01/24 - fees due with resubmittal - sk
10/25/23 - fee due with resubmittal
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 10/25/23 - add waivers if requested in the future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength
STATUS OF REVIEW: INFO
REMARKS: All new buildings and buildings which conduct renovations increasing the total floor space by greater than 50 percent of the floor area must comply with NFPA 1 Chapter 11.10.1. NFPA 1 Chapter 11.10.1 provides for the AHJ to establish minimum standards for in building public safety radio communications. Please be aware that your building will be required to conduct a test for the minimum radio signal strength to determine coverage. If the minimum radio signal strength is deemed insufficient then a radio signal enhancement system must be installed and the building retested to ensure it meets the minimum

criteria. Please plan for this early in your project and contact Marion County Fire Rescue with any questions 352-291-8000.

- 7 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Will there be any signage?
- 8 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: Will there be any outside storage?
- 9 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Verified with Sunbiz. 3.25.24
IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this

subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

10 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 1/14/24 - The DRC approved the payment of a fee in-lieu of sidewalk construction. The fee comes out to \$30,425.00 and must be paid prior to final plan approval.

11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions

STATUS OF REVIEW: NO

REMARKS: 03/26/24 - corrected sk

02/01/24 - include date of original and all revisions - sk

10/25/23 - include all information in title block for all pages

12 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: NO

REMARKS: Old septic tank needs abandonment permit.

New septic tank not shown on site plan.

13 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: NO

REMARKS: Show on plan and in detail

14 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: Provide calculations

15 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.6 - Tree removal submittal requirements

STATUS OF REVIEW: NO

REMARKS: Removals to be revised per applicant

16 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.8 - Protected tree replacement requirements

STATUS OF REVIEW: NO

REMARKS: Calculations to be revised per applicant, provide calculations on plan

17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.9 - Replacement trees; general requirements

STATUS OF REVIEW: NO

REMARKS: Replacement requirements to be revised, show on plan

- 18 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.4 - Landscape area requirements for non-residential development
STATUS OF REVIEW: NO
REMARKS: Provide calculations
- 19 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Discussion with staff for buffer along 441. 2. West boundary buffers adjacent to A-1 property will require a 15' buffer with a wall, r-1 property requires 20' with a wall. Staff supports waiver with conditions of existing vegetation remaining and infill as needed.
- 20 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.8 - Building landscaping
STATUS OF REVIEW: NO
REMARKS: 60% public view of building to be screened
- 21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.13.3.D(4) - Landscaping of private stormwater management facilities
STATUS OF REVIEW: NO
REMARKS: DRA at west end of site to be revised per applicant
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements
STATUS OF REVIEW: NO
REMARKS: Provide note from this section of code
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: Please submit
- 24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.6 - Completion inspection requirements
STATUS OF REVIEW: NO
REMARKS: Provide note from this section of code
- 25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: will there be outdoor lighting? if so, a photometric plan is required



**Marion County
Board of County Commissioners**

AR 30211

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 04/17/2024 Parcel Number(s): 13358-001-00, 13358-000-00, & 13448-000-00 Permit Number: 30211

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Ring Power Expansion Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): David Kent - Ring Power Corporation
Signature: _____
Mailing Address: 500 World Commerce Parkway City: St. Augustine
State: FL Zip Code: 32092 Phone #: 904-495-2704
Email address: david.kent@ringpower.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Josh Cockriel
Mailing Address: 12740 Gran Bay Pkwy West, Suite 2350 City: Jacksonville
State: FL Zip Code: 32258 Phone #: 904-828-3900
Email address: josh.cockriel@kimley-horn.com

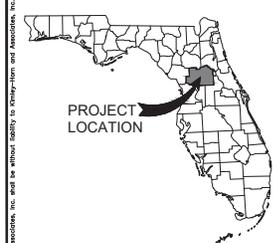
D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.8- Building Landscaping
Reason/Justification for Request (be specific): There is a parking lot directly in front of the building and are no plant beds, preventing the ability to plant 60% of the building length. A 5 ft landscape buffer will be proposed instead, on the other side of the road.

DEVELOPMENT REVIEW USE:

Received By: Email 4/18/24 Date Processed: 4/18/24 BM Project # 2022030278 AR # 30211

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



MAJOR SITE PLAN FOR RING POWER EXPANSION

FOR
RING POWER CORPORATION
MARION COUNTY

SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST
PARCEL ID #'s 13358-001-00, 13358-000-00, & 13448-000-00
MARCH 2024

GENERAL STATEMENT

THE PURPOSE AND CHARACTER OF THE DEVELOPMENT SHALL BE THAT OF THE EXPANSION OF AN EXISTING COMMERCIAL BUILDING.

TRAFFIC:

N/A

LEGAL DESCRIPTION:

REFER TO SURVEY DRAWING.

SURVEY NOTICE:

REFER TO SURVEY DRAWING BY MCKINNEY ENGINEERING COMPANY FOR BEARINGS & DISTANCES, MONUMENTATION, STATE PLANE COORDINATES, NOTE ON FLOOD ZONE, ETC.

WAIVERS:

THE 48-HOUR SIGNING REQUIREMENTS
THE STATE'S MINIMUM REQUIREMENT OF 48 HOURS SHALL BE PROVIDED FOR ALL RETENTION/DETENTION AREAS. APPLICANT REQUESTS A WAIVER FOR TO LAND CONTRACTORS THE TOP OF POND IS GRADED TO ALLOW SHEET PILE RENEW TO OCCUR BY THE POND. THE POND IS DESIGNED TO RETAIN THE DESIGN STORM RUNOFF VOLUME AND RATES.

APPROVALS

THE 48-HOUR SIGNING REQUIREMENTS
THE STATE'S MINIMUM REQUIREMENT OF 48 HOURS SHALL BE PROVIDED FOR ALL RETENTION/DETENTION AREAS. APPLICANT REQUESTS A WAIVER FOR TO LAND CONTRACTORS THE TOP OF POND IS GRADED TO ALLOW SHEET PILE RENEW TO OCCUR BY THE POND. THE POND IS DESIGNED TO RETAIN THE DESIGN STORM RUNOFF VOLUME AND RATES.

APPROVE THE WAIVER SUBJECT TO PAYING THE FEE IN FULL ALONG WITH

THE 48-HOUR SIGNING REQUIREMENTS
THE STATE'S MINIMUM REQUIREMENT OF 48 HOURS SHALL BE PROVIDED FOR ALL RETENTION/DETENTION AREAS. APPLICANT REQUESTS A WAIVER FOR TO LAND CONTRACTORS THE TOP OF POND IS GRADED TO ALLOW SHEET PILE RENEW TO OCCUR BY THE POND. THE POND IS DESIGNED TO RETAIN THE DESIGN STORM RUNOFF VOLUME AND RATES.

REVIEW THE WAIVER REQUEST FILE TO BE NOT BEING ABLE TO MAKE ANYTHING WITH FIRE HYDRANTS

SITE DATA:

- PROJECT NAME: RING POWER - EXPANSION
- PROJECT LOCATION: 6200 N US HWY 441, OCALA FL 34475
- OWNER: RING POWER CORPORATION
500 WORLD COMMERCE PARKWAY
ST. AUGUSTINE FL 32092
- DEVELOPER: RING POWER CORPORATION
500 WORLD COMMERCE PARKWAY
ST. AUGUSTINE FL 32092
- ZONING: M-2
- FUTURE LAND USE: COMMERCIAL DISTRICT (CD)
- PROPOSED DEVELOPMENT: COMMERCIAL
- PARCEL ACCOUNT NUMBERS: 13358-001-00, 13358-000-00, & 13448-000-00
- SITE GROSS AREA: 82.03 ACRES
- PROJECT AREA: 89.89 ACRES
- PROPOSED LOADING BAYS: 10 SPACES
- EXISTING IMPERVIOUS AREA: 43.10 AC (1,877,436 S.F.)
- PROPOSED IMPERVIOUS AREA: 0.40 AC (17,024 S.F.) (4.0% OF PROJECT ACREAGE)
- PROPOSED BUILDING AREA: 22,300 S.F. TOTAL = (5.10% OF PROJECT AREA)
- ROADS: PRIVATE
- UTILITIES: PRIVATE
- DRAINAGE: PRIVATE



VICINITY MAP
NOT TO SCALE

AGENCY CONTACT LISTING

ELECTRIC	FIBER/OPTIC	GAS	CABLE TV
SCS SUSAN JARIC 300 S. US HIGHWAY 301 SUMMERVILLE, FL 33585 (352)-566-8600	ENTERPRISE PAUL TRENSO 300 S. US HIGHWAY 301 SUMMERVILLE, FL 33585 (352)-566-8600	SCS SCS PEOPLES GAS BRUCE STOUT 1407 420-2676	COM FLORENCE/GEORGIA ORIAN SANDERS (352)-873-5831

PROJECT OWNER AND CONSULTANTS

OWNER: RING POWER CORPORATION 500 WORLD COMMERCE PARKWAY ST. AUGUSTINE, FL 32092 (904) 737-7730	DEVELOPER/APPLICANT: RING POWER CORPORATION 500 WORLD COMMERCE PARKWAY ST. AUGUSTINE, FL 32092 (904) 737-7730
CIVIL ENGINEERING AND PLANNING CONSULTANT: KIMLEY-HORN AND ASSOCIATES, INC. 17746 GRAN BAY PARKWAY WEST, SUITE 2200 JACKSONVILLE, FL 32228 (904) 926-2000	SUBSOIL: KIMLEY-HORN AND ASSOCIATES, INC. 305 S.E. 1ST AVENUE OCALA, FL 32063 (352) 732-4000

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

SHANE D. MCLAUGHLIN

INDEX OF DRAWINGS

NUMBER	TITLE
C-001	COVER SHEET
C-002	SIGNATURE SHEET
C-003	GENERAL NOTES
C-004	UTILITY NOTES
C-101	PRE-DEVELOPMENT PLAN
C-102	POST-DEVELOPMENT PLAN
C-103	OVERALL SITE PLAN
C-201	CLEARING AND DEMOLITION PLAN
C-202	CLEARING AND DEMOLITION PLAN
C-301	PAVING AND GEOMETRY PLAN
C-302	PAVING AND GEOMETRY PLAN
C-400	OVERALL GRADING AND DRAINAGE PLAN
C-401	GRADING PLAN
C-402	GRADING PLAN
C-501	DRAINAGE PLAN
C-502	DRAINAGE PLAN
C-601	UTILITY PLAN
C-700	SITE DETAILS
C-701	DRAINAGE DETAILS
C-701A	DRAINAGE DETAILS
C-702	UTILITY DETAILS
C-703	BEST MANAGEMENT PRACTICES DETAILS
C-704	STORMWATER POLLUTION PREVENTION PLAN

GENERAL NOTE

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO THE COUNTY ENGINEER.

FLOOD NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) FOR MARION COUNTY, FLORIDA (COMMUNITY PANEL NUMBERS 120803010E, 120803010E, & 120803010E), EFFECTIVE DATE APRIL 19, 2017 & AUGUST 8, 2008, ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE AT RISK ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.

SPRINGS PROTECTION

THE PROPOSED PROJECT IS IN A SECONDARY SPRINGS PROTECTION ZONE.

CONCURRENCY DEFERRAL NOTE

THIS PROJECT HAS NOT YET BEEN GRANTED CONCURRENCY APPROVAL. HAS BEEN GRANTED AND/OR RECEIVED ANY PUBLIC FACILITY CHARGES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND THAT APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
12740 GRAN BAY PARKWAY WEST, SUITE 2200
JACKSONVILLE, FLORIDA 32228
PHONE: 904-926-2000
WWW.KIMLEY-HORN.COM REGISTRY No. 35106

FOR ENGINEER OF RECORD SIGNATURE AND SEAL
REFER TO SIGNATURE SHEET C-002

KRM PROJECT
CH6527003
MARCH 14, 2024
SCALE: AS SHOWN
DESIGNED BY: CRZ
DRAWN BY: MT
CHECKED BY: JWC
FL

COVER SHEET
RING POWER EXPANSION
PREPARED FOR
RING POWER CORPORATION
MARION COUNTY

SHEET NUMBER
C-001

Project: RING POWER EXPANSION - COVER SHEET - March 14, 2024 - 02:51:45 PM
 User: jmc
 Path: \\s:\projects\2024\02-51-45 PM - RING POWER EXPANSION\CADD\Sheet\C-001 COVER SHEET.dwg
 Plot: 100%
 Plot Device: HP DesignJet T1100e
 Plot Date: 3/14/2024 2:51:45 PM
 Plot Time: 0:00:00
 Plot User: jmc
 Plot Success: True
 The presence of groundwater should be anticipated on this project. CONTRACTORS SHOULD INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
 Always call 811 two full business days before you dig to have underground utilities located and marked.
 THE SITE CONSTRUCTION STATEMENT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AD IN THE SITE CONSTRUCTION STATEMENT. ANY DISCREPANCIES BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT TAKEOUT.
 Sunshine811.com

Printed: 03/26/2024 09:52:33 AM. This document is intended only for the specific project and client for which it was prepared. Items of this document without written authorization and/or signature of Kimley-Horn and Associates, Inc. are prohibited. Kimley-Horn and Associates, Inc. shall not be held responsible for any errors or omissions in this document.

GENERAL NOTES

- 1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL, REQUIREMENTS, QUALITY STANDARDS CONTAINED IN THE MARION COUNTY "LAND DEVELOPMENT CODE" AND "UTILITY MANUAL" AS APPLICABLE.
- 2. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER AND PROJECT ENGINEER.
- 3. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 5. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE, FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHOSE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A LIST OF THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 12. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
- 13. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PROPERLY ABANDONED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 14. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 16. ALL SIGN POSTS TO BE U-CHANNEL GALVANIZED STEEL 218x/L.F. BREAKAWAY POSTS.
- 17. ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLEEVED IN ACCORDANCE WITH SECTION B.2.6.6 OF THE MARION COUNTY LDC.
- 18. ALL LIGHTING SHALL BE SHIELDED TO NOT CAST GLARE ONTO ADJACENT PROPERTY.
- 19. BUILDING SHALL COMPLY WITH THE IN BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS. THE LOCATION WILL NEED TO HIRE AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL. IF SLEEVED CALLING, ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM POLICES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
- 20. UPON COMPLETION OF THE LANDSCAPE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 21. THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY OF THE N.P.D.E.S. PERMIT OR N.O.I. TO MARION COUNTY.

DEMOLITION NOTES

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- 2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SOILS AND APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- 3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

PAVING, GRADING AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED.
- 3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- 5. ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS SURFACES.
- 6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- 7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- 8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

WATER AND SEWER UTILITY NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWERS AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY ANTICIPATED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- 3. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER-TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE FLUMB AND LOCATED ACCORDING TO THE PLANS.
- 4. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL BE REJECTED. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE AND CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 5. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- 6. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 7. UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
- 8. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXPIRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- 9. MARION COUNTY UTILITIES WILL OWN AND MAINTAIN THE WATER AND SEWER MAINS. DAMAGES TO THE HARDSCAPE, LANDSCAPE, OR RESTORATION WILL BE THE SOLE RESPONSIBILITY OF THE OWNER IN THE EVENT OF ANY MAIN REPAIR.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETEIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY ONE CUBIC YARD / ACRE.
- 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS, SHALL BE PROVIDED WITH 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

Kimley-Horn & Associates, Inc. logo and contact information. Includes address: 12700 GRAN BAY PARKWAY WEST, SUITE 2000, JACKSONVILLE, FLORIDA 32216. Phone: 904-459-3000. Website: WWW.KIMLEY-HORN.COM. REGISTRY No. 31016.

FOR ENGINEER OF RECORD SIGNATURE AND SEAL: REFER TO SIGNATURE SHEET C-002

DATE: _____ BY: _____

REVISIONS: _____

NO. _____

GENERAL NOTES

RING POWER EXPANSION

PREPARED FOR: RING POWER CORPORATION

MARION COUNTY

MAJOR SITE PLAN

SHEET NUMBER: C-003

DATE: _____ BY: _____

REVISIONS: _____

NO. _____

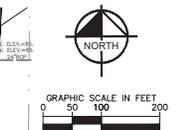
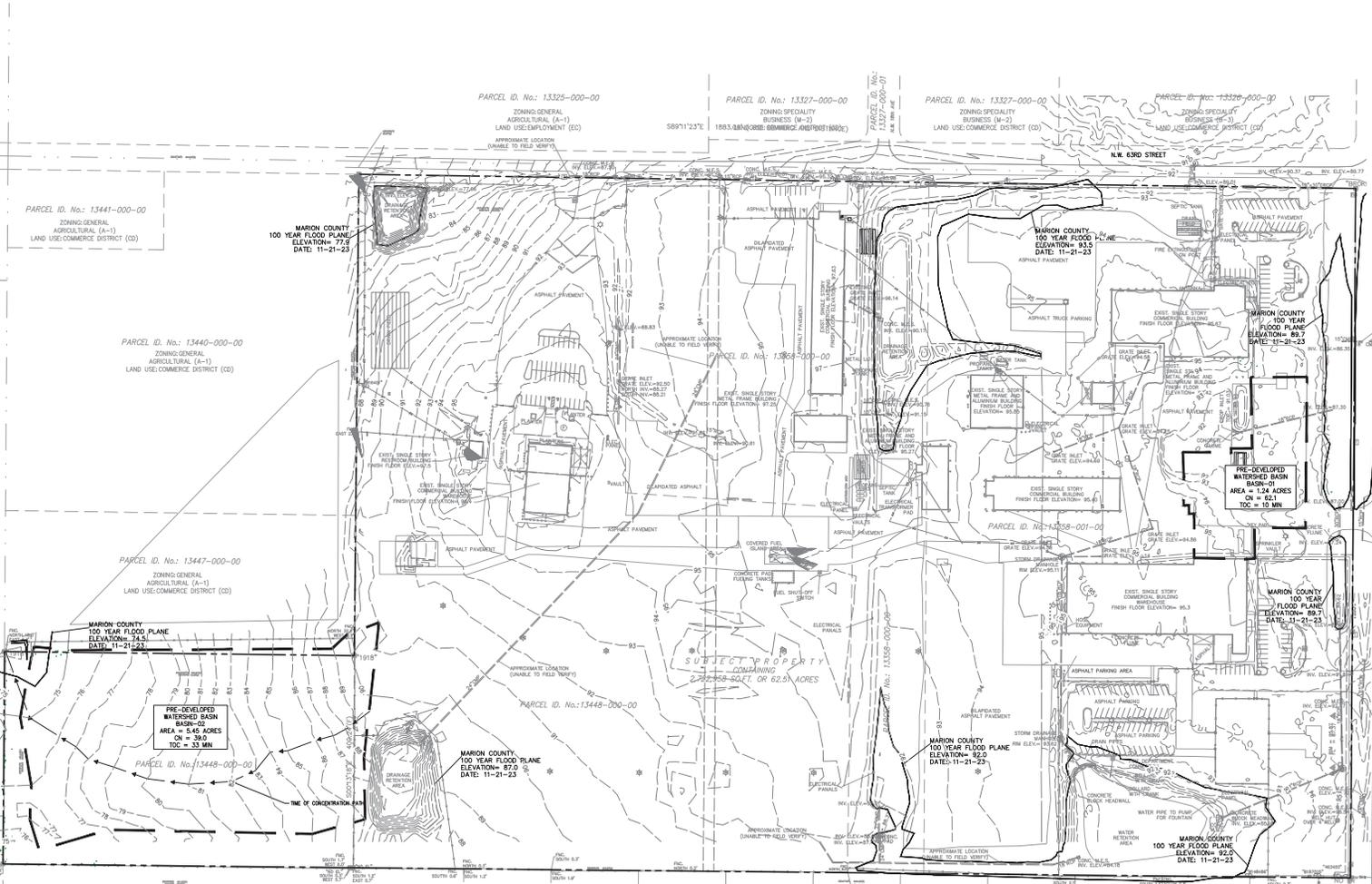
FOR ENGINEER OF RECORD SIGNATURE AND SEAL: REFER TO SIGNATURE SHEET C-002

DATE: _____ BY: _____

REVISIONS: _____

NO. _____

PLANNED BY: RING POWER EXPANSION, CHANGES SHEET: SHEET 14 OF 14, DATE: 02/13/2024, 02:13:04pm, V:\DATA\WKS\045627003 - Ring Power Expansion\045627003-101 PRE-DEVELOPMENT PLAN.dwg
 THIS DOCUMENT, TOGETHER WITH THE CONTRACT AND SCHEDULED PERMITS, SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES AND SHALL BE AVAILABLE TO THE PUBLIC AT ALL TIMES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



LEGEND:
 CN CURVE NUMBER
 TC TIME OF CONSTRUCTION
 BASIN DIVIDE

PARCEL ID. No.: 13443-000-00 ZONING GENERAL AGRICULTURAL (A-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-12 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-13 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-14 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-16 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-18 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-19 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-20 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)	PARCEL ID. No.: 13445-001-21 ZONING LIGHT INDUSTRIAL (M-1) LAND USE: COMMERCE DISTRICT (CO)
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PROJECT DATUM: NAVD '88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS, SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

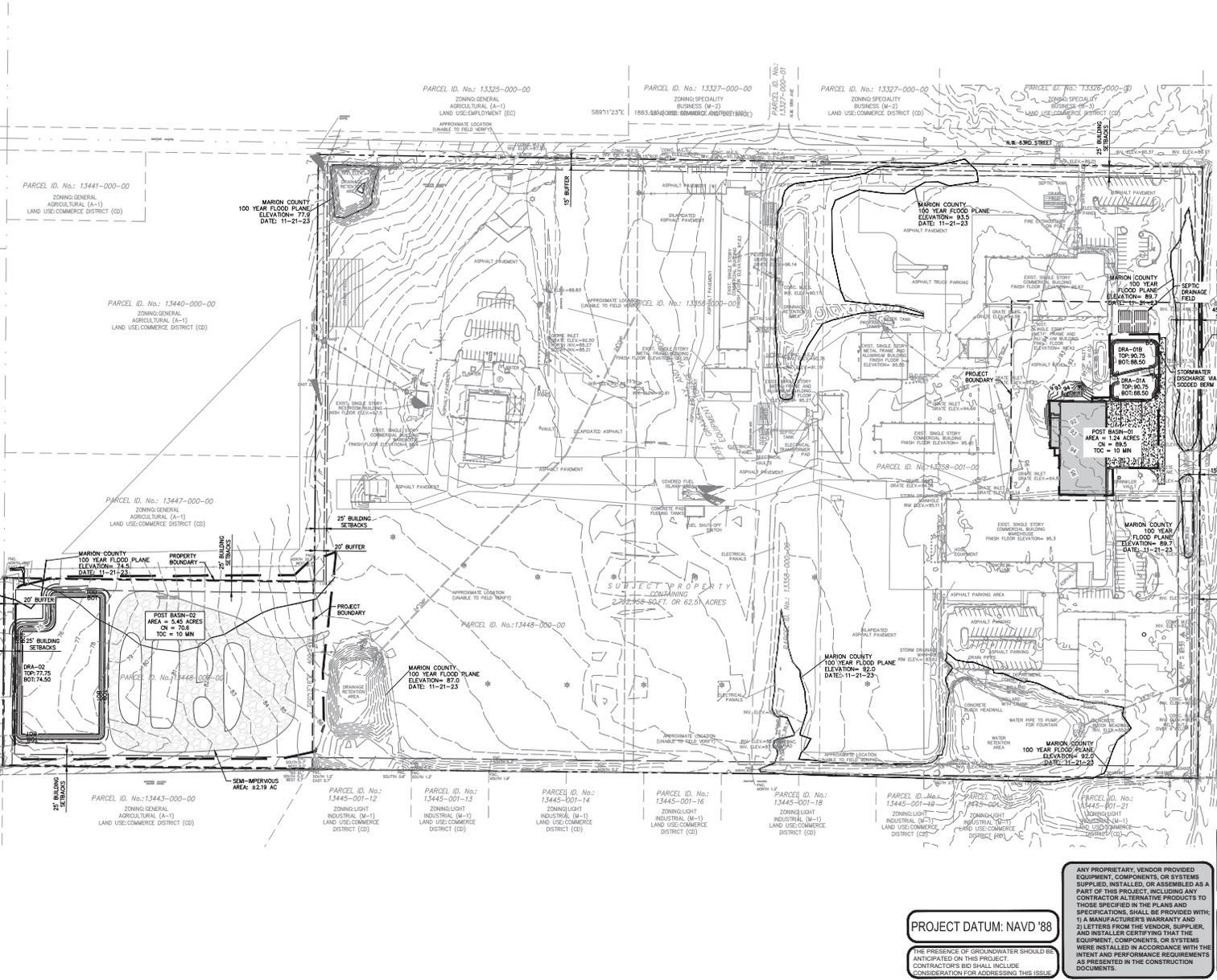
THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

Always call 811 two full business days before you dig to have underground utilities located and marked.



Kimley-Horn FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02		RMA PROJECT 045627003	DATE MARCH 2024	SCALE AS SHOWN	DESIGNED BY CRZ	DRAWN BY CRZ	CHECKED BY JWC
		PRE-DEVELOPMENT PLAN RING POWER EXPANSION PREPARED FOR RING POWER CORPORATION MARION COUNTY	SHEET NUMBER C-101	REVISIONS NO. DATE BY			

PLANNED BY: Ziegler, Christy Sheet: SHEET 1 OF 1 DATE: 02/25/2024 02:53:22 PM
 DRAWN BY: JWC
 CHECKED BY: JWC
 SCALE: AS SHOWN
 DESIGNED BY: CRZ
 DRAWN BY: CRZ
 CHECKED BY: JWC
 FOR ENGINEER OF RECORD SIGNATURE AND SEAL
 REFER TO SIGNATURE SHEET C-02
 RING POWER CORPORATION
 MARION COUNTY
 MAJOR SITE PLAN
 SHEET NUMBER
 C-102
 DATE
 BY



GRAPHIC SCALE IN FEET
0 50 100 200

LEGEND:

- CN — CURVE NUMBER
- TC — TIME OF CONCENTRATION
- B — BASIN DIVIDE
- H — HEAVY DUTY CONCRETE
- P — PROPOSED BUILDING
- X — EXISTING LIGHT POLE

PROJECT DATUM: NAVD '88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE ACCREDITATION FOR ADDRESSING THIS ISSUE.

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

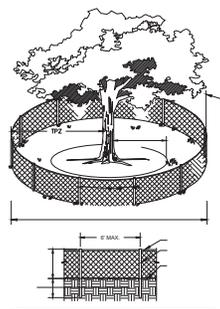
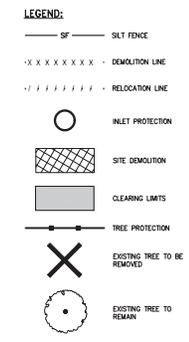
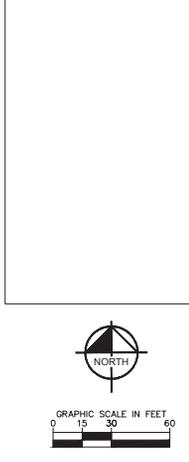
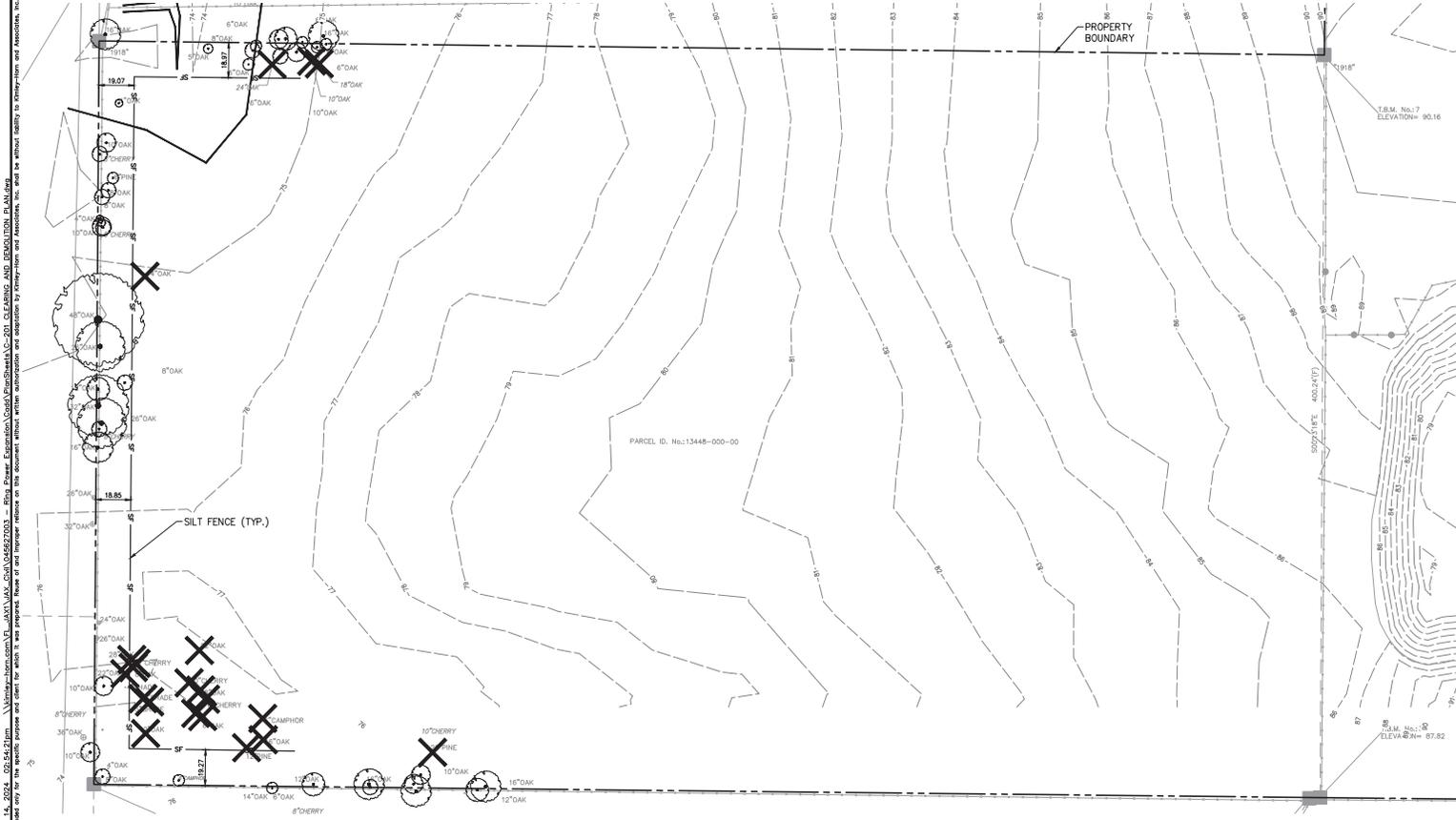
Always call 811 two full business days before you dig to have underground utilities located and marked.

sunshine811.com

KRM PROJECT C45627003		MARCH 2024		FOR ENGINEER OF RECORD SIGNATURE AND SEAL	
SCALE: AS SHOWN		DESIGNED BY: CRZ		REFER TO SIGNATURE SHEET C-02	
DRAWN BY: CRZ		CHECKED BY: JWC		FL	
POST DEVELOPMENT PLAN		RING POWER EXPANSION		PREPARED FOR RING POWER CORPORATION	
MARION COUNTY		MARION COUNTY		SHEET NUMBER C-102	
DATE		BY		REVISIONS	

Kimley-Horn

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 12740 GRAN BAY PARKWAY WEST, SUITE 200
 JACKSONVILLE, FL 32218
 PHONE: 904-426-3000
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106



TREE PRESERVATION NOTE:
TREE PRESERVATION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY DEMOLITION ACTIVITIES.

- DEMOLITION NOTES:**
- FOR PROJECT BENCHMARKS REFER TO SHEET C-103
 - ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
 - THE INTENT OF THE DEMOLITION PLAN IS TO DETECT EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
 - THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DETECTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER, ARCHITECT, AND PROJECT ENGINEER IMMEDIATELY.
 - ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR REDEVELOPMENT.
 - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
 - CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJACENT ROADWAYS, SIDEWAYS, ETC. ROADWAYS AND WALKWAYS TO BE CLEANED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 - DEMATERING SHOULD BE ANTICIPATED AND ALL COSTS, PERMITS AND EQUIPMENT FOR DEMATERING SHALL BE INCLUDED IN THE CONTRACTOR'S BID PRICE.
 - ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
 - SEE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACED DRIVEWAYS AND ENTRANCES.
 - DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN AS NECESSARY DURING DEMOLITION OPERATIONS OR AS DIRECTED BY THE ENGINEER, CITY OR COUNTY INSPECTOR TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION.
 - VARIATIONS TO CONDITIONS OR DISCREPANCIES IN ACTUAL FIELD CONDITIONS AS THEY APPLY TO THE DEMOLITION OR SITE DEVELOPMENT WORK MUST BE BROUGHT TO THE OWNER'S REPRESENTATIVE AND ENGINEER'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION.
 - CONTRACTOR SHALL LOCATE, IDENTIFY, PROPERLY TERMINATE, AND MARK ALL EXISTING UTILITIES WITHIN THE DEMOLITION AREA THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.

- THE DEMOLITION CONTRACTOR MUST NOTIFY ALL UTILITY COMPANIES, FIRE MARSHALL AND OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE FOR THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO EACH UTILITY COMPANY'S AND FIRE MARSHALL'S REGULATIONS REGARDING SERVICE INTERRUPTION.
- THE DEMOLITION CONTRACTOR MUST PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNATED TO REMAIN AND REPLACE SUCH ITEMS IF DISTURBED DURING DEMOLITION.
- CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMAL INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACILITIES. ALL AREAS OUTSIDE OF THE PAVEMENT REMOVAL LINE MUST BE MAINTAINED FOR PUBLIC ACCESS.
- THE DEMOLITION CONTRACTOR MUST PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER MUST BE REMOVED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND REFUSED.
- THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE U.S. DEPT. OF TRANSPORTATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND GOVERNING MUNICIPALITY REQUIREMENTS.
- DEPRESSIONS AND VOID AREAS CAUSED BY DEMOLITION WORK ARE TO BE FILLED TO SUBGRADE AND PROPERLY COMPACTED TO THE EXISTING ELEVATION TO AVOID WATER PONDING.
- THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN DONE IN ACCORDANCE WITH THE PLANS.
- THE DEMOLITION CONTRACTOR SHALL COORDINATE THE DEMOLITION TO LEAVE ACCESS AND UTILITY SERVICE TO THE NEIGHBORING BUILDINGS AT ALL TIMES.
- WATER SERVICE, SEWER SERVICE, POWER SERVICE AND ALL DRY UTILITIES SHALL BE MAINTAINED "IN-SERVICE" DURING THE HOURS OF BUSINESS FOR ALL EXISTING TENANTS.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE SPECIFIED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION AND/OR PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

- TREE PROTECTION NOTES**
- TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
 - FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
 - BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
 - BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
 - CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
 - THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.

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Always call 811 two full business days before you dig to have underground utilities located and marked.



PROJECT DATUM: NAVD '88

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO ADD IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

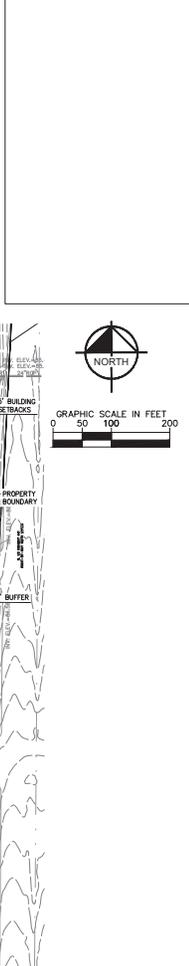
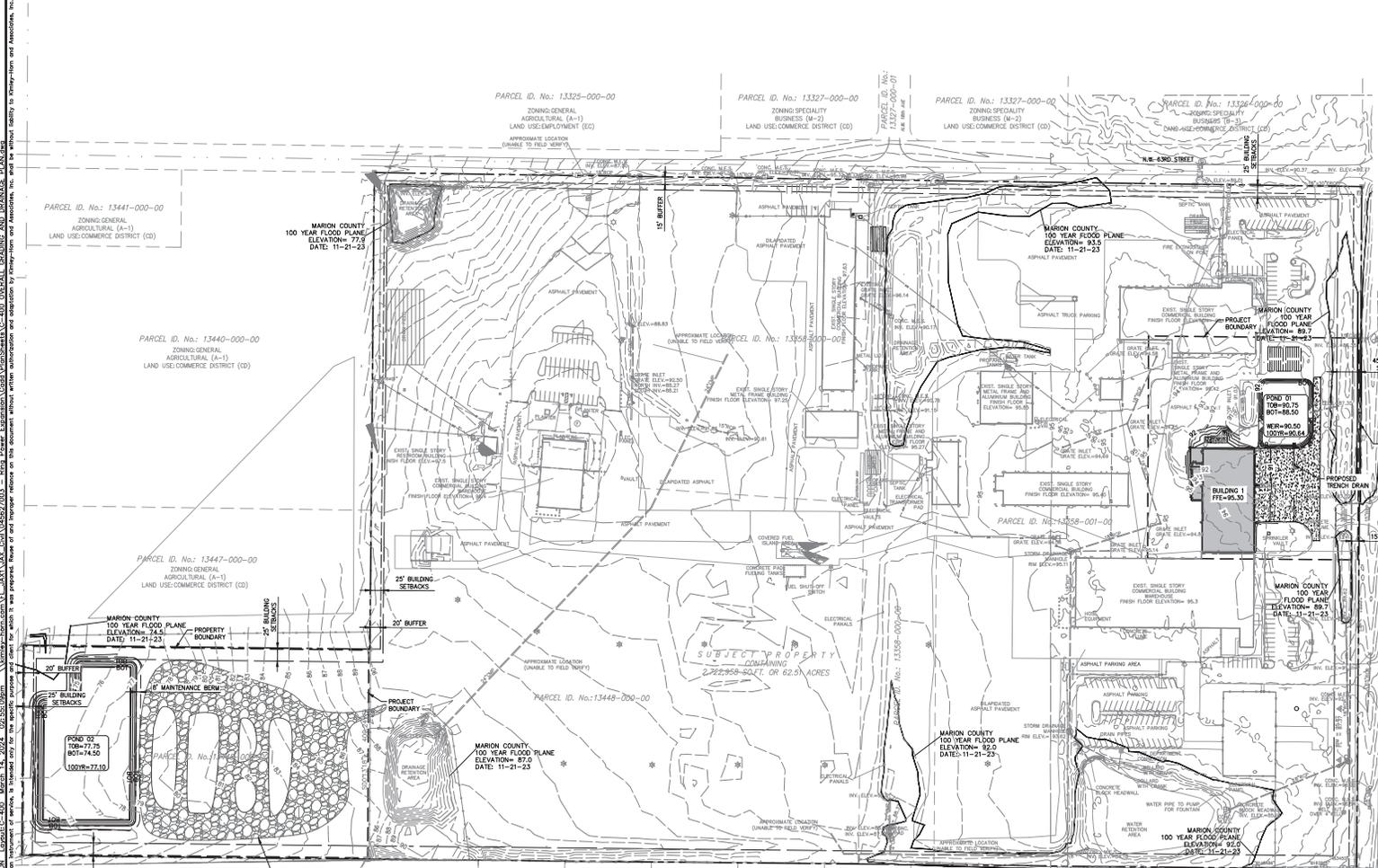
PLANNED BY: ZACHRY GROUP, INC. SHEET: RING POWER EXPANSION - CIVIL - C-202 DATE: 02/24/2024
 DRAWN BY: JWC CHECKED BY: JWC
 SCALE: AS SHOWN
 DESIGNED BY: CRZ
 FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-020
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 12740 GAIN BAY PARKWAY, WEST, SUITE 2000 JACKSONVILLE, FL 32218
 PHONE: 904-929-3000 FAX: 904-929-3002 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

FOR ENGINEER OF RECORD SIGNATURE AND SEAL
 REFER TO SIGNATURE SHEET C-020
 KIMLEY-HORN AND ASSOCIATES, INC.
 12740 GAIN BAY PARKWAY, WEST, SUITE 2000
 JACKSONVILLE, FL 32218
 PHONE: 904-929-3000
 FAX: 904-929-3002
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

RMA PROJECT	C45627003	DATE	MARCH 2024	SCALE	AS SHOWN	DESIGNED BY	CRZ	DRAWN BY	JWC	CHECKED BY	JWC	REVISIONS	DATE	BY
CLEARING AND DEMOLITION PLAN RING POWER EXPANSION PREPARED FOR RING POWER CORPORATION MARION COUNTY														
SHEET NUMBER C-202														

MAJOR SITE PLAN

PLANNED BY: ZIMMERMAN, CHRISTOPHER SHEET: SHEET 01 OF 02 DATE: 02-25-2024 02:55:09pm
 PROJECT: OVERALL GRADING AND DRAINAGE PLAN FOR RING POWER EXPANSION, C-400
 DRAWN BY: CRZ
 CHECKED BY: JWC
 SCALE: AS SHOWN
 DATE: MARCH 2024
 FOR ENGINEER OF RECORD SIGNATURE AND SEAL
 REFER TO SIGNATURE SHEET C-02



NOTES:

- FOR PROJECT BENCHMARKS REFER TO SHEET C-103
- ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
- SEAWALKS SHALL NOT EXCEED 1.0% CROSS SLOPE AND 4.0% LONGITUDINAL SLOPE.
- CONTRACTOR SHALL NOTE THAT ANY PART OF AN ACCESSIBLE ROUTE CONSTRUCTED WITH A SLOPE GREATER THAN 1:30 SHALL BE CONSIDERED A RAMP AND MUST FOLLOW HANDICAP ACT COMPLIANCE WITH 2012 FLORIDA BUILDING CODE SECTION 405.
- SPOT ELEVATIONS ARE AT EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- STAKE SOD ON ALL SLOPES GREATER THAN 4:1.

LEGEND:

- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- PROPOSED YARD DRAIN
- PROPOSED SILET
- PROPOSED MANHOLE
- PROPOSED STORM DRAIN PIPE
- EXISTING STORM DRAIN PIPE
- PROPOSED CONTOUR
- EXISTING CONTOUR

PROJECT DATUM: NAVD '88

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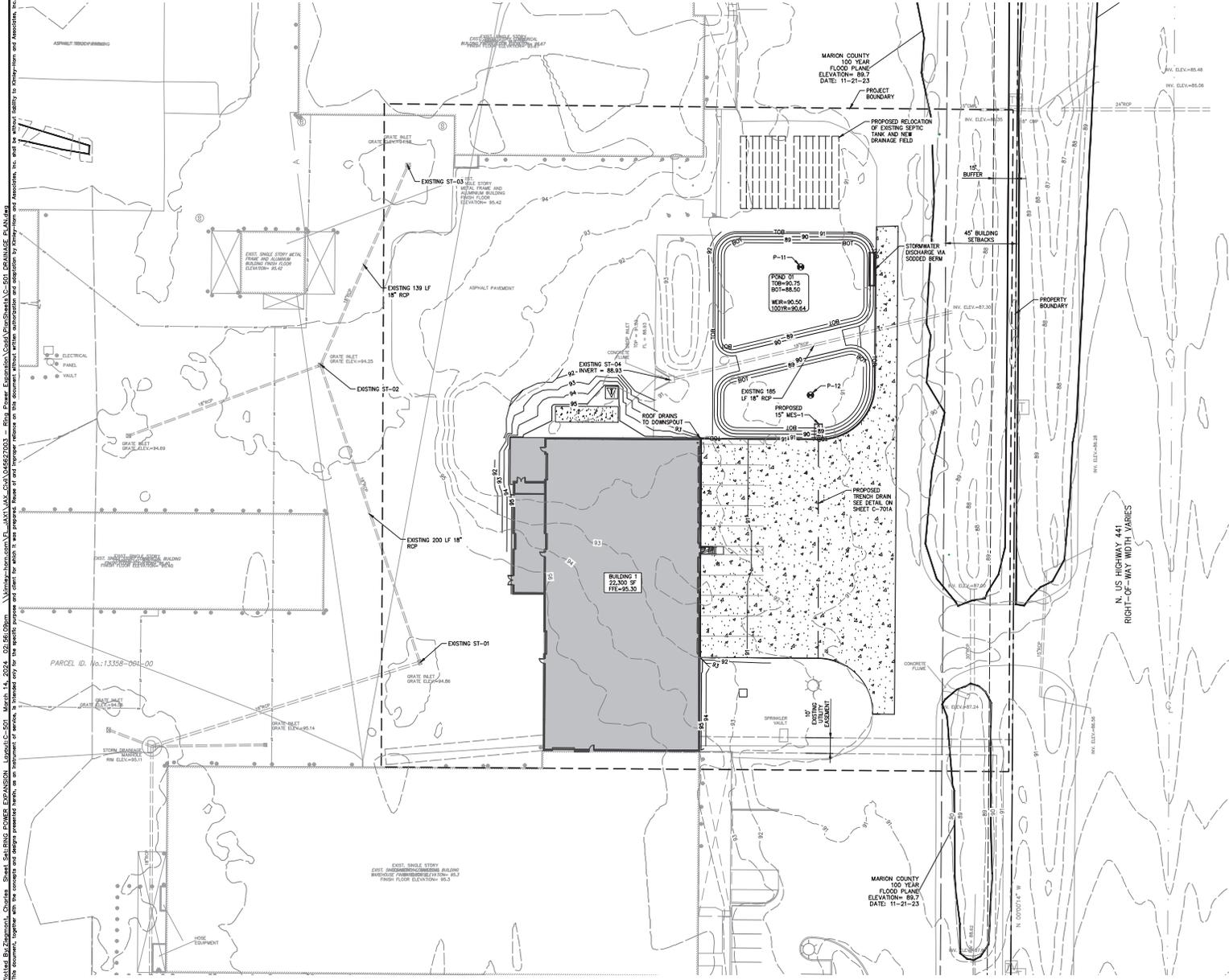
ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

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		REGISTRATION NO. 35106 DATE: 01/11/2017
FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02		REGISTRATION NO. 35106 DATE: 01/11/2017
RING POWER EXPANSION PREPARED FOR RING POWER CORPORATION MARION COUNTY	RING POWER CORPORATION MARION COUNTY	SHEET NUMBER C-400
OVERALL GRADING AND DRAINAGE PLAN RING POWER EXPANSION PREPARED FOR RING POWER CORPORATION MARION COUNTY	RING POWER CORPORATION MARION COUNTY	SHEET NUMBER C-400



PROJECT DATUM: NAVD '88

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Kimley-Horn

FOR ENGINEER OF RECORD SIGNATURE AND SEAL
REFER TO SIGNATURE SHEET C-02

PROJECT: RPA PROJECT C-501
DATE: MARCH 14, 2024
SCALE: AS SHOWN
DESIGNED BY: CRZ
DRAWN BY: MT
CHECKED BY: JWC

DRAINAGE PLAN
RING POWER EXPANSION
PREPARED FOR
RING POWER CORPORATION
MARION COUNTY

MAJOR SITE PLAN

SHEET NUMBER
C-501

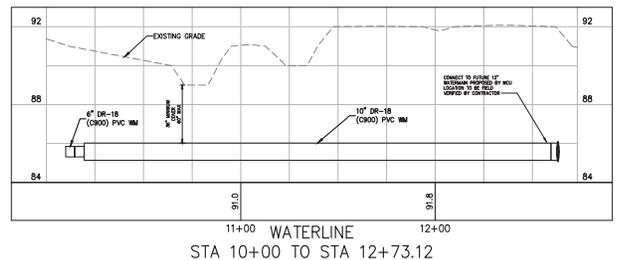
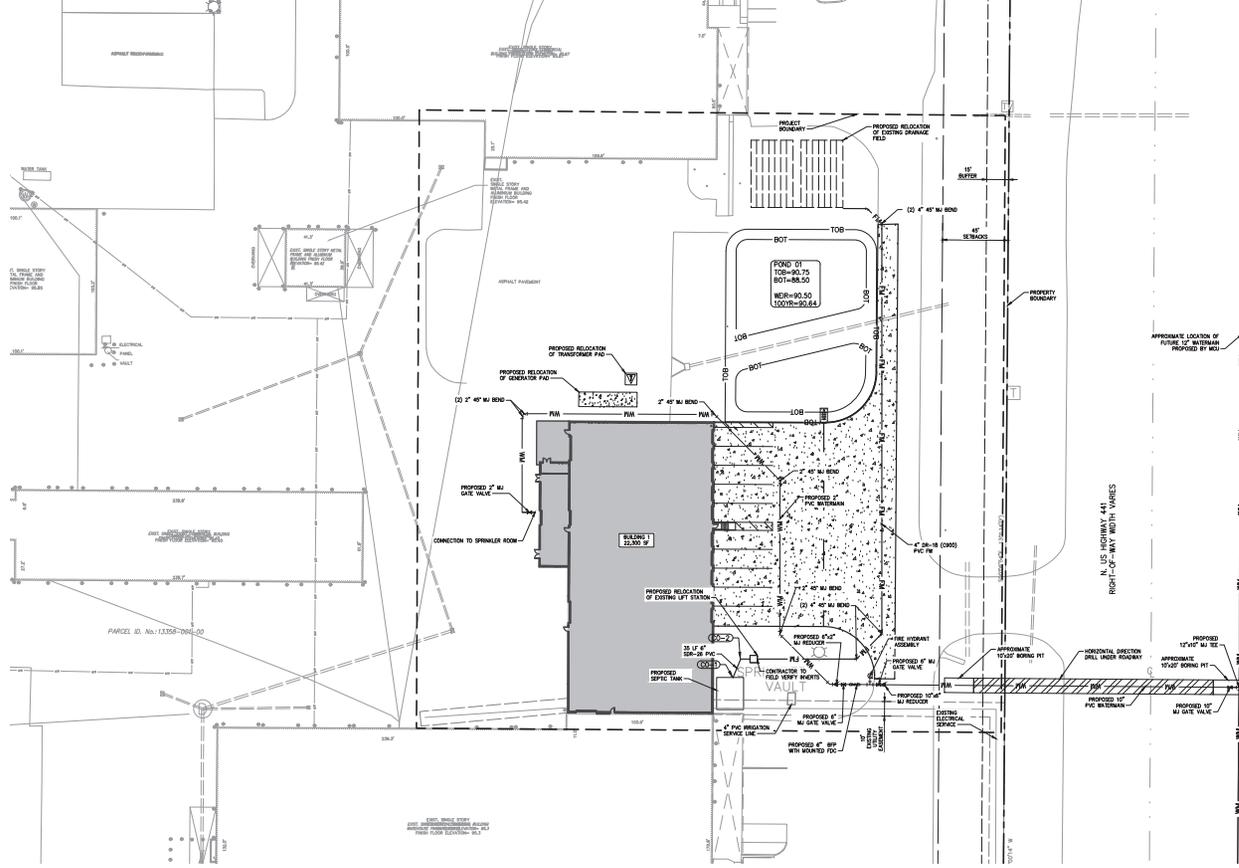
REVISIONS

DATE

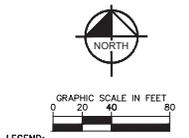
BY

PLANNED BY: Ziegler, Charles. SHEET: SETTING POWER EXPANSION. DATE: MARCH 14, 2024. 02:56:09pm. www.kimley-horn.com. V:\MKT\WAX\2403\C45627003 - Ring Power Expansion\CodePlanSheet\C-501_DRAINAGE_PLAN.rvt
 This document, together with the concepts and designs presented herein, is prepared only for the specific purpose and client for which it was prepared. In no event shall the liability of Kimley-Horn and Associates, Inc. and its members be limited by any limitation on the amount or type of compensation paid to or for the benefit of any person, as an instrument of service, in a tort or contract claim, or in any other manner.

PLM\Bldg\2024\03\Sheet_C-601.dwg
 Project: RING POWER EXPANSION - Utility Plan
 Date: 03/14/2024 09:49:21 AM
 Author: JWC
 This document, together with the concepts and design presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, bears no responsibility to Kimley-Horn and Associates, Inc. and shall be without liability to Kimley-Horn and Associates, Inc. if used for any other purpose or project without the written authorization and approval of Kimley-Horn and Associates, Inc.



WATERLINE
 STA 10+00 TO STA 12+73.12



LEGEND:

---	EXISTING FOREDMAN
---	EXISTING WATER MAIN
---	EXISTING BURIED FIBER OPTIC
---	EXISTING FIRE SUPPLY LINE
---	PROPOSED WATER MAIN
---	PROPOSED WATER LINE
---	PROPOSED BOOSTED WATER SUPPLY MAIN (FIRE)
---	PROPOSED WATER SUPPLY MAIN (FIRE)
---	PROPOSED RECLAIMED WATER MAIN
---	PROPOSED GRADITY SANITARY SEWER
---	PROPOSED FOREDMAN

- NOTES:**
- FOR PROJECT BENCHMARKS REFER TO SHEET C-103
 - ALL BACKFLOW PREVENTORS SHALL BE IN ACCORDANCE WITH ICA CROSS CONNECTION PROGRAM. BACKFLOW PREVENTORS MUST BE TESTED AFTER INSTALLATION BY A CERTIFIED TESTER AND ANNUALLY THEREAFTER. BACKFLOW PREVENTORS ON FIRE LINES OR COMBINATION FIRE/POTABLE MAINS SHALL HAVE FREEZE PROTECTION.
 - A PRE-CONSTRUCTION CONFERENCE IS REQUIRED AND SHALL BE SCHEDULED IN ADVANCE THROUGH THE ICA SALES ON-LINE PERMITTING PORTAL.
 - BUILDING FIRE PROTECTION TO BE SERVICED BY FUTURE FIREMAN WITH U.S. HIGHWAY 441 FRONT OF WAY.
 - KNOX BOX WILL BE INSTALLED FOR THE FIRE SPRINKLER AND ALARM SYSTEM NEAR THE FRONT DOOR, 8 FEET FROM FLOOR LEVEL AND 2 FEET LEFT OF THE DOOR.
 - NEW HYDRANTS SHALL BE INSTALLED, TESTED, AND PAINTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR.

PROJECT DATUM: NAVD '88

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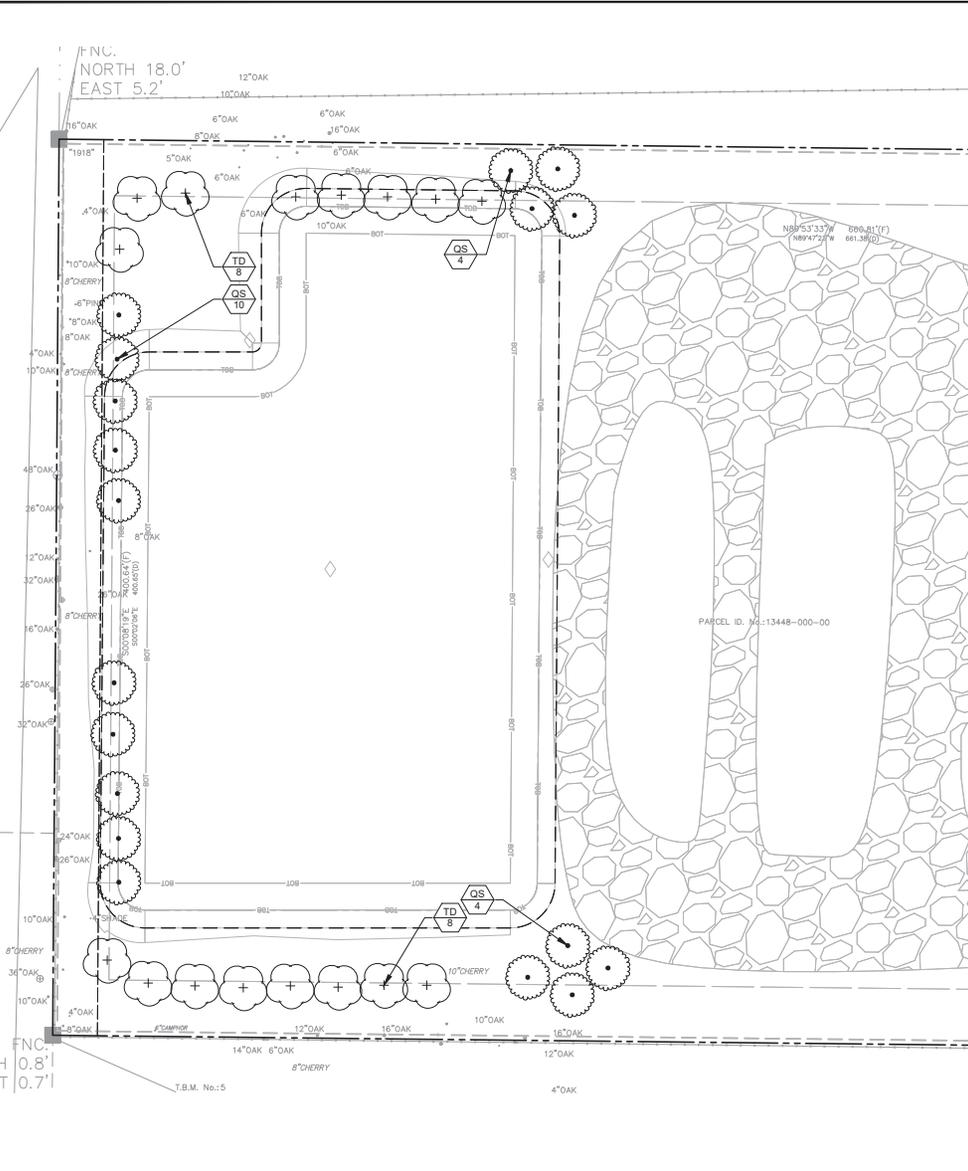
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<p>FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02</p>		KHA PROJECT C45627003	DATE MARCH 14, 2024	SCALE AS SHOWN	DESIGNED BY CRZ	DRAWN BY MT	CHECKED BY JWC
		UTILITY PLAN RING POWER EXPANSION PREPARED FOR RING POWER CORPORATION MARION COUNTY FL					
SHEET NUMBER C-601		REVISIONS		DATE		BY	

MAJOR SITE PLAN

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL
	CC	8	CERCIS CANADENSIS	EASTERN REDBUD	CONT.	3" CAL MIN
	LM	4	LAGERSTROEMIA X NATCHEZ	NATCHEZ CRAPE MYRTLE	CONT.	6" CAL MIN, TRIPLE TRUNK
	MG	10	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	CONT.	4" CAL MIN
	QS	24	QUERCUS VIRGINIANA 'SKY CLIMBER'	SKY CLIMBER SOUTHERN LIVE OAK	CONT.	4" CAL MIN
	TD	16	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
	PH	80	PENNISTELUM ALOPECUROIDES 'HAMEL'	HAMELN FOUNTAIN GRASS	3 GAL	18" FULL
	SS	18	SABAL SERRULATA	SAW PALMETTO	3 GAL	24" FULL
	VO	51	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL	12" FULL
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
	MC	107	MUHLBERGIA CAPILLARIS	PINK MUHLY GRASS	CONT.	18" FULL

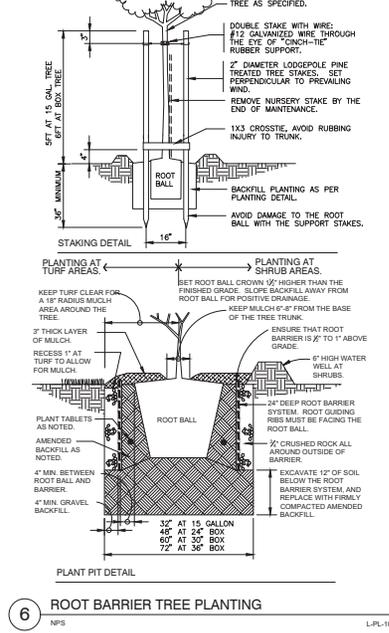
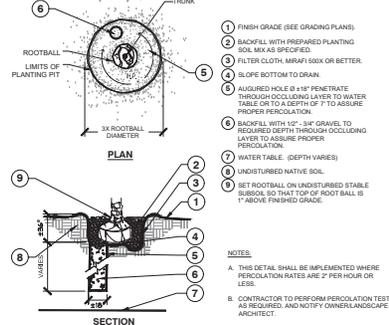
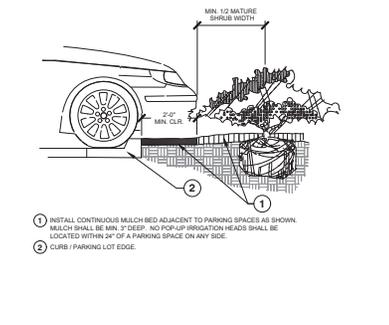
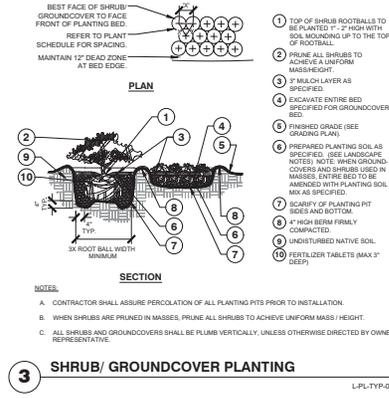
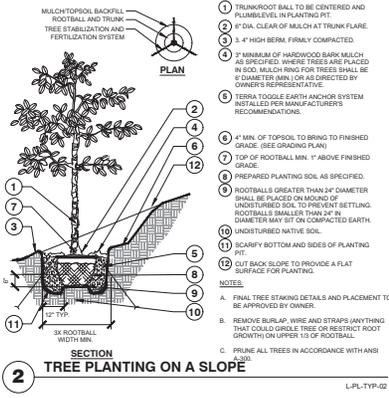
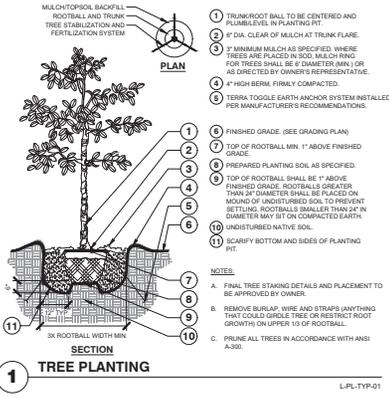
LANDSCAPE CALCULATIONS		
PER "MARION COUNTY" LAND DEVELOPMENT CODE		
	REQUIRED	PROVIDED
SHADE TREES	100' PER AC TOTAL AC = 9.4 AC 100' X 9.4 AC = 940'	50 SHADE TREES AT 4" CALIBER PROVIDED
MITIGATION REQ. SECTION 67.8.A	661' REMAINING ON SITE 940' - 661' = 279' 279'/4 = 70 SHADE TREES REQUIRED	79 INCHES REMAINING

LANDSCAPE CALCULATIONS		
PER "MARION COUNTY" LAND DEVELOPMENT CODE		
	REQUIRED	PROVIDED
PARKING AREAS AND VEHICULAR USE AREAS SECTION 68.7	5' WIDE MIN. LANDSCAPED AREA AROUND PERIMETER OF PARKING LOT AREA. 1 SHADE TREE PER PARKING ISLAND. SHADE TREES REQUIRED PER DOUBLE LOADED PARKING ISLANDS. PARKING ISLANDS SHALL BE COMPLETELY PLANTED WITH SHRUBS OR GROUNDCOVERS. TURFGRASS IS DISALLOWED.	PERIMETER OF PARKING LOT IS COMPLETELY LANDSCAPED WITH SHRUBS AND GROUNDCOVERS. SHADE TREES ARE PROVIDED IN ALL PARKING ISLANDS. ALL PARKING ISLANDS ARE PLANTED WITH SHRUBS AND/OR GROUNDCOVERS.
NATIVE PLANT REQUIREMENTS SECTION 68.10	50% OF ALL PROPOSED PLANT QUANTITIES - EXCLUDING TURF GRASS, SHALL BE FLORIDA NATIVE SPECIES. SUITABLE FOR USE IN MARION COUNTY. 50% OF REQUIRED SHADE TREES SHALL BE FLORIDA NATIVE SPECIES SUITABLE FOR MARION COUNTY. NO MORE THAN 50% OF REQUIRED SHADE TREES SHALL BE OF ONE SPECIES.	61% OF PLANT SPECIES SELECTION IS FLORIDA NATIVE AND SUITABLE FOR MARION COUNTY. 100% OF SHADE TREES PROPOSED ARE NATIVE. NO PROPOSED SHADE TREES EXCEEDED OVER 50% OF TOTAL SPECIES.

CALL 2 WORKING DAYS BEFORE YOU DIG
 IT'S THE LAW! DIAL 811
 Know what's below. Call before you dig.

KHA PROJECT DATE: 04/26/2024 PLAN DATE: 04/26/2024 SCALE: AS SHOWN DESIGNED BY: KEVIN LEE DRAWN BY: KEVIN LEE CHECKED BY: MAL	LICENSED PROFESSIONAL ENGINEER MATTHEW A. JURNEY STATE OF FLORIDA LICENSE NO. 045627003 EXPIRES 04/30/2025 REGISTERED OFFICE: 2008 KIMLEY-HORN AND ASSOCIATES, INC. 12740 GRAY BAY PARKWAY WEST, SUITE 2000 JACONTO, FLORIDA 32009 PHONE: 904-438-3000 WWW.KIMLEY-HORN.COM REGISTRY NO. 30108
OVERALL PLANTING PLAN RING POWER OCALA	FLORIDA MARION COUNTY
SHEET NUMBER LP-100	DATE: 07 REVISIONS:

This document, together with the contract and design presented herewith, is the instrument of service, and shall be read in conjunction with and dependent upon the contract and specifications by Kimley-Horn and Associates, Inc. and be without effect to the contrary and inconsistent.



NO.		REVISIONS		DATE		BY	
LICENSED PROFESSIONAL MATHIEW A. JURNIEY STATE OF FLORIDA LICENSE # 12476 WWW.KIMLEY-HORN.COM REGISTRY NO. 52109							
LICENSED PROFESSIONAL MATHIEW A. JURNIEY STATE OF FLORIDA LICENSE # 12476 WWW.KIMLEY-HORN.COM REGISTRY NO. 52109							
KHA PROJECT		DATE		SCALE		DRAWN BY	
OVERALL PLANTING PLAN		JANUARY 2024		AS SHOWN		HEH	
RING POWER OCALA		DESIGNED BY		CHECKED BY		MJJ	
MARION COUNTY		FLORIDA		SHEET NUMBER		LP-100	

