

June 19, 2024

PROJECT NAME: CC - LIMESTONE ACCESS ROAD

PROJECT NUMBER: 2024010011

APPLICATION: IMPROVEMENT PLAN #31018

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: n/a
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$1,200.00 + (\$10.00 x per lot)
STATUS OF REVIEW: INFO
REMARKS: 5/6/24-fee due with resubmittal
2/14/24 – fee due with resubmittal - sk
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 2/14/24-add waivers if requested in future - sk
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24”x 36” sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing
STATUS OF REVIEW: INFO
REMARKS: Stormwater improvements must be in place to support each phase of development at time of phase completion.
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 8 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.

- 9 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.7 - Geotechnical Criteria
STATUS OF REVIEW: NO
REMARKS: Waiver will need to be requested if the following requirements are not met: (1) Please note that the LDC requires a minimum of two borings per DRA, with an additional boring for each half acre of pond bottom. For lineal system, borings are required at 250' intervals. (2) Please also note that the LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. (3) LDC requires that borings extend a minimum of 10' below the bottom of the proposed ponds.
- 10 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(9) - Access Accommodates Stormwater
STATUS OF REVIEW: NO
REMARKS: Please provide more detailed grading at the driveway connection so drainage intent can be reviewed.
- 11 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.9 - Grading Criteria
STATUS OF REVIEW: NO
REMARKS: Add flow arrows or more detailed spot grades (or proposed topo lines) to the grading plan. Indicate proposed TOB for the swale system as it goes along the road.
- 12 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5.B(4) - Driveway width
STATUS OF REVIEW: NO
REMARKS: 5/20/24 - Dimension the driveway radius.
1/19/24 - Show the width and radius of the driveway. It needs to meet commercial driveway requirements.
- 13 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.4 - Plan and profile
STATUS OF REVIEW: NO
REMARKS: 5/20/24 - Provide a roadway profile.
- 14 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.9 - Subdivision roads and related infrastructure
STATUS OF REVIEW: NO
REMARKS: 5/20/24 - Provide a roadway centerline with stationing.
- 15 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.12.28 - Correct road names supplied
STATUS OF REVIEW: NO
REMARKS: Sheet 02.01 - NW 36th Avenue is labeled incorrectly as NW 36th Ct. Sheet 03.01 - We have named the road NW 36th Ave. Please label road on all future submittals.
- 16 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger
STATUS OF REVIEW: NO
REMARKS: Show all trees in project area - aerial shows large canopies in close proximity to road corridor, please show all tree types and sizes in corridor, or have a certified arborist letter verifying no trees over 10" in corridor.

- 17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.3 - Tree protection
STATUS OF REVIEW: NO
REMARKS: Unable to locate tree protection detail on revised plans, please clarify sheet number
- 18 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements
STATUS OF REVIEW: NO
REMARKS: Show trees to be removed
- 19 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.8 - Protected tree replacement requirements
STATUS OF REVIEW: NO
REMARKS: Show tree mitigation calculations
- 20 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements
STATUS OF REVIEW: NO
REMARKS: show how trees will be mitigated for (Landscape and Irrigation Plans) or Tree mitigation fund
- 21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: Type C buffer may be required along Hwy 316 - planning to confirm
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.13.3 D(4) - Landscaping of private stormwater management facilities
STATUS OF REVIEW: NO
REMARKS: Show DRA's if applicable
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: NO
REMARKS: Will parcel 06914-000-00 be re-zoned from M-1? If not, what is purpose of M-1 parcel?



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR31018

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 6/25/24 Parcel Number(s): 06902-000-00, 06902-002-00, Permit Number: IP #31018
06906-000-00, & 06914-000-00

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: C C Limestone Access Road Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): David Arnold
Signature: *David Arnold*
Mailing Address: PO Box 2077 City: Ocala
State: FL Zip Code: 34478-2077 Phone # 352-622-1220
Email address: davida1953@cox.net

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering Contact Name: Kevin Atchley
Mailing Address: 1720 SE 16th Ave., Bldg. 100 City: Ocala
State: FL Zip Code: 34471 Phone # 352-387-4540
Email address: permits@tillmaneng.com

D. WAIVER INFORMATION:

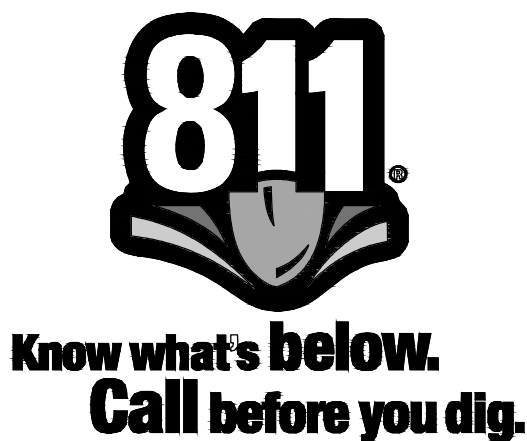
Section & Title of Code (be specific): 6.8.6 - Buffers
Reason/Justification for Request (be specific): Waiver requested to utilize the existing dense vegetation along W Hwy 316, west of the proposed connection to W Hwy 316, to satisfy the Type 'C' buffer requirement.

DEVELOPMENT REVIEW USE:

Received By: email 6/25/24 Date Processed: 6/25/24 CH Project # 2024010011 AR # 31018

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

1. MARION COUNTY - IMPROVEMENT PLAN -
2. S.W.F.W.M.D. - E.R.P. -
3. FDEP - NPDES (BY OTHERS)



SECTION: 2.18.4.C BEGIN SITE WORK PRIOR TO APPROVAL - APPROVED
SECTION: 6.13.7 GEOTECHNICAL CRITERIA

06/10/24
06/24/24

PARCEL 1
(PER OFFICIAL RECORDS BOOK 7571, PAGE 33, PUBLIC RECORDS, MARION COUNTY, FLORIDA)

THE SOUTH 170 FEET OF THE NORTH 200 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 40 FEET THEREOF; AND THE SOUTH 60 FEET OF THE NORTH 200 FEET OF THE WEST 160 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA.

(PER OFFICIAL RECORDS BOOK 7364, PAGE 498, PUBLIC RECORDS, MARION COUNTY, FLORIDA)

THE SOUTH 12 CHAINS OF THE NORTH 16 CHAINS OF THE EAST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 2 EAST, MARION COUNTY, FLORIDA; EXCEPT COMMENCING AT THE N.W. CORNER OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 2 EAST, MARION COUNTY, FLORIDA; THENCE N.89°59'41"E., 1329.46 FEET; THENCE S.00°08'09"E., 264 FEET TO THE POINT OF BEGINNING; THENCE S.89°59'41"W., 255.62 FEET; THENCE S.00°08'09"E., 255.63 FEET; THENCE N.89°59'41"E., 255.62 FEET; THENCE N.00°08'09"W., 255.63 FEET TO THE POINT OF BEGINNING.

THE NORTH 1/2 CHAINS OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; EXCEPT THE NORTH 25 FEET FOR ROAD RIGHT OF WAY; AND EXCEPT THE SOUTH 170 FEET OF THE NORTH 200 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST; AND EXCEPT THE SOUTH 60 FEET OF THE NORTH 260 FEET OF THE WEST 160 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST. TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 40 FEET OF THE SOUTH 170 FEET OF THE NORTH 200 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST.

(PER OFFICIAL RECORDS BOOK 7445, PAGE 900, PUBLIC RECORDS, MARION COUNTY, FLORIDA)

THE SOUTH 4 CHAINS OF THE NORTH 16 CHAINS OF THE WEST 1/2 OF THE EAST 1/2 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA

(PER OFFICIAL RECORDS BOOK 7534, PAGE 1782, PUBLIC RECORDS, MARION COUNTY, FLORIDA)

THE SOUTH 4 CHAINS OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA.

THE FIELD MEASURED BEARINGS DEPICTED HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (WEST ZONE) NAD-83, (1990 ADJUSTMENT), IN WHICH THE NORTH BOUNDARY OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, BEARS: N.89°48'42"E.

THE VERTICAL DATUM ESTABLISHED FOR THIS SURVEY WAS BASED ON N.G.S. CONTROL POINT "GPS 0021", PUBLISHED ELEVATION = 129.16', NAVD-88.

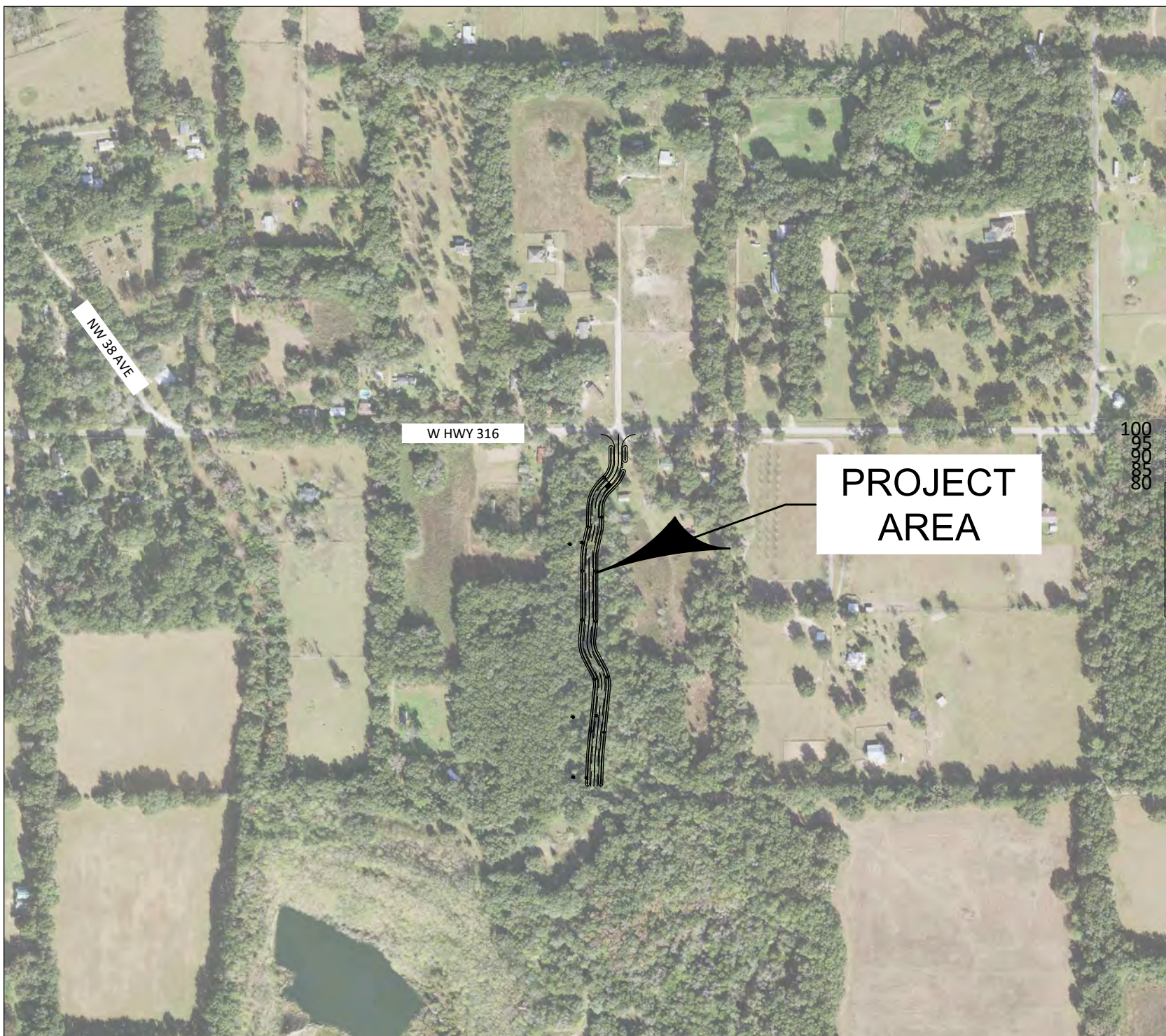
THE STATE PLANE COORDINATES ESTABLISHED FOR THIS SURVEY WERE BASED ON N.G.S. CONTROL POINTS "V075" & "V076", NAD-83 (1990 ADJUSTMENT).

CIVIL ENGINEER:
TILLMAN AND ASSOCIATES ENGINEERING, LLC
KEVIN L. ATCHLEY, P.E.
1720 SE 16TH AVE., BLDG. 100
OCALA, FLORIDA 34471
PHONE: (352) 387-4540

SURVEYOR:
PREECE LAND SURVEYING, INC.
GLEN H. PREECE, JR., P.S.M.
2201 SE 30TH AVE., SUITE 102
OCALA, FL 34471
PHONE: (352) 351-0091

01.01	COVER
02.01	AERIAL PHOTOGRAPH
03.01	GEOMETRY/GRADING PLAN
03.02	PLAN & PROFILE
04.01	EROSION CONTROL PLAN

THIS SITE CONTAINS:
TOTAL PROPERTY AREA = 10.26 AC.
TOTAL PROJECT AREA = 1.92 AC.
PROPOSED IMPERVIOUS AREA = 0.78 AC. (33,812 SF)
(6,068 SF ASPHALT & 27,744 SF LIMEROCK FOR FUTURE ASPHALT)
MARION COUNTY PARCEL # 06902-000-00, 06902-002-00, 06906-000-00, 06914-000-00
FUTURE LAND USE: RL, RURAL LAND
ZONING: A-1 & M-1
PROPOSED USE: ACCESS ROAD TO EXISTING LIMEROCK MINE
ESTIMATED TRIPS: 25 LOADS PER DAY (MAX., FOR FIRST 6 MONTHS)



SCALE: 1" = 500'

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
2. THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
3. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
4. THE LANDS DEPICTED HEREON ARE SUBJECT TO RECORDED AND UNRECORDED RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS THAT MAY OR MAY NOT APPEAR WITHIN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
5. THE SURVEYED LANDS DEPICTED HEREON LIE WITHIN FLOOD ZONE "X" - AN AREA OF MINIMAL FLOODING, BASED ON GRAPHIC INTERPRETATION OF THE FLOOD INSURANCE RATE MAP, FOUND IN COMMUNITY PANEL NUMBER 12083C 0310 D, EFFECTIVE AUGUST 28, 2008.
6. THIS SITE IS AT THE TOP OF A SLIGHT HILL BUT RELATIVELY FLAT, SO THERE IS NO OFFSITE CONTRIBUTING AREA. THE RUNOFF INTO THE PROPOSED SWALES WILL STAGE UP AND ULTIMATELY FLOW SOUTH TO THE EXISTING MINE AREA. THIS PROJECT WILL NOT ADVERSELY AFFECT THE SURROUNDING PROPERTIES.

I CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY OPERATE & MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

GLEN H. PREECE, JR., P.S.M.
PREECE LAND SURVEYING, INC.
REGISTERED LAND SURVEYOR NO. 5427
STATE OF FLORIDA

Tillman & Associates
— ENGINEERING, LLC. —
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

[illegible]

IMPROVEMENT PLANS
C C LIMESTONE ACCESS ROAD
MARION COUNTY, FLORIDA

COVER

DATE 06/19/24
DRAWN BY JA
CHKD. BY KLA
JOB NO. 23-8270

SHT. 01.01



REVISIONS

IMPROVEMENT PLANS
C C LIMESTONE ACCESS ROAD
MARION COUNTY, FLORIDA

DATE 06/18/24
DRAWN BY JA
CHKD. BY KLA
JOB NO. 23-8270

SHT. 02.01

Tillman & Associates
— ENGINEERING, LLC. —
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS

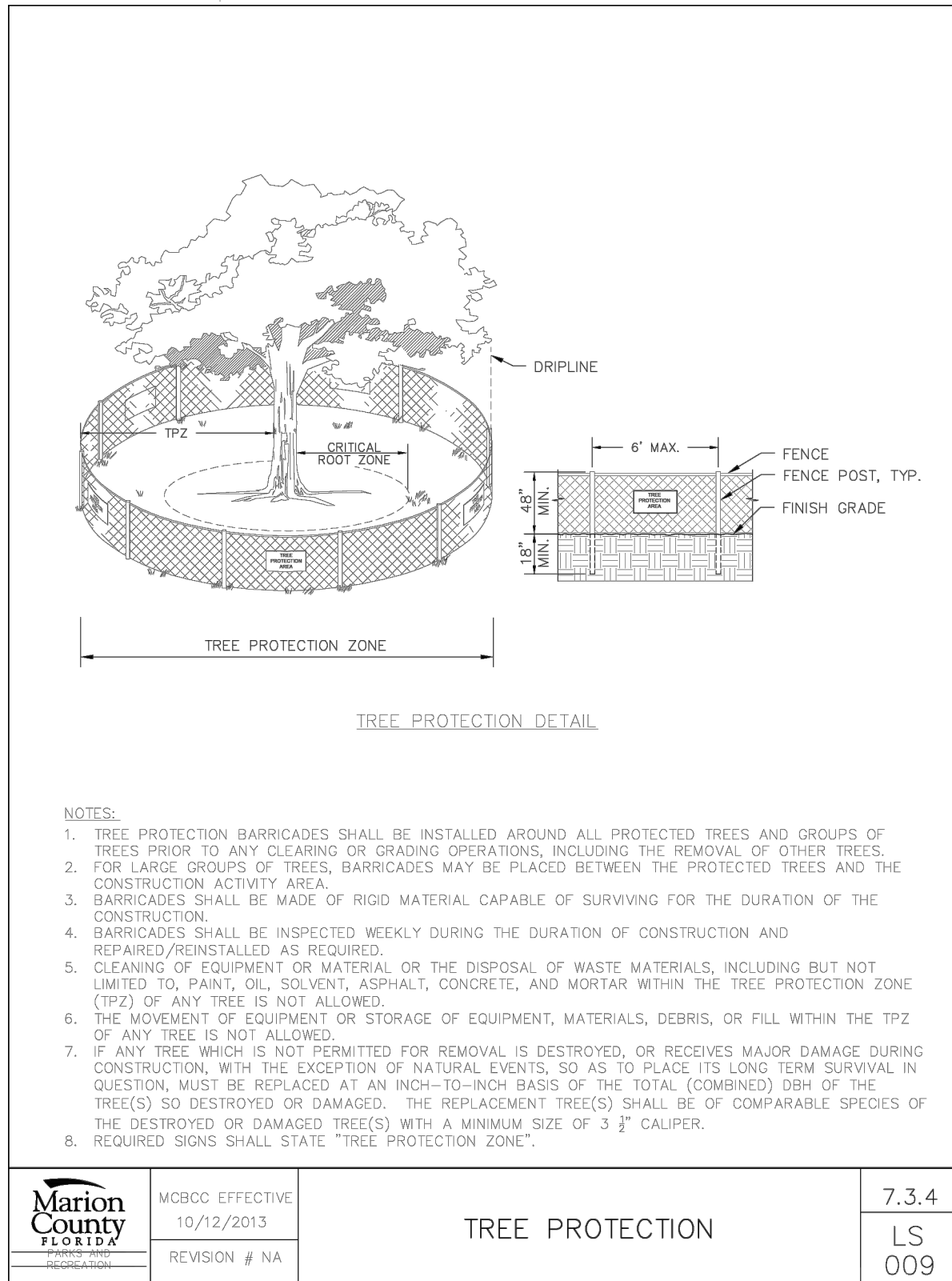
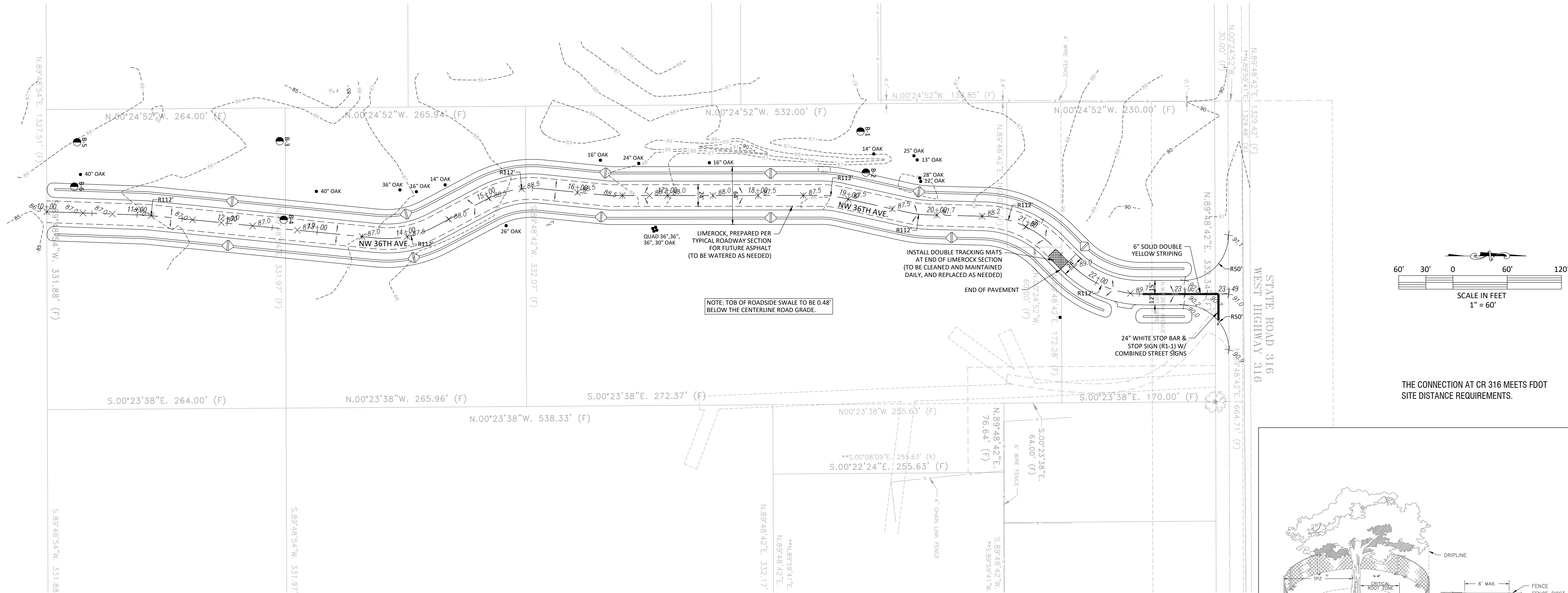
DATE

IMPROVEMENT PLANS
C C LIMESTONE ACCESS ROAD
MARION COUNTY, FLORIDA

GEOMETRY/GRADING

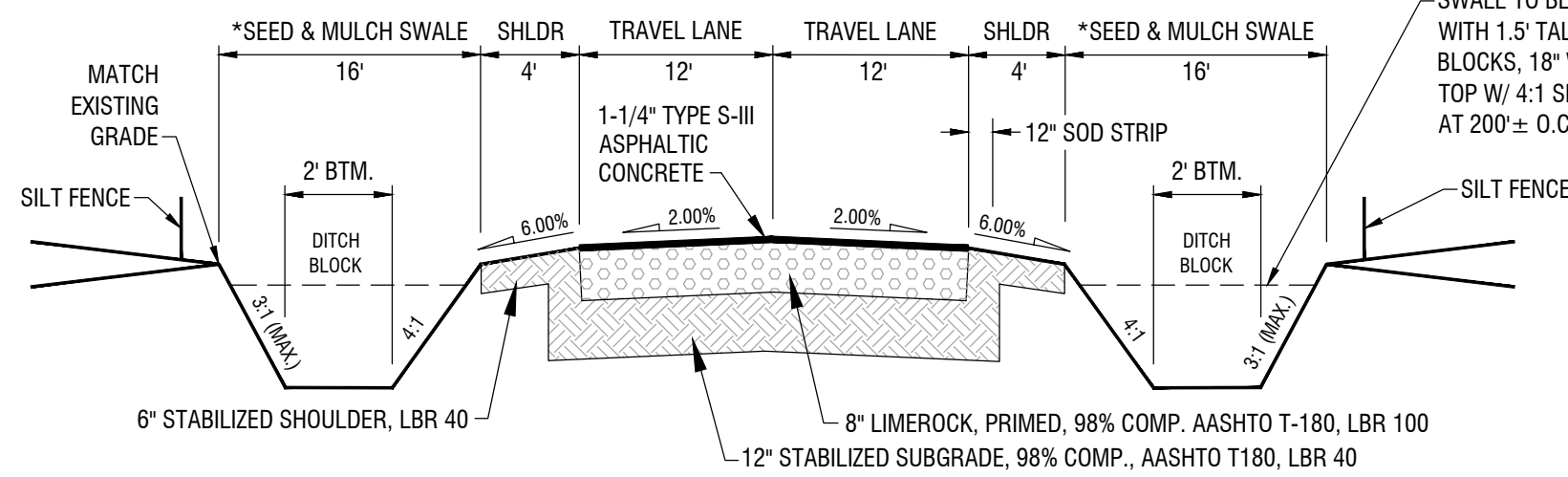
DATE 06/20/24
DRAWN BY JA
CHKD. BY KLA
JOB NO. 23-8270

SHT. 03.01

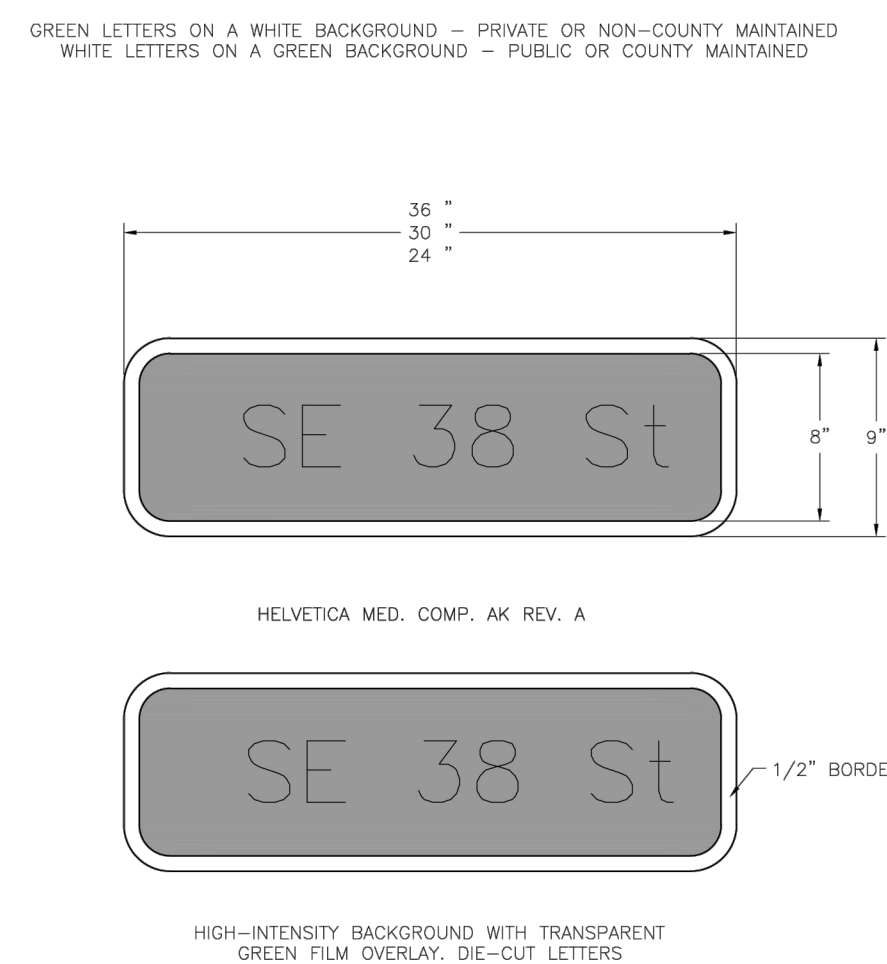
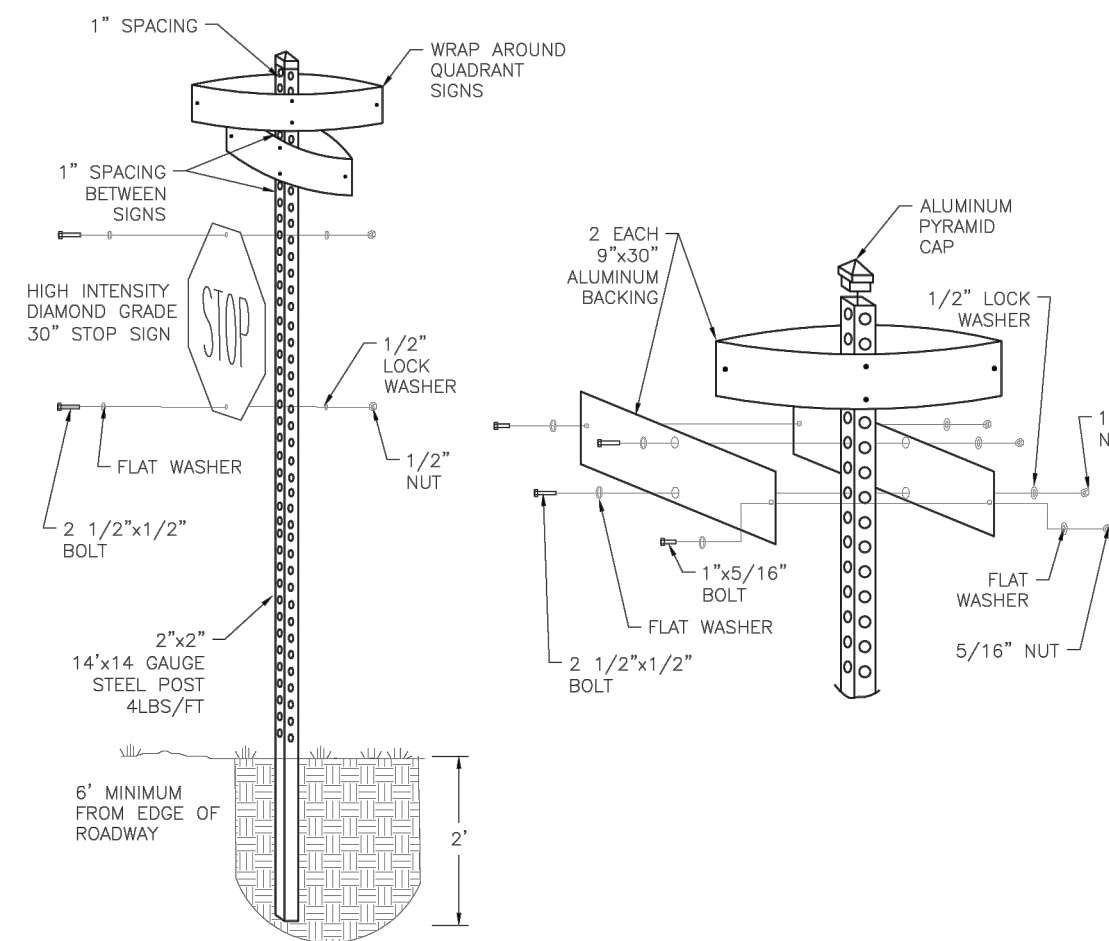


- NOTES:
1. TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
 2. FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
 3. BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
 4. BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
 5. CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
 6. THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.
 7. IF ANY TREE WHICH IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3" CALIPER.
 8. REQUIRED SIGNS SHALL STATE "TREE PROTECTION ZONE".

Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBC EFFECTIVE 10/12/2013 REVISION # NA	TREE PROTECTION	7.3.4 LS 009
--	---	-----------------	--------------------

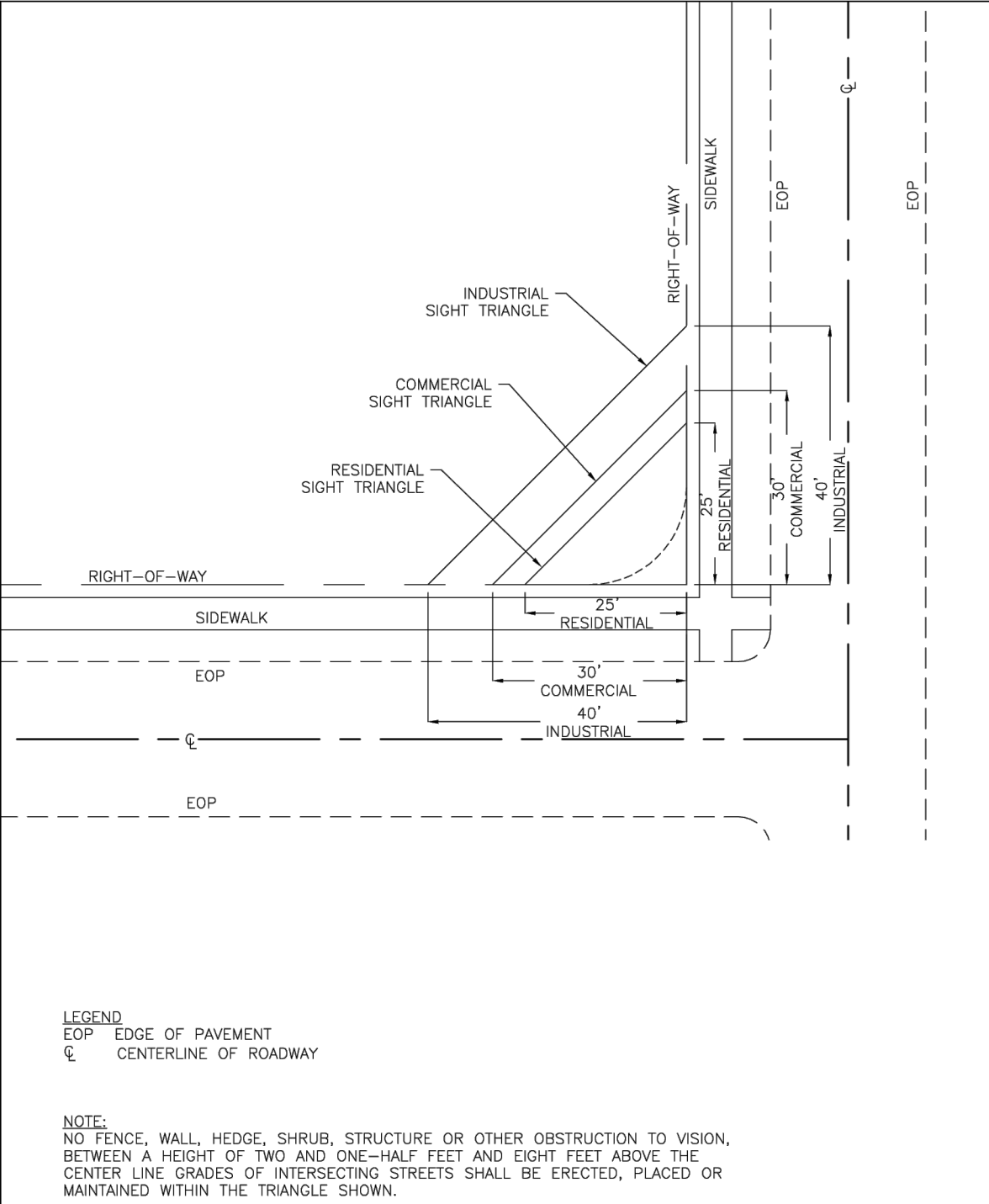


TYPICAL ACCESS ROADWAY SECTION

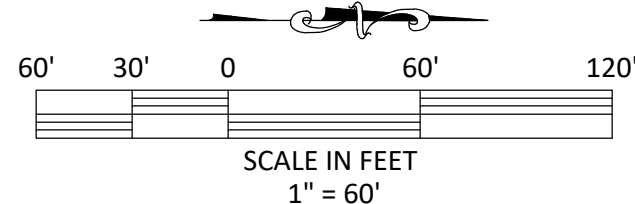
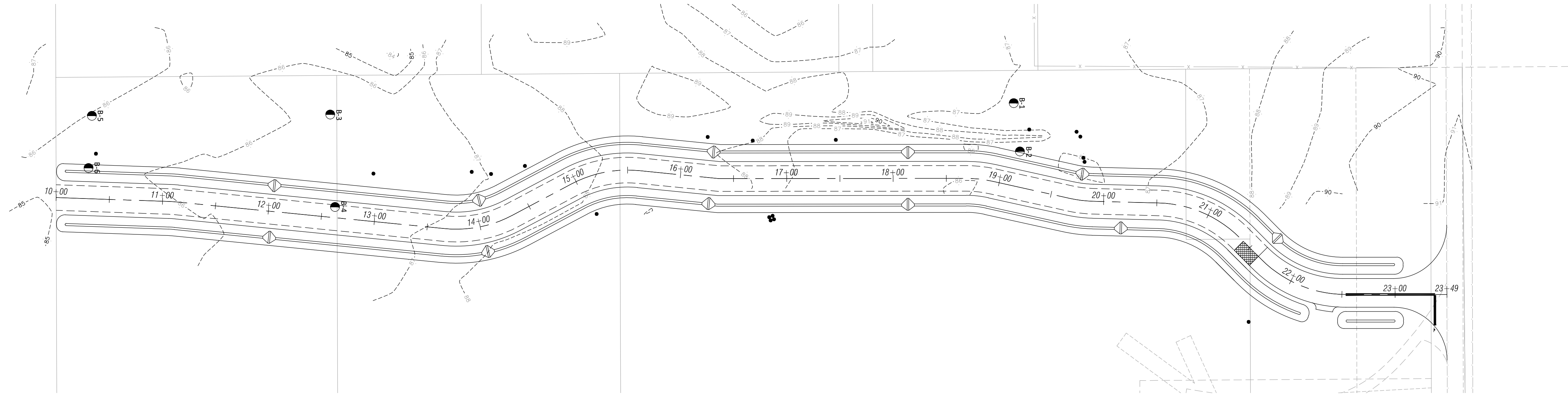


Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBC EFFECTIVE 10/12/2013 REVISION # NA	COMBINED STREET NAME & STOP SIGN INSTALLATION	7.3.1 TS 031
--	---	--	--------------------

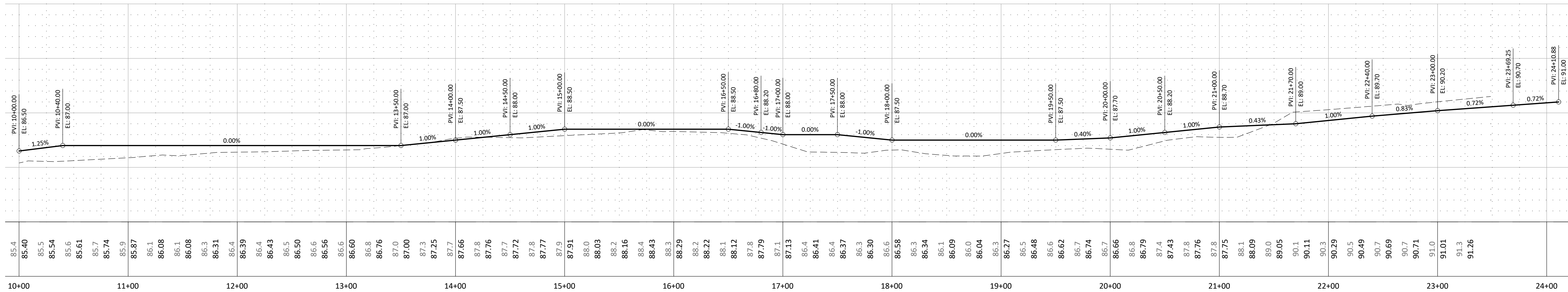
Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBC EFFECTIVE 10/12/2013 REVISION # NA	STREET SIGN	7.3.1 TS 032
--	---	-------------	--------------------



Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBC EFFECTIVE 10/12/2013 REVISION # NA	SIGHT TRIANGLE	7.3.1 TS 038
--	---	----------------	--------------------



NW 36th AVE



IMPROVEMENT PLANS
C C LIMESTONE ACCESS ROAD
MARION COUNTY, FLORIDA

PLAN & PROFILE

DATE 06/19/24
DRAWN BY JA
CHKD. BY KLA
JOB NO. 23-8270

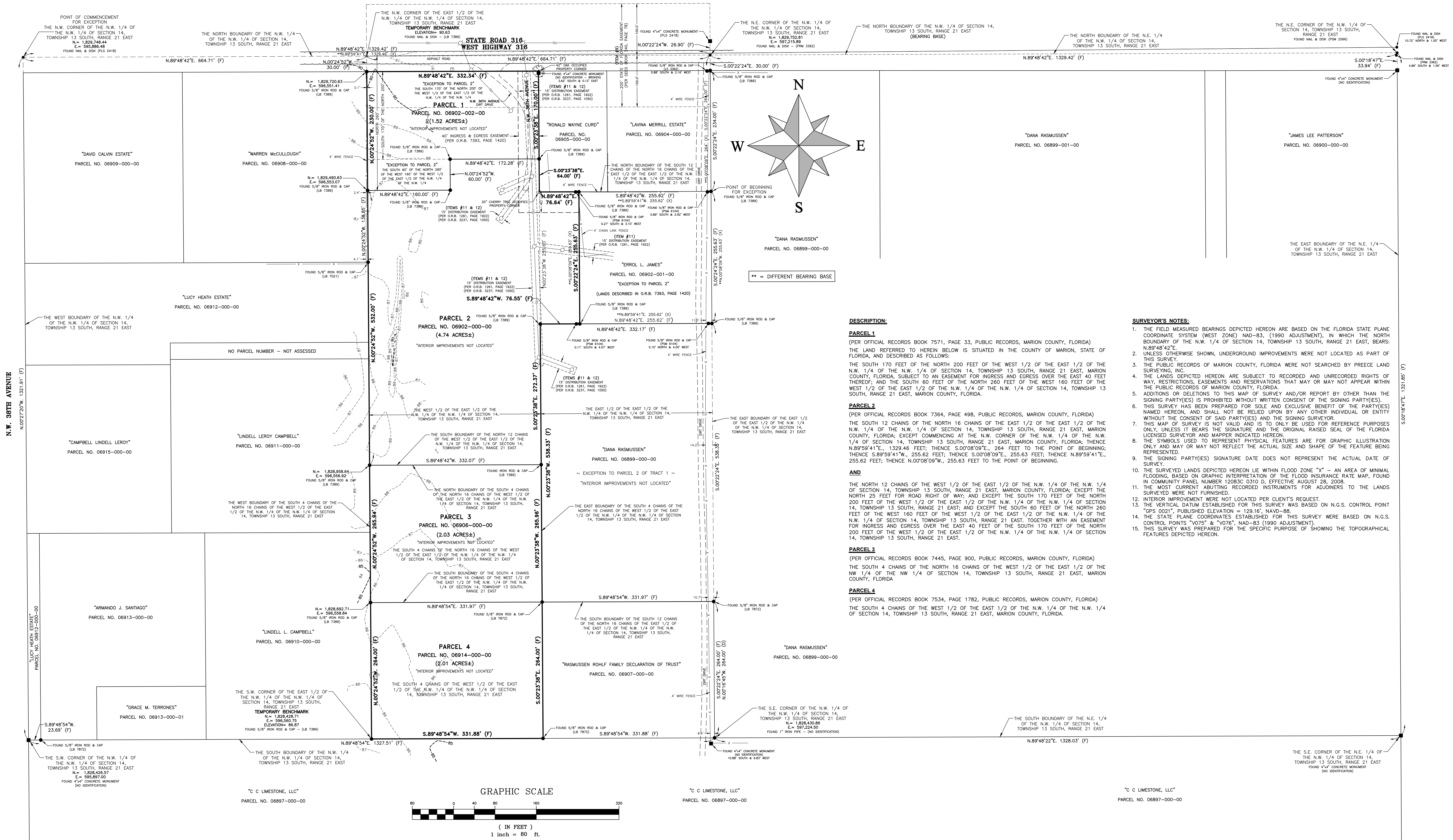
SHT. 03.02

REVISIONS


DATE

Tillman & Associates
ENGINEERING, LLC.
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545





<p>(P) = PLAT DIMENSION (F) = FIELD MEASUREMENT (SO) = DEED DIMENSION (C) = CALCULATED DIMENSION (X) = EXCEPTION DIMENSION (H) = RIGHT OF WAY LINE (WB) = HOARD BEARING (OR) = OFFICIAL RECORDS BOOK (P) = POINT OF REVERSE CURVATURE (PC) = POINT OF TANGENCY (LB) = LICENSED BUSINESS (LS) = LICENSED SURVEYOR (FSL) = FINISHED FLOOR ELEVATION (TRB) = TELEPHONE RISER BOX (FPL) = FOUND POWER POLE (MPP) = METAL POWER POLE</p>	<p>TCB = TEMPORARY BENCHMARK RCP = REINFORCED CONCRETE PIPE CMP = CORRUGATED METAL PIPE VPC = VITRIFIED CLAY PIPE PVC = POLYVINYL CHLORIDE HDP = HIGH DENSITY POLYETHYLENE FOOT = OVERHEAD UTILITY(IES) FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION BFL = BACKFLOW PREVENTER A/C = AIR CONDITIONER FOP = FIBER OPTIC CABLE MARKER PRM = PERMANENT REFERENCE MONUMENT PCP = PERMANENT CONTROL POINT PLS = PROFESSIONAL SURVEYOR & MAPPER PLS = PROFESSIONAL LAND SURVEYOR RLO = REGISTERED LAND SURVEYOR DLO = DEEDICATED POWER POLE LS = NUMBER</p>	<p>WELL = = TRAFFIC CONTROL BOX = WATER METER = TELEPHONE RISER BOX = ELECTRIC BOX = CABLE TV RISER BOX = IRRIGATION CONTROL BOX = WOOD POWER POLE = GUY ANCHOR = FIRE HYDRANT = FIRE DEPARTMENT CONNECTION = MONITORING WELL = WATER VALVE = SEWER VALVE = SET 5/8" IRON ROD & CAP - LB 7389 = FOUND 5/8" IRON ROD & CAP = FOUND 4"x4" CONCRETE MONUMENT = FOUND 4"x4" CONCRETE MONUMENT = FOUND 8" OCTAGONAL CONCRETE MONUMENT</p>
---	---	--



BELLWETHER PROFESSIONAL PARK
2201 S.E. 30TH AVENUE, SUITE 102
OCALA, FL 34471
PHONE: (352) 351-0091
FAX: (352) 351-0093 FAX
EMAIL: glen@pjsinc.us

BOUNDARY SURVEY & TOPOGRAPHIC SURVEY

FOR:

C C LIMESTONE, LLC.

SURVEYOR'S CERTIFICATION

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE ESTABLISHED IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, FOR A BOUNDARY & TOPOGRAPHIC SURVEY.

STATE CERTIFIED SDVBE

PREECE
LAND SURVEYING, INC.
(LICENSED BUSINESS NO. 7389)

DATE

GLEN H. PREECE, JR., P.S.M. - LS 5427