June 19, 2024

PROJECT NAME: CC - LIMESTONE ACCESS ROAD

PROJECT NUMBER: 2024010011

APPLICATION: IMPROVEMENT PLAN #31018

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan STATUS OF REVIEW: INFO REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

- 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
- 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
- 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: n/a

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$1,200.00 + (\$10.00 x per lot)

STATUS OF REVIEW: INFO

REMARKS: 5/6/24-fee due with resubmittal

2/14/24 – fee due with resubmittal - sk

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval

STATUS OF REVIEW: INFO

REMARKS: 2/14/24-add waivers if requested in future - sk

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing

STATUS OF REVIEW: INFO

REMARKS: Stormwater improvements must be in place to support each phase of development at time of

phase completion.

DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the District permit prior to construction.

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.7 - Geotechnical Criteria

STATUS OF REVIEW: NO

REMARKS: Waiver will need to be requested if the following requirements are not met: (1) Please note that the LDC requires a minimum of two borings per DRA, with an additional boring for each half acre of pond bottom. For lineal system, borings are required at 250' intervals. (2) Please also note that the LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. (3) LDC requires that borings extend a minimum of 10' below the bottom of the proposed ponds.

10 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(9) - Access Accommodates Stormwater

STATUS OF REVIEW: NO

REMARKS: Please provide more detailed grading at the driveway connection so drainage intent can be

reviewed.

11 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.9 - Grading Criteria

STATUS OF REVIEW: NO

REMARKS: Add flow arrows or more detailed spot grades (or proposed topo lines) to the grading plan.

Indicate proposed TOB for the swale system as it goes along the road.

12 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.5.B(4) - Driveway width

STATUS OF REVIEW: NO

REMARKS: 5/20/24 - Dimension the driveway radius.

1/19/24 - Show the width and radius of the driveway. It needs to meet commercial driveway requirements.

13 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.4 - Plan and profile

STATUS OF REVIEW: NO

REMARKS: 5/20/24 - Provide a roadway profile.

14 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.9 - Subdivision roads and related infrastructure

STATUS OF REVIEW: NO

REMARKS: 5/20/24 - Provide a roadway centerline with stationing.

15 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: Sheet 02.01 - NW 36th Avenue is labeled incorrectly as NW 36th Ct. Sheet 03.01 - We have

named the road NW 36th Ave. Please label road on all future submittals.

16 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger

STATUS OF REVIEW: NO

REMARKS: Show all trees in project area - aerial shows large canopies in close proximity to road corridor, please show all tree types and sizes in corridor, or have a certified arborist letter verifying no trees over 10" in corridor.

17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: NO

REMARKS: Unable to locate tree protection detail on revised plans, please clarify sheet number

18 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.6 - Tree removal submittal requirements

STATUS OF REVIEW: NO

REMARKS: Show trees to be removed

19 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.8 - Protected tree replacement requirements

STATUS OF REVIEW: NO

REMARKS: Show tree mitigation calculations

20 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.9 - Replacement trees; general requirements

STATUS OF REVIEW: NO

REMARKS: show how trees will be mitigated for (Landscape and Irrigation Plans) or Tree mitigation fund

21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers STATUS OF REVIEW: NO

REMARKS: Type C buffer may be required along Hwy 316 - planning to confirm

22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.13.3 D(4) - Landscaping of private stormwater management facilities

STATUS OF REVIEW: NO

REMARKS: Show DRA's if applicable

23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: NO

REMARKS: Will parcel 06914-000-00 be re-zoned from M-1? If not, what is purpose of M-1 parcel?



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687 AR31018

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 6/25/24	Parcel Number(s):06902-000-00, 06902-002-00,	Permit Number: IP #31018	
		06906-000-00, & 06914-000-00		
A.	PROJECT INFO	ORMATION: Fill in below as applicable:		
	Project Name: C	C Limestone Access Road	Commercial 🔽 Residentia	al
	Subdivision Nan	ne (if applicable):		
	UnitBl	ne (if applicable): ockLot Tract		
_	DD OBEDEV OU	UNIDAG AMENADAKA ENON EN		
В.		WNER'S AUTHORIZATION: The property owner's sign		
		or this waiver request. The signature may be obtained by	email, fax, scan, a letter from the pro-	operty
	owner, or origina	al signature below.		
	Name (print):Da	vid Arnold		
	Signature:	VIO A A A A		
	Mailing Address	(1) Auglel : PO Box 2077	City:Ocala	
	State·FI	Zip Code: 34478-2077 Phone #352-622-1220	eny. ooa.a	
	Email address da	avida1953@cox.net		
	Eman address.			
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive			
	all correspondence.			
	Firm Name (if applicable): Tillman & Associates Engineering Contact Name: Kevin Atchley			
	Mailing Address	:1720 SÉ 16th Ave., Bldg. 100 Zip Code:34471 Phone #352-387-4540	City:Ocala	
	State: FL	Zip Code: 34471 Phone #352-387-4540	·	
	Email address: P6	ermits@tillmaneng.com		
D.	WAIVER INFO	DRMATION:		
	Section & Title of	of Code (be specific): 6.8.	6 - Buffers	
	Reason/Justification for Request (be specific); Waiver requested to utilize the existing dense vegetation along			
	W Hwy 316, west of the proposed connection to W Hwy 316, to satisfy the Type 'C' buffer requirement.			
_				
	EVELOPMENT I		024010011	1 0
Re	ceived By:	16/25/24 Date Processed: 6/25/24 CH Project #_2	024010011 AR # 3101	10
70	NIINO LIGIE. P	1 . C	J., C., F., 21. D., 10 37 37.	_
Z (INING USE: Pa	rcel of record: Yes \square No \square Eligible to app	let Vegetien Degrissel Ves 🗆 No l	
Z01	neu:EX	SOZ: P.O.M. Land Use: P Verified by (print & initial):	iai vacation Required: Yes L No l	_
υa	ie Nevieweu.	verified by (brill & lilliar).		

PERMITS:

- MARION COUNTY IMPROVEMENT PLAN -
- 2. S.W.F.W.M.D. E.R.P. -
- 3. FDEP NPDES (BY OTHERS)



WAIVERS



BEGIN SITE WORK PRIOR TO APPROVAL - APPROVED

IMPROVEMENT PLANS CCLIMESTONE ACCESS ROAD

SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

THIS SITE CONTAINS: $TOTAL\ PROPERTY\ AREA = 10.26\ AC.$ $TOTAL\ PROJECT\ AREA = 1.92\ AC.$ $PROPOSED\ IMPERVIOUS\ AREA = 0.78\ AC.\ (33,812\ SF)$ (6,068 SF ASPHALT & 27,744 SF LIMEROCK FOR FUTURE ASPHALT) MARION COUNTY PARCEL # 06902-000-00, 06902-002-00, 06906-000-00, 06914-000-00 FUTURE LAND USE: RL, RURAL LAND ZONING: A-1 & M-1

PROPOSED USE: ACCESS ROAD TO EXISTING LIMEROCK MINE ESTIMATED TRIPS: 25 LOADS PER DAY (MAX., FOR FIRST 6 MONTHS)

LEGAL DESCIPTION: PARCEL 1

GEOTECHNICAL CRITERIA

FLORIDA.

THE NORTH 12 CHAINS OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; EXCEPT THE NORTH 25 FEET FOR ROAD RIGHT OF WAY; AND EXCEPT THE SOUTH 170 FEET OF THE NORTH 200 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST; AND EXCEPT THE SOUTH 60 FEET OF THE NORTH 260 FEET OF THE WEST 160 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST. TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 40 FEET OF THE SOUTH 170 FEET OF THE NORTH 200 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21

PARCEL 3

(PER OFFICIAL RECORDS BOOK 7445, PAGE 900, PUBLIC RECORDS, MARION COUNTY, FLORIDA)

THE SOUTH 4 CHAINS OF THE NORTH 16 CHAINS OF THE WEST 1/2 OF THE EAST 1/2 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA

PARCEL 4

(PER OFFICIAL RECORDS BOOK 7534, PAGE 1782, PUBLIC RECORDS, MARION COUNTY, FLORIDA)

THE SOUTH 4 CHAINS OF THE WEST 1/2 OF THE EAST 1/2 OF THE N.W. 1/4 OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA.

BASIS OF BEARINGS:

THE FIELD MEASURED BEARINGS DEPICTED HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (WEST ZONE) NAD-83, (1990 ADJUSTMENT), IN WHICH THE NORTH BOUNDARY OF THE N.W. 1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 21 EAST, BEARS: N.89°48'42"E.

BENCHMARKS:

THE VERTICAL DATUM ESTABLISHED FOR THIS SURVEY WAS BASED ON N.G.S. CONTROL POINT "GPS 0021", PUBLISHED ELEVATION = 129.16', NAVD-88.

STATE PLANE COORDINATES:

THE STATE PLANE COORDINATES ESTABLISHED FOR THIS SURVEY WERE BASED ON N.G.S. CONTROL POINTS "V075" & "V076", NAD-83 (1990 ADJUSTMENT).

> CIVIL ENGINEER: TILLMAN AND ASSOCIATES ENGINEERING, LLC KEVIN L. ATCHLEY, P.E. 1720 SE 16TH AVE., BLDG. 100 OCALA, FLORIDA 34471 PHONE: (352) 387-4540

SURVEYOR: PREECE LAND SURVEYING, INC. GLEN H. PREECE, JR., P.S.M. 2201 SE 30TH AVE., SUITE 102 OCALA, FL 34471 PHONE: (352) 351-0091



INDEX OF SHEETS

COVER

AERIAL PHOTOGRAPH

PLAN & PROFILE

GEOMETRY/GRADING PLAN

EROSION CONTROL PLAN

- THE SURVEYED LANDS DEPICTED HEREON LIE WITHIN FLOOD ZONE "X" AN AREA OF MINIMAL FLOODING,
- CONTRIBUTING AREA. THE RUNOFF INTO THE PROPOSED SWALES WILL STAGE UP AND ULTIMATELY FLOW

VICINITY MAP SCALE: 1" =500"

OWNER'S SIGNATURE

I CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY OPERATE & MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

 $DAVID\,ARNOLD$ C C LIMESTONE, LLC

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

KEVIN L. ATCHLEY, P.E. LICENSED ENGINEER NO. 53119 STATE OF FLORIDA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

GLEN H. PREECE, JR., P.S.M. PREECE LAND SURVEYING, INC. REGISTERED LAND SURVEYOR NO. 5427 STATE OF FLORIDA

DATE 06/19/24 DRAWN BY___JA CHKD. BY KLA JOB NO. <u>23-8270</u>

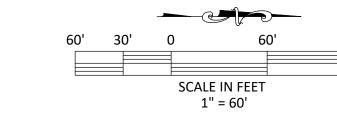
OCALA, FLORIDA. 34478-2077

OWNER/DEVELOPER:

C C LIMESTONE, LLC

PHONE: (352) 622-1220

PO BOX 2077





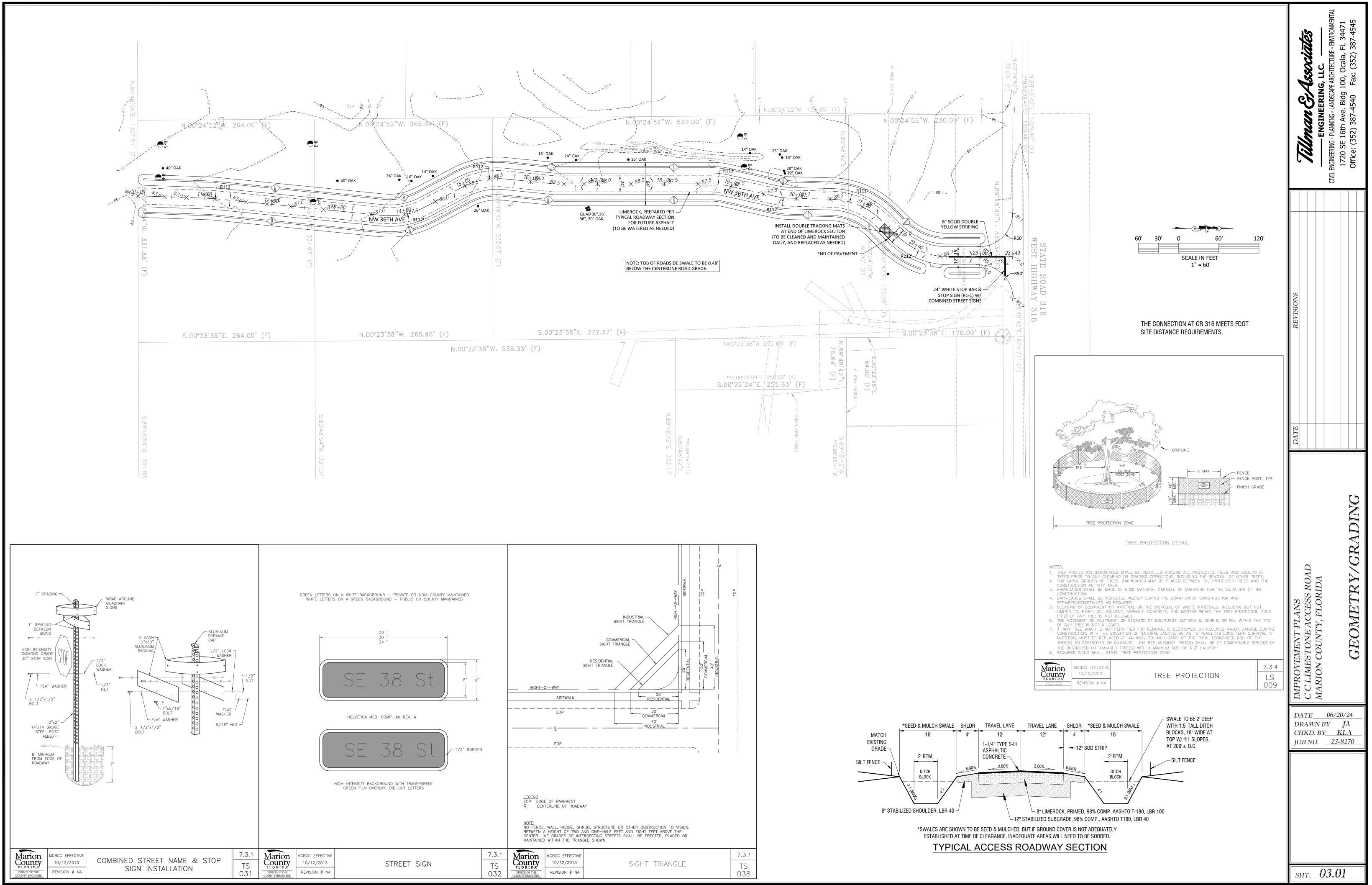
DATE 06/18/24

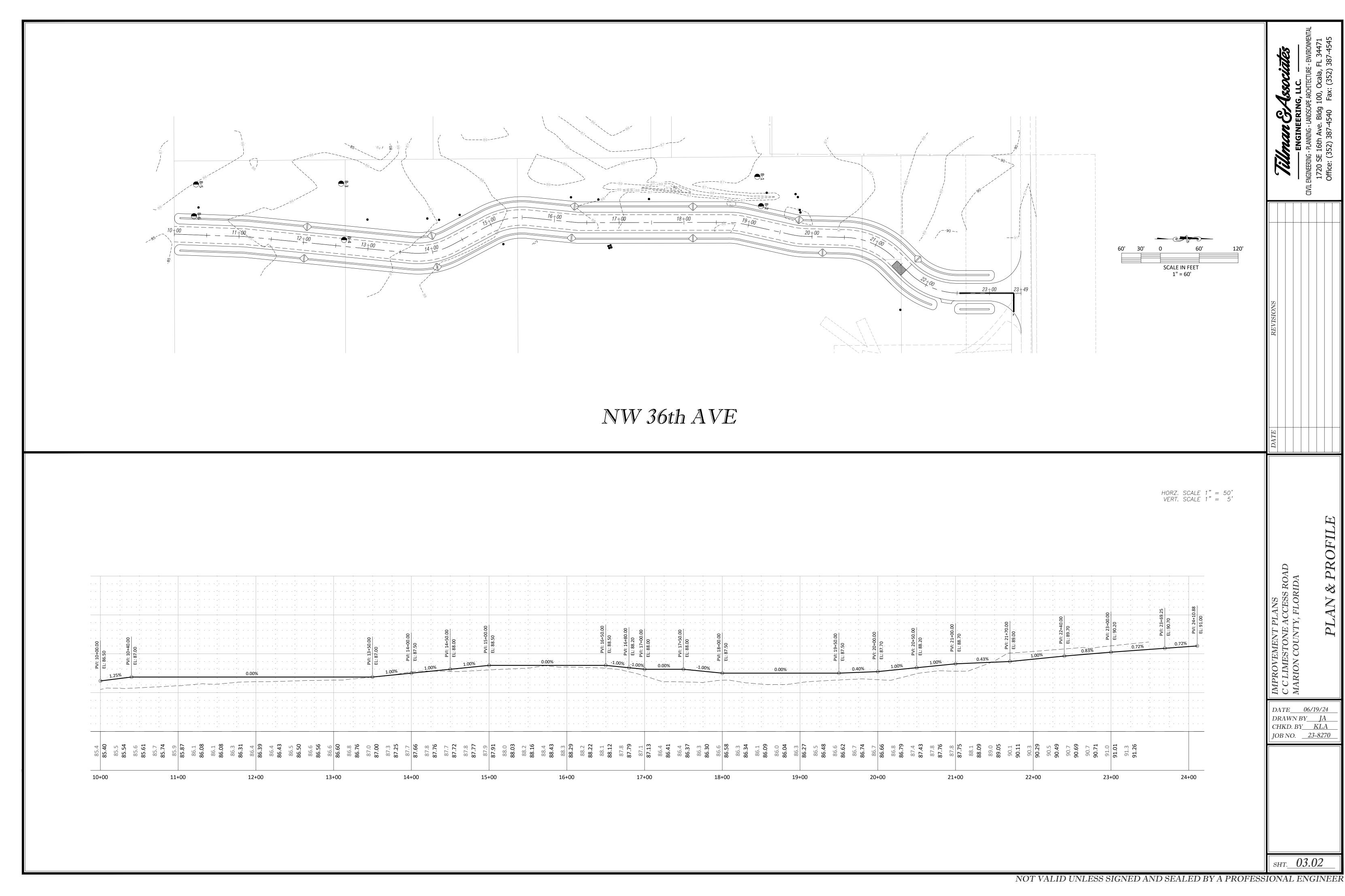
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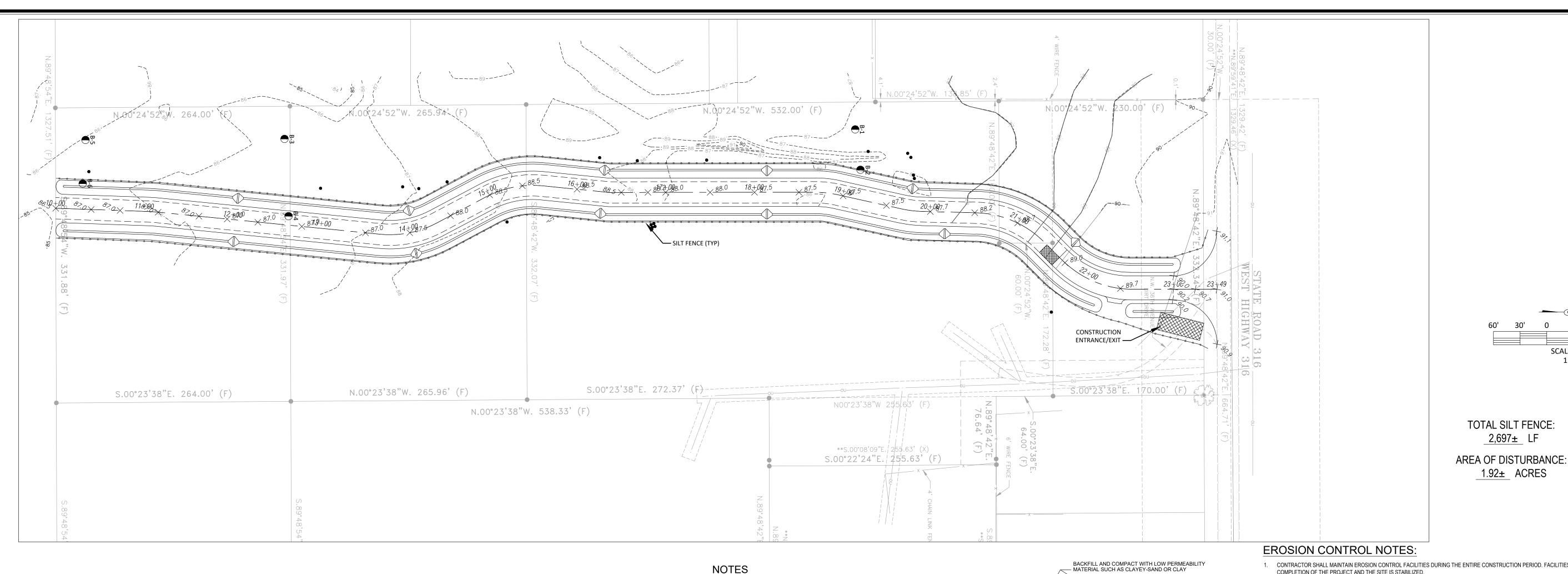
CHKD. BY KLA

JOB NO. 23-8270

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER







BACKFILL AND COMPACT WITH LOW PERMEABILITY

- MATERIAL SUCH AS CLAYEY-SAND OR CLAY 5. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS

MATERIAL SHOULD BE COMPACTED AND THE REPAIR SHALL BE SLIGHTLY ABOVE THE ORIGINAL BOTTOM IN ORDER TO CREATE A SMALL MOUND TO ACCOUNT DEEP REPAIR (SEE DETAIL): IF THE COLLAPSE IS DEEP, THEN THE REPAIR SHALL BE MORE PERMANENT. THE COLLAPSE SHALL BE EXCAVATED TO THE LIMESTONE BEDROCK THE VOID(S)

IN THE EVENT THAT ANY KARST FEATURES SUCH AS SINKHOLES, SOLUTION

IF THE COLLAPSE IS SHALLOW (<5' DEEP) AND THE VOIDS IN THE LIMESTONI

LOWER-PERMIEABILITY MATERIAL, SUCH AS CLAYEY-SAND OR CLAY. THE

ARE SMALL, THEN THE SINKHOLE CAN BE REPAIRED BY BACKFILLING WITH A

SHALLOW REPAIR (SEE DETAIL):

CAVITIES, CHIMNEYS, ETC. ARE DISCOVERED DURING ROUTINE INSPECTIONS OF THE STORMWATER BASINS, THE FOLLOWING REMEDIATION PROCEDURE SHALL

IN THE BEDROCK SHALL BE PLUGGED WITH CLEAN GROUT, A LOW PERMEABILITY MATERIAL SHALL BE PLACED OVER THE CONCRETE PLUG. THE MATERIAL SHALL BE COMPACTED AND BROUGHT TO EXISTING BASIN BOTTOM.

THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD) SHALL BE NOTIFIED OF ANY SINKHOLE DEVELOPMENT WITHIN 48 HOURS OF DISCOVERY AND THE PROPOSED METHOD BY WHICH THE SINKHOLE WILL BE REPAIRED SHALL BE SUBMITTED TO THE SJRWMD FOR APPROVAL WITHIN 30 DAYS. THE SJRWMD WILL THEN NOTIFY THE RESPONSIBLE PARTY AS TO THE ACCEPTANCE, DENIAL OR NEED FOR MODIFICATION OF THE REPAIR METHOD.

SHALLOW AND DEEP SINKHOLE/CAVITY

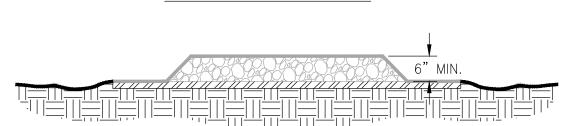
MAINTENANCE REPAIR DETAIL

N.T.S

SHALLOW SINKHOLE/CAVITY W/ GROUT

SECTION VIEW

ENTRANCE ELEVATION



- 1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
- 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN
- 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH FDOT #1 COURSE AGGREGATE. 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6" AND BE INSTALLED IN ACCORDANCE WITH FDEP
- 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 12'. 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
- 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS
- INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE). WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY,
- WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVES MUD AND DIRT. 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT

- POST OPTIONS: WOOD 2-1/2" MIN. WOOD 2"X4" OAK 1-1/2"X1-1/2" STEEL 1.33 LBS/FT MIN. PRINCIPAL POST POSITION--POSITION (20° (VERTICAL) TOWARD FLOW) FDOT TYPE IV SILT FENCE POST TO BE -3' OR MORE WIRE BACK OR BELTED (IN CONFORMANCE WITH FDOT IN LENGTH SPECIFICATIONS, SECTION 985) **ELEVATION** SILT FENCE COMPACTED SOIL O PREVENT PIPING

SILT FENCE AND **EROSION CONTROL**

- 1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
- 2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY THE OWNER.
- 3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
- 4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
- 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- 6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
- 7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- 8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
- 9. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

1. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.

SCALE IN FEET 1" = 60'

TOTAL SILT FENCE: 2,697± LF

1.92± ACRES

- ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVE AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR. 6. FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE
- TOP OF TEMPORARY AND PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER. 10. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
- 11. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES. 12. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NPDES STORMWATER REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED
- 13. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
- 14. PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
- 15. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. 16. FOR SILT FENCE DETAIL SEE TYPE III SILT FENCE IN FDOT INDEX 103. SILT FENCE LOCATION SHOWN FOR AESTHETICS ONLY, ACTUAL FENCE TO BE
- 17. ALL EXISTING STORM WATER DRAINAGE PATTERNS AND CHANNELS OUTSIDE THE CONSTRUCTION AREAS SHOWN ON THESE PLANS ARE TO BE MAINTAINED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE WORK APPEARS TO INTERRUPT AN EXISTING STORM WATER DRAINAGE PATTERN. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION SUCH THAT IMPACT TO CONSTRUCTION AND/OR SURROUNDING FACILITIES IS MINIMIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
- ANY EROSION, SEDIMENT TRANSPORT, DISTURBED FOUNDATIONS, IMPACT TO STRUCTURES, AND ANY OTHER DAMAGE CAUSED DURING CONSTRUCTION. 18. THE CONTRACTOR SHALL PREVENT THE DISCHARGE OF SEDIMENT DUE TO CONSTRUCTION OPERATIONS. APPROVED EROSION CONTROL DEVICES SHALL BE INSTALLED TO PREVENT DISCHARGE OF SEDIMENT INTO A DRY OR WET WATERCOURSE. EROSION CONTROL SHALL CONSIST OF ANCHORED HAY BALES, SILT FENCE, OR OTHER EROSION CONTROL METHODS APPROVED BY THE PROJECT ENGINEER. ALL NEW AND EXISTING DRAIN PIPES AND STRUCTURES SHALL BE FLUSHED CLEAN AFTER CONSTRUCTION.
- 19. PROVIDE EROSION CONTROL BLANKET FOR ALL SLOPES 2:1 (HORIZONTAL TO VERTICAL) OR STEEPER. 20. SWALES AND DISTURBED AREAS SHALL BE SODDED OR SEEDED AND MULCHED AS SOON AS PRACTICAL. 21. SEE PLAN SHEETS FOR MORE DETAILED LOCATION OF SILT FENCE.
- 22. THIS PLAN PROVIDES REASONABLE ASSURANCE THAT THE PROPOSED CONSTRUCTION ACTIVITIES WILL NOT RESULT IN EROSION AND SEDIMENT DEPOSITION IN STORMWATER FACILITIES, WETLANDS OR OFF-SITE AREAS.

GENERAL NOTES:

- . PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR
- ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED LAND SURVEYOR. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
- 3. ALL SIDEWALKS, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- 4. ALL DISTURBANCE INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE APPROPRIATE GOVERNMENTAL AGENCIES.

NOTE TO CONTRACTOR:

- ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION. 2. CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ABUTTING CITY STREETS, COUNTY ROADS AND
- STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK
- THE CONTRACTOR MUST VERIFY/LOCATE HORIZONTAL AND VERTICAL DISPOSITION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 5. ALL PROPOSED UTILITIES TO BE UNDERGROUND. S. ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
- ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT. CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE.

- 1. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.
- 2. ALL DISTURBED AREAS TO BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINAL GRADING.

PROVI LIME RION DATE____06/18/24 DRAWN BY___JA

CHKD. BY KLA

SHT. **04.01**

JOB NO. <u>23-8270</u>

