

August 1, 2025

PROJECT NAME: WESTWOOD TRAILS (FKA VILLA VERDE PUD) IMPROVEMENT PLAN

PROJECT NUMBER: 2023050058

APPLICATION: IMPROVEMENT PLAN #32544

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements  
STATUS OF REVIEW: INFO  
REMARKS: Appropriate drainage tracts/ROW shall be included on the final plat.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.22 - Stormwater Tract/Right-of-Way  
STATUS OF REVIEW: INFO  
REMARKS: Appropriate drainage tracts/ROW shall be included on the final plat.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 7.1.3 Drainage Construction Specifications  
STATUS OF REVIEW: INFO  
REMARKS: Deviation request has been submitted to County Engineer for consideration. If approved, letter will be uploaded to eplans.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or [kevin.vickers@marionfl.org](mailto:kevin.vickers@marionfl.org).
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 3/20/25-add waivers if requested in future
- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.



- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections  
STATUS OF REVIEW: INFO  
REMARKS: 7/18/25 Insure horizontal and vertical requirements are met for water main and sewer main proximity for the service to lot 16. Previous comment: C011 - Laterals from lots 15 and 16, not connected.
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.D - Hydraulic Analysis  
STATUS OF REVIEW: INFO  
REMARKS: 7/18/25 Reviewed by MCU - The Engineer of Record (EOR) is responsible for ensuring that the lift station is properly designed and adequately sized to function under both current and future system conditions, including potential changes in pressure within the Marion County Utilities (MCU) network. Previous comment: The Hydraulic Analysis has not been provided for this site.(LDC 6.14.5.C)
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:  
STATUS OF REVIEW: INFO  
REMARKS: 7/18/25 Change contact to Construction Coordinator 6013 (apologies for a redundant change) . C001 - Construction Inspection Note: Remove Alejandro Rad, replace with Construction Officer at 352-307-6163.
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: INFO  
REMARKS: 7/18/25 Review fee: \$130.00 Utilities Plan Review Fee: \$415.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 32544
- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: INFO  
REMARKS: For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org.
- 14 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Irrigation well will require permit through the Department of Health in Marion County
- 15 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.9 - Location and dimensions of proposed right of ways and streets, including easements, reservations or dedications  
STATUS OF REVIEW: INFO  
REMARKS: Initial review: Landscape Sheet L.04 calls street SW 74th Avenue, whereas other sheets call street SW 74th Court
- 16 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: Additional 911 comments  
STATUS OF REVIEW: INFO  
REMARKS: Sheet L.00A has SW 79th Lane incorrectly labeled as SW 79th Lave.



17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments

STATUS OF REVIEW: INFO

REMARKS: To be provided with Final plat

18 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: Verified owner with Sunbiz and checked road project. 7/11/25- EMW

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.8 - Topographical Contours



STATUS OF REVIEW: NO

REMARKS: LDC requires that the survey have been performed in the last 12 months. Please submit waiver for improvement plan. Staff will support waiver for the site plan.

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria

STATUS OF REVIEW: NO

REMARKS: Retention/detention areas serving residential developments shall be designed with a minimum berm width of 12 feet stabilized at a maximum of six percent grade maximum around the entire perimeter of the facility.

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.10 Karst Topography and High Recharge Areas

STATUS OF REVIEW: NO

REMARKS: Please sign & seal Karst analysis.

22 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: NO

REMARKS: Please provide a signed O&M manual.

23 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A - Water Connection Requirements

STATUS OF REVIEW: NO

REMARKS: 7/18/25 Must use 12" tapping tee fully restrained for size on size tap for connection off SW 80th St. (2) A second water connection to SW 76th Avenue is required per MCU to ensure system redundancy. This secondary connection will provide an alternate feed to the neighborhood in the event of a service interruption or main break at the primary connection. Previous comment: C011 - Show the method of connection to the water main. (2) Connect the water main on SW 78th Place to the Water Main on SW 76th Ave for optimal flow rates and water quality. (Outside property boundary, E of proposed neighborhood)

24 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections

STATUS OF REVIEW: NO

REMARKS: 7/18/25 C017 Storm Pipe conflict identified, need to propose a remedy. (2) C015 Appears to be a conflict. See change marks.

25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules

STATUS OF REVIEW: NO

REMARKS: 7/18/25 Does transformer have to be inside the fence? (2) is there anyway to create enough fall to connect to Melody Preserve's Lift Station or the Liberty Village Lift station? Previous comment: C011 - Lift station will require a plug valve inside fence. (2) MCU will hold further comments until Lift Station design is completed and shown on plans.

26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity

STATUS OF REVIEW: NO

REMARKS: 7/18/25 Move hydrant between lots 68 & 69 to avoid driveway conflict. (2) Remove ARV in front of lot 67 and 68, make sewer laterals single for both lots. Previous comment: C011 - Move hydrant on lot 32 to between lot 32 and 31. (2)



27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.5 - Water Service and Connection

STATUS OF REVIEW: NO

REMARKS: 7/18/25 Install GV between lots 60& 61. (2) Move gate valve to between lots 24 & 25.

Previous comment: C011 - WM extension into the neighborhood. "Install 8" x 12" TEE (1) 8" DV (2)". What is a DV? (2) Install gate valve in front of lot 23. (3) Section of WM in front of lots 33-35, can be reduced down to a 4" WM, then no blow off will be required. \*\* Unless there is a us PH that will require line or be 8". (4) Remove valve in front of lot 35. (5) Move water valve shown in asphalt (E to W) at the NE corner of the Proposed DRA 2. (6) Remove vale at the NE corner of the proposed DRA 2 to that is on the WM line N to S. (7) Section of WM in front of lots 1-3, can be reduced down to a 4" WM, then no blow off will be required. (8) If blow off in front of lot 33 is to stay on plans, it needs to be permanent.

28 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat

STATUS OF REVIEW: NO

REMARKS: Initial Review: The preliminary plat has not been approved yet. This item will remain [NO] until the preliminary plat has been approved per LDC. Sec. 2.1.3. "Order of Plan Approval."

29 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4) - Project is consistent with any and all zoning approvals, land use restrictions and developers agreements. Verify parcel is in compliance with LDR and Comprehensive Plan.

STATUS OF REVIEW: NO

REMARKS: Initial review: Staff cannot confirm whether the improvement plan is consistent with PUD zoning approval until the Master Plan is approved by the Board of County Commissioners.

30 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios) and parking. Provide dimensions and location of all site improvements (proposed or existing); dimensions and location for all proposed easements/4.2

STATUS OF REVIEW: NO

REMARKS: Initial review: Add reference to the zoning ordinance approving the PUD (uploaded in the supplemental folder of this AR). Once Master Plan is approved add reference to that ordinance/approval letter as well. The approved zoning requirements (setbacks, lot area/width, building heights) will also need to be added. These items should be added to cover sheet, but may be added to a different sheet. State which sheet added to.

7/15 PUD ordinance 23-R-478 and master plan pending approval have been added to the cover sheet. However, master plan is still awaiting approval.

31 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23 - Show typical setback layout for primary uses, as well as accessory uses, dimensions for all improvements

STATUS OF REVIEW: NO

REMARKS: Initial review: Once the Master Plan is approved, add the lot typical to the Geometry plan sheet, IP-C003. Staff will then check for consistency between approved Master Plan and what is shown on the Improvement Plan document(s).

7/15 Lot typicals and setbacks have been added to C002 and C003, pending approval of master plan for consistency.

32 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Preliminary buffer plan/6.8.6 - Buffering

STATUS OF REVIEW: NO



REMARKS: Initial review: Buffer plan shown, but cannot be approved until Master Plan and Preliminary Plat is approved.

33 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: NO

REMARKS: Initial Review: (1) The PUD Master Plan is under review and has not yet been scheduled for the BCC hearing. Internal access and roads vary from the approved PUD concept plan. This item will remain as NO until PUD Master Plan and revised design is approved by BCC. Refer to LDC Sec. 2.1.3. "Order of Plan Approval."

(2) Remove the text Parcel No. 35461-000-00 / 18.18 Acres / LU/Z: LR/A-1 from the Villa Verde project area on IP-C003. This appears to be duplicated from a portion of land listed as "not a part of this survey" on IP-C003.

7/15 BCC hearing has been scheduled, pending approval.

34 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: NO

REMARKS: 1. Show tree protection on plan and in detail 2. Per 6.7.3.(5), all trees to remain shall be assessed per this section, assessment to be submitted with the plan for review

35 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1 Sheet L.04 calls out a Type C buffer, only sod is shown, please clarify

Feel free to contact us at (352) 671-8686 or [DevelopmentReview@marionfl.org](mailto:DevelopmentReview@marionfl.org) with questions.

Sincerely,

*Your Development Review Team*  
**Office of the County Engineer**





**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

AR 32544

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 07/29/2025 Parcel Number(s): 35461-000-00 Permit Number: 2023050058

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: WESTWOOD TRAILS IMPROVEMENT PLAN Commercial ☐ Residential ☒  
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): FUN N GAMES, LLC  
Signature: [Signature]  
Mailing Address: 230 NE 25TH AVE SUITE 100 City: OCALA  
State: FLORIDA Zip Code: 34471 Phone # 352-361-4524  
Email address: JONMKURTZ@YAHOO.COM

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): MASTROSERIO ENGINEERING, INC Contact Name: PAOLO MASTROSERIO  
Mailing Address: 170 SE 32ND PLACE City: OCALA  
State: FL Zip Code: 34471 Phone # 352-433-2185  
Email address: PAOLO@MASTROSERIOENG.COM

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.13.3 TYPE OF STORMWATER FACILITY CRITERIA  
Reason/Justification for Request (be specific): A waiver is requested to reduce DRA 2 berm width from 12 feet wide to 8 feet wide with a 6% cross slope. This allows us to provide a 6 feet depth in the pond. DRA 1 will be constructed with a 12 feet berm with 6% cross slope. Both DRAs are privately owned and maintained.

**DEVELOPMENT REVIEW USE:**

Received By: email 7/30/2025 Date Processed: 8/1/2025 Project # 2023050058 AR # 32544

**ZONING USE:** Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐  
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes ☐ No ☐  
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_

Revised 6/2021

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**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code (be specific) LDC 2.12.8 - CURRENT BOUNDARY AND TOPOGRAPHIC SURVEY

Reason/Justification for Request (be specific): Request to reaffirm the waiver approved with the preliminary plat on June 3, 2025 to use the survey submitted. No changes have been made to the site.

Section & Title of Code (be specific) 2.21.4 - CONSTRUCTION, COMPLETION, AND CLOSE OUT

Reason/Justification for Request (be specific): A waiver is requested to allow the commencement of construction prior to improvment plan approval and approve early site work permit. Only earthwork is requested with this waiver and this construction is at the developer's risk.

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_



# WESTWOOD TRAILS (fka VILLA VERDE PUD) IMPROVEMENT PLAN

## CONSTRUCTION NOTES:

1. REPRODUCTION OF THESE PLANS ARE NOT VALID UNLESS SIGNED & SEALED BY THE SURVEYOR AND ENGINEER IN RESPONSIBLE CHARGE. VALID PLANS MUST BE SIGNED AND SEALED WITH RAISED EMBOSSED SEALS. COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND THE PROFESSIONAL ENGINEER WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT UNAUTHORIZED CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.

2. CHANGES TO THESE PLANS ARE NOT VALID UNLESS PRIOR APPROVAL IS RECEIVED FROM BOTH THE APPROPRIATE GOVERNMENT AGENCIES AND THE PROJECT ENGINEER.

3. EXISTING IMPROVEMENTS ON THE SITE ARE AS SHOWN ON THE SURVEY. ALL EXISTING IMPROVEMENTS MAY NOT BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM A SITE INVESTIGATION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES OR FINDINGS TO THE PROJECT ENGINEER AND SURVEYOR. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION AND SHALL REMAIN IN DIRECT CONTACT WITH THE UTILITY COMPANIES THROUGHOUT THE ENTIRE PROJECT. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. MARION COUNTY SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.

4. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT REGULATIONS, THE MARION COUNTY WATER & SEWER CONSTRUCTION MANUAL, AND THE SAINT JOHN'S WATER MANAGEMENT DISTRICT REGULATIONS.

5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN CERTIFIED AS-BUILT DRAWINGS FROM A LICENSED SURVEYOR. THE CONTRACTOR SHALL SUBMIT THE AS-BUILT DRAWINGS TO THE PROJECT ENGINEER ONCE ALL CONSTRUCTION IS COMPLETED.

6. AFTER AND/OR DURING THE CLEARING AND GRUBBING PHASE OF THE SITE, A BURN PERMIT MUST BE OBTAINED IF BURNING IS TO TAKE PLACE ON-SITE.

7. ALL DRAINAGE FACILITIES MUST BE COMPLETED AND INSTALLED PRIOR TO CONSTRUCTION OF IMPROVED AREAS. THE DRAINAGE RETENTION AREAS SHALL BE EXCAVATED TO WITHIN 1 FOOT OF THE PROPOSED BOTTOM. AFTER CONSTRUCTION OF THE ROAD IS COMPLETE AND PRIOR TO FINAL FLOODING OF THE DRAINAGE RETENTION AREA, THE DRAINAGE RETENTION AREA SHALL BE EXCAVATED TO THE DESIGN BOTTOM ELEVATION. SOIL AT THE BOTTOM OF THE DRAINAGE RETENTION AREA SHALL BE UNDISTURBED AND OF SUITABLE MATERIAL.

8. ALL EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION. TYPE II SILT FENCE SHALL BE INSTALLED ALONG APPROPRIATE LOCATIONS ALONG THE SIDE OF THE CONSTRUCTION AREA. THE SILT FENCE SHALL BE INSPECTED AT LEAST TWICE A WEEK OR AFTER EACH STORM EVENT IN ORDER TO ENSURE PROPER FUNCTION. THE PROPER FUNCTION OF THE SILT FENCE SHALL BE MAINTAINED AT ALL TIMES. ANY INCIDENT OF EROSION, SEDIMENTATION, DEBRIS OR OIL OCCURRING ON-SITE OR OFF-SITE SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.

9. IF A VEHICLE SHOULD FORM ON THE SITE, ALL APPLICABLE PROCEDURES REQUIRED BY THE WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT AGENCIES SHALL BE FOLLOWED. THE PROJECT ENGINEER, WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT AGENCIES SHALL BE NOTIFIED IMMEDIATELY FOR REPAIR PROCEDURES.

10. IF DURING ROAD CONSTRUCTION ANY UNSUITABLE MATERIALS ARE ENCOUNTERED, A MINIMUM OF TWO FEET OF UNDERFILL WILL BE REQUIRED FROM THE BOTTOM OF THE UNDERLAY BASE. THE BACK-FILL MATERIAL SHALL BE OF SUITABLE MATERIAL. THE CONTRACTOR MUST CONTACT THE PROJECT ENGINEER PRIOR TO UNDERCUTTING.

11. THE ROAD CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL APPLICABLE UTILITY COMPANY CONSTRUCTION AND INSTALLATION. THE CONTRACTOR MUST ASSURE THAT ALL UTILITY CONDUIT, CROSSINGS, AND IMPROVEMENTS DO NOT CONFLICT WITH OTHER UNDERGROUND UTILITIES SUCH AS POTABLE WATER, SANITARY SEWER, AND STORMWATER FACILITIES.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL VEHICULAR & PEDESTRIAN ACCESS IS MAINTAINED IN A SAFE AND OPERABLE MANNER.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONUMENTATION (TEMPORARY OR PERMANENT) CONSTRUCTION STAKING THAT HAVE BEEN REPLACED OR DESTROYED DUE TO THE CONTRACTORS CONSTRUCTION. THE CONTRACTOR SHALL REPLACE ALL STAKING & MONUMENTATION TO BE DONE BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

14. THE CONTRACTOR SHALL COORDINATE WITH THE DEVELOPER ANY MOVEMENT REQUIREMENTS IN THE ROADWAYS FOR IRRIGATION LINES AND OTHER UTILITIES.

15. ALL QUALITY CONTROL & DENSITY TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TESTING.

16. ALL SUITABLE MATERIAL SHALL BE STOCKPILED ON-SITE AT A LOCATION DETERMINED BY THE PROJECT ENGINEER AND/OR DEVELOPER. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM OFF-SITE UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER AND/OR DEVELOPER.

17. ANY WORK PROPOSED IN THE COUNTY RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT. THE RIGHT OF WAY PERMIT MUST BE OBTAINED FROM THE MARION COUNTY ENGINEERING DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ANY CONSTRUCTION IN THE RIGHT OF WAY SHALL CONFORM TO CONSTRUCTION STANDARDS CONTAINED IN:

A) THE MARION COUNTY LAND DEVELOPMENT REGULATIONS FOR MATERIAL REQUIREMENTS & QUALITY CONTROL.

B) THE ROADWAY & TRAFFIC DESIGN STANDARDS.

C) FOOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. (UNLESS OTHERWISE SPECIFIED IN THESE PLANS).

18. ALL AREAS DISTURBED IN THE CONSTRUCTED RIGHT OF WAY SHALL BE RESTORED AND SODED. ALLOW FOR SOO WITH A 4" UNDERCUT. OTHER AREAS DISTURBED AFTER CONSTRUCTION SHALL BE GRADED, UNLESS SOO IS SPECIFICALLY PROPOSED.

19. TRAFFIC CONTROL & DEVICES IMPLEMENTED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH:

A) THE MARION COUNTY LAND DEVELOPMENT REGULATIONS.

B) FOOT MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET & HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS.

C) FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION.

20. ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT REGULATIONS, AND IN CONFORMANCE WITH ALL APPLICABLE FOOT STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATIONS. TRAFFIC PAINT SHALL BE TO MEET FOOT T-1, T-2 AND HIGH INTENSITY THERMOPLASTIC.

21. THE UTILITIES CONTRACTORS SHALL BE RESPONSIBLE FOR ACQUIRING ANY CONSTRUCTION PERMITS NECESSARY PRIOR TO CONSTRUCTION. UTILITY COMPANIES SHALL SUBMIT TO THE PROJECT ENGINEER FOR APPROVAL A WRITTEN REQUEST TO INSTALL ANY EASEMENTS SHOWN ON THESE PLANS OR IN AREAS NOT PRESENTLY DESIGNATED AS A UTILITY EASEMENT, PRIOR TO CONSTRUCTION.

22. THE MINIMUM STRENGTH FOR ANY CONCRETE CONSTRUCTION SHALL BE 3000 PSI AT 28 DAYS UNLESS OTHERWISE INDICATED ON THESE PLANS.

23. EXISTING TREES TO REMAIN SHALL HAVE ANY LOW LIMBS TRIMMED TO ALLOW AERIAL CLEARANCE FOR VEHICLES AND TO ROOT PROTECTION. OTHER FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTIONS 110-2.3 AND 110-3.1 AERIAL UTILITIES SHALL BE 10 MINIMUM ABOVE CENTRAL LINE OF ROAD.

24. AREAS AROUND ANY PROPOSED PIPE ENDS SHALL BE FINISH GRADED AND SOODED FOR A MINIMUM 10' ALL DIRECTIONS OR AS SPECIFIED ON THESE PLANS. SHALE ELEVATION TRANSITIONS TO PIPE ENDS SHALL BE 25 FEET UNLESS OTHERWISE SHOWN ON PLANS.

25. CONTRACTOR SHALL CLEAN OUT ALL PROPOSED CROSS DRAINS AFTER PLACEMENT OF SOO OR GRASS AND MULCH.

26. DELINEATORS ARE TO BE LOCATED AT EACH END OF CROSS DRAINS HAVING INTERED ENDS. INSTALLATION SHALL BE A MINIMUM 4' FROM OUTSIDE EDGE OF SHOULDER. TOP OF DELINEATOR SHALL NOT BE LESS THAN 4' ABOVE FINISH GRADE.

## UTILITY PROVIDERS:

POWER (EECO) (352) 237-4107  
CABLE/TELEPHONE (COX) (352) 433-2338  
GAS (TECO) (352) 623-2111  
WATER & SEWER (MARION COUNTY) (352) 307-4000

## SUNSHINE STATE

ONE CALL  
CALL BEFORE YOU DIG  
1-800-424-7770



Know what's below.  
Call before you dig.

SCALE:  
1"=200'

## ENGINEER

MASTROSERIO ENGINEERING, INC.  
PAOLO MASTROSERIO, P.E.  
170 SE 32ND PLACE, OCALA, FL 34471  
PHONE: (352) 433-2185  
EMAIL: PAOLO@MASTROSERIOENG.COM

## SURVEYOR

ROONEY & ROGERS, PSM  
ROGERS ENGINEERING, LLC  
1105 E. 3RD AVENUE, SUITE 311  
OCALA, FLORIDA 34471  
PHONE: (352) 222-9214

## OWNER/DEVELOPER

FUN N GAMES, LLC  
CONTACT: JON KURTZ, MGR  
200 N.E. 20TH AVENUE, SUITE 311  
OCALA, FLORIDA 34471  
PHONE: (352) XXX-XXXX

## CONTRACTOR

MASTROSERIO ENGINEERING, INC.  
CA# 26159  
170 SE 32ND PLACE  
OCALA, FL 34471  
PH: (352) 433-2185  
PAOLO@MASTROSERIOENG.COM

## DRAWING FILE:

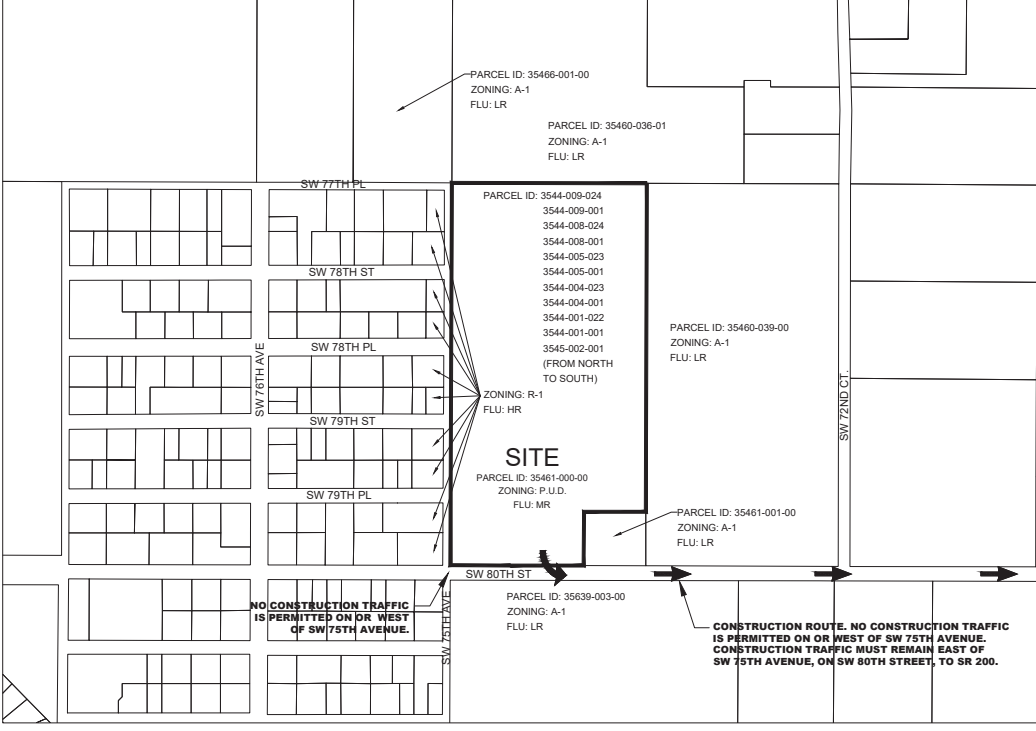
TITLE  
DATE: 02-21-25  
CHECKED BY: PM

## DESIGNED BY:

PM  
DRAWN BY: WPD  
CHECKED BY: PM

## LOCATION MAP

SEC. 7, TWP. 16, RGE. 21  
MARION COUNTY, FLORIDA



## DATA BLOCK OF SITE COVERAGE:

TOTAL SITE AREA = 789,902 S.F. OR 18.13 AC.

IMPERVIOUS COVERAGE:  
LOTS (3.04 S.F. PER LOT) X 60  
ROADWAY / CURB / SIDEWALK / DRIVEWAY  
TOTAL IMPERVIOUS AREA  
OPEN AREA

223,698 S.F. (28.32%)  
103,142 S.F. (13.06%)  
326,840 S.F. (41.38%)  
79,922 S.F. (10.22%)

TOTAL NON-OPEN SPACE AREA  
399,665 S.F. (50.60%)

REQUIRED OPEN SPACE:  
PROVIDED OPEN SPACE:

157,580 SF (20%)  
399,665 SF (50.60%)

NOTE: IMPERVIOUS COVERAGE STATED ABOVE IS ESTIMATED. THE TOTAL POST-DEVELOPMENT IMPERVIOUS AREA WILL NOT EXCEED THIS AREA.

## PROJECT LOTS AND MILES OF ROAD:

THIS PROJECT CONTAINS SIX SINGLE FAMILY LOTS AND 0.59 MILES OF ROAD.

## ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED. THE DRAINAGE ACCESS MEETS FOOT RIGHT DISTANCE REQUIREMENTS.

I, PAOLO MASTROSERIO, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 10871, HAVE REVIEWED THESE PLANS AND I HAVE SIGNED AND SEALED THEM. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I, FUN N GAMES, LLC, HAVE REVIEWED THESE PLANS AND I HAVE SIGNED AND SEALED THEM. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I, JON KURTZ, MGR, HAVE REVIEWED THESE PLANS AND I HAVE SIGNED AND SEALED THEM. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I, PAOLO MASTROSERIO, P.E., HAVE REVIEWED THESE PLANS AND I HAVE SIGNED AND SEALED THEM. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I, PAOLO MASTROSERIO, P.E., HAVE REVIEWED THESE PLANS AND I HAVE SIGNED AND SEALED THEM. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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I, PAOLO MASTROSERIO, P.E., HAVE REVIEWED THESE PLANS AND I HAVE SIGNED AND SEALED THEM. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

## GENERAL NOTES:

1. THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY ROGERS ENGINEERING, LLC.
2. TREE SURVEY WAS PROVIDED BY ROGERS ENGINEERING, INC.
3. COPIES OF PERMITS FROM ALL APPROPRIATE AGENCIES SHALL BE PROVIDED ONCE APPROVAL IS OBTAINED FROM SUCH AGENCIES.
4. ALL ROAD PAVEMENT IN THIS SITE WILL BE DESIGNED FOR ELEVATIONS ABOVE THE 100% R&H MAXIMUM STAGE ELEVATION OF ADJACENT LOW LYING AREAS.
5. A TRAFFIC STUDY HAS BEEN APPROVED FOR THIS DEVELOPMENT.
6. ALL LANDSCAPING SHALL COMPLY WITH THE MARION COUNTY LAND DEVELOPMENT REGULATIONS.
7. THE DEVELOPER SHALL CONSTRUCT, LANDSCAPE, IMPROVE, AND MAINTAIN ALL OF THE COMMON AREAS AND GREEN SPACE AS SHOWN ON THESE PLANS.
8. THE REQUIRED BUFFERS AND SETBACKS ARE AS SPECIFIED IN THESE PLANS.
9. MASTROSERIO ENGINEERING, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
10. AN "AS-BUILT" CERTIFICATION WILL BE REQUIRED BY THE PROJECT ENGINEER AND ALL REGULATORY REVIEW AGENCIES INVOLVED IN THIS PROJECT.
11. AT THE END OF THE PROJECT CONSTRUCTION, THE PROJECT ENGINEER SHALL PROVIDE TO THE APPROPRIATE AGENCIES, AN ELECTRONIC FILE CONTAINING THE PROJECT DEVELOPMENT PLANS IN AUTOCAD FORMAT.
12. AN ENVIRONMENTAL ASSESSMENT HAS BEEN COMPLETED AND SUBMITTED.

## WATER AND SEWER NOTES:

1. WATER SUPPLY SHALL BE PROVIDED VIA A CONNECTION TO EXISTING WATER MAIN. THE DISTRIBUTION SYSTEM SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE. WATER SYSTEM TO BE DESIGNATED TO MARION COUNTY UTILITIES UPON COMPLETION AND ACCEPTANCE BY MARION COUNTY.
2. SEWAGE COLLECTION SHALL BE PROVIDED VIA A CONNECTION TO A PROPOSED GRAVITY SEWER SYSTEM FLOWING TO A PROPOSED LIFT STATION ON-SITE, AND SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE. SEWER SYSTEM TO BE DESIGNATED TO MARION COUNTY UTILITIES UPON COMPLETION AND ACCEPTANCE BY MARION COUNTY.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PEP A MARION COUNTY SPECIFICATIONS.
4. WATER USAGE = 28,800 GPD
5. SEWER USAGE = 21,800 GPD
6. NO CONFLICT WITH ANY WATER AND SEWER SERVICE WITH ANY CONCRETE SURFACE SHALL BE ALLOWED. ANY CONFLICT FOUND BEFORE OR AFTER ACCEPTANCE SHALL BE RELOCATED AT DEVELOPER'S EXPENSE.

## PROPERTY INFORMATION:

1. PROJECT IS LOCATED IN THE SOUTHWESTERN SECTION OF MARION COUNTY, FLORIDA.
2. THE PROPERTY IS PRESENTLY ZONED PUD.
3. THIS PROJECT SHALL BE DEVELOPED BY FUN N GAMES, LLC.

## CHARACTER OF DEVELOPMENT NOTE:

THIS SITE IS PROPOSED A SINGLE FAMILY RESIDENTIAL DEVELOPMENT CONTAINING DETACHED HOMES.

## SPRINGS PROTECTION ZONE NOTE:

THIS SITE LIES WITHIN THE SECONDARY SPRINGS PROTECTION ZONE.

## SITE LIGHTING NOTE:

NO OUTDOOR STREET LIGHTING IS PROPOSED. HOWEVER, ALL FUTURE EXTERIOR LIGHTING SHALL BE SHIELDED AND COMPLIANT WITH LDC SEC. 6.19.

## PLAN DATUM AND BENCHMARK NOTE:

PLAN DATUM IS BASED ON THE NORTH AMERICAN DATUM OF 1983. BENCHMARK IS MARION COUNTY VERTICAL CONTROL POINT "MARTEL RM 4", PUBLISHED ELEVATION = 46.86.

## CONSTRUCTION INSPECTION NOTE:

UTILITY INSTALLATION PROJECTS SHALL BE INSPECTED BY MCOA. A PRE-CONSTRUCTION MEETING SHALL BE ORGANIZED WITH THE MCOA. CONSTRUCTION OFFICER 72 HOURS PRIOR TO START OF CONSTRUCTION. CALL 352-307-6163 TO SCHEDULE MEETING.

## SW 80TH AVENUE ROAD SIGHT DISTANCE NOTE:

ROADWAY CONNECTION TO SW 80TH AVENUE ROAD MEET FOOT RIGHT DISTANCE CRITERIA.

## PUD & MASTER PLAN APPROVAL:

PUD RESOLUTION 23-0478

MASTER PLAN APPROVAL - PENDING

## APPROVED PRELIMINARY PLAT WAIVERS:

ARW3232 PRELIMINARY PLAT

CODE REFERENCE	DESCRIPTION	STATUS	CONDITIONS	DATE
612.9	SUBDIVISION & RELATED INFRASTRUCTURE	APPROVED	DEVELOPER TO INSTALL ADVANCED WARNING SIGNS ON CURVES THAT DO NOT MEET 100% R&H	8-23-20
212.8	TOPOGRAPHIC CONTOURS	APPROVED		8-23-20

## REQUESTED WAIVERS:

ARW3234 IMPROVEMENT PLAN

CODE REFERENCE	DESCRIPTION	STATUS	CONDITIONS	DATE
613.3	DRY BEAM WIDTH	SUBMITTED		8-24-20

PROJECT TITLE: WESTWOOD TRAILS (fka VILLA VERDE PUD) IMPROVEMENT PLAN  
LOCATION: MARION COUNTY, FLORIDA, SEC. 7, TWP. 16, RGE. 21

TITLE: TITLE SHEET

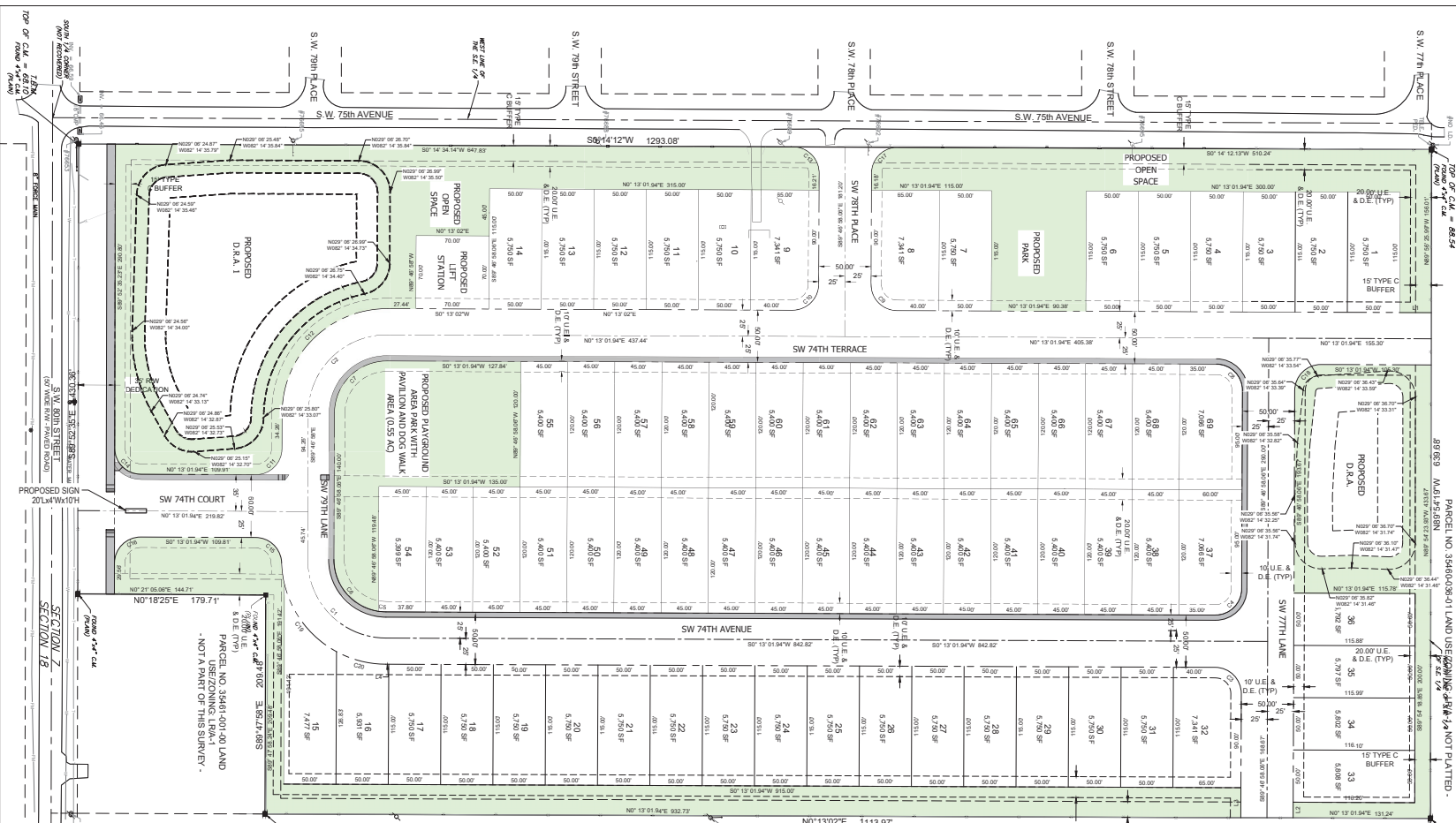
JOB#: 23-12

SHEET  
C1 OF 23

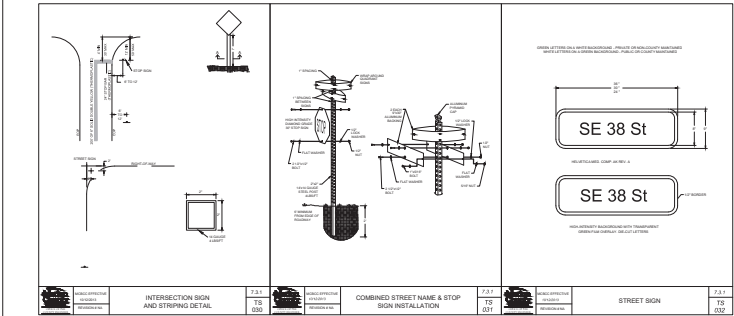
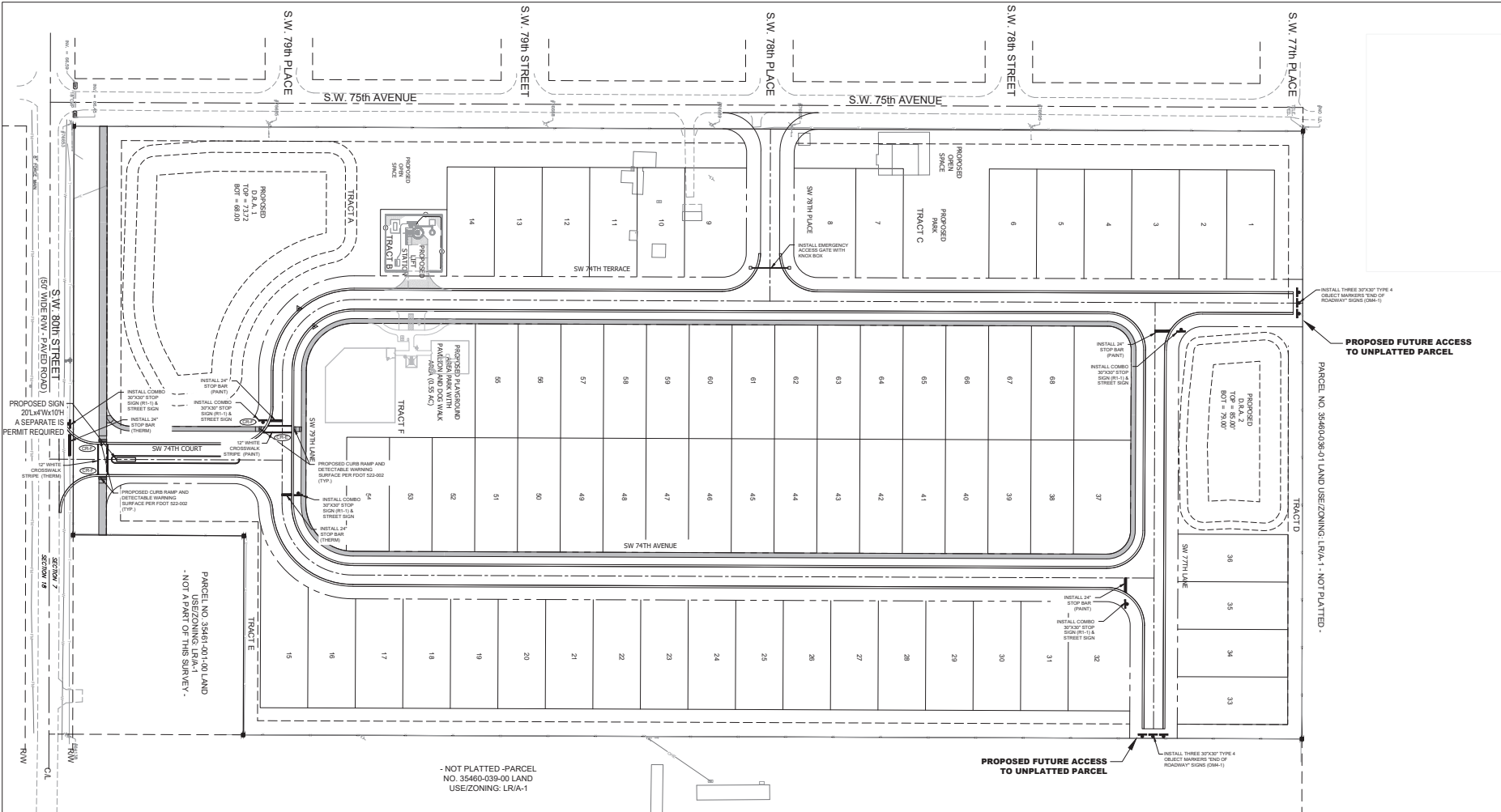




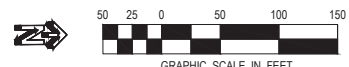









- SIGNAGE & STRIPING NOTES:**
1. ALL PAVEMENT MARKINGS WITHIN MARION COUNTY RIGHT-OF-WAY AND PAVEMENT MARKINGS INDICATED WITH "STRIPES" SHALL BE THERMOPLASTIC.
  2. ALL PROPOSED STOP, STREET, ADVISORY, AND OTHER SIGNAGE TO BE NEW UNLESS INDICATED OTHERWISE ON THESE PLANS AND MEET THE SPECIFICATIONS OUTLINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION).
  3. ALL SIGNAGE SHALL BE FABRICATED USING 3M DIAMOND GRADE VIP REFLECTIVE SHEETING.
  4. ALL SIGNAGE TO BE NEW UNLESS OTHERWISE INDICATED ON THESE PLANS.
  5. SIGNS SHALL HAVE 7' OF CLEARANCE FROM BOTTOM OF SIGN TO FINISH GRADE.

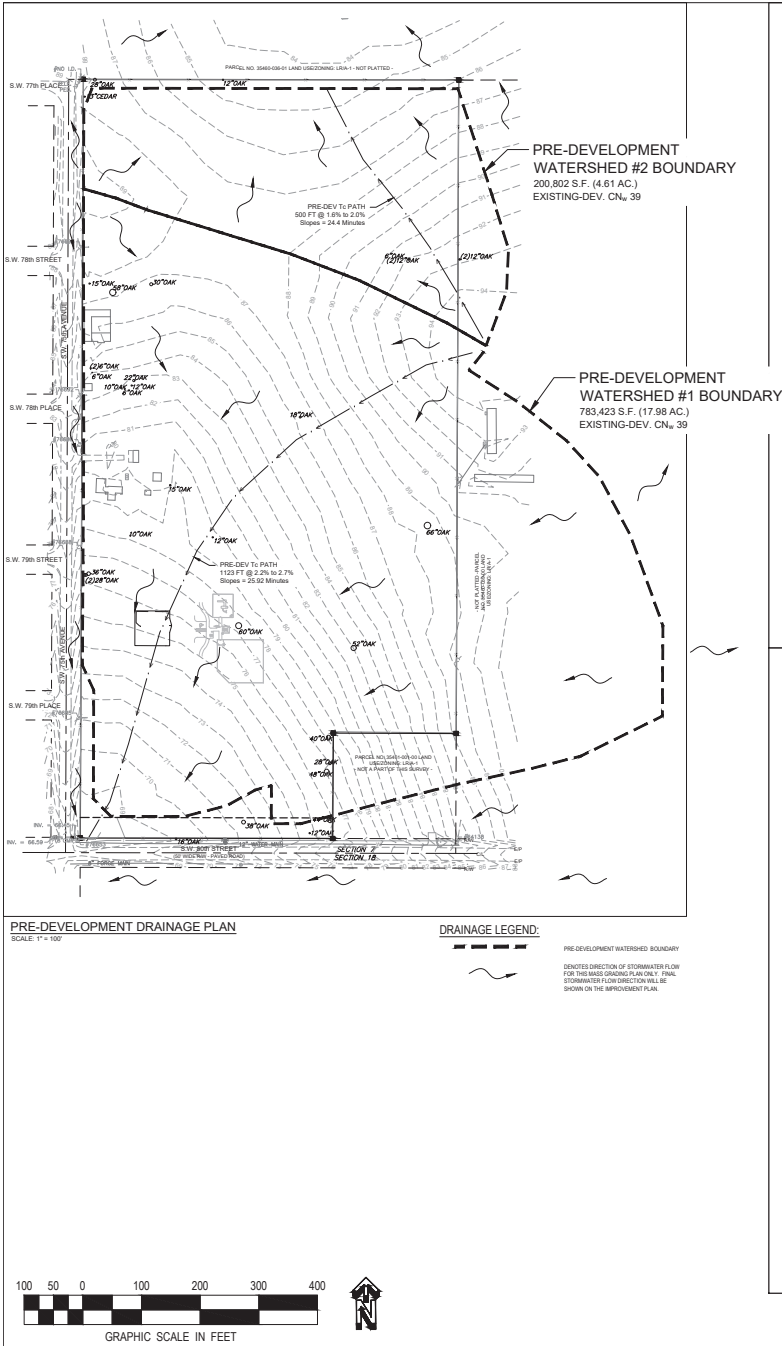


SHEET C4 OF 23		JOB#: 23-12		SCALE: 1" = 50'		PROJECT: WESTWOOD TRAILS (VIA VILLA VERDE PUD) IMPROVEMENT PLAN MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21				MASTROGRO ENGINEERING, INC CIVIL / ENVIRONMENTAL / SITE DESIGN 1701 SE 32ND PLACE OCALA, FL 34471 PH: (352) 463-2185 PAUL@MASTROGROENGINEERING.COM		ENGINEER'S CERTIFICATION:  MASTROGRO ENGINEERING, INC. CA #68189 PAUL C. MASTROGRO DATE: 02-21-25		DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 02-21-25		REGION DESCRIPTION: RESPONSE TO COUNTY PM 1	
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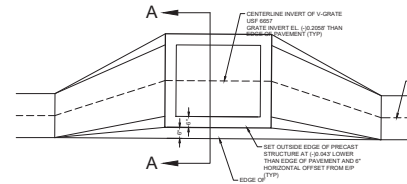
WATERSHED RUNOFF CALCULATIONS FOR VILLA VERDE PUD									
RAINFALL DATA		24-HOUR RAINFALL (INCHES) =		10.0		10.0			
PRE WATERSHED #1 =		10000 FT <sup>2</sup> =		17.88 ACRES					
SOIL TYPE		PERCENT		CURVE #		OVERALL OPEN AREA		CONCENTRATION CURVE # =	
A		0		77					
B		0		85					
C		0		90					
D		0		95					
		HYDROGRAPH SHAPE FACTOR =		484					
		ACS RUNOFF CALCULATION		Q =		C <sub>1</sub> S <sub>1</sub> C <sub>2</sub> S <sub>2</sub>		N = 0.250	
		FT <sup>2</sup> =		ACRES		DECIMAL		C <sub>2</sub> =	
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STORM STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
DS-1.1	TYPE V INLET 60" ROUND P-8TM EIP EL. = 76.30 IE. IN = 71.10' IE. IN = 70.27' IE. IN = 70.27' IE. OUT = 68.30'	DP-1.2, 24"HDPE IE. IN +71.10' DP-1.4, 24"HDPE IE. IN +70.27' DP-1.8, 24"HDPE IE. IN +70.27'	DP-1.1, 36"HDPE IE. OUT +68.30'
DS-1.2	TYPE V INLET 60" ROUND P-8TM EIP EL. = 76.30' IE. IN = 71.33' IE. OUT = 71.23'	DP-1.3, 24"HDPE IE. IN +71.33'	DP-1.2, 24"HDPE IE. OUT +71.23'
DS-1.3	TYPE E INLET EIP EL. = 74.63 IE. OUT = 71.45'		DP-1.3, 24"HDPE IE. OUT +71.45'
DS-1.4	TYPE V INLET 48" ROUND P-8TM EIP EL. = 76.04 IE. IN = 73.00' IE. IN = 73.00' IE. OUT = 72.50'	DP-1.5, 18"HDPE IE. IN +73.00' DP-1.6, 18"HDPE IE. IN +73.00'	DP-1.4, 24"HDPE IE. OUT +72.50'
DS-1.5	TYPE V INLET 48" ROUND P-8TM EIP EL. = 76.21 IE. OUT = 73.27'		DP-1.5, 18"HDPE IE. OUT +73.27'
DS-1.6	TYPE V INLET 48" ROUND P-8TM EIP EL. = 84.38 IE. IN = 78.30' IE. OUT = 78.20'	DP-1.7, 18"HDPE IE. IN +78.30'	DP-1.6, 18"HDPE IE. OUT +78.20'
DS-1.7	TYPE V INLET 48" ROUND P-8TM EIP EL. = 84.38 IE. OUT = 78.55'		DP-1.7, 18"HDPE IE. OUT +78.55'
DS-1.8	48" MANHOLE RM EL. = 77.10' IE. IN = 70.84' IE. OUT = 70.72'	DP-1.9, 24"HDPE IE. IN +70.84'	DP-1.8, 24"HDPE IE. OUT +70.72'
DS-1.9	TYPE E INLET GRATE = 77.70 IE. IN = 73.30' IE. OUT = 71.87'	DP-1.10, 24"HDPE IE. IN +73.30'	DP-1.9, 24"HDPE IE. OUT +71.87'
DS-1.10	TYPE V INLET 48" ROUND P-8TM EIP EL. = 79.99 IE. IN = 74.30' IE. IN = 74.70' IE. IN = 74.70' IE. OUT = 74.20'	DP-1.11, 24"HDPE IE. IN +74.30' DP-1.14, 18"HDPE IE. IN +74.70' DP-1.20, 18"HDPE IE. IN +74.70'	DP-1.10, 24"HDPE IE. OUT +74.20'
DS-1.11	TYPE V INLET 48" ROUND P-8TM EIP EL. = 82.22 IE. IN = 76.90' IE. IN = 77.20' IE. OUT = 76.70'	DP-1.12, 24"HDPE IE. IN +76.80' DP-1.15, 18"HDPE IE. IN +77.20'	DP-1.11, 24"HDPE IE. OUT +76.70'
DS-1.12	TYPE V INLET 48" ROUND P-8TM EIP EL. = 85.34 IE. IN = 80.10' IE. OUT = 79.60'	DP-1.13, 18"HDPE IE. IN +80.10'	DP-1.12, 24"HDPE IE. OUT +79.60'
DS-1.13	TYPE V INLET 48" ROUND P-8TM EIP EL. = 85.34 IE. OUT = 80.35'		DP-1.13, 18"HDPE IE. OUT +80.35'
DS-1.14	TYPE V INLET 48" ROUND P-8TM EIP EL. = 79.99 IE. OUT = 74.95'		DP-1.14, 18"HDPE IE. OUT +74.95'
DS-1.15	TYPE V INLET 48" ROUND P-8TM EIP EL. = 82.22 IE. OUT = 77.45'		DP-1.15, 18"HDPE IE. OUT +77.45'
DS-1.16	TYPE V INLET 48" ROUND P-8TM EIP EL. = 74.94 IE. IN = 68.64' IE. OUT = 68.54'	DP-1.17, 18"HDPE IE. IN +68.64'	DP-1.16, 18"HDPE IE. OUT +68.54'
DS-1.17	TYPE V INLET 48" ROUND P-8TM EIP EL. = 74.94 IE. IN = 69.11' IE. OUT = 69.01'	DP-1.25, 18"HDPE IE. IN +69.11'	DP-1.17, 18"HDPE IE. OUT +69.01'
DS-1.18	18" CMES FDOT 430-021 IE. = 79.00'	DP-1.18, 18"HDPE IE. IN +79.00'	
DS-1.19	TYPE E INLET GRATE = 81.91' IE. OUT = 79.20'		DP-1.18, 18"HDPE IE. OUT +79.20'
DS-1.20	TYPE E INLET GRATE = 80.11' IE. IN = 76.10' IE. OUT = 76.00'	DP-1.21, 18"HDPE IE. IN +76.10'	DP-1.20, 18"HDPE IE. OUT +76.00'

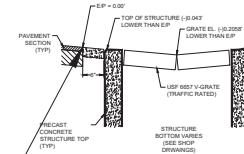
STORM STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
DS-1.21	TYPE E INLET GRATE = 81.92 IE. IN = 78.42' IE. OUT = 78.32'	DP-1.22, 18"HDPE IE. IN +78.42'	DP-1.21, 18"HDPE IE. OUT +78.32'
DS-1.22	TYPE E INLET GRATE = 83.88 IE. OUT = 80.67'		DP-1.22, 18"HDPE IE. OUT +80.67'
DS-1.23	18" CMES FDOT 430-022 IE. = 70.23'	DP-1.23, 18"HDPE IE. IN +70.23'	
DS-1.24	FDOT TYPE D INLET TRAVERSABLE SLOT EAST GRATE = 75.63, SLOT EL. = 75.05' IE. = 71.46'		DP-1.23, 18"HDPE IE. OUT +71.46'
DS-1.25	TYPE E INLET GRATE = 74.50 IE. OUT = 69.37'		DP-1.25, 18"HDPE IE. OUT +69.37'
DS-2.1	TYPE V INLET 48" ROUND P-8TM RM EL. = 84.78 IE. IN = 80.78' IE. IN = 79.79' IE. OUT = 79.29'	DP-2.2, 18"HDPE IE. IN +80.78' DP-2.8, 18"HDPE IE. IN +79.79'	DP-2.1, 24"HDPE IE. OUT +79.29'
DS-2.2	TYPE V INLET 48" ROUND P-8TM EIP EL. = 81.78 IE. IN = 81.01' IE. OUT = 80.91'	DP-2.3, 18"HDPE IE. IN +81.01'	DP-2.2, 18"HDPE IE. OUT +80.91'
DS-2.3	48" MANHOLE RM EL. = 85.18 IE. IN = 81.28' IE. OUT = 81.18'	DP-2.4, 18"HDPE IE. IN +81.28'	DP-2.3, 18"HDPE IE. OUT +81.18'
DS-2.4	TYPE C INLET GRATE = 84.88 IE. OUT = 81.53'		DP-2.4, 18"HDPE IE. OUT +81.53'
DS-2.5	TYPE V INLET 48" ROUND P-8TM EIP EL. = 85.84 IE. IN = 80.35' IE. OUT = 79.35'	DP-2.6, 24"HDPE IE. IN +80.35'	DP-2.5, 24"HDPE IE. OUT +79.35'
DS-2.6	TYPE V INLET 48" ROUND P-8TM EIP EL. = 85.84 IE. IN = 80.98' IE. OUT = 80.48'	DP-2.7, 18"HDPE IE. IN +80.98'	DP-2.6, 24"HDPE IE. OUT +80.48'
DS-2.7	TYPE E INLET GRATE = 85.50 IE. OUT = 82.35'		DP-2.7, 18"HDPE IE. OUT +82.35'
DS-2.8	TYPE V INLET 48" ROUND P-8TM EIP EL. = 87.53 IE. IN = 81.87' IE. OUT = 81.77'	DP-2.9, 18"HDPE IE. IN +81.87'	DP-2.8, 18"HDPE IE. OUT +81.77'
DS-2.9	TYPE E INLET GRATE = 85.14 IE. OUT = 82.14'		DP-2.9, 18"HDPE IE. OUT +82.14'
DS-OF1.1	36" CMES FDOT 430-021 IE. = 68.00' IE. IN = 68.00'	DP-1.1, 36"HDPE IE. IN +68.00'	
DS-OF1.2	18" CMES IE. = 68.00' IE. IN = 68.00'	DP-1.16, 18"HDPE IE. IN +68.00'	
DS-OF2.1	18" CMES IE. = 79.00'		
DS-OF2.2	24" CMES IE. = 79.00'		

**NOTE:**  
**ALL V INLET STRUCTURE ELEVATIONS SHOWN IN THE STRUCTURE TABLE ARE THE AT THE E/P. CENTERLINE OF THE ACTUAL GRATE INVERT IS 0.2058' LOWER THAN THE EDGE OF PAVEMENT. SEE DETAIL THIS SHEET.**

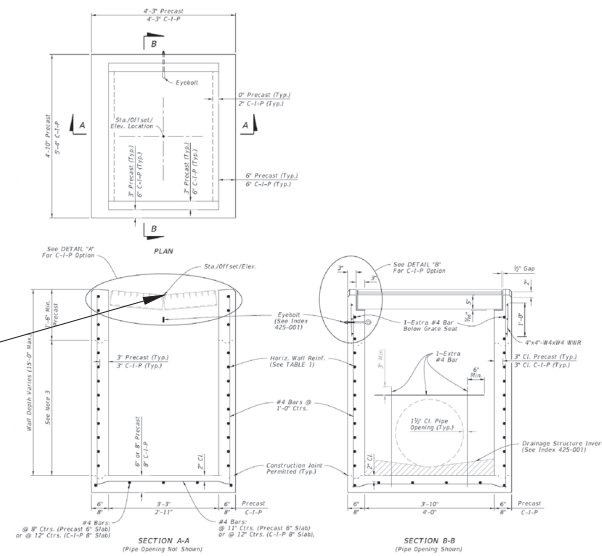


**TYPICAL TYPE V INLET TOP**

Reference FDOT Index 425-041

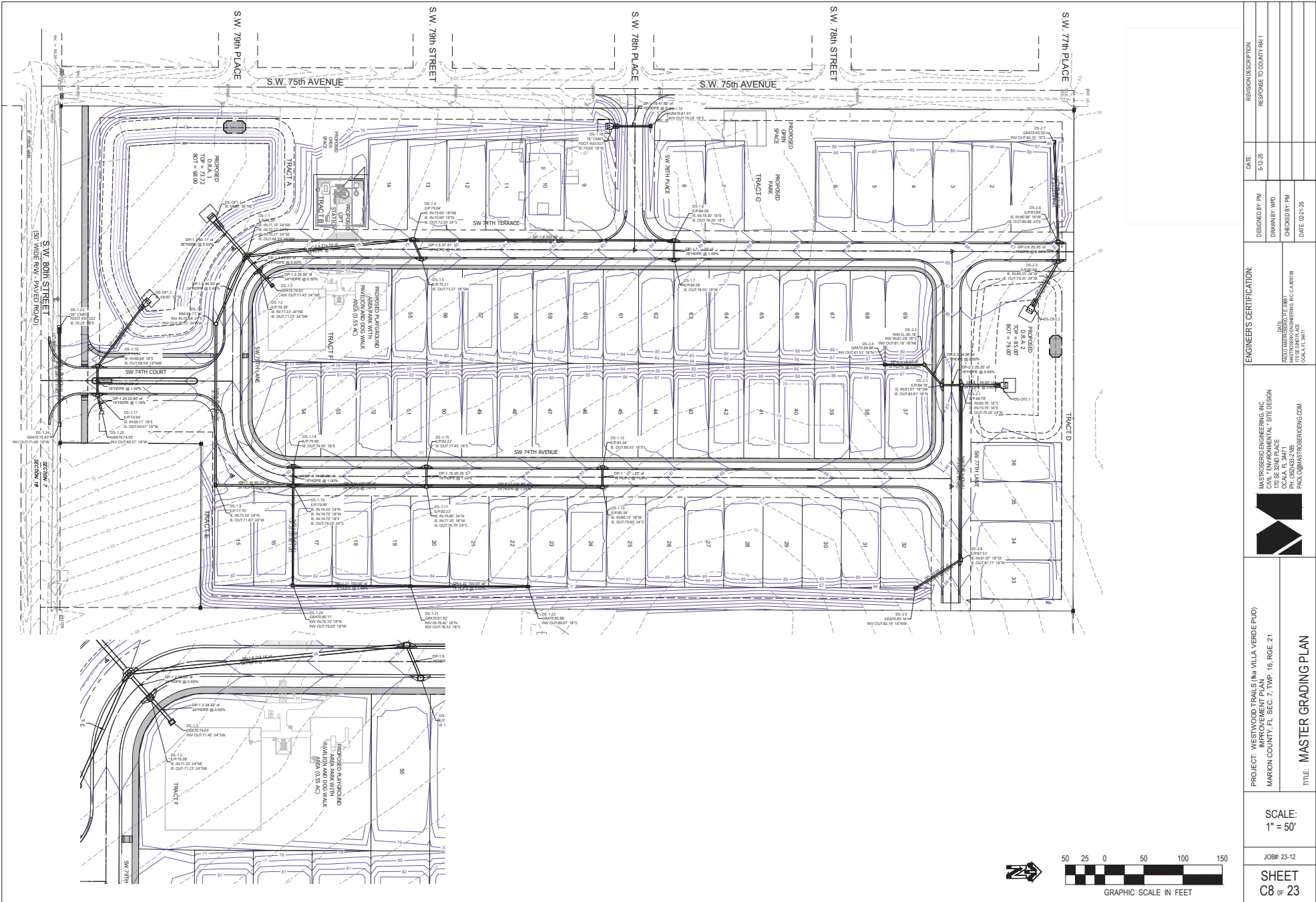


**TYPE V INLET SECTION A - A**



REGION DESCRIPTION: RESPONSE TO COUNTY PM 1		DATE: 6/15/25	
DESIGNED BY: PM	DRAWN BY: WPD	CHECKED BY: PM	DATE: 02/1/25
ENGINEER'S CERTIFICATION:		DATE: PROJECT MANAGER: J. L. BENT PROJECT ENGINEER: J. L. BENT PROJECT SUPERVISOR: J. L. BENT PROJECT ASSISTANT: J. L. BENT	
MASTROGRO ENGINEERING, INC. 1701 SE 20th PLACE Ocala, FL 34471 PH: (352) 463-2105 FAX: (352) 463-2106 EMAIL: JLB@MASTROGRO.COM		PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD) MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21	
TITLE: STORM STRUCTURE & PIPE TABLE		SCALE: NTS	
JOB#: 23-12		SHEET C7 OF 23	





REGION DESCRIPTION		DATE	DESIGNED BY: PM	ENGINEER'S CERTIFICATION:		MASTROGRO ENGINEERING, INC. 170 SE 20th PLACE OCALA, FL 34471 PH: (352) 463-2105 PM: PM@MASTROGROENGINEERING.COM	
RESPONSE TO COUNTY PM 1		6/15/25	DRAWN BY: WPD	DATE		PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD)	
			CHECKED BY: PM	DATE: 06/15/25		MARION COUNTY, FL SEC 7, TWP. 16, RGE. 21	
						TITLE: MASTER GRADING PLAN	
						SCALE: 1" = 50'	
						JOB#: 23-12	
						SHEET C8 OF 23	






**TYPICAL PAD GRADE  
(F.F.E. IS +0.67'  
ABOVE PAD GRADE)**

TYPE 'A' LOT  
TYPICAL LOT GRADING PLAN  
NOT TO SCALE

TYPE 'B' LOT  
TYPICAL LOT GRADING PLAN  
NOT TO SCALE

TYPE 'C' LOT  
TYPICAL LOT GRADING PLAN  
NOT TO SCALE



PROJECT: WESTWOOD TRAILS (Via VILLA VERDE PUD) IMPROVEMENT PLAN MARION COUNTY, FL. SEC. 7, TWP. 16, RGE. 21				MASTROSERO ENGINEERING, INC. CIVIL / ENVIRONMENTAL / SITE DESIGN 10000 W. PALM BLVD., SUITE 200 COVINGTON, LA 70421 PH: (504) 432-2185 PAOLO@MASTROSEROENG.COM		<b>ENGINEERS CERTIFICATION:</b>  DATE: 05/21/2018 DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 02/21/25		REVISION DESCRIPTION: RESPONSE TO COUNTY PA1	
SCALE: 1" = 50'		TITLE: LOT GRADING PLAN							
JOB#: 23-12		SHEET C09 OF 23							










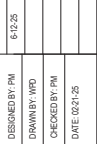
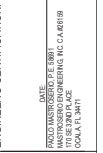
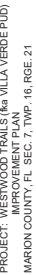
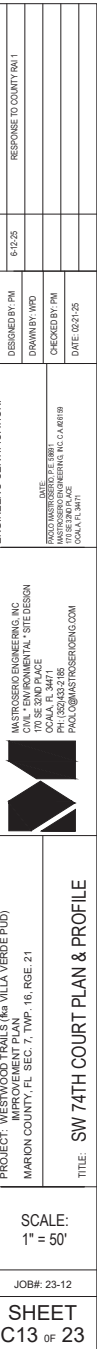
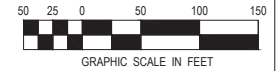
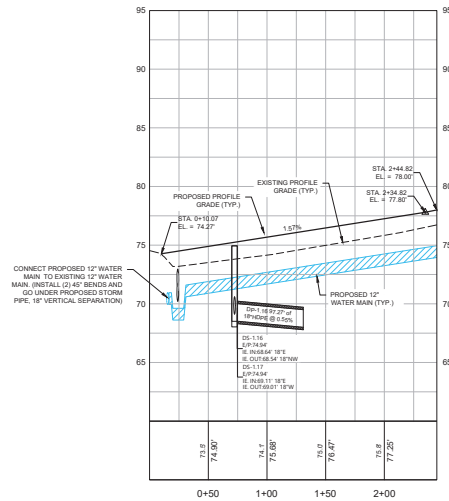
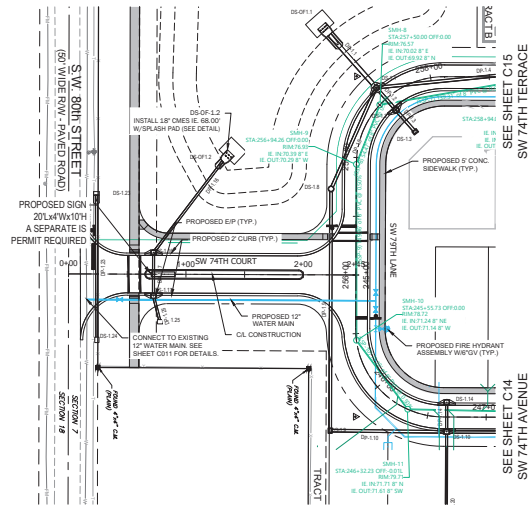


PROJECT: WESTWOOD TRAILS (La Villa Verde PUD) IMPROVEMENT PLAN MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21		 <p>MATROSOFF ENGINEERING, INC. CIVIL &amp; ENVIRONMENTAL SITE DESIGN 170 SE 32ND PLACE OCALA, FL 34711 PH: (352) 432-185 FAX: (352) 432-186 PAC@JCMATROSOFF.COM</p>		ENGINEER'S CERTIFICATION:		REGION DESCRIPTION: RESPONSE TO COUNTY 904.1	
TITLE: SANITARY STRUCTURE & PIPE TABLE				DATE: DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 02/21/25		DATE: RESPONSE TO COUNTY 904.1	
SCALE: NTS							
JOB#: 23-12							
SHEET C12 OF 23							

JOB#: 23-12

SHEET  
12 OF 23

















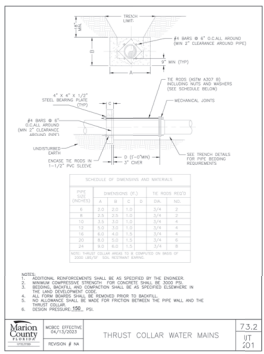
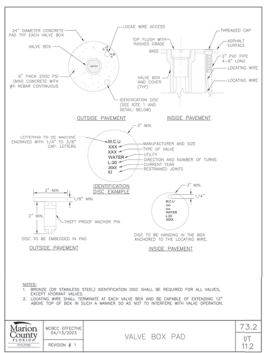
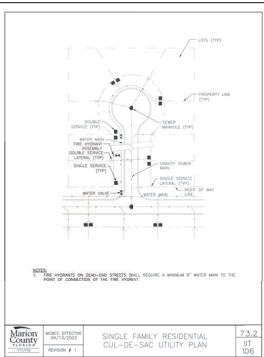
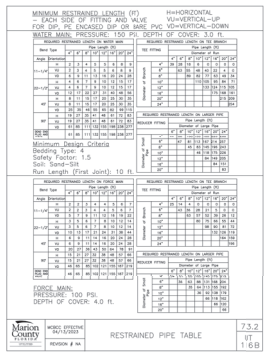
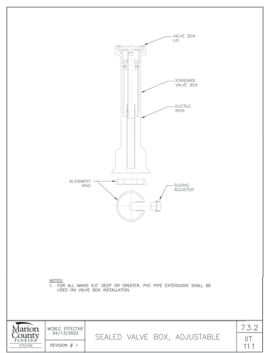
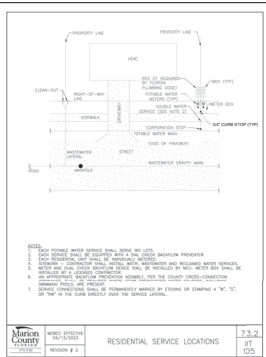
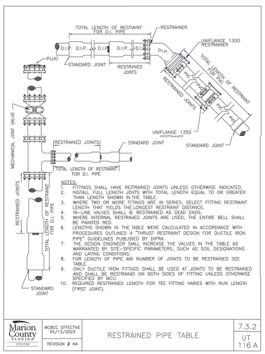
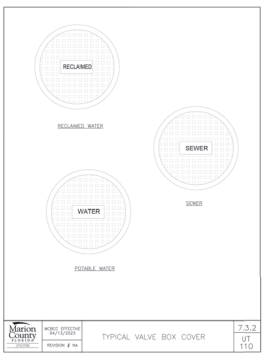
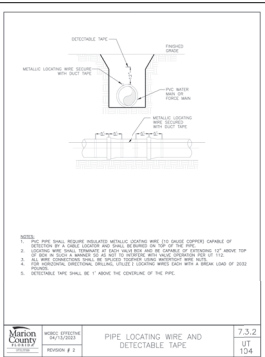
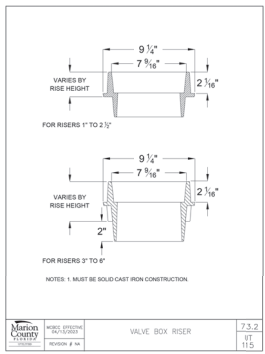
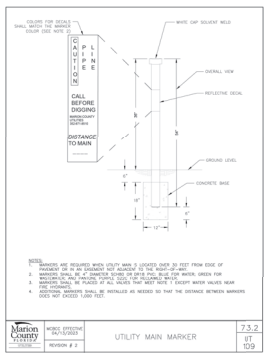
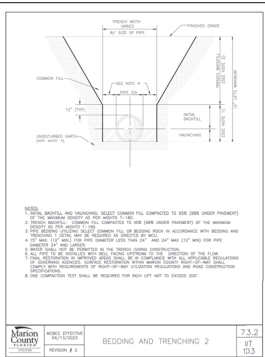
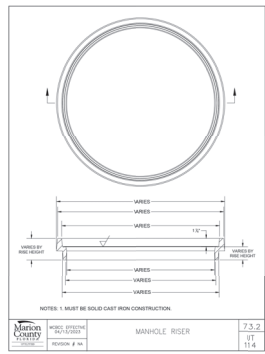
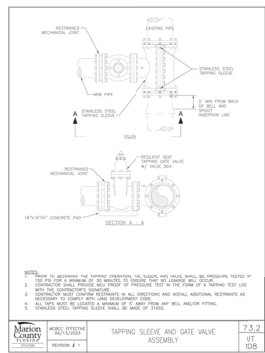
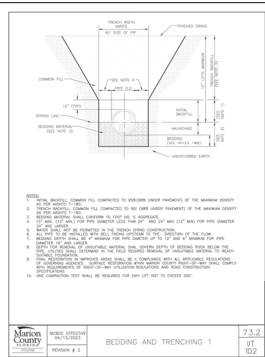
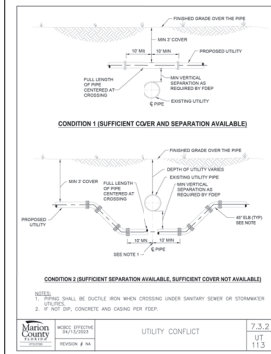
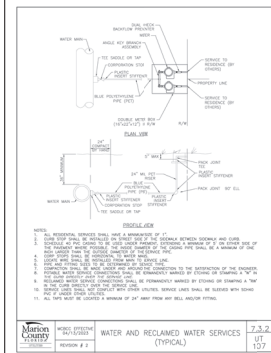
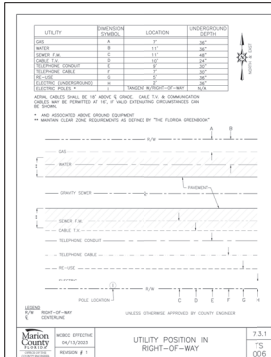






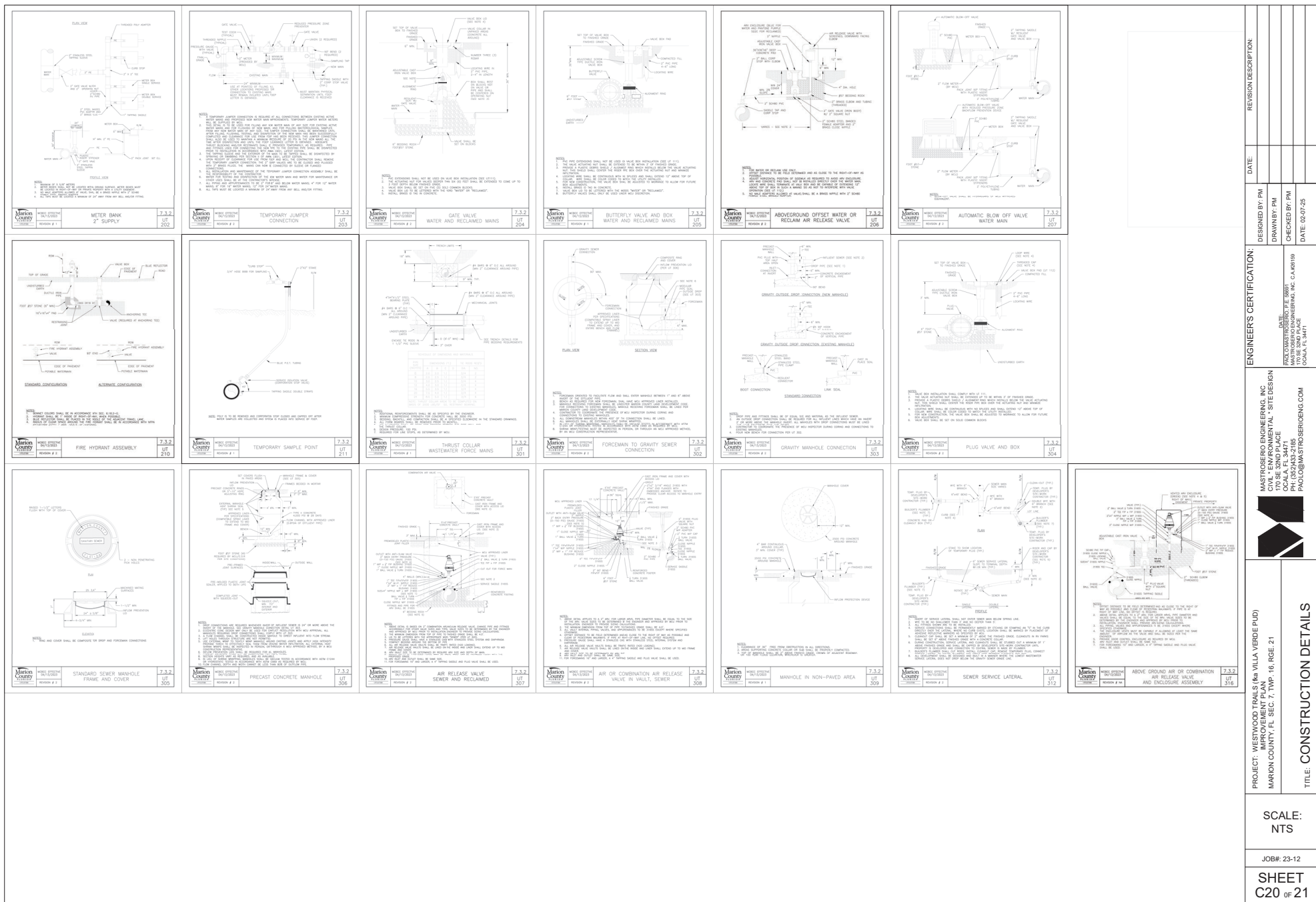
<p>1\"/&gt; </p>	<p>1\"/&gt; </p>	<p>SE 38 St</p> <p>SE 38 St</p> <p>1\"/&gt; </p>	<table><tr><td></td><td><table><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>INTERSECTION SIGN AND STRIPING DETAIL</b></p><p>7.3.1 TS 0.30</p></td></tr><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>COMBINED STREET NAME &amp; STOP SIGN INSTALLATION</b></p><p>7.3.1 TS 0.31</p></td></tr></table></td></tr><tr><td><p>1\"/&gt; </p></td><td><p>1\"/&gt; </p></td><td><p>SE 38 St</p><p>SE 38 St</p><p>1\"/&gt; </p></td><td><table><tr><td></td><td><table><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>STREET SIGN</b></p><p>7.3.1 TS 0.32</p></td></tr></table></td></tr></table></td></tr></table>		<table><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>INTERSECTION SIGN AND STRIPING DETAIL</b></p><p>7.3.1 TS 0.30</p></td></tr><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>COMBINED STREET NAME &amp; STOP SIGN INSTALLATION</b></p><p>7.3.1 TS 0.31</p></td></tr></table>	BOARD SPECIFICATIONS MATERIALS DIMENSIONS & FINISH	<p><b>INTERSECTION SIGN AND STRIPING DETAIL</b></p> <p>7.3.1 TS 0.30</p>	BOARD SPECIFICATIONS MATERIALS DIMENSIONS & FINISH	<p><b>COMBINED STREET NAME &amp; STOP SIGN INSTALLATION</b></p> <p>7.3.1 TS 0.31</p>	<p>1\"/&gt; </p>	<p>1\"/&gt; </p>	<p>SE 38 St</p> <p>SE 38 St</p> <p>1\"/&gt; </p>	<table><tr><td></td><td><table><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>STREET SIGN</b></p><p>7.3.1 TS 0.32</p></td></tr></table></td></tr></table>		<table><tr><td>BOARD SPECIFICATIONS MATERIALS DIMENSIONS &amp; FINISH</td><td><p><b>STREET SIGN</b></p><p>7.3.1 TS 0.32</p></td></tr></table>	BOARD SPECIFICATIONS MATERIALS DIMENSIONS & FINISH	<p><b>STREET SIGN</b></p> <p>7.3.1 TS 0.32</p>
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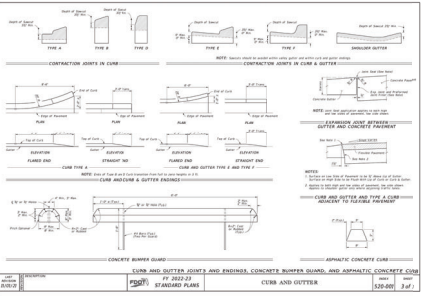



REVISION DESCRIPTION		ENGINEERS CERTIFICATION:	
DATE:		MASTROBERO ENGINEERING, INC.	PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD)
DESIGNED BY: PM		IMPROVEMENT PLAN	MARION COUNTY, FL SEC 7, TWP. 16, RGE. 21
DRAWN BY: PM		CONSTRUCTION DETAILS	
CHECKED BY: PM			
DATE: 02-07-25			



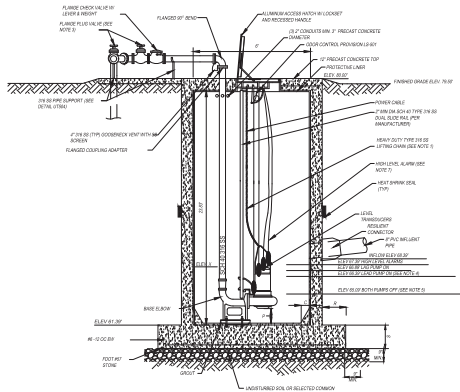






PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD) MARION COUNTY, FL SEC. 7, TYP. 16, RGE. 21			MASTROSERIO ENGINEERING, INC. CIVIL - ENVIRONMENTAL - SITE DESIGN 170 SE 3ND PLACE OCALA, FL 34471 PH: (352)433-2185 PAO.DIG@MASTROSERIOENG.COM		ENGINEER'S CERTIFICATION:  DATE: _____ PAOLO MASTROSERIO, P.E. 36961 MASTROSERIO ENGINEERING, INC. CA#00159 OCALA, FL 34471		REVISION DESCRIPTION:  DATE: _____
SCALE: NTS  JOB#: 23-12			DESIGNED BY: PM	DRAWN BY: PM	CHECKED BY: PM	DATE: 03-07-25	
SHEET C21 OF 21			TITLE: CONSTRUCTION DETAILS				





LIFT STATION PROFILE

- NOTES:
1. PUMP SHALL BE FITTED WITH A 1/2" DIA. TYPE 304 SS. 3/4" CHAIN ATTACHED TO THE LIFTING MECHANISM AND ANCHORED TO THE 1/2" DIA. CABLE PROVIDED BETWEEN THE CABLE HOLDER AND THE CHAIN.
  2. WALL SLUICE AND COMPRESSION SEALS SHALL BE COMPATIBLE WITH LINER.
  3. IF PLUG VALVE 44 IN. LEVER OPERATED, IF PLUG VALVE 44 IN. LEVER OPERATED, WELLS VALVE.
  4. ELEVATION 1 - ELEVATION 2 AS SHOWN.
  5. PUMP OF ELEVATION 2 TO BE PER MANUFACTURER'S MINIMUM BURST PRESSURE.
  6. SEE FUTURE UTILITY FOR DESCRIPTIONS OF DIMENSION SYMBOLS.
  7. INSTALLED TO PROVIDE DRY CONTACT FOR SIGNAL.
  8. ALL FLANGES, PIPE, VALVES AND APPURTENANCES SHALL HAVE 2# 304 SS WAREHOUSE.
  9. EMERGENCY PUMP OUT CONNECTION SHALL BE A 2" DIA. DISCONNECT HANG BY FLANGE (BAY 4) ASSEMBLY.
  10. FLOWMETER AND METER SHALL BE INSTALLED AS REQUIRED BY M.C.U. DETAIL SHOWING FLOWMETER AND COVER TO BE SUBMITTED TO M.C.U. APPROVED BY M.C.U.

MANUFACTURER'S FOOT  
MODE: 10/27/09 SH  
M.F. 11  
DIA. 14 IN.  
PRESS. 210 PSI  
OVERSPEED SIZE 3.125 IN.

VOLUME 400 F  
PAGE 1  
M.F. 11  
WELL SLOPE SIZE 3.125 IN.  
CURVE NUMBER 10-24-007

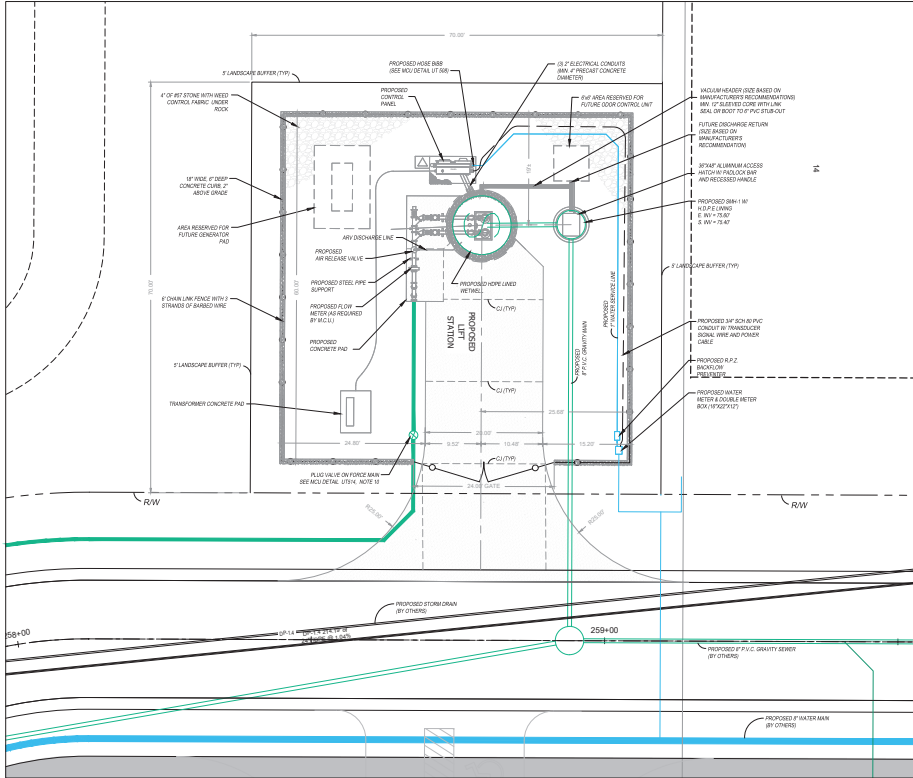
SHUT OFF HEAD: SEE PUMP CURVE FOR OPERATING RANGES  
HIGH HEAD CONDITION: SEE PUMP CURVE FOR OPERATING RANGES  
MINIMUM HEAD CONDITION: SEE PUMP CURVE FOR OPERATING RANGES

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	1" (MIN)	
DIAMETER OF WET WELL	B	6'	
WIDTH OF BOTTOM FILL	C	SEE NOTE 1	
CL OF WET WELL TO CL OF PIPES	D	SEE NOTE 1	
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 1	
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 1	
CENTER OF WET WELL TO EDGE OF HATCH	G	SEE NOTE 1	
UP WIDTH OF WETWELL BASE	H	12"	
THICKNESS OF WETWELL BASE	I	12"	
TOP OF WET WELL	J	==	80.00'
FINISHED GRADE	K	==	79.00'
HIGH LEVEL ALARMS	L	==	80.00'
LAGS PUMP ON	M	==	80.00'
LAGS PUMP ON (IMPLANT PIPE INVERT)	N	==	80.00'
CHIMNEY TOP OF PUMP VALVES	O	==	80.00'
BOTTOM OF PUMP TO FLOOR OF WET WELL	P	1' (1" MIN)	
STOP HEIGHT (IF REQUIRED)	Q	12" (MIN)	
FLOOR OF WET WELL	R	==	81.00'

- NOTES:
1. PER MANUFACTURER'S REQUIREMENTS, DIMENSION P AND ELEVATIONS 1 AND 2 MUST MEET MANUFACTURER'S REQUIREMENTS.
  2. ELEVATION 1 - ELEVATION 2 AS SHOWN.
  3. TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100-YEAR FLOOD ELEVATION AND THE ELEVATION OF THE TOP OF THE BUND.
  4. SYMBOLS SHOWN IN TABLE ARE USED IN DETAILS U514 AND U515.
  5. \*PUMPS MAY REQUIRE COOLING JACKET OR ADJUSTMENTS PER MANUFACTURER'S REQUIREMENTS.

MCU DETAIL U514 NOTES:

1. ENGINEER SHALL PROVIDE A SCALED (1" = 20' MIN.) SITE SPECIFIC DETAIL.
2. MINIMUM DISTANCE BETWEEN PIPES AND ALL INSTALLED EQUIPMENT SHALL BE 6".
3. ON-SITE MANHOLE, WETWELL, AND ALL OFF-SITE MANHOLES, WITHIN 400', SHALL BE LINED.
4. ELECTRICAL CONDUIT SIZE SHALL BE WITH PUMP SIZE (MINIMUM 2" PVC).
5. TABLE ASSUMES THE EOP TO THE ROW IS 12'. DISTANCES LESS THAN 12' WILL REQUIRE MCU APPROVAL AND NOTIFICATION OF GISE.
6. ANY SIZE TO BE DETERMINED BY THE ENGINEER AND APPROVED BY M.C.U. PRIOR TO INSTALLATION. ENGINEER TO PROVIDE ISING CALCULATIONS.
7. THE CONCRETE DRIVEWAY SHALL BE 6" THICK WITH 6" x 6" WELDED WIRE FABRIC. THE CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI. WIDTH OF DRIVEWAY SHALL BE DETERMINED PER GISE WITHIN WALL.
8. FLOW METER MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
9. ON-SITE PLUG VALVE REQUIRED IF NEAREST OFF-SITE PLUG VALVE IS GREATER THAN 200' AWAY.
10. AS REQUIRED BY FDEP, SIZE VARIES.

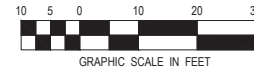


LIFT STATION PLAN

SCALE: 1" = 12'

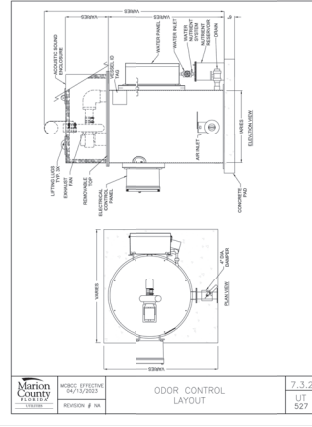
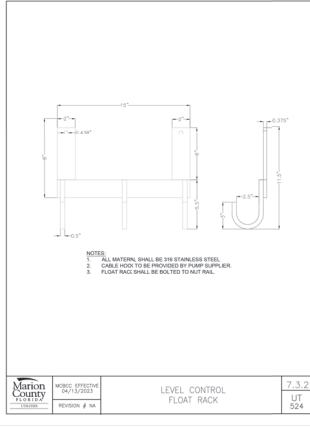
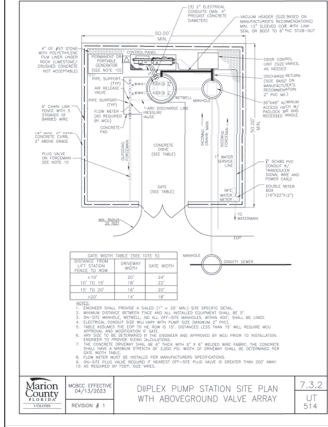
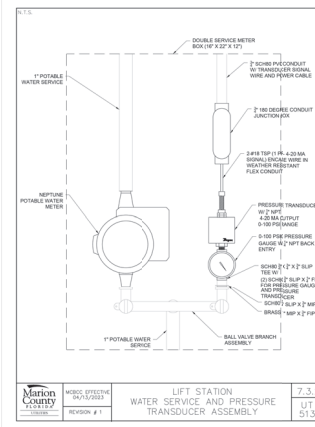
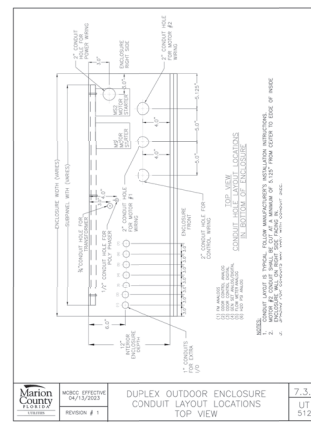
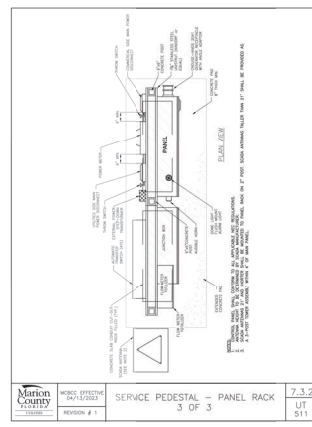
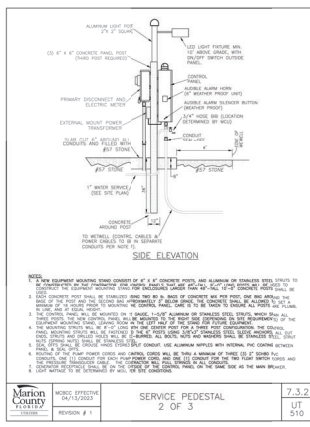
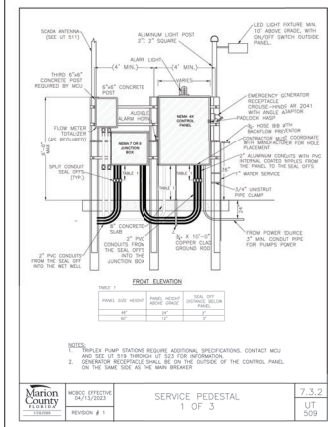
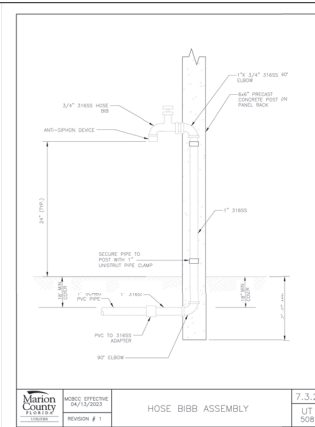
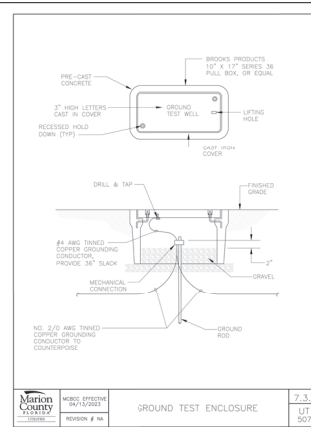
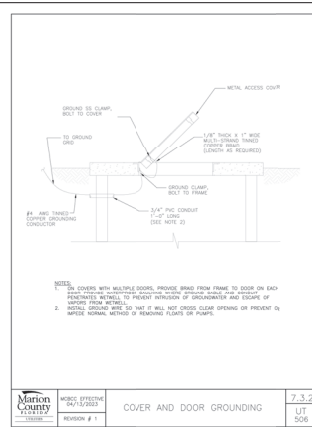
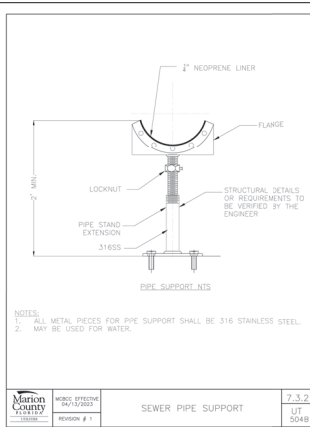
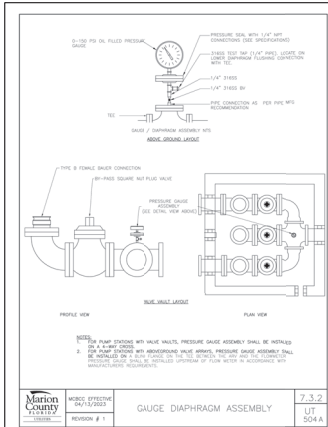
CONSTRUCTION NOTES:

1. ALL NOTES LISTED BELOW SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS STATED OTHERWISE.
2. SEE MCU DETAILS FOR ADDITIONAL NOTES AND REQUIREMENTS.



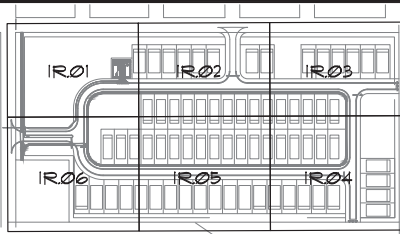
REGION DESCRIPTION	DATE	DESIGNED BY: PM	ENGINEER'S CERTIFICATION:	MASTROGRO ENGINEERING, INC.
RESPONSE TO COUNTY PM 1	6-12-25	DRAWN BY: WPD	DATE	170 SE 22ND PLACE
		CHECKED BY: PM	DATE	Ocala, FL 34471
			DATE	PH: (352) 463-2105
			DATE	PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD)
			DATE	MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21
			DATE	TITLE: LIFT STATION DETAILS
			DATE	SCALE: 1" = 10'
			DATE	JOB#: 23-12
			DATE	SHEET C22 OF 23



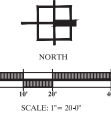
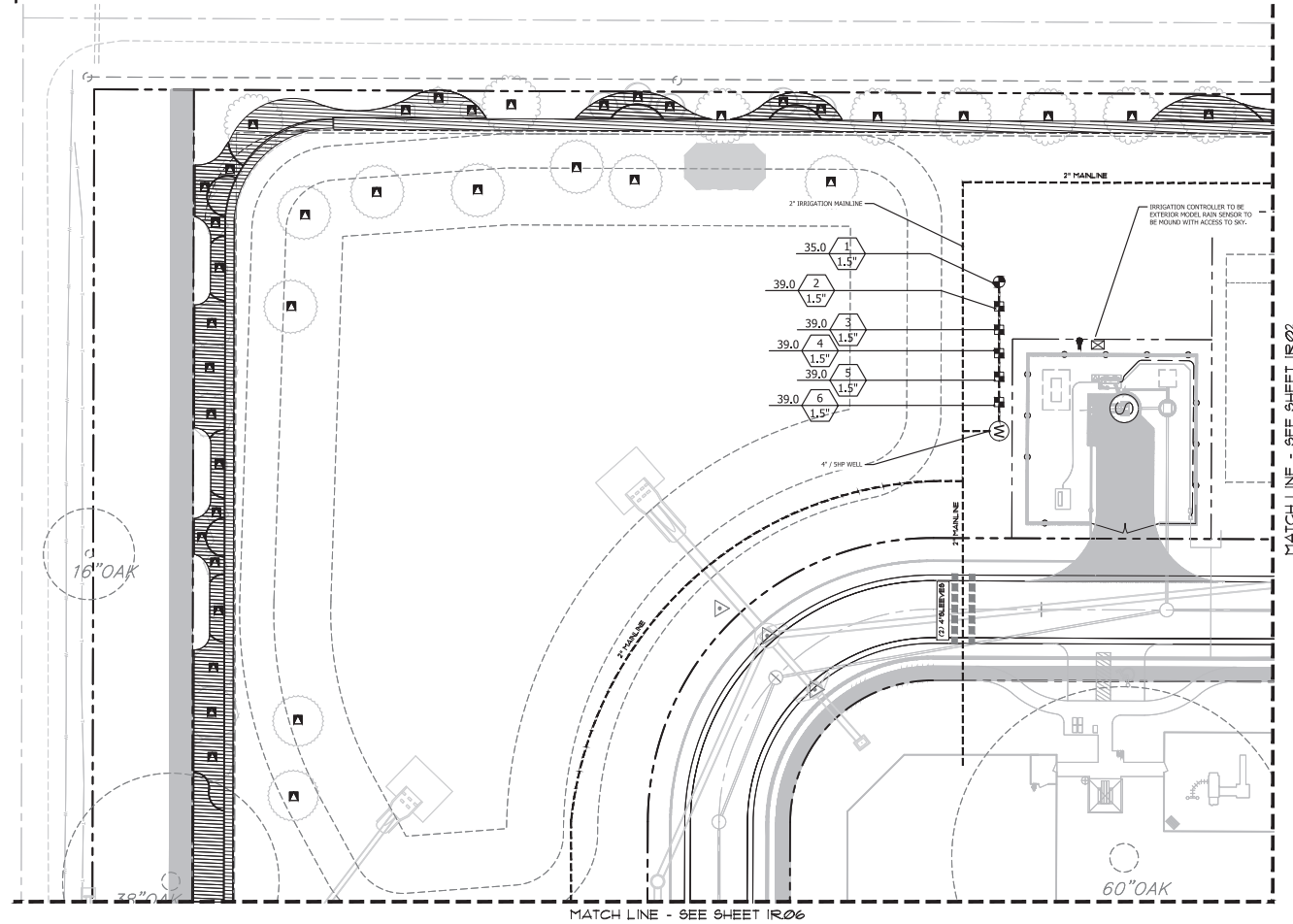


REGION DESCRIPTION		DATE	DESIGNED BY: PM	ENGINEER'S CERTIFICATION:	
RESPONSE TO COUNTY PM 1		6-15-25	DRAWN BY: WPD	MASTROGRO ENGINEERING, INC.	
			CHECKED BY: PM	170 SE 20th PLACE	
			DATE: 03-21-25	OCALA, FL 34471	
				PH: (352) 463-2105	
				PMAIL: @MASTROGROENGINEERING.COM	
				DOW: 04/15/2021	
				PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD)	
				MARION COUNTY, FL SEC 7, TWP. 16, RGE. 21	
				IMPROVEMENT PLAN	
				TITLE: LIFT STATION DETAILS	
				SCALE: NTS	
				JOB#: 23-12	
				SHEET C23 OF 23	



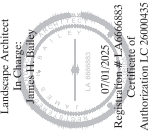


SHEET KEY MAP  
N.T.S.



NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL

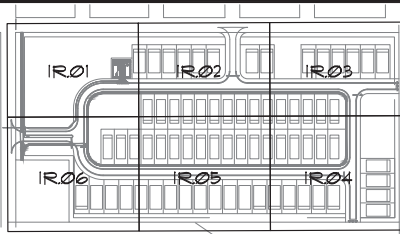
**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering



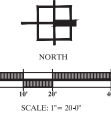
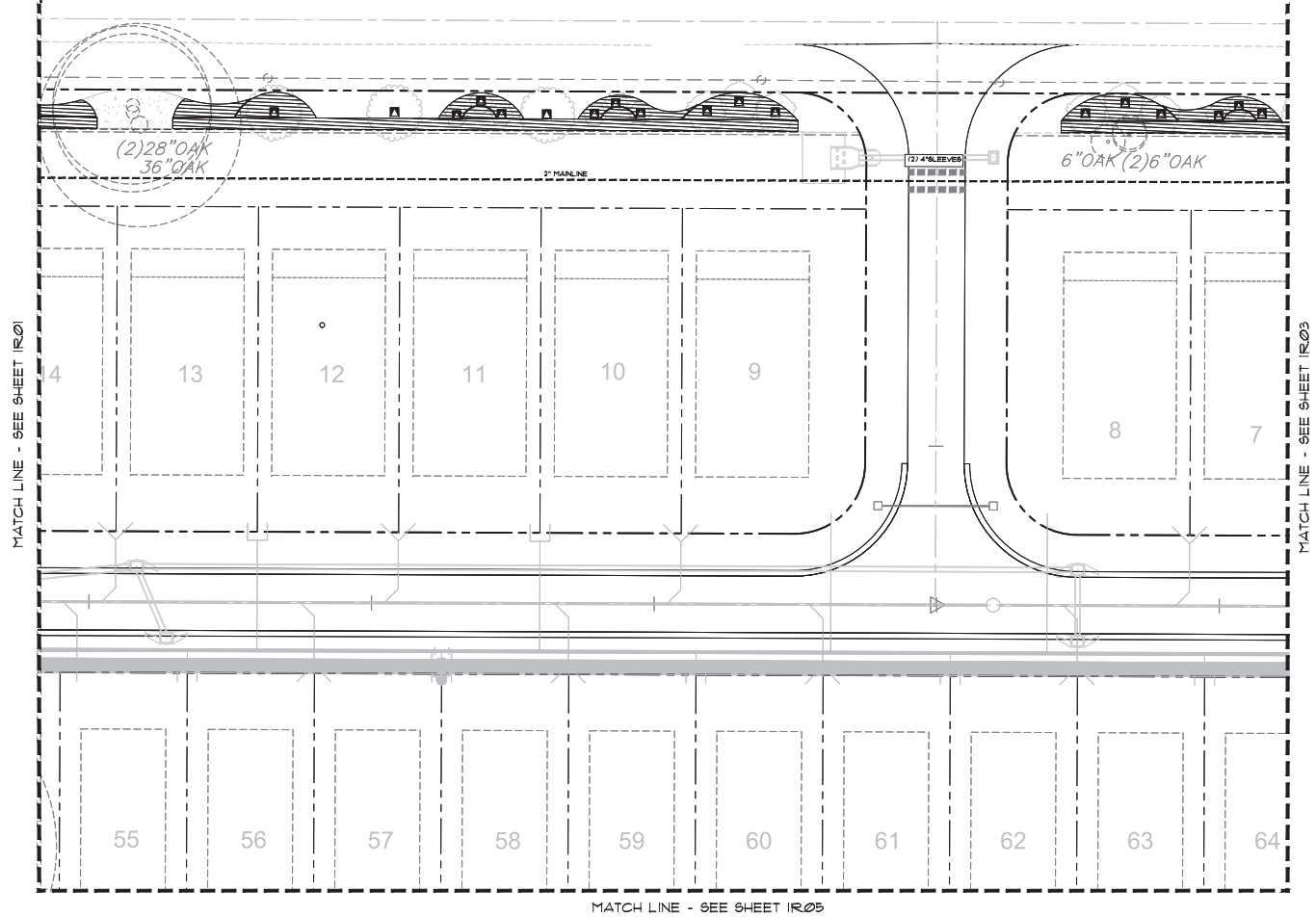
DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

SHEET NO.  
**IR.01**



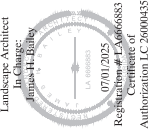


SHEET KEY MAP  
N.T.S.



NO.	DATE	DESCRIPTION
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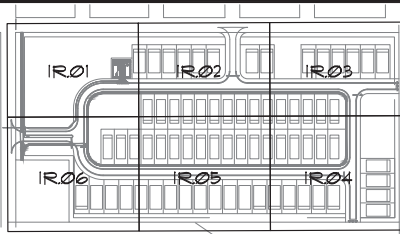
**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering  
**IRRIGATION PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

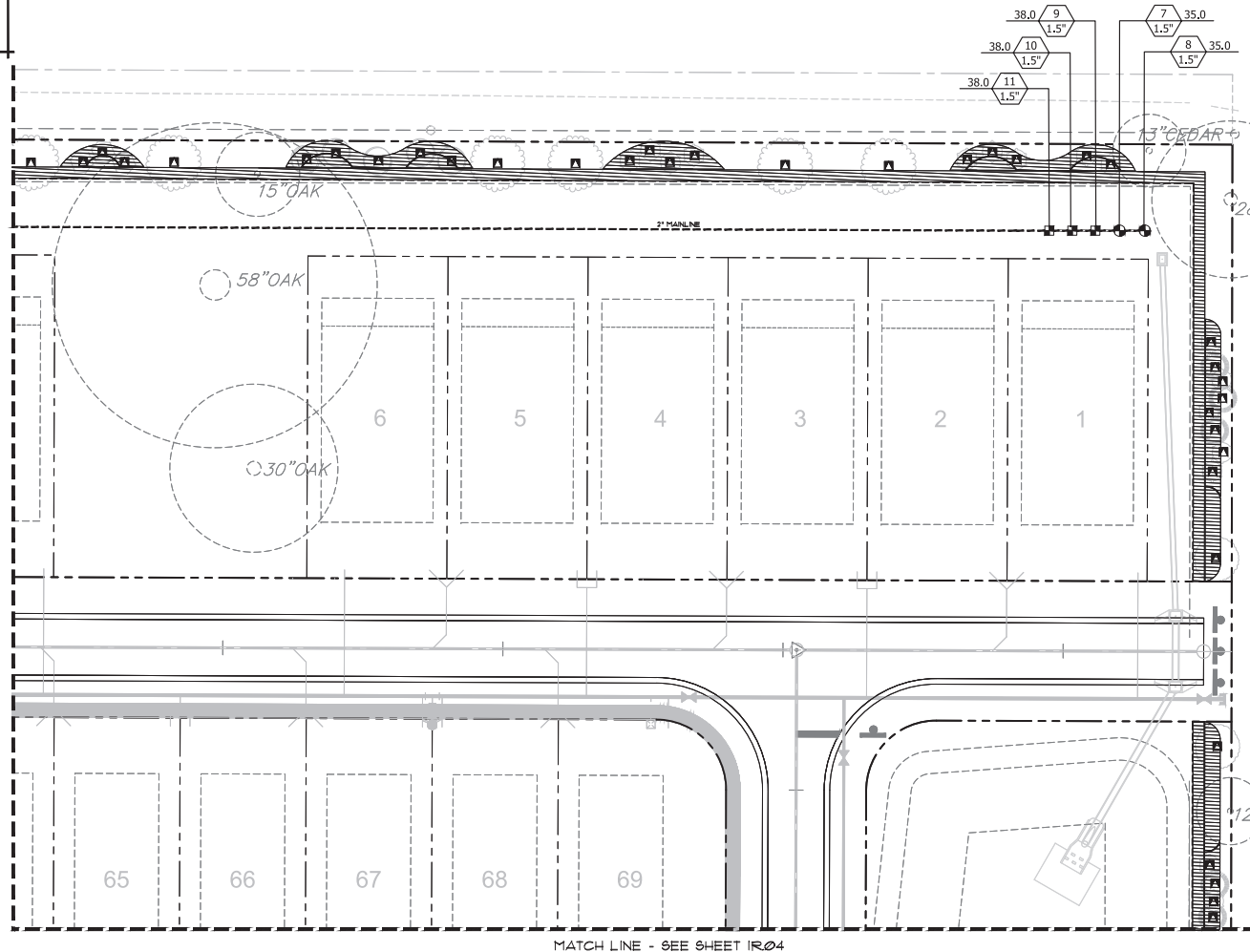
SHEET NO.  
**IR.02**



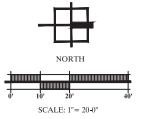


SHEET KEY MAP  
N.T.S.

MATCH LINE - SEE SHEET IR02



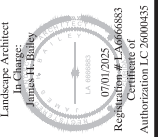
MATCH LINE - SEE SHEET IR04



NO.	DATE	DESCRIPTION
1	01/15/21	PERMIT / CONSTRUCTION PLANS
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**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering

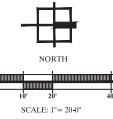
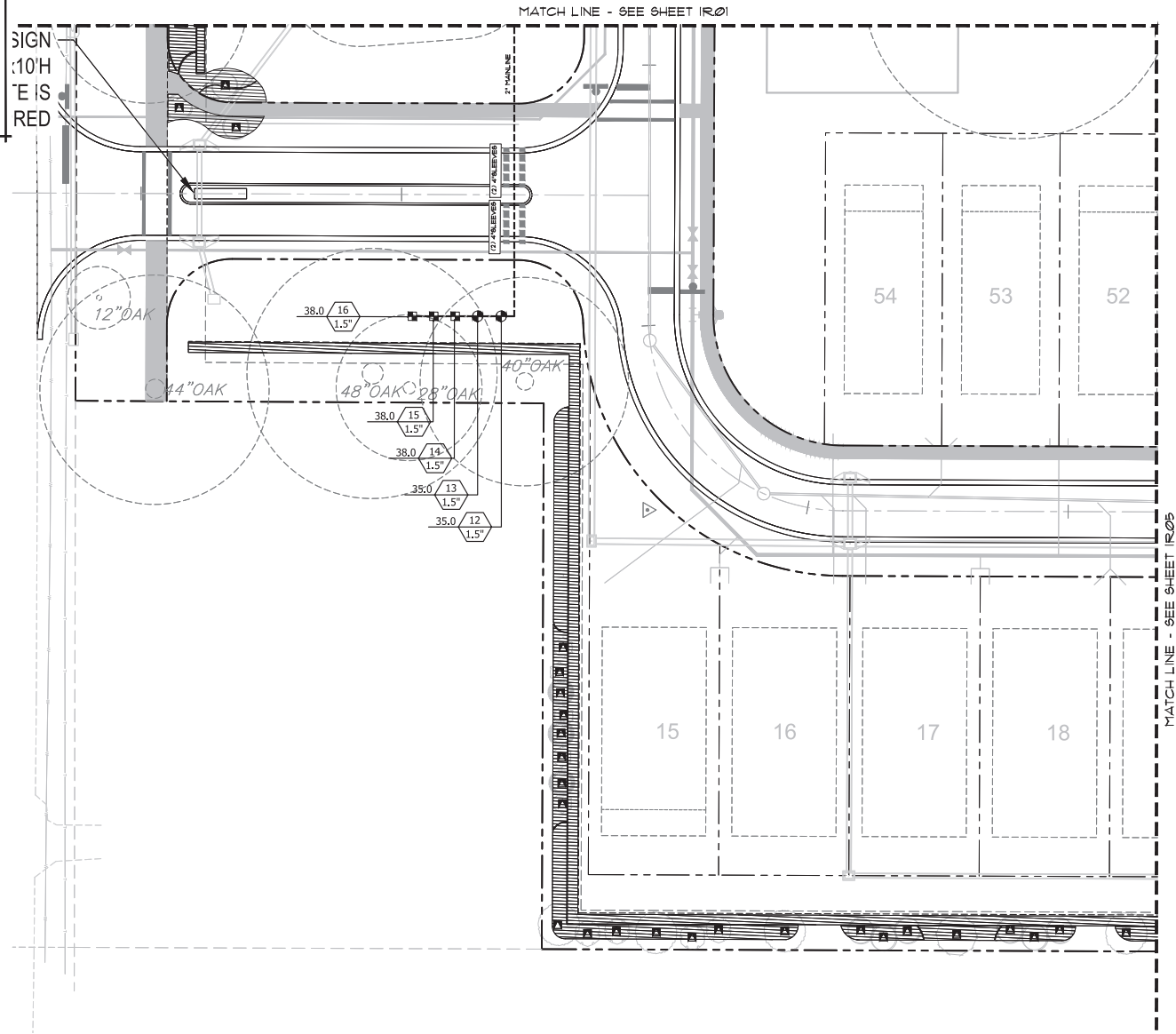
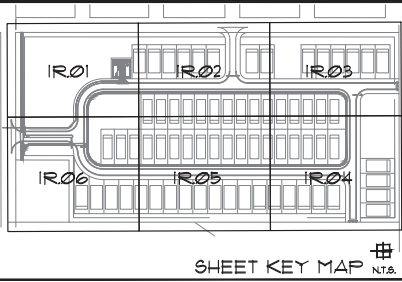
**IRRIGATION PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

SHEET NO.  
**IR.03**





NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
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**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering

**IRRIGATION PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

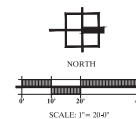
SHEET NO.  
**IR.04**





MATCH LINE - SEE SHEET R.06

MATCH LINE - SEE SHEET R204



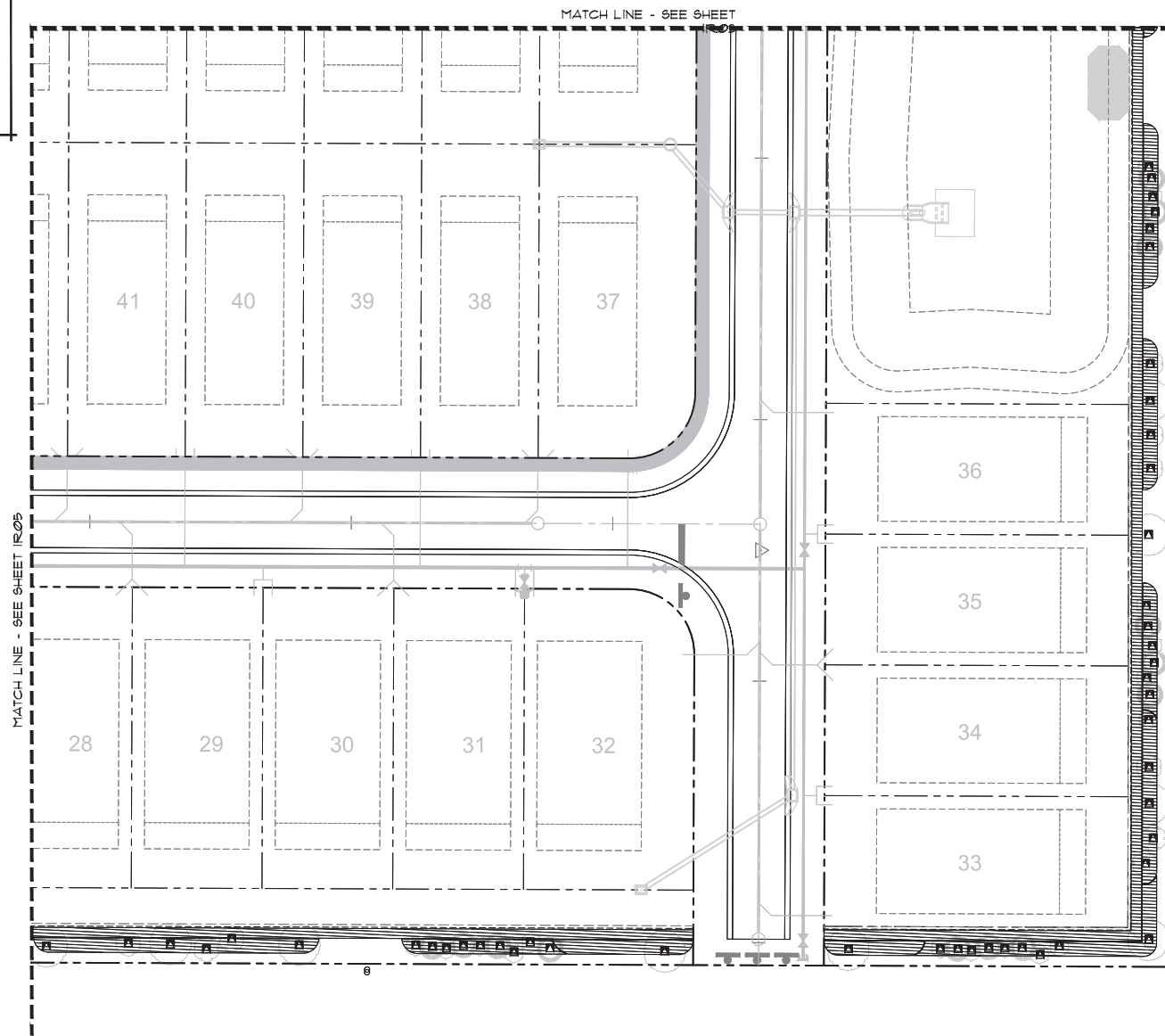
**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**IRRIGATION PLAN**

**Landscape Architect**  
In Charge:  
**James H. Bailey**  
LA 06666883  
07/01/2025  
Registration # LA0666688  
Certificate of

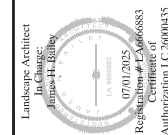
DATE: 10-18-21  
PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**IR.05**





**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Mastroserio Engineering  
  
**IRRIGATION PLAN**



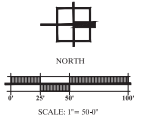
DATE: 10-18-21  
PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**IR.06**









NO.	DATE	DESCRIPTION	BY	CHK
1	07/01/2025	COUNTY RESUBMITTAL	JHB	
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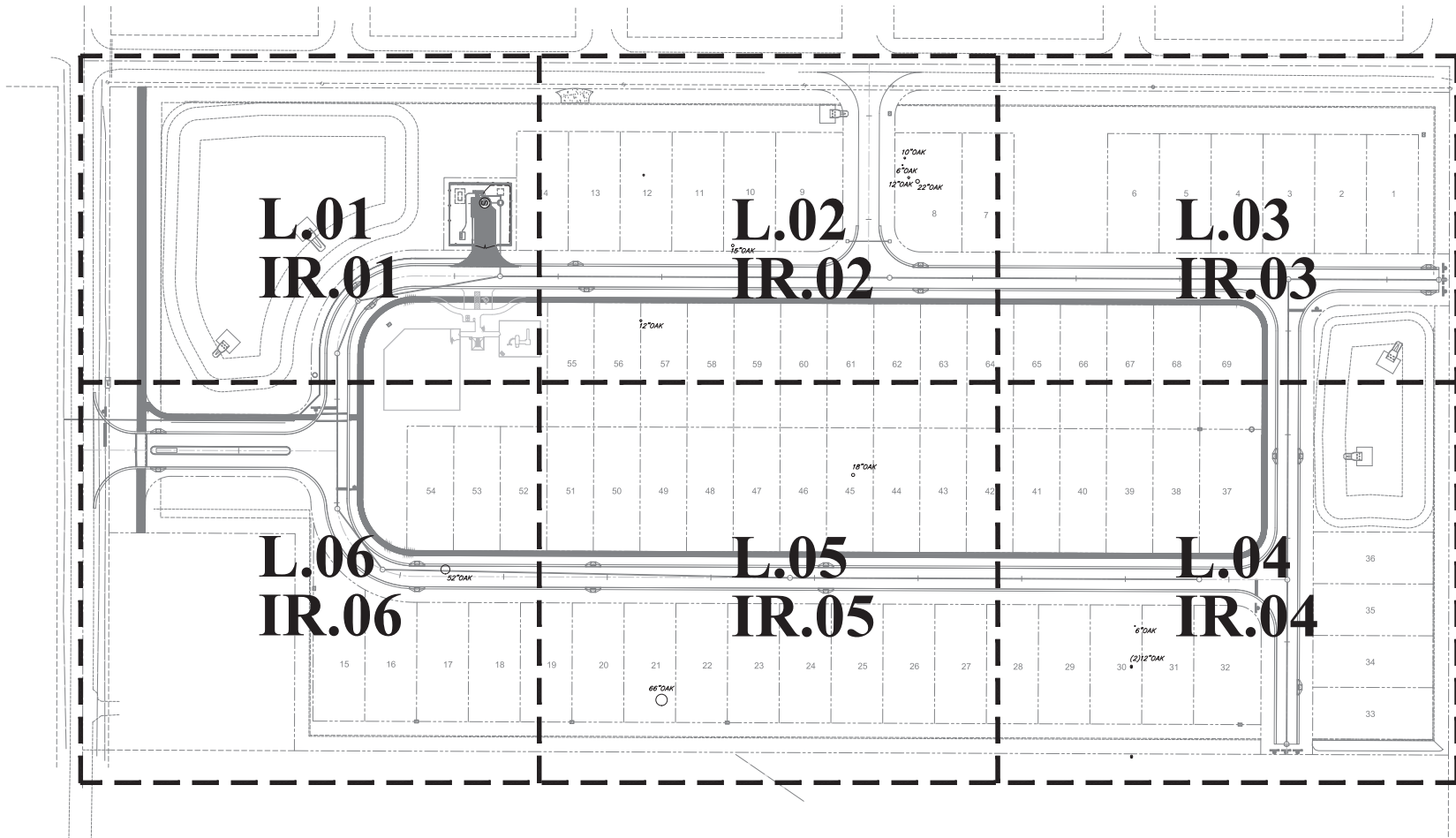
**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Marwood Engineering

**SHEETS REFERENCE PLAN**



DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

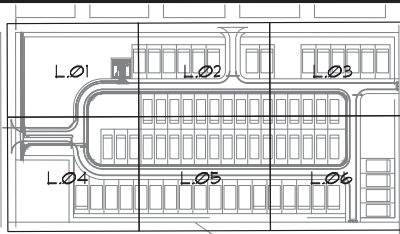
SHEET NO.  
**L.00**











SHEET KEY MAP N.T.S.

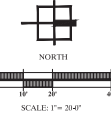
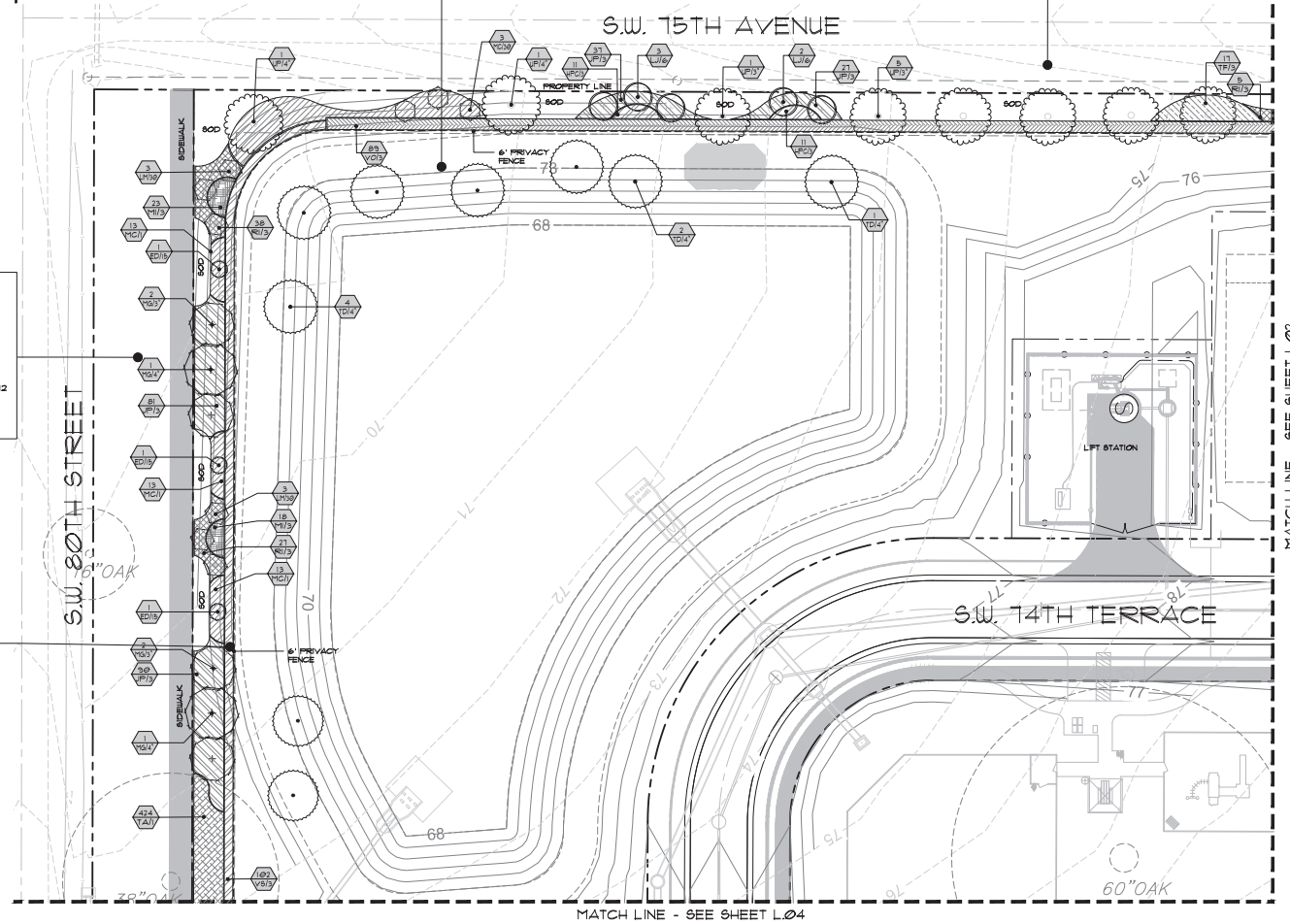
**R.O.M. RETENTION AREA BUFFER REQUIREMENT (512 L.F.):**  
 4 CANOPY TREES AND 200 S.F. OF PLANTINGS PER 100 L.F.  
 288 L.F./100 = 2.88 X 4 = 10 CANOPY TREES  
 288 L.F. / 100 = 2.88 X 200 = 466 S.F. OF PLANTING  
**PROVIDED:**  
 -CANOPY TREES: 10 CANOPY TREES  
 -SHRUBS / GROUNDCOVER = 512 S.F. OF PLANTING.

**TYPE 'C' BUFFER REQUIREMENT (1218 L.F.):**  
 -15' WIDE  
 -2 CANOPY TREES AND 8 UNDERSTORY TREES PER 100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER.  
 6' PRIVACY FENCE (PER P.U.D.)  
 1218 L.F./100 = 12.18 X 2 = 25 CANOPY TREES  
 1218 X 8 = 9744 S.F. OF PLANTING  
 1218 X 15' = 18270 S.F. X 5 = 91350 S.F. OF PLANTING

**PROVIDED:**  
 -CANOPY TREES: 1 EXISTING CANOPY TREES, 17 PROPOSED CANOPY TREES, 87 UNDERSTORY TREES  
 -SHRUBS / GROUNDCOVER = 47710 S.F. OF PLANTING.  
 -6' PRIVACY FENCE

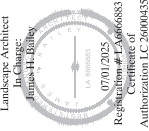
**TYPE 'C' BUFFER REQUIREMENT (375 L.F.):**  
 -15' WIDE  
 -2 CANOPY TREES AND 8 UNDERSTORY TREES PER 100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER.  
 6' PRIVACY FENCE (PER P.U.D.)  
 375 L.F./100 = 3.75 X 2 = 8 CANOPY TREES  
 375 X 8 = 3000 S.F. OF PLANTING  
 375 X 15' = 5625 S.F. X 5 = 28125 S.F. OF PLANTING  
**PROVIDED:**  
 -CANOPY TREES: 6 PROPOSED CANOPY TREES, 2 EXISTING CANOPY TREES, AND 12 UNDERSTORY  
 -SHRUBS / GROUNDCOVER = 2886 S.F. OF PLANTING.  
 -6' PRIVACY FENCE

**R.O.M. RETENTION AREA BUFFER REQUIREMENT (512 L.F.):**  
 4 CANOPY TREES AND 200 S.F. OF PLANTINGS PER 100 L.F.  
 267 L.F./100 = 2.67 X 4 = 11 CANOPY TREES  
 267 L.F. / 100 = 2.67 X 200 = 534 S.F. OF PLANTING  
**PROVIDED:**  
 -CANOPY TREES: 11 CANOPY TREES  
 -SHRUBS / GROUNDCOVER = 560 S.F. OF PLANTING.



NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
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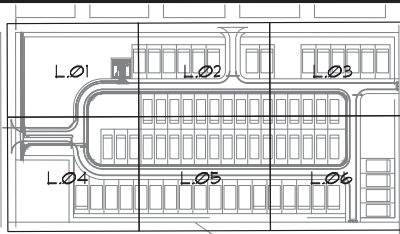
**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering  
**LANDSCAPE PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

SHEET NO.  
**L.01**





SHEET KEY MAP  
N.T.S.

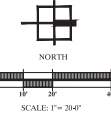
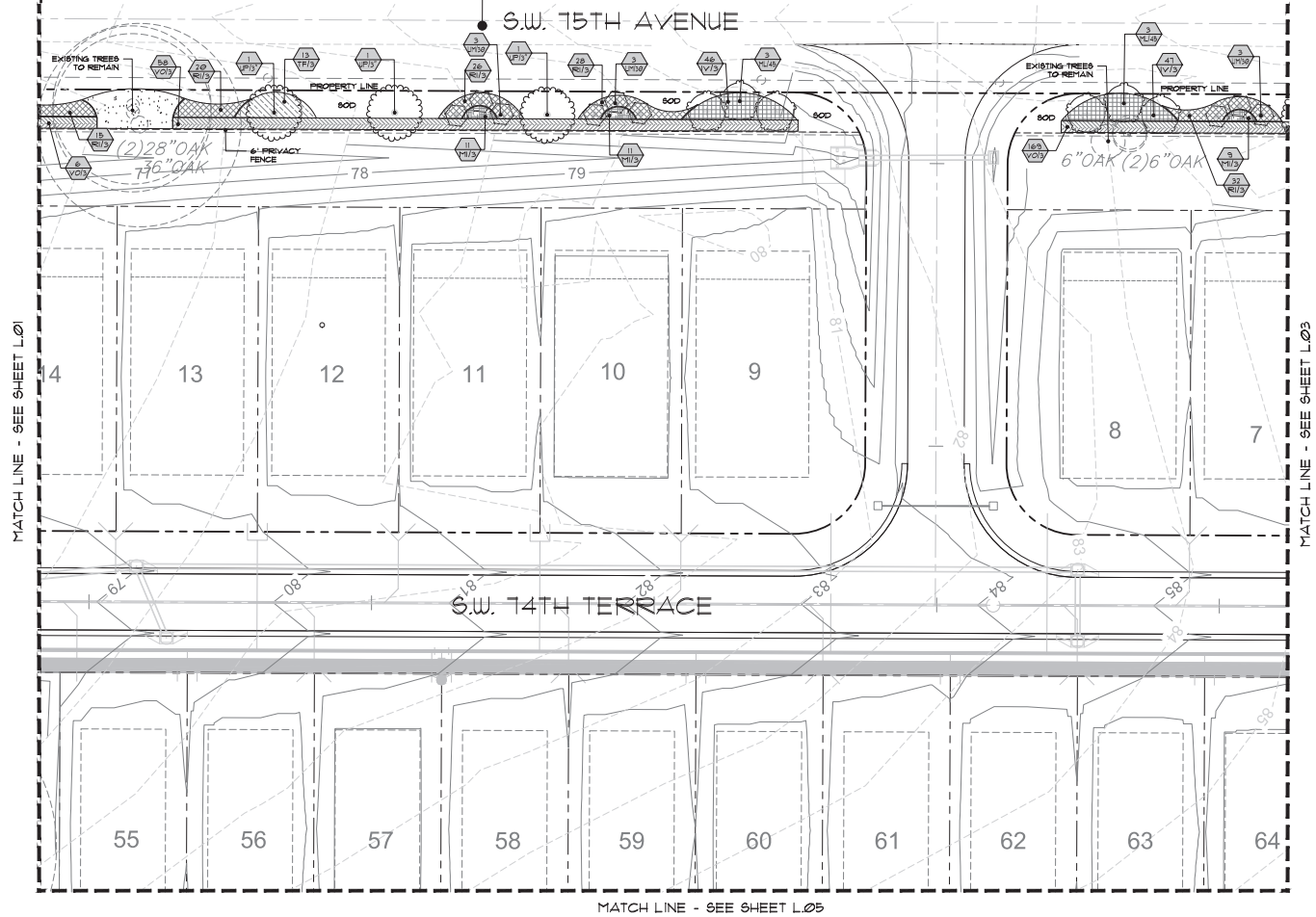
TYPE 'C' BUFFER REQUIREMENT (1218 L.F.):

- 15' WIDE
- 2 CANOPY TREES AND 8 UNDERSTORY TREES PER 100 L.F. ON AVERAGE 50% PLANTED WITH SHRUBS / GROUNDCOVER.
- 6' PRIVACY FENCE (PER P.U.D.)

(1218 L.F./100' = 12.18 X 2 = 25 CANOPY TREES  
12.18 X 8 = 97 UNDERSTORY TREES  
1218 X 15' = 18,270 S.F. X 5 = 91,350 S.F. OF PLANTING)

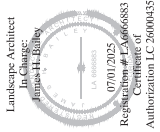
PROVIDED:

- CANOPY TREES: 7 EXISTING CANOPY TREES, 17 PROPOSED CANOPY TREES, 97 UNDERSTORY TREES
- SHRUBS / GROUNDCOVER = 4,170 S.F. OF PLANTING.
- 6' PRIVACY FENCE



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**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Maricor Engineering  
**LANDSCAPE PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

SHEET NO.  
**L.02**



SHEET NO.  
**L.03**





-15' WIDE  
-2 CANOPY TREES AND 3 UNDERSTORY TREES PER  
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER.  
6' PRIVACY FENCE (PER P.U.D.)

375 L.F./100 = 3.75 X 2 = 8 CANOPY TREES  
3.75 X 3 = 12 UNDERSTORY TREES  
375 X 15' = 5545 S.F. X 0.5 = 2772.5 S.F. OF PLANTING

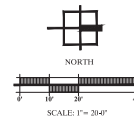
PROVIDED:  
-CANOPY TREES: 6 PROPOSED CANOPY TREES, 2 EXISTING CANOPY TREES, AND 12 UNDERSTORY  
-SHRUBS / GROUND COVER = 2886 S.F. OF PLANTING.  
-6' PRIVACY FENCE

This site plan illustrates a residential development layout. The plan is bounded by S.W. 80th Street to the west, S.W. 79th Lane to the east, S.W. 74th Court to the north, and S.W. 74th Avenue to the south. The development includes several lots, with lot numbers 15, 16, 17, and 18 in the southern section, and 52, 53, 54, 72, 73, 74, 75, 76, 77, and 78 in the northern section. The plan details the placement of sidewalks, privacy fences, and existing trees to be retained. Lot dimensions and specific tree specifications (e.g., 12" OAK, 44" OAK, 18" OAK, 28" OAK) are provided. The plan also shows the property line and the location of existing trees to be retained.

-15' WIDE  
-2 CANOPY TREES AND 3 UNDERSTORY TREES PER  
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER  
6' PRIVACY FENCE (PER F.U.D.)

1502 L.F./100 = 15.02 X 2 = 30 CANOPY TREES  
15.02 X 3 = 45 UNDERSTORY TREES  
1502 X 15' = 22530 S.F. X 0.5 = 11265 S.F. OF PLANTING

PROVIDED:  
-CANOPY TREES: 30 PROPOSED CANOPY TREES AND 45 UNDERSTORY  
-SHRUBS / GROUNDCOVER = 11,340 S.F. OF PLANTINGS.  
-6' PRIVACY FENCE

[illegible]

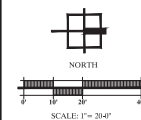
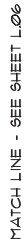
**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**LANDSCAPE PLAN**

Landscape Architect  
In Charge:  
James H. Bailey  
07/01/2025  
Registration # LA666688  
Certificate of  
Authorization LC 2600043

DATE: 10-18-21  
PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.04**





**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Mastrosiero Engineering

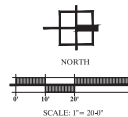
**LANDSCAPE PLAN**



DATE: 10-18-21  
PROJECT NO.: MAS025-16.3  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.05**





**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Mastroserio Engineering

DATE: 10-18-21  
PROJECT NO.: MAS025-16.6  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.06**



Marion County, Florida

# Landscape and Irrigation Permit / Construction Plans

## Landscape and Irrigation Permit / Construction Plans

[illegible]



CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
<b>TREES</b>				
IV/45	15	LEX VOMITORIA	YAUPOIN HOLLY	45 GAL OR F.G., 8" HT. X 5'-6" SFRD, 2" DBH. MN. TOTAL, MULTI-TRUNK
ML/45	6	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	45 GAL OR BVB, 8"-9" SFRD X 3'-4" HT., 2"-2 1/2" CAL. MN.
<b>CANOPY TREES</b>				
MG/4'	2	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	100 GAL OR RFG, 14'-15" HT., 6"-7" SFR., 4" CAL. MN.
MG/3'	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	65 GAL OR RFG, 15" HT., 5'-6" SFR., 3 1/2" CAL. MN.
PE/30	24	PINUS ELLIOTTI 'DENSA'	DENSA SLASH PINE	BFB, 1'-8" X 3'-4", 3 1/2" CAL. MN.
QV/3'	20	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	65 GAL OR RFG, 12'-13" HT., 6"-7" SFR., 3 1/2" CAL. MN.
TD/3'	2	TAXODIUM DISTICHUM	BALD CYPRESS	65 GAL OR RFG, 13'-14" HT., 4'-5" SFR., 3 1/2" CAL. MN.; NATIVE
TD/4'	1	TAXODIUM DISTICHUM	BALD CYPRESS	100 GAL OR RFG, 14'-15" HT., 5'-6" SFR., 4" CAL. MN.; NATIVE
UP/3'	15	ULMUS PARVIFOLIA 'EMER 1'	'EMER 1' ALLEE ELM	RFG OR 65 GAL, 12'-14" HT. X 5'-6" SFRD, 3.5" CAL. MN.
UP/4'	2	ULMUS PARVIFOLIA 'EMER 1'	'EMER 1' ALLEE ELM	100 GAL OR RFG, 14'-15" HT. X 6"-7" SFRD., 4" CAL. MN.
<b>UNDERSTORY TREES</b>				
LM/30	18	LAGERSTROEMIA INDICA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	30 GAL, 6"-7" X 3'-4", MULTI-TRUNK, 5 CANES
L/16	25	LIQUISTRIUM JAPONICUM	JAPANESE PRIVET	RFG, 6" X 1' X 6", MULTI-TRUNK, 5 TRUNKS MN. 1" CAL. PER TRUNK, TOTAL OF 5" CAL. FOR ALL TRUNKS COMBINED, TIGHTLY AND SYMMETRICALLY PRUNED
MC/30	46	MYRTICA CERIFERA	WAX MYRTLE	30 GAL, 6" HT. MN. X 4'-5", MULTI-TRUNK; NATIVE
<b>EVERGREEN ACCENTS</b>				
ED/15	3	ELAEAGARUS DECIPENS	JAPANESE BLUEBERRY TREE	15 GAL, 6" HT. X 2'-3" SFRD. (FULL TO GROUND)
<b>SHRUB AREAS</b>				
IPC/3'	65	HAMELIA PATENS 'COMPACTA'	DWARF SCARLET BUSH	3 GAL, 15"-18" HT., 15"-18" SFR., 14" HT. MN, 30" O.C.
IV/15	93	LEX VOMITORIA 'NANA'	DWARF YAUPOIN	3 GAL, 14"-15" HT., 14"-15" SFR., 14" HT. MN, 30" O.C.; NATIVE
M/3	81	MORAEA RIDIODES	BUTTERFLY IRIS	3 GAL, 24" HT. FULL
R/33	246	RHAPHIOLEPIS INDICA 'ALBA'	WHITE INDIAN HAWTHORN	3 GAL, 15"-18" HT., 10"-13" SFR., 30" O.C.
V/33	333	TRIPSACON FLORIDANUM	DWARF FAKAMATHEE GRASS	3 GAL, 24" X 24" X 48" O.C.
VO/3	182	VIURNUM ODOCRATISSIMUM	SWEET VIURNUM	3 GAL, 18"-24" X 18"-24", 48" O.C.
V/33	106	VIURNUM SUSPENSUM	SANDANKWA VIURNUM	3 GAL, 18"-20" X 18"-20" 18" HT. MN, FULL 36" O.C.
<b>ORNAMENTAL GRASSES</b>				
MC/1	510	MULLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL, 18" HT. X 18"-20", 18" HT. MN, SFR. 36" O.C.
<b>GROUND COVERS</b>				
J/19	21	JUNIPERUS CHINENSIS 'PARSONI'	PARSON JUNIFER	3 GAL, 12"-16" X 12"-16", 30" O.C.
T/41	262	TRICHOLOPERNUM ASIATICUM	ASIAN JASMINE	1 GAL. FULL, 12" RUNNERS, 18" O.C.

ABBREVI.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
MULCH		Pinetark Mulch	3" thick min.
SOD	Paspalum Notatum 'Argentine'	Argentine Bahia	

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S

AFTER COUNTY APPROVAL, OWNER RESERVES THE RIGHT TO REDUCE THE QUANTITY / SIZE OF ALL PLANTS AND TREES TO THE MINIMUM REQUIRED BY CODE WITHOUT ADDITIONAL REVIEW / APPROVAL.

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCKS, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
4. ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
5. THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WEETNESS, POOR DRAINAGE OBSTRUCTION, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BID. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
6. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE 811 AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
8. ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
9. SOIL PROVIDED SHALL BE FREE OF LIMEROCK, FEEBLES OR OTHER CONSTRUCTION DEBRIS.
10. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
11. ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
12. MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://fflfa.usf.edu>
13. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.813.
14. FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.814.
15. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, OPERATED, AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 3 IRRIGATION 6.9.6, AND MARION COUNTY LDC DIV. 3 IRRIGATION 6.9.7. AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT, IF REQUIRED. IRRIGATION DESIGN AND AS-BUILT PLANS SHALL BE PROVIDED BY OTHERS. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND ACCEPTANCE OF THE AS-BUILT PLANS AND OPERATIONAL INFORMATION, A FINAL LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY.
16. ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.815 AND SEC. 6.910.
17. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE AS-BUILT SKETCH, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY; AND THE FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS BEEN RECEIVED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION PER MARION COUNTY LDC SEC. 6.9.1.

1. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 8 SEC 6.012).
2. UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
3. WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION: (NOTE: PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.)

- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:  
WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

[illegible]

**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**MARION COUNTY, FLORIDA**  
**PREPARED FOR:**  
**Mastroianni Engineering**

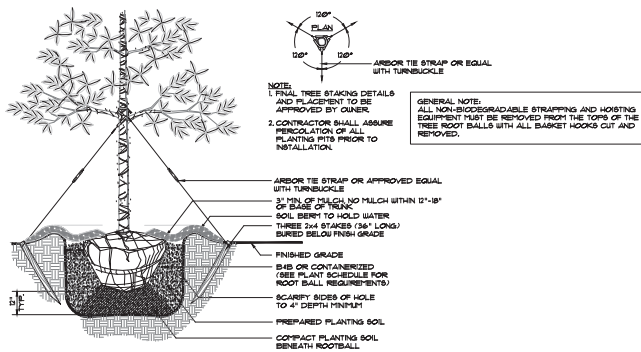
**PLANT LIST, NOTES, AND SPECIFICATIONS**



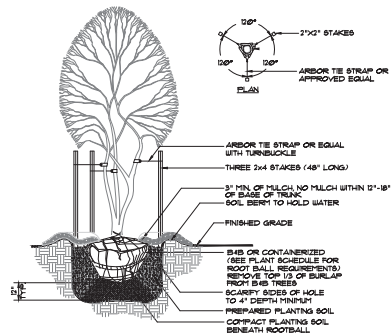
DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**LD.01**

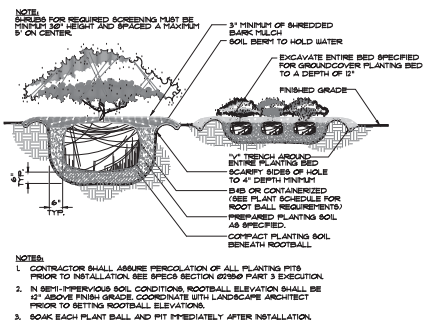




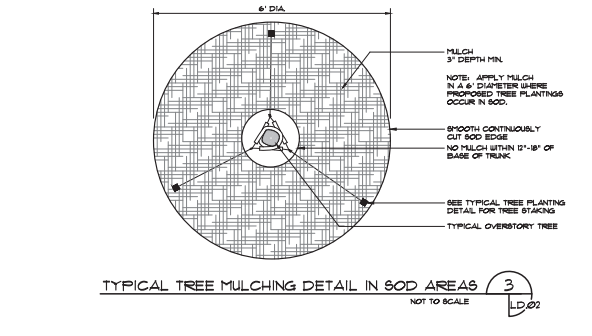
**LARGE TREE PLANTING DETAIL** 1  
NOT TO SCALE LD.02



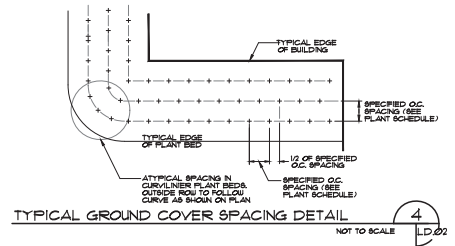
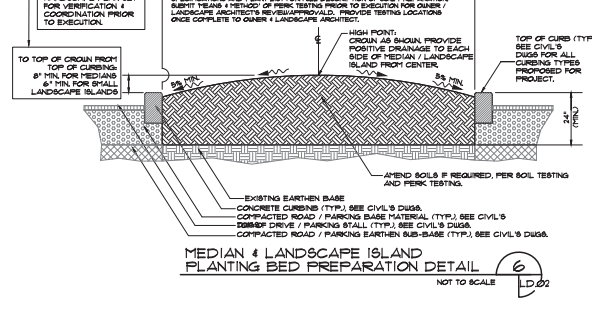
**MULTI-STEM TREE PLANTING DETAIL** 2  
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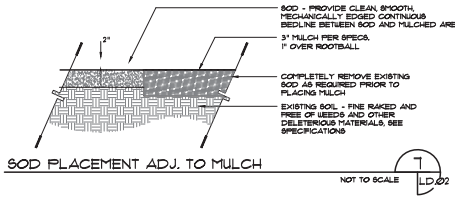
**SHRUBS AND GROUNDCOVER PLANTING DETAIL** 3  
NOT TO SCALE LD.02



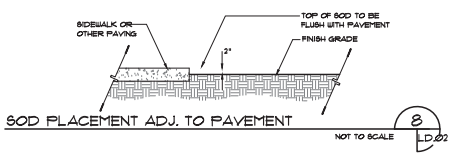
**TYPICAL TREE MULCHING DETAIL IN SOD AREAS** 4  
NOT TO SCALE LD.02



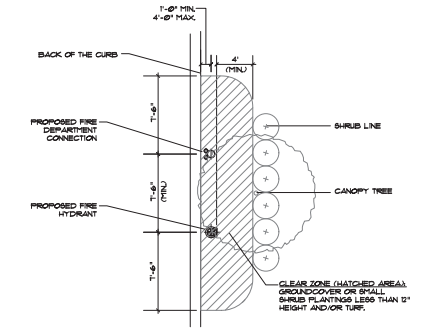
**TYPICAL GROUND COVER SPACING DETAIL** 6  
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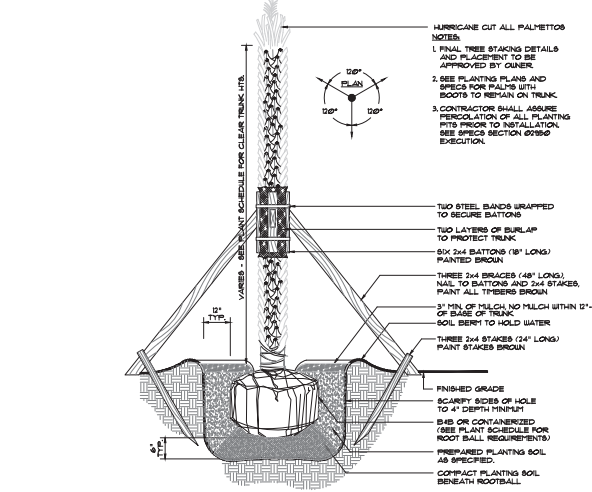
**SOD PLACEMENT ADJ. TO MULCH** 7  
NOT TO SCALE LD.02



**SOD PLACEMENT ADJ. TO PAVEMENT** 8  
NOT TO SCALE LD.02



**FIRE HYDRANT / FDC PLANTING DETAIL** 9  
NOT TO SCALE LD.02



**PALM TREE PLANTING DETAIL** 10  
NOT TO SCALE LD.02



NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		

**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Matthew Engineering



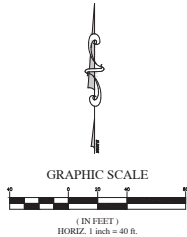
DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**LD.02**

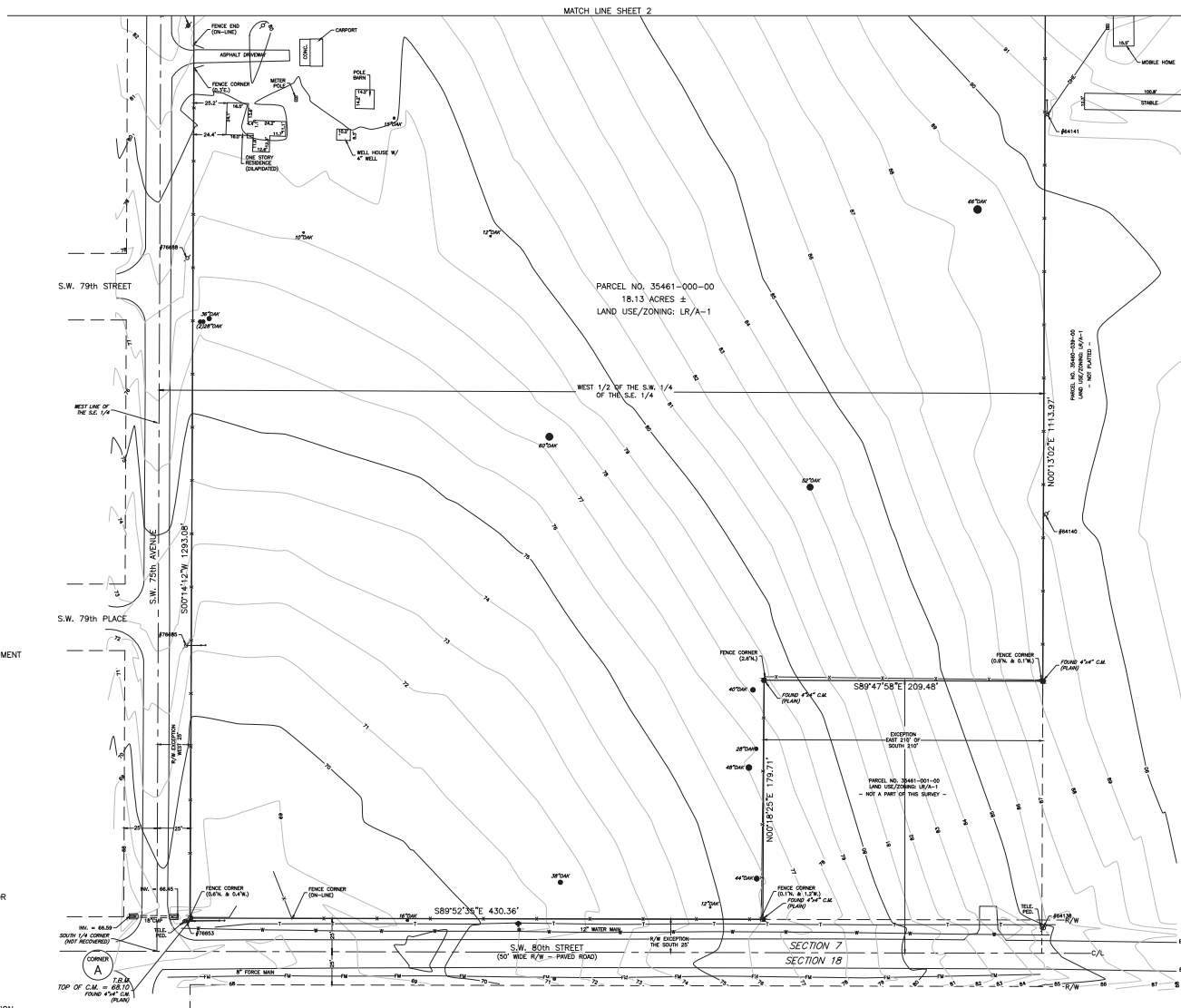








- STATE PLANE COORDINATES
- CORNER A  
FOUND 4"x4" C.M.  
(PLAIN)  
NORTHING Y = 1735163.31  
EASTING X = 578462.08
- CORNER B  
FOUND 4"x4" C.M.  
(PLAIN)  
NORTHING Y = 1736456.38  
EASTING X = 578467.42
- LEGEND
- P.C.P. PERMANENT CONTROL POINT  
P.R.M. PERMANENT REFERENCE MONUMENT  
C.M. CONCRETE MONUMENT  
I.R. IRON ROD  
N&D NAIL & DISC  
R/W RIGHT OF WAY  
E/P EDGE OF PAVEMENT  
C/L CENTERLINE  
SEC. SECTION  
TWP. TOWNSHIP  
RGE. RANGE  
(P) PLAT MEASUREMENT  
(D) DESCRIPTION MEASUREMENT  
(F) FIELD MEASUREMENT  
R RADIUS  
D or Δ CENTRAL ANGLE  
I ARC LENGTH  
CB CHORD BEARING  
LC LENGTH OF CHORD  
O.R.B. OFFICIAL RECORDS BOOK  
PG. PAGE  
CONC. CONCRETE  
P.O.B. POINT OF BEGINNING  
P.O.C. POINT OF COMMENCEMENT  
D.E. DRAINAGE EASEMENT  
T.B.M. TEMPORARY BENCHMARK  
F.F. FINISH FLOOR  
ELEV. ELEVATION  
INV. INVERT  
— UTILITY POLE AND GUY ANCHOR  
— OVERHEAD WIRES  
— FENCE  
— TREE (SEE TREE SCHEDULE)  
— GROUND CONTOUR  
— TRAFFIC SIGNAL BOX  
— SANITARY MANHOLE  
— WATER METER  
— TRAFFIC VALVE  
— STREET SIGN  
— GAS MARKER  
— FIBER OPTIC CABLE MARKER  
C.M.E.S. CONCRETE MITERED END SECTION  
X LIGHT POLE  
● FIRE HYDRANT  
○ TELEPHONE PEDESTAL  
— ELECTRIC METER  
— SANITARY FORCE MAIN  
— WATER MAIN  
— BURIED TELEPHONE CABLE



REVISION	DATE

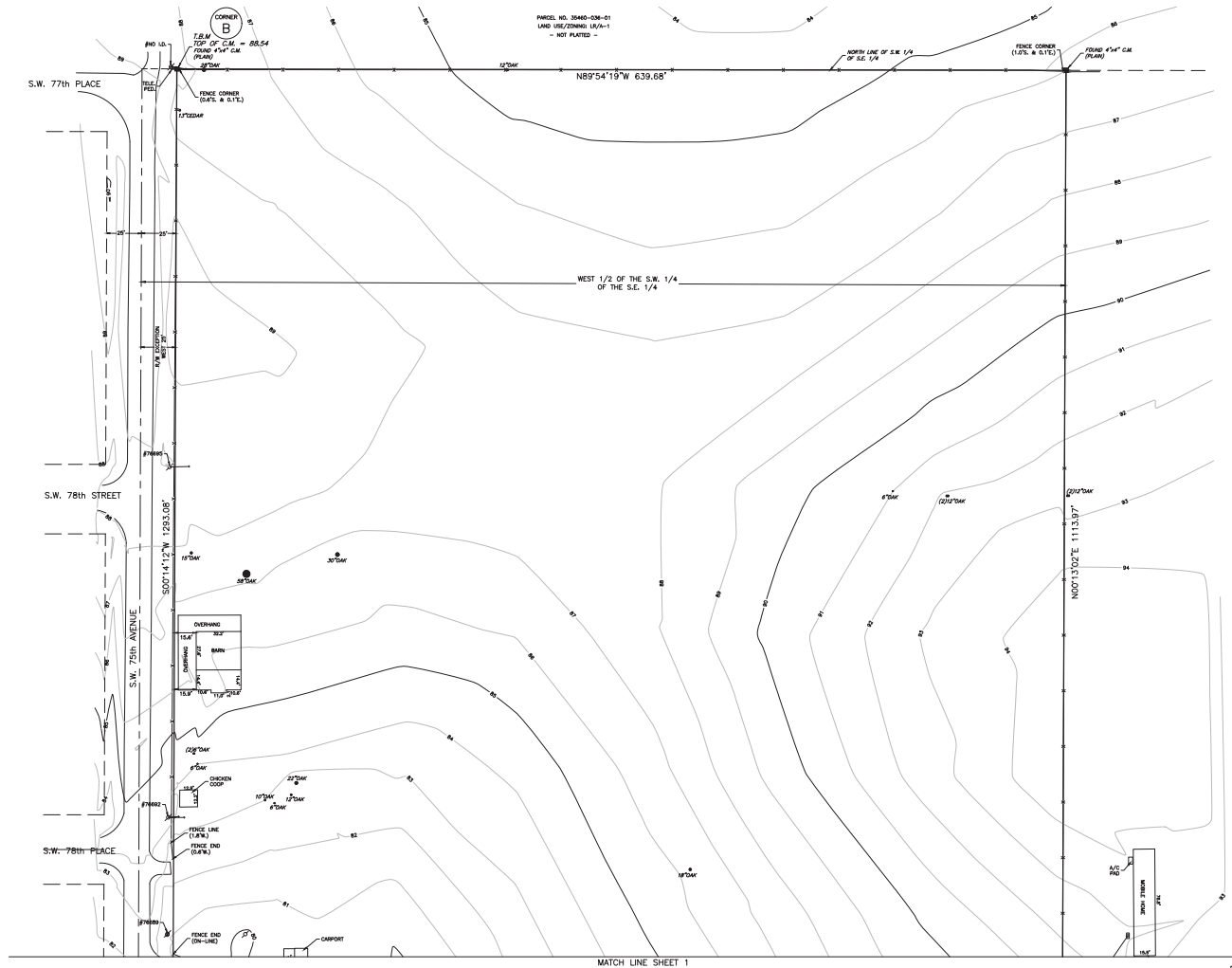
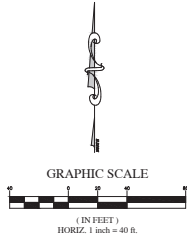
RODNEY K. ROGERS, P.E.  
REGISTRATION NO. 5274  
RODNEY K. ROGERS, P.E.  
REGISTRATION NO. 5274  
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RODNEY K. ROGERS, P.E.  
REGISTRATION NO. 5274

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR  
FUN N GAMES, LLC.

JOB No. 23-36451-000-00	DATE 1-18-2023
SCALE 1" = 40'	SHEET 1 OF 2





LEGEND

- P.C.P. PERMANENT CONTROL POINT  
P.R.M. PERMANENT REFERENCE MONUMENT  
C.M. CONCRETE MONUMENT  
I.R. IRON ROD  
N&D NAIL & DISC  
R/W RIGHT OF WAY  
E/P EDGE OF PAVEMENT  
C/L CENTERLINE  
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(P) PLAT MEASUREMENT  
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TRAFFIC SIGN  
STREET SIGN  
GAS MARKER  
FIBER OPTIC CABLE MARKER  
C.M.E.S. CONCRETE MITERED END SECTION  
L.P. LIGHT POLE  
F.H. FIRE HYDRANT  
T.P. TELEPHONE PEDISTAL  
E.M. ELECTRIC METER

SEE SHEET 1 FOR SURVEY NOTES AND LEGAL DESCRIPTION

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR  
FUN N GAMES, LLC.

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

RODNEY K. ROGERS, P.E.  
Registration No. 5274  
Rodney K. Rogers, P.E.  
Registration No. 5274  
Mikaela M. Boyer, P.S.M.  
Registration No. 5274  
kboyer@rogerseng.com

DATE	REVISION







# WESTWOOD TRAILS (fka VILLA VERDE) P.U.D. MASTER PLAN

## RECREATION/OPEN SPACE/MFLA DATA:

PER MARION COUNTY LDC, THE MINIMUM OPEN SPACE REQUIRED IS 25% OF THE GROSS LAND AREA. 18.13 ACRES X 25% = 4.53 ACRES OF OPEN SPACE REQUIRED.  
15% OR 2.72 ACRES MUST BE MFLA.  
5.0% OR 0.907 ACRES MUST BE IMPROVED OPEN SPACE.

ALL LANDS DESIGNATED AS RECREATION / OPEN SPACE SHALL MEET THE CRITERIA OF THE MARION COUNTY LAND DEVELOPMENT CODE, UNLESS A VARIATION IS OBTAINED FOR ADDITIONAL AREA TO BE UTILIZED.

## THIS PROJECT WILL PROVIDE A MINIMUM OF THE FOLLOWING:

3.45 ACRES OF REQUIRED OPEN SPACE

2.72 ACRES OF THE 3.45 ACRES WILL BE MFLA

0.907 ACRES OF WILL BE IMPROVED OPEN SPACE

## TRAFFIC STUDY NOTE:

A TRAFFIC STUDY HAS BEEN SUBMITTED AND APPROVED FOR THIS DEVELOPMENT. PLEASE REFER TO PROVIDED & APPROVED TRAFFIC STUDY. NO OFFSITE TRAFFIC IMPROVEMENTS ARE REQUIRED AS A RESULT OF THE FINAL APPROVED TRAFFIC STUDY.

## SIDEWALK NOTE:

INTERNAL SIDEWALKS WILL BE PROVIDED AT TIME OF IMPROVEMENT PLAN SUBMITTAL. INTERNAL SIDEWALKS WILL BE DESIGNED IN SUCH A MANNER TO CONNECT TO THE ADJUTING ROADWAYS ROAD FOR PROPER PEDESTRIAN CIRCULATION AND MOBILITY. SIDEWALKS WILL BE PROVIDED ALONG SW 80TH STREET AND ON ONE SIDE OF THE INTERNAL ROADWAYS.

## LANDSCAPE BUFFER NOTE:

PROPOSED LANDSCAPE BUFFERS ALONG THE PERIMETER OF THE SITE SHALL COMPLY WITH THE MARION COUNTY LAND DEVELOPMENT CODE AND THE B.O.C.C. REQUIREMENTS. BUFFER LAYOUT AND PLACEMENT WILL BE FINALIZED AT THE DEVELOPMENT STAGE. BUFFERS MAY VARY DEPENDING ON FINAL LAYOUT AND BUFFER WIDTHS MAY BE REQUIRED IN THE FUTURE AS THE PROPOSED PROJECT DEVELOPS. IN ALL CASES INVOLVING BUFFERS WITH FENCING OR WALLS, THE PROPOSED LANDSCAPING WILL FACE THE ADJACENT LAND OWNER(S) AND THE WALL WILL BE PLACED BEHIND THE LANDSCAPING.

## CONCURRENCY NOTE:

THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CHARACTERISTICS. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY OF TERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

## SITE COVERAGE & SUMMARY OF LAND USE ENTITLEMENT ELIGIBILITY:

EXISTING LAND USE	DENSITY/INTENSITY	ACREAGE	GROSS MAX. DEVELOPMENT
MEDIUM RESIDENTIAL	4 D.U. PER ACRE	18.13 ACRES	72 UNITS

THEFOREFORE:

THIS PUD PLAN PROPOSES A MAXIMUM OF 69 RESIDENTIAL UNITS WHICH EQUALS 4 UNITS PER ACRE.

## PLAN NOTES:

- PROJECT SITE IS LOCATED WITHIN SECTION 07, TOWNSHIP 16, RANGE 21.
- THE TOTAL LAND AREA = 18.13 ACRES.
- EXISTING SITE CHARACTERISTICS:  
THE EXISTING SITE IS CURRENTLY DEVELOPED AND UNDEVELOPED, MOSTLY CLEARED PASTURE LAND, WITH APPROXIMATELY 2% OF THE SITE HAVING SCATTERED TREE COVER. THE TERRAIN IS MOSTLY GENTLY SLOPING WITH APPROXIMATELY 95% OF THE SITE HAVING 5% OR LESS. THE REMAINING PROPERTY HAS SLOPES BETWEEN 5 - 12%. THE SITE ELEVATIONS RANGE BETWEEN 80 AND 84. BASED UPON THE USDA SOIL SURVEY, THE SOILS ON THIS SITE ARE SANDY, WELL DRAINED SOILS WITH A DEPTH TO A CONFINING LAYER AND WATER TABLE OF GREATER THAN 6.5 FEET. THE NATURAL LOW AREAS ARE SHOWN ON THIS PLAN.
- THE EXISTING LAND USE IS MEDIUM DENSITY RESIDENTIAL, HAVING A MAXIMUM OF 72 RESIDENTIAL UNITS.
- THE EXISTING ZONING IS P.U.D.
- THE PROPOSED PROJECT IS A RESIDENTIAL DEVELOPMENT WITH SINGLE FAMILY DWELLINGS, ADDITIONAL IMPROVEMENTS PROPOSED INCLUDE OPEN SPACE / PARK SITES WITHIN THE PROPOSED NEIGHBORHOOD.
- SEE PLAN FOR ADJACENT ZONING & LAND USE CLASSIFICATIONS.
- THE MAJOR ROADS SHOWN ON THIS PLAN INCLUDE SW 75TH AVENUE AND SW 80TH STREET. ALL PROPOSED INTERNAL ROADWAYS TO THE PROPOSED DEVELOPMENT AREAS WILL BE DESIGNED AT TIME OF IMPROVEMENT PLAN SUBMITTAL FOR EACH DEVELOPING AREA AND WILL BE PERMITTED THROUGH THE COUNTY.
- EXISTING UTILITY AND DRAINAGE EASEMENTS ARE SHOWN ON THIS PLAN.
- PROJECT PHASING: THE PROPOSED DEVELOPMENT SHALL BE DEVELOPED IN ONE PHASE.
- UTILITIES: THIS PROJECT SHALL BE SERVED BY MARION COUNTY CENTRAL WATER AND SEWER SYSTEMS.
- AN H.O.A. SHALL BE FORMED TO OWN, MANAGE AND MAINTAIN ALL COMMON AREAS AND COMMON ELEMENTS OF THE PUD, AND SHALL BE THE LEGAL ENTITY RESPONSIBLE FOR MANAGEMENT AND MAINTENANCE OF COMMON AREAS AND COMMON ELEMENTS OF THE PUD, INCLUDING ANY STORM WATER MANAGEMENT FACILITIES WHICH ARE PRIVATELY OWNED.

## TYPICAL LOT STANDARDS

PRINCIPAL STRUCTURES	MINIMUM
LOT AREA	5,175 SF (MINIMUM)
LOT DEPTH	115 FEET (MINIMUM)
LOT WIDTH (INTERIOR)	45 FEET (MINIMUM)
FRONT SETBACK	45 FEET (MINIMUM)
FRONT SETBACK (CORNER LOT)	45 FEET (MINIMUM)
FRONT SETBACK (INTERIOR)	20 FEET (MINIMUM)
FRONT SETBACK (CORNER LOT)	20 FEET (MINIMUM)
REAR SETBACK	15 FEET (MINIMUM)
REAR SETBACK (CORNER LOT)	15 FEET (MINIMUM)
REAR SETBACK	15 FEET (MINIMUM)
MAXIMUM SINGLE FAMILY HOME HEIGHT	40 FEET
MAXIMUM ACCESSORY STRUCTURE HEIGHT	20 FEET

## ACCESSORY STRUCTURES:

POOLS, SHEDS, & OTHER ACCESSORY STRUCTURES.

REAR SETBACK: 5 FEET (MINIMUM)

## SPRINGS PROTECTION:

THE PROPERTY LIES IN THE SECONDARY SPRINGS PROTECTION ZONE.

THE PROPERTY LIES WITHIN FLOOD ZONE X PER FEMA PANEL NUMBER 1201800701E, EFFECTIVE DATE APRIL 19, 2017.

## FLOOD ZONE:

THE PROPERTY LIES WITHIN FLOOD ZONE X PER FEMA PANEL NUMBER 1201800701E, EFFECTIVE DATE APRIL 19, 2017.

## IMPORTANT PUD PLAN NOTE:

THIS PLAN AND DESIGN IS SUBJECT TO CHANGE BASED ON DRAINAGE AND UTILITY INFRASTRUCTURE DESIGN AT THE TIME OF IMPROVEMENT PLAN SUBMITTAL. NO ADDITIONAL DENSITY IS ALLOWED. THE PUD MASTER PLAN SHALL ADHERE TO THE REQUIRED OPEN SPACE CRITERIA AS SPECIFIED IN THE LAND DEVELOPMENT CODE.

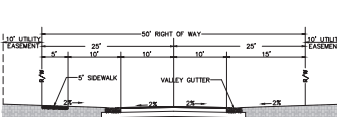
## BREAKDOWN OF ACREAGE: (EXISTING)

18.13 ACRES, MORE OR LESS (TOTAL)

18.13 ACRES WITH P.U.D. ZONING & MEDIUM RESIDENTIAL LAND USE

## DEVELOPMENT AGREEMENTS:

NONE AT THIS TIME



## LOT LAYOUT & SETBACKS

MINIMUM LOT WIDTH AT SETBACK = 45 FT.

MINIMUM LOT DEPTH = 115 FT.

MINIMUM LOT SIZE = 5,175 S.F.

N.T.S.

## OPERATION & MAINTENANCE:

THESEBY CERTIFY THAT I, MY SUCCESSORS OR ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THESE PLANS.

FURN GAMES, LLC  
CONTACT: JON GURZ, MGR  
230 NE 20TH AVE SUITE 100  
OCALA, FL 34471  
(352) 361-4024

ENGINEER'S CERTIFICATION:

DATE:

PAOLO MASTROPIERO, P.E., SE001

PAOLO MASTROPIERO, INC.

170 SE 32ND PLACE

OCALA, FL 34471

TO BE USED IN PLACE

OCALA, FL 34471

PAOLO@MASTROPIERO.COM

MASTROPIERO ENGINEERING, INC.

CIVIL / ENVIRONMENTAL - SITE DESIGN

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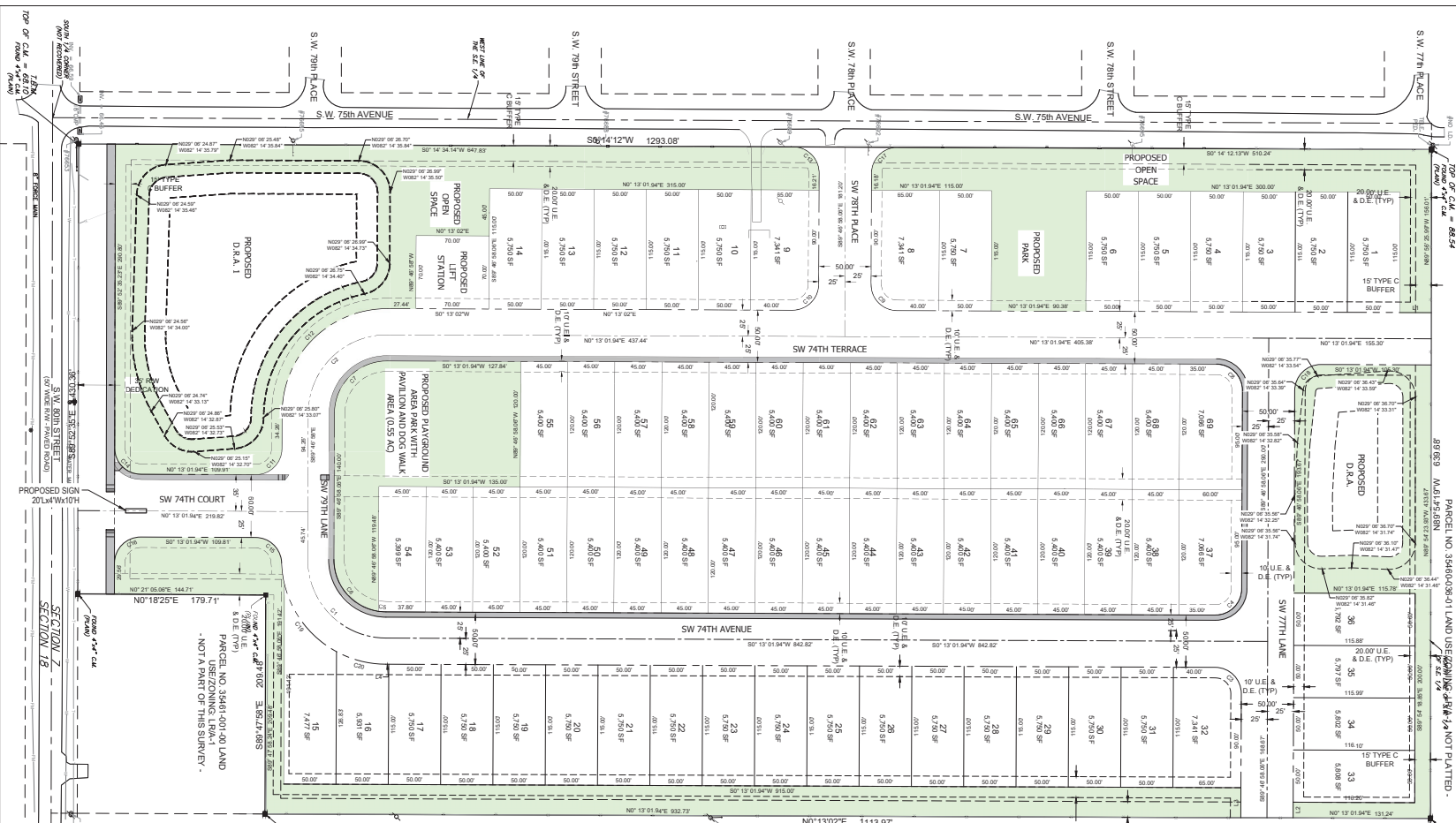
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170 SE 32ND PLACE

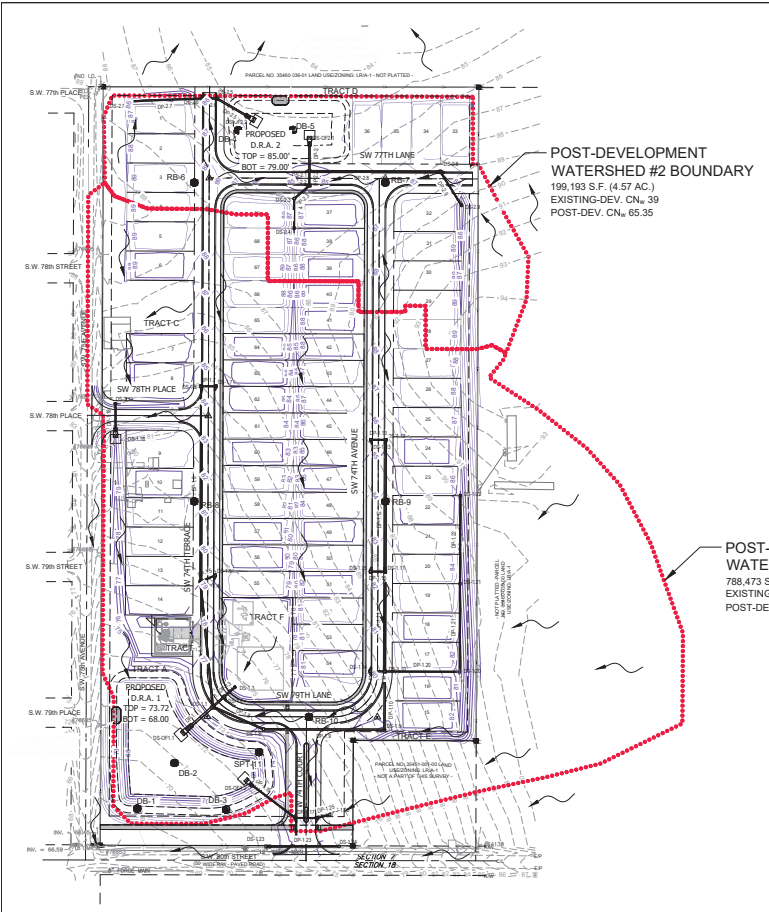




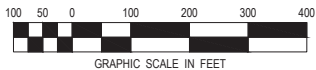






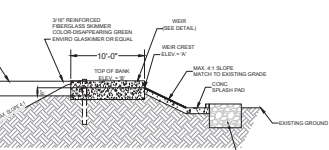
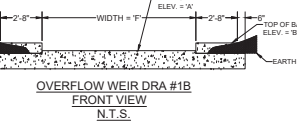


DRAINAGE PLAN SCALE: 1" = 100'



OVERFLOW WEIR SCHEDULE

DRAIN #	W	W	W	W	W	W	W
1	72.00	72.00	72.00	72.00	72.00	72.00	72.00
2	84.00	84.00	84.00	84.00	84.00	84.00	84.00



OVERFLOW WEIR DRA #1B  
SIDE VIEW  
N.T.S.

DRAINAGE DATA:

DESIGN STORM: 100YR/24HR STORM  
RAINFALL INCHES: 11.07  
SOIL TYPE: A  
IMPERVIOUS CURVE NUMBER: 98  
PERVIOUS CURVE NUMBER: 59

DRAINAGE SUMMARY:

1. THE RETENTION AREA SHALL BE PRIVATE.
2. THE RETENTION AREA SHALL TO BE MAINTAINED BY THE OWNER.
3. THE INTENT IS TO ROUTE STORMWATER RUNOFF TO THE ON-SITE FACILITY VIA STREET FLOW & INLET AND PIPE SYSTEM.
4. THE DESIGN STORM FOR THIS PROJECT SHALL BE THE 100YR/24HR STORM.
5. 100YR/24HR PEAK RUNOFF RATE IS LESS THAN IN THE POST CONDITION THAN IN THE PRE CONDITION. ADDITIONALLY, THE DISCHARGE OCCURS ON THE OWNERS PROPERTY.
6. 100YR/24HR RUNOFF DISCHARGE VOLUME IS RETAINED ON-SITE WITH NO OFF-SITE DISCHARGE. THEREFORE, NO PRE-DEVELOPMENT ANALYSIS PROVIDED.
7. RUNOFF RATES & VOLUMES REFLECT "POND" OUTPUT. SEE DRAINAGE CALCULATIONS FOR ANALYSIS OF PRE & POST WATERSHEDS.

DRAINAGE NOTES

1. THE WATERSHED AREA IS DEFINED AS THE PORTION OF THIS PROPERTY AND OFF SITE AREAS THAT CONTRIBUTE TO THE STORM WATER MANAGEMENT SYSTEM FOR THIS SITE.
2. METHOD OF CALCULATION FOR THE WEIGHTED CN IS BY TR-55 "URBAN HYDROLOGY FOR SMALL WATERSHEDS", AND IS DETERMINED BY INTERPOLATION OF TABLE 2-2A (PAGE 2-5).
3. THE DESIGN CRITERIA USED FOR ON-SITE STORAGE IS BASED ON THE MORE CRITICAL OF THE VOLUME OF THE FIRST 15 MIN OF RAINFALL FROM EACH WATERSHED, (UNFLOODED), AND THE 100YR/24HR STORM EVENT LESS INFILTRATION. STORAGE FOR CLOSED BASINS IS BASED ON MAINTAINING THE VOLUME EQUAL TO THE RUNOFF FOR A 100YR/24HR STORM EVENT LESS INFILTRATION.
4. ALL REQUIRED DRAINAGE CRITERIA HAS BEEN SATISFIED AND THIS SITE WILL NOT DISCHARGE EFFLUENT FOR ANY OF THE STORMS MODELED UP TO A 100YR/24HR.
5. THE ENGINEER SHALL SUBMIT A COMPLETE COPY OF THE APPROVED SWFMD FORM TO MARION COUNTY TRANSPORTATION DEPARTMENT WHEN IT IS AVAILABLE.
6. AREAS AROUND THE PROPOSED INLETS OR MITERED ENDS SHALL BE FINISHED WHERE INDICATED, OTHERWISE IT SHALL BE FINISH GRADED AND SLODED, AS PER F.O.D.T. INDICES 252 AND 253.
7. THE CONTRACTOR SHALL ABIDE BY STANDARD PRACTICES AND PROCEDURES FOR EROSION AND SEDIMENT CONTROL. TYPE II SILT FENCE AND OPTIONAL DANDY SAWS SHALL BE USED AS PER DETAIL.

LOT COVERAGE CALCULATIONS

LOT COVERAGE 47 LOT	ROW COVERAGE 47 LOT
BLDG	208
ACCESSORY	208
DRIVEWAY	400
A/C PAD	12
WALKWAY	85
TOTAL	2787
LOT COVERAGE BREAKDOWN	ROW COVERAGE BREAKDOWN
# OF LOTS	# OF LOTS
IMPERVIOUS AREA	IMPERVIOUS AREA
TOTAL COVERAGE OF LOT AND ROW =	2995

LOT COVERAGE 50 LOT	ROW COVERAGE 50 LOT
BLDG	2085
ACCESSORY	80
DRIVEWAY	400
A/C PAD	12
WALKWAY	85
TOTAL	3242
LOT COVERAGE BREAKDOWN	ROW COVERAGE BREAKDOWN
# OF LOTS	# OF LOTS
IMPERVIOUS AREA	IMPERVIOUS AREA
TOTAL COVERAGE OF LOT AND ROW =	3450

DRAINAGE LEGEND:



VERTICAL DATUM NOTE:

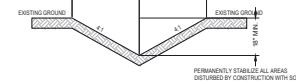
ELEVATION DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988. BENCHMARK IS MARION COUNTY STATION 4840 & 4841 IS 10 WITH PUBLISHED ELEVATIONS OF 87.428 AND 85.113 RESPECTIVELY.

FLOOD HAZARD NOTE:

BASED ON GRAPHICAL FLOODING ONLY, THE PROPERTY DESCRIBED HEREIN LIES IN ZONE "X" AREAS OF MINIMAL FLOOD HAZARD. AS PER FLOOD HAZARD RISK MAP NUMBER 038002C & 128002C, EFFECTIVE DATE APRIL 19, 2017.

FINISHED FLOOR NOTE:

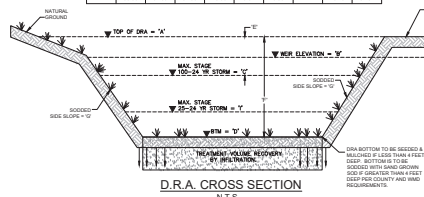
ALL BUILDING FINISHED FLOOR ELEVATIONS ARE SET, AT A MINIMUM, 1 FT. OR HIGHER THAN THE 100-YR FLOOD ELEVATION.



V-TYPE SWALE DETAIL  
NOT TO SCALE

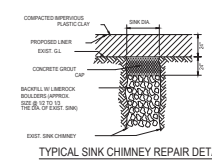
D.R.A. SCHEDULE

DRAIN #	W	W	W	W	W	W	W
1	72.00	72.00	72.00	72.00	72.00	72.00	72.00
2	84.00	84.00	84.00	84.00	84.00	84.00	84.00



D.R.A. CROSS SECTION  
N.T.S.

NOTE FOR ALL DRA CONSTRUCTION:  
IF LAMEROCK IS ENCOUNTERED DURING EXCAVATION, THE RETENTION BASIN WILL BE OVEREXCAVATED AND BACKFILLED SO THAT THERE IS A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL BETWEEN THE SURFACE OF THE LAMEROCK BEDROCK AND THE BOTTOM AND SIDES OF THIS RETENTION BASIN. THE PROJECT ENGINEER AND THE APPROVED MANAGEMENT DISTRICT MUST BE NOTIFIED IMMEDIATELY AND WILL BE A PART OF THE RECOMMENDED CONSTRUCTION. REMEDIATION IF ANY LAMEROCK IS ENCOUNTERED.



TYPICAL SINK CHIMNEY REPAIR DETAIL

REVISION DESCRIPTION: RESPONSE TO COUNTY #1	DATE: 6-12-25	DESIGNED BY: PM	CHECKED BY: PM	DATE: 02-21-25
ENGINEER'S CERTIFICATION: DATE: 06-12-25 MARTIN ROSE ENGINEERING, INC. 170 SE 3RD PLACE MARTIN ROSE ENGINEERING, INC. C.A.#159 MARTIN ROSE ENGINEERING, INC. C.A.#159 MARTIN ROSE ENGINEERING, INC. C.A.#159				
PROJECT: WESTWOOD TRAIL 6 (aka VILLA VERDE PUD) MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21 MARTIN ROSE ENGINEERING, INC. 170 SE 3RD PLACE MARTIN ROSE ENGINEERING, INC. C.A.#159 MARTIN ROSE ENGINEERING, INC. C.A.#159 MARTIN ROSE ENGINEERING, INC. C.A.#159				
TITLE: POST DRAINAGE PLAN				
SCALE: 1" = 100'				
JOB#: 23-12				
SHEET C5 OF 23				



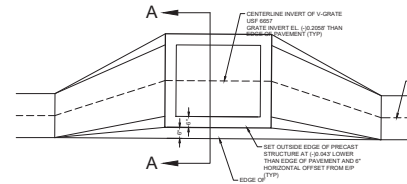




STORM STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
DS-1.1	TYPE V INLET 60" ROUND P-BTM EIP EL. = 76.30 IE. IN = 71.10' IE. IN = 70.27' IE. IN = 70.27' IE. OUT = 68.30'	DP-1.2, 24"HDPE IE. IN +71.10' DP-1.4, 24"HDPE IE. IN +70.27' DP-1.8, 24"HDPE IE. IN +70.27'	DP-1.1, 36"HDPE IE. OUT +68.30'
DS-1.2	TYPE V INLET 60" ROUND P-BTM EIP EL. = 76.30' IE. IN = 71.33' IE. OUT = 71.23'	DP-1.3, 24"HDPE IE. IN +71.33'	DP-1.2, 24"HDPE IE. OUT +71.23'
DS-1.3	TYPE E INLET EIP EL. = 74.63 IE. OUT = 71.45'		DP-1.3, 24"HDPE IE. OUT +71.45'
DS-1.4	TYPE V INLET 48" ROUND P-BTM EIP EL. = 76.04 IE. IN = 73.00' IE. IN = 73.00' IE. OUT = 72.50'	DP-1.5, 18"HDPE IE. IN +73.00' DP-1.6, 18"HDPE IE. IN +73.00'	DP-1.4, 24"HDPE IE. OUT +72.50'
DS-1.5	TYPE V INLET 48" ROUND P-BTM EIP EL. = 76.21 IE. OUT = 73.27'		DP-1.5, 18"HDPE IE. OUT +73.27'
DS-1.6	TYPE V INLET 48" ROUND P-BTM EIP EL. = 84.38 IE. IN = 78.30' IE. OUT = 78.20'	DP-1.7, 18"HDPE IE. IN +78.30'	DP-1.6, 18"HDPE IE. OUT +78.20'
DS-1.7	TYPE V INLET 48" ROUND P-BTM EIP EL. = 84.38 IE. OUT = 78.55'		DP-1.7, 18"HDPE IE. OUT +78.55'
DS-1.8	48" MANHOLE RM EL. = 77.10' IE. IN = 70.84' IE. OUT = 70.72'	DP-1.9, 24"HDPE IE. IN +70.84'	DP-1.8, 24"HDPE IE. OUT +70.72'
DS-1.9	TYPE E INLET GRATE = 77.70 IE. IN = 73.30' IE. OUT = 71.87'	DP-1.10, 24"HDPE IE. IN +73.30'	DP-1.9, 24"HDPE IE. OUT +71.87'
DS-1.10	TYPE V INLET 48" ROUND P-BTM EIP EL. = 79.99 IE. IN = 74.30' IE. IN = 74.70' IE. IN = 74.70' IE. OUT = 74.20'	DP-1.11, 24"HDPE IE. IN +74.30' DP-1.14, 18"HDPE IE. IN +74.70' DP-1.20, 18"HDPE IE. IN +74.70'	DP-1.10, 24"HDPE IE. OUT +74.20'
DS-1.11	TYPE V INLET 48" ROUND P-BTM EIP EL. = 82.22 IE. IN = 76.90' IE. IN = 77.20' IE. OUT = 76.70'	DP-1.12, 24"HDPE IE. IN +76.80' DP-1.15, 18"HDPE IE. IN +77.20'	DP-1.11, 24"HDPE IE. OUT +76.70'
DS-1.12	TYPE V INLET 48" ROUND P-BTM EIP EL. = 85.34 IE. IN = 80.10' IE. OUT = 79.60'	DP-1.13, 18"HDPE IE. IN +80.10'	DP-1.12, 24"HDPE IE. OUT +79.60'
DS-1.13	TYPE V INLET 48" ROUND P-BTM EIP EL. = 85.34 IE. OUT = 80.35'		DP-1.13, 18"HDPE IE. OUT +80.35'
DS-1.14	TYPE V INLET 48" ROUND P-BTM EIP EL. = 79.99 IE. OUT = 74.95'		DP-1.14, 18"HDPE IE. OUT +74.95'
DS-1.15	TYPE V INLET 48" ROUND P-BTM EIP EL. = 82.22 IE. OUT = 77.45'		DP-1.15, 18"HDPE IE. OUT +77.45'
DS-1.16	TYPE V INLET 48" ROUND P-BTM EIP EL. = 74.94 IE. IN = 68.64' IE. OUT = 68.54'	DP-1.17, 18"HDPE IE. IN +68.64'	DP-1.16, 18"HDPE IE. OUT +68.54'
DS-1.17	TYPE V INLET 48" ROUND P-BTM EIP EL. = 74.94 IE. IN = 69.11' IE. OUT = 69.01'	DP-1.25, 18"HDPE IE. IN +69.11'	DP-1.17, 18"HDPE IE. OUT +69.01'
DS-1.18	18" CMES FDOT 430-021 IE. = 79.00'	DP-1.18, 18"HDPE IE. IN +79.00'	
DS-1.19	TYPE E INLET GRATE = 81.91' IE. OUT = 79.20'		DP-1.18, 18"HDPE IE. OUT +79.20'
DS-1.20	TYPE E INLET GRATE = 80.11' IE. IN = 76.10' IE. OUT = 76.00'	DP-1.21, 18"HDPE IE. IN +76.10'	DP-1.20, 18"HDPE IE. OUT +76.00'

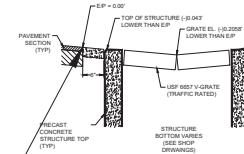
STORM STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
DS-1.21	TYPE E INLET GRATE = 81.92 IE. IN = 78.42' IE. OUT = 78.32'	DP-1.22, 18"HDPE IE. IN +78.42'	DP-1.21, 18"HDPE IE. OUT +78.32'
DS-1.22	TYPE E INLET GRATE = 83.88 IE. OUT = 80.67'		DP-1.22, 18"HDPE IE. OUT +80.67'
DS-1.23	18" CMES FDOT 430-022 IE. = 70.23'	DP-1.23, 18"HDPE IE. IN +70.23'	
DS-1.24	FDOT TYPE D INLET TRAVERSABLE SLOT EAST GRATE = 75.63, SLOT EL. = 75.05' IE. = 71.46'		DP-1.23, 18"HDPE IE. OUT +71.46'
DS-1.25	TYPE E INLET GRATE = 74.50 IE. OUT = 69.37'		DP-1.25, 18"HDPE IE. OUT +69.37'
DS-2.1	TYPE V INLET 48" ROUND P-BTM RM EL. = 84.78 IE. IN = 80.78' IE. IN = 79.79' IE. OUT = 79.29'	DP-2.2, 18"HDPE IE. IN +80.78' DP-2.8, 18"HDPE IE. IN +79.79'	DP-2.1, 24"HDPE IE. OUT +79.29'
DS-2.2	TYPE V INLET 48" ROUND P-BTM EIP EL. = 81.78 IE. IN = 81.01' IE. OUT = 80.91'	DP-2.3, 18"HDPE IE. IN +81.01'	DP-2.2, 18"HDPE IE. OUT +80.91'
DS-2.3	48" MANHOLE RM EL. = 85.18 IE. IN = 81.28' IE. OUT = 81.18'	DP-2.4, 18"HDPE IE. IN +81.28'	DP-2.3, 18"HDPE IE. OUT +81.18'
DS-2.4	TYPE C INLET GRATE = 84.88 IE. OUT = 81.53'		DP-2.4, 18"HDPE IE. OUT +81.53'
DS-2.5	TYPE V INLET 48" ROUND P-BTM EIP EL. = 85.84 IE. IN = 80.35' IE. OUT = 79.35'	DP-2.6, 24"HDPE IE. IN +80.35'	DP-2.5, 24"HDPE IE. OUT +79.35'
DS-2.6	TYPE V INLET 48" ROUND P-BTM EIP EL. = 85.84 IE. IN = 80.98' IE. OUT = 80.48'	DP-2.7, 18"HDPE IE. IN +80.98'	DP-2.6, 24"HDPE IE. OUT +80.48'
DS-2.7	TYPE E INLET GRATE = 85.50 IE. OUT = 82.35'		DP-2.7, 18"HDPE IE. OUT +82.35'
DS-2.8	TYPE V INLET 48" ROUND P-BTM EIP EL. = 87.53 IE. IN = 81.87' IE. OUT = 81.77'	DP-2.9, 18"HDPE IE. IN +81.87'	DP-2.8, 18"HDPE IE. OUT +81.77'
DS-2.9	TYPE E INLET GRATE = 85.14 IE. OUT = 82.14'		DP-2.9, 18"HDPE IE. OUT +82.14'
DS-OF1.1	36" CMES FDOT 430-021 IE. = 68.00' IE. IN = 68.00'	DP-1.1, 36"HDPE IE. IN +68.00'	
DS-OF1.2	18" CMES IE. = 68.00' IE. IN = 68.00'	DP-1.16, 18"HDPE IE. IN +68.00'	
DS-OF2.1	18" CMES IE. = 79.00'		
DS-OF2.2	24" CMES IE. = 79.00'		

**NOTE:**  
**ALL V INLET STRUCTURE ELEVATIONS SHOWN IN THE STRUCTURE TABLE ARE THE AT THE E/P. CENTERLINE OF THE ACTUAL GRATE INVERT IS 0.2058' LOWER THAN THE EDGE OF PAVEMENT. SEE DETAIL THIS SHEET.**

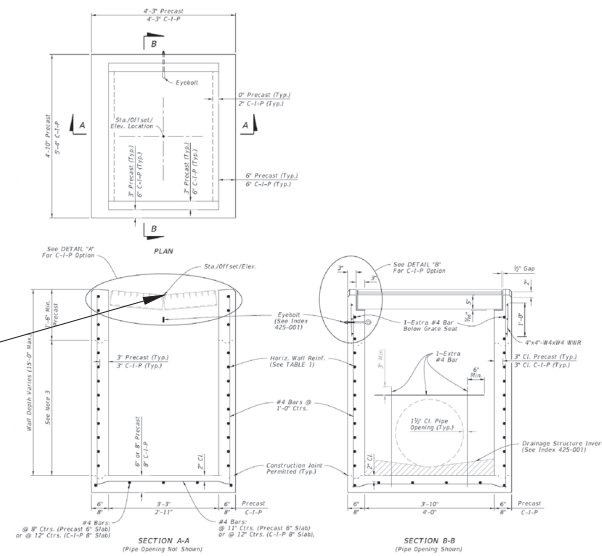


**TYPICAL TYPE V INLET TOP**

Reference FDOT Index 425-041



**TYPE V INLET SECTION A - A**



JOB#: 23-12		SHEET C7 OF 23		SCALE: NTS		PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD) MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21				MASTROGRO ENGINEERING, INC. 170 SE 2ND PLACE OCALA, FL 34471 PH: (352) 463-2105 PAUL@MASTROGROENG.COM		ENGINEER'S CERTIFICATION: <div>DATE:  PROJ: MASTROGRO PLE 1881 WESTWOOD TRAILS MEETING NC 6.6.6189 OCALA FL 34471</div>		DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 02/21/25		REGION DESCRIPTION: RESPONSE TO COUNTY PM 1	
TITLE: STORM STRUCTURE & PIPE TABLE																	







[illegible]

LOT DEPTH (FEET)

BUILDING PAD (FOOT)

GRADE 1% TO 2% (SLOPE)

GRADE 1% TO 2% (SLOPE)

TYPICAL TYPE 'B' LOT SLOPES FROM FRONT TO REAR OF LOT

BUILDING PAD GRADE FOR EACH LOT SHALL BE AS SPECIFIED IN PLANS. SEE SLOPES NOT TO EXCEED 3:1 MAX.

**TYPE 'B' LOT**

TYPICAL LOT GRADING PLAN

NOT TO SCALE

LOT DEPTH (FEET)

BUILDING PAD GRADE

EXISTING LOT FLOOR

SLOPE 1:1

SLOPE 1:1

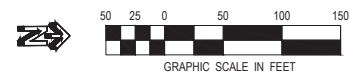
TYPICAL TYPE "C" LOT SLOPES BOTH TO FRONT AND REAR OF LOT.


BUILDING PAD GRADE FOR EACH LOT SHALL AS SPECIFIED IN PLANS. SIDE SLOPES NOT EXCEED 3:1 MAX.

**TYPE "C" LOT**

TYPICAL LOT GRADING PLAN

NOT TO SCALE

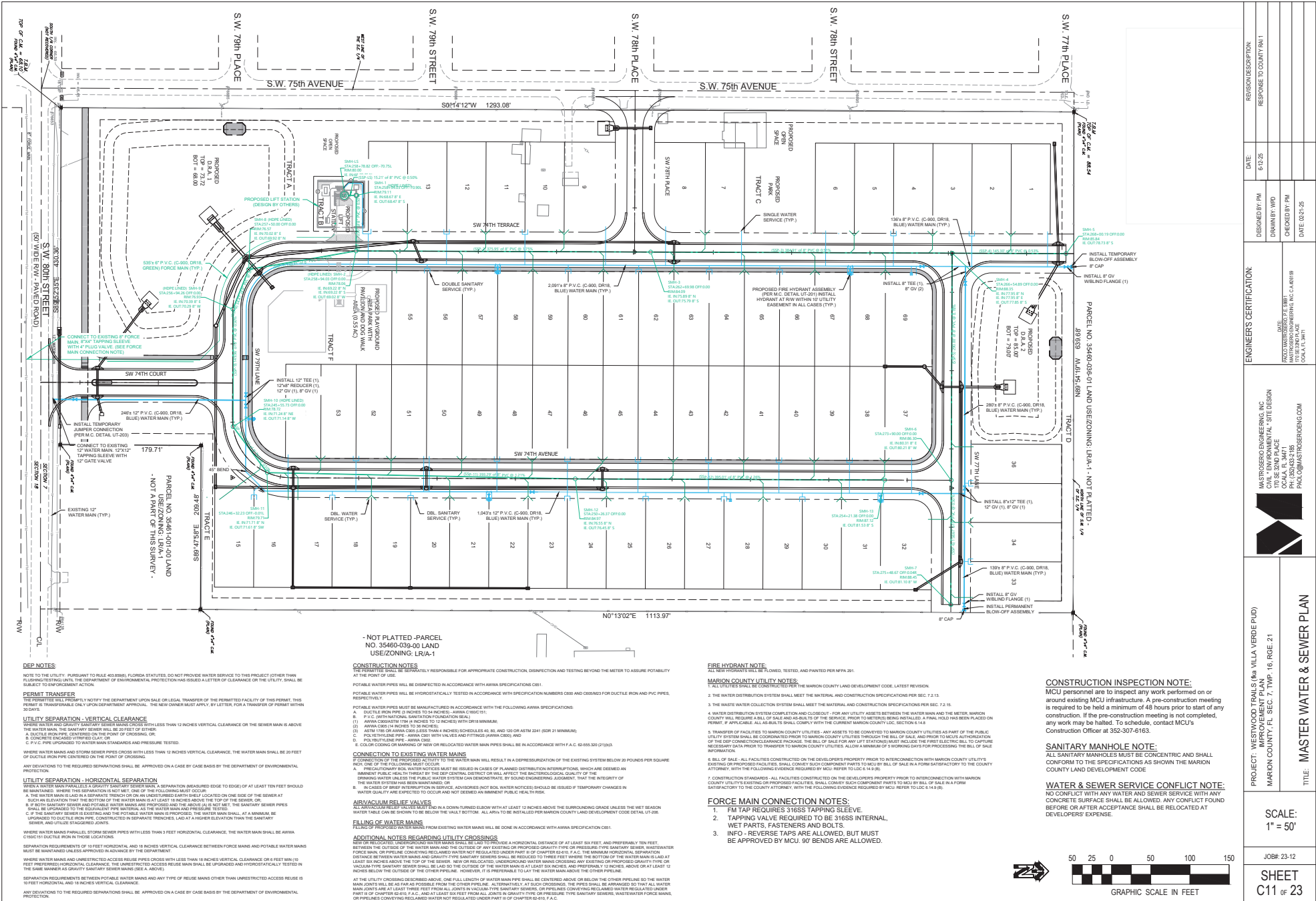



SCALE: 1" = 50' JOB#: 23-12	PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD) IMPROVEMENT PLAN MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21	 MASTROSERIO ENGINEERING, INC. CIVIL / ENVIRONMENTAL / SITE DESIGN 170 SE 32ND PLACE SUITE 200 PALM BEACH, FL 33408-2185 PH: (561) 843-2185 PAUL@MASTROSERIOENGINE.COM	ENGINEER'S CERTIFICATION:		DATE: 6/12/25 DESIGNED BY: PM DRAWN BY: WPD	REGION DESCRIPTION: RESPONSE TO COUNTY RM 1
			DATE: 06/12/25 CHECKED BY: PM DATE: 02/01/25	DATE: 06/12/25 CHECKED BY: PM DATE: 02/01/25		
TITLE: LOT GRADING PLAN						
SHEET C09 OF 23						









SCALE: 1" = 50'		JOB#: 23-12		SHEET C11 OF 23	
PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD) MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21 MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21				MASTROSIERO ENGINEERING, INC. 10000 W. UNIVERSITY AVE., SUITE 200 TALLAHASSEE, FL 32310 TEL: 904.241.3471 FAX: 904.241.3471 WWW.MASTROSIEROENGINEERING.COM	
TITLE: MASTER WATER & SEWER PLAN		DATE: 03/21/25		ENGINEER'S CERTIFICATION: DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 03/21/25	
REGION DESCRIPTION		RESPONSE TO COUNTY RM 1		DATE: 6/12/25	

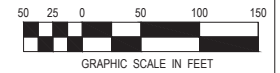
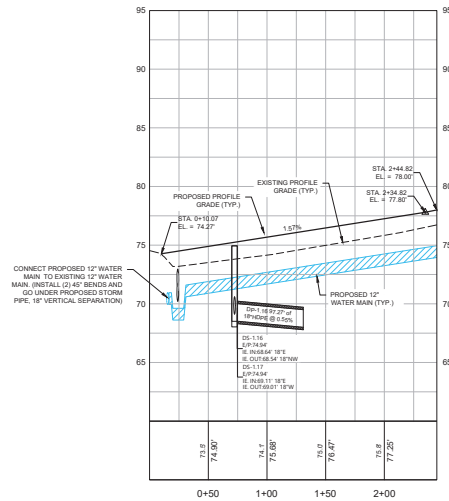
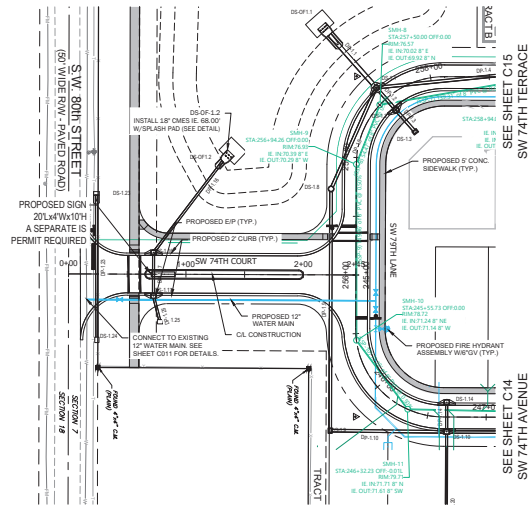



SANITARY MANHOLE NOTE:  
ALL SANITARY MANHOLES MUST BE CONCENTRIC AND  
SHALL CONFORM TO THE SPECIFICATIONS AS SHOWN  
THE MARION COUNTY LAND DEVELOPMENT CODE

SANITARY STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
SMH1	48" MANHOLE HOPE LINED RIM EL. = 78.11' INV IN = 68.67 INV OUT = 68.47	SSP-1, 8" PVC IE. IN =68.67'	SSP-L5, 8" PVC IE. OUT =68.47'
SMH2	48" MANHOLE HOPE LINED RIM EL. = 78.06' INV IN = 69.22 INV IN = 69.22 INV OUT = 69.02	SSP-2, 8" PVC IE. IN =69.22' SSP-7, 8" PVC IE. IN =69.22'	SSP-1, 8" PVC IE. OUT =69.02'
SMH3	48" MANHOLE RIM EL. = 84.09' INV IN = 75.89 INV OUT = 75.79	SSP-3, 8" PVC IE. IN =75.89'	SSP-2, 8" PVC IE. OUT =75.79'
SMH4	48" MANHOLE RIM EL. = 88.35' INV IN = 77.95 INV IN = 77.95 INV OUT = 77.85	SSP-4, 8" PVC IE. IN =77.95' SSP-5, 8" PVC IE. IN =77.95'	SSP-3, 8" PVC IE. OUT =77.85'
SMH5	48" MANHOLE RIM EL. = 85.84' INV OUT = 78.73		SSP-4, 8" PVC IE. OUT =78.73'
SMH6	48" MANHOLE RIM EL. = 86.30' INV IN = 80.31 INV OUT = 80.21	SSP-6, 8" PVC IE. IN =80.31'	SSP-5, 8" PVC IE. OUT =80.21'
SMH7	48" MANHOLE RIM EL. = 88.45' INV OUT = 81.10		SSP-6, 8" PVC IE. OUT =81.10'
SMH8	48" MANHOLE HOPE LINED RIM EL. = 76.57' INV IN = 70.02 INV OUT = 69.92	SSP-8, 8" PVC IE. IN =70.02'	SSP-7, 8" PVC IE. OUT =69.92'
SMH9	48" MANHOLE HOPE LINED RIM EL. = 76.93' INV IN = 70.39 INV OUT = 70.29	SSP-9, 8" PVC IE. IN =70.39'	SSP-8, 8" PVC IE. OUT =70.29'
SMH10	48" MANHOLE HOPE LINED RIM EL. = 78.72' INV IN = 71.24 INV OUT = 71.14	SSP-10, 8" PVC IE. IN =71.24'	SSP-9, 8" PVC IE. OUT =71.14'
SMH11	48" MANHOLE RIM EL. = 79.71' INV IN = 71.71 INV OUT = 71.61	SSP-11, 8" PVC IE. IN =71.71'	SSP-10, 8" PVC IE. OUT =71.61'
SMH12	48" MANHOLE RIM EL. = 84.97' INV IN = 76.55 INV OUT = 76.45	SSP-12, 8" PVC IE. IN =76.55'	SSP-11, 8" PVC IE. OUT =76.45'
SMH13	48" MANHOLE RIM EL. = 87.12' INV OUT = 81.53		SSP-12, 8" PVC IE. OUT =81.53'
SMHLS	72" MANHOLE HOPE LINED RIM EL. = 80.00' INV IN = 68.39	SSP-L5, 8" PVC IE. IN =68.39'	

REGION DESCRIPTION: RESPONSE TO COUNTY PM 1		DATE: 6/12/25	DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 03/21/25
ENGINEER'S CERTIFICATION: <div>MASTROSCERO ENGINEERING, INC. 170 SE 22ND PLACE OCALA, FL 34471 PH: (352) 632-2185 PMAIL: @MASTROSCERO.COM</div>		<div>DATE: PROJECT MANAGER: MICHAEL E. BERT TITLE: LAND PLACER OCALA, FL 34471</div>	
PROJECT: WESTWOOD TRAILS (aka MILA VERDE PUD) MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21		TITLE: SANITARY STRUCTURE & PIPE TABLE	
SCALE: NTS			
JOB#: 23-12			
SHEET C12 OF 23			





PROJECT: WESTWOOD TRAIL S (aka VILLA VERDE FUD) IMPROVEMENT PLAN MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21 SECTION 16, TWP. 16, RGE. 21 C.O.A.# FL 34711		 MASTROSERO ENGINEERING, INC CIVIL/ENVIRONMENTAL SITE DESIGN 10000 W. US HWY 90, SUITE 100 OCALA, FL 34711 PH: (352) 432-2185 PAGLO@MASTROSEROENG.COM	ENGINEERS CERTIFICATION:  I, <u>PAUL MASTROSERO</u> , P.E. (0001) MAJOR REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA C.O.A.# FL 34711		DESIGNED BY: PM DRAWN BY: WPD CHECKED BY: PM DATE: 02/21/25	REVISION DESCRIPTION: RESPONSE TO COUNTY #1
SCALE: 1" = 50'			DATE: 6/12/25			
JOB#: 23-12		SHEET C13 OF 23				
TITLE: SW 74TH COURT PLAN & PROFILE						





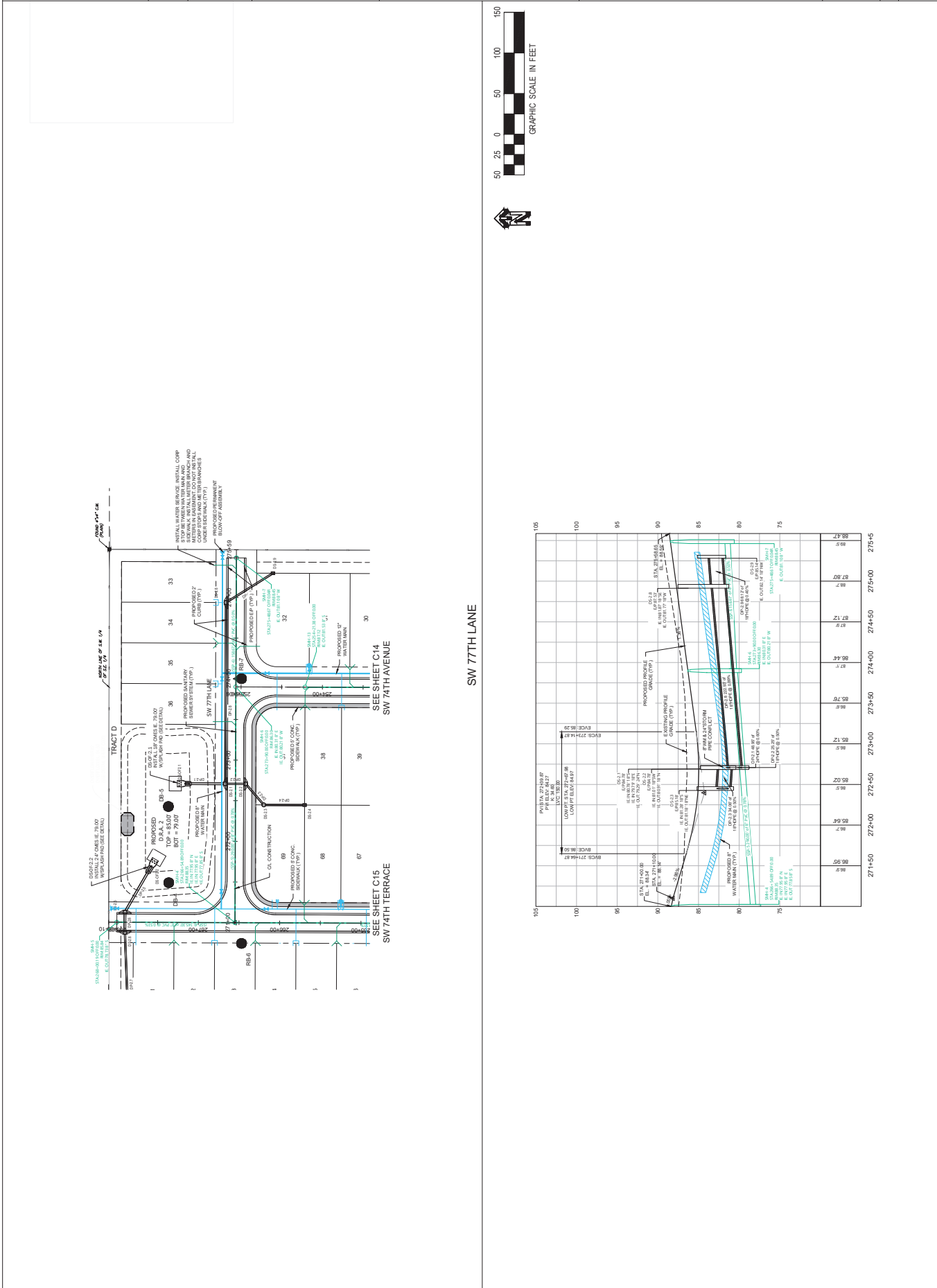












PROJECT: WESTWOOD TRAILS (IN A VILLA VERDE PUD)

MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21

DATE: 03/23/21

DESIGNED BY: PM

DRAWN BY: WPD

CHECKED BY: PM

DATE: 03/21/25

REVISION DESCRIPTION:

RESPONSE TO COUNTY RAI 1

PROJECT: WESTWOOD TRAILS (IN A VILLA VERDE PUD)

MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21

DATE: 03/23/21

DESIGNED BY: PM

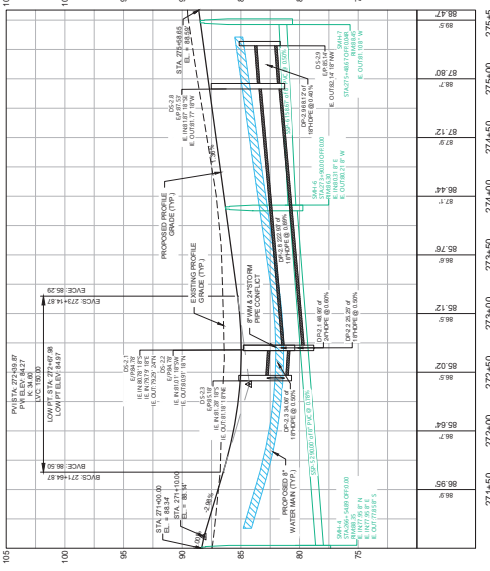
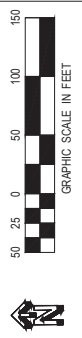
DRAWN BY: WPD

CHECKED BY: PM

DATE: 03/21/25

REVISION DESCRIPTION:

RESPONSE TO COUNTY RAI 1



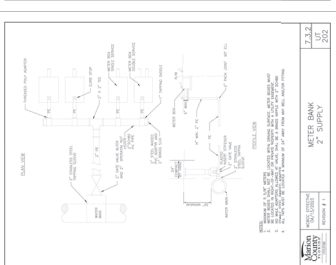
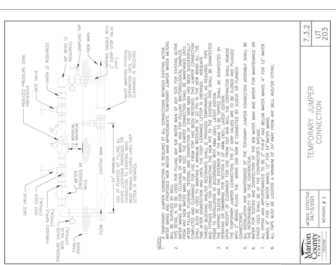
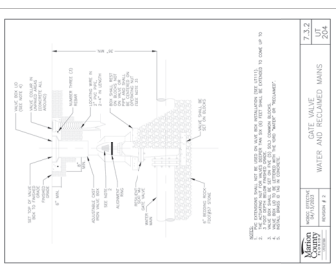
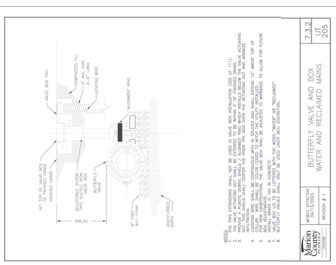
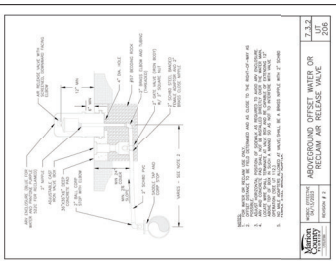
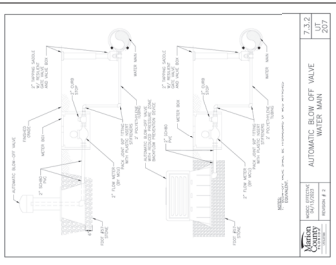
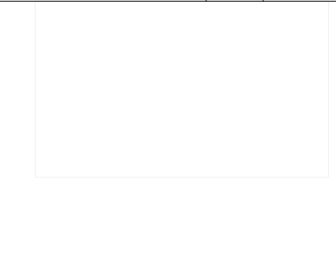
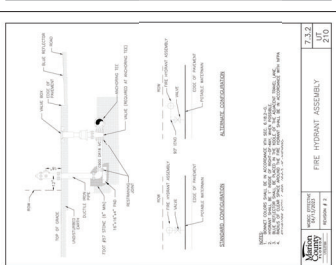
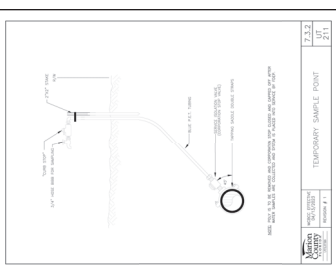
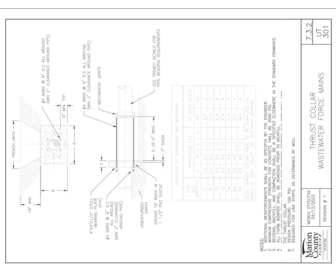
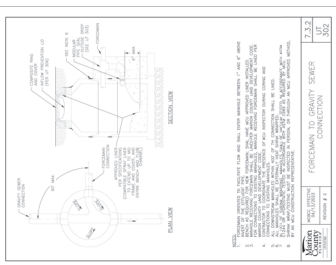
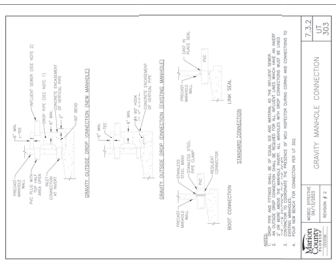
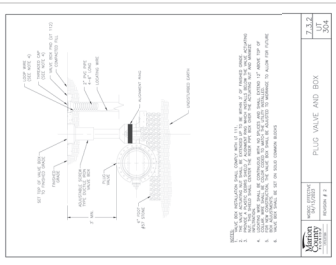
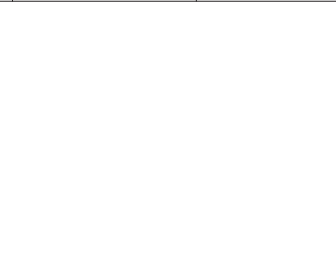
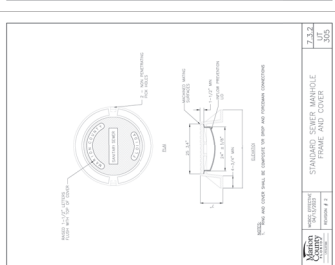
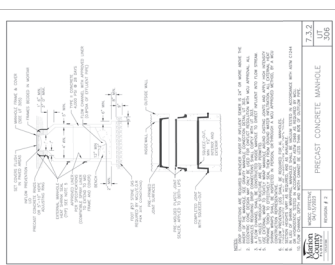
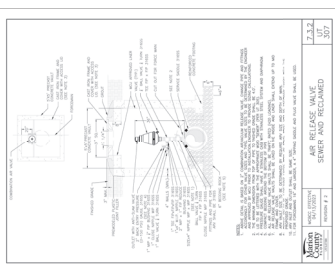
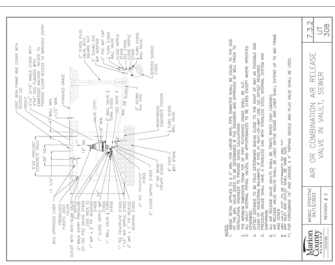
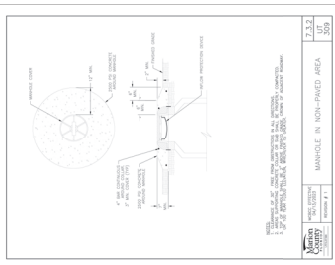
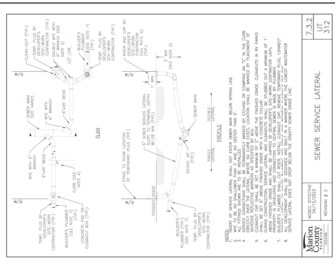
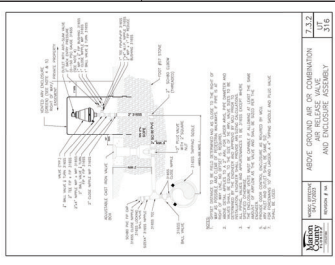




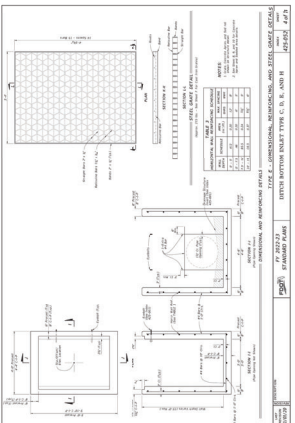
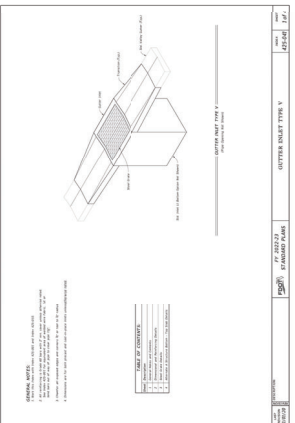
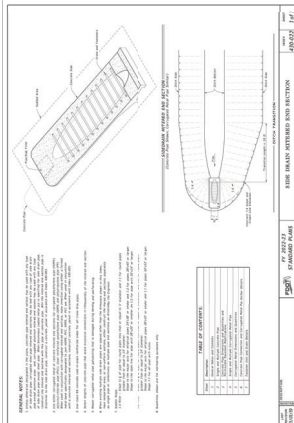
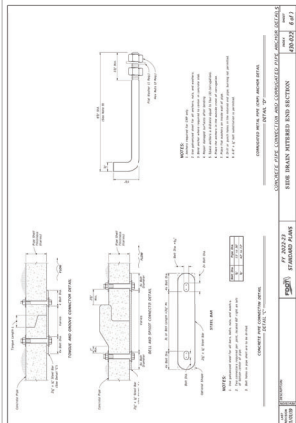
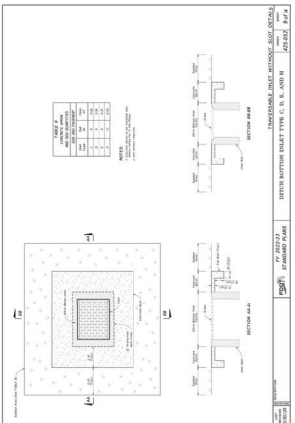
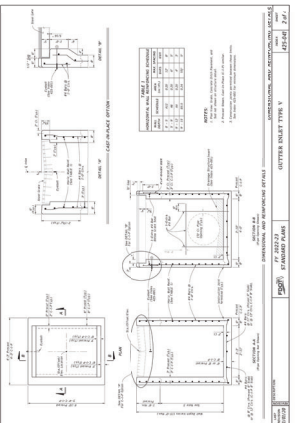
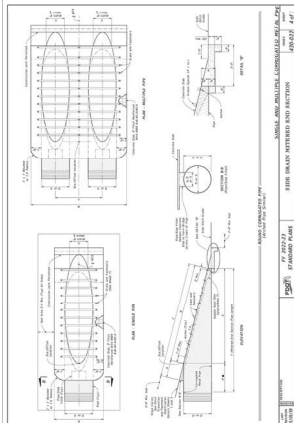
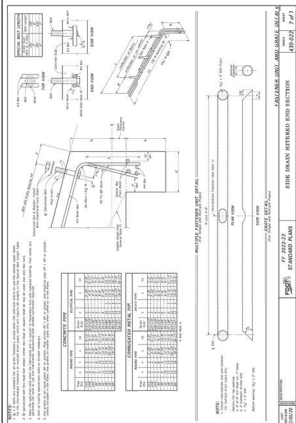
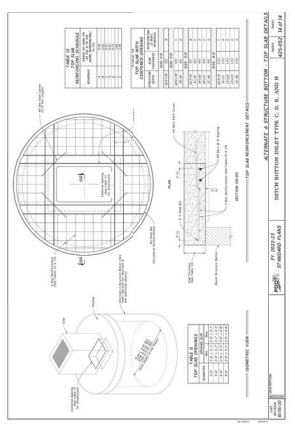
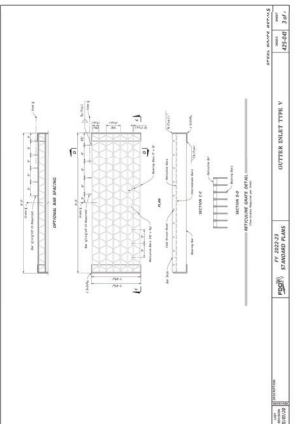
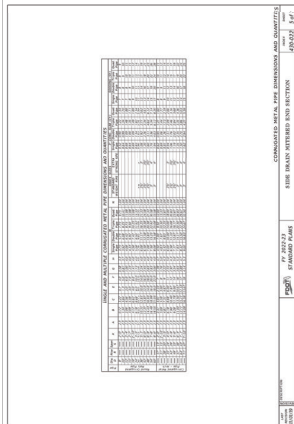
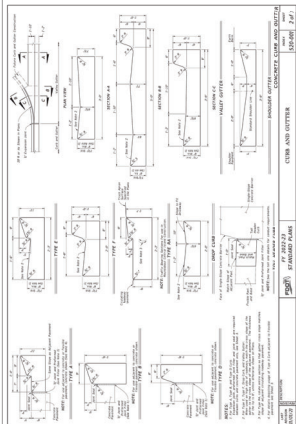
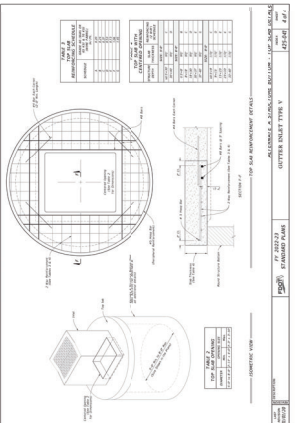
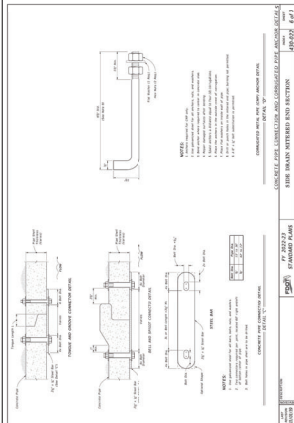
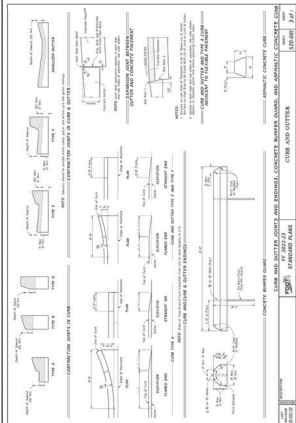


[illegible]











DATE:	6-12-25
REVISION DESCRIPTION:	RESPONSE TO COUNTY RAI 1



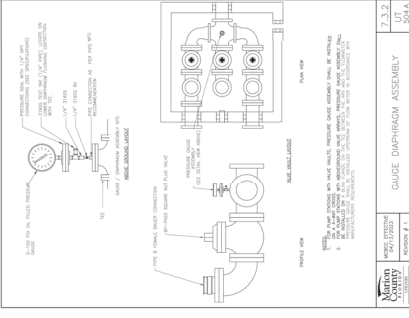
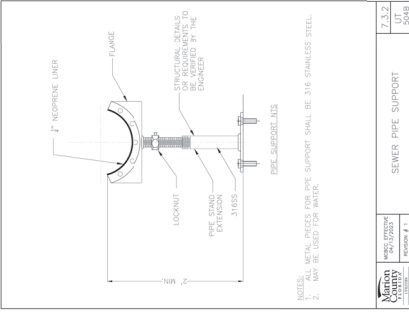
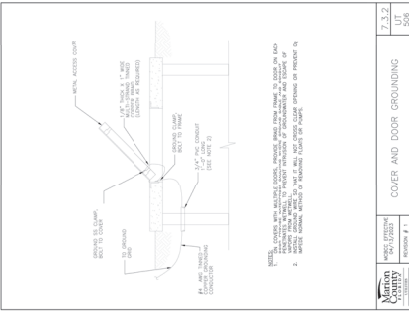
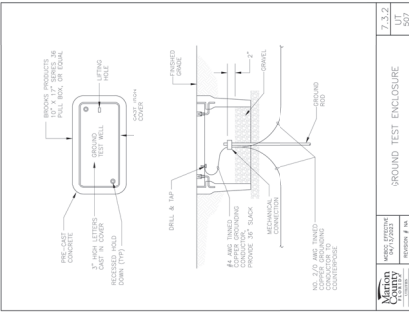
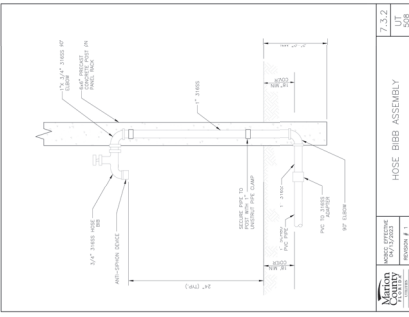
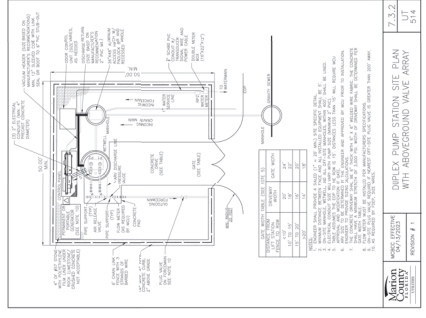
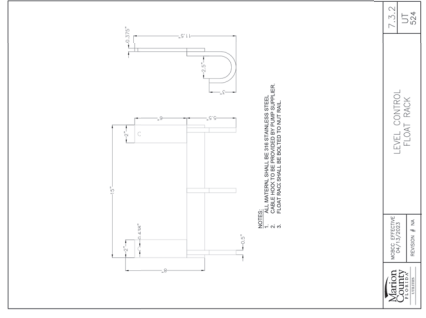
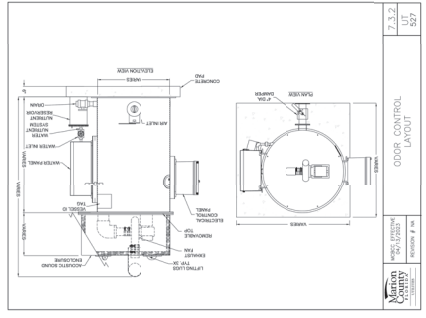
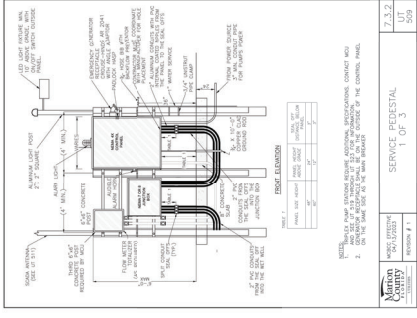
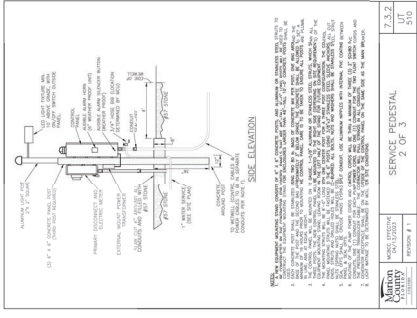
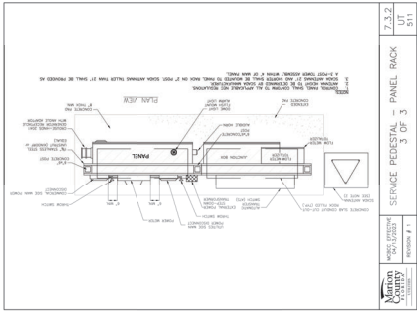
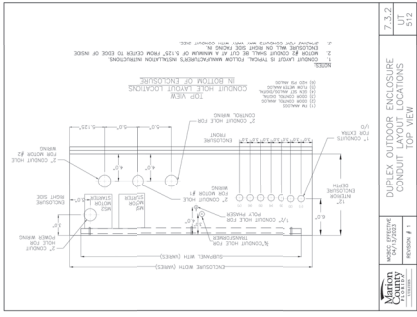
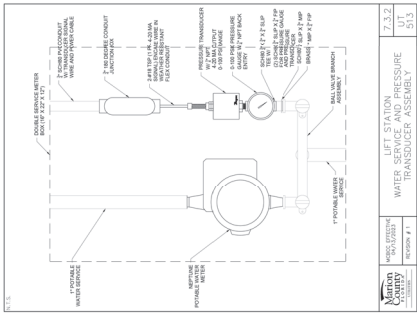
PROJECT: WESTWOOD TRAILS (aka VILLA VERDE PUD)  
IMPROVEMENT PLAN  
MARION COUNTY, FL SEC. 7, TWP. 16, RGE. 21



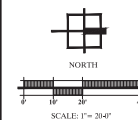
WORLDWIDE  
DESIGN  
INC.

NO-

DATE:	6-12-25
REVISION DESCRIPTION:	RESPONSE TO COUNTY RAI 1



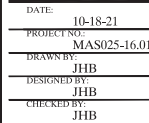




**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**MARION COUNTY, FLORIDA**  
**PREPARED FOR:**  
**Mastroserio Engineering**

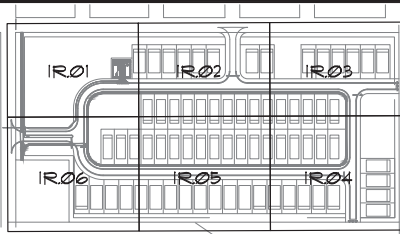
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**IRRIGATION PLAN**

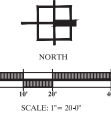
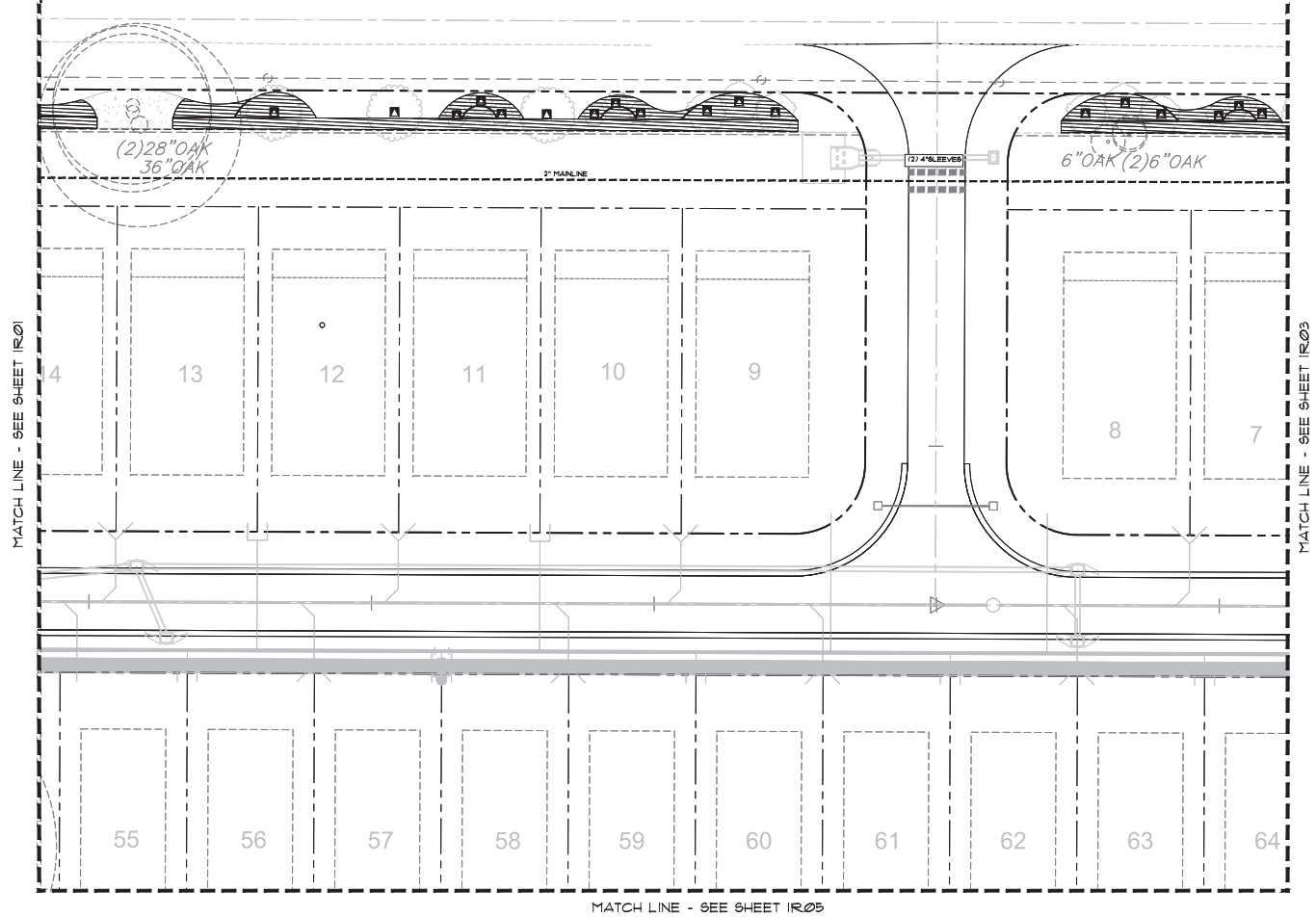


SHEET NO.  
**IR.01**



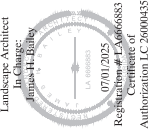


SHEET KEY MAP  
N.T.S.



NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
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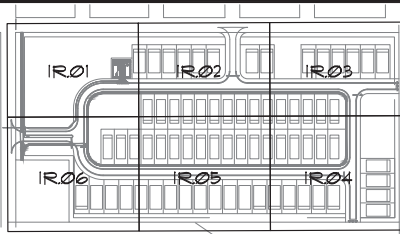
**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering  
**IRRIGATION PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

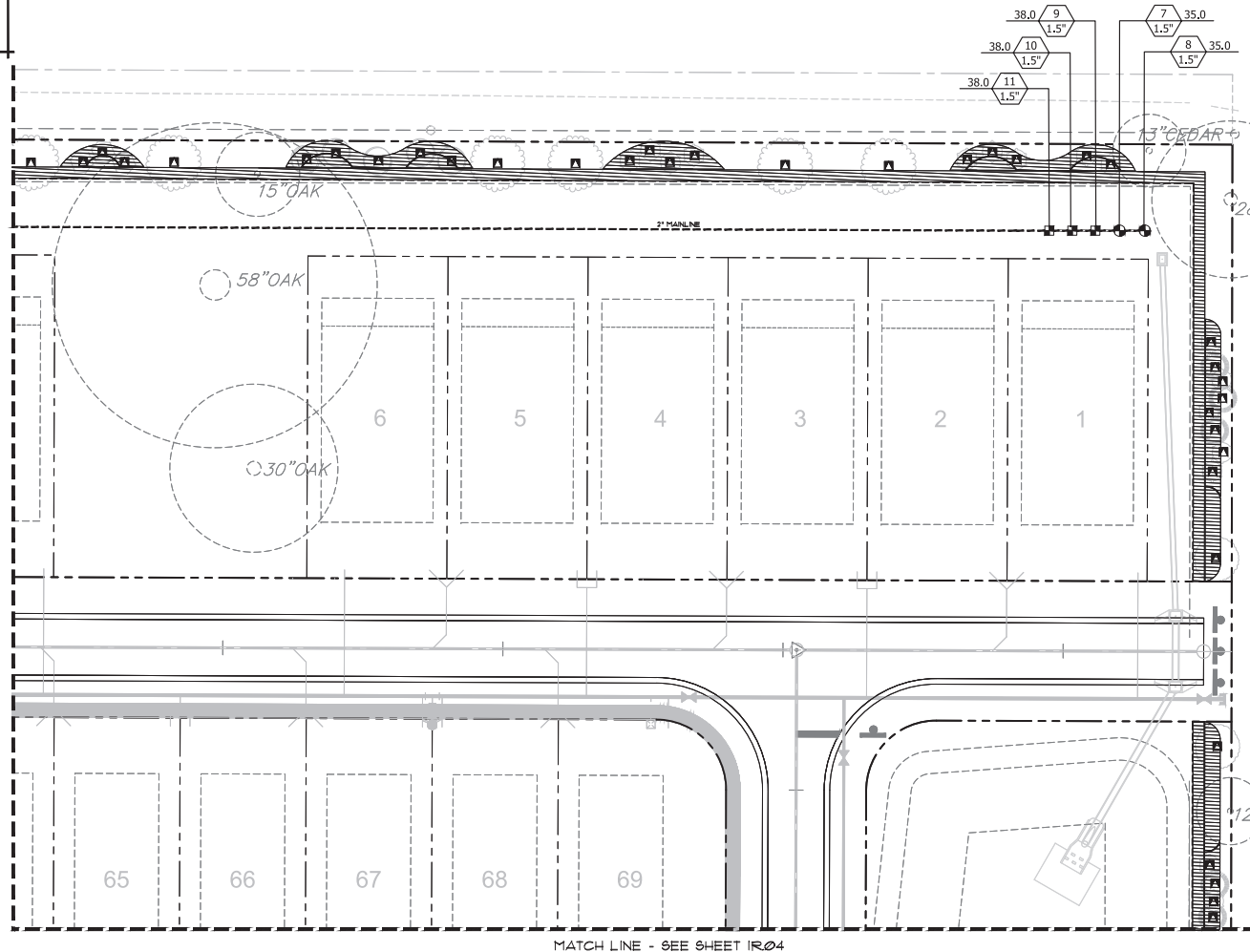
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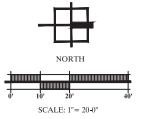


SHEET KEY MAP  
N.T.S.

MATCH LINE - SEE SHEET IR02



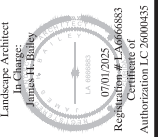
MATCH LINE - SEE SHEET IR04



NO.	DATE	DESCRIPTION
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2	01/15/21	COUNTY RESUBMITTAL
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**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering

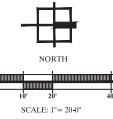
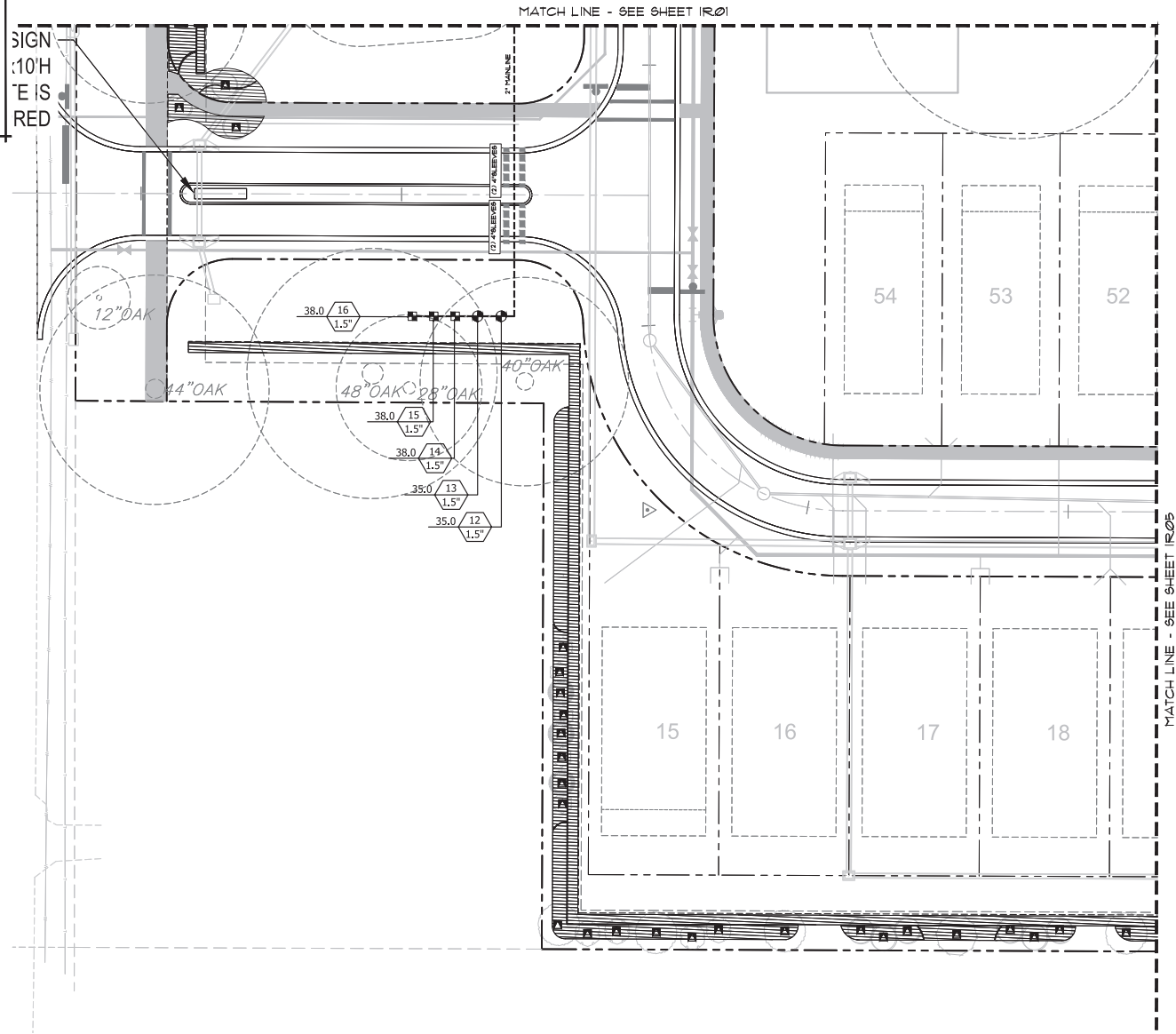
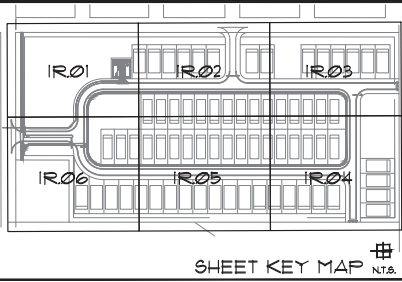
**IRRIGATION PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

SHEET NO.  
**IR.03**





NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
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**Westwood Trails**  
 PERMIT / CONSTRUCTION PLANS  
 MARION COUNTY, FLORIDA  
 PREPARED FOR:  
 Marwood Engineering

**IRRIGATION PLAN**



DATE: 10-18-21  
 PROJECT NO: MAS025-16.01  
 DRAWN BY: JHB  
 DESIGNED BY: JHB  
 CHECKED BY: JHB

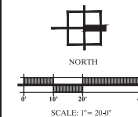
SHEET NO.  
**IR.04**





MATCH LINE - SEE SHEET R.06

MATCH LINE - SEE SHEET R204



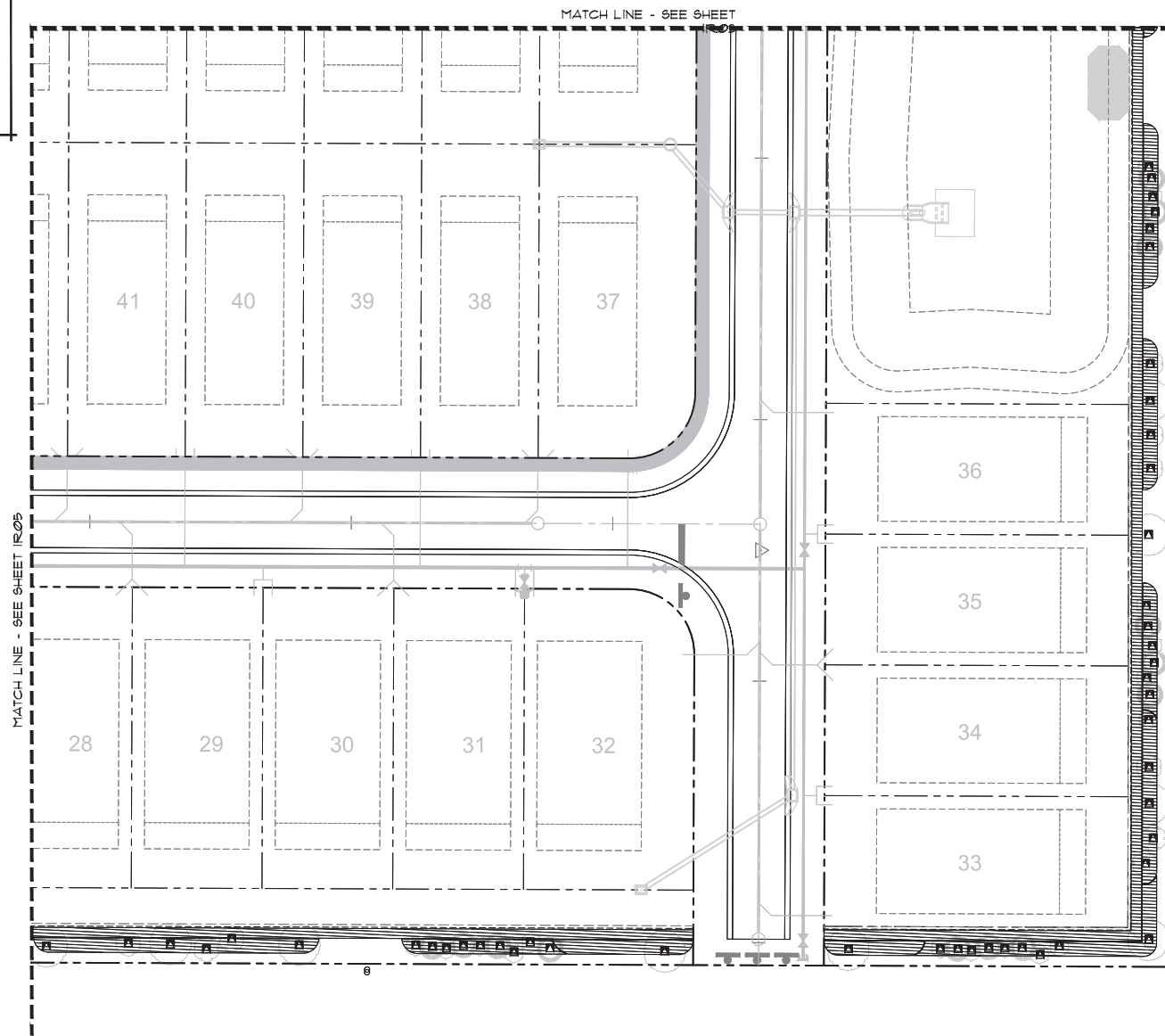
**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**IRRIGATION PLAN**

horization LC 2600043

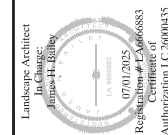
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## IR.05





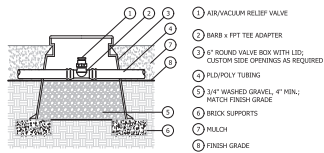
**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Mastroserio Engineering  
**IRRIGATION PLAN**



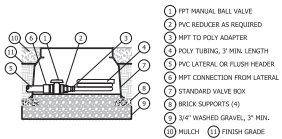
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PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
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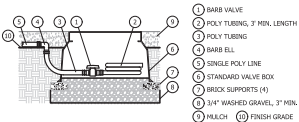




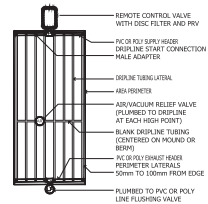
**AIR/ VACUUM RELIEF VALVE ON GRADE**  
NOT TO SCALE



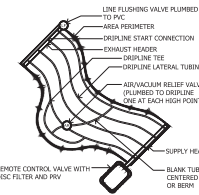
**MANUAL FLUSH VALVE - PVC**  
NOT TO SCALE



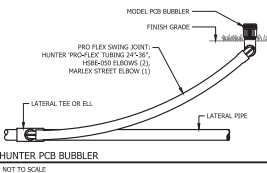
**MANUAL FLUSH VALVE - POLY END RUN**  
NOT TO SCALE



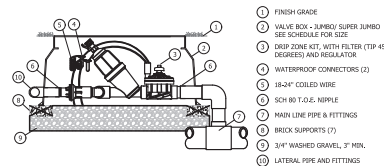
**DRIPLINE END FEED LAYOUT**  
SCALE: NTS



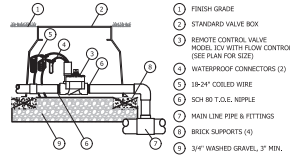
**IRREGULAR AREAS - ODD CURVES**  
SCALE: NTS



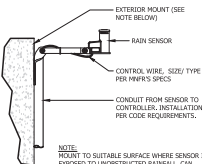
**HUNTER PCB BUBBLER**  
NOT TO SCALE



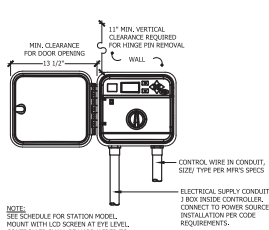
**HUNTER DRIP CONTROL KIT**  
NOT TO SCALE



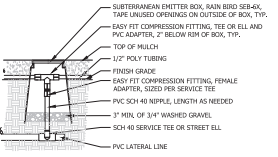
**HUNTER ICV ELECTRIC GLOBE VALVE COMMERCIAL / MUNICIPAL**  
NOT TO SCALE



**HUNTER RAIN-CLICK SENSOR**  
NOT TO SCALE



**HUNTER VNC CONTROLLER**  
NOT TO SCALE



**PVC - TO - POLY TUBING CONNECTION**  
SCALE: NTS

#### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER / MODEL	TYPE	ABC	PSI	GPM*	RADIUS
	Hunter PCB-50 (1 bubbler per tree)	Trickle	TREE	15-70 psi	1 @ 0.50 gpm	

Area to Receive Dripline  
Hunter PLD-450-12 (12). Contractor to verify per plans  
Dripline with 0.6 GPM emitters, non-draining, pressure compensating, at 12\"/>

- Irrigation Well, Backflow prevention per county code, Well to produce 50 gpm/ 50 psi, min.
- Hunter SCV-101 - 1\"/>
- Hunter SCV-101 - 1\"/>
- Hunter SCV-201 - 2\"/>
- Hunter SC2-153-40 Drip Controller (FLOW 20-60 GPM)  
w/ 1\"/>
- Hunter PRO-C Module Station Controller  
Model PC Outdoor  
Provide PCM Modules as required
- Hunter Rain-Click Sensor  
Mount in location with open view to sky,
- Irrigation Mainline: 2\"/>
- Irrigation Lateral Line: PVC Class 160 SDR 26 (Not shown, Size per chart)  
Sch 40 Irrigation Sleeve

NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS.  
THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPLIANCE ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.  
ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES.

#### IRRIGATION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
  - FOLLOWING ALL APPLICABLE CODES AND REGULATIONS CONCERNING THE WORK, WHETHER THEY ARE IMPLIED OR STIPULATED IN THE CONSTRUCTION DOCUMENTS.
  - REPORTING AND REPAIRING ANY DAMAGE CAUSED BY HIS WORK OR ACTIONS.
  - MAINTAINING THE SITE IN A CLEAN, PROFESSIONAL AND WORKMANLIKE MANNER.
  - COORDINATING WITH ALL OTHER ASPECTS OF THE JOB AFFECTING THE FINISHED CHARACTER, INCLUDING ADJUSTMENTS TO HEAD AND PIPE LOCATIONS IF REQUIRED.
  - COMPLETING THE WORK IN A CONTINUOUS AND FLUID MANNER UNTIL IT IS COMPLETE, FROM SITE PREPARATION THROUGH FINAL WALK THROUGH AND TURNOVER.
  - REVIEWING THE SITE AS A WHOLE TO DETERMINE IF ANY ASPECTS OF THE PLANS PRESENT A CONFLICT WITH THE SITE CONDITIONS. ANY CONFLICTS SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
  - OBSERVING AND REPORTING ANY CONDITIONS WHICH WOULD AFFECT THE PERFORMANCE OF THE IRRIGATION SYSTEMS TO INCLUDE WATER QUALITY.
- THE SCOPE OF WORK SHALL INCLUDE:
  - PROVIDING A DESIGN/BUILD IRRIGATION SYSTEM BASED ON THE PERFORMANCE SPECIFICATIONS AND DETAILS AS PROVIDED IN THE CONSTRUCTION DOCUMENTS.
  - PRESENTATION OF SUBMITTALS AND SAMPLES OF MATERIALS AS REQUIRED.
  - SUBMITTAL OF A WRITTEN GUARANTEE INCLUDING ALL MANUFACTURER'S WARRANTIES.
  - SUPPLYING OR MATERIAL OF THE SPECIFIED TYPE, SIZE, AND QUANTITY.
  - PROVIDE A PROPERLY BALANCED IRRIGATION SYSTEM WHICH DELIVERS ADEQUATE WATER TO THE IRRIGATED AREAS WITHOUT APPLYING ANY WATER TO IMPREVIOUS AREAS.
  - THE IRRIGATION SYSTEM PROVIDED BY THE CONTRACTOR SHALL COVER THE IRRIGATION PROJECT AREA LIMITS AS IDENTIFIED ON THE PLANS, OR AS APPROVED BY THE OWNER. THE AREA SHALL BE 100% IRRIGATED WITH BALANCED HEAD TO HEAD COVERAGE, USING SEPARATE ZONES FOR TURF AND TREES/SHRUBS. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC CONTROLLER, AUTOMATIC RAIN CUT-OFF SWITCH, AND BACK-FLOW PREVENTION.
  - THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR ENSURING THAT WORK MEETS ALL REQUIREMENTS AS OUTLINED IN THE SPECIFICATIONS AND PLANS, IMPLIED OR STIPULATED. THE CONTRACTOR SHALL PROVIDE FOR ALL WORK AND MEET SAID REQUIREMENTS - ANY WORK THAT DOES NOT IS SUBJECT TO REPLACEMENT BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
  - ALL IRRIGATION INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
  - ALL IRRIGATION INSTALLATION/ MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES.  
<http://fl.wateralliance.org>

#### IRRIGATION WATERING RESTRICTIONS, NON-RESIDENTIAL

- IRRIGATION IS NOT ALLOWED BETWEEN 10:00 A.M. AND 4:00 P.M.
- WHEN DAYLIGHT SAVING TIME IS IN EFFECT, NON-RESIDENTIAL LANDSCAPE IRRIGATION MAY OCCUR ONLY ON TUESDAY AND OR WEDNESDAY.
- WHEN EASTERN STANDARD TIME IS IN EFFECT, NON-RESIDENTIAL LANDSCAPE IRRIGATION MAY OCCUR ONLY ON THURSDAY.
- FOR EACH DAY THAT IRRIGATION OCCURS, NO MORE THAN THREE-QUARTER INCH (3/4") OF WATER MAY BE APPLIED TO EACH IRRIGATION ZONE, AND NO IRRIGATION SHALL EXCEED AN IRRIGATION ZONE OPERATE FOR MORE THAN ONE HOUR.
- ALL LANDSCAPE IRRIGATION SHALL BE LIMITED TO KNOWLEDGE TO ONLY THAT WHICH IS NECESSARY TO MEET LANDSCAPE ESTABLISHMENT AND NEEDS.

NOTE: IRRIGATION OF A NEW LANDSCAPE IS ALLOWED AT ANY TIME OF DAY FOR THE INITIAL THIRTY (30) DAYS, AND EVERY OTHER DAY FOR THE NEXT THIRTY (30) DAYS, FOR A TOTAL OF ONE SIXTY (60) DAY PERIOD.

#### VALVE SIZING

PRESSURE LOSS NOT TO EXCEED 5 PSI:

ROW	PIPE	VALVE	2"
Flow	GPM	Globe	Globe
1	1.1		
5	1.3		
10	1.6		
15	1.9		
20	2.2		
25	2.5		
30	2.8		
35	3.1		
40	3.4		
45	3.7		
50	4.0		
60	4.8		
70	5.6		
80	6.4		
90	7.2		
100	8.0		
120	9.6		
135	11.5		
150	13		

#### ZONE SCHEDULE

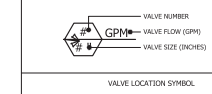
NO.	DATE	DESCRIPTION	COUNTY	RESIDENTIAL
1		TREE BUBBLER		
2		DRIP ZONE		
3		DRIP ZONE		
4		DRIP ZONE		
5		DRIP ZONE		
6		DRIP ZONE		
7		TREE BUBBLER		
8		TREE BUBBLER		
9		DRIP ZONE		
10		DRIP ZONE		
11		DRIP ZONE		
12		TREE BUBBLER		
13		TREE BUBBLER		
14		DRIP ZONE		
15		DRIP ZONE		
16		DRIP ZONE		

#### LATERAL ZONE LINE PIPE SIZING DOWNSTREAM OF EACH ZONE VALVE (UNLESS OTHERWISE NOTED ON THESE PLANS)

THE BELOW GUIDE GIVES A GENERAL OUTLINE FOR LATERAL ZONE LINE PIPE SIZING. SIZING SHOULD BE STARTED FROM THE FURTHEST MOST EXTENDED OF EACH ZONE AND WORKED BACK TO THE ZONE VALVE. CARE SHOULD BE TAKEN TO TOTAL EACH INTERSECTION OF LATERAL ZONE LINE TO KEEP AN ACCURATE ACCOUNT OF GPM ALL THE WAY BACK TO THE VALVE. THE GPM FOR EACH ZONE IS GIVEN AT EACH VALVE CALL-OUT ON THE PLANS.

GALLONS PER MINUTE (GPM)	APPROPRIATE PIPE SIZE
0-10 GPM	3/4" PVC
11-16 GPM	1" PVC
17-25 GPM	1 1/4" PVC
26-35 GPM	1 1/2" PVC
36-55 GPM	2" PVC
56-85 GPM	2 1/2" PVC
86-120 GPM	3" PVC
121-220 GPM	4" PVC

#### VALVE CALLOUT



#### VALVE LOCATION SYMBOL



NO.	DATE	DESCRIPTION	COUNTY	RESIDENTIAL
1		TREE BUBBLER		
2		DRIP ZONE		
3		DRIP ZONE		
4		DRIP ZONE		
5		DRIP ZONE		
6		DRIP ZONE		
7		TREE BUBBLER		
8		TREE BUBBLER		
9		DRIP ZONE		
10		DRIP ZONE		
11		DRIP ZONE		
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16		DRIP ZONE		

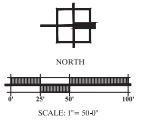
**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARGON COUNTY, FLORIDA  
PREPARED FOR:  
Matthew Engineering  
IRRIIGATION SCHEDULE, NOTES & DETAILS



DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**IRD.01**

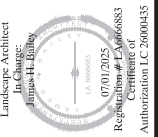




NO.	DATE	DESCRIPTION	BY	CHK
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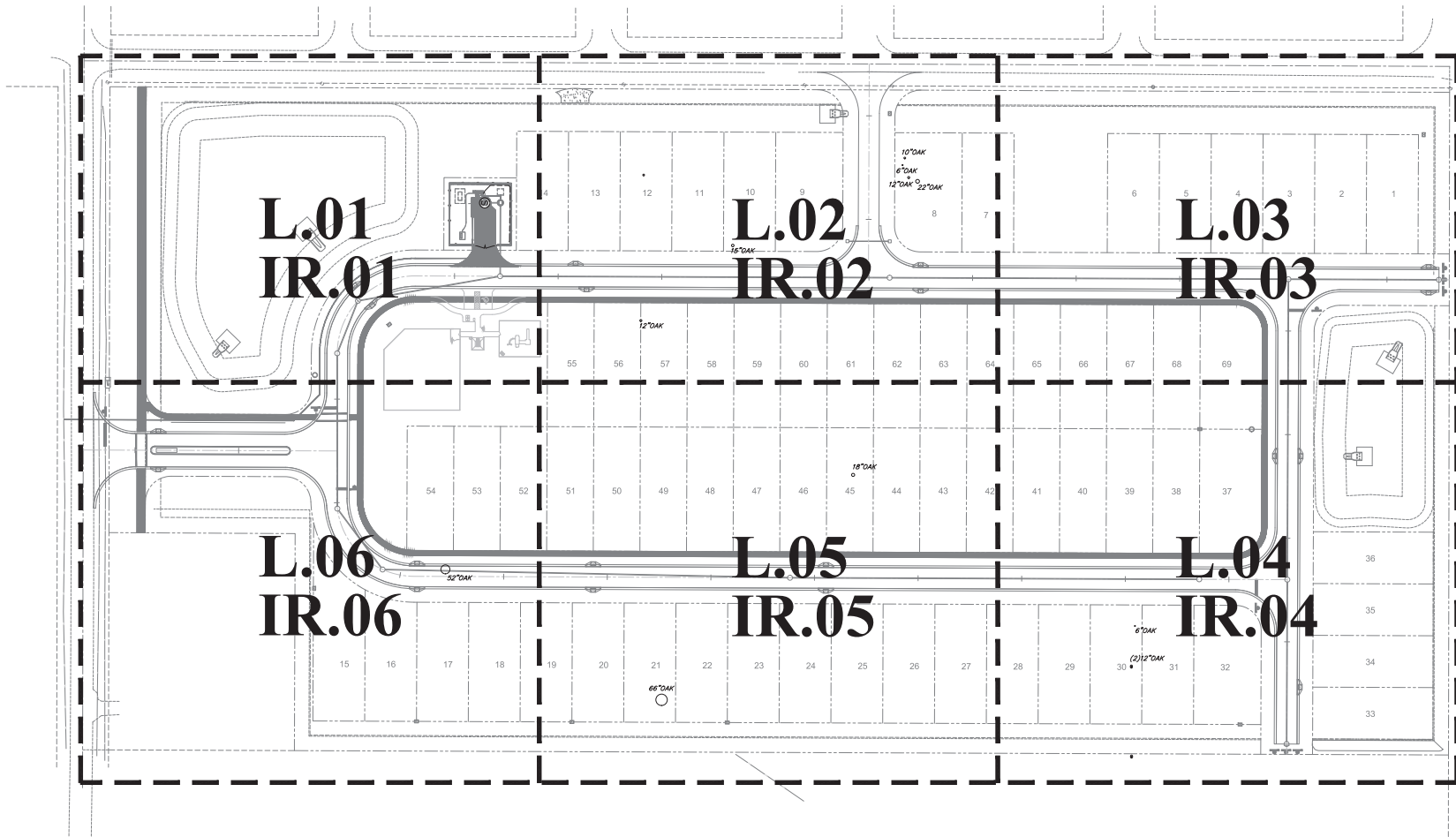
**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Marwood Engineering

**SHEETS REFERENCE PLAN**



DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

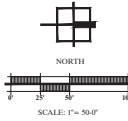
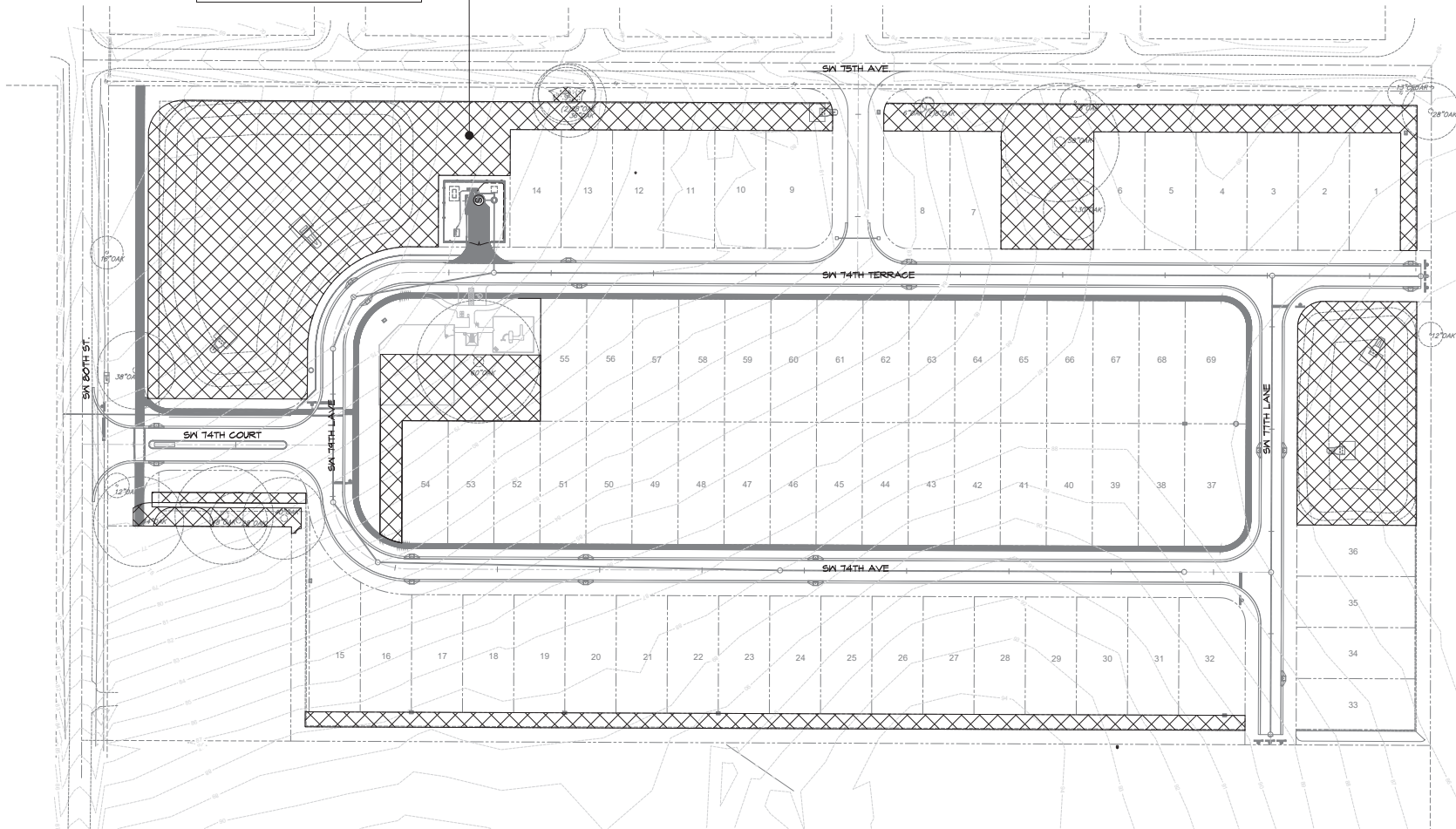
SHEET NO.  
**L.00**





MARION FRIENDLY LANDSCAPE REQUIREMENT  
(HATCH REPRESENTS MFLA)

SITE = 184,402 S.F. (18.18 AC)  
184,402 S.F. X .20 = 157,480  
PROVIDED = 158,256 S.F.



NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
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**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Marion County Engineering

**MARION FRIENDLY LANDSCAPE  
AREA PLAN**



DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

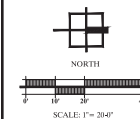
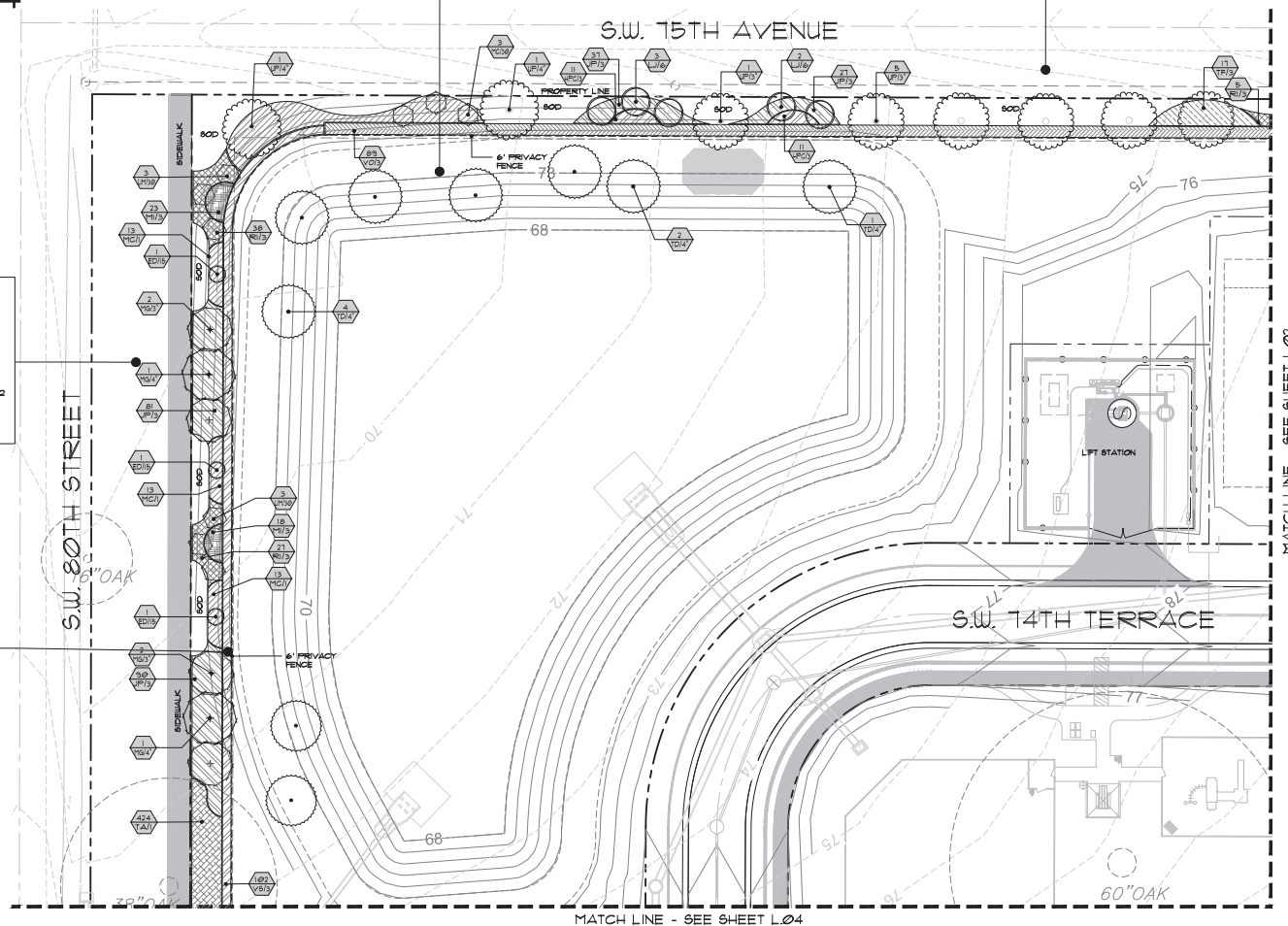
SHEET NO.  
**L.00A**





PROVIDED:  
-CANOPY TREES: 7 EXISTING CANOPY TREES, 17 PROPOSED CANOPY TREES, 51  
UNDERSTORY TREES  
-SHRUBS / GROUND COVER = 9,770 S.F. OF PLANTING.  
-6' PRIVACY FENCE

ROCK RETENTION AREA BUFFER REQUIREMENT (SIS I.F.):  
4 CANOPY TREES AND 200 S.F. OF PLANTINGS PER 100 L.F.  
 $26T L.F./100 = 2.6T \times 4 = 11$  CANOPY TREES  
 $26T L.F. / 100 = 2.76 \times 200 = 552$  S.F. OF PLANTING  
PROVIDED:  
-CANOPY TREES: 11 CANOPY TREES  
-SHRUBS / GROUND COVER = 560 S.F. OF PLANTING.

[illegible]

**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Mastroserio Engineering  
  
**LANDSCAPE PLAN**

**Landscape Architect**  
**In Charge:**  
**James H. Bailey**  
**07/01/2025**  
**Registration # LA666688**  
**Certificate of**

DATE: 10-18-21  
PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.01**





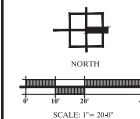
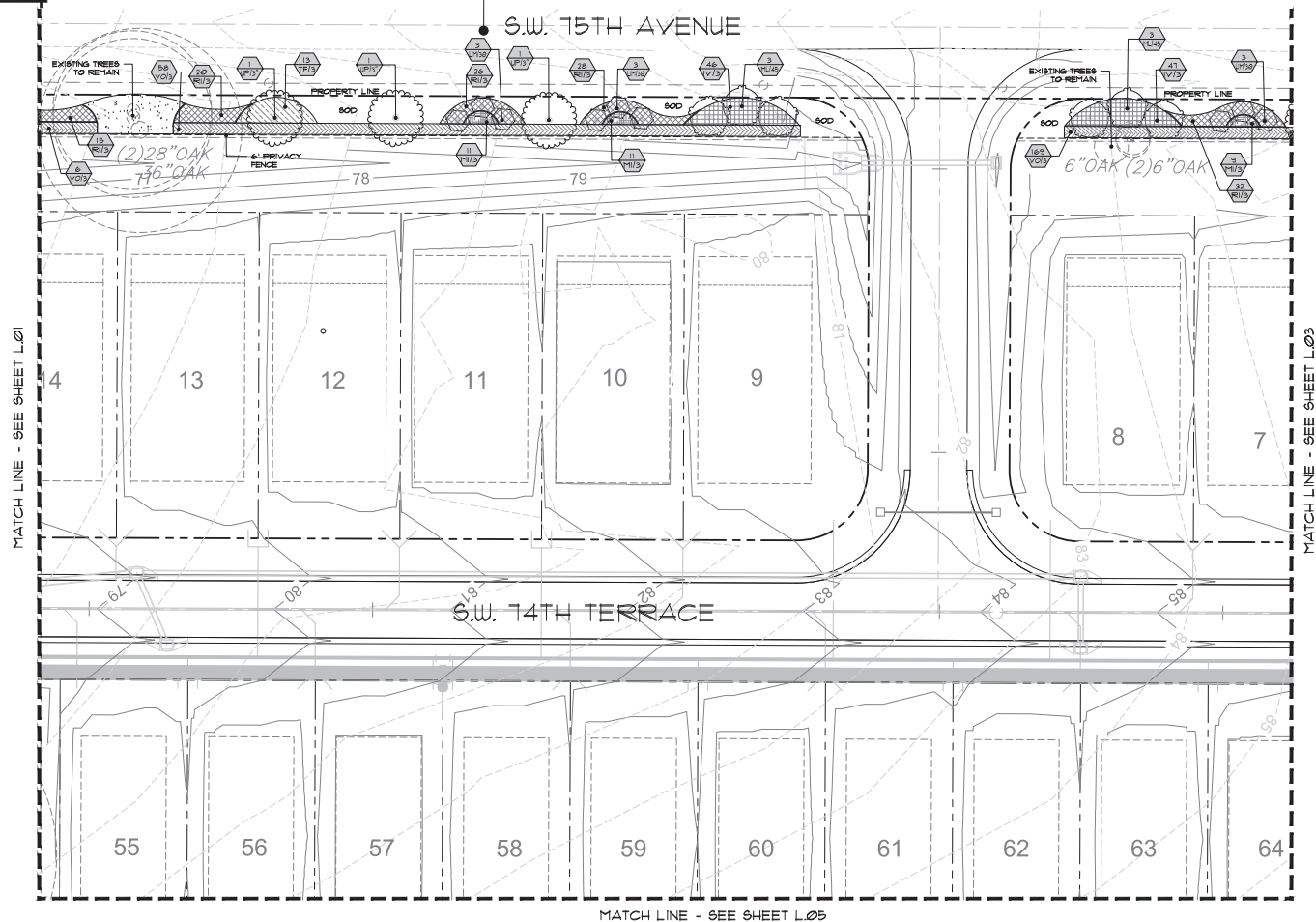
TYPE 'C' BUFFER REQUIREMENT (1213 L.F.):

- 15' WIDE  
-2 CANOPY TREES AND 3 UNDERSTORY TREES PER  
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER.  
6' PRIVACY FENCE (PER P.U.D.)

1218 L.F./100 = 12.18 X 2 = 25 CANOPY TREES  
12.18 X 3 = 37 UNDERSTORY TREES  
1218 X 15' = 18,270 S.F. X .5 = 9,090 S.F. OF PLANTING

PROVIDED:

- PROVIDED:  
-CANOPY TREES: 7 EXISTING CANOPY TREES, 17 PROPOSED CANOPY TREES, 37  
UNDERSTORY TREES  
-SHRUBS / GROUND COVER = 9,770 S.F. OF PLANTINGS.  
-6' PRIVACY FENCE

[illegible]

**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**LANDSCAPE PLAN**

MARION COUNTY, FLORIDA  
PREPARED FOR:  
Mastroserio Engineering

Landscape Architect  
In Charge:  
James H. Bailey  
07/01/2025  
Registration # LA066688  
Certificate of

DATE: 10-18-21  
PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.02**



SHEET NO.  
**L.03**





-15' WIDE  
-2 CANOPY TREES AND 3 UNDERSTORY TREES PER  
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER.  
6' PRIVACY FENCE (PER P.U.D.)

375 L.F./100 = 3.75 X 2 = 8 CANOPY TREES  
3.75 X 3 = 12 UNDERSTORY TREES  
375 X 15' = 5545 S.F. X 0.5 = 2772.5 S.F. OF PLANTING

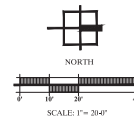
PROVIDED:  
-CANOPY TREES: 6 PROPOSED CANOPY TREES, 2 EXISTING CANOPY TREES, AND 12 UNDERSTORY  
-SHRUBS / GROUNDCOVER = 2886 S.F. OF PLANTINGS.  
-6' PRIVACY FENCE

This site plan illustrates a residential development layout. The plan is bounded by S.W. 80th Street to the west, S.W. 79th Lane to the east, S.W. 74th Court to the north, and S.W. 74th Avenue to the south. The development includes several lots, with lot numbers 15, 16, 17, and 18 in the southern section, and 52, 53, 54, 72, 73, 74, 75, 76, 77, and 78 in the northern section. The plan shows the placement of sidewalks, privacy fences, and existing trees to be retained. Lot dimensions and specific tree specifications (e.g., 12" OAK, 44" OAK, 18" OAK, 28" OAK) are detailed. The property line is clearly marked for each lot.

-15' WIDE  
-2 CANOPY TREES AND 3 UNDERSTORY TREES PER  
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUNDCOVER  
6' PRIVACY FENCE (PER P.D.)

1502 L.F./100 = 15.02 X 2 = 30 CANOPY TREES  
15.02 X 3 = 45 UNDERSTORY TREES  
1502 X 15' = 22530 S.F. X 0.5 = 11265 S.F. OF PLANTING

PROVIDED:  
-CANOPY TREES: 30 PROPOSED CANOPY TREES AND 45 UNDERSTORY  
-SHRUBS / GROUNDCOVER = 11,340 S.F. OF PLANTINGS.  
-6' PRIVACY FENCE

[illegible]

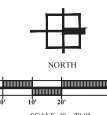
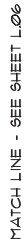
**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**LANDSCAPE PLAN**

Landscape Architect  
In Charge:  
James H. Bailey  
LA 00000863  
07/01/2025  
Registration # LA666088  
Certificate of

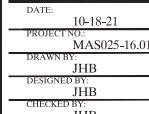
DATE: 10-18-21  
PROJECT NO.: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.04**



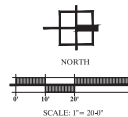


**Westwood Trails**  
**PERMIT / CONSTRUCTION PLANS**  
**MARION COUNTY, FLORIDA**  
**PREPARED FOR:**  
**Mastroserio Engineering**  
**LANDSCAPE PLAN**



SHEET NO.  
**L.05**





**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Mastroserio Engineering

DATE: 10-18-21  
PROJECT NO.: MAS025-16.6  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**L.06**



Marion County, Florida

**Landscape and Irrigation Permit / Construction Plans**

## Landscape and Irrigation Permit / Construction Plans

[illegible]



PLANT SCHEDULE				
CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
<b>TREES</b>				
IV/45	15	ILEX VOMITORIA	YAUPOON HOLLY	45 GAL OR P.G., 8' HT, X 5'-6" SPDR, 2" DBH MIN TOTAL MULTI-TRUNK
ML/45	6	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	45 GAL OR B/B, 8'-9" SPDR, X 3'-4" HT, 2'-3 1/2" CAL MIN
<b>CANOPY TREES</b>				
MG/4'	2	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	100 GAL OR RFG, 14'-15' HT, 6"-1" SPR, 4" CAL MIN
MG/3'	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	65 GAL OR RFG, 15' HT, 5'-6" SPDR, 3 1/2" CAL MIN
PE/50	24	FINUS ELLIOTTI 'DENSE'	DENSE SLASH PINE	B/B, 1'-8" X 3'-4", 3 1/2" CAL MIN
QV/3'	20	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	65 GAL OR RFG, 12'-13' HT, 6"-1" SPR, 3 1/2" CAL MIN
TD/3'	2	TAXODIUM DISTICHUM	BALD CYPRESS	65 GAL OR RFG, 13'-14' HT, 4'-5" SPDR, 3 1/2" CAL MIN
TD/4'	1	TAXODIUM DISTICHUM	BALD CYPRESS	100 GAL OR RFG, 14'-15' HT, 5'-6" SPDR, 4" CAL MIN
UP/3'	15	ULMUS PARVIFOLIA 'EHER I'	EHER I' ALLEE ELM	RFG OR 65 GAL, 12'-14' HT, X 5'-6" SPDR, 3.5" CAL MIN
UP/4'	2	ULMUS PARVIFOLIA 'EHER I'	EHER I' ALLEE ELM	100 GAL OR RFG, 14'-15' HT, X 6"-1" SPDR, 4" CAL MIN
<b>UNDERSTORY TREES</b>				
LM/30	18	LAGERSTROEMIA INDICA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	30 GAL, 6'-1" X 3'-4", MULTI-TRUNK, 5 CANES
LJ/6	25	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	RFG, 6'-1" X 6'-1", MULTI-TRUNK, 5 TRUNKS MIN, 1" CAL PER TRUNK, TOTAL OF 5" CAL FOR ALL TRUNKS COMBINED, TIGHTLY AND SYMMETRICALLY PRUNED
MC/30	46	MYRTICA CERIFERA	WAX MYRTLE	30 GAL, 6' HT, MIN X 4'-5", MULTI-TRUNK, NATIVE
<b>EVERGREEN ACCENTS</b>				
ED/15	3	ELAEAGARBUS DECIPENS	JAPANESE BLUEBERRY TREE	15 GAL, 6' HT, X 2'-3" SPDR (FULL TO GROUND)
<b>SHRUB AREAS</b>				
HPC/3	65	HAMELIA PATENS 'COMPACTA'	DWARF SCARLET BUSH	3 GAL, 15"-18" HT, 15"-18" SPDR, 14" HT MIN, 30" O.C.
IV/3	53	ILEX VOMITORIA 'NANA'	DWARF YAUPOON	3 GAL, 14"-15" HT, 14"-15" SPDR, 14" HT MIN, 30" O.C. NATIVE
MI/3	81	MORAEA RIDIODES	BUTTERFLY IRIS	3 GAL, 24" HT, FULL
RJ/3	246	RUAHPHOLIS INDICA 'ALBA'	WHITE INDIAN HAWTHORN	3 GAL, 15"-18" HT, 18"-13" SPDR, 30" O.C.
TF/3	325	TRIFOLIUM FLORIDANUM	DWARF FAKAHATCHEE GRASS	3 GAL, 24" X 24", 48" O.C.
VO/3	182	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	3 GAL, 18"-24" X 18"-24", 48" O.C.
VS/3	108	VIBURNUM SUSPENSUM	SANDALWOOD VIBURNUM	3 GAL, 18"-20" X 18"-20", 18" HT MIN, FULL 36" O.C.
<b>ORNAMENTAL GRASSES</b>				
MC/1	510	MULLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL, 18" HT, X 18"-20", 18" HT MIN, SPDR 36" O.C.
<b>GROUND COVERS</b>				
JP/3	512	JUNIPERUS CHINENSIS 'PARSONS'	PARSONS JUNIFER	3 GAL, 12"-16" X 12"-16", 30" O.C.
TA/1	261	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	1 GAL, FULL, 12" RUNNERS, 18" O.C.

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
MULCH		Phoebe Mulch	8" thick min.
SOD	Paspalum Notatum 'Argentina'	Argentina Bahia	

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

AFTER COUNTY APPROVAL, OWNER RESERVES THE RIGHT TO REDUCE THE QUANTITY / SIZE OF ALL PLANTS AND TREES TO THE MINIMUM REQUIRED BY CODE WITHOUT ADDITIONAL REVIEW / APPROVAL.

#### GENERAL NOTES: (REFER TO SEPARATE SPECIFICATIONS SHEET FOR COMPLETE REQUIREMENTS)

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WETNESS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE 811 AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- SOIL PROVIDED SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
- MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://fflflfaafl.edu>
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
- FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
- ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, OPERATED, AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 9 IRRIGATION, 6.9.6, AND ALL OTHER STATE AND LOCAL STATUTES THAT APPLY. AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT, IF REQUIRED. IRRIGATION DESIGN AND AS-BUILT PLANS SHALL BE PROVIDED BY OTHERS. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND ACCEPTANCE OF THE AS-BUILT PLANS AND OPERATIONAL INFORMATION, A FINAL LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.15 AND SEC. 6.9.10.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE AS-BUILT SKETCH, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY; AND THE FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS BEEN RECEIVED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION PER MARION COUNTY LDC SEC. 6.9.1.

#### LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV. 8, SEC. 6.8.12).
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION: (NOTE: PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.))

- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:

- WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

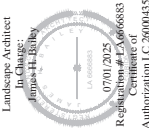


NO.	DATE	DESCRIPTION	TIME
		COUNTY RESUBMITAL	

**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS

MARION COUNTY, FLORIDA  
PREPARED FOR:  
Marwood Engineering

**PLANT LIST, NOTES, AND SPECIFICATIONS**



DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**LD.01**





PREPARED FOR:  
Mastroserio Engineering

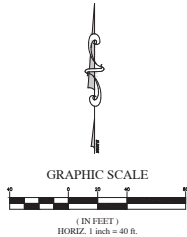
Landscape Architect  
In Charge:  
James H. Bailey  
07/01/2025  
LA 0005883  
Registration # LA6666883  
Certificate of

SHEET NO.  
**LD.02**



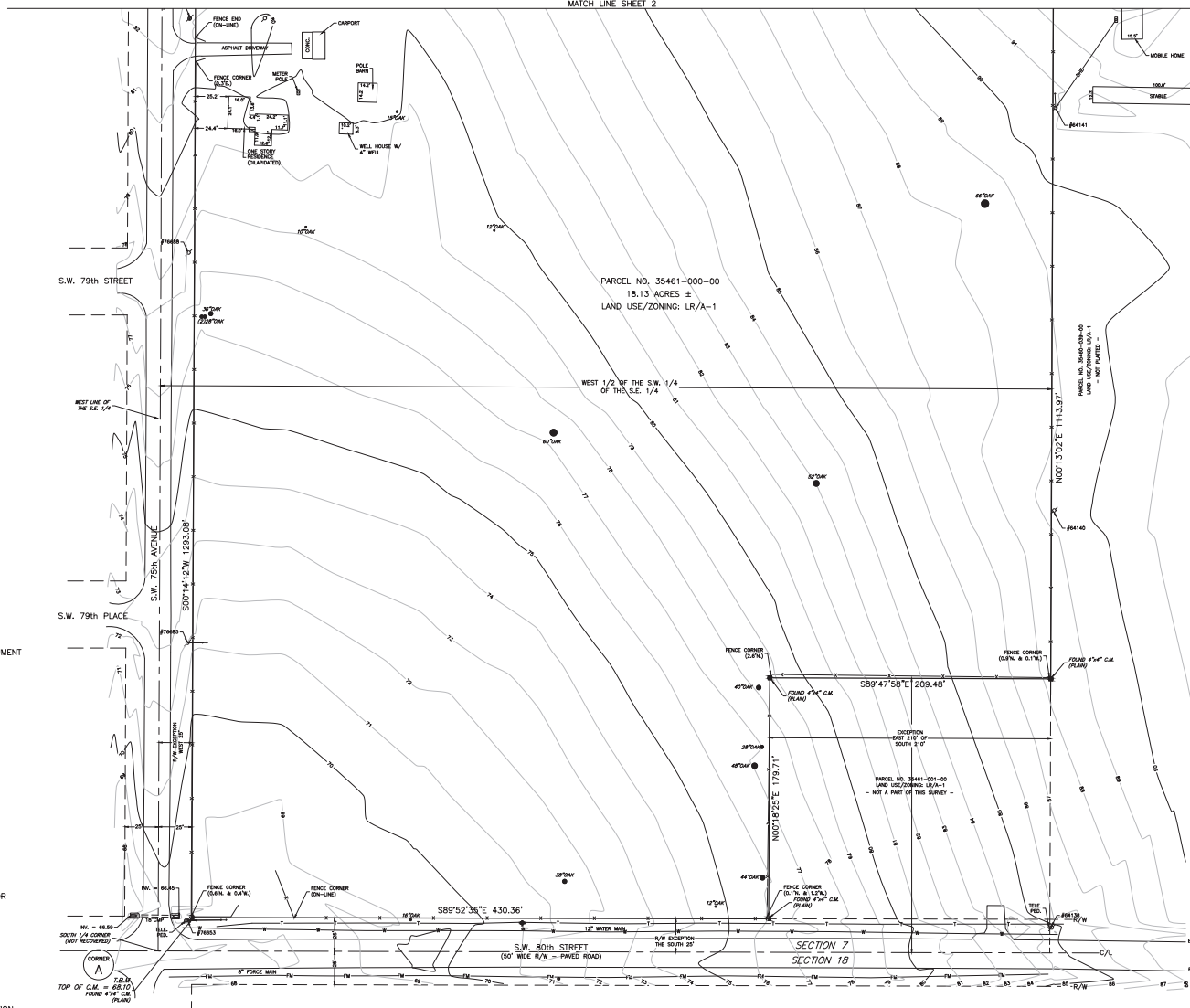






MATCH LINE SHEET 2

- STATE PLANE COORDINATES
- CORNER A  
FOUND 4"x4" C.M.  
(PLAIN)  
NORTHING Y = 1735163.31  
EASTING X = 578462.08
- CORNER B  
FOUND 4"x4" C.M.  
(PLAIN)  
NORTHING Y = 1736456.38  
EASTING X = 578467.42
- LEGEND
- P.C.P. PERMANENT CONTROL POINT  
P.R.M. PERMANENT REFERENCE MONUMENT  
C.M. CONCRETE MONUMENT  
I.R. IRON ROD  
N&D NAIL & DISC  
R/W RIGHT OF WAY  
E/P EDGE OF PAVEMENT  
C/L CENTERLINE  
SEC. SECTION  
TWP. TOWNSHIP  
RGE. RANGE  
(P) PLAT MEASUREMENT  
(D) DESCRIPTION MEASUREMENT  
(F) FIELD MEASUREMENT  
R RADIUS  
D or Δ CENTRAL ANGLE  
I ARC LENGTH  
CB CHORD BEARING  
LC LENGTH OF CHORD  
O.R.B. OFFICIAL RECORDS BOOK  
PG. PAGE  
CONC. CONCRETE  
P.O.B. POINT OF BEGINNING  
P.O.C. POINT OF COMMENCEMENT  
D.E. DRAINAGE EASEMENT  
T.B.M. TEMPORARY BENCHMARK  
F.F. FINISH FLOOR  
ELEV. ELEVATION  
INV. INVERT  
UTILITY POLE AND GUY ANCHOR  
OVERHEAD WIRES  
FENCE  
TREE (SEE TREE SCHEDULE)  
GROUND CONTOUR  
TRAFFIC SIGNAL BOX  
SANITARY MANHOLE  
WATER METER  
WATER VALVE  
TRAFFIC SIGN  
STREET SIGN  
GAS MARKER  
FIBER OPTIC CABLE MARKER  
C.M.E.S. CONCRETE MITERED END SECTION  
X LIGHT POLE  
● FIRE HYDRANT  
○ TELEPHONE PEDESTAL  
○ ELECTRIC METER  
○ SANITARY FORCE MAIN  
○ WATER MAIN  
○ BURIED TELEPHONE CABLE



LEGAL DESCRIPTION:

THE WEST 1/2 OF SW 1/4 OF SE 1/4 EXCEPT WEST 25 FEET FOR ROAD AND EXCEPT EAST 210 FEET OF SOUTH 210 FEET THEREOF, AND EXCEPT SOUTH 25 FEET FOR ROAD RIGHT-OF-WAY, IN SECTION 7, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA.

SURVEY REPORT:

1. FIELD MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
2. VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "MARTEL RM 4", PUBLISHED ELEVATION = 95.55, NAVD-83.
3. FIELD SURVEY DATE: 1-18-2023.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. ALL RIGHTS OF WAY SHOWN HEREON ARE PHYSICALLY OPEN UNLESS OTHERWISE STATED.
6. THE WATER MAIN, FORCE MAIN AND BURIED TELEPHONE CABLE SHOWN HEREON ARE BASED ON A SURVEY OF THE MARKINGS FOR EACH UTILITY AS LOCATED BY CENTRAL FLORIDA LOCATING SERVICE ON .
7. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0701, SUFFIX E, WITH AN EFFECTIVE DATE OF 4/19/2017.
8. THIS PROPERTY THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 5J-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR RURAL LAND USE.
9. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

SURVEYORS CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.C.O. AND MEETS THE STANDARDS OF PRACTICE FOR CHAPTER 2014-147 SECTION 1, SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

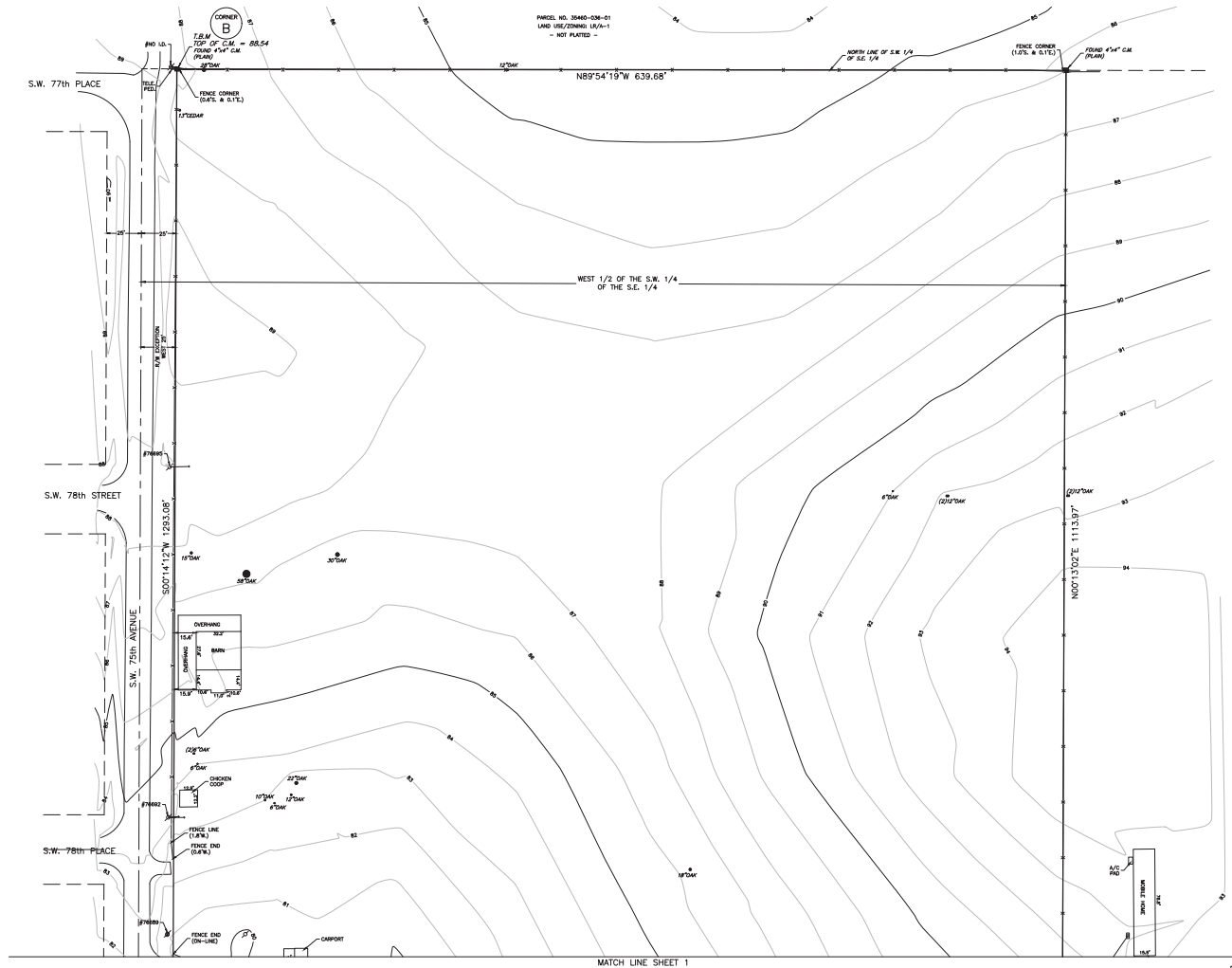
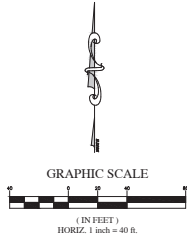
A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR  
FUN N GAMES, LLC.

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

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REG. NO. 5274

DATE  
REVISION





LEGEND

- P.C.P. PERMANENT CONTROL POINT  
P.R.M. PERMANENT REFERENCE MONUMENT  
C.M. CONCRETE MONUMENT  
I.R. IRON ROD  
N&D NAIL & DISC  
R/W RIGHT OF WAY  
E/P EDGE OF PAVEMENT  
C/L CENTERLINE  
SEC. SECTION  
TWP. TOWNSHIP  
RGE. RANGE  
(P) PLAT MEASUREMENT  
(D) DESCRIPTION MEASUREMENT  
(F) FIELD MEASUREMENT  
R RADIUS  
D or Δ CENTRAL ANGLE  
L ARC LENGTH  
CB CHORD BEARING  
LC LENGTH OF CHORD  
O.R.B. OFFICIAL RECORDS BOOK  
PC. CONC. CONCRETE  
P.O.B. POINT OF BEGINNING  
P.O.C. POINT OF COMMENCEMENT  
D.E. DRAINAGE EASEMENT  
T.B.M. TEMPORARY BENCHMARK  
F.F. FINISH FLOOR  
ELEV. ELEVATION  
INV. INVERT  
UTILITY POLE AND GUY ANCHOR  
OVERHEAD WIRES  
FENCE  
TREE (SEE TREE SCHEDULE)  
GROUND CONTOUR  
TRAFFIC SIGNAL BOX  
SANITARY MANHOLE  
WATER METER  
WATER VALVE  
TRAFFIC SIGN  
STREET SIGN  
GAS MARKER  
FIBER OPTIC CABLE MARKER  
C.M.E.S. CONCRETE MITERED END SECTION  
L.P. LIGHT POLE  
F.H. FIRE HYDRANT  
T.P. TELEPHONE PEDISTAL  
E.M. ELECTRIC METER

SEE SHEET 1 FOR SURVEY NOTES AND LEGAL DESCRIPTION

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY  
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DATE	REVISION



# MARION COUNTY CODE REQUIREMENTS

NOTE:  
TREE REMOVAL, PRESERVATION, AND/OR REPLACEMENT INSPECTIONS/  
PERMITS ARE PURSUANT TO MARION COUNTY LAND DEVELOPMENT CODE,  
ARTICLE 6, DIVISION 7, TREE PROTECTION AND REPLACEMENT  
<https://www.marioncountypa.gov/development>

## TREE PROTECTION, REMOVAL, PERMITTING, AND INSPECTIONS

The following requirements shall be conditions of tree protection and removal permits, all permits for construction in public rights-of-way, and all development permits issued under and pursuant to the Marion County Code:

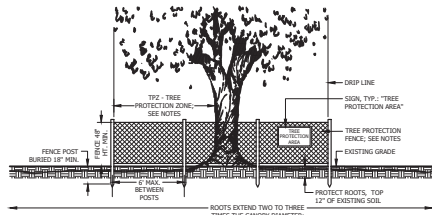
- Tree preservation and/or replacement inspections are required to ensure compliance with the Marion County Code and with permitting requirements.
- Prior to any clearing, grubbing, or any construction, tree protection barricades shall be erected around all trees to be preserved. Protection barricades shall be approved by the County's Landscape Architect or designer prior to construction.
- Prior to any clearing, grubbing, or construction, a preliminary inspection shall be conducted by the County's Landscape Architect or designer to confirm that the permittee has marked trees permitted to be removed and has installed tree protection barricades around trees to be preserved. Any deficiencies noted during the inspection shall be caused to be corrected until they are corrected by the permittee and re-inspected. Following the preliminary inspection, approval shall be noted by the County's Landscape Architect or the designer on the permit and shall constitute notice to proceed with tree removal.
- Contractor shall have all agreements and permits secured for demolition and protection on project site. Owner is responsible for ensuring that all possible measures are taken to avoid damage to trees not approved for removal.
- Trees to remain shall be protected per the Marion County Florida Tree Protection and Replacement specifications, including minimum alterations to the site topography and protecting trees from any damage to preserve the long term viability of existing trees.
- The movement or the storage of equipment, materials, debris, or fill, within the Tree Protection Zone (TPZ) or drip line of any protected tree is prohibited.
- The clearing of construction equipment, tools, materials, or the disposal of waste, e.g. paint, oil, solvents, asphalt, concrete, mortar, within the TPZ or drip line of any protected tree is prohibited.
- The contractor shall inspect all tree protection barricades and signs every week throughout construction. Any barricade or sign that is damaged or missing shall be immediately replaced.
- Any tree not permitted for removal that is destroyed or damaged so as to place its long term survival in question, shall be replaced at an inch-to-inch basis of the total (combined) DBH of the tree(s) so destroyed or damaged. The replacement trees shall be of comparable species to the destroyed or damaged trees with a minimum replacement size of 3.5-inch caliper. The County reserves the right to establish a replacement value for such trees and payment into the Tree Mitigation Fund may be authorized by the County's Landscape Architect.
- No Certificate of Occupancy or Certificate of Completion, as appropriate, may be issued for any development involving the removal of trees requiring a permit, until all required inspections have been completed and approved.
- A final inspection shall be conducted by the County's Landscape Architect or designer after completion of tree removal and replacement. Following final inspection, and if found to be in accordance with the approved plans and requirements, approval shall be noted by the County's Landscape Architect or designer on the permit and shall constitute notice of commencement of the required maintenance period of replacement trees if replacement is required.

### TREE PROTECTION BARRICADE NOTES:

- Barricades shall be constructed of a rigid and lasting material that shall remain whole throughout the duration of construction.
- Barricade areas may be increased in size or combined for multiple trees, so long as barricades do not encroach into the tree canopy drip line.
- Damaged or missing barricades or signs shall be immediately repaired or replaced.
- Barricades shall remain intact until landscape operations begin, or when construction has been finished, and with approval of landscape architect.
- Landscape preparation or installation shall be performed by hand within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area.
- Trenching is prohibited within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area. Trenching is required if utilities are routed through these areas.
- The movement or the storage of equipment, materials, debris, or fill, within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area is prohibited.
- The clearing of construction equipment, tools, materials, or the disposal of waste, e.g. paint, oil, solvents, asphalt, concrete, mortar, within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area is prohibited.
- Tree Protection Zone:** A circular zone around each protected tree defined as follows:
  - a. If the drip line is less than six (6) feet from the trunk of the tree, the zone shall be that area within a minimum radius of six (6) feet around the tree.
  - b. If the drip line is more than six (6) feet from the trunk of the tree, but less than twenty (20) feet, the zone shall be that area within a radius of full drip line around the tree.
  - c. If the drip line is twenty (20) feet or more from the trunk of the tree, the zone shall be that area within a minimum radius of twenty (20) feet around the tree.

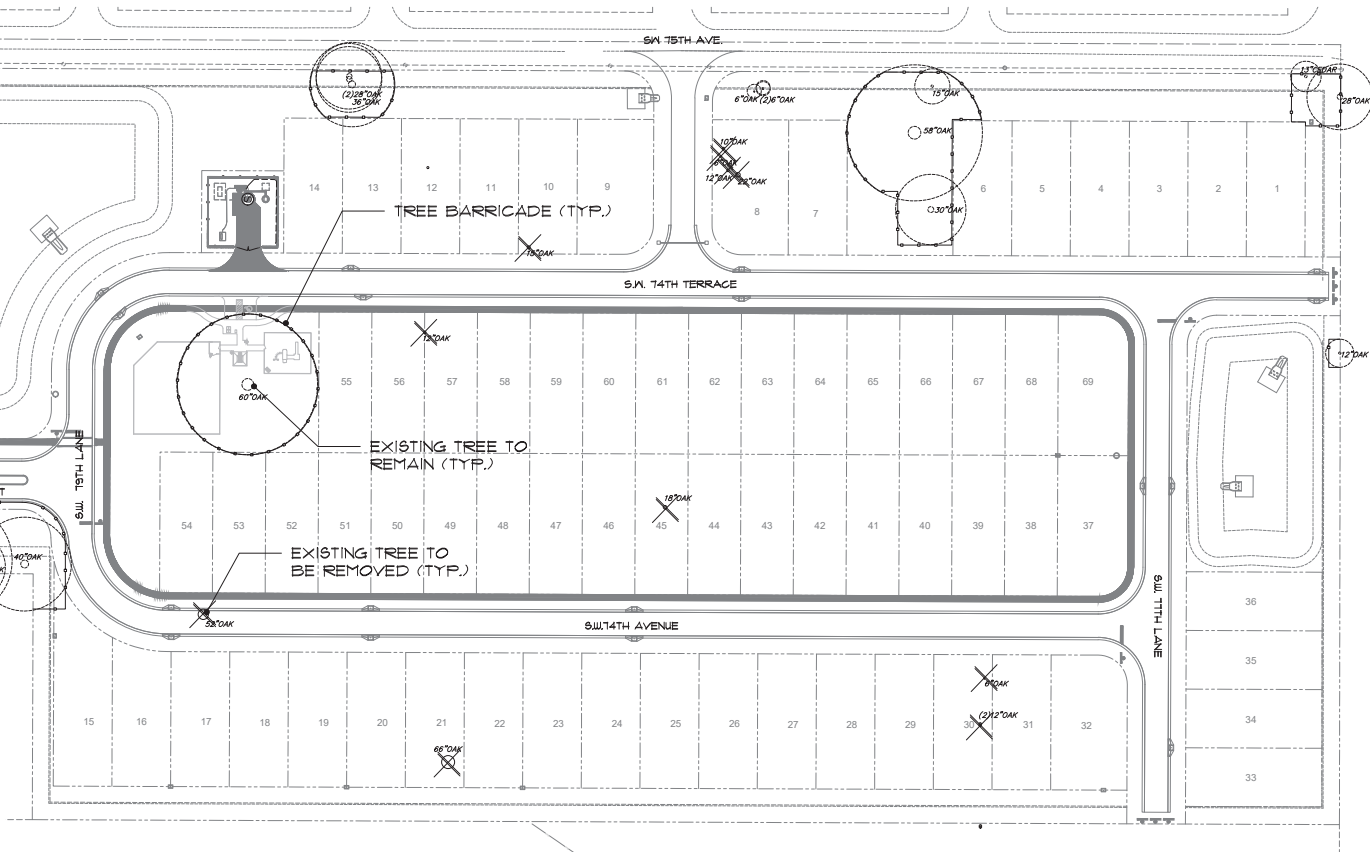
### ROOT PROTECTION NOTES:

Protect and care for existing tree roots to remain by minimizing damage from compaction, excavation, and disease. When work is required that may damage tree roots, hand clear and excavate using narrow the spading forks and comb soil to expose roots. Damaged roots shall be pruned with a sharp, clean tool. Immediately following root pruning, trees shall be thoroughly watered and have a four (4) inch cover of clean fill.



TREE PROTECTION BARRICADE DETAIL

NOT TO SCALE



## EXISTING TREES TO REMAIN

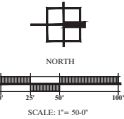
60\" OAK  
58\" OAK  
48\" OAK  
44\" OAK  
40\" OAK  
38\" OAK  
36\" OAK  
30\" OAK  
28\" OAK  
28\" OAK  
28\" OAK  
28\" OAK  
16\" OAK  
15\" OAK  
13\" CEDAR  
12\" OAK  
12\" OAK  
12\" OAK  
6\" OAK  
6\" OAK  
6\" OAK  
6\" OAK

21 TREES / 520'

## EXISTING TREES TO BE REMOVED

15\" OAK  
12\" OAK  
18\" OAK  
B2\" OAK  
10\" OAK  
6\" OAK  
12\" OAK  
22\" OAK  
6\" OAK  
12\" OAK  
12\" OAK  
12\" OAK  
66\" OAK

ONLY TREE REQUIRING MITIGATION AS ALL OTHERS BEING REMOVED ARE IN SINGLE FAMILY LOTS, WHICH DO NOT REQUIRE MITIGATION FOR TREE REMOVAL  
  
REQUIRED MITIGATION  
52\" / 4\" = 13 TREES @ 4\" CAL  
  
PROVIDED MITIGATION  
13 CANOPY TREES IN BUFFER - SEE SHEETS L0-L06



NO.	DATE	DESCRIPTION
1	07/01/2025	COUNTY RESUBMITTAL
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**Westwood Trails**  
PERMIT / CONSTRUCTION PLANS  
MARION COUNTY, FLORIDA  
PREPARED FOR:  
Matthew Engineering  
  
**TREE REMOVAL PLAN**



DATE: 10-18-21  
PROJECT NO: MAS025-16.01  
DRAWN BY: JHB  
DESIGNED BY: JHB  
CHECKED BY: JHB

SHEET NO.  
**TR.01**