

July 9, 2024

PROJECT NAME: THE CONGREGATIONAL CHURCH BUILDING EXPANSION PROJECT

PROJECT NUMBER: 2024010081

APPLICATION: MAJOR SITE PLAN #31109

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: OSTDS existing modification permit will be needed through the Department of Health in Marion County. Old septic permit 42-SO-1604764. 1200gal tank, 450gal tank, 900gal dosing tank, 588sqft DF and 588sqft DF with 2 dosing pumps.

3 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: INFO

REMARKS: When submitting the site plan for the permit it must show the entire parcel of land along with any roadways touching the property. It also needs to show where the driveway accesses the property from the roadway.

4 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: Tree mitigation and Landscape were previously approved under AR# 15582. Current landscape on site not in compliance. Applicant will install landscape per previously approved plan. Landscape designer will need to provide certification of completion for landscape and irrigation.

5 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering

STATUS OF REVIEW: INFO

REMARKS: No landscape modifications proposed - this is an expansion on an existing building.

6 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?

STATUS OF REVIEW: INFO

REMARKS: Site served by water and sewer- expansion doesn't not require connection.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: _____

A. PROJECT INFORMATION:

Project Name: _____

Parcel Number(s): _____

Section _____ Township _____ Range _____ Land Use _____ Zoning Classification _____

Commercial Residential Industrial Institutional Mixed Use Other _____

Type of Plan: _____

Property Acreage _____ Number of Lots _____ Miles of Roads _____

Location of Property with Crossroads _____

Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:

Firm Name: _____ Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: _____

Phone # _____ Alternate Phone # _____

Email(s) for contact via ePlans: _____

Surveyor:

Firm Name: _____ Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: _____

Phone # _____ Alternate Phone # _____

Email(s) for contact via ePlans: _____

Property Owner:

Owner: _____ Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: _____

Phone # _____ Alternate Phone # _____

Email address: _____

Developer:

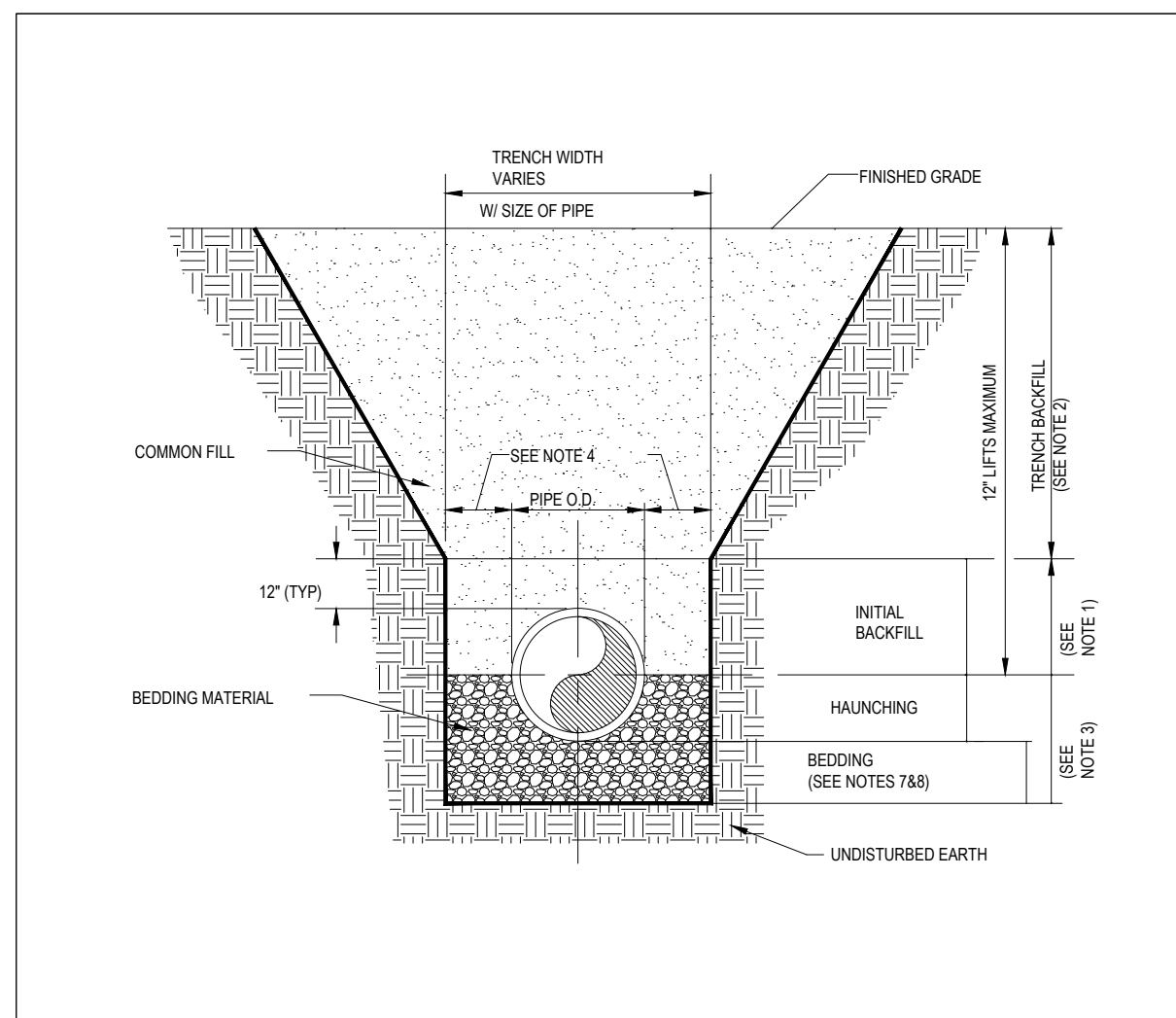
Developer: _____ Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: _____

Phone # _____ Alternate Phone # _____

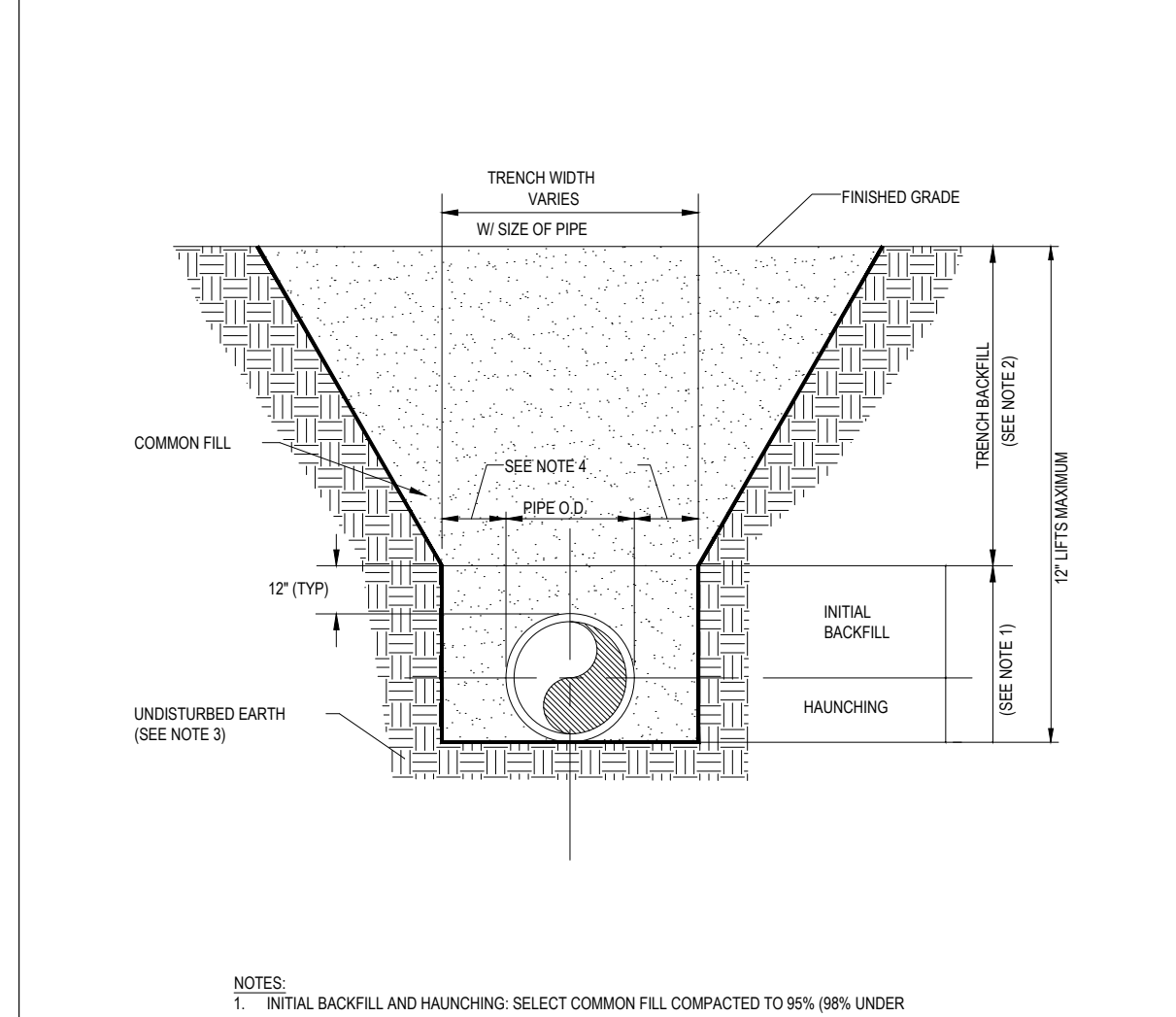
Email address: _____

Revised 6/2021



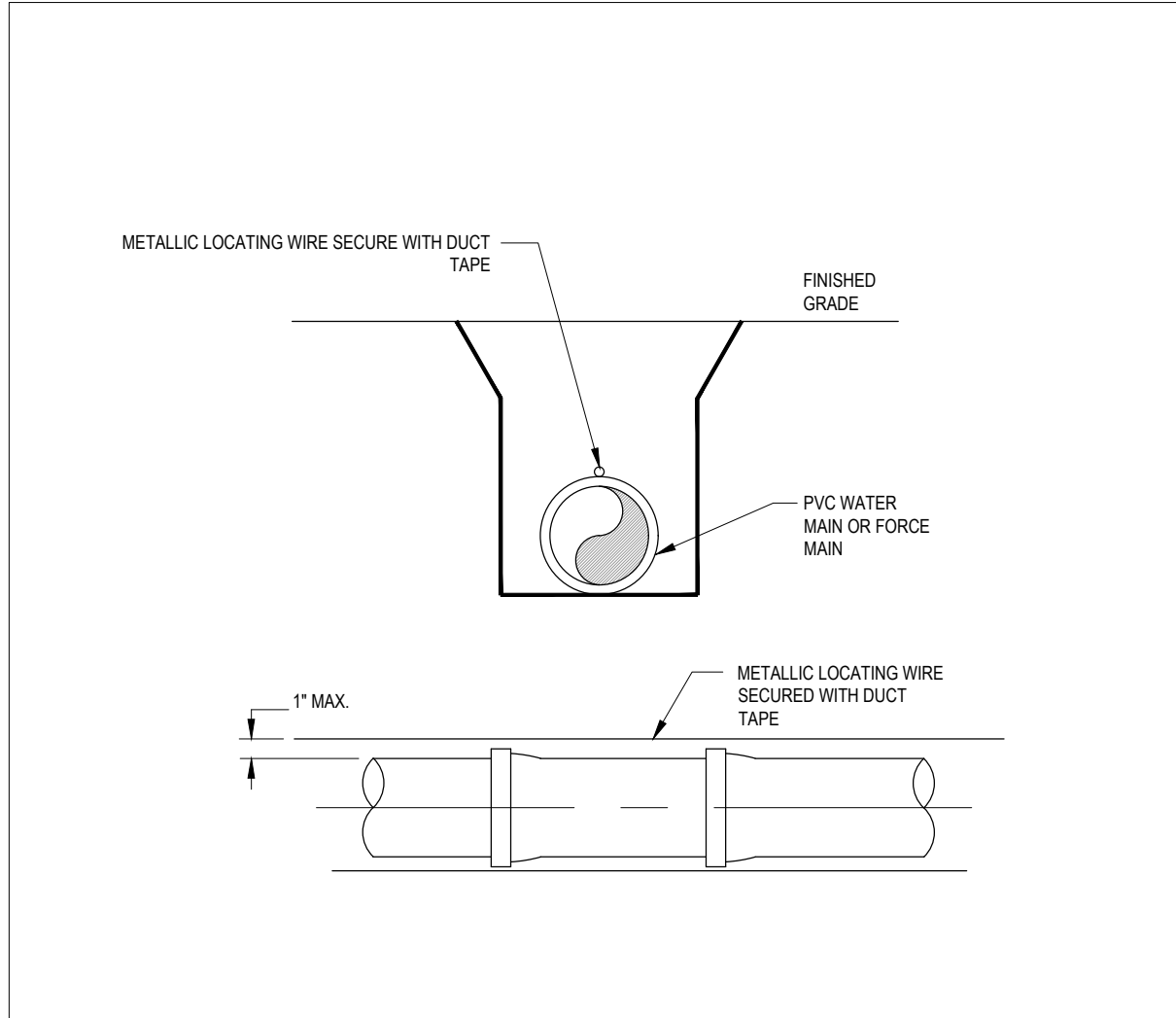
- NOTES:
- INITIAL BACKFILL COMMON FILL COMPACTED TO 95% (96% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL COMMON FILL COMPACTED TO 95% (96% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 - 12" MAX. (12" MIN. FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 18" AND LARGER.
 - DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

	MCBCC EFFECTIVE 04/27/2018	TYPE "A" BEDDING AND TRENCHING	7.3.2
	REVISION: #1		UT 102



- NOTES:
- INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (96% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (96% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY MCO.
 - 12" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
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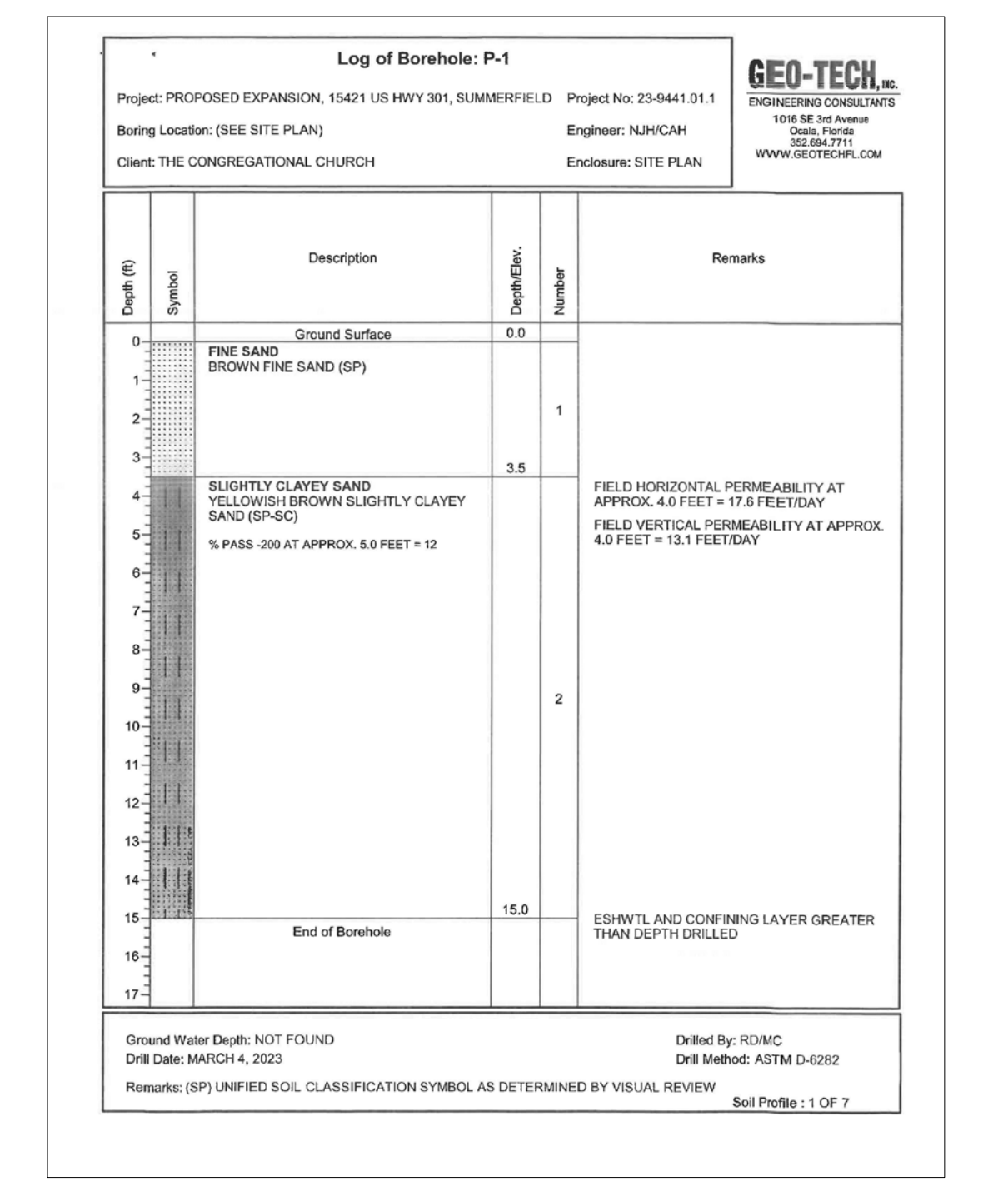
	MCBCC EFFECTIVE 04/27/2018	TYPE "B" BEDDING AND TRENCHING	7.3.2
	REVISION: #1		UT 103



- NOTES:
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE.
 - LOCATING WIRE SHALL TERMINATE AT EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 - USE DUCT TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.
 - ALL WIRE CONNECTIONS IN VALVE BOXES SHALL BE SPLICED TOGETHER AND TAPED.
 - FOR HORIZONTAL DIRECTIONAL DRILLING, UTILIZE 2 LOCATING WIRES WITH ALUMINUM TENSILE STRENGTH OF 1800 PSI.

	MCBCC EFFECTIVE 04/27/2018	PIPE LOCATING WIRE	7.3.2
	REVISION: #1		UT 104

PROJECT :	CONGREGATIONAL CHURCH OF THE VILLAGES MCPA		
CALCULATED BY:	R.CAMPANALE		
DATE:	6/29/16 (UPDATED 2/16/2024)		
MARION COUNTY :	EXPANSION IMPROVEMENTS		
ERP #	SELF-CERTIFICATION FILE NO. 633344209 IEG		
AS-BUILT CONDITIONS AND PROPOSED IMPROVEMENTS AREA FOR EXPANSION PROJECT	MARION COUNTY ACCEPTED RETENTION FACILITY AS-BUILT CONDITIONS MARCH 7, 2016		
STORMWATER CALCULATIONS:	S/RVMD - CHAPTER 40C - 42		
TREATMENT ALTERNATIVE:	ONLINE RETENTION		
POND DESIGN CRITERIA:	GENERAL DESIGN CRITERIA		
1) Treatment Volume: Provide first 0.5 inch of runoff or 1.25 inch of runoff from the impervious area, whichever is greater, plus an additional 0.5 inch of runoff from the drainage area.			
2) Recovery Time: System must recover the capacity for the appropriate treatment volume within 72 hours following a storm event assuming antecedent moisture conditions.			
WATER QUALITY VOLUME:	0.5 INCH = 0.203 ac-ft		
	1.25 INCH = 0.114 ac-ft		
TREATMENT VOLUME =	0.207 ac-ft		
BASIN PARAMETERS:	EXISTING IMPERVIOUS AREAS		
PROPERTY AREA (ac.) =	10.05	HARDSCAPE/PAVEMENT =	0.8
PROJECT CONTRIBUTING AREA SERVED BY SYSTEM (ac.) =	2.80	BUILDING AREA =	0.19
PROJECT IMPERVIOUS AREA (ac.) =	1.00	YARDS =	0.02
PERCENT IMPERVIOUS =	10.8%	TOTAL (ac.) =	1.01
TAIL WATER ELEVATION (SWL @) =	N/A	CONTRIBUTING AREA PER PERMIT ON-SITE =	1.06
100 YR FLOOD ELEVATION (ft) =	N/A	OFF-SITE CONTRIBUTING AREA =	4.88
POND STAGE STORAGE INFORMATION: AS-BUILT CONDITIONS RETENTION AREA-POND			
CONTOURS	AREA WITHIN CONTOUR (sq. ft.)	VOLUME WITHIN CONTOUR (cu. ft.)	COMMENTS
91.4	24962	90150	2.87 TOP OF BANK
88.2	19126	54449	0.44 AS-BUILT WEIR ELEVATION
87.5	13799	23541	0.32
86.5	10531	12165	0.24
		0	0.00 POND BOTTOM
GEO-TECH ENGINEERING CONSULTANTS - APRIL 10, 2023			
POND BORINGS			P-1
NATURAL GROUND ELEVATION (FT)			90.50
CONSTRUCTED POND BOTTOM ELEVATION (FT)			88.50
CONSTRUCTED ELEVATION TOP OF THE POND (FT)			91.40
ESTIMATED ELEVATION OF THE CONFINING LAYER (FT)			75.00
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION (FT) (SHOW EL. USED IN AS-BUILT CONDITIONS)			82.50
ESTIMATED FILLABLE POROSITY (%)			25
ESTIMATED HORIZONTAL HYDRAULIC CONDUCTIVITY (KHSAT) (FT/DAY) FOR SURFICIAL AQUIFER			17.6
ESTIMATED VERTICAL UNSATURATED HYDRAULIC CONDUCTIVITY VALUE (KVV) (FT/DAY) FOR SURFICIAL AQUIFER			13.1
AREA AT POND BOTTOM (SQ. FT.)			16951
AREA AT POND TOP (SQ. FT.)			24962
POLLUTION ABATEMENT VOLUME PROVIDED (AC-FT)			0.92 @ EL. 88.37



NO.	DATE	BY	REVISION DESCRIPTION

DESIGN / BUILD SPECIALISTS

 JAMES P. SENATORE, ARCHITECT - SENATORE CONSTRUCTION

 1317 Summit Street Leesburg, FL 34748 • P: 352-797-1231 • F: 352-728-8292 • A: 888-688-8888 • C: 813-200-1229

 www.senatoreinc.com

SEC 19 TWIN LIPS RING G&E

THE CONGREGATIONAL CHURCH

BUILDING EXPANSION PROJECT

 15421 S US HIGHWAY 301, SUMMERFIELD, FL 34911

 MARION COUNTY

CIVIL / UTILITY

DETAILS

1/2024

 Site Plan App. SHEET

 Date:

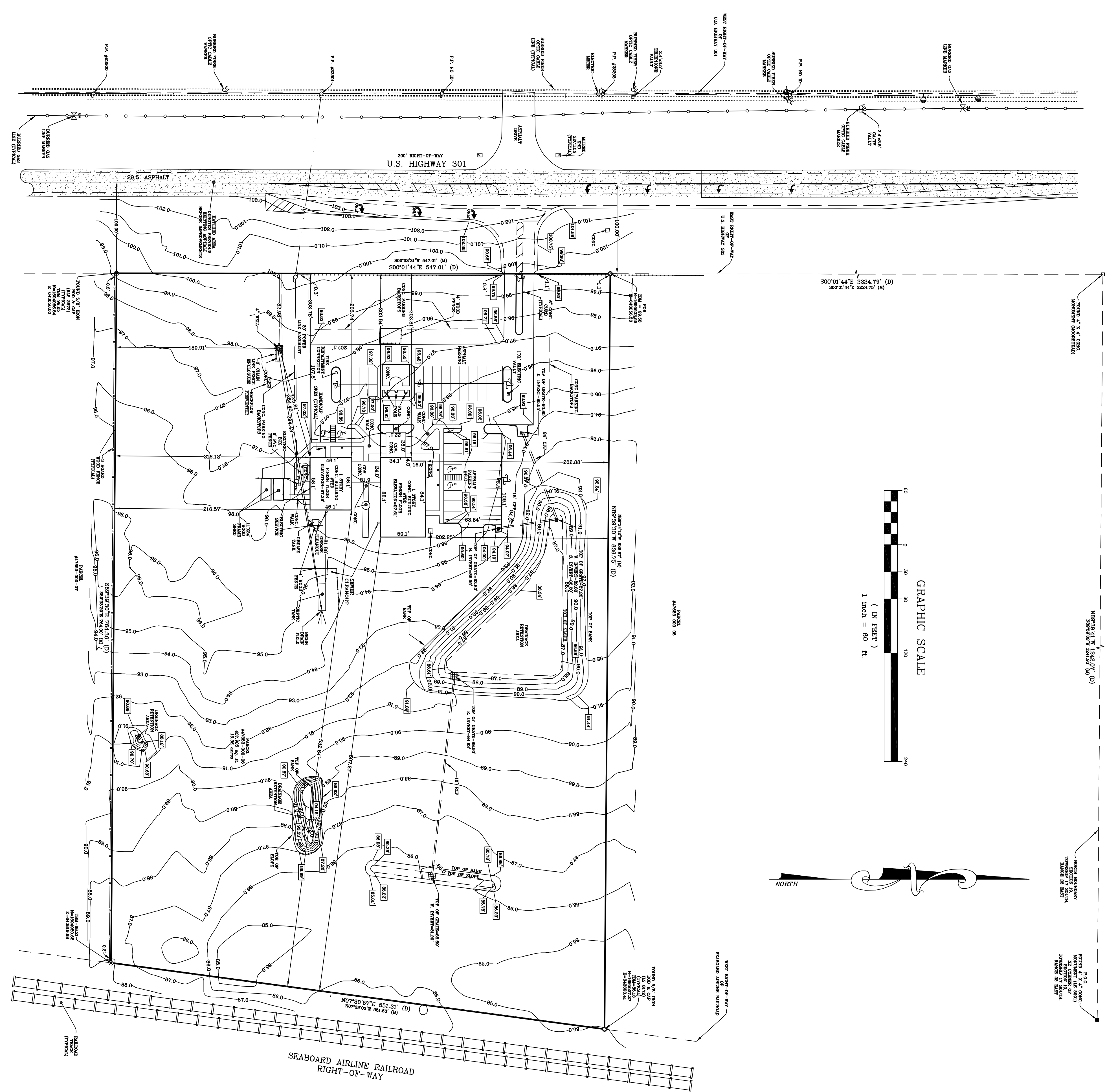
 Design: JPS / RAC

 Drawn: RAC

 Checked: JPS

C08

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROBERT A. CAMPANALE, P.E., FLORIDA LICENSE NO. 4819 ON THE DATE AND AT THE TIME INDICATED. A DIGITAL SIGNATURE, PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.



DESCRIPTION TRACT NO. 6:
 ONE (1) FOOT OF SETBACKS COMMENCE AT THE NE CORNER OF SECTION 19 TO THE NORTH PROPERTY LINE OF MARION COUNTY, FLORIDA. THENCE FOR A BASIS OF BEARING N 89°39'41"W. ALONG THE NORTH BOUNDARY OF SAID SECTION 19 A DISTANCE OF 1242.07 FEET TO A POINT ON THE EAST RIGHT-OF-WAY OF U.S. HIGHWAY 301 (200.00' RIGHT-OF-WAY). THENCE ALONG SAID RIGHT-OF-WAY S 00°01'44"E. A DISTANCE OF 2224.79 FEET TO THE POINT OF BEGINNING. THENCE CONTINUE ALONG SAID RIGHT-OF-WAY S 00°01'44"E. A DISTANCE OF 547.00 FEET. THENCE DEPARTING SAID RIGHT-OF-WAY S 89°39'30"E. A DISTANCE OF 764.38 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF SEABOARD AIRLINE RAILROAD. THENCE ALONG SAID RIGHT-OF-WAY N 07°30'57"E. A DISTANCE OF 551.31 FEET. THENCE DEPARTING FROM SAID RIGHT-OF-WAY N 89°39'30"W. A DISTANCE OF 838.75 FEET TO THE POINT OF BEGINNING.

NO.	DATE	BY	REVISION:
1	7/10/14	GGM	SET TO STATE PLANE COORDINATES
2	8/22/14	GGM	ROUTE SURVEY
3	1/29/16	CNR	AS-BUILT
4	4/6/23	BCL	UPDATE TOPOGRAPHIC
5	5/24/23	BCL	UPDATE TOPOGRAPHIC
6			
7			

NOTES:
 1) BEARINGS SHOWN HEREON ARE DERIVED FROM STATE PLANE COORDINATES BASED ON LANGRISHMAN L-NET SEABOARD NAVIGATION NETWORK WITH THE GROUND CONTROL POINTS BEING THE NANTMAN GROUP INCORPORATED AND BIRD NORTH AMERICAN DATUM OF 1983. 2007 ADJUSTMENT (SPCS 83-2007)
 2) SURVEY BASED ON EXISTING NONDEVELOPMENT SECTION 19.
 3) DESCRIPTION FURNISHED BY CLIENT.
 4) AS-BUILT SURVEY FOR CONGREGATIONAL CHURCH OF THE VILLAGES, INC.
 5) LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, AND/OR OTHER INSTRUMENTS OF RECORD.
 6) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SIGNED & SEALED WITH AN EMBOSSED SURVEYORS SEAL.
 7) SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
 8) NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE MADE, THE APPLICABLE AGENCIES SHOULD BE CONTACTED FOR VERIFICATION.
 9) LANDS SHOWN HEREON ARE CONSIDERED TO BE IN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN, AS ESTABLISHED BY THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY PANEL #12083C-0885 D, DATED AUGUST 28, 2008.
 10) THE DETERMINATION OF A PROPERTY FLOODING OR NOT FLOODING IS BEYOND THE SCOPE OF THIS SURVEY.
 11) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM BOHANON & ASSOCIATES LAND SURVEYING, LLC.
 12) ELEVATIONS BASED ON NATIONAL GEODETIC SURVEY DESIGNATOR D 603 NAVD 88 ELEVATION = 97.46 (FEET)
 13) STATE PLANE COORDINATES BASED ON INFORMATION PROVIDED BY MARION COUNTY SURVEY OFFICE, STATIONS FLGS-43, NAD-83, 1990 ADJ. H. & STATION FLGS-44, NAD-83, 1990 ADJ. HAVING A NORTHING OF 1695645.309 AND AN EASTING OF 656398.267.
 14) STATE PLANE COORDINATE SCALE FACTOR = 0.9999412

LEGEND:
 N=NORTH, E=EAST, S=SOUTH, W=WEST (OR ANY COMBINATION)
 ○ =DEGREES WHEN USED IN A BEARING AND/OR ANGLE
 ° =MINUTES WHEN USED IN A BEARING AND/OR ANGLE
 ' =SECONDS WHEN USED IN A BEARING AND/OR ANGLE
 - =DIMENSIONS WHEN USED IN A BEARING AND/OR ANGLE
 R/W =RIGHT OF WAY
 C/L =CENTERLINE
 P.C.=POINT OF CURVATURE
 P.T.=POINT OF TANGENCY
 P.R.C.=POINT OF REVERSE CURVATURE
 P.C.C.=POINT OF COMPOUND CURVATURE
 CONC.=CONCRETE
 L.S.=LICENSED SURVEYOR
 L.B.=LICENSED BUSINESS
 A/C =AIR CONDITIONER
 I.D.=IDENTIFICATION
 MEAS.=MEASURED DISTANCE OR BEARING
 P.O.B.=POINT OF BEGINNING
 P.O.C.=POINT OF COMMENCEMENT
 FOOT=FLORIDA DEPARTMENT OF TRANSPORTATION
 ☉ =UTILITY POLE
 ☎ =PHONE RISER
 ☎ =WATER METER
 ☎ =CATCH BASIN
 ☎ =HANDICAP PARKING SPACE
 ☎ =AS-BUILT ELEVATION

CERTIFY TO: CONGREGATIONAL CHURCH OF THE VILLAGES, INC.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, AND THE PLAT AND DESCRIPTION ABOVE IS A CORRECT REPRESENTATION OF THE LANDS SURVEYED AND MEETS THE ESTABLISHED MINIMUM REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 472, FLORIDA STATUTES.

BOHANON & ASSOCIATES LAND SURVEYING, LLC
 5800 W. UNIVERSITY BLVD., SUITE 200
 BOCA RATON, FL 33433

DATE: 5/25/2023

JOB NO. 13-501ASBUILT	SURVEY DATE: 12/19/13		AS-BUILT SURVEY FOR: CONGREGATIONAL CHURCH OF THE VILLAGES, INC. BOHANON & ASSOCIATES LAND SURVEYING, LLC "COMPLETE SURVEYING & MAPPING SERVICE" OFFICE: (352) 236-2212 P.O. BOX 5477 FAX: (352) 236-2226 Ocala, Florida 34478			
DRAWN: GGM	BOOK REF: 183/69		4	4/6/23	BCL	UPDATE TOPOGRAPHIC
REVIEWED: JLB	SHEET: 1 OF 1		5	5/24/23	BCL	UPDATE TOPOGRAPHIC

SITE DATA:
437,778 SQ.FT. TOTAL SITE OR 10.05 ACRES ±
SITE NOTES:

1. CONTRACTOR TO USE BEST MEASURES TO CONTROL EROSION AND SEDIMENTATION DURING CONSTRUCTION.
2. DISTURBED AREAS ARE TO BE SEEDED AND MULCHED OR SODDED UPON COMPLETION OF WORK.
3. IRRIGATION WATER BY WELL.
4. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE. NOTE: ALL CONSTRUCTION PERFORMED WITHIN THE MARION COUNTY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.

TREE PROTECTION/REPLACEMENT PLAN

Landscape Calculations		
Site Size (sf):	437,778.00	Landscape Area (sf):
		provided: 122,073 of natural
		23,093 of interior
		1,100 ± 2%

Tree Protection / Tree Replacement		Shade Tree	
Pre-Development Phase 1	Site Size / 3,000 = 145.92	Required Shade Trees:	144.00
Total Native DBH inches:	2,158.00	Existing Shade Trees:	95.00
100' trees	2,900' oaks	18' oaks	18.00
Per acre ratio:	8" oaks = 238' per acre	Proposed Shade Trees:	58.00
Proposed Tree Removal		34 shade trees	
Total Native DBH inches:	24.00	42 ornamental trees	
Per acre ratio:	(2) 12' oaks	6 sabal palms	
Proposed Replacement		Total Shade Trees:	153.00
site meets 100' / acre natural area preserved			
Total Native DBH inches:	1,000 inches REQUIRED		
Per acre ratio:	2,124 inches ACTUAL		

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 15582
APPROVAL DATE: 3/16/2015
EXPIRATION DATE: 3/16/2017

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

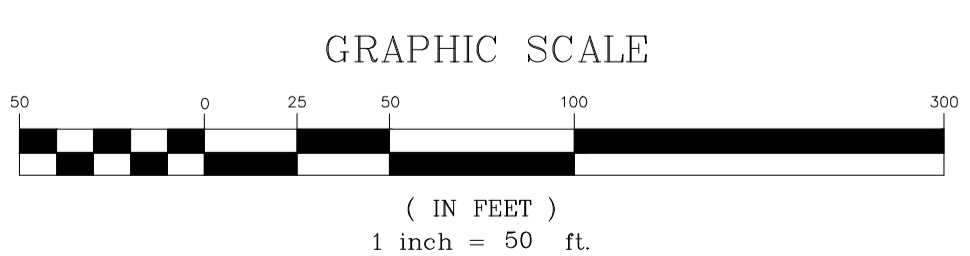
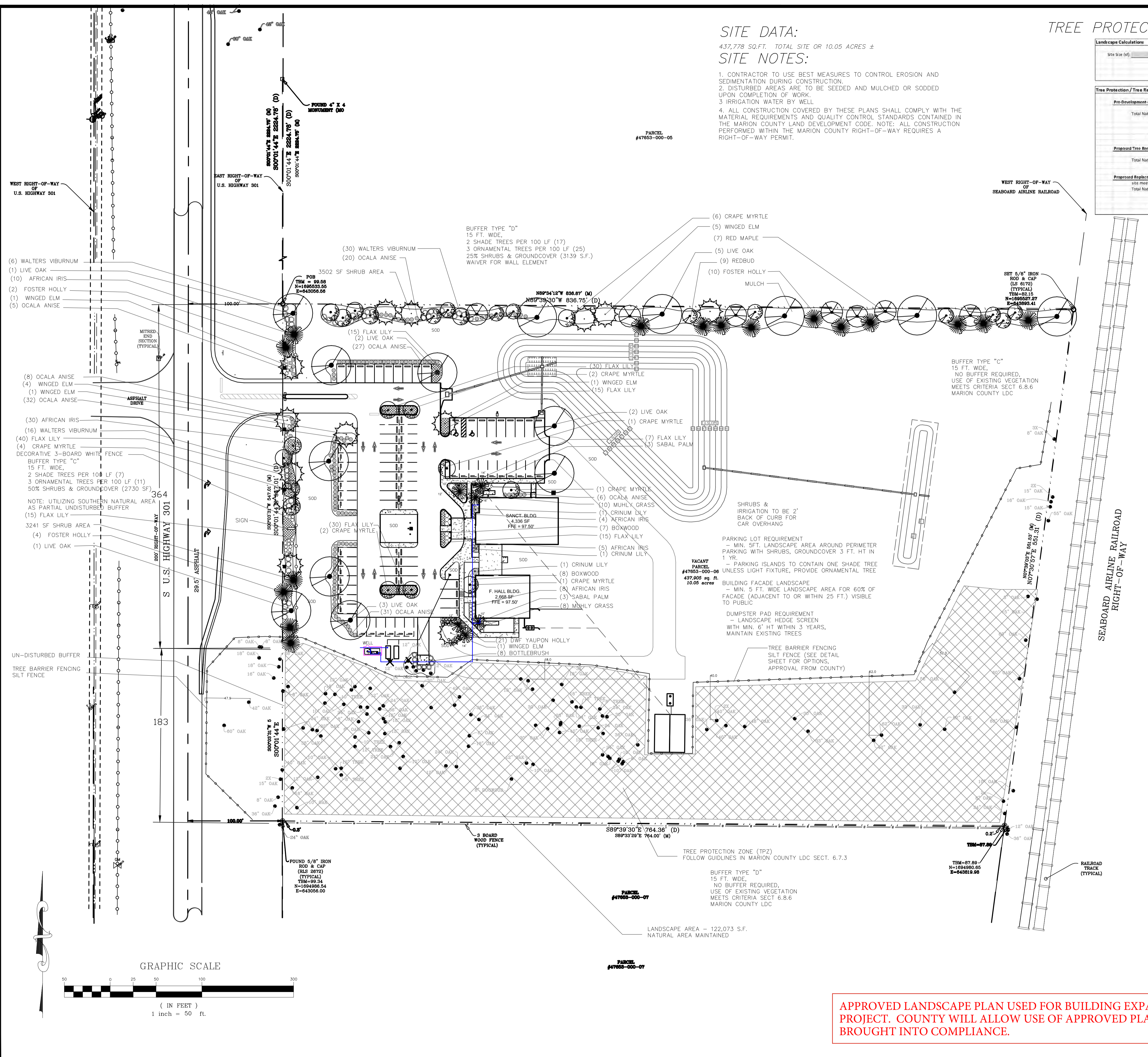
APPROVALS

PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE AND SPECIFICATIONS	NATIVE
(Symbol)	14	QUERCUS VIRGINIANA	LIVE OAK	65 GAL., 12' HT., 7" SPR., 3.5" CAL. MIN. SPACE MIN. 40 FT. O.C.	Y
(Symbol)	13	ULMUS ALATA	WINGED ELM	65 GAL., 9' HT., 7" SPR., 3.5" CAL. MIN. SPACE MIN. 30 FT. O.C.	Y
(Symbol)	7	ACER RUBRUM	RED MAPLE	65 GAL., 9' HT., 7" SPR., 3.5" CAL. MIN.	Y
ORNAMENTAL TREES					
(Symbol)	9	CERES CANADENSIS	RED BUD	30 GAL., 6' HT. MIN., 4" SPR., 2" CAL.	Y
(Symbol)	16	ILEX X ATTENUATA FOSTRI	FOSTER HOLLY	30 GAL., 6' HT. MIN., 4" SPR., 2" CAL.	Y
(Symbol)	17	LAGERSTROEMIA INDICA	CRAPE MYRTLE TUSCARORA	30 GAL., 6' HT. MIN., 4" SPR., 2" CAL. MULTI-TRUNK	N
(Symbol)	6	SABAL PALM	CABBAGE PALM	1(10) CT., 2(12) CT., 2(14) CT., 1(16) CT. ROOTS OFF	Y
SHRUBS & GROUNDCOVERS					
(Symbol)	52	VIORNIUM OBOVATUM	WALTERS VIBURNUM	3 GAL., MIN 18" HT. X SPR., PLANT 3' O.C.	Y
(Symbol)	18	MULBERGIA CAPILLARIS	MULHY GRASS	3 GAL., FULL 5' O.C.	Y
(Symbol)	130	ILICUM PARVIFLORUM	OCALA ANISE	3 GAL., FULL, MIN 18" HT. PLANT 3' O.C.	Y
(Symbol)	21	ILEX VOMITORIA 'NANA'	DWF. YALPORN HOLLY	1 GAL., FULL	Y
(Symbol)	8	CALLISTEMON RIGIDUS	BOTTLEBRUSH	7 GAL., FULL	N
(Symbol)	15	BUXUS MYCOPHILLA	BOXWOOD	3 GAL., FULL	N
(Symbol)	3	CRINUM ASIATICUM	ORINUM LILY	7 GAL., FULL	N
(Symbol)	167	DIANELLA SPP.	FLAX LILY	1 GAL., FULL	N
(Symbol)	37	DIETES VEGETA	AFRICAN IRIS	1 GAL., FULL	N
MULCH					
(Symbol)	205 CY	TYPE B PINE BARK (23,030 S.F.)			
(Symbol)	157	ARGENTINE BAHIA			
(Symbol)	157	TREE SAVED			
(Symbol)		TREE REMOVED			
(Symbol)		TREE BARRICADE			

LANDSCAPE NOTES:

1. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE OTHER PLANT MATERIALS DEPENDING UPON AVAILABILITY, COST, ETC. WITH PRIOR ZONING APPROVAL.
2. LANDSCAPE, IRRIGATION AND FLORIDA FRIENDLY DESIGN STANDARDS PURSUANT TO FLORIDA STATUTE 373.228 CONSTRUCTED IN ACCORDANCE WITH FLORIDA FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OR THE FLORIDA YARDS AND NEIGHBORHOODS PROGRAM.
3. THE CONTRACTOR SHALL ADHERE TO THE MARION COUNTY LAND DEVELOPMENT CODE DIVISION 8, SECTIONS 6.8.10 & 6.8.11
4. ALL LANDSCAPE INSTALLATION PROFESSIONALS, IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL MEET ALL REQUIREMENTS IN ACCORDANCE WITH MARION COUNTY LDC SECTION 6.8.15 - LICENSING AND CERTIFICATION.
5. ALL LANDSCAPE MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE TO THE MARION COUNTY LDC SECTION 6.8.13 & 6.8.14
6. SOD DISTURBED AREAS ONLY WITH ARGENTINE BAHIA, SITE CONTRACTOR TO MEASURE, SUPPLY, INSTALL & MAINTAIN SOD REQUIRED, SOD TO BE WATERED BY HAND OR TRUCK UNTILL ESTABLISHED OR SUFFICIENT RAINFALL
7. UPON COMPLETION OF INSTALLATION, CONTRACTOR TO REQUEST INSPECTION BY DESIGN PROFESSIONAL AN ASBUILT OF THE LANDSCAPE & IRRIGATION PLAN TO BE SUBMITTED TO THE COUNTY BY THE DESIGN PROFESSIONAL AS OUTLINED IN MARION COUNTY LDC SECTION 6.8.12



LICENSE: NF-FL0001794
PHONE 352-875-8291
E-MAIL LCH823@cox.net
WWW.ECH-LA.COM

Elizabeth C. Houck
Landscape Architecture, LLC
501 NE 55th Street, Ocala, FL 34479

PROJ. NO. 14-006
DATE 8/10/15

LANDSCAPE PLAN
CONGREGATIONAL CHURCH
US 301 Marion County, FL

REVISIONS DATE
COUNTY REVIEW 9/23/14
SITE REVISION 2/6/15

SHTS

APPROVED LANDSCAPE PLAN USED FOR BUILDING EXPANSION PROJECT. COUNTY WILL ALLOW USE OF APPROVED PLAN IF SITE IS BROUGHT INTO COMPLIANCE.

ELIZABETH COLE HOUCK, R.L.A.
REGISTERED LANDSCAPE ARCHITECT NO. 1734
STATE OF FLORIDA. DATE: _____
VALID ONLY WITH EMBOSSED SEAL & SIGNATURE

**DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA**

APPLICATION #: 15582
APPROVAL DATE: 3/16/2015
EXPIRATION DATE: 3/16/2017

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
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APPROVALS

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Landscape Architecture, LLC
501 NE 55th Street, Ocala, FL 34479

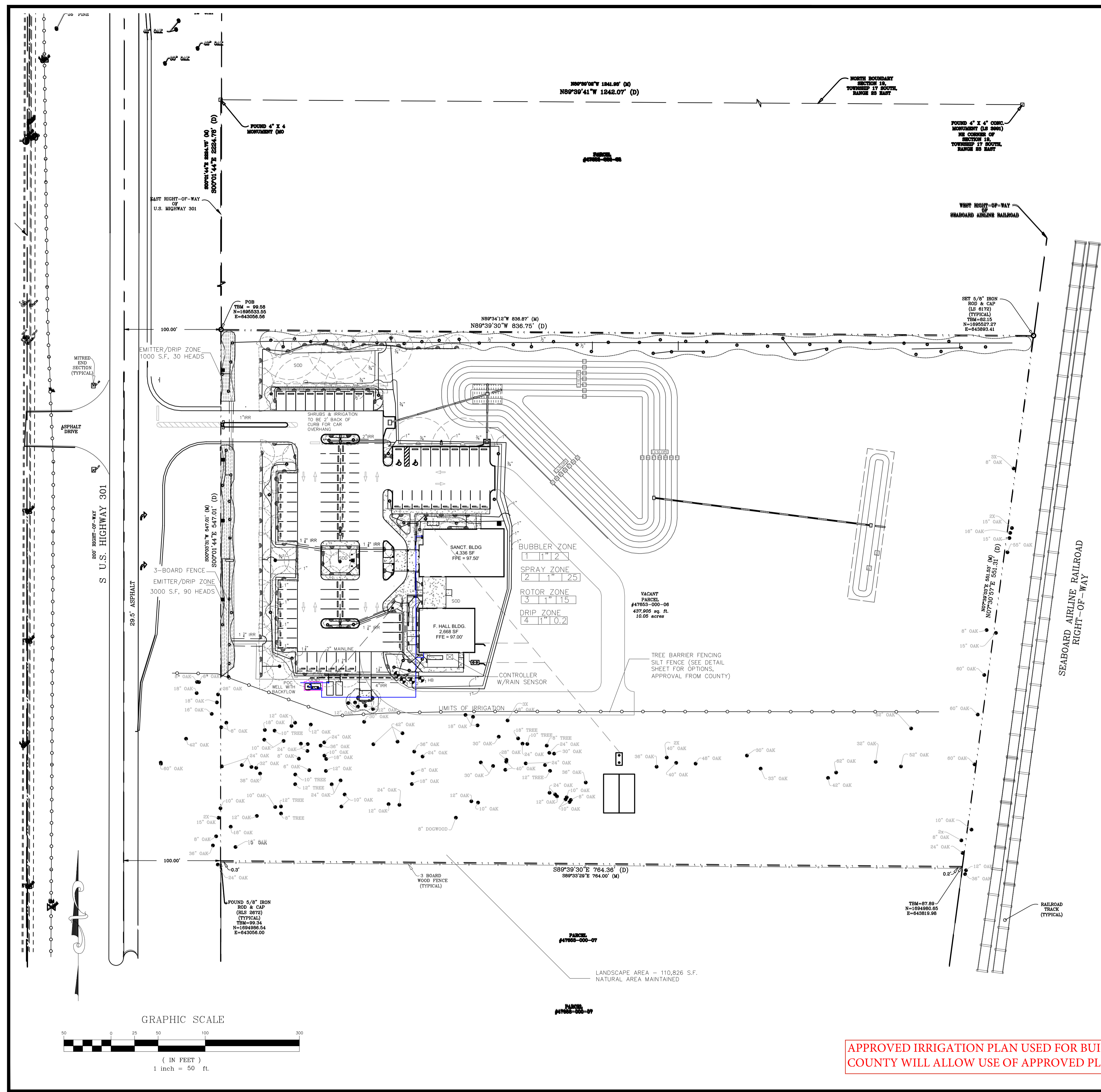
PROJ. NO. 14-006
DATE 8/10/15

IRRIGATION PLAN
THE CONGREGATIONAL CHURCH
US 301 Marion County, FL

REVISIONS DATE
COUNTY REVIEW 9/23/14
SITE REVISION 2/6/15

SHTS
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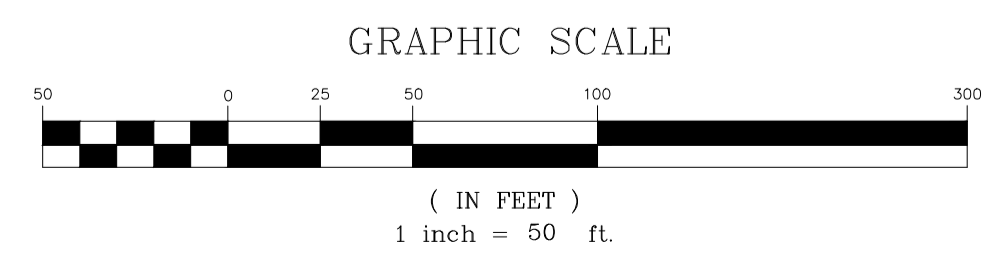
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- IRRIGATION KEY**
- ⊠ AUTOMATIC CONTROLLER (ELECTRIC) W/ RAIN SENSOR
 - HB HOSE BIB
 - IRR. SCH. 40 PVC SLEEVE, sized as shown
 - SCHEDULE 40 PVC MAINLINE, SIZED AS SHOWN
 - CLASS 160 LATERAL LINE, SIZED AS SHOWN, 1/2" if not labeled
 - ⊕ ZONE CONTROL VALVE KIT (LOW FLOW + PRESSURE REGULATOR)
 - BACKFLOW PREVENTER
 - KERI-BUG EMITTER, 2 GPH 30 PSI
 - 180 MP1000 ROTATOR SPRAY HEADS, 8' RADIUS, 0.32 GPM, 40 PSI
 - 180 MP1000 ROTATOR SPRAY HEADS, 15' RADIUS, 0.37 GPM, 40 PSI
 - 180 MP1000 ROTATOR SIDE STRIPS, 5x15', 0.15 GPM, 40 PSI
 - 180 MP3000 ROTATOR HEADS, 30' RADIUS, 1.82, 40 PSI
 - DRIP IRRIGATION WITH EMITTERS, XPCN FULL NOZZLES ON 6" POP-UP SPRAYHEAD, SPACED BETWEEN PLANTS, 5' O.C., 30 PSI @ 12.2 GPH
 - 1" 15" — G.P.M. VALVE SIZE ZONE
- IRRIGATION PLAN REQUIREMENTS**
1. TYPE OF AUTOMATED SYSTEM = ELECTRIC CONTROLLER IN OUTDOOR LOCKING CABINET OR INDOORS.
 2. TYPE AND SIZE OF ELECTRICAL WIRE = TO BE DETERMINED AT FOR VALVES.
 3. BACKFLOW PREVENTION DEVICE = FEBCD 850 DOUBLE CHECK OR PER COUNTY REQUIREMENTS.
 4. REQUIRED OPERATING PRESSURE = 30 PSI TO 40 PSI / 20 GPM.
 5. DESIGN OPERATING PRESSURE OF IRRIGATION SYSTEM = 40 PSI.
 6. PLACEMENT OF RAIN SENSOR WILL BE MOUNTED IN OPEN AREA CLOSE TO CONTROLLER LOCATION.
 7. WATER REQUIREMENTS PER ZONE = PROVIDE 1/2" TO 3/4" WATER PER ZONE, COMPLY WITH STATE WATERING RESTRICTIONS. DRIP/BUBBLERS = RUN TIME 15 MIN.
 8. SEE DETAIL SHEET FOR INSTALLATION SPECIFICATIONS AND DETAILS.

- NOTES**
1. THE CONTRACTOR SHALL ADHERE TO THE MARION COUNTY LAND DEVELOPMENT CODE DIVISION 9, SECTION 6.9 IRRIGATION.
 2. METER TO HAVE A TOTALIZING WATER METER INSTALLED AT WATER SOURCE FOR IRRIGATION.
 3. WATER SOURCE TO BE WELL AND MAINLINE TO BE ADJUSTED TO CONNECT ZONE CONTROLLERS.
 4. ROTATOR HEADS USE 30% LESS WATER THAN CONVENTIONAL SPRAY HEADS DUE TO STREAM SPRAY SYSTEM.
 5. NEW BAHIA SOD WHICH IS NOT IRRIGATED AUTOMATICALLY, HAND DR TRUCK UNTIL ESTABLISHED OR SUFFICIENT RAINFALL.
 6. PIPE NOT MARKED IS 1/2" SIZE IF AT BEGINNING OF LATERAL LINE.
 7. IRRIGATION SYSTEMS TO BE INSTALLED BY PROFESSIONALS MEETING LICENSING REQUIREMENTS UNDER SECTION 6.9.10 MARION COUNTY LDR.
 8. UPON COMPLETION OF INSTALLATION, CONTRACTOR TO REQUEST INSPECTION BY DESIGN PROFESSIONAL. AN ASBUIT OF THE LANDSCAPE & IRRIGATION PLAN TO BE SUBMITTED TO THE COUNTY BY THE DESIGN PROFESSIONAL AS OUTLINED IN MARION COUNTY LDC SECTION 6.8.12.

- SITE NOTES:**
1. CONTRACTOR TO USE BEST MEASURES TO CONTROL EROSION AND SEDIMENTATION DURING CONSTRUCTION.
 2. DISTURBED AREAS ARE TO BE SEEDED AND MULCHED OR SOODED UPON COMPLETION OF WORK.
 3. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE. NOTE: ALL CONSTRUCTION PERFORMED WITHIN THE MARION COUNTY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.



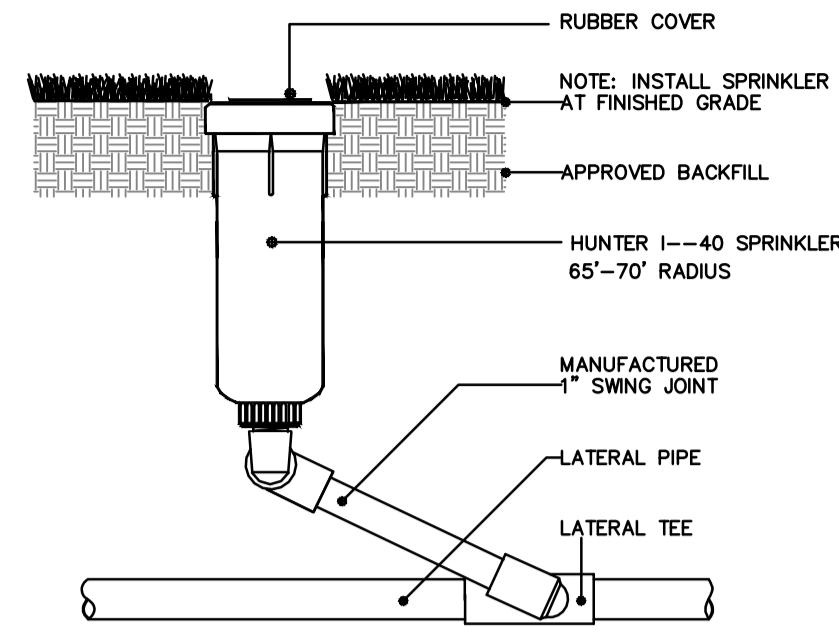
APPROVED IRRIGATION PLAN USED FOR BUILDING EXPANSION PROJECT.
COUNTY WILL ALLOW USE OF APPROVED PLAN IF SITE IS BROUGHT INTO COMPLIANCE

IRRIGATION NOTES

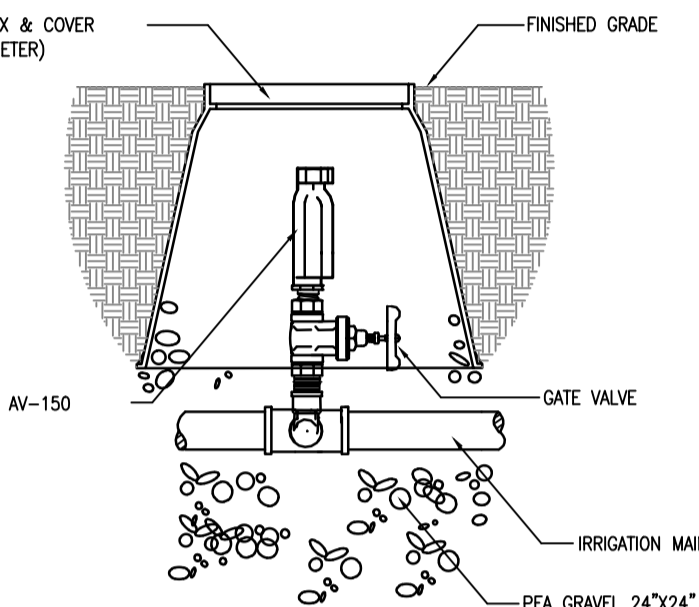
- This schematic irrigation plan serves primarily as a guide. The Contractor shall be entirely responsible for proper coverage and operation of the systems, including changes from the plan as necessary to adjust for actual site conditions.
- The Contractor shall be responsible for providing all labor, materials, and accessories required for complete irrigation systems meeting the performance requirements outlined herein.
- All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees required shall be included as work required.
- The water sources shall be from well. Design data shall be verified by the Contractor prior to installation.
- A rain sensor device, Mini-Click II, or approved equal, shall be installed for each controller installed.
- All remote control valves, gate valves, ball valves, hose bibs and wire splices shall be installed in a suitable Ametek-type valve box of proper size as required for easy access to the valve. Valve boxes shall have a sump of 1 of gravel. Valve boxes shall be set flush and sloped with the surrounding grade.
- All PVC pipe in the system less than 2" O.D. except risers, shall be Class 160 PSI Polyvinyl Chloride solvent weld pipe conforming to the ASTM-D2466, Type 1, requirements, NSF approved.
- All PVC pipe in the system greater or equal to 2" O.D. and fittings shall be Schedule 40, Type 1, NSF approved conforming to the ASTM-D2466 requirements.
- All wiring, if required, shall be U.L. U.F. wiring. A separate power wire shall be installed from the controller to each individual valve. Wiring shall be installed with main lines where possible; when not, it shall be installed in conduit. Waterproof wire connectors shall be used.
- Provide pressure compensating devices as necessary to reduce misting.
- Verify the presence of all sleeving before commencing work. Where piping must pass under existing concrete or pavement, it shall be jacked or jettied where possible. Only if impossible to get in place without cutting pavement, permission will be given by the Owner to cut paving. If this is necessary, all cutting and replacing of the paving to match the existing shall be included under this section of the specifications.
- All PVC piping and wiring shall be installed in the trenches with a minimum of 12" of cover and a maximum depth of 24", except where specific permission is obtained from the Landscape Architect and/or Owner for less cover due to existing conditions. Where necessary because of landscaping, cover shall be as deep as required.
- All flex pipe shall be buried to a depth of at least 4" (or covered with 3" of mulch) except where the tubing daylight over newly planted rootballs.
- All emitters and flood bubblers shall be installed at the rootball and be minimally visible above the mulch.
- The Contractor shall warrant the installation workmanship for a period of one year from date of job completion and retainage release. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide an Owner's Manual. A reproducible set shall be copied from the original showing all dimensioned system components shall be required for final job acceptance.

IRRIGATION WELL AND PUMP NOTES

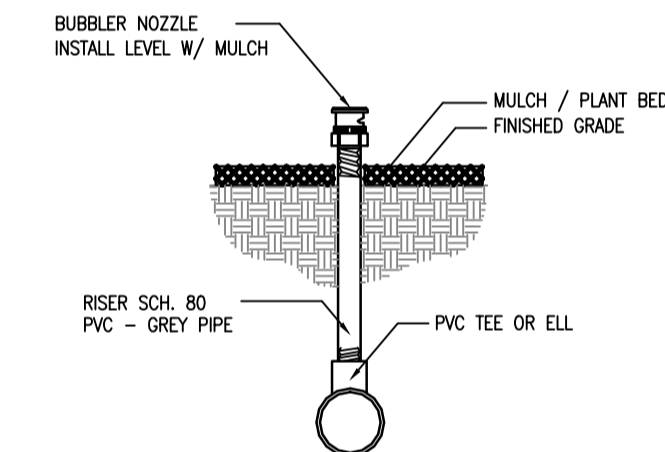
- WELL & PUMP CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS FOR A COMPLETE WORKING SYSTEM FOR THE IRRIGATION SYSTEM.
- PROVIDE A WELL & DESIGN TO PRODUCE SUPPLY FOR IRRIGATION & STRUCTURES
- ALL FITTINGS ABOVE GROUND SHALL BE GALVANIZED PIPE MATERIALS.
- PUMP SYSTEM SHALL INCLUDE BUT NOT LIMITED TO:
 - 1 1/4" PRESSURE RELIEF VALVE
 - PUMP START W/ CONTROLLERS
 - PRESSURE GAUGE 0-100 P.S.I.
 - WELL SCREEN STAINLESS STEEL
 - PROVIDE WELL WATER OF THE QUALITY AND QUANTITY AS SPECIFIED, WITH IRON PRESENT AT THE RATE OF LESS THAN 0.02 PPM.
- OBTAIN ALL NECESSARY PERMITS AND COMPLY WITH APPLICABLE REGULATIONS, LOCAL AND STATE.
- WELL & PUMP SYSTEM SHALL BE CHECKED FOR OPERATIONAL STATUS.
- DO NOT INSTALL IRRIGATION SYSTEM BEFORE THE ABOVE TEST RESULTS HAVE BEEN ACCOMPLISHED AND APPROVED.



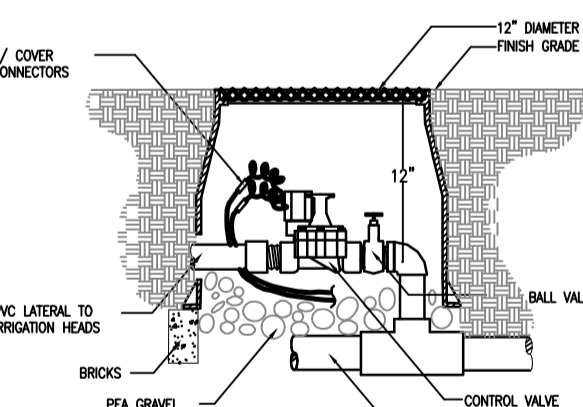
1 TREE PLANTING & GUYING DETAIL
SCALE: NOT TO SCALE



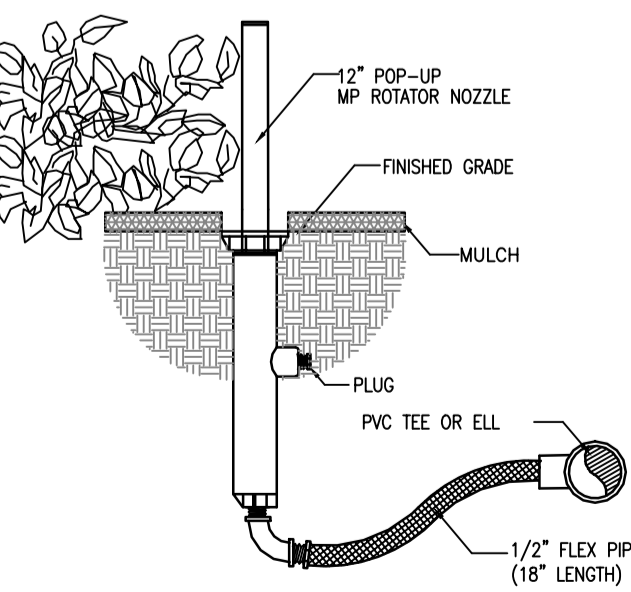
2 SHRUB PLANTING
SCALE: NOT TO SCALE



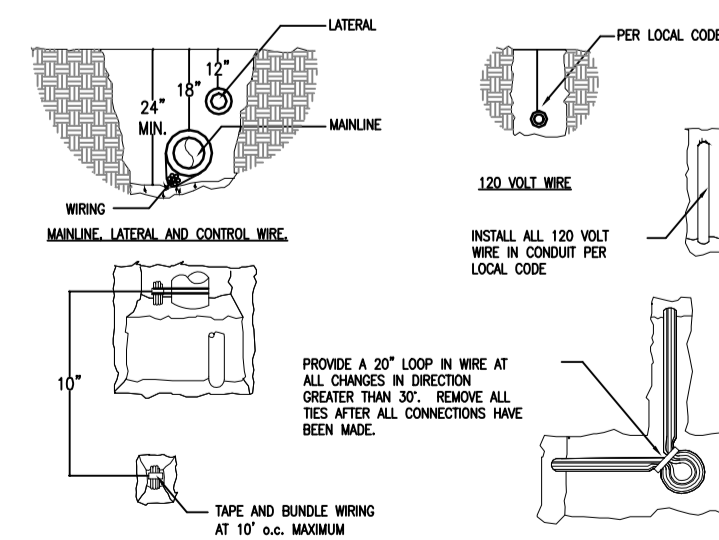
3 AIR VENT DETAIL
SCALE: NOT TO SCALE



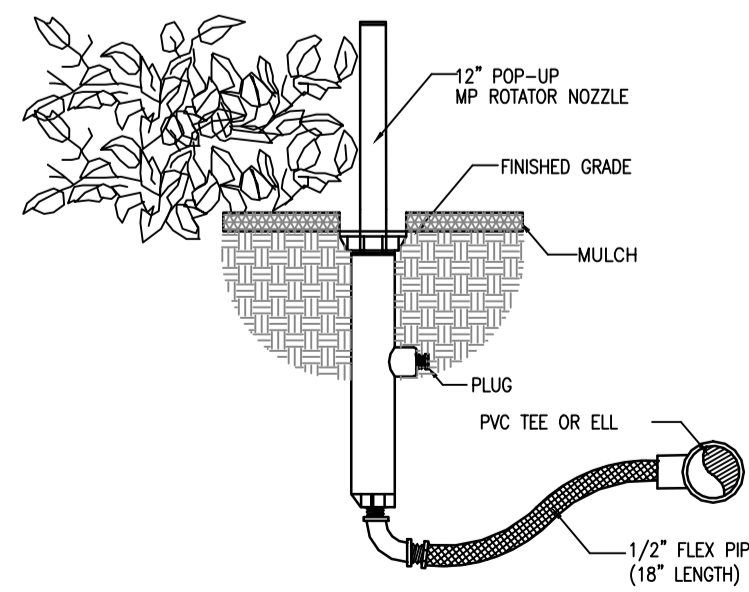
4 BUBBLER HEAD DETAIL
SCALE: NOT TO SCALE



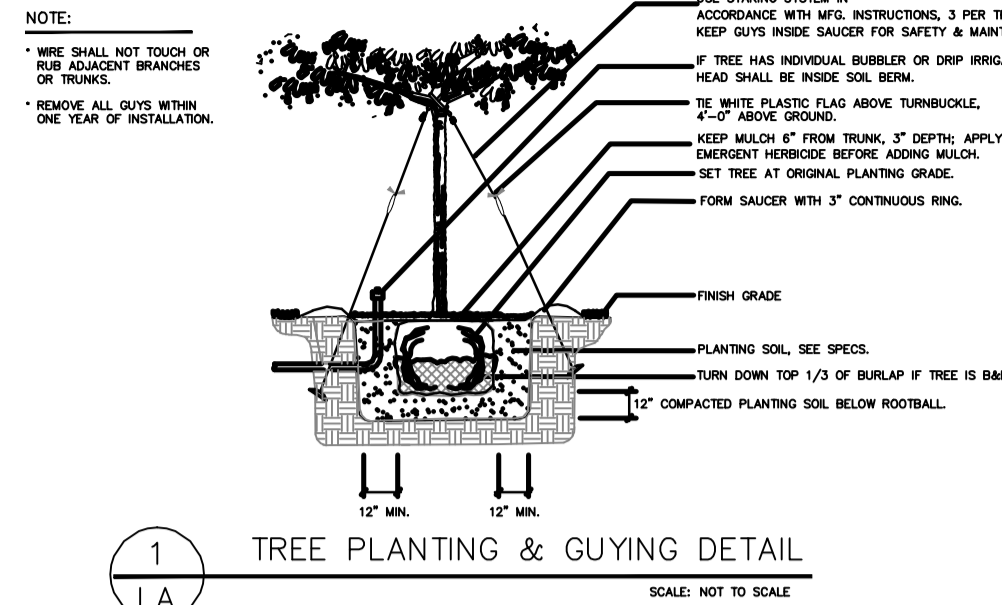
5 CONTROL VALVE DETAIL
SCALE: NOT TO SCALE



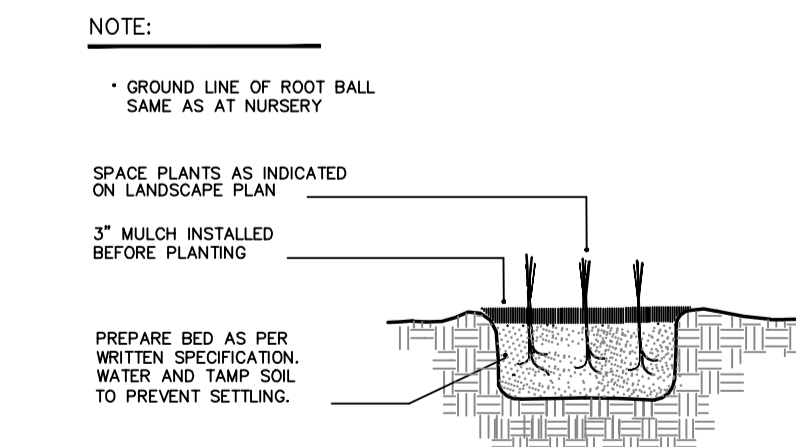
6 IRRIGATION TO WELL DETAIL
SCALE: NOT TO SCALE



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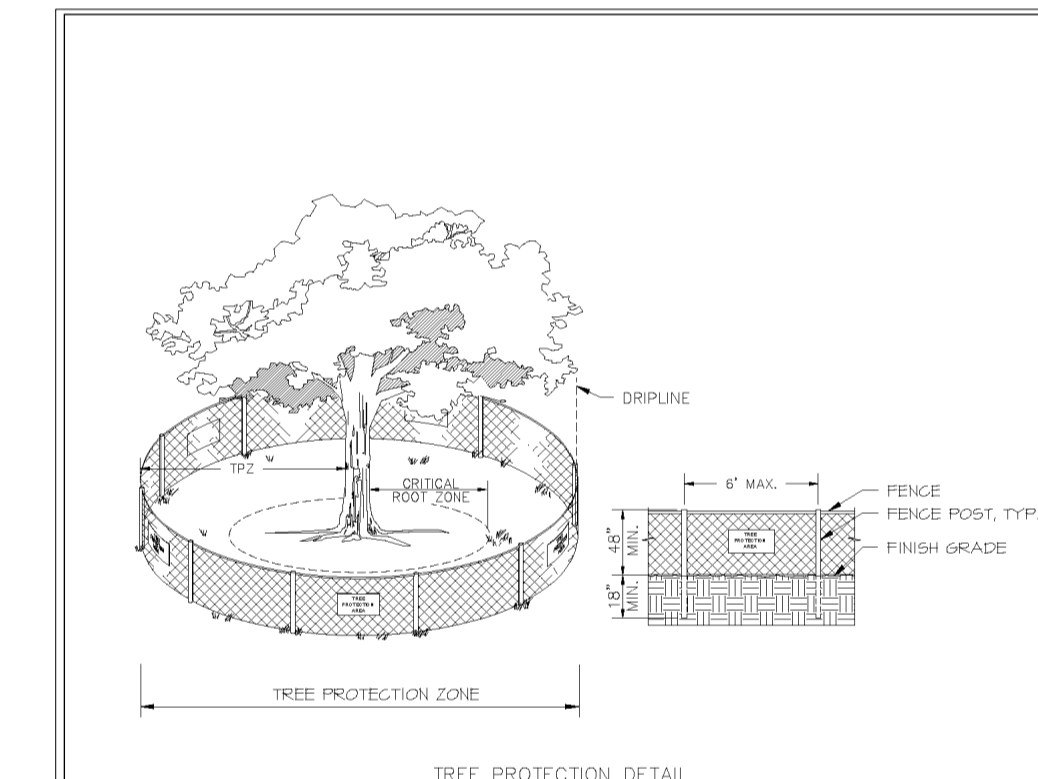
3 PALM PLANTING DETAIL
SCALE: NOT TO SCALE



4 GROUNDCOVER PLANTING DETAIL
SCALE: NOT TO SCALE

LANDSCAPE NOTES

- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, latest edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner.
- The Landscape Contractor shall be responsible for finish grading all areas of the site. Rough grade will be within 2" of finish grade. The Landscape Contractor shall be responsible for any grade disturbed by his work.
- The Landscape Contractor shall be responsible for the thorough removal of existing weeds and grass in the areas to be planted, including application(s) of appropriate herbicides before and after plant installation.
- Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils), mixed with two lbs. fertilizer per cubic yard. Fertilizer shall be SLOW RELEASE for new plantings. Comply with Marion County Code Sect. 8.2.10n
- Terra-Sorb, or approved equal, shall be incorporated into the planting soil of all trees in sandy soils only at the following rates:
 - 15 gallon containers = one (3 oz.) Handy Pac
 - 30 gallon containers = two (3 oz.) Handy Pac
 - Up to 3" caliper = one (3 oz.) Handy Pac
 - 4" to 5" caliper = two (3 oz.) Handy Pac
 - Broadcast 1/2 throughout the planting pit; mix 1/2 with backfill.
- All plant beds shall be top-dressed with 3" of mulch either pine bark nuggets or pine straw.
- The Landscape Architect reserves the right to field locate or review flagged locations of any or all plant material.
- All balled and burlapped trees shall be hardened-off at the supplier's for a minimum of 30 days prior to shipping. All suppliers must be approved by the Landscape Architect prior to delivery and installation of the trees; any tree which shows signs of stress shall be replaced immediately at no charge to the Owner.
- All trees will be staked per detail sheet or by another method approved by the Landscape Architect. Mulched tree rings shall encompass guys.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- Guaranty (from time of job completion and retainage release):
 - Trees and shrubs = 1 year
 - New sod (Argentine Bahia) = 60 days
- Irrigation System to include backflow device and to be designed at 100% coverage trees and shrubs using water supply available. Rain sensor to be installed at controller pursuant to F.S. Chapter 373.

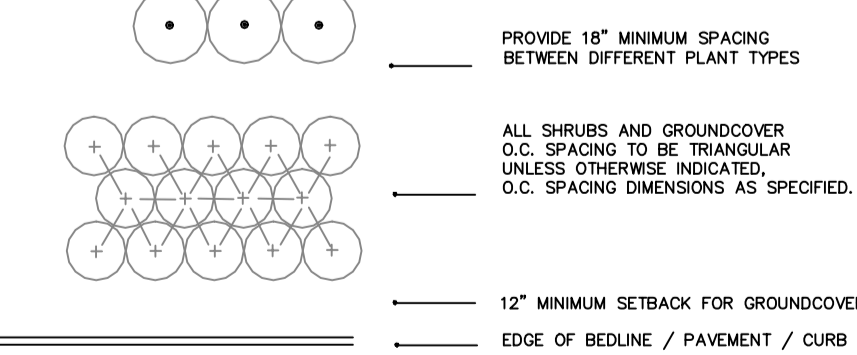


NOTES:

- TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
- FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
- BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
- BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
- CLEARING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
- THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.
- IF ANY TREE IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, MUST BE REPLACED AT AN INCH-DIAMETER BASES OF THE TOTAL (COMBINED) JOB OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3 1/2" CALIPER.
- REQUIREE SIGNS SHALL STATE "TREE PROTECTION ZONE."

Marion County	MISC EFFECTIVE	7.3.4
DESIGNED BY	10/12/2013	LS
REVISION # N/A		009

- Tree Protection Zones
C. Tree protection barricades shall be:
- No less than four feet in height.
 - Constructed of rigid material capable of surviving for the duration of the construction.
 - Placed with highly visible signs placed on the tree protection barricades at each quadrant of single protected trees and along dielines of groups of trees being protected at 50-foot intervals or less. Signs shall include the words "Tree Protection Zone."



6 SHRUB AND GROUNDCOVER SPACING
SCALE: NOT TO SCALE

DEVELOPMENT REVIEW COMMITTEE MARION COUNTY, FLORIDA

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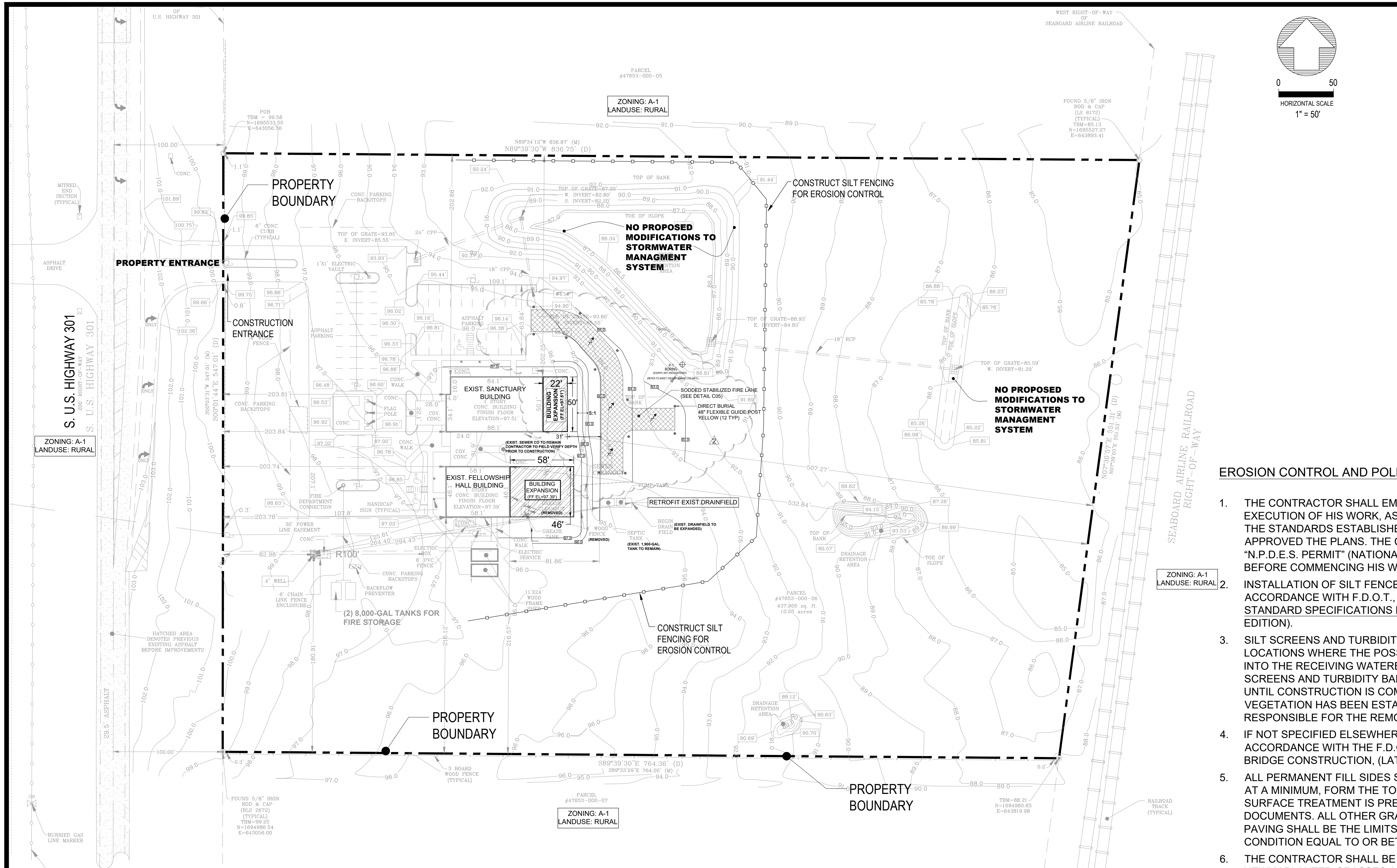
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APPROVED LANDSCAPE AND IRRIGATION DETAILS USED FOR BUILDING EXPANSION PROJECT.
COUNTY WILL ALLOW USE OF APPROVED PLAN IF SITE IS BROUGHT INTO COMPLIANCE

PLAN DETAILS



NO. TO DRAWING	REVISION DESCRIPTION	BY	DATE
1	REV. PER COUNTY COMMENTS (02/1/2024)	RAC	5/2024
2	REV. PER COUNTY FIRE REVIEW	RAC	6/2024

ENGINEER OF RECORD
RICHARD A. CAMPANALE, P.E.
 FLORIDA LICENSE NO. 54745
 127 SLADE DRIVE
 LONGWOOD, FL 32750
 407-878-8942

SENATOR INC.
 DESIGN / BUILD SPECIALISTS
 ANAHEIM, FLORIDA
 1317 Turner Street, Longwood, FL 32750 • P: 352-276-1121 • F: 352-276-8292 • A: 352-276-8293
 SENATOR INC. IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER.

SEC 19
THE CONGREGATIONAL CHURCH
BUILDING EXPANSION PROJECT
MAJOR SITE PLAN
 15421 S US HIGHWAY 301, SUMMERFIELD MARION COUNTY, FL 34981
OVERALL SITE / POLLUTION PREVENTION PLAN

2/2024
 Major Site Plan App
 Date: 5/10/2024
 Design: JPS / RAC
 Drawn: RAC
 Checked: JPS

SHEET
C04

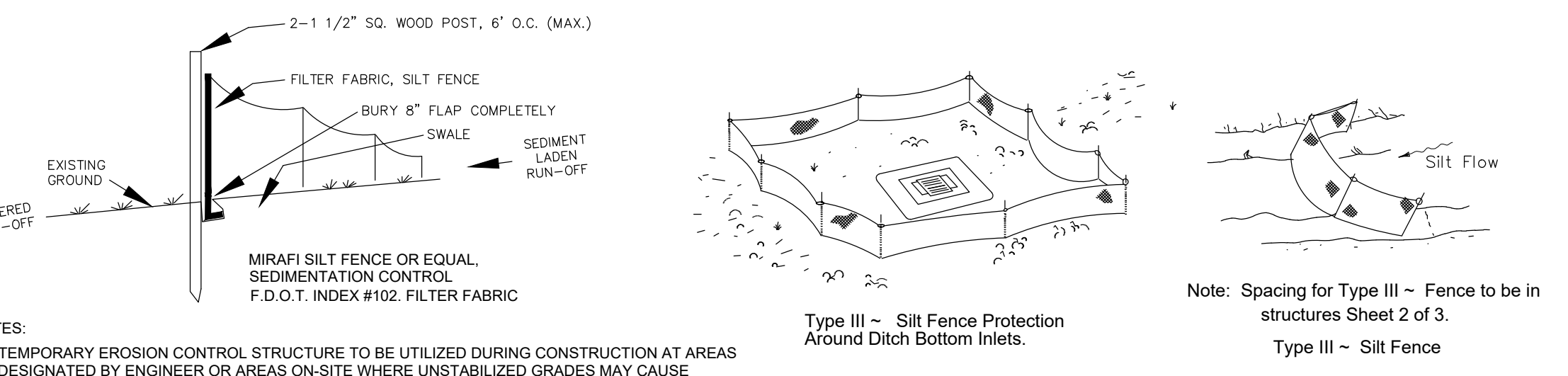
THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY RICHARD A. CAMPANALE, P.E., FLORIDA LICENSE NO. 54745 ON THE DATE AND/OR TIME SHOWN SHOWING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

EROSION CONTROL AND POLLUTION ABATEMENT NOTES:

1. THE CONTRACTOR SHALL EMPLOY SUCH EROSION CONTROL METHODS IN THE EXECUTION OF HIS WORK, AS SPECIFIED BY CONDITIONS OF PERMIT AND/OR THE STANDARDS ESTABLISHED BY THE GOVERNMENTAL ENTITY HAVING APPROVED THE PLANS. THE CONTRACTOR SHALL OBTAIN A FEDERAL E.P.A. "N.P.D.E.S. PERMIT" (NATIONAL DISCHARGE ELIMINATION SYSTEM PERMIT) BEFORE COMMENCING HIS WORK.
2. INSTALLATION OF SILT FENCES AND TURBIDITY BARRIERS SHALL BE IN ACCORDANCE WITH F.D.O.T., ROADWAY AND TRAFFIC DESIGN STANDARDS, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
3. SILT SCREENS AND TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATERBODY EXISTS DUE TO THE PROPOSED WORK. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS.
4. IF NOT SPECIFIED ELSEWHERE: SEEDING, MULCHING, AND SODDING SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, (LATEST EDITION).
5. ALL PERMANENT FILL SIDES SLOPES, BERMS AND SWALES SHALL BE SODDED, AT A MINIMUM, FORM THE TOE OF SLOP TO THE TOP OF BANK; UNLESS OTHER SURFACE TREATMENT IS PRESCRIBED IN THE PLANS OR CONTRACT DOCUMENTS. ALL OTHER GRADED AREAS NOT SCHEDULED FOR SODDING PAVING SHALL BE THE LIMITS OF GRADING SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL NEWLY PLANTED GRASSES AND VEGETATION UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER.
7. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 5 FEET OF SOD AROUND ALL DITCH BOTTOM INLETS, MANHOLES AND ENDWALLS, IN AREAS NOT SCHEDULED FOR PAVEMENT OR CONCRETE.
8. STORMWATER POLLUTION PREVENTION PLAN: SINCE THE TOTAL AREA TO BE CLEARED IS LESS THAN FIVE (5) ACRES, THE CONTRACTOR WILL BE RESPONSIBLE FOR PREPARING AND SUBMITTING A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM SMALL CONSTRUCTION ACTIVITIES" IN ACCORDANCE EPA'S NPDES SWPPP REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT (NOI) TO FDEP (IN TALLAHASSEE) FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION.
9. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION 104", F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SLIDE SLOPES MAY BE SEEDED AND MULCHED, PROVIDED THAT THE MULCH MATERIAL DISC HARROWED AND THE SIDE SLOPES ARE NEITHER GREATER THAN 3 HORIZONTAL TO 1 VERTICAL, NOR PART OR DRAINAGE CONVEYANCE.

CONTRACTOR RESPONSIBILITIES FOR NPDES (SWPPP)

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
2. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
5. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
6. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
7. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
8. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

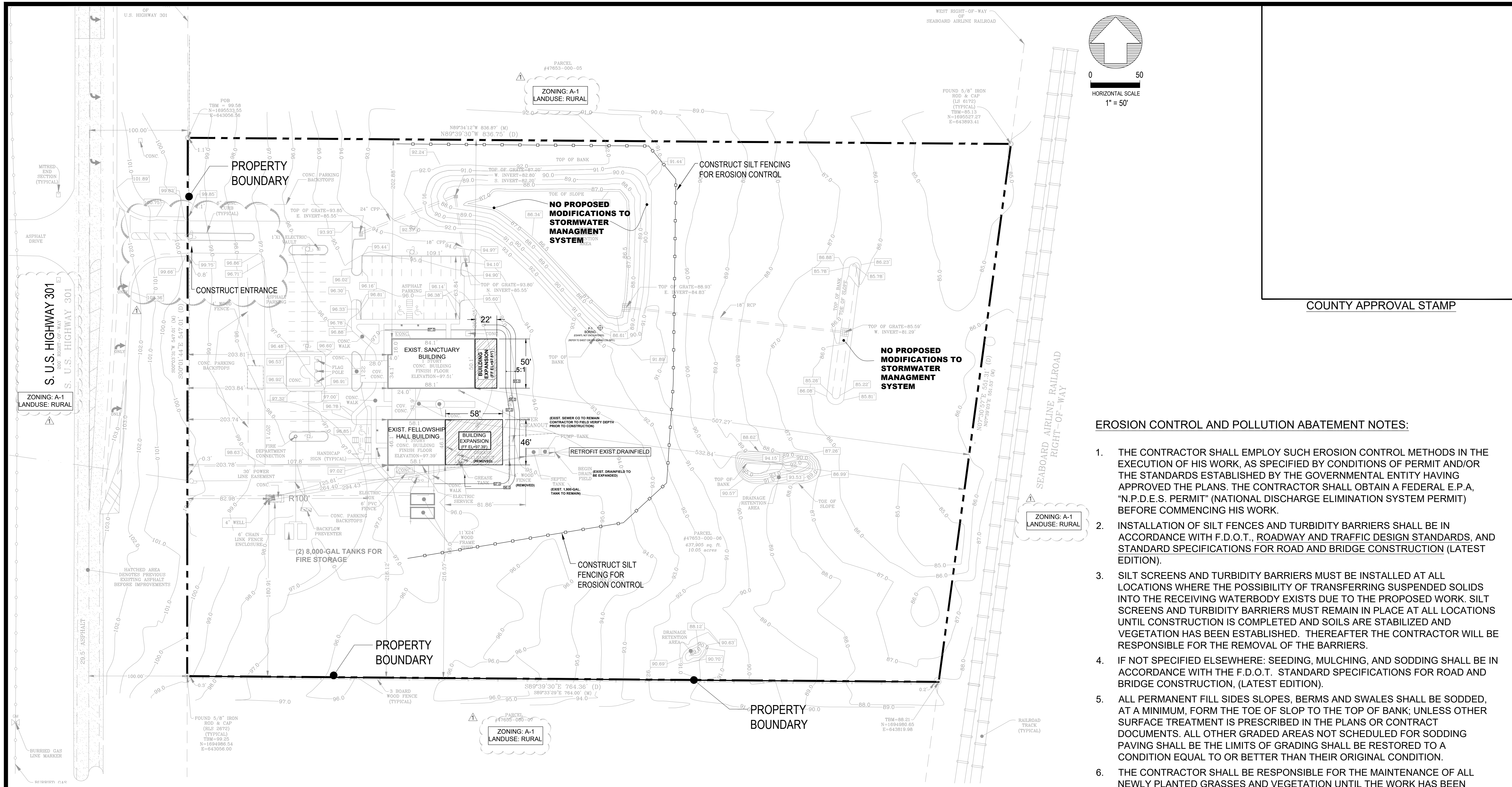


NOTES:
 TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.

- a.) PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
- b.) PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

SILT FENCE APPLICATIONS



#	REVISION DESCRIPTION	BY	DATE
1	REV PER COUNTY COMMENTS (02/1/2024)	RAC	5/2024

ENGINEER OF RECORD
RICHARD A. CAMPANALE, P.E.
 FLORIDA LICENSE NO. 54745
 127 SLADE DRIVE
 LONGWOOD, FL 32750
 407-878-8942

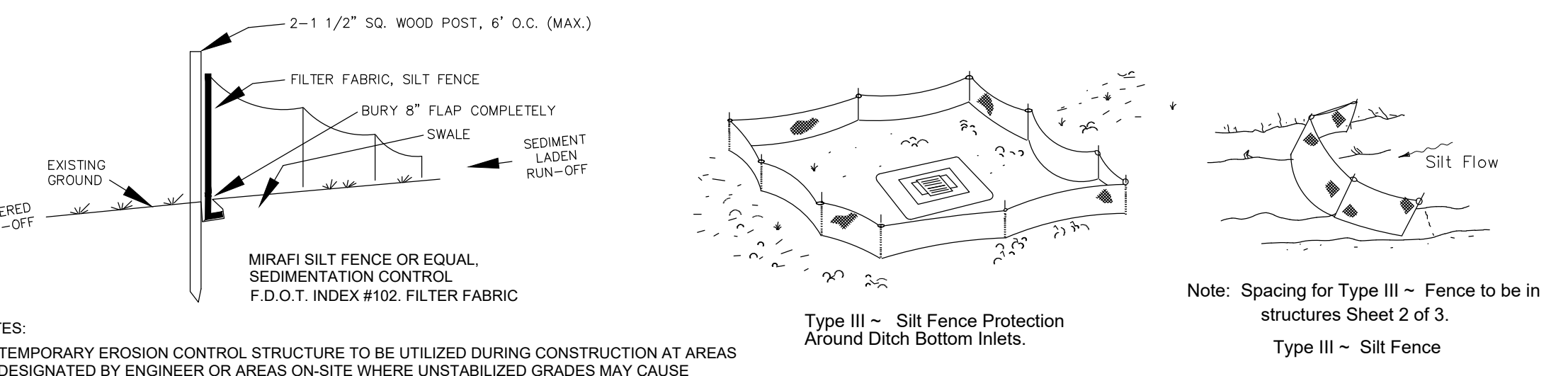
COUNTY APPROVAL STAMP

EROSION CONTROL AND POLLUTION ABATEMENT NOTES:

1. THE CONTRACTOR SHALL EMPLOY SUCH EROSION CONTROL METHODS IN THE EXECUTION OF HIS WORK, AS SPECIFIED BY CONDITIONS OF PERMIT AND/OR THE STANDARDS ESTABLISHED BY THE GOVERNMENTAL ENTITY HAVING APPROVED THE PLANS. THE CONTRACTOR SHALL OBTAIN A FEDERAL E.P.A. "N.P.D.E.S. PERMIT" (NATIONAL DISCHARGE ELIMINATION SYSTEM PERMIT) BEFORE COMMENCING HIS WORK.
2. INSTALLATION OF SILT FENCES AND TURBIDITY BARRIERS SHALL BE IN ACCORDANCE WITH F.D.O.T., ROADWAY AND TRAFFIC DESIGN STANDARDS, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
3. SILT SCREENS AND TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATERBODY EXISTS DUE TO THE PROPOSED WORK. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS.
4. IF NOT SPECIFIED ELSEWHERE: SEEDING, MULCHING, AND SODDING SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, (LATEST EDITION).
5. ALL PERMANENT FILL SIDES SLOPES, BERMS AND SWALES SHALL BE SODDED, AT A MINIMUM, FORM THE TOE OF SLOP TO THE TOP OF BANK; UNLESS OTHER SURFACE TREATMENT IS PRESCRIBED IN THE PLANS OR CONTRACT DOCUMENTS. ALL OTHER GRADED AREAS NOT SCHEDULED FOR SODDING PAVING SHALL BE THE LIMITS OF GRADING SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL NEWLY PLANTED GRASSES AND VEGETATION UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER.
7. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 5 FEET OF SOD AROUND ALL DITCH BOTTOM INLETS, MANHOLES AND ENDWALLS, IN AREAS NOT SCHEDULED FOR PAVEMENT OR CONCRETE.
8. STORMWATER POLLUTION PREVENTION PLAN: SINCE THE TOTAL AREA TO BE CLEARED IS LESS THAN FIVE (5) ACRES, THE CONTRACTOR WILL BE RESPONSIBLE FOR PREPARING AND SUBMITTING A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM SMALL CONSTRUCTION ACTIVITIES" IN ACCORDANCE EPA'S NPDES SWPPP REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT (NOI) TO FDEP (IN TALLAHASSEE) FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION.
9. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION 104", F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SLIDE SLOPES MAY BE SEEDED AND MULCHED, PROVIDED THAT THE MULCH MATERIAL DISC HARROWED AND THE SIDE SLOPES ARE NEITHER GREATER THAN 3 HORIZONTAL TO 1 VERTICAL, NOR PART OR DRAINAGE CONVEYANCE.

CONTRACTOR RESPONSIBILITIES FOR NPDES (SWPPP)

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
2. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDENCY IN LIEU OF PERMANENT MEASURES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
5. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
6. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
7. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
8. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.



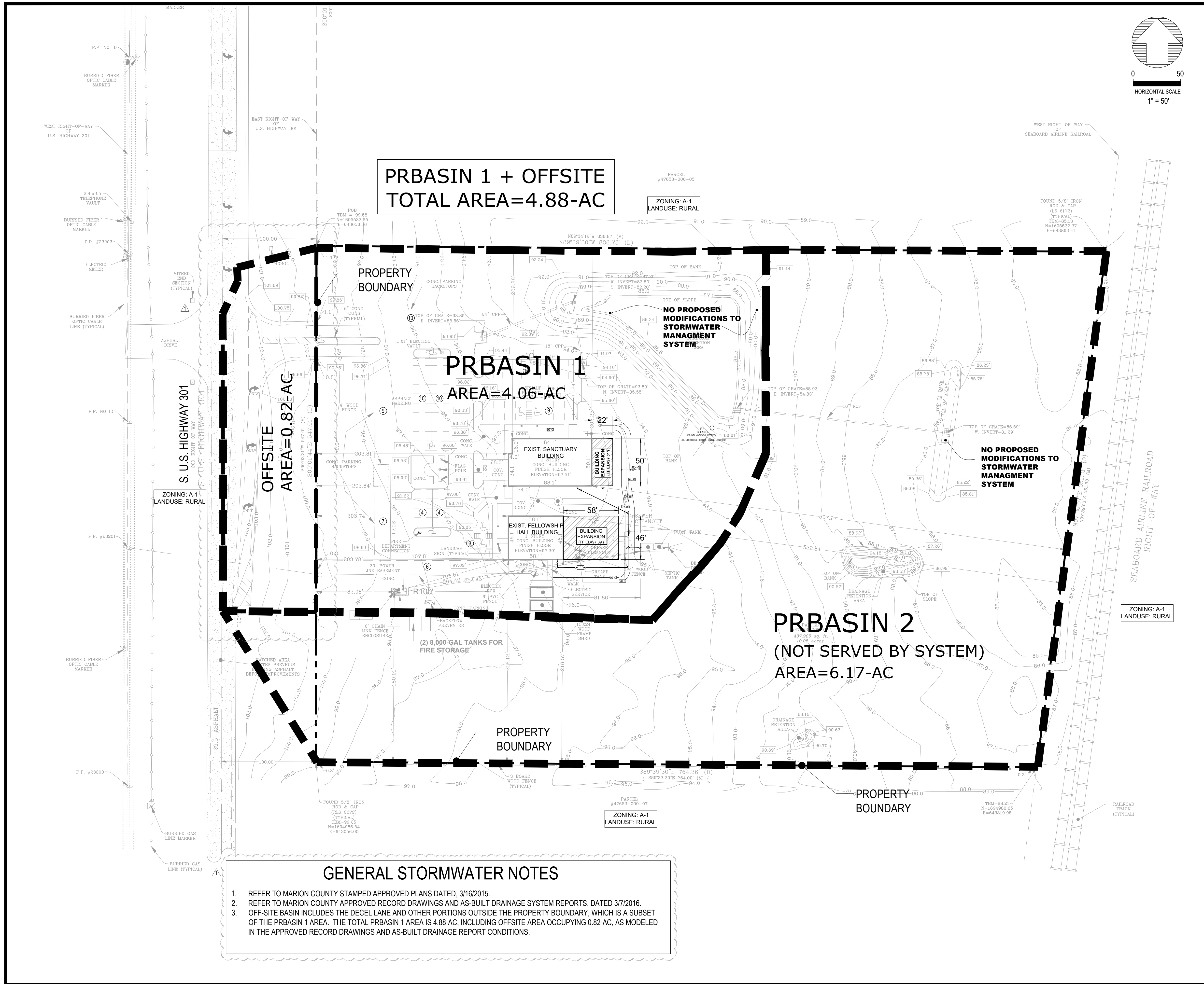
SILT FENCE APPLICATIONS

SENATOR INC.
 DESIGN / BUILD SPECIALISTS
 ANAHEIM, FLORIDA
 1317 Burnier Street, Leesburg, FL 34748 • P: 352-276-1121 • F: 352-276-8292 • AIA/ARB/ARB • CFC/CR/ENR
 and is to be located in the project files. The User is responsible for the accuracy of the information.

SEC 19
THE CONGREGATIONAL CHURCH
BUILDING EXPANSION PROJECT
MAJOR SITE PLAN
 15421 S US HIGHWAY 301, SUMNERFIELD, MARION COUNTY, FL 34491
POLLUTION PREVENTION PLAN

2/2024	Minor Site Plan App	SHEET
Date: 5/10/2024	Design: JPS / RAC	C04
Drawn: RAC	Checked: JPS	

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**PRBASIN 1 + OFFSITE
TOTAL AREA=4.88-AC**

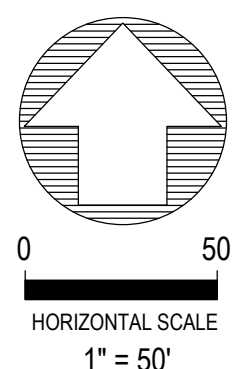
**PRBASIN 1
AREA=4.06-AC**

**OFFSITE
AREA=0.82-AC**

**PRBASIN 2
(NOT SERVED BY SYSTEM)
AREA=6.17-AC**

GENERAL STORMWATER NOTES

1. REFER TO MARION COUNTY STAMPED APPROVED PLANS DATED, 3/16/2015.
2. REFER TO MARION COUNTY APPROVED RECORD DRAWINGS AND AS-BUILT DRAINAGE SYSTEM REPORTS, DATED 3/7/2016.
3. OFF-SITE BASIN INCLUDES THE DECEL LANE AND OTHER PORTIONS OUTSIDE THE PROPERTY BOUNDARY, WHICH IS A SUBSET OF THE PRBASIN 1 AREA. THE TOTAL PRBASIN 1 AREA IS 4.88-AC, INCLUDING OFFSITE AREA OCCUPYING 0.82-AC, AS MODELED IN THE APPROVED RECORD DRAWINGS AND AS-BUILT DRAINAGE REPORT CONDITIONS.



COUNTY APPROVAL STAMP

#	REVISION DESCRIPTION	BY	DATE
1	REV. PER COUNTY COMMENTS (3/1/2024)	RAC	5/2024

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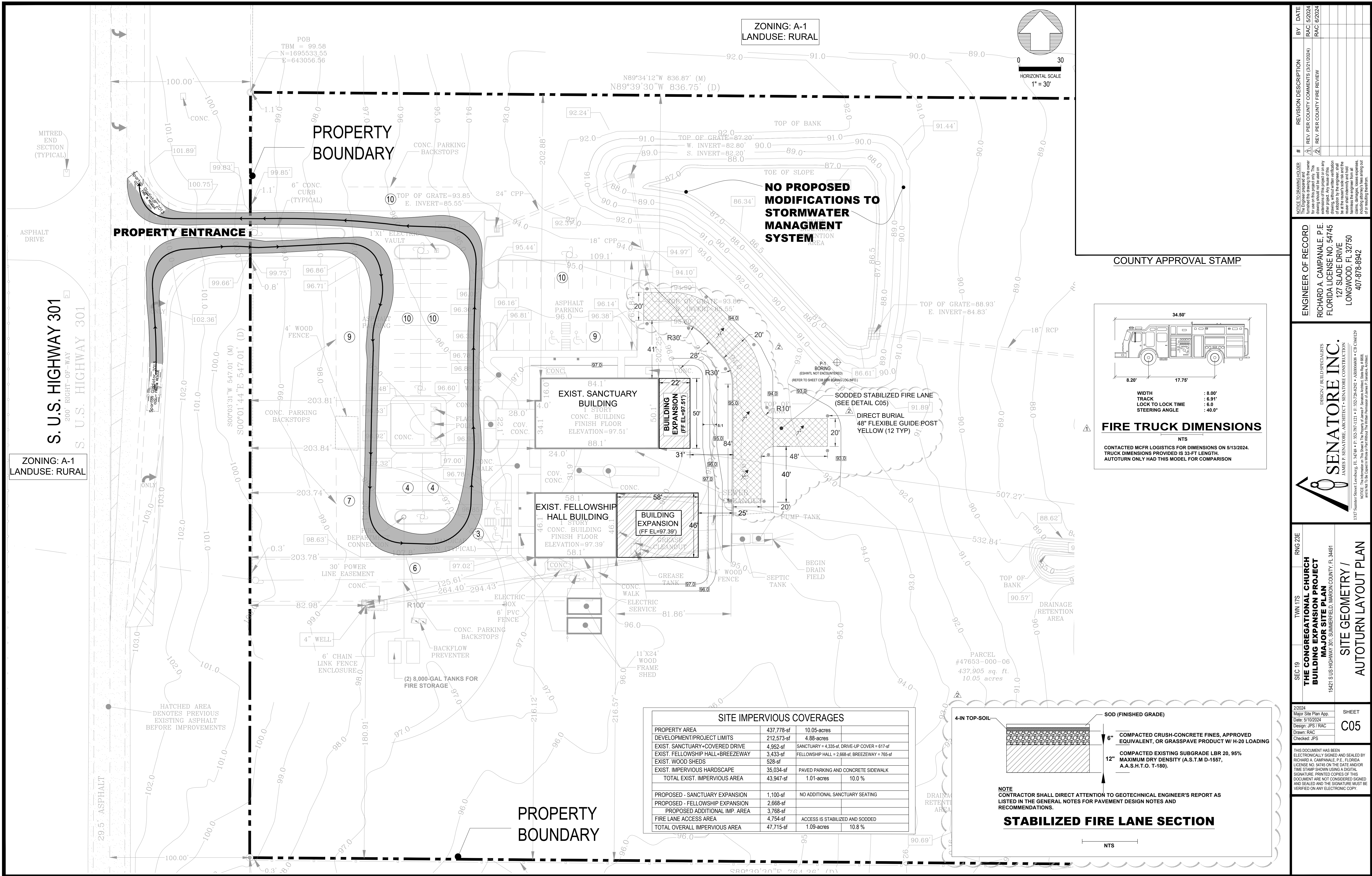
ENGINEER OF RECORD
RICHARD A. CAMPANALE, P.E.
 FLORIDA LICENSE NO. 54745
 127 SLADE DRIVE
 LONGWOOD, FL 32750
 407-878-8842

SENATOR INC.
DESIGN / ARCHITECTURE / ENGINEERING
 JAMES P. SENATOR, ARCHITECT • SENATOR CONSTRUCTION
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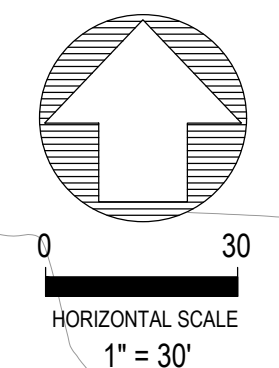
SEC 19 TWIN LITS RING 23E
THE CONGREGATIONAL CHURCH
 US HIGHWAY 301, SUMMERFIELD, FL 34470
 MARION COUNTY
POST BASIN MAP

2/2024
 Major Site Plan App. SHEET
 Date: 5/10/2024
 Design: JPS / RAC
 Drawn: RAC
 Checked: JPS
EX1

RICHARD A. CAMPANALE, P.E.
 FLORIDA LICENSE NO. 54745

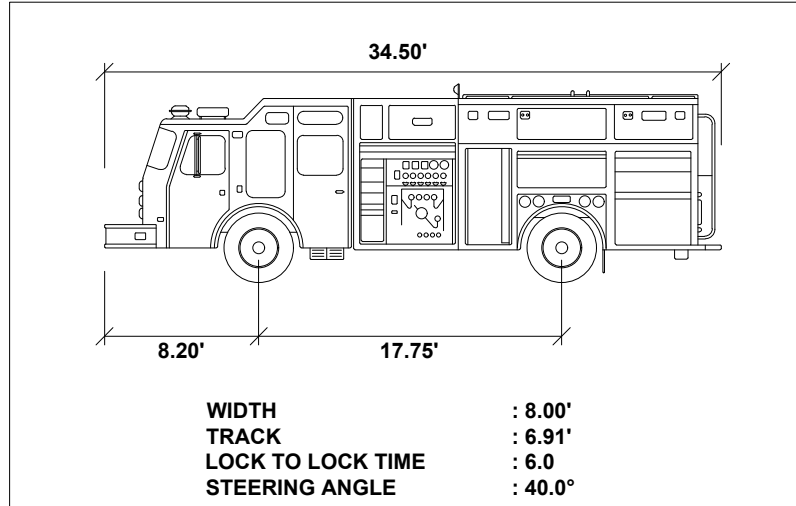


ZONING: A-1
LANDUSE: RURAL



NO PROPOSED MODIFICATIONS TO STORMWATER MANAGEMENT SYSTEM

COUNTY APPROVAL STAMP



FIRE TRUCK DIMENSIONS
 NTS
 CONTACTED MCFR LOGISTICS FOR DIMENSIONS ON 5/13/2024.
 TRUCK DIMENSIONS PROVIDED IS 33-FT LENGTH.
 AUTOTURN ONLY HAD THIS MODEL FOR COMPARISON

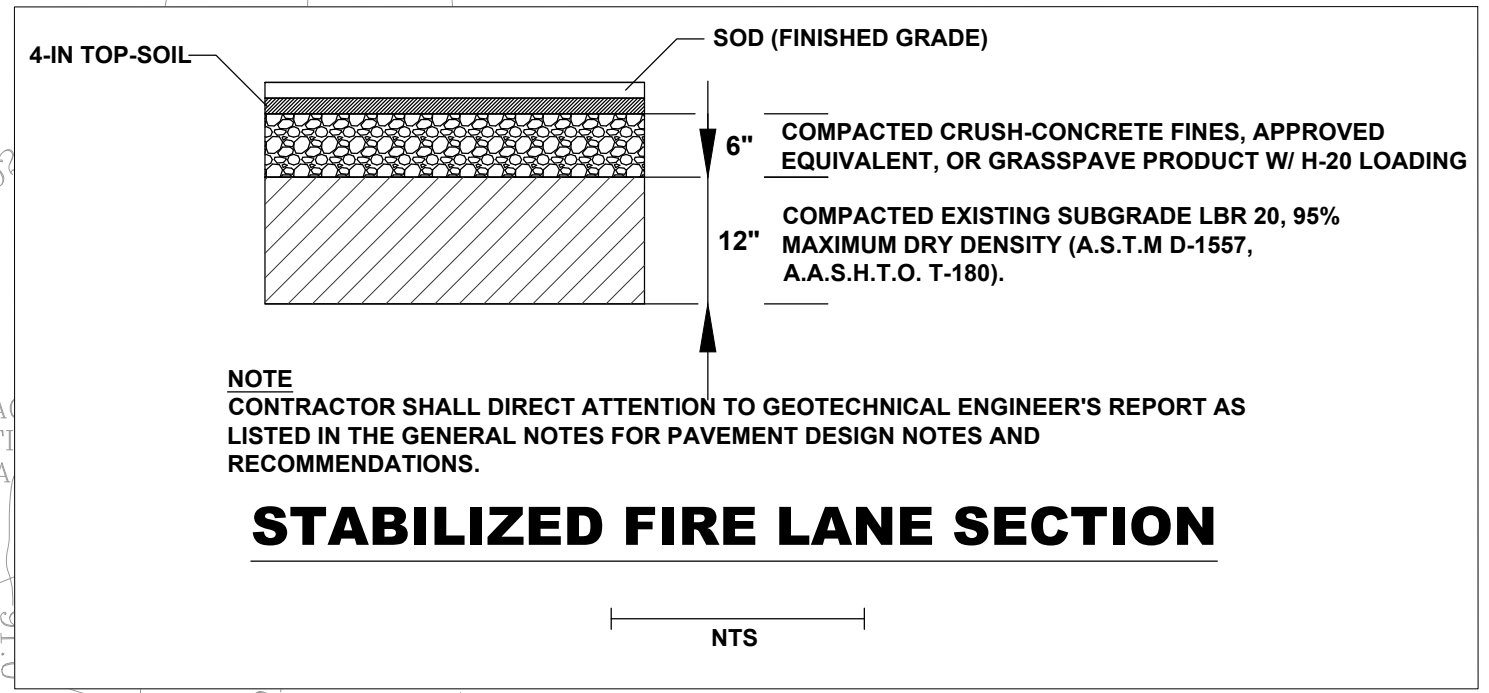
EXIST. SANCTUARY BUILDING
 1 STORY
 CONC. BUILDING
 FINISH FLOOR
 ELEVATION=97.51'

BUILDING EXPANSION
 (FF EL=97.51')

EXIST. FELLOWSHIP HALL BUILDING
 1 STORY
 CONC. BUILDING
 FINISH FLOOR
 ELEVATION=97.39'

BUILDING EXPANSION
 (FF EL=97.39')

SITE IMPERVIOUS COVERAGES			
PROPERTY AREA	437,778-sf	10.05-acres	
DEVELOPMENT/PROJECT LIMITS	212,573-sf	4.88-acres	
EXIST. SANCTUARY+COVERED DRIVE	4,952-sf	SANCTUARY = 4,335-sf, DRIVE-UP COVER = 617-sf	
EXIST. FELLOWSHIP HALL+BREEZEWAY	3,433-sf	FELLOWSHIP HALL = 2,668-sf, BREEZEWAY = 765-sf	
EXIST. WOOD SHEDS	528-sf		
EXIST. IMPERVIOUS HARDSCAPE	35,034-sf	PAVED PARKING AND CONCRETE SIDEWALK	
TOTAL EXIST. IMPERVIOUS AREA	43,947-sf	1.01-acres	10.0%
PROPOSED - SANCTUARY EXPANSION	1,100-sf	NO ADDITIONAL SANCTUARY SEATING	
PROPOSED - FELLOWSHIP EXPANSION	2,668-sf		
PROPOSED ADDITIONAL IMP. AREA	3,768-sf		
FIRE LANE ACCESS AREA	4,754-sf	ACCESS IS STABILIZED AND SODDED	
TOTAL OVERALL IMPERVIOUS AREA	47,715-sf	1.09-acres	10.8%



STABILIZED FIRE LANE SECTION
 NOTE
 CONTRACTOR SHALL DIRECT ATTENTION TO GEOTECHNICAL ENGINEER'S REPORT AS LISTED IN THE GENERAL NOTES FOR PAVEMENT DESIGN NOTES AND RECOMMENDATIONS.

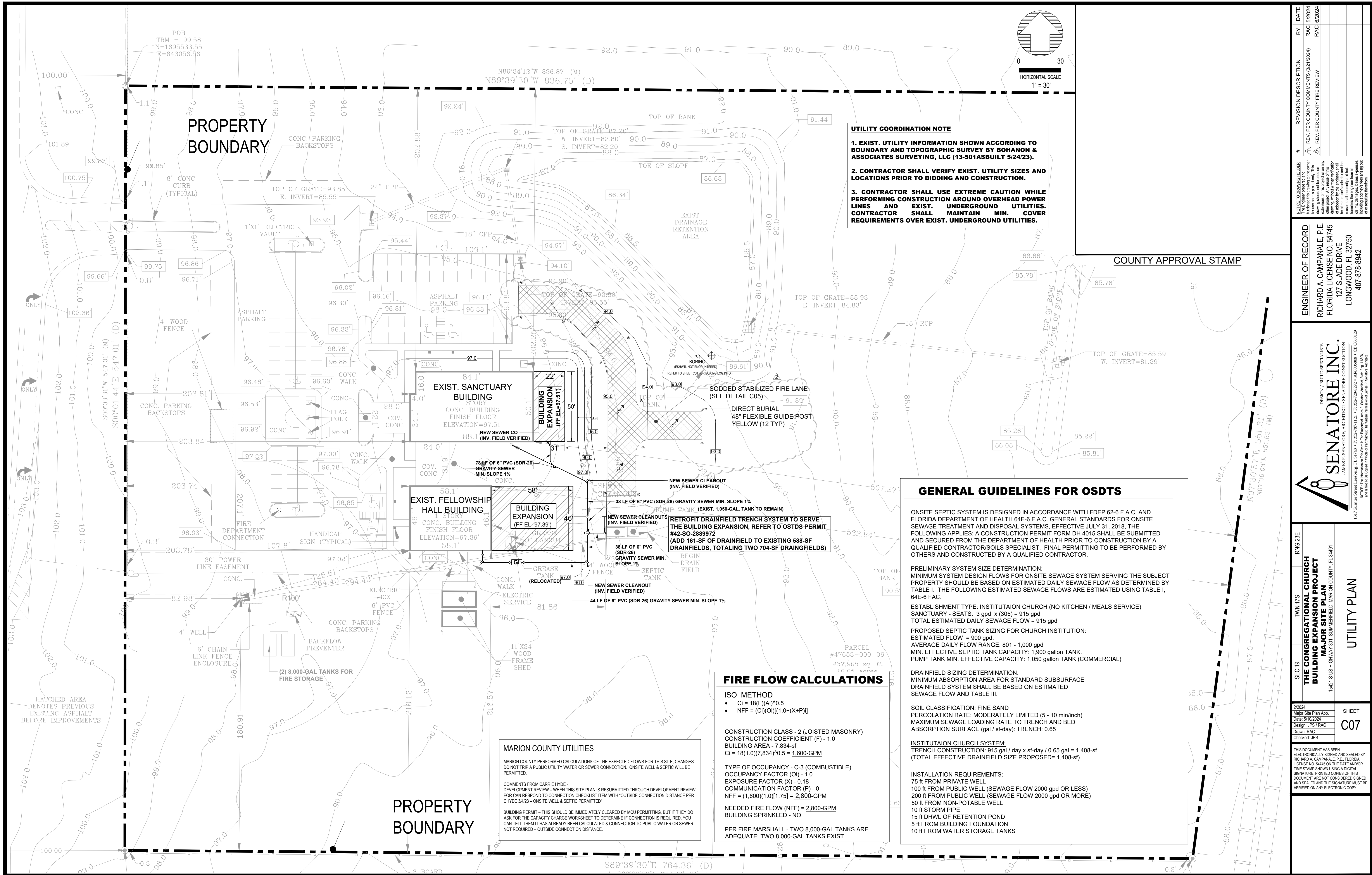
NO.	DATE	REVISION DESCRIPTION
1	5/2/2024	RAC
2	5/2/2024	REV PER COUNTY COMMENTS (02/12/2024)
3	6/2/2024	REV PER COUNTY FIRE REVIEW

ENGINEER OF RECORD
RICHARD A. CAMPANALE, P.E.
 FLORIDA LICENSE NO. 54745
 127 SLADE DRIVE
 LONGWOOD, FL 32750
 407-878-8942

SENATORE INC.
 ARCHITECT • INTERIOR DESIGNER • LANDSCAPE ARCHITECT • CIVIL ENGINEER
 1317 Summer Street, Lehigh, PA 18228 • P: 717-297-1121 • F: 717-297-2826 • AIA/ASPCA/ASPE/ASCE/LEED AP
 15421 S US HIGHWAY 301, SUMMERFIELD MARION COUNTY, FL 34491

SEC 19
THE CONGREGATIONAL CHURCH
BUILDING EXPANSION PROJECT
MAJOR SITE PLAN
 15421 S US HIGHWAY 301, SUMMERFIELD MARION COUNTY, FL 34491
SITE GEOMETRY /
AUTOTURN LAYOUT PLAN

3/2/2024
 Major Site Plan App.
 Date: 5/10/2024
 Design: JPS / RAC
 Drawn: RAC
 Checked: JPS
 SHEET
C05
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UTILITY COORDINATION NOTE

- EXIST. UTILITY INFORMATION SHOWN ACCORDING TO BOUNDARY AND TOPOGRAPHIC SURVEY BY BOHANON & ASSOCIATES SURVEYING, LLC (13-501ASBUILT 5/24/23).
- CONTRACTOR SHALL VERIFY EXIST. UTILITY SIZES AND LOCATIONS PRIOR TO BIDDING AND CONSTRUCTION.
- CONTRACTOR SHALL USE EXTREME CAUTION WHILE PERFORMING CONSTRUCTION AROUND OVERHEAD POWER LINES AND EXIST. UNDERGROUND UTILITIES. CONTRACTOR SHALL MAINTAIN MIN. COVER REQUIREMENTS OVER EXIST. UNDERGROUND UTILITIES.

COUNTY APPROVAL STAMP

GENERAL GUIDELINES FOR OSDTS

ONSITE SEPTIC SYSTEM IS DESIGNED IN ACCORDANCE WITH FDEP 62-6 F.A.C. AND FLORIDA DEPARTMENT OF HEALTH 64E-6 F.A.C. GENERAL STANDARDS FOR ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, EFFECTIVE JULY 31, 2018. THE FOLLOWING APPLIES: A CONSTRUCTION PERMIT FORM DH 4015 SHALL BE SUBMITTED AND SECURED FROM THE DEPARTMENT OF HEALTH PRIOR TO CONSTRUCTION BY A QUALIFIED CONTRACTOR/SOILS SPECIALIST. FINAL PERMITTING TO BE PERFORMED BY OTHERS AND CONSTRUCTED BY A QUALIFIED CONTRACTOR.

PRELIMINARY SYSTEM SIZE DETERMINATION:
 MINIMUM SYSTEM DESIGN FLOWS FOR ONSITE SEWAGE SYSTEM SERVING THE SUBJECT PROPERTY SHOULD BE BASED ON ESTIMATED DAILY SEWAGE FLOW AS DETERMINED BY TABLE I. THE FOLLOWING ESTIMATED SEWAGE FLOWS ARE ESTIMATED USING TABLE I, 64E-6 FAC.

ESTABLISHMENT TYPE: INSTITUTION CHURCH (NO KITCHEN / MEALS SERVICE)
 SANCTUARY - SEATS: 3 gpd x (305) = 915 gpd
 TOTAL ESTIMATED DAILY SEWAGE FLOW = 915 gpd

PROPOSED SEPTIC TANK SIZING FOR CHURCH INSTITUTION:
 ESTIMATED FLOW = 900 gpd
 AVERAGE DAILY FLOW RANGE: 801 - 1,000 gpd
 MIN. EFFECTIVE SEPTIC TANK CAPACITY: 1,900 gallon TANK
 PUMP TANK MIN. EFFECTIVE CAPACITY: 1,050 gallon TANK (COMMERCIAL)

DRAINFIELD SIZING DETERMINATION:
 MINIMUM ABSORPTION AREA FOR STANDARD SUBSURFACE DRAINFIELD SYSTEM SHALL BE BASED ON ESTIMATED SEWAGE FLOW AND TABLE III.

SOIL CLASSIFICATION: FINE SAND
 PERCOLATION RATE: MODERATELY LIMITED (5 - 10 min/inch)
 MAXIMUM SEWAGE LOADING RATE TO TRENCH AND BED ABSORPTION SURFACE (gal / sf-day): TRENCH: 0.65

INSTITUTION CHURCH SYSTEM:
 TRENCH CONSTRUCTION: 915 gal / day x sf-day / 0.65 gal = 1,408-sf
 (TOTAL EFFECTIVE DRAINFIELD SIZE PROPOSED= 1,408-sf)

INSTALLATION REQUIREMENTS:
 75 ft FROM PRIVATE WELL
 100 ft FROM PUBLIC WELL (SEWAGE FLOW 2000 gpd OR LESS)
 200 ft FROM PUBLIC WELL (SEWAGE FLOW 2000 gpd OR MORE)
 50 ft FROM NON-POTABLE WELL
 10 ft STORM PIPE
 15 ft DRAINAGE OF RETENTION POND
 5 ft FROM BUILDING FOUNDATION
 10 ft FROM WATER STORAGE TANKS

FIRE FLOW CALCULATIONS

ISO METHOD

- $C_i = 18(F)(A_i)^{0.5}$
- $NFF = (C_i)(O_i) / [1.0 + (X+P)]$

CONSTRUCTION CLASS - 2 (JOISTED MASONRY)
 CONSTRUCTION COEFFICIENT (F) - 1.0
 BUILDING AREA - 7,934-sf
 $C_i = 18(1.0)(7,934)^{0.5} = 1,600\text{-GPM}$

TYPE OF OCCUPANCY - C-3 (COMBUSTIBLE)
 OCCUPANCY FACTOR (O_i) - 1.0
 EXPOSURE FACTOR (X) - 0.18
 COMMUNICATION FACTOR (P) - 0
 $NFF = (1,600)(1.0)(1.175) = 2,800\text{-GPM}$

NEEDED FIRE FLOW (NFF) = 2,800-GPM
 BUILDING SPRINKLED - NO
 PER FIRE MARSHALL - TWO 8,000-GAL TANKS ARE ADEQUATE; TWO 8,000-GAL TANKS EXIST.

MARION COUNTY UTILITIES

MARION COUNTY PERFORMED CALCULATIONS OF THE EXPECTED FLOWS FOR THIS SITE. CHANGES DO NOT TRIP A PUBLIC UTILITY WATER OR SEWER CONNECTION. ONSITE WELL & SEPTIC WILL BE PERMITTED.

COMMENTS FROM CARRIE HYDE -
 DEVELOPMENT REVIEW - WHEN THIS SITE PLAN IS RESUBMITTED THROUGH DEVELOPMENT REVIEW, EOR CAN RESPOND TO CONNECTION CHECKLIST ITEM WITH "OUTSIDE CONNECTION DISTANCE PER CHRD 34/23 - ONSITE WELL & SEPTIC PERMITTED"

BUILDING PERMIT - THIS SHOULD BE IMMEDIATELY CLEARED BY MCU PERMITTING, BUT IF THEY DO ASK FOR THE CAPACITY CHARGE WORKSHEET TO DETERMINE IF CONNECTION IS REQUIRED, YOU CAN TELL THEM IT HAS ALREADY BEEN CALCULATED & CONNECTION TO PUBLIC WATER OR SEWER NOT REQUIRED - OUTSIDE CONNECTION DISTANCE.

NO.	REVISION DESCRIPTION	BY	DATE
1	REV PER COUNTY COMMENTS 02/1/2024	RAC	5/2024
2	REV PER COUNTY FIRE REVIEW	RAC	8/2024

ENGINEER OF RECORD
 RICHARD A. CAMPANALE, P.E.
 FLORIDA LICENSE NO. 64745
 127 SLADE DRIVE
 LONGWOOD, FL 32750
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SENATOR INC.
 DESIGN / BUILD SPECIALISTS
 ANARCHY SENATOR ARCHITECT • SENATOR CONSTRUCTION
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SEC 19
 TWIN TIS
 RING 23E
THE CONGREGATIONAL CHURCH BUILDING EXPANSION PROJECT MAJOR SITE PLAN
 15421 US HIGHWAY 301, SUMMERFIELD, MARION COUNTY, FL 34491
UTILITY PLAN

2/2024
 Minor Site Plan App
 Date: 5/10/2024
 Design: JPS / RAC
 Drawn: RAC
 Checked: JPS

SHEET C07

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