

October 2, 2025

PROJECT NAME: US-FL-5816 DUNNELLON EAST

PROJECT NUMBER: 2025070042

APPLICATION: MINOR SITE PLAN #33069

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning Comments
STATUS OF REVIEW: INFO
REMARKS: Sarah Wells
Sarah.Wells@marionfl.org
352-438-2626
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 7/25/25-add waivers if requested in future
- 3 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2 A.1 - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: Bay Laurel Center Community Development District
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2 A.1 - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: Bay Laurel Center Community Development District
- 6 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Minor Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal

state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

FB 8/6/25

7 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.20.2.B - \$150.00 Minor Site Plan fee payable to Marion County BCC effective July 8, 2019

STATUS OF REVIEW: NO

REMARKS: \$150 fee has not been paid yet. Please provide \$150 payment payable to Marion County BCC.

8 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

STATUS OF REVIEW: NO

REMARKS: Please provide FLU designation for the parcel. Future land use and zoning for adjacent properties need to be included as well.

9 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.9 - Show adjacent streets serving development

STATUS OF REVIEW: NO

REMARKS: Please correct street names.

10 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)

STATUS OF REVIEW: NO

REMARKS: Environmental assessment is missing, please provide.

- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(6) - Acreage of tract
STATUS OF REVIEW: NO
REMARKS: Acreage of tract not shown on cover.
- 12 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain
STATUS OF REVIEW: NO
REMARKS: Verify springs protection zone on cover. (secondary)
- 13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
STATUS OF REVIEW: NO
REMARKS: 7/25/25-Title block shall be shown on ALL sheets denoting type of application; (Minor Site Plan)
- 14 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.A - Type of application
STATUS OF REVIEW: NO
REMARKS: 7/25/25-MISSING:Type of application (Minor Site Plan)
- 15 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.12.28 - Correct road names supplied
STATUS OF REVIEW: NO
REMARKS: Sheet C1 – Overall Site Plan is missing the road name of SW 80th Street Rd. Plan Rejected.
- 16 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: Additional 911 comments
STATUS OF REVIEW: NO
REMARKS: Sheet C0 has SW 80th St under the Site Address, it should be SW 80th Street Rd. All sheets have SW 80th St under Site Name in the Title Bar, it should be SW 80th Street Rd. Please update on all applicable sheets on all future submittals.
- 17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.3 - Tree protection
STATUS OF REVIEW: NO
REMARKS: Show tree protection on plan and in detail
- 18 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements
STATUS OF REVIEW: NO
REMARKS: Show trees to be removed
- 19 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.8 - Protected tree replacement requirements
STATUS OF REVIEW: NO
REMARKS: Provide calculations showing Tree inches required, Tree inches to be removed, Tree inches to remain and any mitigation that is required
- 20 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements.

STATUS OF REVIEW: NO

REMARKS: Show replacement trees, if applicable

21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.3 - Landscape design standards

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.4 - Landscape area requirements for non-residential development

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.9 - Service and equipment areas

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.10 - General planting requirements (specifications)

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.11 - Landscape installation

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements

STATUS OF REVIEW: NO

REMARKS: Waiver required for landscaping requirements

28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)

STATUS OF REVIEW: NO

REMARKS: submit signed and sealed irrigation plan if applicable

29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2 A.1 - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider

STATUS OF REVIEW: NO

REMARKS: Parcel is within BLCCDD Service Area. A letter from BLCCDD stating service availability and connection requirements shall be submitted prior to building permit issuance. Insure BLCCDD has seen and approved utility connections, as they are not part of MCU's review process.

- 30 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]
STATUS OF REVIEW: NO
REMARKS: The subject parcel is within the Secondary Springs Protection Zone. Please cite on cover page.
- 31 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]
STATUS OF REVIEW: NO
REMARKS: This area is known gopher tortoise habitat. An environmental assessment is required.
- 32 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: NO
REMARKS: This area is known gopher tortoise habitat. An environmental assessment is required.



**Marion County
Board of County Commissioners**

33069

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 10/01/2025 Parcel Number(s): 35300-000-00 Permit Number: 33069

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: US-FL-5816 Dunnellon East Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): On Top of the World Communities, L.L.C.
Signature: _____
Mailing Address: 8445 SW 80th Street City: Ocala
State: FL Zip Code: 34481 Phone # 352-387-7480
Email address: _____

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Andrew Pitts P.E.
Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala
State: FL Zip Code: 34471 Phone # 352-622-9214
Email address: ocala.permits@kimley-horn.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.2 - Landscape Plan Requirements

Reason/Justification for Request (be specific): This waiver request is to allow submission of this project without a landscape plan. The project consists of a cell tower located within a heavily wooded property. The existing mature trees will remain in place and will fully surround the tower site, preserving the natural screening. All tree mitigation requirements are being met, and additional landscaping is not necessary given the existing conditions.

DEVELOPMENT REVIEW USE:

Received By: email 10/1/25 Date Processed: 10/2/25 kah Project # 2025070042 AR # 33069

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

verticalbridge
750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL, 33487
TEL: (561) 948-6367

US-FL-5816 DUNNELLON EAST

SITE ADDRESS (E-911 TBD)

SW 80TH ST
OCALA, FL 34481
MARION COUNTY
LATITUDE: 29° 07' 53.76" N
LONGITUDE: 82° 17' 09.64" W
TAX/PIN #: 35300-000-00
ZONING: A1

MARION COUNTY SHERIFF'S OFFICE

692 NW 30TH AVE
OCALA, FL 34475
PHONE: (352) 732-8181
ATTN.: CUSTOMER SERVICE

MARION COUNTY FIRE RESCUE STATION 21

7884 SW 90TH ST
OCALA, FL 34476
PHONE: (352) 291-8000
ATTN.: CUSTOMER SERVICE



VICINITY MAP



DRIVING DIRECTIONS

JURISDICTION:
MARION COUNTY

STATE:
FLORIDA

TOWER TYPE:
MONOPOLE TOWER

TOWER HEIGHT:
195' (199' TO HIGHEST APPURTENANCE)

NUMBER OF CARRIERS:
0 EXISTING, 1 PROPOSED

USE:
PROPOSED TELECOMMUNICATIONS TOWER
AND UNMANNED EQUIPMENT

FLOOD INFO
SITE IS LOCATED WITHIN FEMA FLOOD MAP
AREA 12083C0493E DATED 04/19/2017 WITHIN
FLOOD ZONE X.

PROJECT SUMMARY

DEVELOPER
THE TOWERS, LLC
750 PARK OF COMMERCE DRIVE
BOCA RATON, FL 33487
PHONE: (561) 246-5541
ATTN: ANDRELLA BARNES

POWER COMPANY
OCALA ELECTRIC UTILITY
PHONE: (352) 629-2489
ATTN: CUSTOMER SERVICE

PROPERTY OWNER
ON TOP OF THE WORLD COMMUNITIES LLC
8445 SW 80TH ST
OCALA, FL 34481

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE: (470) 443-3776
ATTN.: BAILEY LIVELY

CONTACTS

SHEET NO.	SHEET TITLE
T1	COVER SHEET
--	SITE SURVEY (SHEET 1 OF 2)
--	SITE SURVEY (SHEET 2 OF 4)
--	SITE SURVEY (SHEET 3 OF 4)
--	SITE SURVEY (SHEET 4 OF 4)
N1	GENERAL NOTES
C0	OVERALL AERIAL PLAN
C1	OVERALL SITE PLAN
C2	SITE PLAN
C3	EQUIPMENT PAD LAYOUT
C4	EQUIPMENT RACK DETAIL - FRONT
C5	EQUIPMENT RACK DETAIL - REAR
C6	CONCRETE PAD FOUNDATION DETAILS
C7	FENCE, GATE, AND COMPOUND DETAILS
C7.1	CATTLE GATE DETAILS
C8	GRADING AND EROSION CONTROL PLAN
C8.1	GRADING AND EROSION CONTROL PLAN
C9	GRADING AND EROSION CONTROL DETAILS
C10	ACCESS ROAD DETAILS
C11	SITE SIGNAGE DETAILS
C12	WAVEGUIDE BRIDGE DETAILS
C13	ANTENNA AND TOWER ELEVATION DETAILS
E1	ELECTRICAL NOTES
E2	OVERALL UTILITY SERVICE ROUTING PLAN
E2.1	UTILITY SERVICE ROUTING PLAN
E3	METER RACK DETAILS
E3.1	METER RACK DETAILS - REAR
E4	ELECTRICAL SINGLE LINE DIAGRAM VERIZON
E5	PANEL SCHEDULE VERIZON
E5.1	ELECTRICAL SINGLE LINE DIAGRAM VB
E6	ELECTRICAL DETAILS
E7	GROUNDING NOTES
E8	GROUNDING PLAN
E9	GROUNDING SINGLE LINE DIAGRAM
E10	GROUNDING DETAILS
E11	GROUNDING DETAILS

SHEET INDEX

MARION COUNTY ZONING & DEVELOPMENT
2710 E SILVER SPRINGS BLVD
OCALA, FL 34470
PHONE: (352) 438-2675
ATTN.: CUSTOMER SERVICE

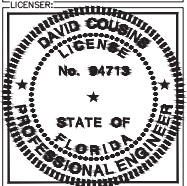
PERMIT INFORMATION

verticalbridge
750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL: (561) 948-6367

PROJECT INFORMATION:
SITE NAME:
US-FL-5816 DUNNELLON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
Kimley-Horn
201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33602
PHONE: 813-450-1460
WWW.KIMLEY-HORN.COM

REV.	DATE	ISSUED FOR	BY
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1	07/23/25	CONSTRUCTION	DRG
0	07/18/25	FOR PERMIT	BNL



KHA PROJECT NUMBER:
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DRAWN BY: JAR
CHECKED BY: BNL
SHEET TITLE:

COVER SHEET

SHEET NUMBER:
T1

K:\Aerial\Wireless\Vertical Bridge\US-FL-5816 Dunalton East\DWG\Aerial-C0.dwg 07/23/25 4:24 PM by: Bailey, Lundy

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	200'-0"
SOUTH	6,411'-11"
EAST	235'-0"
WEST	10,387'-11"

PROPOSED THE TOWERS, LLC 50' X 50'
CHAIN LINK FENCED COMPOUND W/ 3
STRANDS OF BARBED WIRE
(6' MIN. HEIGHT)

PROPOSED 100' X 100' THE TOWERS, LLC
PREMISES (10,000 SQ. FT.)

PROPOSED THE TOWERS, LLC 195' MONOPOLE
WITH VERIZON WIRELESS 190' RAD CENTER
(199' TO HIGHEST APPURTENANCE)
(SEE SHEET C13)

PROPOSED THE TOWERS, LLC
30' WIDE ACCESS &
FIBER/UTILITY EASEMENT

EXISTING ASPHALT ACCESS
DRIVE AND 40' WIDE
NON-EXCLUSIVE ACCESS
AND UTILITY EASEMENT
(±15,624' LONG)

PARCEL: 35300-000-00
OWNER: ON TOP OF THE WORLD COMMUNITIES LLC

EXISTING VEGETATION TO
REMAIN UNDISTURBED IN LIEU
OF NEW LANDSCAPING

SEE SHEET C2

PARCEL: 21351-000-00
OWNER: BAY FARMS CORP

PROPOSED THE TOWERS, LLC
12' WIDE GRAVEL ACCESS
DRIVE (±481' LONG)

PARCEL: 35300-000-36
OWNER: BAY LAUREL CTR COM DEV DISTRICT

PARCEL: 3530-0000-16
OWNER: ON TOP OF THE
WORLD COMMUNITIES LLC

PARCEL: 3530-0000-17
OWNER: ON TOP OF THE
WORLD COMMUNITIES LLC

PARCEL: 3530-0000-15
OWNER: ON TOP OF THE WORLD COMMUNITIES LLC

EXISTING ASPHALT ACCESS
DRIVE AND 40' WIDE
NON-EXCLUSIVE ACCESS
AND UTILITY EASEMENT
(±4,992' LONG)

SW 80TH AVE
SW 80TH ST
(PUBLIC R/W)

SW 92ND CT RD

SW 80TH ST

SW 90TH
TERRACE RD



SURVEY NOTE:

1. THE TOWERS, LLC STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT DATED 03/18/25 AND SITE VISIT ON 01/08/25.

1
C0 **OVERALL AERIAL PLAN**
SCALE: 1" = 2000'

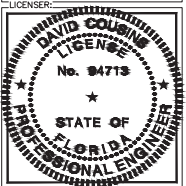
0 1000 2000 4000
GRAPHIC SCALE: 1" = 2000'

verticalbridge
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SITE No.: N/A
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SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
Kimley-Horn
201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33602
PHONE: 813-450-1460
WWW.KIMLEY-HORN.COM

REV.	DATE	ISSUED FOR	BY
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1	07/23/25	CONSTRUCTION	DRG
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KHA PROJECT NUMBER:
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DRAWN BY: JAR
CHECKED BY: BNL
SHEET TITLE:

**OVERALL AERIAL
PLAN**

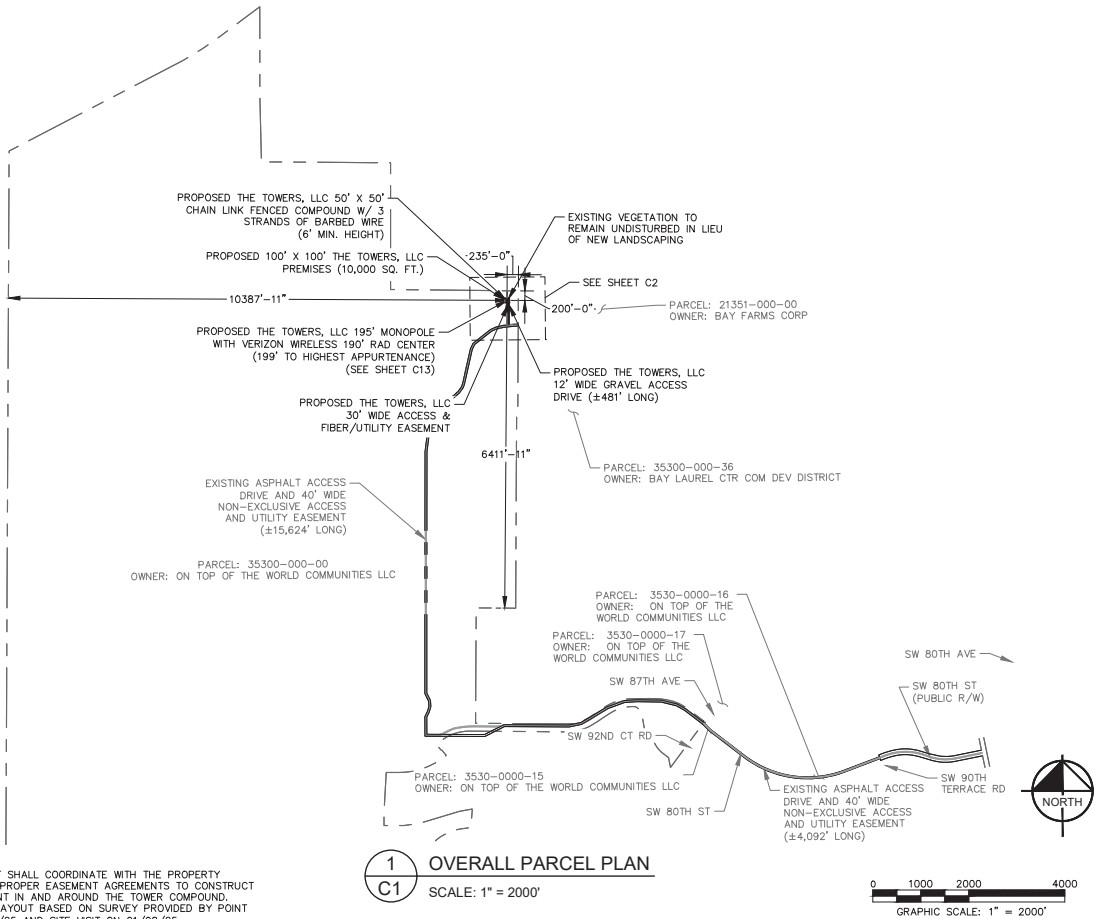
SHEET NUMBER:
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K:\Aerial\Wireless\Vertical Bridge\US-FL-5816 Duneless East\DWG\08\050-08.dwg 07/23/25 4:24 PM b3: Bailey,Libby

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	200'-0"
SOUTH	6,411'-11"
EAST	235'-0"
WEST	10,387'-11"



SURVEY NOTE:

1. THE TOWERS, LLC STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT DATED 03/18/25 AND SITE VISIT ON 01/08/25.

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verticalbridge
750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL: (561) 968-6367

PROJECT INFORMATION:

SITE NAME:
US-FL-5816 DUNNELLOE EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

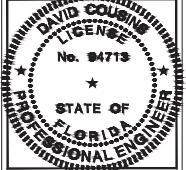
PLANS PREPARED BY:

Kimley-Horn
201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33602
PHONE: 813-450-1460
WWW.KIMLEY-HORN.COM

REV. DATE ISSUED FOR BY

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0	07/18/25	FOR PERMIT BNL

LICENSER:



KHA PROJECT NUMBER:

013291020

DRAWN BY: CHECKED BY:

JAR BNL

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

C1

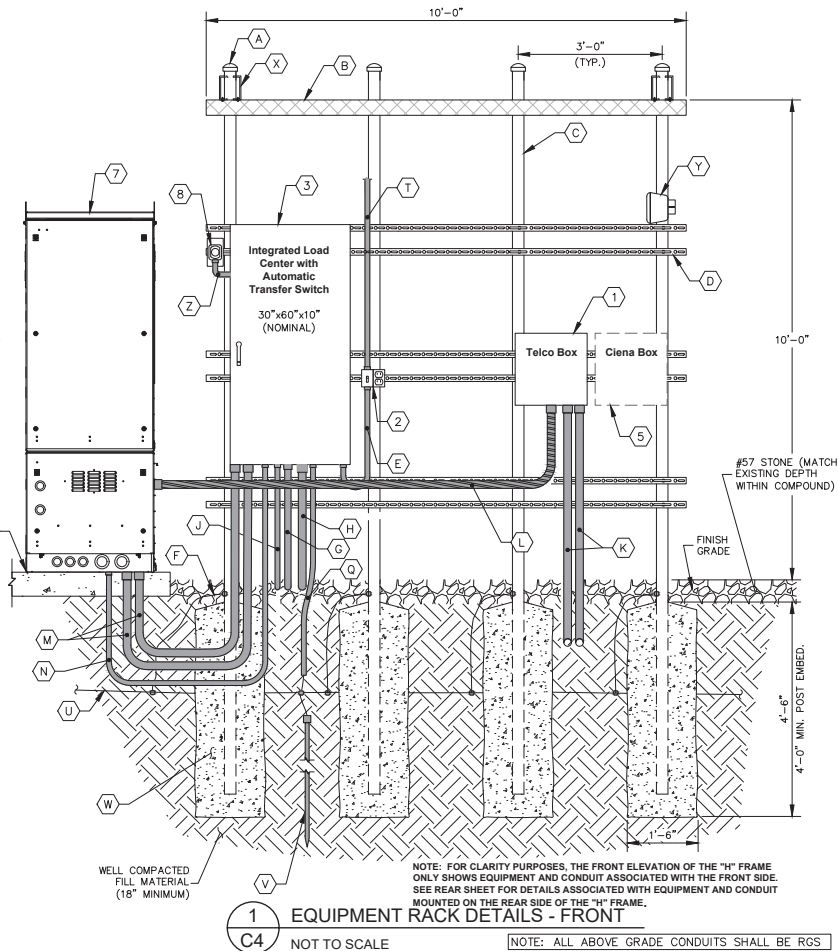
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KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) ICE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- (C) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (D) 1 1/2" X 1 1/2" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (E) 1" RGS CONDUIT FOR ROUTING POWER CONDUCTORS TO LIGHTS/DUPLEX OUTLET.
- (F) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTOR (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (G) 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR.
- (H) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR.
- (J) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER.
- (K) TWO (2) 2" PVC TELCO CONDUITS, WITH TWO (2) PULL ROPES EACH.
- (L) 2" FLEX CONDUIT FOR TELCO CABLES TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (M) (2) 2" CONDUIT FOR ROUTING POWER CONDUCTORS TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (N) 1" CONDUIT FROM INTEGRATED LOAD CENTER (ILC) TO RF CABINET FOR ALARM SIGNAL CABLE. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (P) NOT USED
- (Q) 3/4" PVC CONDUIT WITH ONE (1) - #2 AWG BARE TINNED COPPER FROM GROUNDING LUG IN ILC TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.
- (R) NOT USED
- (S) NOT USED
- (T) 1" RGS CONDUIT FOR ROUTING POWER CONDUCTORS TO AREA LIGHTS.
- (U) GROUND RING (SEE "E" SHEETS).
- (V) GROUND ROD, EXOTHERMIC WELD TO GROUND RING (SEE "E" SHEETS).
- (W) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. AND INCLUDE FIBERMESH 650.
- (X) WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- (Y) INSTALL LIGHT FIXTURES ON 60" LONG P1001A UNISTRUT RAIL (SEE "EQUIPMENT PAD LAYOUT" SHEET). ATTACH P1001A TO H-FRAME POST USING TWO (2) UB3 UNISTRUT CLAMPS. LIGHTS TO BE INSTALLED 7'-6" ABOVE GRADE.
- (Z) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.

KEY NOTES - ELECTRICAL EQUIPMENT

- (1) NEMA 3R ENCLOSURE TELCO BOX WITH REMOVABLE FRONT PANEL, CHARLES CUBE, (24" X 24" X 6" NOMINAL) - OR APPROVED EQUAL.
- (2) 20 AMP GFCI DUPLEX RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE, 2 GANG BOX WITH RED DOT 20KPM-W COVER.
- (3) 200 AMP, 120/240 VOLT, INTEGRATED LOAD CENTER WITH 42 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH (30" X 60" X 10" NOMINAL).
- (4) NOT USED
- (5) CIENA ETHERNET IF REQUIRED (COORDINATE WITH VERIZON CONSTRUCTION MANAGER FOR ADDITIONAL CONDUIT AND WIRING REQUIREMENTS).
- (6) EQUIPMENT AND BATTERY CABINETS TO BE MOUNTED ON PLINTHS
- (7) VERIZON RF CABINET - REAR VIEW.
- (8) EMERGENCY SHUTOFF SWITCH FOR GENERATOR MOUNTED ON 4" X 7" GALVANIZED J-BOX COVER PLATE



verticalbridge
750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL (561) 968-6367

PROJECT INFORMATION:
SITE NAME:
US-FL-5816 DUNNELLON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
Kimley-Horn
201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33602
PHONE: 813-450-1460
WWW.KIMLEY-HORN.COM

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LICENSER:
DAVID COUSINS
LICENSE
No. 94713
STATE OF FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT NUMBER:
013291020

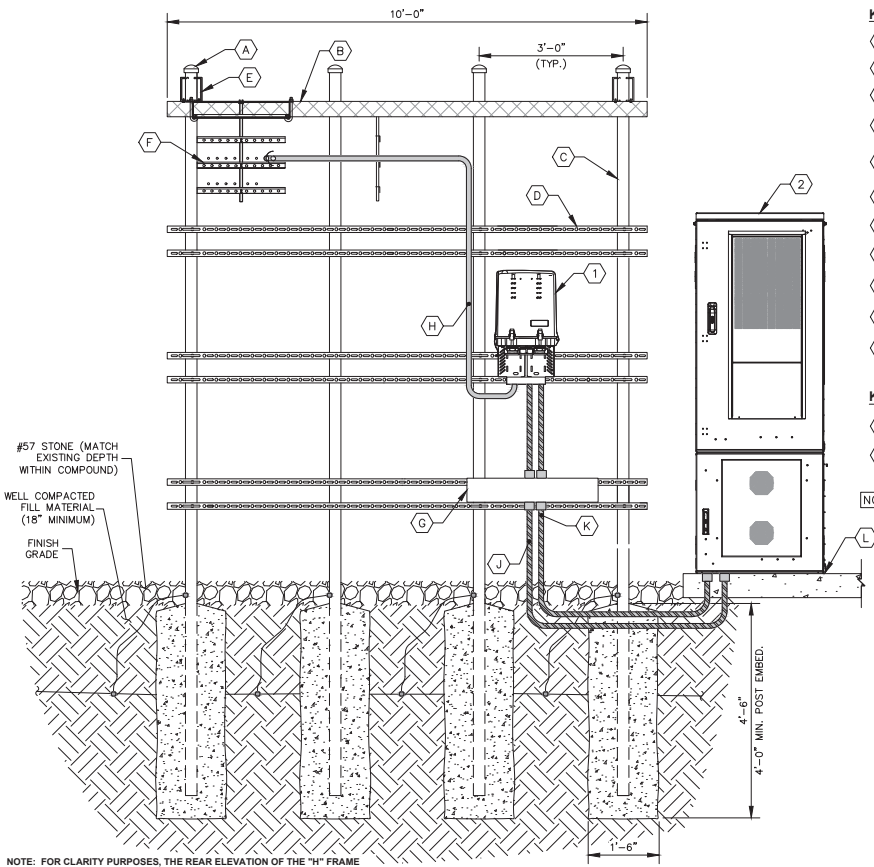
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JAR BNL

SHEET TITLE:
**EQUIPMENT RACK
DETAIL - FRONT**

SHEET NUMBER:
C4

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NOTE: FOR CLARITY PURPOSES, THE REAR ELEVATION OF THE "H" FRAME ONLY SHOWS EQUIPMENT AND CONDUIT ASSOCIATED WITH THE REAR SIDE. SEE FRONT SHEET FOR DETAILS ASSOCIATED WITH EQUIPMENT AND CONDUIT MOUNTED ON THE FRONT SIDE OF THE "H" FRAME.

1 EQUIPMENT RACK DETAILS - REAR
C5 NOT TO SCALE

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) ICE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- (C) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (D) 1½" X 1½" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (E) WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- (F) ICE BRIDGE RUNNING TOWARDS TOWER (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- (G) TROUGH FOR FIBER SLACK
- (H) HYBRID CABLES RUNNING INTO BOTTOM OF RAYCAPS, TYPICAL (SEE NOTE 7 ON "EQUIPMENT PAD LAYOUT" SHEET).
- (J) 1½" POWER FLEX CONDUIT RUNNING FROM BOTTOM OF RAYCAPS TO CABINET, TYPICAL (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- (K) 2" FIBER FLEX CONDUIT RUNNING FROM BOTTOM OF RAYCAPS TO CABINET, TYPICAL (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- (L) RF AND BATTERY CABINETS TO BE MOUNTED ON PLINTHS

KEY NOTES - ELECTRICAL EQUIPMENT

- (1) VERIZON RAYCAPS (MODEL, QUANTITY OF, AND CONFIGURATION DETERMINED BY RF DESIGN).
- (2) VERIZON RF CABINET - FRONT VIEW.

NOTE: ALL ABOVE GRADE CONDUITS SHALL BE RGS

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SITE No.: N/A
PROJECT #: N/A
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OCALA, FL 34481
MARION COUNTY

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DAVID COUSINS

FLORIDA

PROFESSIONAL ENGINEER

No. 94713

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JARBNL

SHEET TITLE:

EQUIPMENT RACK
DETAIL - REAR

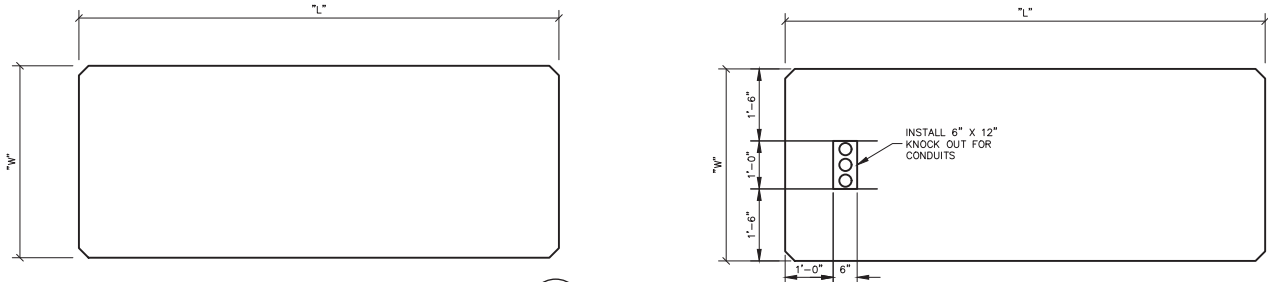
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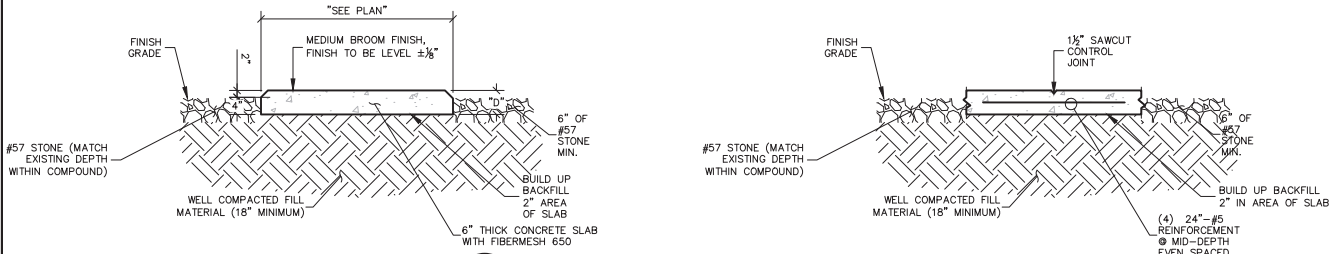
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CONCRETE PAD SCHEDULE				
PAD TYPE	"L"	"W"	"D"	REINFORCEMENT
EQUIPMENT PAD	10'-0"	8'-0"	6"	SEE DETAIL 2/C6
GENERATOR PAD	8'-0"	4'-0"	6"	SEE DETAIL 2/C6



1 CONCRETE PAD PLAN
C6 NOT TO SCALE



2 CONCRETE PAD FOUNDATION SECTION
C6 NOT TO SCALE

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LICENSE

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STATE OF FLORIDA

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SHEET TITLE:

CONCRETE PAD FOUNDATION DETAILS

SHEET NUMBER:

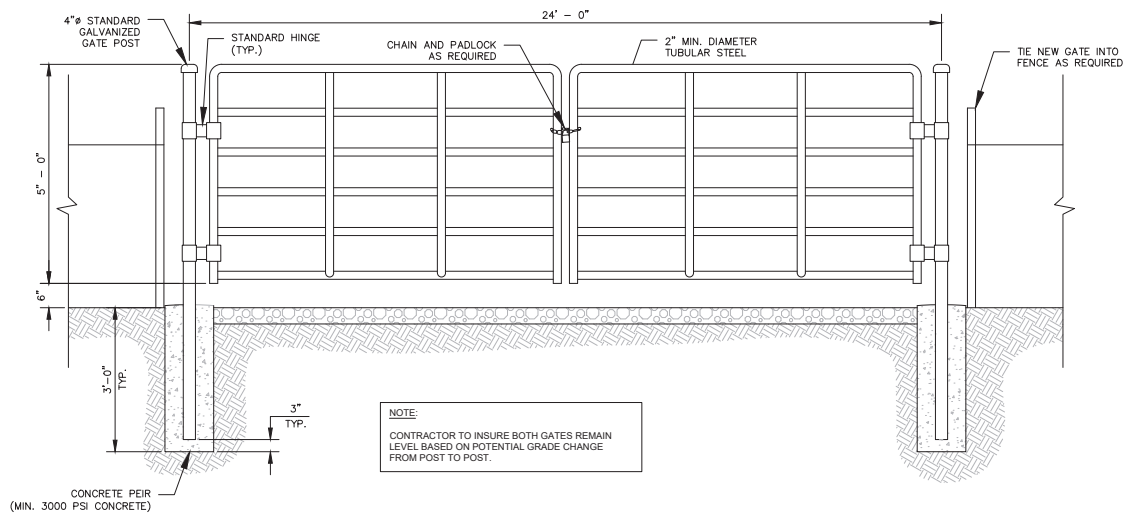
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1 CATTLE FENCE DETAILS
C7.1 NOT TO SCALE

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PROJECT #: N/A
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SHEET TITLE:
CATTLE GATE
DETAILS

SHEET NUMBER:
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NOTE:
CURRENT DESIGN ANTICIPATES APPROXIMATELY 11,533± SQ. FT. (0.265 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED 30 DAYS PRIOR TO CONSTRUCTION.

GRADING NOTES:

1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
3. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
4. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
5. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
6. UNDISTURBED AREAS WITHIN 30' INGRESS/EGRESS EASEMENT NOT NEEDED FOR UTILITY ROUTING TO BE LEFT UNDISTURBED.
7. GROUND WATER SHOULD BE REASONABLY EXPECTED. ANY DE-WATERING OR MOISTURE CONDITIONING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE INCLUDED IN THE CONTRACT PRICE.
8. SEED ALL DISTURBED AREAS NOT TOPPED WITH GRAVEL PER SEEDING SCHEDULE ON DETAIL ON SHEET C9.
9. MAXIMUM CUT SLOPE = 2H:1V UNLESS OTHERWISE NOTED.
10. MAXIMUM FILL SLOPE = 3H:1V UNLESS OTHERWISE NOTED.

LEGEND

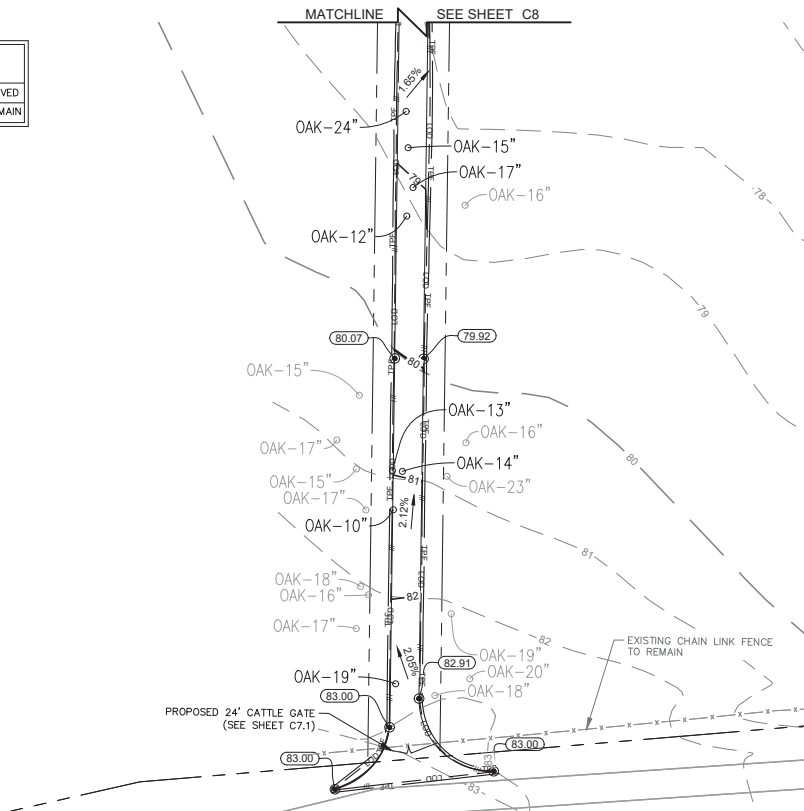
EXISTING CONTOURS ———
PROPOSED CONTOURS ———
LOD/SILT FENCE ——— LOD ———
TPF ——— TPF ———
EXISTING SPOT ELEVATION x XXX
PROPOSED SPOT ELEVATION • XXX

TREE LEGEND

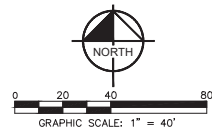
○	TREE TO BE REMOVED
○	EXISTING TREE TO REMAIN

CUT/ FILL TABLE

CUT VOLUME:	6.28 CU. YD.
FILL VOLUME:	100.20 CU. YD.
NET VOLUME:	93.92 YD. (FILL)



1 GRADING & EROSION CONTROL PLAN
C8.1 SCALE: 1" = 40'

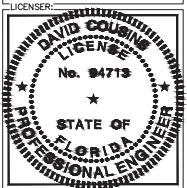


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BOCA RATON FL 33487
TEL: (561) 988-6367

PROJECT INFORMATION:
SITE NAME:
US-FL-5816 DUNNELON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
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201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33602
PHONE: 813-400-1460
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SHEET TITLE:

GRADING AND
EROSION
CONTROL PLAN
SHEET NUMBER:
C8.1

EROSION CONTROL NOTES:

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.

SEEDING SCHEDULE FOR WINTER / SPRING CONSTRUCTION ACTIVITIES

SEEDING MIXTURE	
Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Om it annual lespedeza when duration of temporary cover is not to extend beyond June.

SEEDING DATES	
Mountains-- Above 2500 ft:	Feb 15 - May 15
Below 2500 ft:	Feb. 1 - May 1
Piedmont--Jan. 1 - May 1	
Coastal Plain--Dec. 1 - Apr. 15	

SOIL AMENDMENTS
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

MULCH
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

MAINTENANCE
Refrertilize if growth is not fully adequate. Reseed, refrertilize and mulch immediately following erosion or other damage.

SEEDING SCHEDULE FOR SUMMER CONSTRUCTION ACTIVITIES

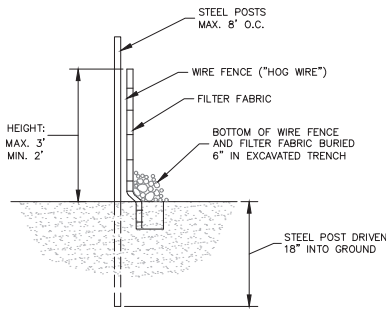
SEEDING MIXTURE	
Species	Rate (lb/acre)
Common Bermudagrass	40-80 (1-2 lb/1,000 sq.ft.)

SEEDING DATES
Coastal Plain--Apr. 1 - July
Piedmont--Apr. 15 - June 30

SOIL AMENDMENTS
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.

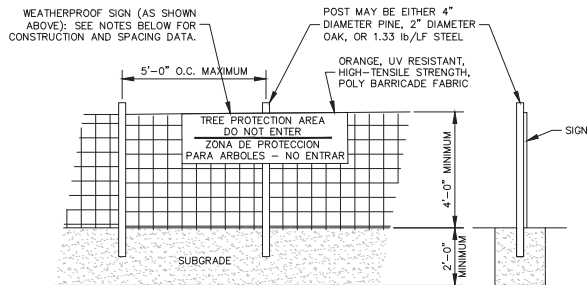
MULCH
Use jute, excelsior matting, or other effective channel lining material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and in drainages not requiring temporary lining, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top.

MAINTENANCE
A minimum of 3 weeks is required for establishment. Inspect and repair mulch frequently. Refertilize the following Apr. with 50 lb/acre nitrogen.



SECTION

1 SEDIMENT FENCE (SILT FENCE)
C9 NOT TO SCALE



NOTES
INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

2 TREE PROTECTION FENCE
C9 NOT TO SCALE

verticalbridge
750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL (561) 988-8387

PROJECT INFORMATION:
SITE NAME:
US-FL-5816 DUNNELLON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
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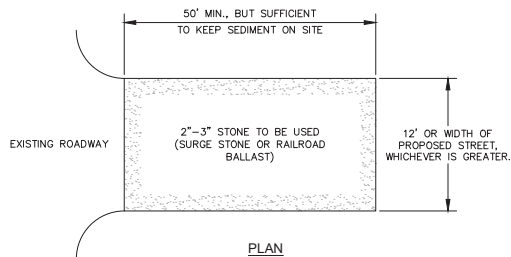
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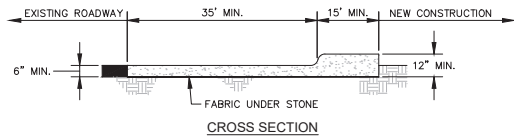
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LICENSE
No. 94713
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT NUMBER:
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DRAWN BY: JAR CHECKED BY: BNL
SHEET TITLE:
GRADING AND
EROSION
CONTROL DETAILS

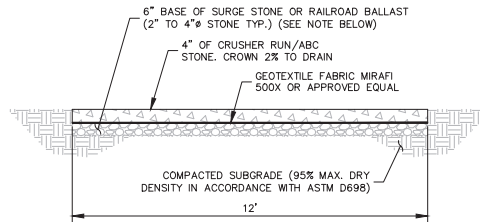
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- NOTES:
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



1 CONSTRUCTION ENTRANCE
C10 NOT TO SCALE



NOTE:
IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4" STONE TYP.)

2 STANDARD ACCESS ROAD AND TURN-AROUND DETAIL
C10 NOT TO SCALE

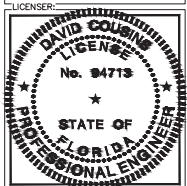
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BOCA RATON FL 33487
TEL (561) 948-6367

PROJECT INFORMATION:
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PROJECT #: N/A
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MARION COUNTY

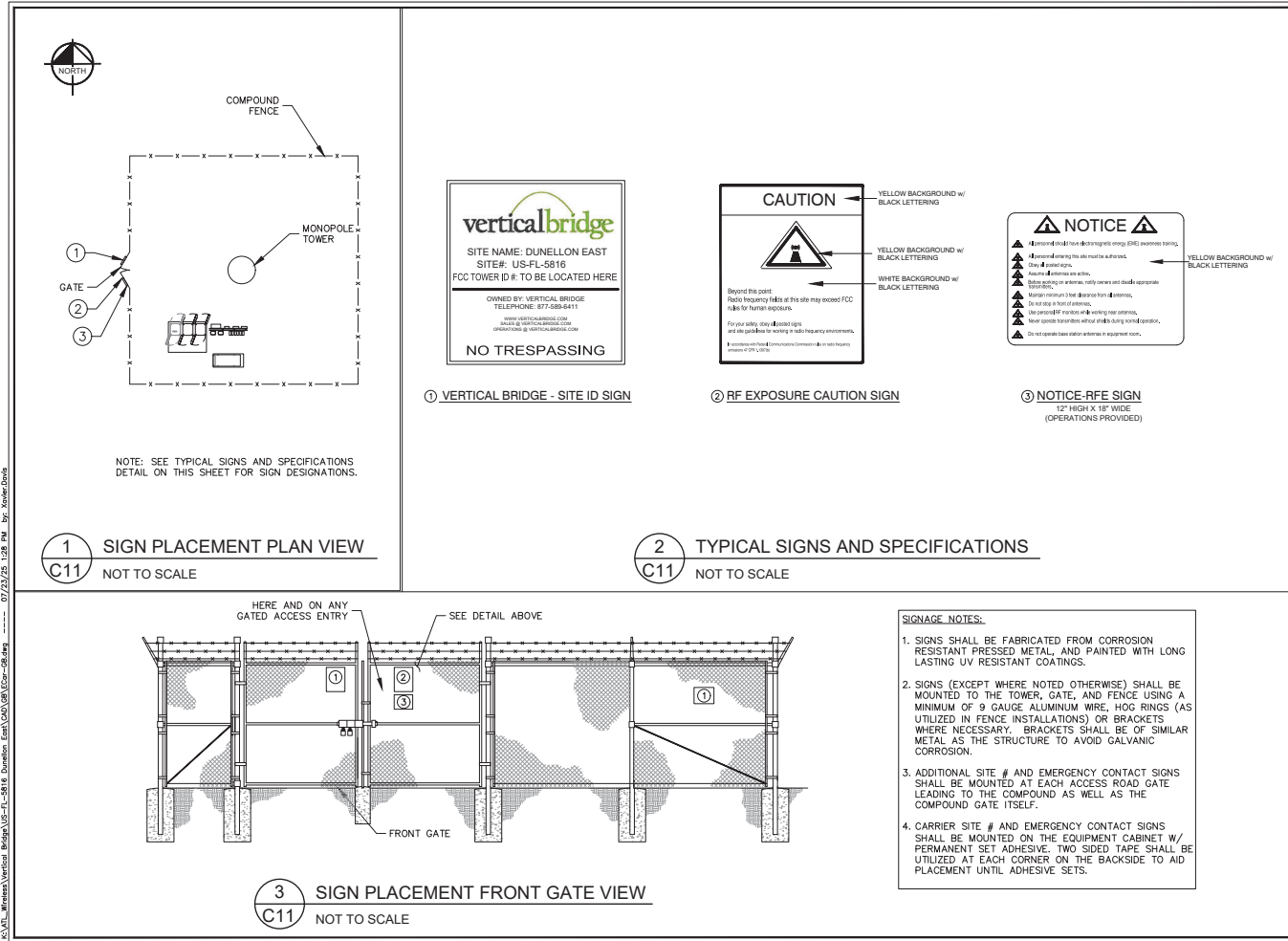
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SHEET TITLE:
ACCESS ROAD
DETAILS
SHEET NUMBER:
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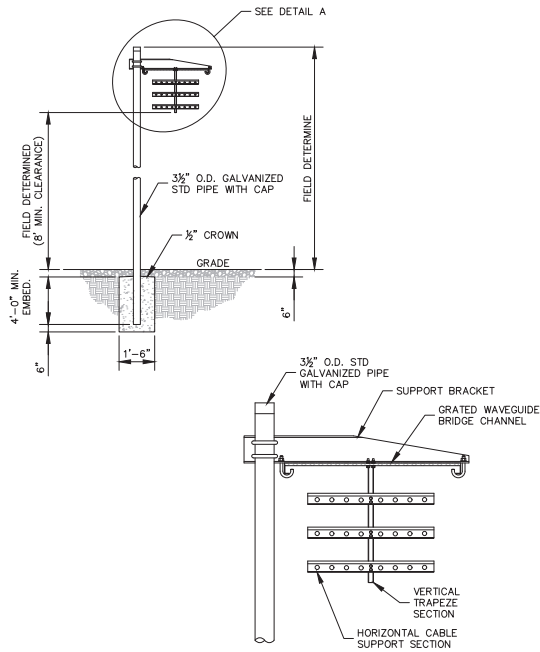
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**SITE SIGNAGE
DETAILS**

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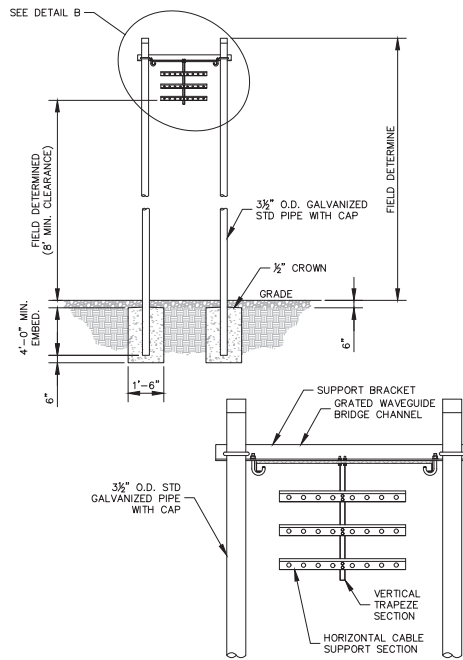
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DETAIL A
ANDREW 1 POST WAVEGUIDE BRIDGE
KIT (PART #WB-K210-B15, OR
APPROVED EQUIVALENT)

NOTE:
1. ALL MATERIALS FURNISHED BY CONTRACTOR
UNLESS OTHERWISE NOTED.

1 WAVEGUIDE BRIDGE DETAIL
C12 NOT TO SCALE



DETAIL B
ANDREW 2 POST WAVEGUIDE BRIDGE
KIT (PART #WB-K410-B15, OR
APPROVED EQUIVALENT)

NOTE:
1. ALL MATERIALS FURNISHED BY CONTRACTOR
UNLESS OTHERWISE NOTED.

2 WAVEGUIDE BRIDGE DETAIL (ALT DESIGN - 2 PIPE COLUMNS)
C12 NOT TO SCALE

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SITE No.: N/A
PROJECT #: N/A
300 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:

Kimley-Horn
201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33602
PHONE: 813-450-1460
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REV: DATE: ISSUED FOR: BY:

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0	07/23/25	FOR PERMIT	BNL

LICENSOR:

DAVID COUSINS

LICENSE

No. 94713

STATE OF FLORIDA

PROFESSIONAL ENGINEER

KHA PROJECT NUMBER:

013291020

DRAWN BY:

CHECKED BY:

JAR

BNL

SHEET TITLE:

WAVEGUIDE BRIDGE DETAILS

SHEET NUMBER:

C12

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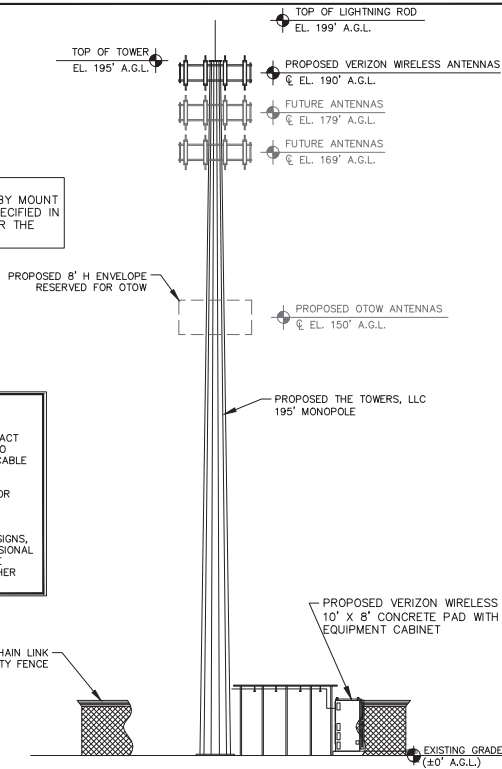
K:\ATL_Wireless\Vertical Bridge\US-FL-5816 Duneview East\DWG\08\03-08.dwg 07/23/25 1:28 PM by: Kevlar Davis



NOTE:
REFER TO RFDS PROVIDED BY VERIZON.
CONTRACTOR TO CONTACT THE VERIZON WIRELESS
CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION
FOR THE CONSTRUCTION RFDS.

NOTE:
MOUNT MODEL TO BE SPECIFIED BY MOUNT
MANUFACTURE AND SHALL BE SPECIFIED IN
ACCORDANCE WITH NSTD_445 FOR THE
PROPOSED RF LOADING

NOTES:
1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY THE
TOWERS, LLC AND/OR OTHERS AND IS SHOWN FOR
ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT
THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO
CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE
INFORMATION.
2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR
ANALYSIS OF PROPOSED TOWER.
3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO
WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS,
RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL
ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE
PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER
APPURTENANCES.



2 SELF-SUPPORT TOWER ELEVATION
C13 NOT TO SCALE

- NOTES:
1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN
DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
 2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
 3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY
CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
 4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.

750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL (561) 988-6367

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LICENSER:

DAVID COUSINS
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 12511

KHA PROJECT NUMBER:
013291020

DRAWN BY: JAR CHECKED BY: BNL

SHEET TITLE:
**ANTENNA AND
TOWER ELEVATION
DETAILS**

SHEET NUMBER:
C13

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1.00 CODES, STANDARDS, & SPECIFICATIONS

- 1.01 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS AND LABOR RELATED DIRECTLY OR INDIRECTLY TO ALL ELECTRICAL WORK DOCUMENTED IN THESE DRAWINGS SHALL BE AVAILABLE AND PROVIDED IN CONFORMANCE WITH ALL CURRENT GOVERNING CODES, STANDARDS, AND PROFESSIONAL STANDARD OF CARE TO INCLUDE: THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), UNDERGROUND LABORATORY, NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), AMERICAN STANDARDS ASSOCIATION (ASA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND THE NATIONAL ELECTRICAL CODE (NEC).
- 1.02 MATERIALS SHALL BE NEW AND SHALL CONFORM TO ALL APPLICABLE CURRENT GOVERNING STANDARDS ESTABLISHED FOR EACH ITEM BY ASTM, NEMA, AND THE NEC.
- 1.03 ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY, AND MUNICIPAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT GOVERNING STANDARDS AND PRACTICES AS REQUIRED BY NEC, NEMA, ANSI, NFPA, UBCL, UL, IEEE, AND THE LOCAL UTILITY.
- 1.04 ALL ELECTRICAL GROUNDING SHALL COMPLY WITH THE CURRENT EDITION OF THE NEC.
- 1.05 CONTRACTOR SHALL MAINTAIN UL LISTED FIRE RATINGS AT ALL WALL PENETRATIONS.
- 1.06 CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT AS REQUIRED BY NEC. MINIMUM CLEARANCE SHALL BE OBSERVED FOR BOTH THE FRONT AND REAR OF THE METER H-FRAME RACK AND THE EQUIPMENT H-FRAME.

- 2.01 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND ASSOCIATED FEES RELATED TO THE PROJECT AND SHALL DELIVER A COPY OF ALL PERMITS TO THE VERIZON REPRESENTATIVE.
- 2.02 CONTRACTOR SHALL SCHEDULE AND SHOULD ATTEND ALL INSPECTIONS REQUIRED BY THE JURISDICTION HAVING AUTHORITY.
- 2.03 CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC., FOR A COMPLETE WORKING ELECTRICAL INSTALLATION.
- 2.04 ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- 2.05 CONTRACTOR SHALL PROTECT ADJACENT EQUIPMENT AND FINISHES FROM DAMAGE AND SHALL REPAIR TO ORIGINAL CONDITION ANY ITEMS DAMAGED AS A RESULT OF THE WORK.
- 2.06 CONTRACTOR SHALL REPAIR ANY LANDSCAPING DISTURBED DURING CONSTRUCTION.
- 2.07 IF CONDUIT RUNS HAVE MORE THAN THREE (3) CONSECUTIVE 90 DEGREE TURNS, THE CONTRACTOR SHALL INSTALL PULL BOXES AS REQUIRED BY NEC.
- 2.08 CONTRACTOR SHALL INDICATE THE LOCATION OF ALL CAPPED UNDERGROUND SPARE CONDUIT ON THE RECORD DRAWINGS SUBMITTED TO THE OWNER.
- 2.09 CONTRACTOR SHALL COORDINATE EXACT ROUTING OF CONDUIT WITH OWNER. ALL CONDUIT SHALL BE ROUTED WITHIN 3 FEET, EITHER SIDE, OF PERMETER FENCING.

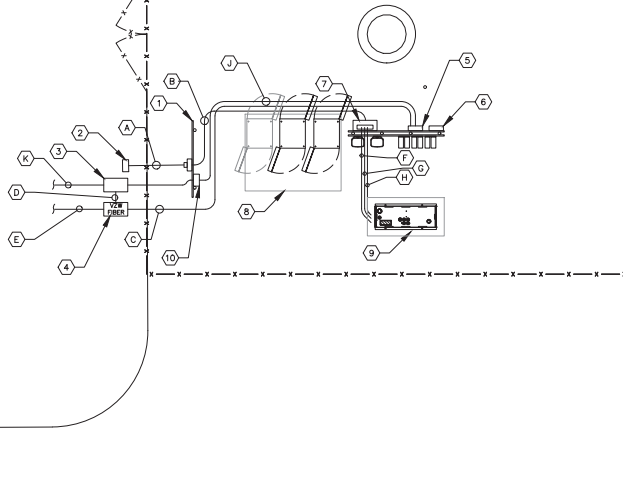
- 3.01 ALL EQUIPMENT AND MATERIALS SHOWN SHALL BE COMPLETED WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 3.02 FINAL CONNECTIONS OF EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE WIRING AND EQUIPMENT COMPATIBLE WITH EQUIPMENT SUPPLIED BY VERIZON.
- 3.03 CONTRACTOR SHALL PROVIDE AN UPDATED PANELEBOARD DIRECTORY FOR THE PANEL FROM WHICH THE NEW VERIZON EQUIPMENT CIRCUIT WILL BE CONNECTED. CONTRACTOR SHALL SUBMIT UPDATED DIRECTORY IN A PLASTIC COVER TO THE BUILDING OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 3.04 CONTRACTOR SHALL FIELD DETERMINE ACTUAL CONDUIT ROUTING AND SHALL OBTAIN APPROVAL FROM THE TOWER OWNER OF THE PROPOSED ROUTING PRIOR TO CONDUIT INSTALLATION.
- 3.05 ALL CONDUCTORS SHALL BE COPPER WITH THINN INSULATION AND ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES CELSIUS.
- 3.06 ALL NEUTRAL CONDUCTORS SHALL HAVE WHITE INSULATION. ALL GROUND CONDUCTORS SHALL HAVE GREEN INSULATION. COLOR-TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT PERMITTED.
- 3.07 CONTRACTOR SHALL SEAL ALL CONDUITS ENTERING AN ENCLOSURE WITH CONDUIT SEALANT THAT IS COMPATIBLE WITH THE INSULATION OF THE CONDUCTORS IN THE CONDUIT.
- 3.08 CONDUIT RUNS SHALL HAVE A CONTINUOUS DOWNWARD SLOPE FROM ALL EQUIPMENT TO PREVENT WATER INFILTRATION.
- 3.09 ALL CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE ON THE PLANS. WHEN CONDUIT IS ROUTED UNDER A ROADWAY, SCHEDULE 80 PVC CONDUIT SHALL BE UTILIZED. MANUFACTURED BEND RADIO SHALL BE PER NEC.
- 3.10 CONTRACTOR SHALL PROVIDE TWO (2) 200 POUND TEST POLYETHYLENE PULL CORDS IN ALL CONDUITS AND ALL INVERTEDS. PULL CORDS SHALL BE SECURED AT EACH END OF CONDUIT RUNS. ALL SPARE CONDUIT ENDS SHALL BE CAPPED WITH MANUFACTURED PVC FITTINGS.
- 3.11 CONTRACTOR SHALL BOND EACH METALLIC CONDUIT ENTERING A METALLIC ENCLOSURE WITH A #6 MIN AWG INSULATED COPPER BONDING JUMPER PER NEC. CONTRACTOR SHALL BOND ALL ELECTRICAL EQUIPMENT TO THE H-FRAME RACK ON ALL EQUIPMENT. BONDING SHALL BE WITH AWG INSULATED COPPER BONDING JUMPERS PER NEC.
- 3.12 CONTRACTOR SHALL IDENTIFY THE END OF ALL SPARE UNDERGROUND CONDUITS AND PROVIDE AND INSTALL 90 DEGREE ELBOWS WITH VERTICAL CONDUIT EXTENSIONS TO EXTEND 3' ABOVE FINISHED CRUSHED AGGREGATE GRADE. CONTRACTOR SHALL PROVIDE CONDUIT WITH AWG INSULATED CONDUIT CAPS THAT THE CONTRACTOR HAS PAINTED ORANGE.

- 3.1.3 CONTRACTOR SHALL PROVIDE AND INSTALL AN ENGRAVED PHENOLIC PLATE ON THE FRONT OF THE INTEGRATED LOAD CENTER. THE WORDING ON THE PLATE SHALL READ AS FOLLOWS: "MAXIMUM DRAW OF ALL RECTIFIERS AND EQUIPMENT ON THE LOAD CENTER CANNOT EXCEED 50kW. IF ADDITIONAL POWER IS REQUIRED, THE EXISTING 50kW GENERATOR MUST BE REPLACED."

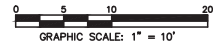
- 4.01 CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND NOTE EXISTING CONDITIONS THAT MIGHT AFFECT THEIR WORK. ALL SUCH CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO BID.
- 4.02 THE CONTRACTOR SHALL PROVIDE A UTILITY LOCATOR AND SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 4.03 CONTRACTOR SHALL VERIFY, PRIOR TO ROUGH-IN, THAT SITE CONDITIONS ALLOW FOR THE PLACEMENT OF THE ELECTRICAL EQUIPMENT AS SHOWN ON THE PLANS.
- 4.04 CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL UTILITY REGARDING THE EXACT LOCATION OF THE TRANSFORMER, ALL METERING REQUIREMENTS, AND CONDUIT ROUTING BETWEEN TRANSFORMER AND METER.
- 4.05 CONTRACTOR SHALL COORDINATE WITH LOCAL TELCO UTILITY REGARDING THE EXACT LOCATION OF THE TELCO SERVICE ENTRY POINT.
- 4.06 CONTRACTOR SHALL COORDINATE WITH AUTHORITY HAVING JURISDICTION REGARDING LOCAL FROST LINE REQUIREMENTS FOR RACEWAY MATERIAL SELECTION AND INSTALLATION.
- 4.07 CONTRACTOR SHALL PERFORM AN ARC FLASH ANALYSIS AT THE INTEGRATED LOAD CENTER AND PROVIDE ARC FLASH LABEL PER NEC.
- 4.08 ALL CIRCUIT BREAKERS AND EQUIPMENT SHALL HAVE A MINIMUM AIC RATING OF 10,000 AMPS. IF THE RATING OF THE CIRCUIT TRANSFORMER PROVIDING THE ELECTRICAL SERVICE IS GREATER THAN 75 KVA, THE CONTRACTOR SHALL PERFORM A SHORT CIRCUIT ANALYSIS TO DETERMINE THE REQUIRED AIC RATING OF THE CIRCUIT BREAKERS AND EQUIPMENT. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT (AFC) AT THE SERVICE POINT. PROVIDE MAX. AFC SIGNAGES REQUIRED PER 110.10. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PARENTS HAS A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT.

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1 UTILITY SERVICE ROUTING PLAN
E2.1 SCALE: 1" = 10'



KEY NOTES - ELECTRICAL EQUIPMENT

- ① UTILITY METER H-FRAME (SEE DETAIL 1/E3).
- ② POWER STUB UP (SEE NOTE 4.04 ON SHEET E1).
- ③ EXISTING LIT FIBER HANDHOLE/PEDESTAL. (CONTRACTOR TO CONFIRM EXISTENCE AND LOCATION).
- ④ TRAFFIC RATED TELCO VAULT LABELED "VZW FIBER". (SEE NOTE 4.05 ON SHEET E1)
- ⑤ TELCO BOX (SEE SHEET C4).
- ⑥ CIENA UNIT, IF NEEDED (SEE SHEET C4).
- ⑦ INTEGRATED LOAD CENTER (SEE SHEET C4).
- ⑧ VERIZON CONCRETE EQUIPMENT PAD (SEE SHEET C6).
- ⑨ VERIZON CONCRETE GENERATOR PAD (SEE SHEET C6).
- ⑩ MULTI TENANT NEMA BOX

KEY NOTES - CONDUIT, CONDUCTORS, & MISC.

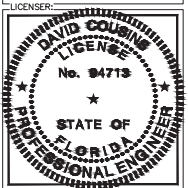
- A TWO (2) 4" PVC POWER CONDUITS FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY (SEE TRENCH DETAIL 2/E6).
- B 2" PVC POWER CONDUIT FROM PROPOSED METER RACK TO EQUIPMENT RACK (SEE TRENCH DETAIL 2/E6).
- C ONE (1) 2" PVC TELCO CONDUITS, WITH TWO (2) PULL ROPES EACH (SEE TRENCH DETAIL 2/E6).
- D 2" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING LIT FIBER HANDHOLE/PEDESTAL IS PRESENT CONTRACTOR TO PROVIDE A 5' LONG CAPPED STUB BRIDGE CONDUIT).
- E ONE (1) 2" PVC CONDUITS FOR DARK FIBER FROM RIGHT OF WAY W/TWO (2) PULL ROPES (SEE TRENCH DETAIL 2/E6 AND SHEET E2).
- F 2" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR. (SEE TRENCH DETAIL 2/E6).
- G 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR (SEE TRENCH DETAIL 2/E6).
- H 1" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER (SEE TRENCH DETAIL 2/E6).
- I ONE (1) 2" PVC TELCO CONDUIT FOR LIT FIBER FROM VERIZON TELCO BOX TO MULTI-TENANT NEMA BOX (SEE TRENCH DETAIL 2/E6)
- K ONE (1) 2" PVC TELCO CONDUIT FOR LIT FIBER FROM MULTI-TENANT NEMA BOX TO RIGHT OF WAY WITH (2) PULL ROPES (SEE TRENCH DETAIL 2/E6)

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BOCA RATON FL 33487
TEL (561) 988-6367

PROJECT INFORMATION:
SITE NAME:
US-FL-5816 DUNNELLON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
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KHA PROJECT NUMBER:
013291020
DRAWN BY: JAR CHECKED BY: BNL
SHEET TITLE:

UTILITY SERVICE
ROUTING PLAN

SHEET NUMBER:
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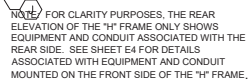


- ① 200 AMP METER SOCKET IN NEMA 3R ENCLOSURE.
- ② 800 AMP, 22KALC, 4 GANG, SERVICE ENTRANCE RATED METER CENTER IN NEMA 3R ENCLOSURE. BOND TO RACK PER NEC.
- ③ 200 AMP, 2 POLE (22KALC) DISCONNECT CIRCUIT BREAKER FOR TOP METER ONLY.
- ④ 100 AMP, 2 POLE (22KALC) DISCONNECT CIRCUIT BREAKER. CONTRACTOR SHALL MOUNT THE METER CENTER SUCH THAT THE TOP CIRCUIT BREAKER IS NO MORE THAN 6' ABOVE GRADE.
- ⑤ 100 AMP METER SOCKET IN NEMA 3R ENCLOSURE.

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SHEET NUMBER: E3

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(A) GALVANIZED RIGID STEEL CAP, TYPICAL.

(B) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.

(C) 1½" x 1½" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000 OR APPROVED EQUIVALENT) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.

(D) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTORS (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.

(E) 1½" PVC POWER CONDUIT FROM METER.

(F) KEYNOTE NOTED.

(G) KEYNOTE NOTED.

(H) GROUND RING (SEE SHEETS E6 & E7).

(J) GROUND ROD, EXOTHERMIC WELD TO GROUND RING. (SEE DETAIL 2/E7).

(K) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.

(L) ¾" PVC WITH ONE (1) - #2 AWG BARE TINNED COPPER CONDUCTOR FROM GROUNDING LUG TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.

(M) KEYNOTE NOTED.

(N) TWO (2) 4" CONDUIT TO 5' OUTSIDE FENCED COMPOUND, STUBBED AND CAPPED.

(O) ½" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO GFCI RECEPTACLE.

(P) #2 SOLID TINNED IN ¾" PVC CONDUIT, CAD WELDED TO GROUND BAR AND GROUND RING.

- 1 KEYNOTE NOT USED.
- 2 120/240V, 100A MCB SERVICE ENTRANCE RATED PANEL IN NEMA 3R ENCLOSURE.
- 3 HOFFMAN BOX IN NEMA 4X ENCLOSURE.
- 4 ONE (1) 20A DUPLEX GFCI WALL PLUG WITH WEATHER RATED COVER.
- 5 ONE (1) 2" x 12" COPPER DOWN BAR.
- 6 100 WATT LED FLOOD LIGHT, 120V (TECH LIGHT)
- 7 FLOOD LIGHT TOGGLE SWITCH

1 METER RACK DETAILS
E3.1 NOT TO SCALE

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LICENSER:



The seal is circular with a double-lined border. The outer ring contains the text "DAVID COUSINS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the word "LICENSE" at the top, the license number "No. 94713" in the center, and "STATE OF FLORIDA" at the bottom, also separated by two stars.

KHA PROJECT NUMBER: 013291020

DRAWN BY: JAR CHECKED BY: BNL

SHEET TITLE:

METER RACK
DETAILS - REAR

SHEET NUMBER: E3.1

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PANEL SCHEDULE - VERIZON INTEGRATED LOAD CENTER													
Voltage: 240/120 Volts Phase, Wires: Single Phase, 3 Wire Mounting Type: Surface Enclosure Type: NEMA 3R							MCB Size: 200 Amps AIC Rating: 10,000 Amps min Bus Rating: 200 Amps Neutral Rating: 100%						
Load Served	Load (kVA)		Circuit Bkr Size	Ckt Nbr	Phase A B	Ckt Nbr	Circuit Bkr Size	Load (kVA)		Load Served			
	A	B						A	B				
RECTIFIER 1	2.28		2P-30	1		2	1P-20	0.58		AREA LIGHTS/GFCI			
		2.28		3		4	1P-20		1.50	GEN BLOCK HEATER			
RECTIFIER 2	2.28		2P-30	5		6	1P-20	0.30		GEN BATTERY CHARGER			
		2.28		7		8	----		0.00	SPACE			
RECTIFIER 3	2.28		2P-30	9		10	1P-20	0.18		CAB DUPLEX OUTLET			
		2.28		11		12	----		0.00	SPACE			
RECTIFIER 4	2.28		2P-30	13		14	2P-30	0.00		RECTIFIER 9 (SPARE)			
		2.28		15		16	----		0.00				
RECTIFIER 5 (SPARE)	0.00		2P-30	17		18	2P-30	0.00		RECTIFIER 10 (SPARE)			
		0.00		19		20	----		0.00				
RECTIFIER 6 (SPARE)	0.00		2P-30	21		22	2P-30	0.00		RECTIFIER 11 (SPARE)			
		0.00		23		24	----		0.00				
RECTIFIER 7 (SPARE)	0.00		2P-30	25		26	2P-30	0.00		RECTIFIER 12 (SPARE)			
		0.00		27		28	----		0.00				
RECTIFIER 8 (SPARE)	0.00		2P-30	29		30	----	0.00		SPACE			
		0.00		31		32	----	0.00		SPACE			
SPACE	0.00		----	33		34	----	0.00		SPACE			
SPACE		0.00	----	35		36	----		0.00	SPACE			
SPACE	0.00		----	37		38	----	0.00		SPACE			
TVSS (INTERNAL TO ILC)		0.00	2P-30	39		40	----		0.00	SPACE			
	0.00			41		42	----	0.00		SPACE			
Sub-Total (kVA)	9.12	9.12						1.06	1.50	Sub-Total (kVA)			
								A	B				
								10.18	10.62	Total Connected (kVA)			
									20.8				
LOAD SUMMARY													
Load Description		Connected Load (kVA)		Demand Factor		Demand Load (kVA)							
		A	B			A	B						
RECTIFIERS/EQUIP		9.12	9.12	1.00		9.12	9.12						
LARGEST MOTOR		0.00	0.00	1.00		0.00	0.00						
ALL OTHER MOTORS		0.00	0.00	1.00		0.00	0.00						
LIGHTING		0.40	0.00	1.25		0.50	0.00						
DUPLEX RECEPTACLES		0.36	0.00	1.00		0.36	0.00						
TOTAL MISCELLANEOUS		0.30	1.50	1.00		0.30	1.50						
Total Power per Phase							10.28	10.62	kVA				
Total Demand Current per Phase							85.67	88.5	Amps				
Total Demand Power								20.9	kVA				

*NOTE: CIRCUIT LOAD AND DEMAND FACTOR PROVIDED BY VERIZON.

1
E5 PANEL SCHEDULE
NOT TO SCALE

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1	07/23/25	CONSTRUCTION	DRG
0	07/23/25	FOR PERMIT	BNL

LICENSER:

DAVID COUSINS

LICENSE

No. 94713

STATE OF FLORIDA

PROFESSIONAL ENGINEER

KHA PROJECT NUMBER:

013291020

DRAWN BY:

JAR

CHECKED BY:

BNL

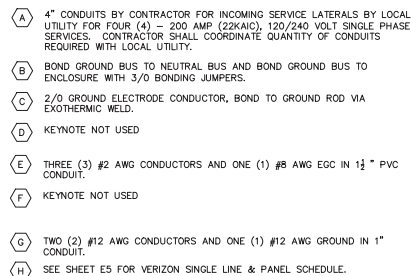
SHEET TITLE:

PANEL SCHEDULE
VERIZON

SHEET NUMBER:

E5

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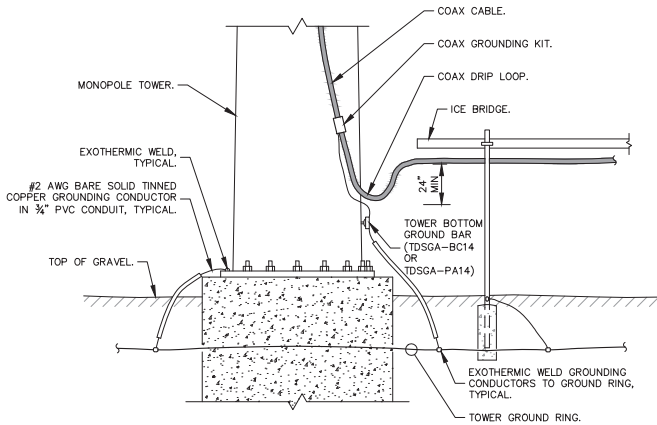
- 1 FURNISH AND INSTALL SERVICE ENTRANCE RATED GANGED METER CENTER WITH FOUR (4) - 200 AMP, 120/240 VOLT SINGLE PHASE SERVICE POSITIONS IN NEMA 3R ENCLOSURE. COORDINATE SPECIFIC REQUIREMENTS WITH LOCAL UTILITY.
- 2 KEYNOTE NOT USED
- 3 120/240 VOLT, 100 AMP MCB PANEL "VB HOUSE PANEL" IN NEMA 3R ENCLOSURE
- 4 20A GFCI DUPLEX WALL PLUG WITH WEATHER RATED COVER.
- 5 FURNISH AND INSTALL TWO (2) AREA LIGHTS, (LITHONIA HFR-250M-TA120-AP1), (OR APPROVED EQUIVALENT)

1 PANEL SCHEDULE
E5.1 NOT TO SCALE

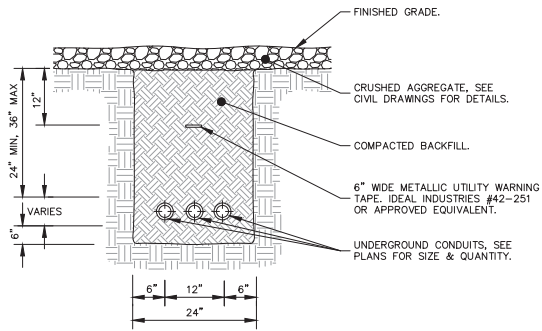
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SHEET NUMBER: **E5.1**

K:\ATL_Website\Vertical Bridge\US-FL-5816_Dunnellon East\CAD\GEN\ECor-08.dwg 07/23/25 1:33 PM by: Kevan Davis



1 DRIP LOOP DETAIL
E6 NOT TO SCALE



- NOTES:
1. IF GROUND SURFACE IS OTHER THAN NEWLY GRAVELED AREA, CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION.
 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
 3. PROVIDE SCHEDULE 40 OR SCHEDULE 80 PVC CONDUIT & ELBOWS AT STUB UP LOCATIONS (I.E. POLES, EQUIPMENT, ETC.)
 4. PROVIDE SCHEDULE 80 PVC CONDUIT BELOW PARKING LOTS AND ROADWAYS.

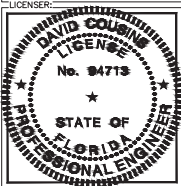
2 TYPICAL TRENCH DETAIL
E6 NOT TO SCALE

verticalbridge
750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL (561) 988-6367

PROJECT INFORMATION:
SITE NAME:
US-FL-5816 DUNNELLON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:
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DRAWN BY: JAR CHECKED BY: BNL
SHEET TITLE:

ELECTRICAL
DETAILS

SHEET NUMBER:
E6

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GROUNDING NOTES

1. THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA AND FROM TOWER FOUNDATION. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.

2. INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE). BOND TOP OF GROUND ROD TO GROUND WIRE WITH EXOTHERMIC WELD. DO NOT EXOTHERMICALLY WELD ANYTHING TO GROUND ROD EXCEPT GROUND WIRE WHICH PASSES OVER TOP OF GROUND ROD (CLAMPED CONNECTIONS TO GROUND ROD PER TOWER MANUFACTURERS DETAILS ARE ACCEPTABLE).

3. EQUIPMENT GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS. TOWER GROUND RING SHALL HAVE A MINIMUM OF 3 GROUND RODS, EXCEPT USE 4 RODS AT A MONOPOLE TOWER, WHERE SPREAD TOWER FOOTING WOULD PREVENT GROUND RODS FROM BEING DRIVEN INTO SOIL ADJACENT TO TOWER, PROVIDE VERTICAL 1" DIAMETER PVC SLEEVES EMBEDDED IN FOOTING TO ALLOW INSTALLATION OF GROUND RODS.

4. EQUIPMENT GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.

5. BOND TOWER TO TOWER GROUND RING AT THREE LOCATIONS WITH #2 STC GROUND LEAD. SELF SUPPORT TOWERS SHALL HAVE EACH LEG BONDED TO GROUND RING, MONOPOLES AND GUYED TOWERS SHALL HAVE GROUND LEADS EQUALLY SPACED AROUND TOWER. EXOTHERMICALLY WELD GROUND LEADS TO TOP OF BASE PLATES, OR ATTACH TO TOWER USING TOWER MANUFACTURER PROVIDED DETAIL.

6. PROVIDE #2 STC RADIALS FROM THE TOWER GROUND RING TO EACH FENCE CORNER POST. RADIALS SHALL HAVE GROUND RODS AS PER THE REQUIRED SPACING. THE GROUND ROD AT THE END OF EACH RADIAL SHALL BE 24" MAXIMUM FROM FENCE CORNER POST. EQUIPMENT AREA GROUND RING AND CONNECTING GROUND LEADS [BETWEEN EQUIPMENT AREA AND TOWER GROUND RINGS] MAY BE USED AS PART OF THE RADIAL GOING TO THE FENCE CORNER POST CLOSEST TO THE EQUIPMENT AREA.

7. MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR TOWER GROUND RINGS AND EQUIPMENT PAD GROUND RINGS.

8. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.

9. ALL GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT, SHALL EXTEND 24" BELOW GRADE MINIMUM, AND SHALL BE FILLED WITH SEALANT AT ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE WITH NON-METALLIC TIES.
- 10A. AT GUYED AND SELF SUPPORT TOWERS MOUNT TDSGA-PA14 TOWER BOTTOM GROUND BAR ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP. TOP OF POST TO BE 76" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING, USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.

10B. AT MONOPOLE TOWERS CLAMP TDSGA-BC14 TOWER BOTTOM GROUND BAR DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND TDSGA-BC14 TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.

11. AT EQUIPMENT AREA, INSTALL TDSGA-PA14 EXTERIOR GROUND BAR (THRU-BOLTED STYLE) AT BASE OF (2) INTERIOR H-FRAME POSTS AND AT TOP OF ICE BRIDGE POST WHICH IS NEAREST TO (BUT CLOSER TO TOWER THAN) THE COAX CABLE TERMINATION. MOUNT GROUND BAR TO H-FRAME POSTS AT 6" ABOVE GRAVEL AND TO ICE BRIDGE POST AT 6FT ABOVE GRAVEL.

12. ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDIED AT EACH END WITH #2 STC WIRE LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST. ICE BRIDGE SECTIONS ABOVE H-FRAME SHALL BE BONDED TO EACH OTHER WITH JUMPPERS AT EACH END -- THIS ASSEMBLY WILL BE CONSIDERED AS A SINGLE ICE BRIDGE SECTION FOR GROUNDING PURPOSES.

13. BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING -- DO NOT DAISY CHAIN POSTS TOGETHER.

14. BOND EACH RF CABINET TO EQUIPMENT GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY). ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA.

15. BOND EACH BATTERY CABINET TO GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. RUN GROUND LEAD IN FLEX CONDUIT ALONG BACK OF RBA7Z CABINET, ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS.

16. BOND GENERATOR TO GROUND RING WITH #2 STC AT TWO DIAGONALLY OPPOSITE LOCATIONS BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. GROUND LEADS SHOULD TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING.
17. WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.

18. BOND GPS ANTENNA AND GPS ANTENNA MOUNT TO TSDGA GROUND BAR AT BOTTOM OF H-FRAME POST WITH #2 GREEN INSULATED STRANDED GROUND WIRE.

19. PROVIDE TWO GROUND RODS OUTSIDE GATES OF COMPOUND. DISTANCE BETWEEN GROUND RODS SHALL MATCH WIDTH OF GATE OPENING, AND DISTANCE FROM FENCE SHALL MATCH LENGTH OF LONGEST INDIVIDUAL GATE LEAF. BOND GATE POSTS TOGETHER WITH #2 STC LEAD WHICH RUNS PAST AND CONNECTS TO GROUND RODS OUTSIDE GATES.

20. BOND EACH GATE POST WITH #2 STC TO NEAREST PORTION OF GROUNDING SYSTEM INSIDE COMPOUND.

21. BOND EACH GATE TO GATE POST WITH FLEXIBLE INSULATED OR BRAIDED #4/0 COPPER STRAP. EXOTHERMICALLY WELD STRAP TO BOTH GATE AND GATE POSTS.

22. ANY METAL FENCE POST WITHIN 6FT OF A GROUNDIED METAL OBJECT SHALL BE BONDED TO THE NEAREST GROUND RING. ANY METAL FENCE WITHIN 6FT OF A GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.

23. WHERE GROUND BASED RRU'S, RAYCAP QVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TDSGA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.

24. NOTIFY CM TO INSPECT GROUND RING BEFORE BACKFILLING. CONTRACTOR SHALL HIRE A 3RD PARTY TO PERFORM AN IEEE81 FALL OF POTENTIAL METHOD GROUND TEST. MAXIMUM ALLOWABLE RESISTANCE TO GROUND IS 5 OHMS. PROVIDE ADDITIONAL GROUND SYSTEM COMPONENTS AS REQUIRED TO ACHIEVE THIS VALUE.

25. REFER TO TOWER GROUNDING DIAGRAM AND NOTES FOR GROUND SYSTEM REQUIREMENTS ON THE TOWER.

26. GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.

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TEL (561) 968-6367

PROJECT INFORMATION:

SITE NAME:
US-FL-5816 DUNNELLON EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

PLANS PREPARED BY:

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LICENSER:

DAVID COUSINS

FLORIDA

PROFESSIONAL ENGINEER

No. 94713

STATE OF FLORIDA

KHA PROJECT NUMBER:

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CHECKED BY:

JAR

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SHEET TITLE:

GROUNDING
NOTES

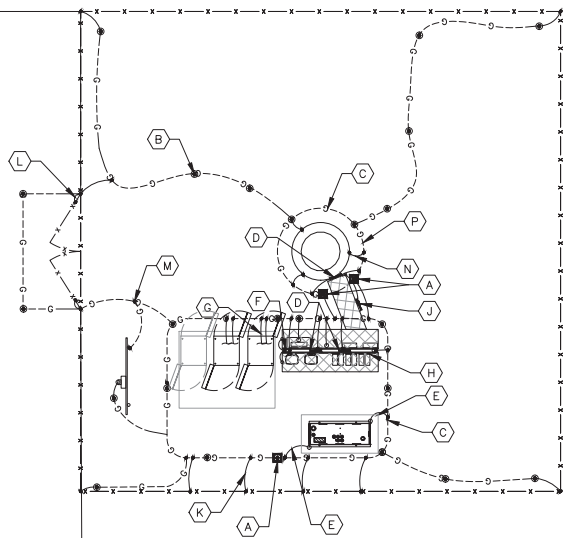
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1
E8
GROUNDING PLAN
SCALE: 1" = 10'



0 5 10 20
GRAPHIC SCALE: 1" = 10'

KEY NOTES - GROUNDING EQUIPMENT

- (A) GROUND ROD TEST WELL (SEE DETAIL 1/E10).
- (B) GROUND ROD, TYPICAL (SEE DETAIL 2/E10 AND NOTES 2 AND 3 ON E7).
- (C) TOWER AND EQUIPMENT GROUND RING (SEE NOTES 1, 3, 4, 5, 6 AND 7 ON E7).
- (D) TDSGA-PA14 OR TDSGA-BC14 WHERE APPLICABLE (SEE NOTES 10 AND 11 ON E7).
- (E) GENERATOR GROUNDING (SEE NOTE 16 ON E7).
- (F) GPS ANTENNA GROUNDING (SEE NOTE 18 ON E7).
- (G) RF CABINET GROUNDING (SEE NOTE 14 ON E7).
- (H) RRU'S AND OVP'S GROUNDING (SEE NOTE 23 ON E7).
- (J) ICE BRIDGE POST BOND TO GROUND RING, TYPICAL (SEE NOTES 12 AND 13 ON E7).
- (K) FENCE POST GROUNDING, TYPICAL (SEE NOTE 22 ON E7).
- (L) GATE GROUNDING, TYPICAL (SEE NOTES 19, 20 & 21 ON E7).
- (M) UTILITY H-FRAME GROUNDING, TYPICAL (SEE SHEET E3 AND NOTE 13 ON E7).
- (N) TOWER GROUNDING, TYPICAL (SEE NOTES 5, 6 & 25 ON E7).
- (P) GROUND RADIALS, TYPICAL (SEE NOTE 6 ON E7).
- (Q) REFER TO SHEETS E7, E9, E10 & E11 FOR GROUNDING NOTES, DETAILS, AND SPECIFICATIONS.

LEGEND:

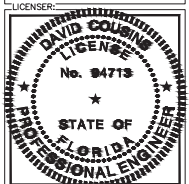
- G---G--- GROUND RING
- G---G--- GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
- EXOTHERMIC WELD
- ⊗ GROUND ROD TEST WELL (SEE DETAIL 1/E10)
- MECHANICAL CONNECTION

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PROJECT #: N/A
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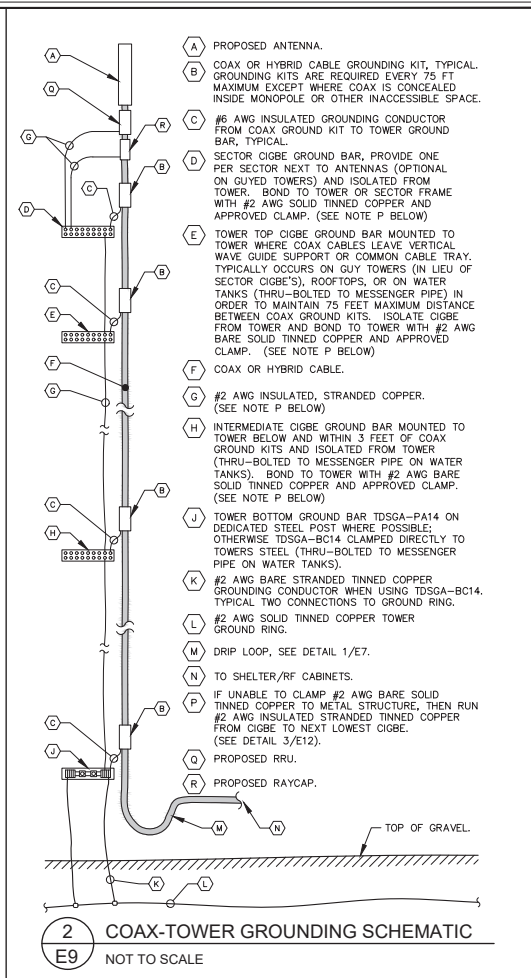
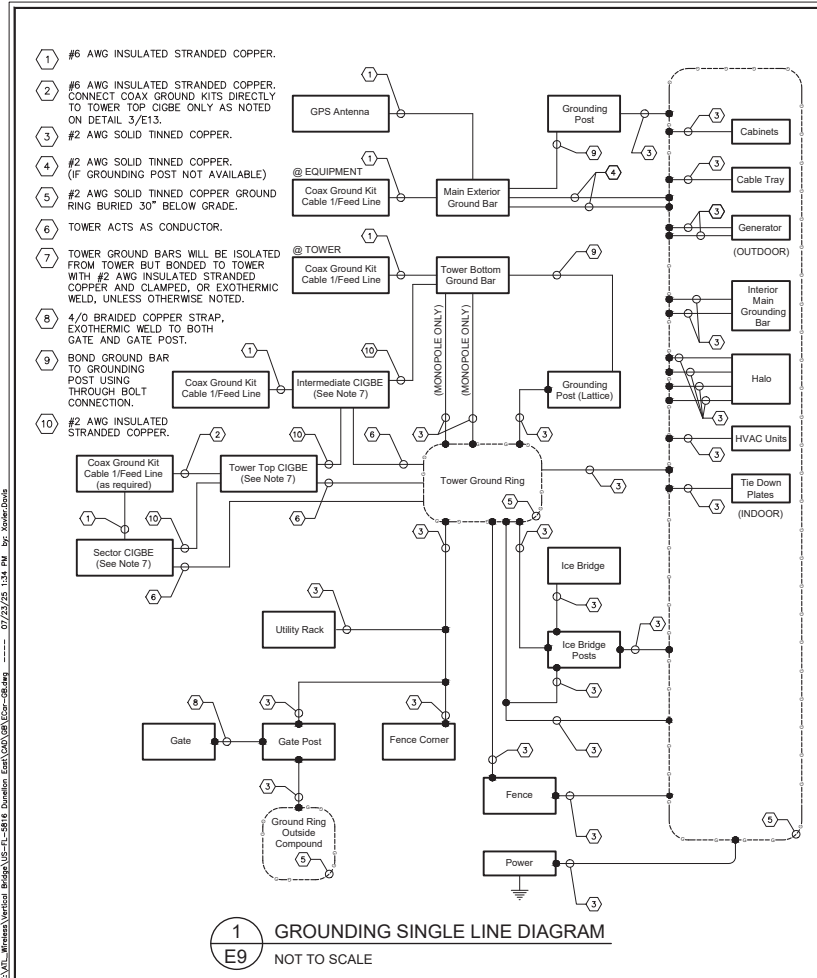
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SHEET TITLE:

GROUNDING PLAN

SHEET NUMBER:
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LICENSER: **DAVID COUSINS**
LICENSE No. 94713
STATE OF FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT NUMBER: 013291020

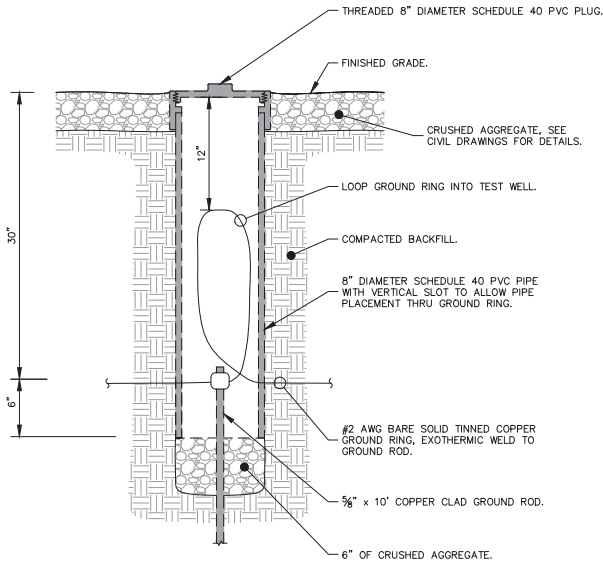
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SHEET TITLE: GROUNDING SINGLE LINE DIAGRAM

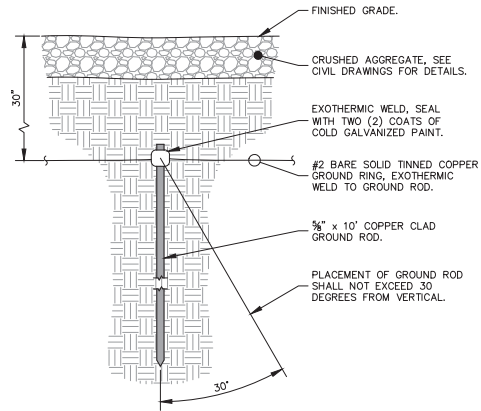
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1 GROUND ROD TEST WELL DETAIL
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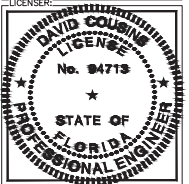
2 GROUND ROD INSTALLATION DETAIL
E10 NOT TO SCALE

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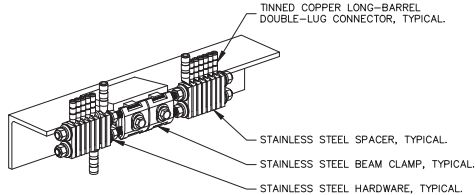
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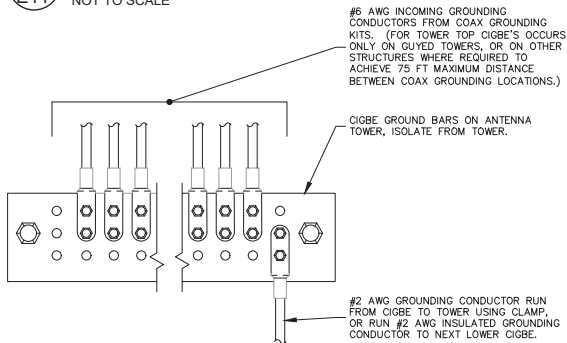
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DETAILS

SHEET NUMBER:
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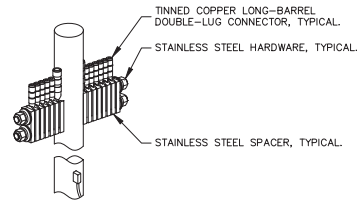
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E11 NOT TO SCALE



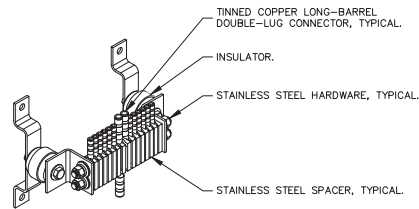
3 ANTENNA GROUND WIRE INSTALLATION DETAIL
E11 NOT TO SCALE

NOTES:

1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE ERICO TDSGA. TYPICALLY USE TDSGA-WB17 ISOLATED FROM UNISTRUT BRACKET.
2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG GROUNDING CONDUCTOR, VIA CLAMP OR EXOTHERMIC WELD, THEN RUN #2 AWG BLACK GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALIC TIES AT SAME SPACING AS COAX SUPPORTS.



2 BAR NONE POST MOUNTED (TDSGA-PA14)
E11 NOT TO SCALE



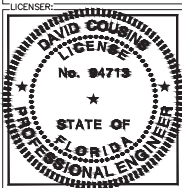
4 BAR NONE INSULATED (TDSGA-WB17)
E11 NOT TO SCALE

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KHA PROJECT NUMBER:
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GROUNDING
DETAILS
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E11

1.00 GENERAL NOTES

1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.

1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.

1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.

1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.

1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.

1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.

1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.

1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.

1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.

1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "SUNSHINE 811" 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 432-4770 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.

1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.

1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.

1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C11.

2.00 EQUIPMENT FOUNDATION NOTES

2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.

2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.

2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.

2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.

2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.

2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".

2.07 FIBERS FOR CONCRETE SHALL BE FIBERMESH 650, 100 PERCENT VIRGIN POLYPROPYLENE FIBRILLATED FIBERS, #3 PATENTED TECHNOLOGY PATENTED TECHNOLOGY, CONTAINING NO REPROCESSED OLEFIN MATERIALS. THE FIBERS SHALL CONFORM TO ASTM C1116 TYPE III AND MANUFACTURED SPECIFICALLY FOR THE SECONDARY REINFORCEMENT OF CONCRETE.

2.08 THE FIBERS SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED MANUFACTURING FACILITY. UNLESS OTHERWISE STATED, FIBERMESH 650 MACRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE AT THE BATCHING PLANT AT THE RECOMMENDED APPLICATION RATE OF 3 LBS/YD³ AND MIXED FOR A SUFFICIENT TIME (MINIMUM 5 MINUTES AT FULL MIXING SPEED) TO ENSURE UNIFORM DISTRIBUTION OF THE FIBERS THROUGHOUT THE CONCRETE. FIBROUS CONCRETE REINFORCEMENT SHALL BE MANUFACTURED BY FIBERMESH, 4019 INDUSTRY DRIVE, CHATTANOOGA, TN 37416 USA, TEL: 800 621-1273, WEBSITE: WWW.FIBERMESH.COM

2.09 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.

2.10 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/8" x 45° CHAMFER, UNLESS OTHERWISE NOTED.

2.11 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.

2.12 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.

2.13 TOP OF FOUNDATION FINISH TO BE LEVEL ±1/8" IN 10'.

2.14 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.

2.15 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.

K:\ATL_Wireless\Vertical Bridge\US-FL-5816-Dunellen East\CD\08\US-FL-5816-08.dwg, 07/23/25 1:28 PM b3c b3cwer.dwg

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

verticalbridge

750 PARK OF COMMERCE DRIVE, SUITE 200
BOCA RATON FL 33487
TEL (561) 988-6367

PROJECT INFORMATION:

SITE NAME:
US-FL-5816 DUNNELN EAST
SITE No.: N/A
PROJECT #: N/A
SW 80TH ST
OCALA, FL 34481
MARION COUNTY

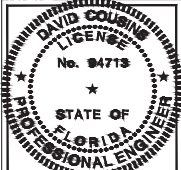
PLANS PREPARED BY:

Kimley-Horn
201 NORTH FRANKLIN STREET, SUITE 1400
TAMPA, FL 33605
PHONE: 813-420-1400
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

8		
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4		
3		
2		
1	07/23/25	CONSTRUCTION DRC
0	07/18/25	FOR PERMIT BNL

LICENSER:



KHA PROJECT NUMBER:

013291020

DRAWN BY:

JAR

CHECKED BY:

BNL

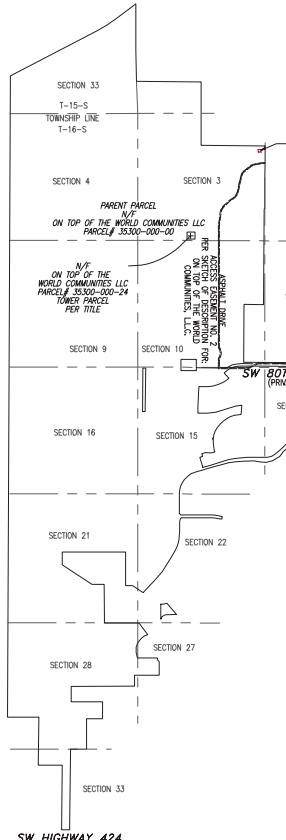
SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1

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THE FOLLOWING GNSS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.03 FEET (HORZ) 0.21 FEET (VERT)
TYPE OF EQUIPMENT: CARLSON BROTHERS BASE AND ROVER, MULTI-FREQUENCY
TYPE OF GNSS FIELD PROCEDURE: ONLINE POSITION USER SERVICE
DATE OF SURVEY: 01/08/2025
DATUM / EPOCH: NAD 83 (2011) (EPOCH:2010.0000)
PUBLISHED / FIXED CONTROL USE: N/A
GEOID MODEL: 18
COMBINED GRID FACTOR(S): 0.99999512
CONVERGENCE ANGLE: -0.13875278"
BENCHMARKS USED: DE6012, D64689, DR9347



* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE TOWERS, LLC AND EXCLUSIVELY FOR THE TRANSFER OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFER OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: GEOMAX ZOOM
ROBOTIC AND CARLSON BRX7 BASE AND ROVER [DATE OF LAST FIELD
VISIT: 01/08/2025]. SEE GNSS NOTES FOR GNSS EQUIPMENT.

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF $\pm 0.5'$. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

PER THE FEMA FLOODPLAIN MAPS, THE LEASE AREA AND THE
INGRESS-EGRESS & UTILITY EASEMENT ARE LOCATED IN AN AREA
DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY
PANEL NO.: 12083C0493E DATED: 04/19/2017

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE
SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING
PARTY.


ORIGINAL SURVEY IS KEPT ON FILE IN THE SURVEYOR'S OFFICE.

THE ACCESS AND UTILITY EASEMENTS GO TO A CONFIRMED PUBLIC RIGHT-OF-WAY VIA ACCESS EASEMENTS 2 & 3 SHOWN HEREON.

I HEREBY CERTIFY TO: VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; TORONTO DOMINION (TEXAS) LLC, AS ADMINISTRATIVE AGENT, FOR ITSELF AND ON BEHALF OF THE LENDERS PARTIES FROM TIME TO TIME THAT CERTAIN SECOND AMENDED AND RESTATED LOAN AGREEMENT DATED JUNE 17, 2016 WITH VERTICAL BRIDGE HOLDCO, LLC, AS BORROWER, AND VERTICAL BRIDGE HOLDCO PARENT, LLC, AS PARENT, AS MAY BE AMENDED, RESTATED, MODIFIED OR RENEWED, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR AND TOWER AGENCY, LLC.

- 

CALL BEFORE YOU DIG



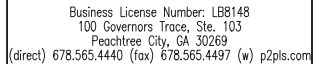
THIS ITEM WAS BEING ELECTRONICALLY SIGNED AND SEALED BY DARRELL TAYLOR, USING DIGITAL SIGNATURE AND HAVE PROVIDED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE WILL BE KEPT ON FILE FOR THE RECORD.

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY
DIRECT SUPERVISION, ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREIN.

Glenn Darrell Taylor Digitally signed by Glenn Darrell Taylor
(Date: 2025.07.22 17:18:18 -04'00')

D. DARRELL TAYLOR, FLORIDA PROFESSIONAL SURVEYOR & MAPPER #156304

THIS IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A
LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LOCAL
AND STATE REGULATIONS. IT IS SOLELY INTENDED FOR THE PARTIES AND
PURPOSES SHOWN. THIS IS NOT FOR RECOGNITION.



SPECIFIC PURPOSE SURVEY PREPARED FOR:

 THE TOWERS, LLC
750 PARK OF COMMERCE DRIVE
SUITE 200
BOCA RATON, FL 33487

DUNELLON EAST
US-FL-5816
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

PARENT PARCEL	
---------------	--

OWNER: ON TOP OF THE WORLD COMMUNITIES LLC

PARCEL ID: 35300-000-00

AREA: 5,201.22 ACRES (PER TAX ASSESSOR)

REFERENCE: PLAT BOOK P PAGE 30

A horizontal number line with arrows at both ends. It is marked with the numbers -2000, 0, 4000, and 8000. A solid black dot is placed on the line at the 4000 mark.

GRAPHIC SCALE IN FEET
SCALE: 1" = 4000' (11x17)

NO.	DATE	REVISION	DRAWN BY: NRW	SHEET:
1	5/28/25	TITLE REVIEW		
2	5/28/25	ACCESS EASEMENTS	CHECKED BY: JKI	7

APPROVED: D. MILLER

			DATE: MARCH 18, 2025	
			020, 100, 11: 241321D	05.4

SURVEY NOT VALID WITHOUT ALL SHEETS

and \bar{f} denote the ℓ_1 norm and the ℓ_2 norm of f , respectively. Let \mathcal{F} be a set of functions $f: \mathcal{X} \rightarrow \mathbb{R}$. The ℓ_1 norm of \mathcal{F} is defined as $\|\mathcal{F}\|_1 = \max_{x \in \mathcal{X}} \sum_{f \in \mathcal{F}} |f(x)|$. The ℓ_2 norm of \mathcal{F} is defined as $\|\mathcal{F}\|_2 = \sqrt{\max_{x \in \mathcal{X}} \sum_{f \in \mathcal{F}} f(x)^2}$. The ℓ_1 norm of \mathcal{F} is denoted by $\|\mathcal{F}\|_1$ and the ℓ_2 norm of \mathcal{F} is denoted by $\|\mathcal{F}\|_2$.

PARENT PARCEL

PER TOWER AGENCY, LLC TITLE COMMITMENT NO. VTB-146591-C

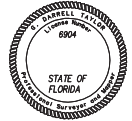
ALL OF THAT PROPERTY AS SHOWN ON THE PLAT OF CIRCLE SQUARE WOODS, AS RECORDED IN PLAT BOOK P., PAGES 30 THROUGH 103, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
LESS AND EXCEPT THOSE PORTIONS LYING WITHIN TOWNSHIP 15S RANGE 21E.
ALSO EXCEPTING SECTION 1, SECTION 2, SECTION 12, SECTION 13, SECTION 23 AND SECTION 24 ALL OF TOWNSHIP 15S RANGE 22E.
ALSO LESS AND EXCEPTING THE PROPERTY CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FROM ON TOP OF THE WORLD COMMUNITIES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, IN A DEED DATED OCTOBER 15, 2011 AND RECORDED JULY 23, 1998, IN BOOK 2528 PAGE 271, OF THE MARION COUNTY, FLORIDA RECORDS.
ALSO LESS AND EXCEPTING THE PROPERTY CONVEYED TO BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT FROM ON TOP OF THE WORLD COMMUNITIES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, IN A DEED DATED OCTOBER 15, 2011 AND RECORDED OCTOBER 19, 2011, IN BOOK 5083 PAGE 1249, OF THE MARION COUNTY, FLORIDA RECORDS.
ALSO LESS AND EXCEPTING THE PROPERTY CONVEYED TO CBO SANDMAN, LLC, A FLORIDA LIMITED LIABILITY COMPANY FROM ON TOP OF THE WORLD COMMUNITIES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, IN A DEED DATED JULY 1, 2022 AND RECORDED JULY 1, 2022, IN BOOK 7821 PAGE 889, OF THE MARION COUNTY, FLORIDA RECORDS.
ALSO LESS AND EXCEPTING THE PROPERTY CONVEYED TO BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT FROM ON TOP OF THE WORLD COMMUNITIES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, IN A DEED DATED SEPTEMBER 8, 2022 AND RECORDED SEPTEMBER 9, 2022, IN BOOK 7875 PAGE 505, OF THE MARION COUNTY, FLORIDA RECORDS.
ALSO LESS AND EXCEPTING THE PROPERTY CONVEYED TO BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT FROM ON TOP OF THE WORLD COMMUNITIES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, IN A DEED DATED SEPTEMBER 8, 2022 AND RECORDED SEPTEMBER 9, 2022, IN BOOK 7875 PAGE 612, OF THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD, PHASE 1-A, SECTION 1 REPEAT, FILED IN PLAT BOOK 3 PAGE 70, RECORDED SEPTEMBER 9, 1994, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD CONTROL REPEAT - PHASE 1B, SECTION 5, FILED IN PLAT BOOK 3 PAGE 102, RECORDED DECEMBER 8, 1994, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD CENTRAL VESTED AREA - SECTION 3A, FILED IN PLAT BOOK 3 PAGE 141, RECORDED SEPTEMBER 15, 1995, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD CENTRAL REPEAT - PHASE 1B, SECTION 5, FILED IN PLAT BOOK 3 PAGE 174, RECORDED MARCH 7, 1996, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD, PHASE 1-A, SECTION 2A, FILED IN PLAT BOOK 4 PAGE 110, RECORDED DECEMBER 8, 1997, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD REPEAT PHASE 1-A SECTION 2-A, AREA 2, FILED IN PLAT BOOK 8 PAGE 5, RECORDED APRIL 12, 2004, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD REPEAT REPEAT ARLINGTON UNIT #1) FILED IN PLAT BOOK 8 PAGE 189, RECORDED JUNE 14, 2005, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS WINDSOR REPEAT, FILED IN PLAT BOOK 10 PAGE 27, RECORDED SEPTEMBER 7, 2006, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS RENAISSANCE PARK REPEAT, FILED IN PLAT BOOK 11 PAGE 48, RECORDED NOVEMBER 5, 2007, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD REPEAT PROVIDENCE AREA 1, FILED IN PLAT BOOK 11 PAGE 101, RECORDED FEBRUARY 8, 2008, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD REPEAT PROVIDENCE AREA 1, FILED IN PLAT BOOK 12 PAGE 139, RECORDED NOVEMBER 18, 2015, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS CHESTNUT RIDGE PHASE II REPEAT, FILED IN PLAT BOOK 13 PAGE 70, RECORDED APRIL 18, 2016, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS ON TOP OF THE WORLD ARLINGTON PHASE 8 REPEAT, FILED IN PLAT BOOK 13 PAGE 83, RECORDED AUGUST 22, 2018, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS LONGLEAF RIDGE PHASE I REPEAT, FILED IN PLAT BOOK 13 PAGE 162, RECORDED OCTOBER 16, 2019, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS LONGLEAF RIDGE PHASE II REPEAT, FILED IN PLAT BOOK 13 PAGE 190, RECORDED JANUARY 21, 2020, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS S.R. 200 COMMERCIAL REPEAT, FILED IN PLAT BOOK 14 PAGE 14, RECORDED MAY 20, 2020, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS CHESTNUT RIDGE PHASE II REPEAT, FILED IN PLAT BOOK 14 PAGE 45, RECORDED FEBRUARY 3, 2021, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS CANDLE HILLS WEST ASHFORO AND BALFOUR REPEAT, FILED IN PLAT BOOK 14 PAGE 49, RECORDED MARCH 3, 2021, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS LONGLEAF RIDGE PHASE II REPEAT, FILED IN PLAT BOOK 14 PAGE 66, RECORDED APRIL 4, 2021, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS LONGLEAF RIDGE PHASE II REPEAT, FILED IN PLAT BOOK 14 PAGE 106, RECORDED JULY 8, 2021, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS LONGLEAF RIDGE PHASE V REPEAT, FILED IN PLAT BOOK 14 PAGE 136, RECORDED NOVEMBER 3, 2021, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB SEABRANT PLAT, FILED IN PLAT BOOK 9 PAGE 194, RECORDED JULY 21, 2006, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB SEABRANT REPEAT, FILED IN PLAT BOOK 10 PAGE 45, RECORDED OCTOBER 4, 2006, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB BUCKHEAD REPEAT, FILED IN PLAT BOOK 10 PAGE 1, RECORDED JULY 21, 2006, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB BUCKHEAD REPEAT, FILED IN PLAT BOOK 10 PAGE 50, RECORDED OCTOBER 4, 2006, IN THE MARION COUNTY, FLORIDA RECORDS.
AS AFFECTED BY A RESOLUTION TO VACATE PORTION OF PLAT OF STONE CREEK BY DEL WEBB BUCKHEAD, RECORDED OCTOBER 25, 2007, IN BOOK 4916 PAGE 1666, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB SANTA FE PLAT, FILED IN PLAT BOOK 10 PAGE 181, RECORDED JUNE 6, 2007, IN THE MARION COUNTY, FLORIDA RECORDS.

FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB SANTA FE REPEAT NO. 1, FILED IN PLAT BOOK 12 PAGE 31, RECORDED MARCH 4, 2011, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB PINEROOK PHASE 1 & PHASE 2 PLAT, FILED IN PLAT BOOK 10 PAGE 14, RECORDED SEPTEMBER 7, 2006, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB PINEROOK PHASE 2A, FILED IN PLAT BOOK 12 PAGE 29, RECORDED MARCH 4, 2011, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB PINEROOK PHASE 2B & 2C, FILED IN PLAT BOOK 12 PAGE 32, RECORDED NOVEMBER 18, 2011, IN THE MARION COUNTY, FLORIDA RECORDS.
AS AFFECTED BY A RESOLUTION TO VACATE PORTION OF STONE CREEK BY DEL WEBB PINEROOK PHASE 2B & 2C, RECORDED JULY 19, 2012, IN BOOK 5706 PAGE 1703, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON - PHASE 1, FILED IN PLAT BOOK 10 PAGE 187, RECORDED JUNE 6, 2007, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON - PHASE 4 REPEAT, FILED IN PLAT BOOK 12 PAGE 39, RECORDED MAY 9, 2011, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB LONGLEAF PLAT, FILED IN PLAT BOOK 11 PAGE 43, RECORDED SEPTEMBER 6, 2007, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB LONGLEAF REPEAT NO. 1, FILED IN PLAT BOOK 11 PAGE 128, RECORDED JULY 2, 2008, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB LONGLEAF REPEAT NO. 2, FILED IN PLAT BOOK 12 PAGE 107, RECORDED FEBRUARY 17, 2015, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB SANDMANWOOD, FILED IN PLAT BOOK 12 PAGE 123, RECORDED AUGUST 11, 2015, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB FAIRFIELD, FILED IN PLAT BOOK 13 PAGE 01, RECORDED MAY 2, 2017, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB LONGLEAF REPEAT NO. 3, FILED IN PLAT BOOK 13 PAGE 5, RECORDED MAY 2, 2017, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB LONGLEAF REPEAT NO. 4, FILED IN PLAT BOOK 13 PAGE 107, RECORDED NOVEMBER 20, 2018, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PINNACLES PLAT - PHASE 1, FILED IN PLAT BOOK 11 PAGE 136, RECORDED OCTOBER 10, 2008, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PINNACLES PLAT - PHASE 2, FILED IN PLAT BOOK 11 PAGE 138, RECORDED OCTOBER 10, 2008, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PHASE 5A, FILED IN PLAT BOOK 12 PAGE 152, RECORDED FEBRUARY 19, 2016, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PINNACLES PHASE 3 PLAT, FILED IN PLAT BOOK 12 PAGE 10, RECORDED APRIL 22, 2010, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PINNACLES PHASE 7 REPEAT, FILED IN PLAT BOOK 12 PAGE 89, RECORDED AUGUST 8, 2014, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB WESTON PHASE 1 & PHASE 2 PLAT, FILED IN PLAT BOOK 12 PAGE 54, RECORDED NOVEMBER 18, 2011, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB WESTON PHASE 2 REPEAT, FILED IN PLAT BOOK 12 PAGE 74, RECORDED JUNE 25, 2013, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PHASE 5, FILED IN PLAT BOOK 12 PAGE 78, RECORDED JANUARY 7, 2014, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PHASE 3, FILED IN PLAT BOOK 12 PAGE 86, RECORDED MAY 28, 2014, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS WEBB ARLINGTON PHASE 6B PLAT, FILED IN PLAT BOOK 12 PAGE 156, RECORDED FEBRUARY 19, 2016, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON - PHASE 1, FILED IN PLAT BOOK 10 PAGE 187, RECORDED JUNE 6, 2007, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PHASE 4, FILED IN PLAT BOOK 12 PAGE 39, RECORDED MAY 9, 2011, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PINNACLES - PHASE 1, FILED IN PLAT BOOK 11 PAGE 136, RECORDED OCTOBER 10, 2008, IN THE MARION COUNTY, FLORIDA RECORDS.
FURTHER LESS AND EXCEPTING ANY PORTIONS OF THE PROPERTY LYING WITHIN PLAT KNOWN AS STONE CREEK BY DEL WEBB ARLINGTON PHASE 6B, FILED IN PLAT BOOK 12 PAGE 156, RECORDED FEBRUARY 19, 2016, IN THE MARION COUNTY, FLORIDA RECORDS.

PARCEL ID#: 35300-000-24 TOWER; 35300-000-00 PARENT

THIS BEING A PORTION OF THE PROPERTY CONVEYED TO L'HAÏM CORPORATION, A FLORIDA CORPORATION FROM NORCORP, INC., A CORPORATION, IN A DEED DATED DECEMBER 30, 1975 AND RECORDED DECEMBER 30, 1975, IN BOOK 721 PAGE 714, IN MARION COUNTY, FLORIDA.

AS AFFECTED BY A MERGER CHANGING THE NAME OF L'HAÏM CORPORATION AND JUNIT LAND CORPORATION, BOTH FLORIDA CORPORATIONS TO ON TOP OF THE WORLD, INC., THE SURVIVING FLORIDA CORPORATION, DATED FEBRUARY 2, 1987 AND RECORDED FEBRUARY 2, 1987, IN BOOK 1452 PAGE 288, IN MARION COUNTY, FLORIDA.



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY DARRELL TAYLOR USING DIGITAL SIGNATURE AND HAS PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

Glenn Darrell Taylor Digitally signed by Glenn Darrell Taylor
Date: 2025.07.02 17:19:50 -04'00'

G. DARRELL TAYLOR, FLORIDA PROFESSIONAL SURVEYOR & MAPPER #LS6804

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECREATION.

* SPECIFIC PURPOSE SURVEY PREPARED BY:



Business License Number: LB8148
100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(direct) 678.565.4440 (fax) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:



DUNELLON EAST
US-FL-5816
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

LEGAL DESCRIPTION & TITLE REVIEW SHEET

NO.	DATE	REVISION	DRAWN BY: NEW	SHEET:
1	5/28/25	TITLE REVIEW	CHECKED BY: JKL	3
2	6/23/25	ACCESS EASEMENTS	APPROVED: D. MILLER	
			DATE: MARCH 18, 2025	
			P2P JOB #: 241721FL	
				OF 4

SURVEY NOT VALID WITHOUT ALL SHEETS

PLPLOT: C:\Plot\Project\P2P_Current\JOB\2025\241721FL-00000.dwg P2P User: JKL 2025/07/02 17:19:50 -04'00'

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY TOWER AGENCY, LLC, COMMITMENT DATE OF JANUARY 28, 2025, BEING COMMITMENT NO. VTB-146591-C, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

11. RESERVATIONS BETWEEN THE UNITED STATES OF AMERICA AND JAMES NORRIS, DATED JULY 26, 1950 AND RECORDED AUGUST 16, 1950 IN (BOOK) 293 (PAGE) 592, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

12. RESERVATIONS BETWEEN STATE OF FLORIDA THROUGH THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA AND W. ARNOLD DINKINS, DATED APRIL 2, 1956 AND RECORDED APRIL 2, 1956 (BOOK) 341 (PAGE) 460, IN MARION COUNTY, FLORIDA.
[THIS ITEM CANNOT BE REVIEWED BECAUSE THE DOCUMENT IS ILLEGIBLE.]

14. EASEMENT BETWEEN NORRIS GRAIN COMPANY, AN ILLINOIS CORPORATION; AND AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED JUNE 9, 1966 AND RECORDED JUNE 16, 1966 IN (BOOK) 276 (PAGE) 196 (INSTRUMENT) 11055, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

16. RIGHT-OF-WAY EASEMENT BETWEEN MELODY H. JACOBS (WIDOW); AND SUMTER ELECTRIC COOPERATIVE, INC., A CORPORATION, DATED MAY 15, 1969 AND RECORDED JUNE 3, 1969 IN (BOOK) 391 (PAGE) 356 (INSTRUMENT) 8622, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

18. RIGHT-OF-WAY EASEMENT BETWEEN NORRIS GRAIN COMPANY; AND SUMTER ELECTRIC COOPERATIVE, INC., A CORPORATION, DATED FEBRUARY 8, 1971 AND RECORDED MARCH 2, 1971 IN (BOOK) 455 (PAGE) (INSTRUMENT) 3617, IN MARION COUNTY, FLORIDA.

THIS ITEM IS APPLICABLE TO THE PARENT PARCEL HOWEVER THE MAJORITY OF THE LOTS DESCRIBED IN THE REFERENCED SUBDIVISION HAVE BEEN RECONFIGURED AND RE-PLATTED IN SUBSEQUENT RECORDATIONS.

20. NOTICE OF ADOPTION OF RESOLUTION VACATING A PORTION OF THE PLAT OF CIRCLE SQUARE WOODS SUBDIVISION DATED NOVEMBER 15, 1977 AND RECORDED DECEMBER 6, 1977 IN (BOOK) 851 (PAGE) 26 (INSTRUMENT) 16209, IN MARION COUNTY, FLORIDA.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL HOWEVER THE MAJORITY OF THE LOTS DESCRIBED IN THE REFERENCED SUBDIVISION HAVE BEEN RECONFIGURED AND RE-PLATTED IN SUBSEQUENT RECORDATIONS]

23. DEVELOPMENT ORDER FOR OCEAN TOP OF THE WORLD - CENTRAL DEVELOPMENT OF REGIONAL IMPACT DATA
OCTOBER 12, 1982 AND RECORDED OCTOBER 12, 1982 IN (BOOK 1129 (PAGE) 0475 (INSTRUMENT) 82-

24. RESOLUTION NO. 84-R-113 DATED MAY 22, 1984 AND RECORDED MAY 22, 1984 IN (BOOK) 1220 (PAGE) 1718 (INSTRUMENT) 84-026291, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT DOES NOT IMPACT THE LEASE AREA OR INGRESS-EGRESS & UTILITY EASEMENT.]

26. EASEMENT BETWEEN CIRCLE SQUARE WOODS; AND UNITED TELEPHONE COMPANY OF FLORIDA, DATED AUGUST 27, 1984 AND RECORDED AUGUST 27, 1984 IN (BOOK) 1237 (PAGE) 0872 (INSTRUMENT) 84-043289, IN MARION COUNTY, FLORIDA.

COMPANY OF FLORIDA, DATED JUNE 12, 1987 AND RECORDED JUNE 19, 1987 IN (BOOK) 1434 (PAGE) 0925 (INSTRUMENT) 87-039553, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

28. EASEMENT BETWEEN CIRCLE SQUARE WOOD ON TOP OF THE WORLD; AND UNITED TELEPHONE COMPANY OF FLORIDA, DATED NOVEMBER 11, 1987 AND RECORDED NOVEMBER 24, 1987 IN (BOOK) 1467

COMPANY OF FLORIDA, DATED NOVEMBER 11, 1987 AND RECORDED NOVEMBER 24, 1987 IN (BOOK) 1467
(PAGE) 0181 (INSTRUMENT) 87-074185, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

30. RESOLUTION TO VACATE PLAT (OR PORTION OF PLAT) DATED OCTOBER 4, 1994 AND RECORDED OCTOBER 18, 1994 IN (BOOK) 2080 (PAGE) 0055 (INSTRUMENT) 94073690, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

32. RESOLUTION TO VACATE PLAT (OR PORTION OF PLAT) DATED SEPTEMBER 8, 1995 AND RECORDED SEPTEMBER 27, 1995 IN (BOOK) 2177 (PAGE) 581 (INSTRUMENT) 95065001, IN MARION COUNTY, FLORIDA.

[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

34. RESOLUTION TO VACATE PLAT (OR PORTION OF PLAT) DATED MARCH 5, 1996 AND RECORDED MARCH 13, 1996 IN (BOOK) 2228 (PAGE) 332 (INSTRUMENT) 96014284, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

36. RESOLUTION TO VACATE PORTION OF PLAT OF CIRCLE SQUARE WOOD DATED DECEMBER 16, 1997 AND
RECORDED DECEMBER 19, 1997 IN (BOOK) 2442 (PAGE) 1707 (INSTRUMENT) 97102306, IN MARION
COUNTY, FLORIDA
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

38. RESOLUTION TO VACATE PORTION OF PLAT OF CIRCLE SQUARE WOODS DATED NOVEMBER 16, 1999 AND RECORDED DECEMBER 6, 1999 IN (BOOK) 2727 (PAGE) 947 (INSTRUMENT) 1999-111039, IN MARION COUNTY, FLORIDA.

04. EASEMENT AGREEMENT BETWEEN ON TOP OF THE WORLD, INC., A FLORIDA CORPORATION; AND CITY OF OCALA, A FLORIDA MUNICIPAL CORPORATION, DATED MAY 9, 2001 AND RECORDED JUNE 7, 2001 IN (BOOK 02966 (PAGE) 1380 (INSTRUMENT) 2001056425, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

COMMUNITY DEVELOPMENT DISTRICT, DATED AUGUST 19, 2002 AND RECORDED SEPTEMBER 11, 2002 IN (BOOK) 3236 (PAGE) 1129 (INSTRUMENT) 2002102108, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL AND IS BLANKET IN NATURE.]

42. CONSERVATION EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC., A FLORIDA LIMITED LIABILITY COMPANY, AND THE STATE OF FLORIDA, BY AND THROUGH THE FLORIDA DEPARTMENT OF REVENUE, FOR THE PURPOSE OF

43. CONSERVATION EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC., A FLORIDA CORPORATION; AND FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION, AN AGENCY OF THE STATE OF FLORIDA, DATED MAY 29, 2003 AND RECORDED MAY 29, 2003 IN (BOOK) 03425 (PAGE) 1201

44. RESOLUTION TO VACATE PORTION OF PLAT OF ON TOP OF THE WORLD, PHASE 1-A, SECTION 2A DATED APRIL 6, 2004 AND RECORDED APRIL 23, 2004 IN (BOOK) 03698 (PAGE) 0283 (INSTRUMENT) 2004054079, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

46. RESOLUTION TO VACATE PORTION OF PLAT OF CIRCLE SQUARE WOODS DATED JULY 18, 2006 AND RECORDED JULY 27, 2006 IN (BOOK) 04514 (PAGE) 1726 (INSTRUMENT) 2006120785, IN MARION COUNTY, FLORIDA. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

47. CORPORATE WARRANTY DEED BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC.; AND MARION

48. DISTRIBUTION EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC.; AND FLORIDA POWER CORPORATION DOING BUSINESS AS PROGRESS ENERGY FLORIDA, INC., A FLORIDA CORPORATION, DATED FEBRUARY 20, 2009 AND RECORDED APRIL 6, 2009 IN (BOOK) 05180 (PAGE) 0784 (INSTRUMENT) 2009028776, IN MARION COUNTY, FLORIDA.

AUGUST 31, 2009 AND RECORDED OCTOBER 9, 2009 IN (BOOK) 05263 (PAGE) 1815 (INSTRUMENT)
20090872728, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT DOES NOT IMPACT THE LEASE AREA OR INGRESS-
EGRESS & UTILITY EASEMENT.]

50. DISTRIBUTION EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC.; AND FLORIDA POWER CORPORATION DOING BUSINESS AS PROGRESS ENERGY FLORIDA, INC., A FLORIDA CORPORATION, DATED AUGUST 4, 2009 AND RECORDED AUGUST 27, 2009 IN (BOOK) 06245

-----AFFECTED BY A(N) RELEASE OF EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC.; AND FLORIDA POWER CORPORATION D/B/A PROGRESS ENERGY FLORIDA, INC., A FLORIDA CORPORATION, DATED AUGUST 4, 2009 AND RECORDED FEBRUARY 19, 2010 IN (BOOK) 05319 (PAGE) 1629 (INSTRUMENT) 2010014877, IN MARION COUNTY, FLORIDA. THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT DOES NOT IMPACT THE LEASE AREA OR

51. DISTRIBUTION EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, INC.; AND FLORIDA POWER CORPORATION DOING BUSINESS AS PROGRESS ENERGY FLORIDA, INC., A FLORIDA CORPORATION, DATED MAY 29, 2009 AND RECORDED OCTOBER 9, 2009 IN (BOOK) 05263 (PAGE) 1790 (INSTRUMENT) 2009087277, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT DOES NOT IMPACT THE LEASE AREA OR INGRESS-EGRESS & UTILITY EASEMENT.]

CORPORATION, DATED DECEMBER 8, 2009 AND RECORDED JANUARY 21, 2010 IN (BOOK) 05307 (PAGE) 0604 (INSTRUMENT) 2010005213, IN MARION COUNTY, FLORIDA. [THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT DOES NOT IMPACT THE LEASE AREA OR INGRESS-EGRESS & UTILITY EASEMENT.]

54. RESOLUTION NO. 15-R-190 DATED JUNE 16, 2015 AND RECORDED JUNE 29, 2015 IN (BOOK) 6233 (PAGE) 1905 (INSTRUMENT) 2015058744, IN MARION COUNTY, FLORIDA. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT DOES NOT IMPACT THE LEASE AREA OR INGRESS-EGRESS & UTILITY EASEMENT.)

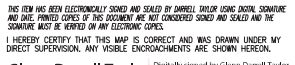
56. EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, L.L.C., A FLORIDA LIMITED LIABILITY COMPANY; AND DUKE ENERGY FLORIDA, LLC, A FLORIDA LIMITED LIABILITY COMPANY, D/B/A DUKE ENERGY, DATED OCTOBER 13, 2020 AND RECORDED OCTOBER 13, 2020 IN (BOOK

57. EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, L.L.C., A FLORIDA LIMITED LIABILITY COMPANY, AND BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT; AND DUKE ENERGY FLORIDA, L.L.C. A FLORIDA LIMITED LIABILITY COMPANY, D/B/A DUKE ENERGY, DATED FEBRUARY 11, 2022 AND RECORDED FEBRUARY 14, 2022 IN (BOOK) 7698 (PAGE) 0220 (INSTRUMENT) 2022021108, IN MARION COUNTY, FLORIDA.

58. EASEMENT BETWEEN ON TOP OF THE WORLD COMMUNITIES, L.L.C., A FLORIDA LIMITED LIABILITY COMPANY; AND DUKE ENERGY FLORIDA, LLC, A FLORIDA LIMITED LIABILITY COMPANY, D/B/A DUKE ENERGY, DATED AUGUST 8, 2022 AND RECORDED AUGUST 8, 2022 IN (BOOK) 78 (PAGE) 1849 (INSTRUMENT) 2022115552, IN MARION COUNTY, FLORIDA.

JUNE 8, 1973 AND RECORDED JUNE 8, 1973 IN (BOOK) P (PAGE) 30, IN MARION COUNTY, FLORIDA.
[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL HOWEVER THE MAJORITY OF THE LOTS DESCRIBED IN THE REFERENCED SUBDIVISION HAVE BEEN RECONFIGURED AND RE-PLATTED IN SUBSEQUENT RECORDATIONS.]

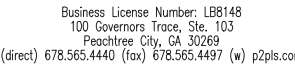
61. TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY A(N) MEMORANDUM OF OPTION TO LEASE BETWEEN ON TOP OF THE WORLD COMMUNITIES, L.L.C., A FLORIDA LIMITED LIABILITY COMPANY AND THE TOWERS, L.L.C, A DELAWARE LIMITED LIABILITY COMPANY, DATED SEPTEMBER 4, 2014 AND RECORDED, RECORD# 17, 2014 IN /BOOKS 8436 /PAGE 0104



G. DARRELL TAYLOR, FLORIDA PROFESSIONAL SURVEYOR & MAPPER #LS6904

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* SPECIFIC PURPOSE SURVEY PREPARED BY:



SPECIFIC PURPOSE SURVEY PREPARED FOR:



DUNELLON EAST
US-FL-5816
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

LEGAL DESCRIPTION &
TITLE REVIEW SHEET

NO.	DATE	REVISION	DRAWN BY: NRW	SHEET:
1	5/28/25	TITLE REVIEW	CHECKED BY: JKL	4
2	6/23/25	ACCESS EASEMENTS	APPROVED: D. MILLER	
			DATE: MARCH 18, 2025	
			P2P JOB #: 241721FL	

SURVEY NOT VALID WITHOUT ALL SHEETS