

June 4, 2025

PROJECT NAME: THE OLE OAK VILLAGE

PROJECT NUMBER: 2022120053

APPLICATION: MAJOR SITE PLAN #31223

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.2.I Show connections to other phases.

Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Required Right of Way Dedication (select as appropriate)

Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:

1."[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

2."[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:

1."[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2."[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

2 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: INFO

REMARKS: The roads will not be named in this development. The development will be one address with unit numbers.

- 3 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: N/A
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 6/5/24-add waivers if requested in future
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: (1) Proposed grading and drainage modifications that impact the FDOT ROW drainage systems need to be coordinated directly with FDOT. (2) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 8 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 9 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: NO
REMARKS: 5/16/25 - Applicant indicates communication with FDOT is ongoing. Driveway location and configuration must be permitted with FDOT in consultation with OCE Traffic. Driveway spacing deviation to be reviewed following receipt of FDOT NOI letter.
3/25/25 - Driveway spacing deviation will be reviewed following receipt of FDOT NOI letter.
10/30/24 - Driveway access does not meet spacing requirements. Continue coordination with FDOT for driveway permit and provide a notice of intent to issue from FDOT when acquired to enable review of driveway spacing deviation request.
6/17/24 - The connection to US 441 does not meet spacing requirements.

10 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Additional Traffic comments

STATUS OF REVIEW: NO

REMARKS: 5/16/25 - Roadway construction details cannot be reviewed with a major site plan unless a waiver to an improvement plan is specifically requested and approved by the DRC. The DRC has approved a typical section waiver and a design speed waiver, but not a waiver to an improvement plan. Key initial observations: Soil data not provided and Limerock base of 8" instead of proposed 6" is required.

3/25/25 - Improvement plan is still needed unless waiver is obtained and appropriate typical sections, pavement sections, any needed cross-sections and evidence of soil conditions are provided.

10/30/24 - Privately owned and maintained roads are not exempt from improvement plan review. The plan appears to have the intention of platted roads which means an improvement plan review is required to ensure roadways are designed and built to County specifications. Final site approval will be contingent upon an approved improvement plan.

6/17/24 - This was submitted as a site plan, but there are roadway improvements. This needs to be resubmitted as an improvement plan. A complete review can't be performed.

11 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger

STATUS OF REVIEW: NO

REMARKS: Table is labeled removed trees, is this a list of all the existing trees on site?

12 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: NO

REMARKS: 1.show tree protection graphically on plan, all trees to be preserved on lots shall be protected
2. How will the Critical Root Zone of trees preserved on lots be protected?



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR #31223

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 6/3/2025 Parcel Number(s): 38538-000-00, 38539-000-00 Permit Number: 31223

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: The Ole Oak Village Commercial ☐ Residential ☒
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Manufactured Housing One, LLC
Signature: O. Peri
Mailing Address: 3225 McLeod Dr., Suite 110 City: Las Vegas
State: NV Zip Code: 89121 Phone #: (201) 658-5953
Email address: peri@tripleventure.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: Kevin Atchley, P.E.
Mailing Address: 1720 SE 16th Ave., Bldg 100 City: Ocala
State: FL Zip Code: 34471 Phone #: (352) 387-4540
Email address: permits@tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.18.1 - Applicability
Reason/Justification for Request (be specific): Request waiver to have roadway improvement details reviewed for the Major Site Plan in lieu of Improvement Plans. Roads will be privately owned and maintained. No platting of the site.

DEVELOPMENT REVIEW USE:

Received By: Email 6/3/25 Date Processed: 6/4/25 CF Project #: 2022120053 AR #: 31223

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

1. MAJOR SITE PLAN (MARION COUNTY) -PENDING
2. ENVIRONMENTAL RESOURCE PERMIT (S.J.R.W.M.D.) - PENDING
3. FDEP - POTABLE WATER - PENDING
4. FDEP - SANITARY SEWER - PENDING
5. FDEP - NPDES (By Others)

SECTION: 6.13.3.0(1)	TYPES STORMWATER MANAGEMENT FACILITIES, 5 FT BERM WIDTH - APPROVED	8/26/24
SECTION: 2.21.4.E	COMMENCE CONSTRUCTION PRIOR TO PLAN APPROVAL - APPROVED	11/4/24
SECTION: 6.12.12.D	SIDEWALKS - PAY FEE IN LIEU OF FORT SIDEWALK ALONG US 301 - APPROVED	11/4/24
SECTION: 6.8.6.K(3)	BUFFER - MAINTAIN NATURAL EASTERN BUFFER - APPROVED	3/24/25
SECTION: 6.9.2.A	IRRIGATION PLAN - PROVIDE DESIGN IRRIGATION PLANS - APPROVED	3/24/25
SECTION: 6.12.2.A	OFF-OF-WAY - ALLOW 30' R/W WITH 15' D.U.E. ON EACH SIDE - APPROVED	3/24/25
SECTION: 6.12.9.A	ROADS - PROPER SIGNAGE PER MUTCD WILL BE PROVIDED WHERE NEEDED - APPROVED	3/24/25
SECTION: 6.13.6.A3(C)(3)	STORMWATER - ALLOW DRA TO BE 7.6" DEEP DUE TO FOOT REQUIREMENTS - APPROVED	3/24/25



SECTION 31, TOWNSHIP 16 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA

DESCRIPTION OF PURPOSE: MOBILE HOME PARK
FUTURE LAND USE: HR & COM
ZONING: P-MH

ITE CODE	DEVELOPMENT DESCRIPTION	DEVELOPMENT SIZE	UNIT	AM IN	AM OUT	PM IN	PM OUT
240	MOBILE HOME PARK	31	UNITS	3	6	9	6
TOTAL				9		15	

LOT 1, BLOCK 93, TOWN OF BELLEVUE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK "A", PAGE 15 AND 15-B, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, EXCEPT 100 FEET NORTH AND SOUTH BY 200 FEET EAST AND WEST IN THE NORTHWESTERLY CORNER THEREOF, AND EXCEPT EXISTING RIGHT OF WAY AND ADDITION THERETO, DATED APRIL 19, 1940, RECORDED OCTOBER 16, 1940, IN DEED BOOK 241, PAGE 54, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. LESS ANY PORTION CONTAINED IN BOOK 6274, PAGE 851.

THE NORTH 100 FEET OF THE WEST 200 FEET OF LOT 1, BLOCK 93, TOWN OF BELLEVUE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE(S) 15, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND A STRIP OF LAND 50 FEET IN WIDTH LYING EAST OF AND ADJACENT TO SAID THE NORTH 100 FEET OF THE WEST 200 FEET OF LOT 1, BLOCK 93.

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICA DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

VERTICAL DATUM IS BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT XXX, ELEVATION XXX (NAVD 1988).

1. DATE OF FIELD SURVEY: 12/27/2022.
2. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), FLOOD INSURANCE RATE MAP NO. 22080C02, EFFECTIVE DATE OF 9/28/2008, THE PROPERTY DESCRIBED HEREIN LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD.
3. NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
4. ALL ELEVATIONS SHOWN HEREON ARE BASED ON SURFACE EVIDENCE. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE NOT VERIFIED BY A SURVEY, INC.
5. SUBJECT TO RIGHT OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD. PUBLIC RECORDS SHOULD BE CONSULTED FOR SUCH INFORMATION.
6. TOPOGRAPHIC DATA AND THREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.

SURVEYOR:
ANDREW W. CARBAUGH, PSM
C & A SURVEY, INC.
3106 E. FORT KING STREET
OCALA, FLORIDA 34470
PHONE: (352) 694-6566

GEOTECHNICAL CONSULTANT:
CRAIG A. HAMPY, PE
GEO-TECH, INC.
1016 S.E. 3RD AVENUE
OCALA, FLORIDA 34471
PHONE: (352) 694-7711

01.01	COVER SHEET
02.01	GENERAL NOTES
03.01	AERIAL PHOTOGRAPH
04.01-04.02	GEOTECH PLAN
05.01	SIGNAGE & STRIPING PLAN
06.01	MASTER DRAINAGE PLAN
06.02	LOT GRADING PLAN
07.01	MASTER UTILITY PLAN
07.02	OFFSITE UTILITY PLAN
08.01-08.04	PLAN & PROFILE
09.01	ROADWAY & PAVEMENT DETAILS
10.01	DRAINAGE DETAILS
11.01	POTABLE WATER DISTRIBUTION DETAILS
12.01	SEWERY SEWER DETAILS
12.02	SANITARY SEWER DETAILS
12.03	LIFT STATION DETAILS
13.01	EROSION CONTROL PLAN
13.02	EROSION CONTROL DETAILS
LP-1-LP-3	LANDSCAPE PLANS

1. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
2. ALL ROADS (INCLUDING SIGNS, PAVEMENT MARKINGS AND SIDEWALKS) AND DRA S/DRAINAGE EASEMENTS ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY DEVELOPER.
3. ALL LOTS SHALL BE PLATTED AND ALL LOTS SHALL BE SUBMITTED TO THE DEVELOPER. ROADS HAVE A DESIGN SPEED OF 25 M.P.H. TO BE POSTED AT 20 M.P.H. EXCEPT FOR CURVES WITH RADIUS LESS THAN 100'.
4. THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED A RESERVED PUBLIC FACILITY CAPACITY. FUTURE RIGHT-TO-DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO IMPROVEMENT PLAN, FINAL PLAT, SITE PLAN, OR BUILDING PERMIT REVIEW.
5. THE PROPERTY LIES IN THE SECOND SPRINGS PROTECTION ZONE AND FLOOD ZONE 'X'. THE SECOND OF THE PROPERTY LIES WITHIN AN FZAL.

I CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

C & A SURVEY, INC.
FL LICENSED LAND SURVEYOR NO. 6787



VICINITY MAP
SCALE: 1"=500'

Tillman & Associates
—ENGINEERING, LLC.—
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION # 26796

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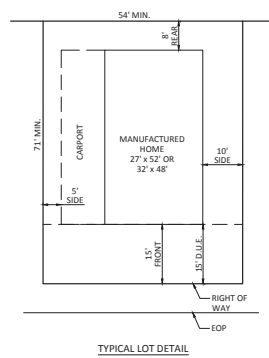
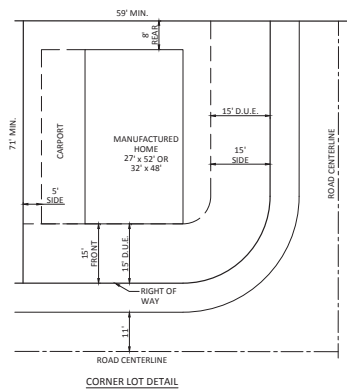
MAJOR SITE PLAN
THE OLE OAK VILLAGE
MARION COUNTY, FLORIDA

COVER SHEET

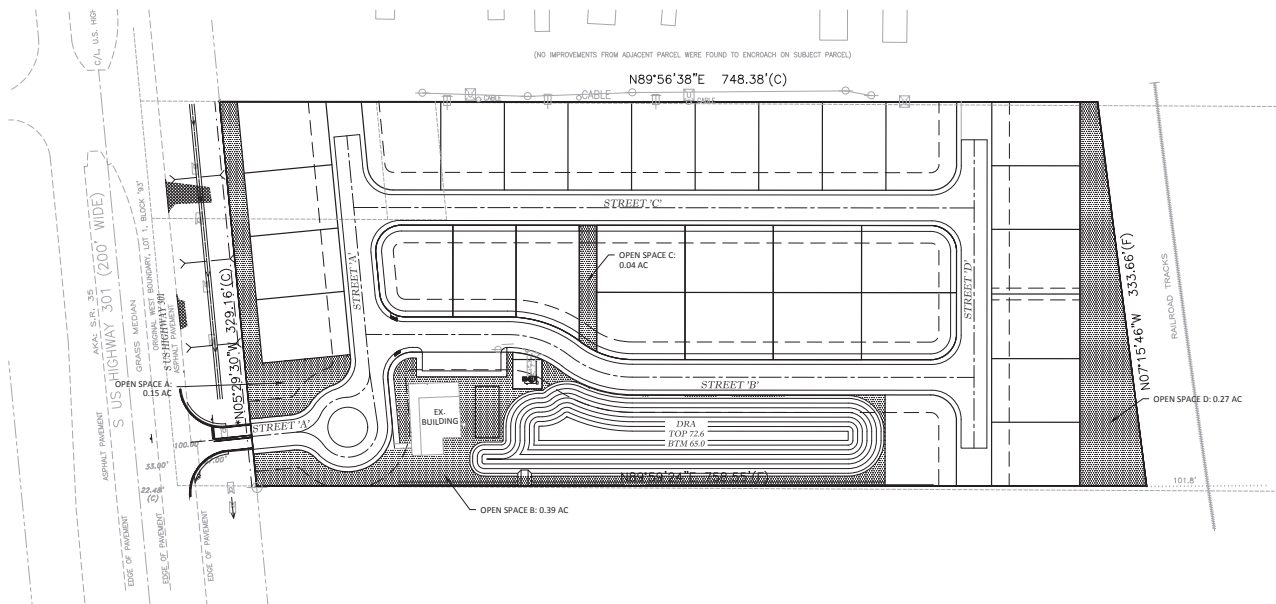
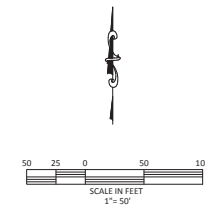
DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

SHT. 01.01

GENERAL NOTES



OPEN SPACE:	
OPEN SPACE A:	0.15 ± AC
OPEN SPACE B:	0.39± AC
OPEN SPACE C:	0.04± AC
OPEN SPACE D:	0.27± AC
TOTAL OPEN SPACE: 0.85 ± AC	



Marion County Approval Stamp

Tillman & Associates
— ENGINEERING, LLC. —
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION # 26756

[illegible]

MAJOR SITE PLAN
THE OLE OAK VILLAGE
MARION COUNTY, FLORIDA

DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

SHT. 04.02	
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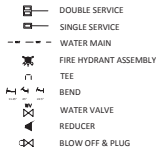
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MAJOR SITE PLAN
THE OLE OAK VILLAGE
MARION COUNTY, FLORIDA

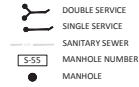
MASTER DRAINAGE PLAN

DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

WATER LEGEND:

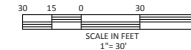


SANITARY SEWER LEGEND:



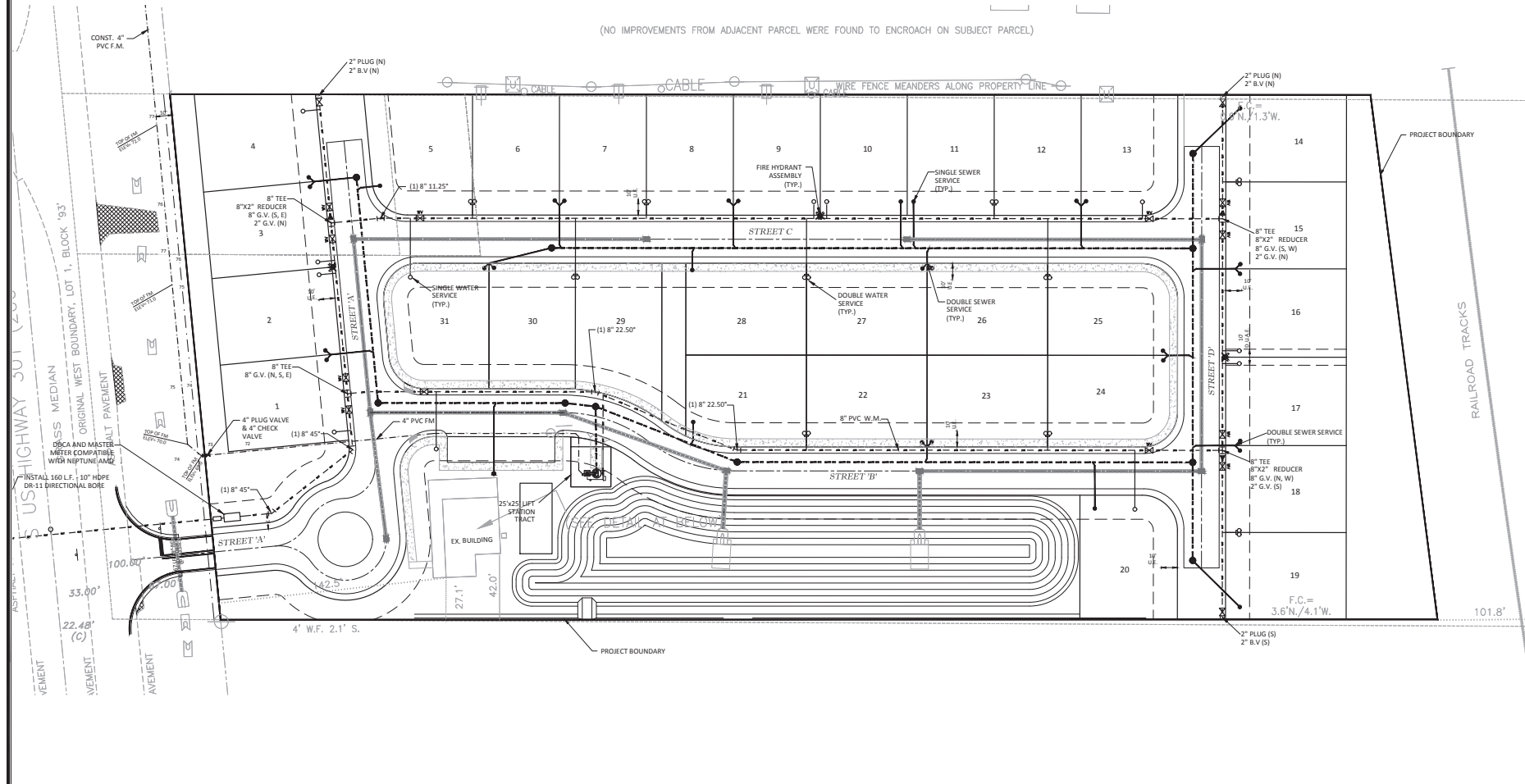
NOTES:

1. WATER MAIN VALVES, TEES, BENDS AND SERVICE CONNECTIONS SHALL NOT BE PLACED UNDER PROPOSED PAVEMENT, CURB, SIDEWALK OR DRIVEWAYS.
2. WATER MAINS AND SERVICES SHALL HAVE A MINIMUM 5' SEPARATION FROM STREET LIGHTS.
3. ALL NEW HYDRANTS SHALL BE INSTALLED, TESTED AND PAINTED PER NFPA 291. PLEASE PROVIDE FIRE FLOW TESTING INFORMATION FOR THE HYDRANTS TO THE MARION COUNTY FIRE PREVENTION OFFICE.
4. ALL SANITARY MANHOLES SHALL HAVE IN FLOW PROTECTORS.



Marion County Approval Stamp

(NO IMPROVEMENTS FROM ADJACENT PARCEL WERE FOUND TO ENCROACH ON SUBJECT PARCEL)



Tillman & Associates, LLC
ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4645
CERTIFICATE OF AUTHORIZATION # 24796

REVISIONS	DATE

MAJOR SITE PLAN
THE OLE OAK VILLAGE
MARION COUNTY, FLORIDA
MASTER UTILITY PLAN

DATE: 05/09/2025
DRAWN BY: JF
CHKD. BY: KJA
JOB NO.: 24-8333

SHT. 07.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

WATER LEGEND:

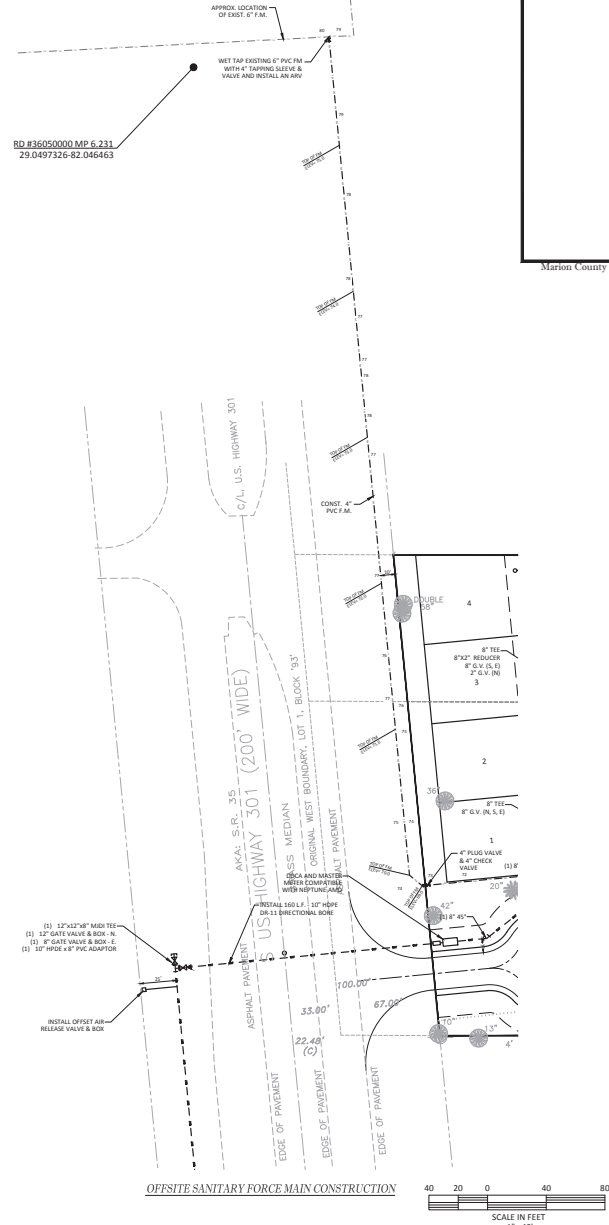
- DOUBLE SERVICE
- SINGLE SERVICE
- WATER MAIN
- FIRE HYDRANT ASSEMBLY
- TEE
- BEND
- WATER VALVE
- REDUCER
- BLOW OFF & PLUG

SANITARY SEWER LEGEND:

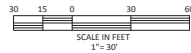
- DOUBLE SERVICE
- SINGLE SERVICE
- SANITARY SEWER
- MANHOLE NUMBER
- MANHOLE

NOTES:

1. WATER MAIN VALVES, TEES, BENDS AND SERVICE CONNECTIONS SHALL NOT BE PLACED UNDER PROPOSED PAVEMENT, CURB, SIDEWALK OR DRIVEWAYS.
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4. ALL SANITARY MANHOLES SHALL HAVE IN FLOW PROTECTORS.



OFFSITE WATER MAIN CONSTRUCTION



OFFSITE SANITARY FORCE MAIN CONSTRUCTION



Marion County Approval Stamp

Tillman & Associates, LLC
ENGINEERING, INC.
CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4945
CERTIFICATE OF AUTHORIZATION # 26796

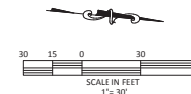
DATE	REVISIONS

MAJOR SITE PLAN
THE OLE OAK VILLAGE
MARION COUNTY, FLORIDA

DATE: 03/24/2025
DRAWN BY: JF
CHKD BY: KLA
JOB NO: 24-8333

OFFSITE UTILITY PLAN

SHT. 07.02



Willman & Associates
—ENGINEERING, LLC.—
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #007676

REVISIONS

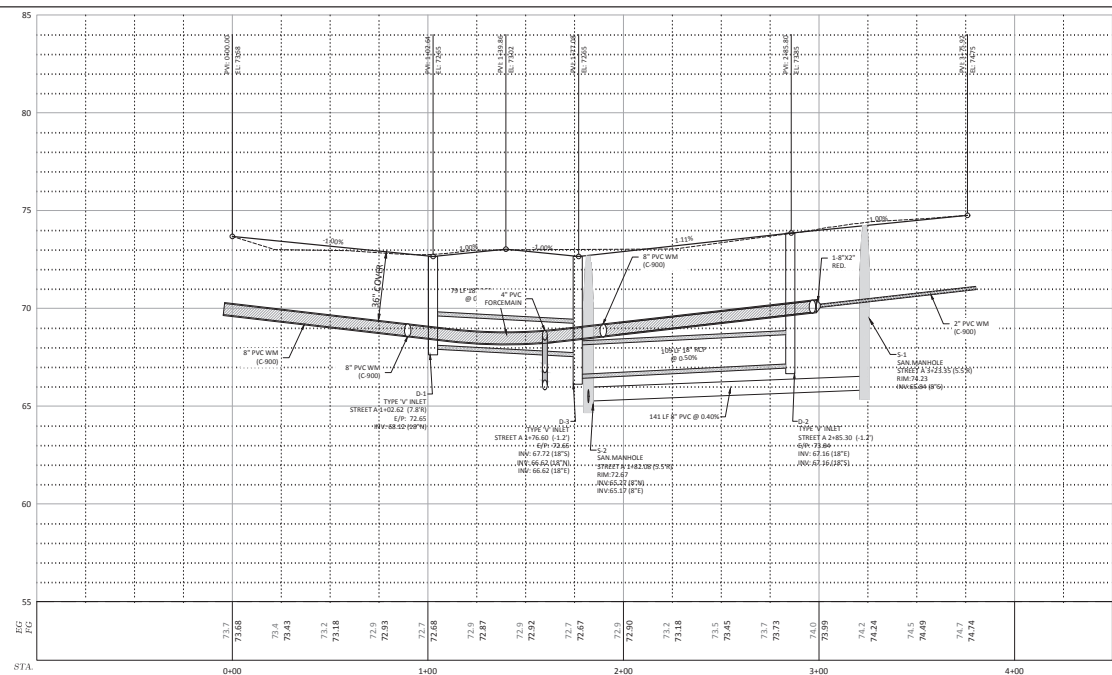
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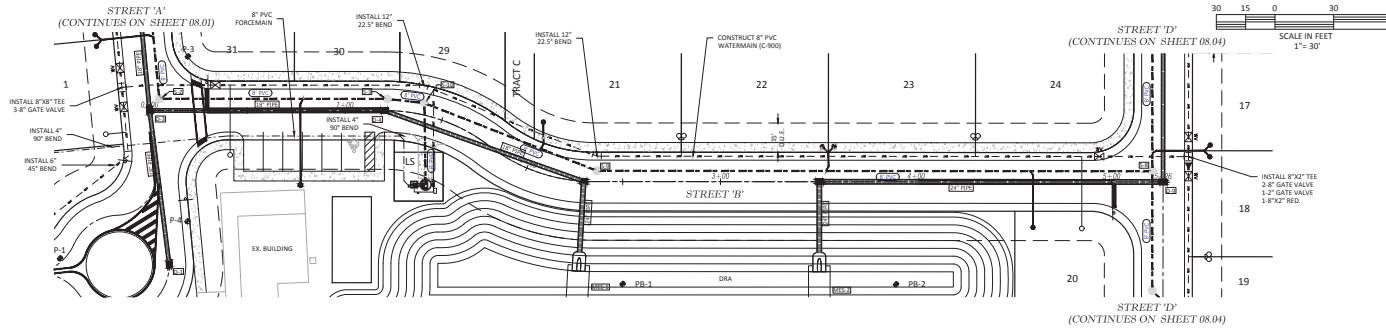
MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

DATE 05/09/2023
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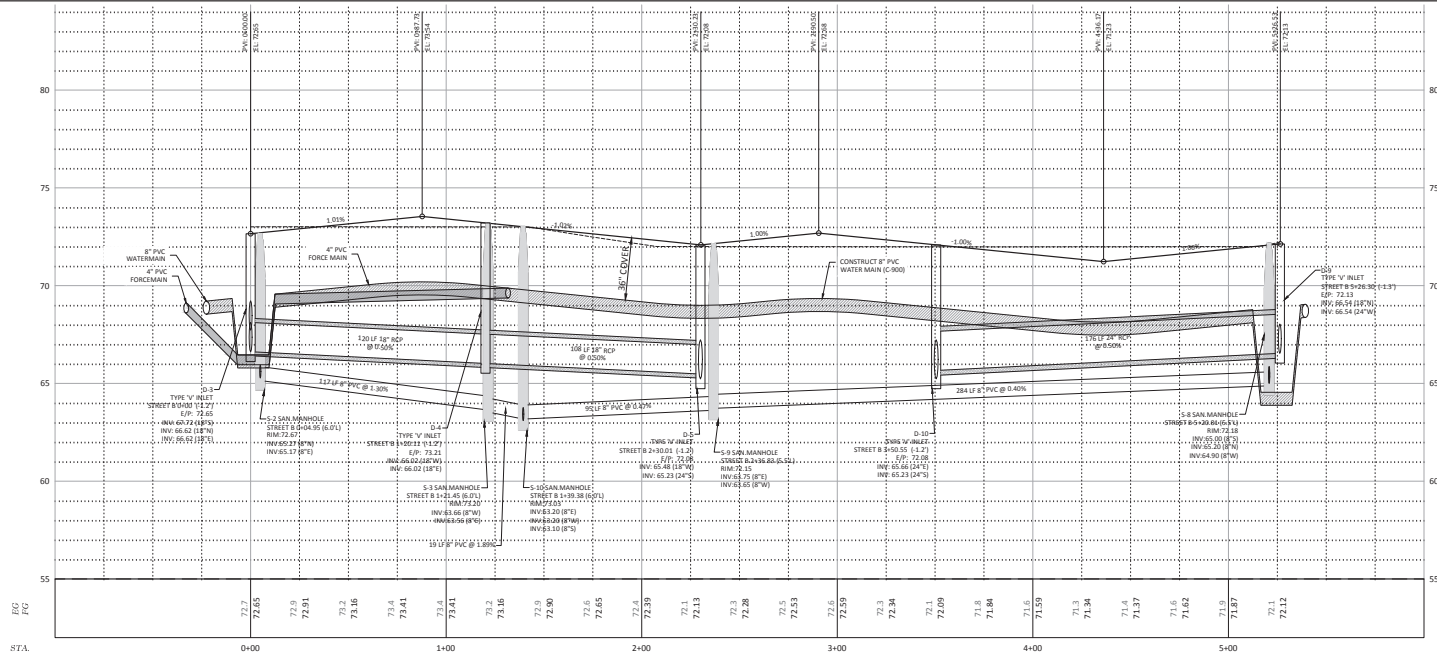
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STREET 'A'





STREET 'B'



HORZ. SCALE 1" = 30'
VERT. SCALE 1" = 3'

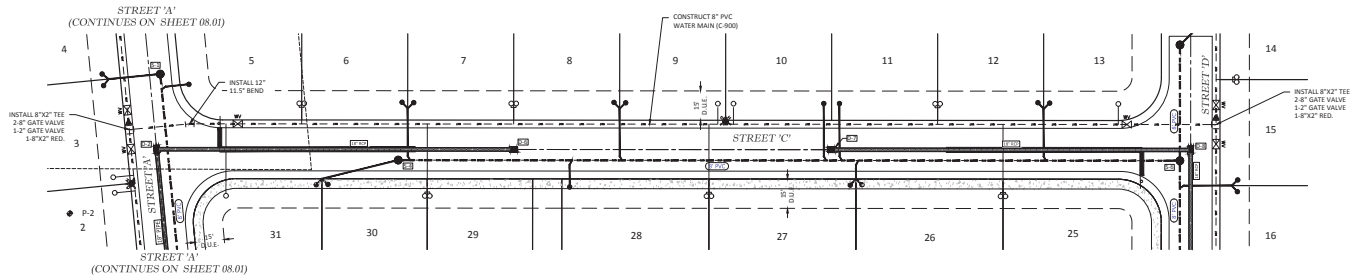
Millman & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION # 00796

REVISIONS	DATE

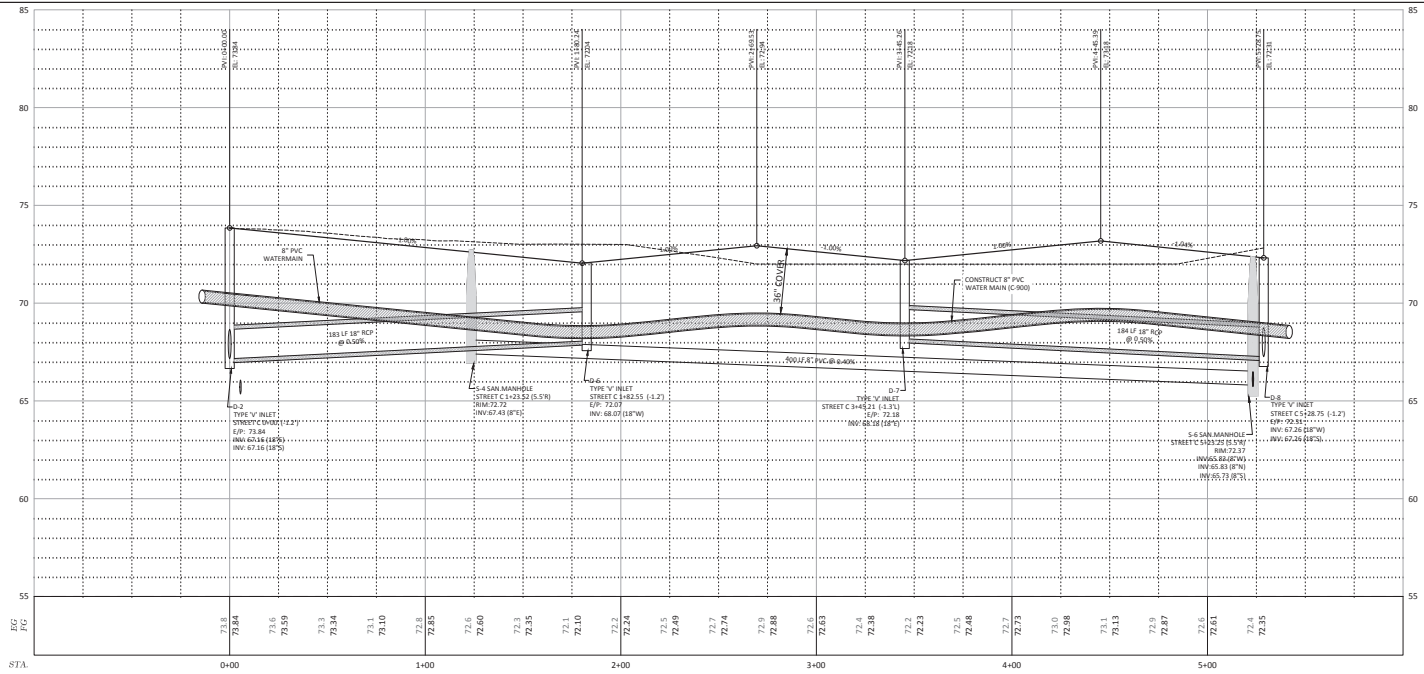
MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA
PLAN & PROFILE
STREET 'B'

DATE: 05/09/2023
DRAWN BY: JY
CHKD BY: KLA
JOB NO.: 24-8337

SHT. 08.02



STREET 'C'



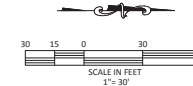
HORZ. SCALE 1" = 30'
VERT. SCALE 1" = 3'

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REVISIONS	DATE

MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA
PLAN & PROFILE
STREET 'C'
DATE: 05/09/2023
DRAWN BY: JY
CHKD BY: KLA
JOB NO.: 24-8332

SHT. **08.03**

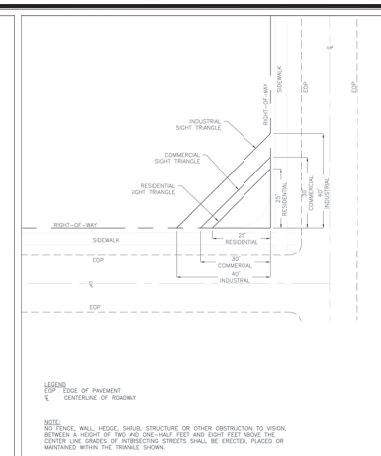


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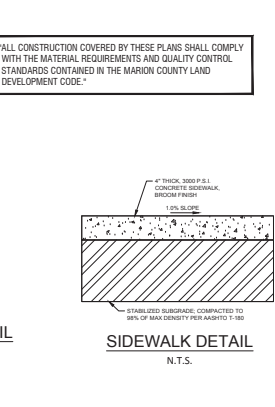
HORZ. SCALE 1" = 30'
VERT. SCALE 1" = 3'



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1	 Marion County FLORIDA CHIEF OF THE COUNTY ENGINEER	MCBCC EFFECTIVE		7.3.1
2		10/12/2013	SIGHT TRIANGLE	TS 038
		REVISION # NA		

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	FY 2024-25 STANDARD PLANS	TWO-LANE AND MULTILANE, WORK ON SHOULDER	INDEX 302-60
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UTILITY POSITION IN RIGHT-OF-WAY

"ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE."

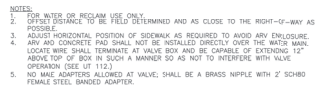
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[illegible]

MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

SHT. <u>09.01</u>	
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NOTES:

1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINED JOINT.
4. ALL IN-PIPE VALVES SHALL BE RESTRAINED.
5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE EXHIBIT BELL SHALL BE ANTIED END.
6. LENGTHS SHOWN IN THE TABLE ARE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA.
7. THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC INVESTIGATION, SUCH AS SOIL DESIGNATIONS AND LAYING CONDITIONS.
8. FOR LENGTH OF PIPE AND NUMBER OF JOINTS TO BE RESTRAINED SEE TABLE.
9. ONLY DUCTILE IRON FITTINGS SHALL BE USED AT JOINTS TO BE RESTRAINED UNLESS OTHERWISE INDICATED IN THE TABLE.

[illegible]

<p align="center">Notes</p> <p>MINIMUM WALL THICKNESS SHALL BE FIVE INCHES (5") TO A DEPTH OF TEN FEET (10'). WALL THICKNESS SHALL BE INCREASED TO SEVENTEEN INCHES (17") OF TEN FEET BELOW GRADE.</p> <p>2. THE INTERIOR, EXTERIOR, JOINTS AND DRILLED AREAS SHALL BE COVERED WITH TWO (2) COURSES OF EPOXY/RESIN/MAHAL.</p> <p>3. MINOR CRACKS WILL BE FURNISHED WITH FACTORY RATED BODIES TO CONNECT WITHIN PIPES TO MINOR CRACKS.</p> <p>4. CRACKS WILL BE REPAIRED WITH (2") FIBER AND COVER.</p> <p>5. FILL ABRASIVE WITH FIBER AND RUBBER GROUT FILLING OF MINOR CRACKS WILL BE GROUT.</p> <p>6. DEEP CRACKS AND CRACKS REQUIRING REPAIR OF ADJACENT SEWER OF 3" OR MORE SHALL BE REPAIRED BY THE MINOR CRACK CONNECTION METHOD.</p> <p>7. ADD TEST AT 50 FEET FOR BEARING P REQUIRED</p> <p>8. ALL TESTING REQUIRED FOR MINOR CRACK</p>		
Section		Detail

PRE-FORMED JOINT

PRE-IMPREGNATED PLASTIC JOINT FILLER WITH REINFORCING FIBERS

OUTSIDE WALL

OUTSIDE WALL

SQUARE JOINT

COMPLETED SQUARE JOINT WITH SQUARE JOINT

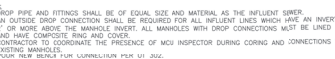
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Diagram illustrating the construction of a precast concrete manhole frame and cover assembly, showing various components and dimensions:

- SET COVERS FLUSH WITH FINISH GRADE**
- INFLOW PREVENTION**
- PRECAST CONCRETE RINGS OR 5'-0" HIGH PRECAST RING**
- EXTERNAL MANHOLE RING 5'-0" HIGH (TYP) (SEE NOTE 5)**
- APPROVED LINER PER SPECIFICATIONS (COMPLY WITH LINER TO EXTEND TO END OF FRAME AND COVER)**
- BENCH**
- FOOT #57 STONE (AS REQUIRED BY MOUNTAIN AREA SPEC CONDITIONS)**
- PRE-PRIMED JOINT SURFACES**
- INSIDE WALL**
- OUTSIDE WALL**
- PRE-MAILED PLASTIC JOINT SEALER, APPLIED TO BOTH LIPS**
- COMPLETED JOINT WITH INSIDE/OUTER**
- MANHOLE FRAME & COVER (SEE UP 3003)**
- FRAMES BEDED IN MORTAR**
- 1" - 6" MIN. 1" - 6" MIN. 1" - 6" MIN.**
- PIPE 8" CONCRETE 4,000 PSI - 28 DAYS**
- FLOW CHANNEL WITH APPROVED LINER (SLOPE OF EFFLUENT PIPE)**
- 6" MIN. 6" MIN. 6" MIN.**
- 8" MIN. 8" MIN. 8" MIN.**
- 12" MIN. 12" MIN. 12" MIN.**
- 4" MIN. 4" MIN. 4" MIN.**
- 2" MIN. 2" MIN. 2" MIN.**

NOTES:

- 1. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE GRAVITY MANHOLE CONNECTION DETAIL UT 303.
- 2. INVERTS SHALL BE AS SHOWN AND ONLY THE MINIMUM COVER SHALL BE MAINTAINED. SEE MCU ATTACH. ALL MANHOLES REQUIRING DROP CONNECTIONS SHALL COMPLY WITH UT 303.
- 3. A FLOW CHANNEL SHALL BE CONSTRUCTED IDEAL MANHOLE TO DROPT INFLUENT INTO FLOW CHANNEL.
- 4. ALL FITTINGS THROUGH STRUCTURE AND MANHOLE SHALL BE PROTECTED BY 1/2" THICK RUBBER GASKETS.
- 5. USE EXTERNAL WRAPI TO TIGHTLY WRAP MANHOLE AROUND CASTING JOINTS AND APPLY HIGH FLOW-RESISTANT TORCH TO EXTERNALLY SEAL. TAP FROM GROUND WATER INFILTRATION. ALL EXTERNAL HEAT SHROCK WRAPS SHALL BE INSPECTED IN PERSON, OR THROUGH A MCU APPROVED METHOD, BY A MCU CONNECTION REPRESENTATIVE.
- 6. FLOW PREVENTION LOSS SHALL BE REQUIRED FOR ALL MANHOLES.
- 7. PRECAST CONCRETE RINGS MAY BE SUBSTITUTED FOR PIPE RINGS.
- 8. SECTION HEIGHTS VARY AS REQUIRED, AND AS AVAILABLE.
- 9. ALL EXTERNAL WRAPPING, MANHOLE AND MANHOLE COVER SHALL BE PROTECTED AND TESTED IN ACCORDANCE WITH ASTM C1244

NOTES:

1. CLEARANCE OF 30" FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
2. AREAS SUPPORTING CONCRETE COLLAR OR SLAB SHALL BE PROPERLY COMPACTED.
3. TOP OF MANHOLE SHALL BE 2" ABOVE FINISHED GRADE, CROWN OF ADJACENT ROADWAY, OR 100 YEAR FLOOD ELEVATION, WHICHEVER IS GREATER.

[illegible]

1. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
2. RYE TO BE NO SHALLOWER THAN 3" AND DEEPER THAN 5".
3. ALL FITTINGS SHOULD BE TO BE INSTALLED.
4. SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY ETCHING OR STAMPING IN "S" OR "C" ON THE COVER OF THE MANHOLE. LOCATION SHALL BE MARKED IN "S" OR "C" ON THE ADJACENT REFLECTIVE MARKERS AS SPECIFIED BY WCU.
5. CLEANOUT CAP SHALL BE SET A MINIMUM OF 2" ABOVE THE FINISHED GRADE. CLEANOUTS SHALL BE SET IF ANY ADJACENT TO THE MAIN WITH A MINIMUM OF 18" ABOVE FINISHED GRADE.
6. DURING CONSTRUCTION, SERVICE LATERAL AND CLEANOUTS SHALL BE STUBBED OUT A MIN. ABOVE FINISHED GRADE AND SHALL BE CAPPED BY DEVELOPER'S SITE-WORK CONTRACTOR.
7. PROPERTY IS DEVELOPED AND CONNECTION TO EXISTING SERVICE LATERAL SHALL BE MADE BY THE PLUMBER SHALL SET RISER, INSTALL CLEANOUT CAP, REMOVE TEMPORARY PLUG.
8. SERVICE LATERAL TO HOUSE PLUMBING AND GROUND VENT BETWEEN CLEANOUT AND PAD.
9. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOWES WA SERVICE LATERAL, DOES NOT DRAIN BELOW THE GROUND SURFACE GRADE LINE.

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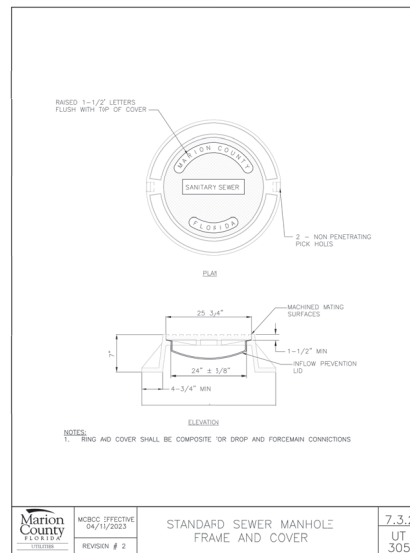
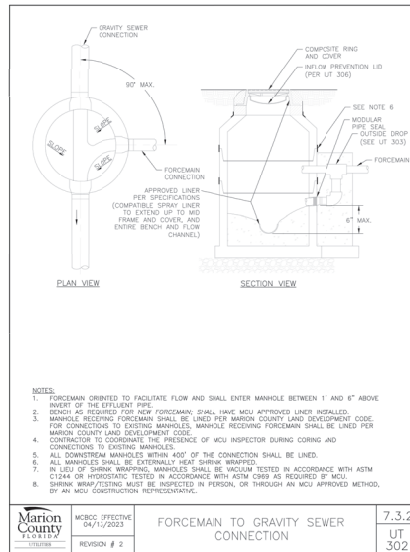
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MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

SANITARY SEWER DETAILS

DATE 3/6/2025
DRAWN BY PV
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JOB NO. 23-8333

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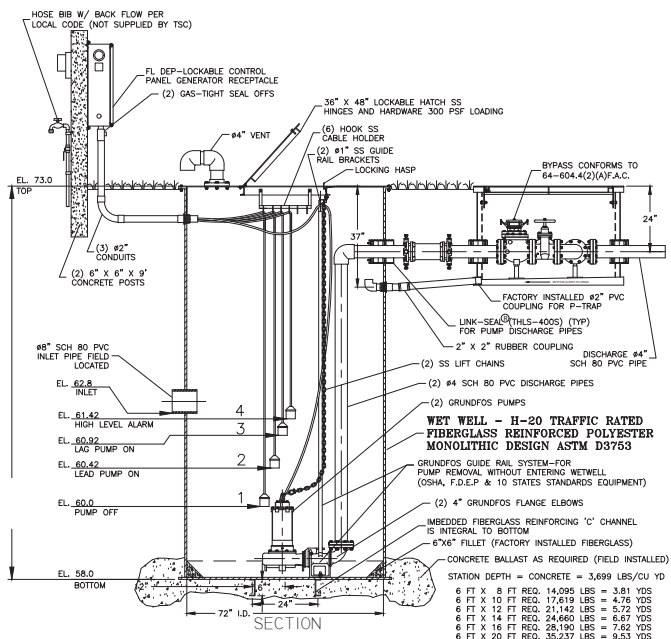
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MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

DATE 3/6/2025
DRAWN BY PV
CHKD. BY JMM
JOB NO. 23-8333

SHT. 12.02



1. HOSE BIBB WITH REDUCED PRESSURE BACK FLOW PREVENTER FIELD INSTALL BY CONTRACTOR

FURNISH AND INSTALL GRUNDFOS SUBMERSIBLE PUMPS:

DESIGN CONDITION:

MODEL	SLV.30.A30.80.	8	HP
GPM	208	41.9'	FT/TDh
VOLTAGE	480V	THREE	PHASE
DISCHARGE	4"	6.02"	IMPELLER

SEWAGE PUMP: 1. RATED FOR TWENTY (20) STARTS PER HOUR.

2. AIR FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS F INSULATION.
3. DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE)
LOCATED OUT OF THE PUMPAGE, IN A SEPARATE OIL FILLED CHAMBER.
4. HIGH TEMPERATURE BALL BEARINGS – B 10 RATING OF 60,000 HOURS,
UPPER AND LOWER BEARINGS – SINGLE ROW TYPE.
5. PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER
THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.
6. SINGLE PHASE MOTORS SHALL BE DUAL WOUND, CAPACITOR START-RUN AND
CAPABLE OF OPERATING AT 208/230 VOLT WITH 10% TOLERANCE VOLTAGE (190 TO 260)
(190 TO 260), THREE PHASE MOTORS SHALL BE DUAL WOUND AND CAPABLE OF
OPERATING ON 208/230 VOLT WITH 10% TOLERANCE VOLTAGE (190 TO 260)
(190 TO 260) AND 480 VOLT WITH 10% TOLERANCE VOLTAGE (426 TO 504).

FIBERGLASS WET WELL: SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE TEST PROCEDURE. ASTM D 3753 & H-20 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

ALUMINUM HATCH: TSC MODEL-78R (78") ROUND WITH 36" X 48" LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

VALVE BOX: FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM.
(FOR 4" DISCHARGE PIPING FXF HEADER SYSTEM)
SHALL BE 48" X 48" X 36" WITH ALUMINUM TOP 48" X 48" DOUBLE DOOR
LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT,
LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

ACCESSORIES: #304 S/S - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

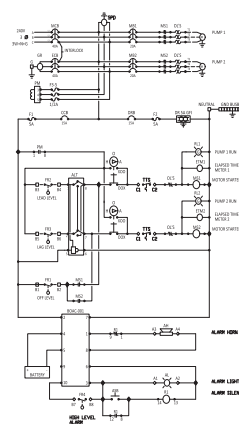
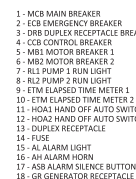
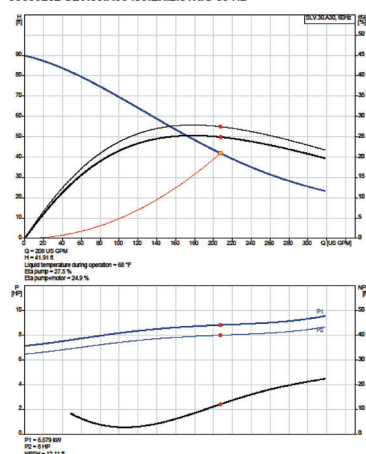
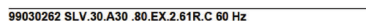
VALVES : SHALL BE SEWAGE SERVICE DESIGN LEVER AND WEIGHT CHECK VALVES AND RESILIENT SEAT GATE VALVES OPEN 100% WITH 2" SQUARE OPERATING NUT.

PIPING: 4" SCHEDULE 80 PVC.

FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO)

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.

THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, SLIDE RAIL ASSEMBLIES AND DISCHARGE PIPING ASSEMBLED BY TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION. THE MANUFACTURER OF PRE-FAB PUMP SOLUTIONS®:



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WASTE WATER PUMP STATION SPECIFICATIONS

GENERAL NOTES

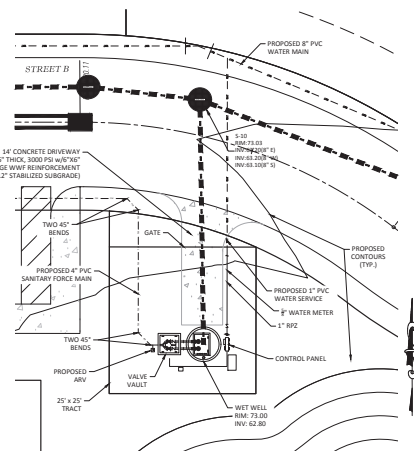
1. MINIMUM DISTANCE BETWEEN FENCE AND ALL INSTALLED EQUIPMENT SHALL BE 5'.
2. MANHOLE AND WETWELL SHALL HAVE HOPE LINING.
3. AIR RELEASE VALVE DISCHARGE LINE SHALL BE A MINIMUM OF 2" SCHEDULE 80 PIPE.
4. PUMP MANHOLE SHALL BE 36" DIAMETER MINIMUM. INFEAST PENTAGON SHALL BE 36" MINIMUM. THERE SHALL BE A MINIMUM OF ONE CONDUIT FOR LEVEL CONTROLS.
5. THE NUMBER OF CONDUITS REQUIRED FOR PUMP LINES SHALL BE DETERMINED BY THE PUMP MANUFACTURER. CONDUIT PENETRATIONS SHALL BE A MAXIMUM OF 24" FROM THE TOP OF THE LIFT STATION.
6. ALL EQUIPMENT PLACEMENT SHALL BE PROVIDED TO CITY OF BELLEVUE PUBLIC WORKS.
7. ALL EQUIPMENT PLACEMENT SHALL BE COORDINATED WITH CITY OF BELLEVUE PUBLIC WORKS TO DETERMINE THE MINIMUM NUMBER OF CONDUIT SIZES SHALL BE LESS THAN 20 EQUIPMENTS OF TOTAL TUNING.
- MANUFACTURER: HYDROMATIC
MODEL: SLV.30.A3.80
IMP: 9'00"
DIA: 36"
SPEED: 1750 RPM
- VOLTAGE: 480V
PHASE: 3
H.P.: 8
MAX. SQUID SIZE: 3 3/8" IN. (3 3/8" IN. CIRCUMFERENCE)

SHUT OFF HEAD: 70.1 FEET TDH
HEAD CONDITION: 208 GPM AT 41.9' TDH

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	6"	—
DIAMETER OF WELL	B	6' 0"	—
WIDTH OF BOTTOM FLIGHT	C	SEE NOTE 1	—
C/L OF WELL FLOOR TO TOP OF PILES	D	SEE NOTE 1	—
WIDTH OF PLANK ACCESS OPENING	E	SEE NOTE 1	—
WIDTH OF PLANK ACCESS OPENING	F	SEE NOTE 1	—
CENTER OF WELL TO EDGE OF HATCH	G	SEE NOTE 1	—
LIP WIDTH OF WETTEL BASE	R	18"	—
THICKNESS OF WETTEL BASE	S	12"	—
TOP OF WELL	T	—	73.00
FINISHED GRADE	U	—	71.00
HIGH LEVEL ALARMS	V	—	63.42
LEAD PUMP ON	W	—	60.92
LEAD PUMP OFF	X	—	60.42
PUMPS OFF (TOP OF FLOOR VOLTAGE)	Y	—	60.00
BOTTOM OF PLANK TO FLOOR OF WELL	Z	—	—
STEP HEIGHT (IF REQUIRED)	Q	—	—
FLOOR OF WELL	Q	—	58.00

LIFT STATION NOTES:

1. PER PUMP MANUFACTURER'S REQUIREMENTS, DIMENSION P AND ELEVATIONS Y AND Z MUST MEET MANUFACTURER'S REQUIREMENTS.
2. TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 1' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.
3. SYMBOLS SHOWN IN TABLE ARE USED IN DETAILS UT515 AND UT516.
4. LIGHTNING ARRESTER/SURGE CAPACITOR AND KILL SWITCH SHALL BE PROVIDED.
5. BATTERY BACKUP FOR AUDIBLE ALARM AND WARNING LIGHT SHALL BE PROVIDED.



LIFT STATION PLAN
SCALE: 1" = 10'

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MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

DATE 03-06-25
DRAWN BY PV
CHKD. BY JMM
JOB NO. 23-8333

SHT. 12.03

NOTES:

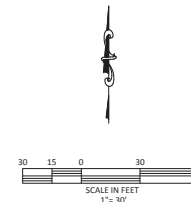
1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPSPUR AREA HAS BEEN STABILIZED BY SOIL OR COMPOUND AS DETERMINED BY THE OWNER.
2. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXISTING IN LIEU OF PERMANENT MEASURES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
5. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
6. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
7. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
8. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
9. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (S.F.).
10. ALL INLETS TO BE PROTECTED BY DETAILS AS OUTLINED IN P.D.O.T. 2008 INDEX NO. 102.

NOTES:

1. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE OTHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.
2. ALL DISTURBED AREAS TO BE SOODED OR SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINAL GRADING.

EROSION CONTROL LEGEND

- PROJECT BOUNDARY
PROPOSED SILT FENCE



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CERTIFICATE OF AUTHORIZATION # 24796

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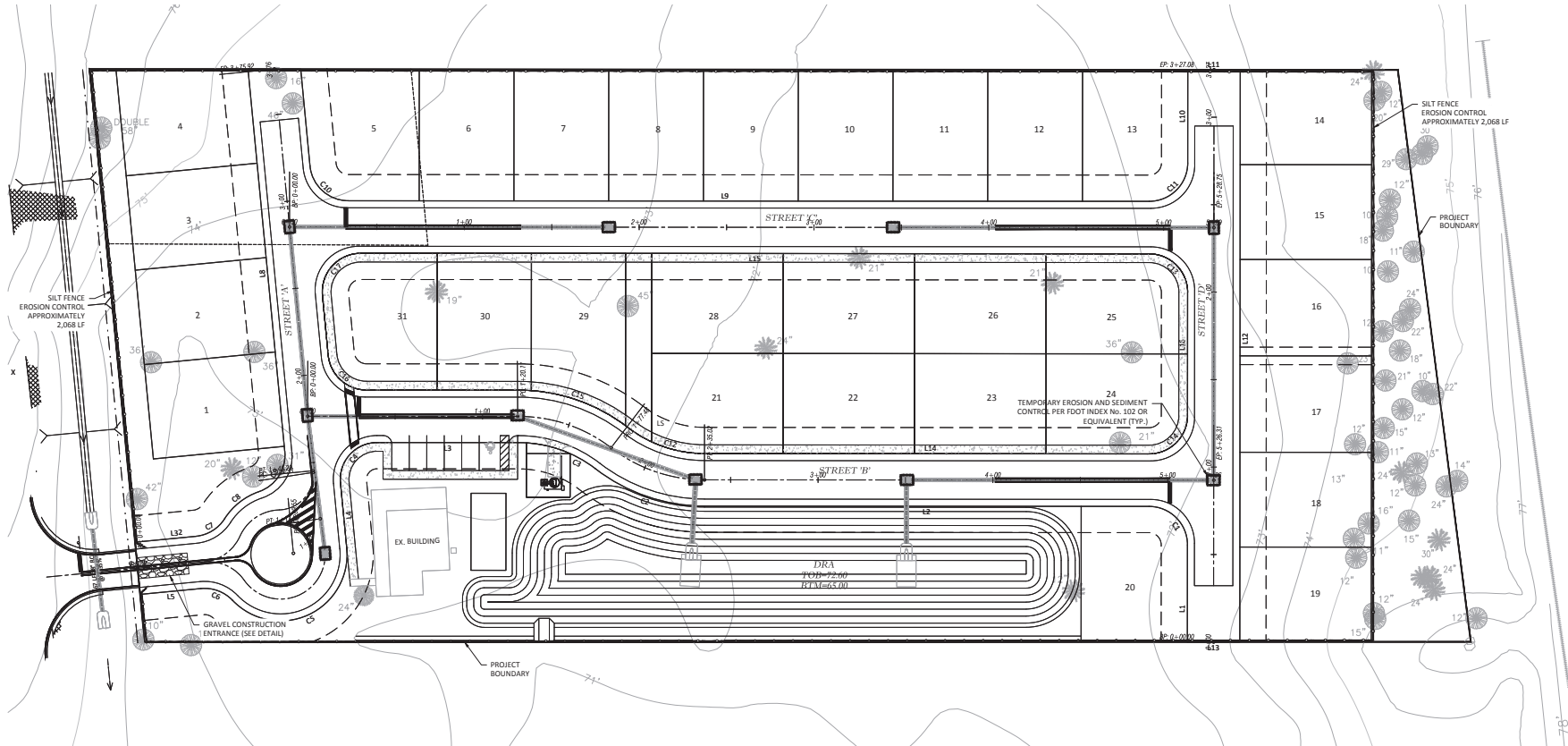
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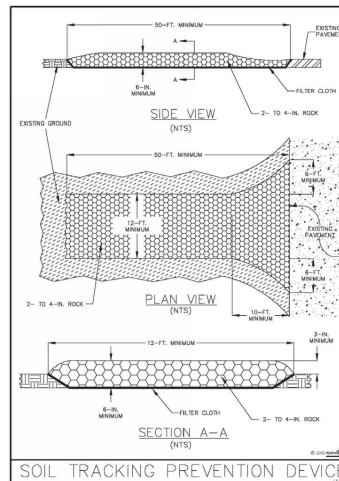
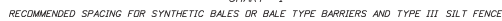
MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA
EROSION CONTROL PLAN

DATE: 05/09/2025
DRAWN BY: PH
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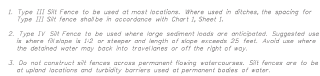
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Marion County Approval Stamp



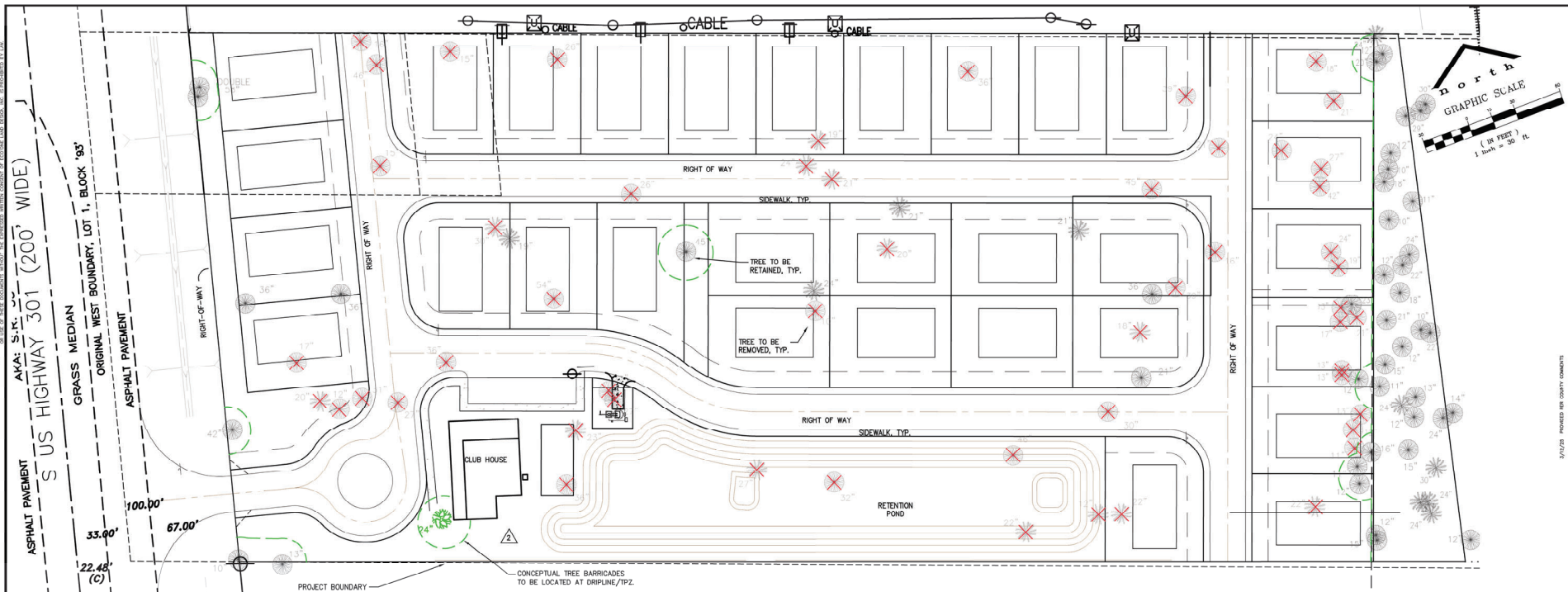
Tillman & Associates
—ENGINEERING, LLC.—
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION # 26796

[illegible]

MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

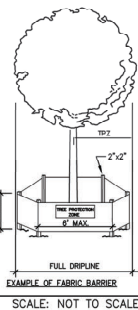
DATE 3/6/2025
DRAWN BY PV
CHKD. BY JMM
JOB NO. 23-8333

SHT. 13.02



TREE PROTECTION BARRICADE NOTES:

- Barricades shall be constructed of a rigid and lasting material that shall remain whole throughout the duration of construction.
- Barricade areas may be increased in size or combined for multiple trees, so long as barricades do not encroach into the tree canopy drip line.
- Damaged or missing barricades or signs shall be immediately repaired or replaced.
- Barricades shall remain intact until landscape operations begin, or when construction has been finished.
- Landscape preparation or installation shall be performed by hand within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area.
- Removal is prohibited within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area. Removing is required if utilities are routed through these areas.
- The movement or the storage of equipment, materials, debris, or fill within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area is prohibited.
- The clearing of construction equipment, tools, materials, or the disposal of waste, e.g. paint, oil, solvents, asphalt, concrete, mortar, within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area is prohibited.
- Tree Protection Zone: A circular zone around each protected tree defined as follows:
 - If the drip line is less than six (6) feet from the trunk of the tree, the zone shall be that area within a minimum radius of six (6) feet around the tree.
 - If the drip line is more than six (6) feet from the trunk of the tree, but less than twenty (20) feet, the zone shall be that area within a radius of the full drip line around the tree.
 - If the drip line is twenty (20) feet or more from the trunk of the tree, the zone shall be that area within a minimum radius of twenty (20) feet around the tree.
- Broken limbs or stripped bark should be promptly removed and treated.
- Control irrigation and fertilization of trees under stress during construction.
- ROOT PROTECTION NOTES: Protect and care for existing tree roots to remain by minimizing damage from compaction, excavation, and disease. When work is required that may damage the roots of trees to remain, cut roots in advance using sharp, clean, mechanical and hand tools. For work within the tree protection zones, hand clear and excavate using narrow-tine spacing tools to control soil and expose roots. Selectively cut and prune roots. Immediately following root pruning, trees shall be thoroughly watered and have a four (4) inch cover of clean R-15 CANOPY PROTECTION NOTES: Contractor shall lift tree canopy of existing trees to remain or required along proposed building, parking and drive sides, and sidewalks, according to International Society of Arboriculture Best Management Practices - Tree Pruning. Refer to TP-3AS Fact Sheet LHM 801 for additional tree pruning criteria.



1 TREE BARRICADE
LP-3 DETAIL

TREE PRESERVATION AND REMOVAL

SEE CIVIL PLANS FOR SITE DATA

EXCEPTIONS: (SEC 6.7.2.6)
EXCLUDES PARCELS TO BE USED FOR SINGLE FAMILY DWELLINGS
(0.66 AC PROPERTY - 5.37 AC SFR PARCELS - 29 AC TREE PROJECT AREA)

PROTECTED TREE REPLACEMENT REQUIREMENTS (SEC 6.7.6)

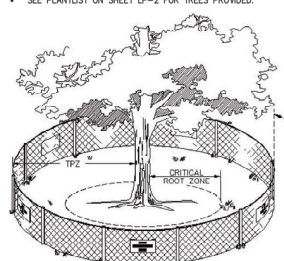
RETAIN / REPLACE TREES EQUAL TO THE LESSER OF PRE-DEVELOPMENT INCHES PER ACRE, OR 100" DBH PER ACRE.
(SEE SUMMARY ON LP-1 FOR PROVIDED TREES)
(SEE PLANT LIST ON LP-2)

PROTECTED TREES: SEC (SEC 6.7.3)
ALL TREES 10" DIAMETER BREST HEIGHT (DBH) OR LARGER ARE PROTECTED BY CODE.

SUBMITTAL REQUIREMENTS (SEC 6.7.6)

NOTES:

- ALL EXISTING TREES ARE ASSUMED VIABLE AND FAVORABLY ASSESSED.
- SEE PLANTLIST ON SHEET LP-2 FOR TREES PROVIDED.



TREE PROTECTION, REMOVAL, PERMITTING, AND INSPECTIONS
The following requirements shall be conditions of tree protection and removal permits, all permits for construction in public right-of-way, and all development permits issued under and pursuant to the Marion County Code.

- Tree preservation and/or replacement inspections are required to ensure compliance with the Marion County Code and with permitting requirements.
- Prior to any clearing, grubbing, or any construction, tree protection barricades shall be erected around all trees to be preserved. Protection barricades shall be approved by the County's Landscape Architect or designed prior to construction.
- Prior to any clearing, grubbing, or construction, a preliminary inspection shall be conducted by the County's Landscape Architect or designed to confirm that the permittee has marked trees permitted to be removed and has installed tree protection barricades around trees to be preserved. Any deficiencies noted during this inspection shall be noted on the permit and shall constitute notice to proceed with tree removal. Following the preliminary inspection, approval shall be noted by the County's Landscape Architect or his designee on the permit and shall constitute notice to proceed with tree removal.
- Contractor shall have all agreements and permits secured for demolition and protection or project site.
- Owner is responsible for ensuring that all possible measures are taken to avoid damage to trees not approved for removal.
- Trees to remain shall be protected per the Marion County, Florida Tree Protection and Replacement specifications, including minimizing alterations to the site topography and protecting trees from any damage to preserve the long term viability of existing trees.
- The movement or the storage of equipment, materials, debris, or fill within the Tree Protection Zone (TPZ) or drip line of any protected tree is prohibited.
- The clearing of construction equipment, tools, materials, or the disposal of waste, e.g. paint, oil, solvents, asphalt, concrete, mortar, within the TPZ or drip line of any protected tree is prohibited.
- The contractor shall inspect all tree protection barricades and signs every week throughout construction. Any barricade or sign that is damaged or missing shall be immediately replaced.
- Any tree not permitted for removal that is destroyed or damaged so as to place its long term survival in question, shall be replaced at an inch-to-inch basis of the total (combined) title of the tree(s) so destroyed or damaged. The replacement trees shall be of comparable species to the destroyed or damaged trees with a minimum replacement size of 3.5-inch caliper. The County reserves the right to establish a replacement value for each tree and program into the Tree Mitigation Fund may be authorized by the County's Landscape Architect.
- No Certificate of Occupancy or Certificate of Completion, as appropriate, may be issued for any development involving the removal of trees requiring a permit, until all required inspections have been completed and approved.
- A final inspection shall be conducted by the County's Landscape Architect or designed after completion of tree removal and replacement. Following final inspection, and if found to be in accordance with the approved plans and requirements, approval shall be noted by the County's Landscape Architect or designed on the permit and shall constitute notice of compliance with the required maintenance period of replacement trees if replacement is required.

ROOT PROTECTION NOTES:

Protect and care for existing tree roots to remain by minimizing damage from compaction, excavation, and disease. When work is required that may damage the roots of trees to remain, cut roots in advance using sharp, clean, mechanical and hand tools. For work within the tree protection zones, hand clear and excavate using narrow-tine spacing tools to control soil and expose roots. Selectively cut and prune roots. Immediately following root pruning, trees shall be thoroughly watered and have a four (4) inch cover of clean R-15.

CANOPY PROTECTION NOTES:

Contractor shall coordinate with Landscape Architect prior to canopy pruning. Lift tree canopy of existing trees to remain or required along proposed building, parking and drive sides, and sidewalks, according to International Society of Arboriculture Best Management Practices - Tree Pruning. Refer to TP-3AS Fact Sheet LHM 801 for additional tree pruning criteria.

REMOVED TREES

SPECIES	DBH	SPECIES	DBH
6 OAK	8	10 PINE	18
7 OAK	10	11 PINE	19
8 OAK	12	12 PINE	20
9 OAK	14	13 PINE	21
10 OAK	16	14 PINE	22
11 OAK	18	15 PINE	23
12 OAK	20	16 PINE	24
13 OAK	22	17 PINE	25
14 OAK	24	18 PINE	26
15 OAK	26	19 PINE	27
16 OAK	28	20 PINE	28
17 OAK	30	21 PINE	29
18 OAK	32	22 PINE	30
19 OAK	34	23 PINE	31
20 OAK	36	24 PINE	32
21 OAK	38	25 PINE	33
22 OAK	40	26 PINE	34
23 OAK	42	27 PINE	35
24 OAK	44	28 PINE	36
25 OAK	46	29 PINE	37
26 OAK	48	30 PINE	38
27 OAK	50	31 PINE	39
28 OAK	52	32 PINE	40
29 OAK	54	33 PINE	41
30 OAK	56	34 PINE	42
31 OAK	58	35 PINE	43
32 OAK	60	36 PINE	44
33 OAK	62	37 PINE	45
34 OAK	64	38 PINE	46
35 OAK	66	39 PINE	47
36 OAK	68	40 PINE	48
37 OAK	70	41 PINE	49
38 OAK	72	42 PINE	50
39 OAK	74	43 PINE	51
40 OAK	76	44 PINE	52
41 OAK	78	45 PINE	53
42 OAK	80	46 PINE	54
43 OAK	82	47 PINE	55
44 OAK	84	48 PINE	56
45 OAK	86	49 PINE	57
46 OAK	88	50 PINE	58
47 OAK	90	51 PINE	59
48 OAK	92	52 PINE	60
49 OAK	94	53 PINE	61
50 OAK	96	54 PINE	62

SEE REPLACEMENT CALCULATIONS
ON SHEET LP-1.

REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION USE

Ecotone Land Design
Landscape Architectural Site Planning

1801 Spring Court, Maitland, Florida 32751
PHONE: (407) 331-2225 • FAX: (407) 330-2868

3/15/2025 PROVIDED FOR COUNTY COMMISSION

REV. NO.	DATE	DESCRIPTION
1	3/15/2025	PROVIDED FOR COUNTY COMMISSION
2	3/15/2025	PROVIDED FOR COUNTY COMMISSION

TREE PRESERVATION PLAN

WHISPER WOODS

FLORIDA

MARION COUNTY

PROJECT NO. 25007
DATE 2/5/2025
SCALE AS SHOWN

SHEET NO. LP-3 OF 4

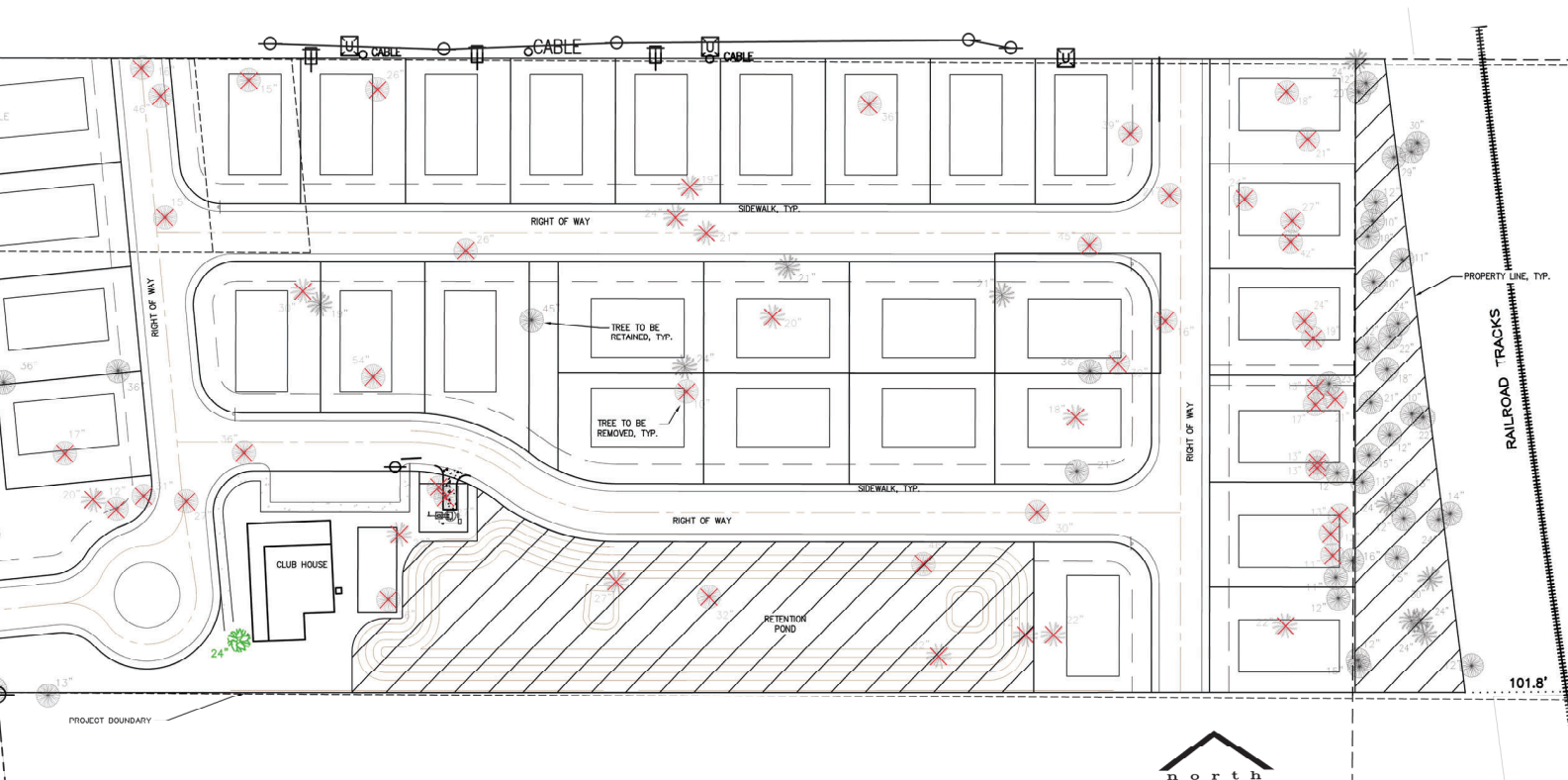
THIS PLAN WAS PREPARED BY ECOTONE LAND DESIGN, INC. FOR THE PROJECT OF WHISPER WOODS, A RESIDENTIAL DEVELOPMENT, SITUATED IN MARION COUNTY, FLORIDA. THE PROJECT IS OWNED BY WHISPER WOODS, LLC. THE PROJECT IS SITUATED IN MARION COUNTY, FLORIDA. THE PROJECT IS SITUATED IN MARION COUNTY, FLORIDA.

MARK LANIER JOHNSON
FLORIDA LICENSE NO. 1535

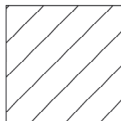
Call 48 hours before you dig in Florida

Sunshine811
It's the Law!
Call '811'

AKA: S.R. 35
 S US HIGHWAY 301 (200' WIDE)
 ASPHALT PAVEMENT
 GRASS MEDIAN
 ORIGINAL WEST BOUNDARY, LOT 1, BLOCK '93'
 ASPHALT PAVEMENT
 RIGHT-OF-WAY
 100.00'
 67.00'
 22.48' (C)
 33.60'
 42°



SEC 0.0.5
MARION-FRIENDLY LANDSCAPING AREA (MFLA):
That portion of a new or expanded development that through the approved development plans, documents, and deed restrictions, is identified to be maintained as Marion-Friendly Landscaping and where the use of high volume irrigation, non-drought tolerant plants, and lawn chemicals (fertilizers and pesticides) on turfgrass is prohibited.
INSIDE PRIMARY SPENDING PROTECTION ZONE = 20% OF PROJECT AREA SHALL BE A MARION-FRIENDLY LANDSCAPING AREA.
PROJECT AREA = 5.77 ACRES
REQUIRED = 87 AC (0.15 x 5.77)
REQUIREMENT = 29 AC



MFLA AREA



REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION USE

Ecotone Land and Design^{INC.}
Landscape Architectural Site Planning

1850 Kings Court • Kissimmee, Florida • 34741
Phone: (407) 931-2225 • Fax: (407) 201-3884

[illegible]

MFLA

THE OLE OAK VILLAGE

FLORIDA

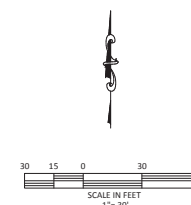
MARION COUNTY

PROJECT NO./FILE NAME	DESIGNED
25007	MLJ
DATE	DRAWN
2/5/2025	MLJ
SCALE	CHECKED
AS SHOWN	MLJ
SHEET NO. LP-4 OF 4	

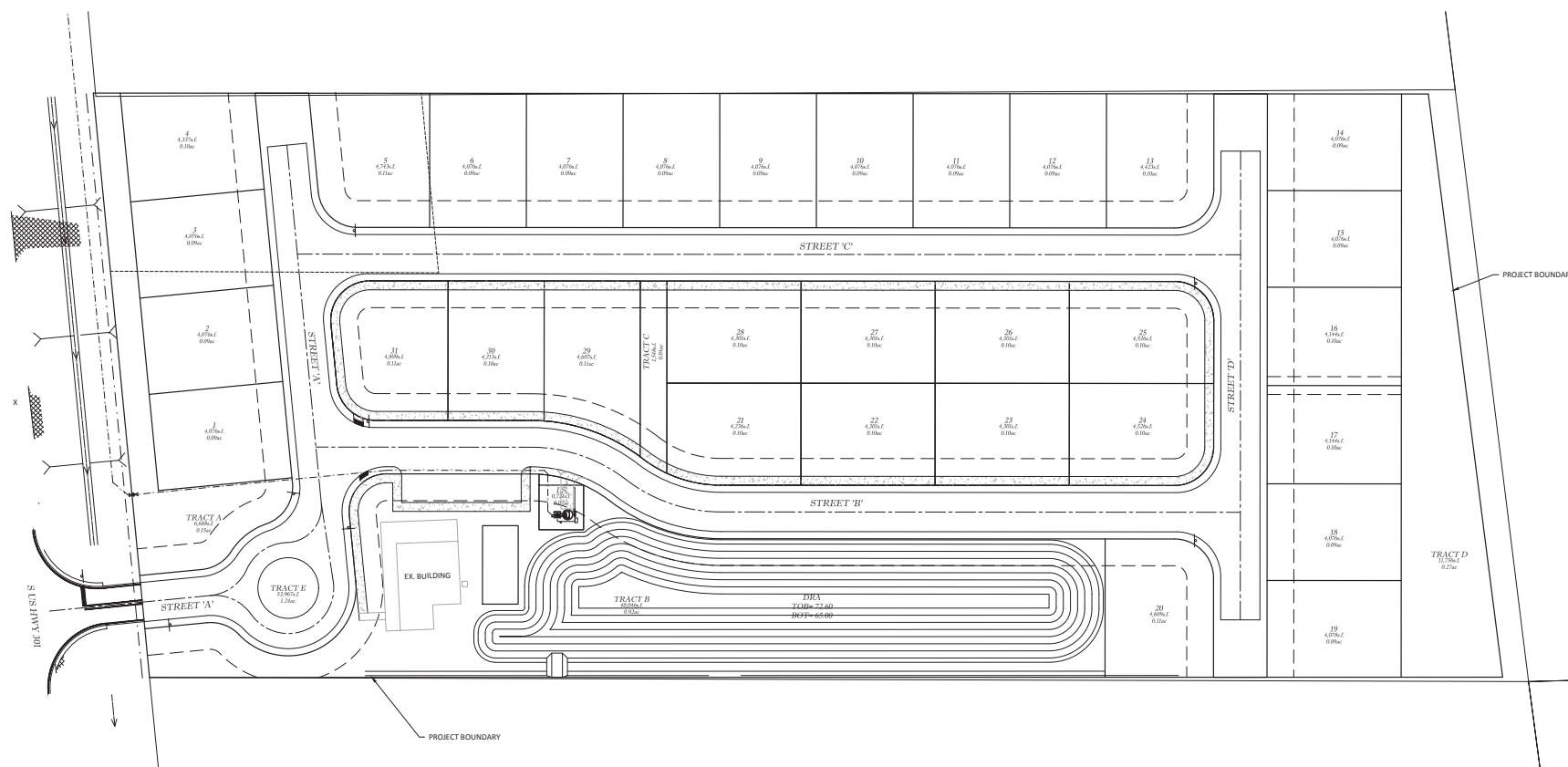
This has been electronically signed & sealed
Mark L. Johnson, RLA, on 5-13-2025.
Printed copies of this document are not
considered signed & sealed and the signature
must be verified on any electronic copies.

MARK LANIER JOHNSON
FLORIDA LICENSE NO. 1630

IMPROVEMENT PLANS STREET NAME	MARION COUNTY STREET NAME
STREET 'A'	
STREET 'B'	
STREET 'C'	
STREET 'D'	



Marion County Approval Stamp

[illegible]

MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

911 MANAGEMENT PLAN

DATE 5/9/2025
DRAWN BY PV
CHKD. BY JMM
JOB NO. 23-8333

SHT. RN.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



GRAPHIC SCALE IN FEET
SCALE: 1" = 20'



BUILDING DETAIL
SCALE: 1" = 30'

STATE PLANE AND ELEVATION NOTES:

ELEVATION MEASUREMENTS ACQUIRED USING 1000
ANTENNA, CORRECTED WITH DATA FROM F.D.O.T. F.P.R.N.
REFERENCE NETWORK AT STATION "OCAL".
VERTICAL DATUM = NAVD-83 HORIZONTAL DATUM = NAD-83
BENCHMARK TABLE BELOW BASED ON FLORIDA STATE PLANE
COORDINATE SYSTEM ZONE: WEST (9003)

STATE PLANE / BENCHMARK TABLE			
LG.	NORTHING	EASTING	ELEVATION
BM1	1713883.31	641552.40	74.89'
BM2	1713820.91	641706.12	73.21'
BM3	1713979.53	641580.79	76.90'

SURVEY REPORT

LEGEND:

- A/C AIR CONDITIONER
- B.F. BOARD FENCE
- C/L CENTER LINE
- C.L.F. CHAIN LINK FENCE
- C.C. CONCRETE
- D. CENTRAL ANGLE
- F.C. FENCE CORNER
- M.E.A. MARION ENGINEERING & ASSOC.
- M.E.C. MOOREHEAD ENGINEERING CO.
- N.P. NOT PERMANENT
- P.C.P. PERMANENT CONTROL POINT
- P.O.B. POINT-OF-BEGINNING
- P.O.C. POINT-OF-COMMENCEMENT
- P.P. POWER POLE
- P.R.M. PERMANENT REFERENCE MONUMENT
- R. RADIUS
- R/W RIGHT-OF-WAY
- SAT. SATELLITE
- (D) DESCRIPTION
- (P) FIELD MEASURED
- (F) FENCE
- (R) RADIAL
- (O) OVERHEAD POWER LINE
- V.F. VINYL/PVC FENCE
- W.F. WIRE FENCE
- 4"x4" CONCRETE MONUMENT
- IRON ROD
- NAIL & DISK
- BREAK IN LINE
- TELEPHONE BOX
- WM WATER METER BOX
- UTM UTILITY TRANSFORMER BOX
- STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION 36050-2501
- DESCRPTIVE POINT; NOT FOUND OR SET
- PINE TREE
- OAK TREE
- MAGNOLIA TREE

NOTES:

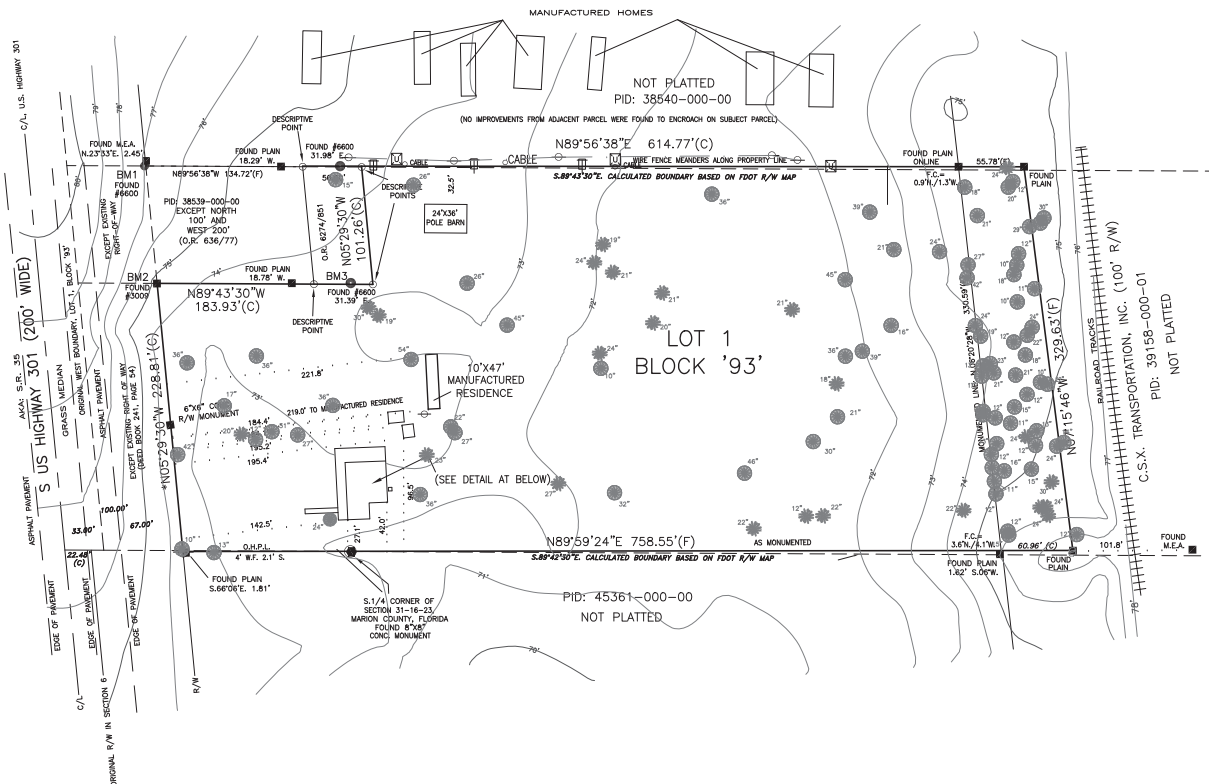
- THIS SURVEY IS BASED ON THE PROPERTY DESCRIPTION PROVIDED BY THE CLIENT.
- ASSUMED NORTH IS BASED ON THE BEARING FOR THE LINE SHOWN WITH (Y).
- UNDERGROUND ENCROACHMENTS WERE NOT LOCATED UNLESS OTHERWISE SHOWN.
- THE LOCATIONS OF ANY EASEMENTS OR RIGHTS-OF-WAY OF RECORD, OTHER THAN THOSE SHOWN ON RECORDED PLATS ARE NOT SHOWN.
- ALL STREETS OR STREET RIGHTS-OF-WAY SHOWN ARE PHYSICALLY OPEN UNLESS OTHERWISE SHOWN.
- ALL DISTANCES ARE EITHER DEED OR PLAT UNLESS OTHERWISE SHOWN.
- FENCES ARE NOT SHOWN, EXCEPT AS SHOWN, AND ARE TYPICALLY 4-FOOT WIRE FENCES; OFFSETS AT CORNERS ARE INDICATED.
- ORIGINAL LOT LINES SHOWN ON THE STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION 36050-2501 WERE USED TO DETERMINE LOCATION OF LANDS DESCRIBED IN THE EXCEPTION IN THE NW CORNER OF THE SUBJECT PARCEL.

DESCRIPTION:

LOT 1, BLOCK 93, TOWN OF BELLEVUE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK "A", PAGE 15 AND 15-B, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, EXCEPT 100 FEET NORTH AND SOUTH BY 200 FEET EAST AND WEST IN THE NORTHWESTERLY CORNER THEREOF, AND EXCEPT EXISTING RIGHT OF WAY AND ADDITION THERE TO, DATED APRIL 19, 1940, RECORDED OCTOBER 16, 1940, IN DEED BOOK 241, PAGE 54, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, LESS ANY PORTION CONTAINED IN BOOK 6274, PAGE 851.

REVISED SURVEY BASED ON COUNTY-PROVIDED NOTES (8/13/24): AUGUST 23, 2024
CORRECTED SOUTH BOUNDARY DIMENSION AND OFFSETS: DECEMBER 28, 2023
ADDED EDGES OF PAVEMENT ALONG PARCEL AND MEDIAN: JUNE 07, 2023
ADDED TREE LOCATION & TOPOGRAPHIC MAP: MAY 09, 2023
ADDED CORNERS FROM THE NORTH: JANUARY 5, 2023
SURVEY DATE: DECEMBER 27, 2022

ANDREW W. CARBAUGH, LICENSE NUMBER 6787
BOARD CERTIFIED SURVEYOR AND MAPPER
STATE OF FLORIDA



ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR SURVEY REPORT ARE PROHIBITED. THIS SURVEY MAP AND REPORT, OR COPIES THEREOF, ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. NO ONE OTHER THAN THE PARTY OR PARTIES NAMED HEREON SHALL RELY ON THIS SURVEY.

BOUNDARY
SURVEY
CERTIFIED TO:

MANUFACTURED HOUSING ONE, LLC OR OHAD PERI
A & B TITLE AND ESCROW SERVICES, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

C & A SURVEY, INC.
CERTIFICATE OF AUTHORIZATION NO. LB #7872
3106 E. FORT KING STREET OCALA, FLORIDA 34470
352.694.6566 CandAsurvey.com

SCALE: 1"=50'
F.B.: 452 PG.: 15
FILE: 1250239