



Marion County

Development Review Committee

Meeting Agenda

Monday, May 4, 2026

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **ADOPT THE FOLLOWING MINUTES:**
 - 3.1. [April 27, 2026](#)
4. **PUBLIC COMMENT**
5. **CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL**
 - 5.1. [OCALA CROSSINGS SOUTH PHASE 4 - Preliminary Plat](#)
[Parcel # 35623-005-00 #31381](#)
[Mastroserio Engineering, Inc.](#)
6. **SCHEDULED ITEMS:**
 - 6.1. [Watching Park Farms- Agricultural Lot Split 000287- Waiver to County MSBU](#)
[Parcel # 20909-028-00 & 20909-031-00 #WaiverPIR-000325-2026](#)
[JCH Consulting Group, Inc.](#)

[LDC 2.16.1.B\(8\)\(g\) - Agricultural lot splits outside of the Urban Growth Boundary](#)
[CODE A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC.](#)
[APPLICANT requesting waiver to the County MSBU for an Agricultural Lot Split consisting of six \(6\) parcels divided from the parent parcels. Parcel No. 20909-028-00 and Parcel No.20909-031-00. There is already an HOA in place.](#)

- 6.2.** [Arden of Ocala- Mass Grading Plan 000394 - Waiver to Mass Grading Plan in Review](#)
[Parcel # 9018-0000-06 & 37471-013-00 #WaiverPIR-000677-2026](#)
[Dave Schmitt Engineering, Inc.](#)

[LDC 6.13.6.A.3.c Stormwater quality criteria](#)

[CODE states Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1 and sodded bottoms.](#)

[APPLICANT request - Due to the site constraints, we are requesting a pond depth variance from 6 ft to 9 ft per the current plan. 1\) The SJRWMD required a 20 ft maintenance berm on sides we have slope. 2\) Since the pond doesn't recover the full amount, we had to hold back-to-back 100 year/24-hour storm events, which they approved. 3\) We back-to-back maintain a 75 ft distance from the current existing well on site.](#)

- 6.3. [Lowell Correctional Institute - Major Site Plan 33538 - Waiver to Major Site Plan in Review](#)
[Parcel #: 07399-083-00 # WaiverPIR-000620-2026](#)
[Kimley-Horn and Associates](#)

[LDC 6.4.7 and LDC 2.12.8](#)

[CODE states Vertical control shall be provided and meet the following: \(1\) All surveys submitted for the purpose of construction shall show a minimum of two bench marks per site. For linear construction, bench marks shall be set at 1,000-foot intervals. For large acreage sites, additional bench marks may be required by the County Surveyor, not to exceed a ratio of one bench mark per 20 acres. \(2\) Bench mark information shall be in a current datum approved by the Office of the County Engineer. \(3\) Plans shall have a statement or table detailing vertical datum and adjustment, including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the vertical information shown. One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review. \(4\) When using stationing, all vertical control points shall be referenced to station and offset information. B. Horizontal control shall be provided and meet the following: \(1\) All surveys submitted for the purpose of construction shall show a minimum of two intervisible horizontal control points per site. For linear construction, horizontal control points shall be set at no greater than 1,000-foot intervals and at every change of direction. For large acreage sites, horizontal control points shall include all boundary corners and additional horizontal control points as may be required by the County Surveyor not to exceed a ratio of two intervisible horizontal control points per 20 acres. \(2\) Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System based on a current datum approved by the Office of the County Engineer. \(3\) Florida State Plane Coordinate values shall be derived from redundant measurements that meet or exceed Third Order, Class I accuracy standards as set forth by the Federal Geodetic Control Committee \(FGCC\). \(4\) Plans shall have a statement or table detailing horizontal datum, adjustment, and coordinate values including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the State Plane information shown. One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review. \(5\) When using stationing, all control points shall be referenced to station and offset information. If multiple line stationing exists, the basis for the station and offsets shall be clearly defined. Current boundary and topographic survey \(one foot contour intervals extending 100 feet beyond the project boundary\) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.](#)

[APPLICANT requests exemption from survey requirements found in sections 6.4.7 and 2.12.8. The project a State Correctional Facility situated on State](#)

owned land. The property owner has informed us that state owned lands are exempt from these commented requirements.

DIVISION 8. - LANDSCAPING

CODE states The purpose and intent of this division is to provide landscaping guidelines establishing minimum standards and criteria for the design, installation, and maintenance of landscaping which enhances the aesthetic appearance of Marion County, complimenting the natural and built environments, reducing noise and glare, improving air and water quality, providing shade and habitat, and buffering the aspects of development.

APPLICANT - A waiver is sought from all landscape requirements. The project is a correctional facility. Landscaping is not allowed per State Correctional Department.

- 6.4.** The Church on the Hill Entry Canopy- Major Site Plan 000493- Waiver to Major Site Plan
Parcel # 37229-000-00 #WaiverPIR-000675-2026
MCA Consulting Engineers, Inc.

LDC 2.21.1 Applicability

CODE states A. Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT request - the proposed improvement consists of a small, covered entry walkway and approximately 305 square feet of new asphalt to support the church's van drop-off area. The scope of work is limited in nature and does not increase intensity of use, modify traffic circulation, or require stormwater redesign beyond standard compliance. Based on staff's guidance, any increase in impervious area requires the site plan to be updated. We respectfully request a waiver from the Major Site Plan requirement so the project may be processed as a Minor Site Plan under Division 20 Sec. 2.20.1. We appreciate the County's assistance and are happy to provide any additional information needed to support this request.

- 6.5. Wells Fargo Free Standing ATM - Waiver to Major Site Plan
Parcel #: 9009-0000-08 # WaiverSTA-000660-2026
Austin L. Hattaway Contracting, LLC

LDC 2.20.1.A and 2.21.1.A - Applicability

CODE states A. When any of the Minor Site Plan thresholds are exceeded, a Major Site Plan is required.

A. Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT requests a waiver to the Major Site Plan and Minor Site Plan to go directly to building permitting stage.

- 6.6. Good News Church - Waiver to Major Site Plan
Parcel #: 29697-017-05 # WaiverSTA-000668-2026
Davis Dinkins Engineering

LDC 2.21.1.A - Major Site Plan

CODE states A. A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT request - The church seeks to add a 12' x 24' (288 sf) prefabricated storage shed to the existing site. There are no trees being removed, no impact to buffers, access/traffic, or utilities and no impervious area being added (other than the 288 square foot rooftop that is considered impervious). Previous construction under an approved DRC Major Site plan (AR 16303) provided a drainage system with capacity beyond what was required by the permitted plan. This was documented during the final close out of the permits by the as-built survey. Accordingly, there is no anticipated negative impact to the permitted system, or surrounding properties. There are no tree removals, access, or utility modifications required for the installation of the storage shed.

7. **CONCEPTUAL REVIEW ITEMS:**

8. **DISCUSSION ITEMS:**

9. OTHER ITEMS:

10. ADJOURN:



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22870

Agenda Date: 5/4/2026

Agenda No.: 3.1.

SUBJECT:
April 27, 2026



Marion County

Development Review Committee

Meeting Minutes

412 SE 25th Ave
Ocala, FL 34471
Phone: 352-671-8686

Monday, April 27, 2026

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. ROLL CALL

Ken McCann, Vice Chairman (Fire Marshal)
Michelle Fanelli (Building Safety)
Steven Cohoon (County Engineer)
Chuck Varadin (Growth Services Director)
Josh Kramer for Tony Cunningham (Utilities Director)

OTHERS PRESENT:

Chris Rison (Planning/Zoning)
Liz Madeloni (Planning/Zoning)
Erik Kramer (Planning/Zoning)
Liz Cotos (Planning/Zoning)
Kevin Vickers (Office of the County Engineer)
Michelle Sanders (911 Management)
Linda Blackburn (Legal)
Aaron Pool (Office of the County Engineer)
Kelly Hathaway (Office of the County Engineer)
Kelsey Giesing (Office of the County Engineer)
Monica Baugher (Office of the County Engineer)

2. PLEDGE OF ALLEGIANCE

3. ADOPT THE FOLLOWING MINUTES:

3.1. April 20, 2026

Motion by Chuck Varadin to approve the minutes, seconded by Josh Kramer

Motion carried 5-0

4. PUBLIC COMMENT

5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL

**5.1. Oak Villas I PID# 8003-0338-15 - Major Site Plan
Parcel #: 8003-0338-15 #32374
KDA Engineering, Inc.**

**5.2. Sumatra Estates - Preliminary Plat
Parcel #: 37506-000-00 #33496
Tillman & Associates Engineering, LLC**

**5.3. Stone Creek Del Webb Golf Course - Final Plat
Parcel #: 34899-018-03 #32845
JCH Consulting Group, Inc.**

**5.4. 80th Street Tower Storage - Major Site Plan
Parcel #: 35505-000-00 #31825
Mastroserio Engineering, Inc.**

Motion by Chuck Varadin to approve the consent agenda, seconded by Josh Kramer

Motion carried 5-0

6. SCHEDULED ITEMS:

**6.1. Ocala Crossings South Preliminary Plat Phase 4- Preliminary Plat Plan
31381- Waiver to Preliminary Plat Plan in Review
Parcel #35623-005-00 #WaiverPIR-000638-2026
Mastroserio Engineering, Inc.**

LDC 6.12.9.K - Subdivision roads and related infrastructure

CODE states Centerline radii shall be designed to accommodate the minimum design speed of 30 mph for subdivision local and minor local roads, 40 mph for major local and collector roads, and 45 mph for arterial roads in accordance with FDOT and AASHTO Standards.

APPLICANT requests a waiver to allow the roadway centerlines that do not meet the 30-mph design speed to remain as is. The developer will install advanced warning signs at these locations.

Motion by Steven Cohoon to approve, seconded by Chuck Varadin

Motion carried 5-0

LDC 6.8.6.K (3) - Buffers

CODE states C-Type buffer shall consist of a 15-foot wide landscape strip without a

buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer and form a layered landscape screen with a minimum height of three feet achieved within one year.

APPLICANT requests waiver to reduce the width of the Type C buffer from 15' wide to 10' wide along SW 90th Street and the north and south boundary. The same plant density will be provided in the 10-foot width. This waiver request is consistent with the prior buffer waiver for this section of SW 90th Street in Phase 2. improvement plan. This will be discussed at DRC.

Motion by Chuck Varadin to approve, seconded by Michelle Fanelli

Motion carried 5-0

LDC 6.3.1.C(3) Final Plat Requirements and LDC 6.11.5.D(4) Residential Driveway Requirements

CODE states (3) Dimensions and locations of all lots, tracts, parcels, blocks, and rights-of-way, with each lot, tract, parcel, and block individually distinguishable, located, and identified. For corner lots, show the restricted areas where driveways cannot be placed (4) No driveway shall be located within the sight triangle at corners. Driveway to corner lots shall be located no closer than the lesser of half of the lot width or 50 feet from the end of the radius. Driveway restriction areas shall be graphically shown on Final Plats for corner lots in compliance with this section.

APPLICANT requests a waiver to allow for this distance to be reduced due to the minimum corner lot size is 55 feet wide and the driveway spacing will not meet the distance as required by code. This is a private road subdivision with low-speed traffic. The detail is shown on Cover Sheet for preliminary plat.

Motion by Steven Cohoon to approve, seconded by Michelle Fanelli

Motion carried 5-0

6.2. Ocala Crossings South Phase 4 - Improvement Plan 33207 - Waiver to Improvement Plan in Review

Parcel #35623-005-00 #WaiverPIR-000639-2026

Mastroserio Engineering, Inc.

LDC 2.12.8 - Current boundary and topographic survey

CODE states Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.

APPLICANT requests a waiver not to require an updated topographic survey for the development. The entire site, excluding Phase 1, is currently under construction in accordance with the approved mass grading plan for Phases 2 - 5. Phase 4 will be graded in accordance with the submittal improvement plans.

Motion by Steven Cohoon to approve, seconded by Chuck Varadin

Motion carried 5-0

LDC 6.12.9.K - Subdivision roads and related infrastructure

CODE states Centerline radii shall be designed to accommodate the minimum design speed of 30 mph for subdivision local and minor local roads, 40 mph for major local and collector roads, and 45 mph for arterial roads in accordance with FDOT and AASHTO Standards.

APPLICANT requests a waiver to allow the roadway centerlines that do not meet the 30-mph design speed to remain as is. The developer will install advanced warning signs at these locations.

Motion by Steven Cohoon to approve, seconded by Ken McCann

Motion carried 5-0

- 6.3. Belleview First Assembly of God - Waiver to Major Site Plan**
Parcel #: 37229-000-00 # WaiverSTA-000537-2026
MCA Consulting Engineers, Inc.

LDC 6.8.6.K.(3) Buffers

CODE states C-Type buffer shall consist of a 15-foot wide landscape strip without a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer and form a layered landscape screen with a minimum height of three feet achieved within one year.

APPLICANT requests a waiver for relief from the Type C landscape buffer requirement along the SE 100th Street and US Hwy 441 frontages for Belleview First Assembly of God (10050 SE US Hwy 441).

Motion by Chuck Varadin to approve conditioned that this waiver is only for these improvements, seconded by Josh Kramer

Motion carried 5-0

- 6.4. SW 92nd Court Road Phase 3 - Improvement Plan 000458 - Waiver to Improvement Plan in Review**
Parcel #35300-000-00 #WaiverPIR-000663-2026
Kimley-Horn and Associates, Inc.

LDC 6.13.2.A.3 - Minimum Requirements

CODE states the location and design parameters for all retention/detention areas including: (a) Dimensions or coordinates for constructability. (b) Cross sections, to scale, along the width and length of each pond, showing the design high water elevation, estimated seasonal high water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. A typical cross section can be used instead when sufficient information is shown on the plan view which minimally includes pond width and length call outs as measured at the pond's top and bottom elevations. (c) Soil boring location with labels.

APPLICANT requests a waiver due to the pond side slopes are proposed to be sodded with the pond bottom stabilized using seed and mulch in accordance with FDOT Standard Specifications. This will provide adequate erosion control while allowing the pond to function and infiltrate as designed, as sodding the pond bottom

may reduce efficiency.

Motion by Steven Cohoon to approve conditioned on final engineer certification that coverage meets FDOT standards in conjunction with any as-builts that are submitted, seconded by Chuck Varadin

Motion carried 5-0

**6.5. Driven Auto Building Addition - Waiver to Major Site Plan
Parcel #: 31399-002-00 #WaiverSTA-000633-2026
Torocco & Associates, LLC**

LDC 2.21.1.A(1) Applicability

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver to Major Site Plan Application. Proposed project will not propose an increase in impervious area.

Motion by Steven Cohoon to deny, seconded by Michelle Fanelli

Motion carried 5-0

LDC 6.8.6. Buffers

CODE states it is the intent of this section to eliminate or reduce the negative impacts of the adjacent uses upon each other such that the long term continuance of either use is not threatened by such impacts and the uses may be considered compatible. B. Buffers shall provide a year-round screen and provide an aesthetic quality, especially along public rights-of-way, which enhance travel corridors and screen unsightly areas from public view. C. Plant species shall be mixed to provide diversity and appeal. D. Buffers may consist of landscaping, buffer walls, fencing, berms, or combinations thereof which work cohesively to achieve the intent of buffering. E. Every development, with the exception of the construction of an individual single-family residence or duplexes on an individual parcel of record, shall provide sufficient buffering when topographical or other barriers do not provide reasonable screening. F. If buffers are required, the length shall be measured along each property line, and shall exclude driveways and other access points. G. No buildings, structures (other than buffer walls or buffer fences), storage of materials, or parking shall be permitted within the buffer area. H. Buffers shall not be located on any portion of an existing or dedicated right-of-way. I. Arrangement of plantings in buffers shall provide maximum protection to adjacent properties, avoid damage to existing trees and plant material, and take mature growing sizes into consideration regarding shade, root damage, and interference with nearby utilities. J. Required buffer types between land uses. (1) Specialized Commerce Districts include a mix of both commercial and industrial land uses, therefore, buffer requirements shall apply only to lots on the perimeter of the district. (2) Buffer installation and maintenance shall be provided concurrently with the development of the more intense land use, with the following deviations: (a) When a new but less intense land use is developed adjoining a pre-existing developed site with a higher intensity use, the new use is subject to providing the required land use buffer. (b) When a new but less intense

land use is responsible for providing the required land use buffer, the developer may reduce the required buffer by one buffer type with acknowledgement of the buffer reduction clearly noted on the development plan. (c) The development of an individual single family residence or duplex is exempt from providing the required buffer (3) In interpreting and applying the provisions of buffers, development is classified into categories shown in Table 6.8-1.(4)Table 6.8-2 provides the type of buffer required between a proposed use and an existing use, or in the absence of an existing use. K. Description of buffer classifications. The content and composition of each buffer type is described in the following items. The design professional shall use these requirements to design buffers that are thoughtfully designed and enhance perimeter of the development site. Visual screening shall be achieved through the use of proper plant material, arrangement, and layering. (1) A-Type buffer shall consist of a 30-foot wide landscape strip without a buffer wall. The buffer shall contain at least three shade trees and five accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer area and shall form a layered landscape screen with a minimum height of three feet achieved within one year of planting. (2) B-Type buffer shall consist of a 20-foot wide landscape strip with a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer. (3) C-Type buffer shall consist of a 15-foot wide landscape strip without a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer and form a layered landscape screen with a minimum height of three feet achieved within one year. (4) D-Type buffer shall consist of a 15-foot wide landscape strip with a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 25 percent of the required buffer. (5) E-Type buffer shall consist of a five-foot wide landscape strip without a buffer wall. The buffer shall contain at least four shade trees for every 100 lineal feet or fractional part thereof. Shrubs shall be planted in a double-staggered row and be capable of reaching a maintained height of six feet within three years. Groundcovers and/or turfgrass shall not be used in this buffer. L. Buffer walls, buffer fences, and berms. (1) Where buffer walls are required by this article, a combination of buffer walls and berms may be used to meet the intent of buffering. Buffer fences may be used as a substitute for buffer walls with approval of the DRC. The buffer walls, buffer fences, and berms shall: (a) Not be constructed or installed in a manner which creates a threat to public safety or interferes with vehicular circulation; (b) Be designed to be compatible with existing and proposed site architecture and the character of the surrounding and adjacent settings including the style and selection of materials; and (c) Be situated so that the wall or fence components are within the buffer limits and any required landscaping shall be installed on the public view side of the wall. (2) When a buffer wall is required, the buffer wall may be used in conjunction with a berm to achieve a minimum final elevation of six feet in height. When buffer walls, berms and/or combinations of each are used, they shall be constructed to: (a) Ensure that historic and/or proposed water flow patterns are accommodated; (b) Not interfere with or obstruct any stormwater facilities; and (c)

Provide sufficient ingress/egress for bicycle traffic and pedestrians access with proper arrangement to limit visibility into the proposed development. (3) If planted berms are used, the top of the berm shall have a four-foot wide maintainable area. The maximum side slope for a berm planted with shrubs and woody groundcovers shall be 3:1. The maximum side slope for a berm planted with turfgrass shall be 3.5:1. Planting trees or shrubs on the very top of a berm is discouraged. M. Buffer plantings shall be irrigated appropriately for the specific plant species and characteristics of the site to promote healthy growth. N. Buffer areas shall be continually maintained and kept free of all trash and debris.

APPLICANT - requests a waiver to all landscaping requirements from 6.8.6. as there is previous coordination with the school district and existing vegetation is in place.

Motion by Chuck Varadin to table for two weeks, seconded by Ken McCann

Motion carried 5-0

7. CONCEPTUAL REVIEW ITEMS:

8. DISCUSSION ITEMS:

**8.1. Planning & Zoning Commission Items for April 27, 2026
Marion County Growth Services Department**

<<https://marionfl.legistar.com/Calendar.aspx>>

9. OTHER ITEMS:

Motion by Ken McCann to adjourn, seconded by Chuck Varadin

Motion carried 5-0

10. ADJOURN: 9:55 AM

Ken McCann, Vice-Chairman

Attest:

Kelly Hathaway
Development Review Coordinator



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22872

Agenda Date: 5/4/2026

Agenda No.: 5.1.

SUBJECT:
OCALA CROSSINGS SOUTH PHASE 4 - Preliminary Plat
Parcel # 35623-005-00 #31381
Mastroserio Engineering, Inc.



SUBMITTAL SUMMARY REPORT 31381

PLAN NAME: Ocala Crossings South Preliminary Plat Phase 4 **LOCATION:**
APPLICATION DATE: 04/04/2024 **PARCEL:** 35623-005-00
DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Paolo Mastroserio	Mastroserio Engineering, Inc
Engineer of Record	Paolo Mastroserio	Mastroserio Engineering, Inc

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.3	04/16/2026	04/23/2026	04/29/2026	Approved
OCE: Plan Review (DR) v.2	03/03/2026	03/10/2026	03/19/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	03/02/2026	03/16/2026	03/02/2026	Requires Re-submit

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.3				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	04/23/2026	04/21/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/23/2026	04/16/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/23/2026	04/27/2026	Informational
<i>Comments</i>	For any questions related to this Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.			
<i>Corrections</i>	2.12 - Rezoning (Resolved) - [INFO] PUD No. 210306Z			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided? (Resolved) - [INFO] EALS previously submitted and accepted by staff. Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [INFO] (1) FEMA Flood Zone X; (2) No ESOZ; (3) Secondary Springs Protection Zone			
<i>Corrections</i>	2.12/6.11.8 - Parking (Resolved) - [INFO] See LDC Sec. 6.11.8 for parking requirements. A one-car garage or carport and driveway combination shall count as two off-street parking spaces provided the driveway measures a minimum of 25 feet in length between the face of the garage or carport door and the sidewalk, or 30 feet to the curb line. A two-car garage or carport and driveway combination shall count as four off-street parking spaces, provided the minimum width of the driveway is 20 feet and its minimum length is as specified above for a one-car garage or carport.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Resolved) - [INFO] Acknowledged by applicant. [INITIAL] Please coordinate with OCE regarding any improvements to be made, especially given PUD project to east of subject project is expected to connect to SW 90th St as well			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [INFO] Buffer waiver approved by DRC on 4/27/26. Comments acknowledged. [INITIAL] Most recent PUD master plan requires buffering to comply with LDC; buffer provisions have been revised since original submission of plans to require Type E buffer or fence between SFR and SFR. No buffering is indicated on plans; however, staff notes that fences have been provided for previous phases. Please indicate intention to provide fencing. [NO] 2021 PUD master plan indicates Type C buffer along SW 90th Street; however, submitted plans only indicate 10' width? Please clarify/correct.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [INFO] Please note that any signs will need to be permitted separately			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/23/2026	04/29/2026	Approved
<i>Comments</i>	Waiver approved			
OCE Design (Plans) (Office of the County Engineer)	William Poole	04/23/2026	04/21/2026	Approved

SUBMITTAL SUMMARY REPORT (31381)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		04/23/2026	04/21/2026	Informational
<i>Comments</i>	<p>IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	04/23/2026	04/20/2026	Approved
<i>Recommendations</i>	2.12.8 <input type="checkbox"/> Topographical Contours - The included survey is older than 12 months. Since the survey was in date at the time of the initial submittal, no update/waiver will be required for this submittal. However, when the improvement plan is submitted an updated survey or waiver will be required.			
<i>Recommendations</i>	2.12.19 - Existing Drainage Improvements - Any existing infrastructure and the impact of the proposed development will be reviewed with the improvement/site plan. The discharge of the amenity center site flows through this phase.			
<i>Recommendations</i>	6.13 - Stormwater Management - Please ensure the criteria of LDC Section 6.13 is satisfied with the Improvement Plans/Major Site Plans.			
<i>Recommendations</i>	2.12.32 - Stormwater Analysis Map - Pre- and post-development drainage maps will be required and reviewed with the improvement/site plan.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Proposed Drainage Right <input type="checkbox"/> of <input type="checkbox"/> Way/Easements - The preliminary plat includes a lot typical detail that depicts typical drainage easements. Approval of the preliminary plat does not constitute approval of these easement widths in all locations for the development. Individual easement widths will be evaluated in conjunction with the proposed infrastructure at improvement/site plan and/or final plat submittals. Please note that the Land Development Code requirements for easements widths has changed since the initial submittal of this preliminary plat. This development will be subject to the updated LDC.			
<i>Recommendations</i>	2.12.19 - Proposed Drainage Improvements - (1) Final plat shall reflect the location of the proposed infrastructure with proper easements/tracts. (2) When the improvement/site plan drainage calculations are submitted please provide a table of the lots with a breakdown of the impervious area allocated to each lot. Include the areas allotted for the building, driveway, patio areas, accessory structures (pools, patios, sheds, guest houses, etc.). Ultimately, zoning and stormwater staff need to be able to determine how much impervious is allocated to each lot for permitting structures. Please provide the areas in square feet.			
<i>Recommendations</i>	2.12.22 - Stormwater Tract/Right-of-Way - The need for drainage tracts/ROW will be reviewed with the improvement/site plan and/or final plat submittal.			
<i>Recommendations</i>	If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/23/2026	04/21/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/23/2026	04/20/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	04/23/2026	04/20/2026	Approved
<i>Comments</i>	Previously approved. Site will be served by Marion County Utilities water and wastewater. Utility conditions have been addressed through the Improvement Plan Review 33207			

"OCALA CROSSINGS SOUTH" PRELIMINARY PLAT PHASE 4

DEVELOPMENT DATA:
 PARCEL ID NUMBER: 8623 205 00
 PHASE SITE AREA: 21.02 ACRES
 ZONING: PUD
 LAND USE: MEDIUM DENSITY RESIDENTIAL
 PROPOSED UNITS: 18 UNITS
 LENGTH OF ROAD: 1.28 MILES
 PROPOSED IMPROVED AREA: 34.9 ACRES OR LESS
 PROPOSED OPEN SPACE: 6.54 ACRES OR GREATER (DOES NOT INCLUDE PARK)

CHARACTER OF DEVELOPMENT NOTE:
 THIS SITE IS PROPOSED AS A SINGLE FAMILY RESIDENTIAL DEVELOPMENT CONTAINING DETACHED HOMES.

UTILITY DATA:
 THIS PROJECT WILL CONNECT TO AND BE SERVED BY MARION COUNTY WATER & SEWER FACILITIES.
 FIRE PROTECTION WILL BE PROVIDED VIA FIRE HYDRANTS.
 SOLID WASTE PICK UP WILL BE PROVIDED VIA OUTSIDE CONTRACTOR.
 CABLE PROVIDER - COX COMMUNICATIONS
 GAS PROVIDER - TECUMSEH
 ELECTRIC PROVIDER - SECO

SPRINGS PROTECTION:
 THE PROPERTY LIES IN THE SECONDARY SPRINGS PROTECTION ZONE.

FLOOD ZONE:
 THE PROPERTY LIES WITHIN FLOOD ZONE X PER FEMA PANEL NUMBER 12620CINE, EFFECTIVE DATE APRIL 19, 2017.

RECREATION/OPEN SPACE/MFLA DATA:
 PER MARION COUNTY, THE MINIMUM OPEN SPACE REQUIREMENT FOR THIS DEVELOPMENT IS 6.54 ACRES OR GREATER. THE PROPOSED OPEN SPACE IS 6.54 ACRES OR GREATER.

CONCURRENCY NOTE:
 THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTIES ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, SUBDIVISION AND/OR SITE/DRAINAGE PLAN REVIEW AND BUILDING PERMIT REVIEW.

COMMON AREA & ROADWAY DATA:
 THIS PROJECT IS TO BE DEVELOPED IN ACCORDANCE WITH THE INTERNAL ROADWAYS, COMMON AREAS, AND COMMON ELEMENTS OF THE DEVELOPMENT, AND SHALL BE THE SOLE ENTITY RESPONSIBLE FOR MAINTENANCE AND MAINTENANCE INCLUDING ANY STORMWATER MANAGEMENT FACILITIES WITHIN THE DEVELOPMENT AREA.

LANDSCAPE BUFFER NOTE:
 LANDSCAPE BUFFERS ALONG THE PERIMETER OF THE SITE SHALL COMPLY WITH THE MARION COUNTY LAND DEVELOPMENT CODE. SPECIFIC BUFFERS ARE REQUIRED AS SPECIFIED ON THESE PLANS. ALL OTHERS ARE TO COMPLY WITH THE MARION COUNTY LAND DEVELOPMENT CODE.

EASEMENT NOTE:
 PROPOSED EASEMENTS ARE PROVIDED ON THIS PLAN AND SHALL BE RECORDED WITH THIS PLAT OR DOCUMENT. ALL DRAINAGE EASEMENTS WITH PROPOSED INLET AND PIPES SHALL BE A MINIMUM OF 20' IN WIDTH.

ACCESS NOTE:
 ACCESS TO LOTS SHALL BE FROM THE INTERNAL ROADWAY SYSTEM ONLY. ROADWAY ACCESS TO SUBDIVISION IS PROHIBITED AS SHOWN ON THESE PLANS. DIRECT LOT ACCESS TO SW 49TH AVENUE ROAD IS PROHIBITED.

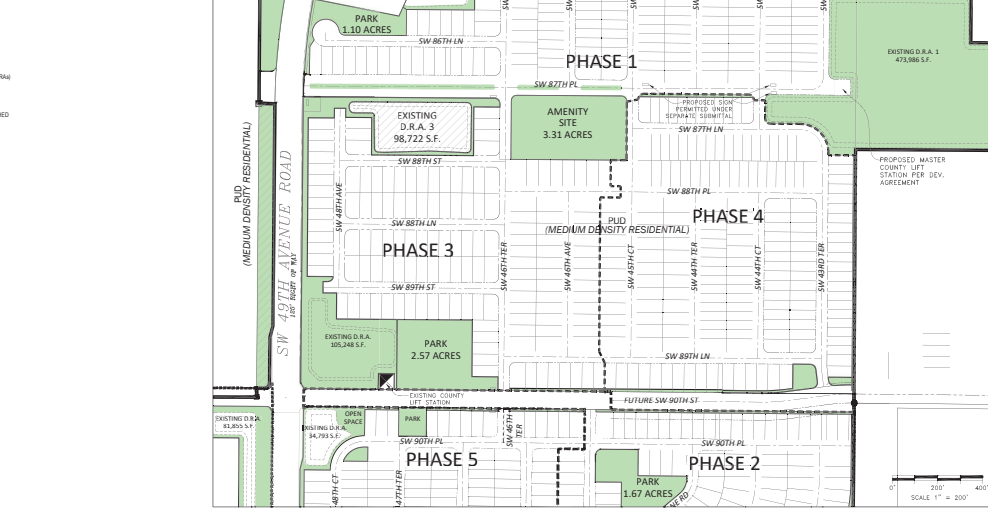
PHASING:
 PHASE 4: 186 LOTS, 1.28 MILES OF ROAD, 31.02 ACRES

OCALA CROSSINGS SOUTH PUD DWELLING UNIT TABLE
 APPROVED LOT DENSITY IS A DRAINAGE UNIT (DU) OF 4 + 1.24 UNITS

THE GRAB AT Ocala Crossings

ACTUAL LOT DENSITY: (1,059 UNITS / 280.95 AC.) 3.77

THE ACTUAL DWELLING UNIT DENSITY IS LESS THAN THE APPROVED UNIT DENSITY

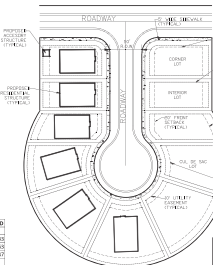


TYPICAL LOT STANDARDS

- PRINCIPAL STRUCTURES: 4,400 SF (MINIMUM)
- LOT DEPTH: 110 FEET (MINIMUM)
- LOT WIDTH (INTERIOR): 40 FEET (MINIMUM)
- LOT WIDTH (CORNER LOT): 50 FEET (MINIMUM)
- FRONT SETBACK: 20 FEET (MINIMUM)
- SIDE SETBACK (INTERIOR): 5 FEET (MINIMUM)
- SIDE SETBACK (CORNER LOT): 10 FEET (MINIMUM)
- REAR SETBACK: 15 FEET (MINIMUM)

ACCESSORY STRUCTURES:

- CLUBHOUSE AND SUPPORT FACILITIES
- REAR SETBACK: 15 FEET (MINIMUM)



LOT LAYOUT & SETBACKS

- MINIMUM LOT WIDTH = 40 FT.
- MINIMUM LOT DEPTH = 110 FT.
- MINIMUM LOT SIZE = 4,400 S.F.
- N.T.S.

ENGINEER'S CERTIFICATION

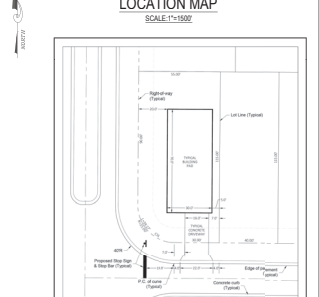
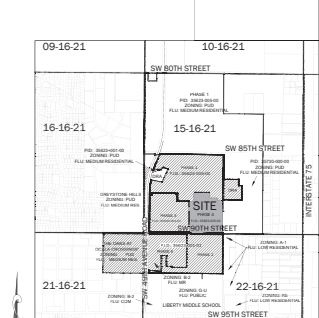
I HEREBY CERTIFY THAT THIS PRELIMINARY PLAT AND ALL INFORMATION HEREON WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREON. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREON. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREON.

OPERATION & MAINTENANCE:

AS REQUIRED BY THE WATER MANAGEMENT DISTRICT BOARD, WE ARE ADVISING YOU THAT YOU AND YOUR SUCCESSORS AND ASSIGNEES SHALL MAINTAIN AND OPERATE THE IMPROVEMENTS AS SHOWN ON THESE PLANS. YOU SHALL MAINTAIN AND OPERATE THE IMPROVEMENTS AS SHOWN ON THESE PLANS. YOU SHALL MAINTAIN AND OPERATE THE IMPROVEMENTS AS SHOWN ON THESE PLANS.

DEVELOPMENT AGREEMENTS:
 1. OR BOOKS 614422.00
 2. FIRST LIES AMENDMENT OR BOOKPG 6813841.212
 3. SECOND ZONING AMENDMENT OR BOOKPG 6811835.1647

TRAFFIC STUDY/IMPROVEMENTS NOTE:
 A TRAFFIC STUDY HAS BEEN APPROVED FOR THIS DEVELOPMENT.



REQUESTED WAIVERS:

CODE REFERENCE	DESCRIPTION	STATUS	COMMENTS	DATE
4.1.2.9	SUBDIVISION & RELATED INFRASTRUCTURE	APPROVED	DEVELOPER TO INSTALL ADVANCED WARNING SIGNS OR CURBS THAT DO NOT MEET TO SIGN CRITERIA	04/27/24
4.1.5.1 (C) & 4.1.7.3 (C) & 4.1.7.3 (C) & 4.1.7.3 (C)	ENHANCED RESTRICTIONS CORNER LOTS	APPROVED	APPROVED BASED ON SKETCH PROVIDED HEREON (TYPICAL CORNER LOT INTERIM LOCATION)	04/27/24
4.8.8.8	REDUCE TYPE C BUFFER WIDTH	APPROVED	10' TYPE C BUFFER WITH THE SAME PLANT DENSITY IN THE 10' WIDTH	04/27/24

PROJECT: Ocala Crossings South Preliminary Plat Phase 4
 MARION COUNTY, FL SEC. 15, TWN. 16S, RGE. 21E

TITLE: PRELIMINARY PLAT

SHEET 1 OF 3

DATE	REVISION DESCRIPTION
2-26-20	REVISED SW 90TH ST REALIGNMENT LOTS
4-30-20	BLOCK V & Z LOT COUNT REVISIED

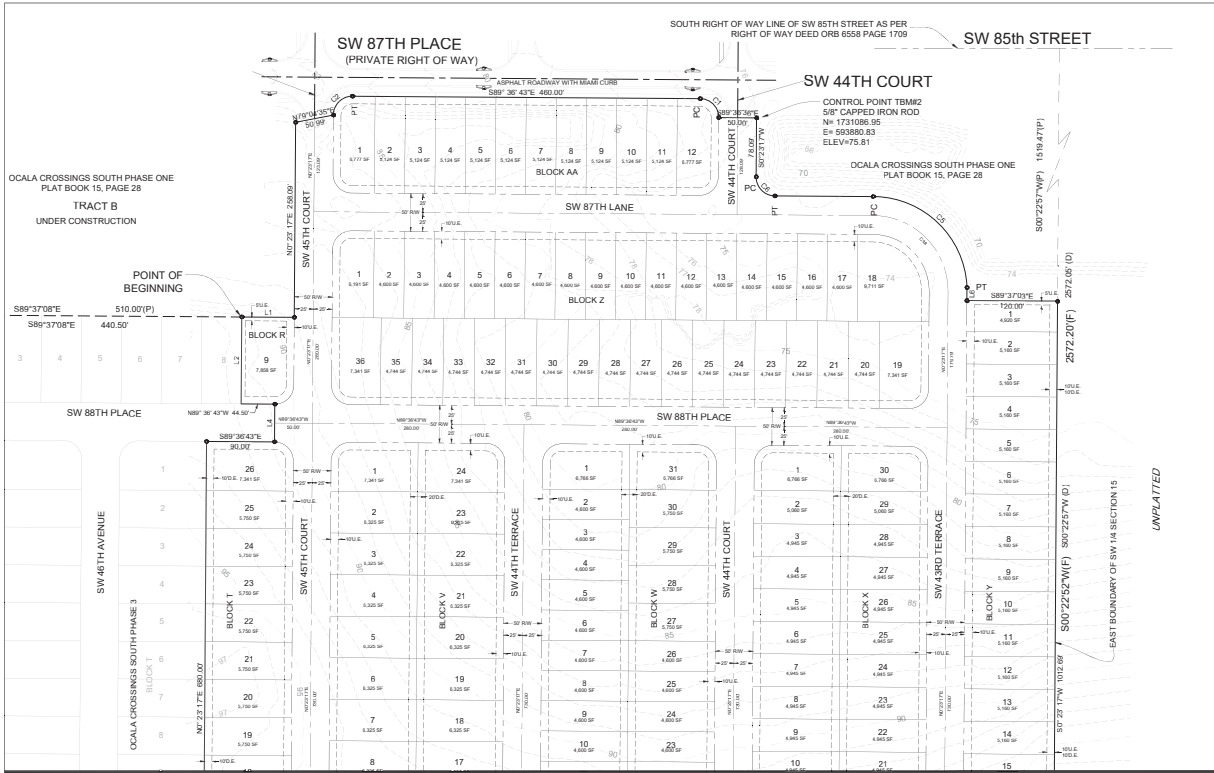
SCALE: 1"=200'

MASTROSERIO ENGINEERING, INC.
 CIVIL, ENVIRONMENTAL, SITE DESIGN
 170 SE 22ND PLACE
 Ocala, FL 34671
 PH: (352)433-2185
 FAX: (352)433-2186
 PHO: (352)433-2187

DRAWING FILE	DESIGNED BY	DATE	CHECKED BY
PREPLAT PHASE 4	PM	03-19-24	PM

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 No. 56891
 STATE OF FLORIDA

OCALA CROSSINGS SOUTH, LTD.
 CONTACT: STEVEN F. PROFFER
 200 WESTERN ROAD, SUITE 311
 WESTON, FL 32093
 (850) 385-5322, EXT. 102



Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27	25.00	90.00	S44°36'43"E	35.36
C2	39.27	25.00	90.00	N42°23'17"E	35.36
C3	100.93	125.21	87.38	S45°53'25"E	172.98
C4	39.27	25.00	90.00	N42°23'17"E	35.36
C5	39.27	25.00	90.00	S44°36'43"E	35.36
C6	39.27	25.00	90.00	N44°36'43"W	35.36
C7	39.27	25.00	90.00	S44°36'43"E	35.36
C8	39.27	25.00	90.00	S44°36'43"E	35.36
C9	39.27	25.00	90.00	S45°23'17"W	35.36
C10	39.27	25.00	90.00	S44°36'43"E	35.36
C11	39.27	25.00	90.00	N42°23'17"E	35.36
C12	118.14	75.21	90.00	N44°36'43"W	106.36
C13	39.27	25.00	90.00	S45°23'17"W	35.36
C14	39.27	25.00	90.00	N42°23'17"E	35.36
C15	39.27	25.00	90.00	N44°36'43"W	35.36
C17	39.27	25.00	90.00	S45°23'17"W	35.36

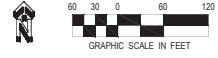
Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C18	39.27	25.00	90.00	N44°36'43"W	35.36
C19	39.27	25.00	90.00	S45°23'17"W	35.36
C20	39.27	25.00	90.00	N44°36'43"W	35.36
C21	39.27	25.00	90.00	S45°23'17"W	35.36
C22	39.27	25.00	90.00	N44°36'43"W	35.36
C23	39.27	25.00	90.00	S45°23'17"W	35.36
C24	39.27	25.00	90.00	N44°36'43"W	35.36
C28	157.41	100.21	90.00	N44°36'43"W	141.72

Parcel Line Table

Line #	Length	Direction
L1	69.00	S89°37'08"E
L2	115.00	N0°23'17"E
L4	50.00	N0°23'17"E
L5	55.90	N0°10'58.77"W
L6	17.13	S0°23'17.42"W

MATCH LINE A (SHEET 3 OF 3)



REVISION DESCRIPTION

DATE	REVISION DESCRIPTION
2-28-20	REVISED SW 87TH REAL ADMANT LOT
4-30-20	BLOCK V & Z LOT COURT REVISED

ENGINEER'S CERTIFICATION

MASTROBERG ENGINEERING INC.
 17010 E. SHARPE PLACE
 SUITE 100
 Ocala, FL 34472
 P: 352.443.7400
 F: 352.443.7405
 PHOTOS@METROENGINEERING.COM

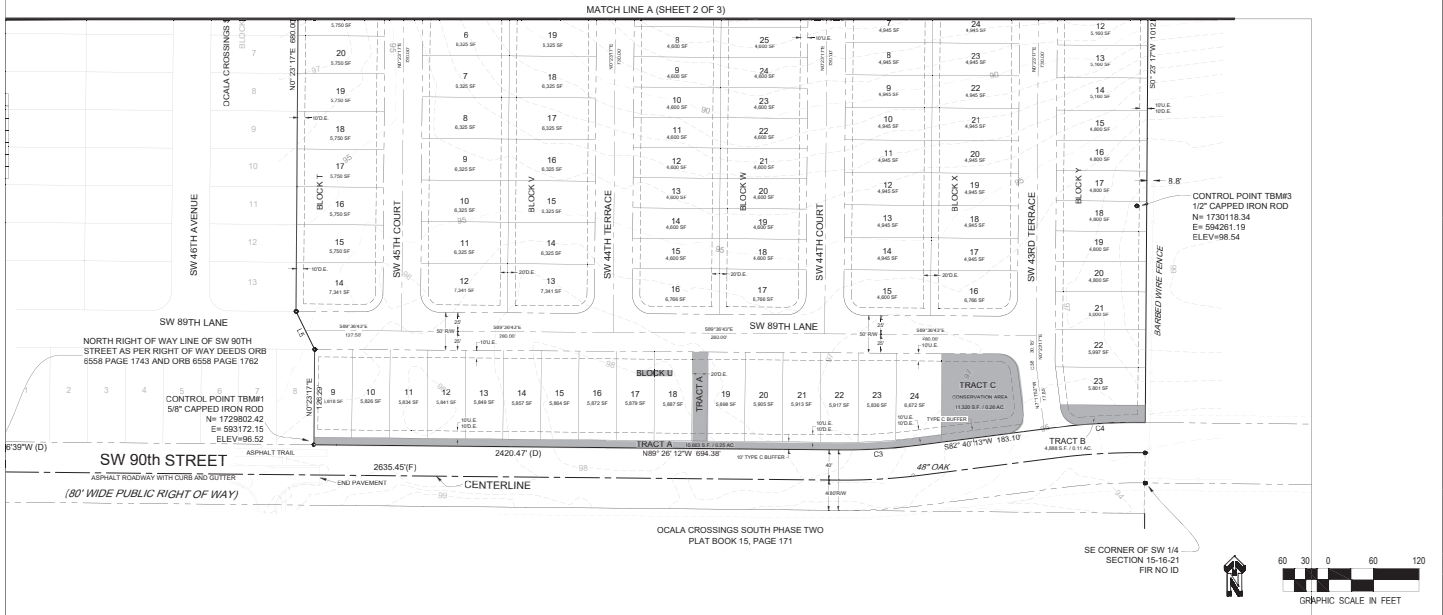
SCALE:
 1" = 60'

JOB#: 21-29
SHEET: C2 OF 3

TITLE: PRELIMINARY PLAT

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C3	154.89	760.00	7.88	S89°37'01"W	154.89
C4	132.14	842.26	8.17	S88°47'44"W	132.04
C16	39.27	25.00	90.00	N43°23'17"E	35.36
C19	39.27	25.00	90.00	N43°23'17"E	35.36
C20	39.27	25.00	90.00	S44°36'43"E	35.36
C23	39.27	25.00	90.00	N43°23'17"E	35.36
C24	39.27	25.00	90.00	S44°36'43"E	35.36
C27	39.27	25.00	90.00	N43°23'17"E	35.36
C28	39.27	25.00	90.00	S44°36'43"E	35.36
C29	11.55	100.00	8.62	S2°55'14"E	11.54
C30	1.89	100.00	0.97	S6°42'49"E	1.89
C31	38.28	25.00	87.74	S51°04'04"E	34.69
C32	80.88	840.00	5.50	N87°48'49"E	80.69
C33	39.21	25.00	89.87	N37°44'11"E	35.31
C34	35.98	25.00	82.41	N48°24'17"W	32.84
C36	60.11	750.00	3.83	N89°41'38"E	60.10
C37	25.59	750.00	1.56	N89°38'08"E	25.59
C38	16.55	125.00	7.59	N3°24'17"W	16.54

Line #	Length	Direction
L3	16.90	N48°10'36"7"W
L7	20.00	N89°36'43"6"W
L8	20.00	S89°28'12"4"E
L10	4.40	S89°28'05"81"E
L11	24.41	S89°28'12"24"E
L12	4.74	S7°11'52"01"E
L13	10.00	S7°23'17"42"W



REVISION DESCRIPTION

DATE: 2/28/20
REVISED BY: MTR/ST/REAL ADM/NT/LTE
4/30/20
BLOCK V & Z LOT COUNT REVISED

ENGINEER'S CERTIFICATION

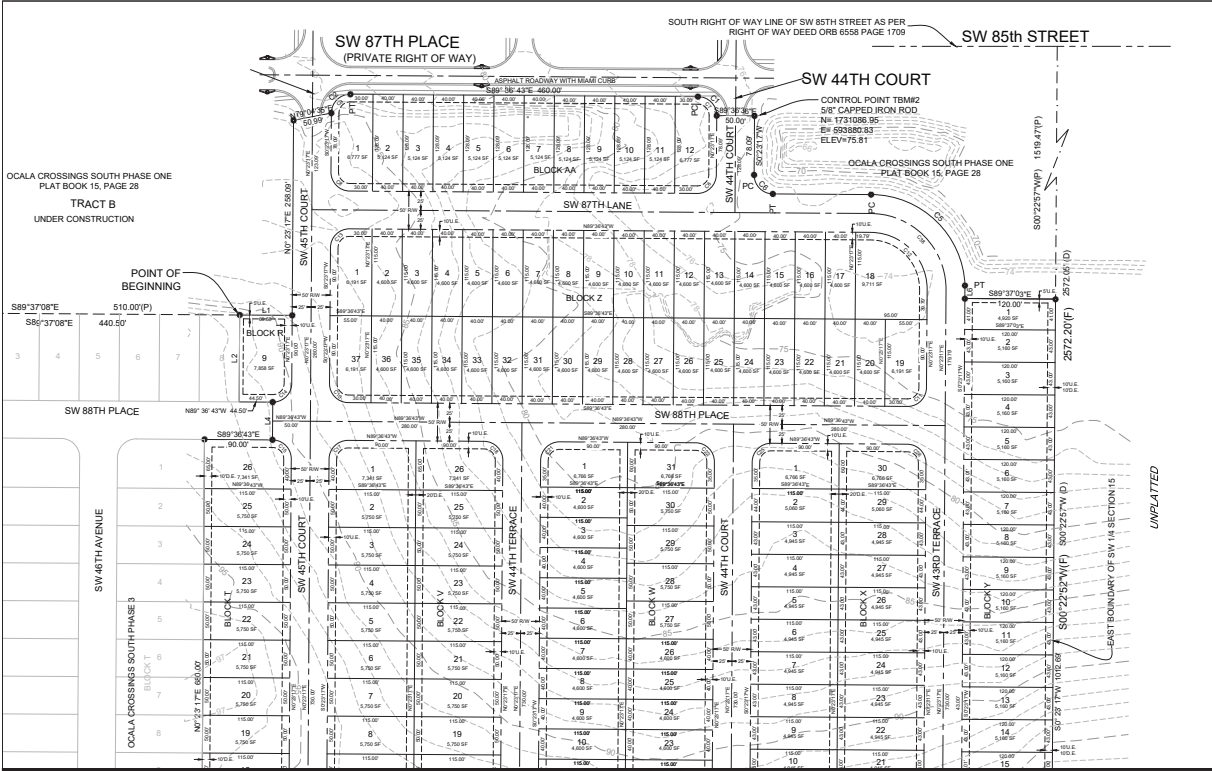
DATE: 2/28/20
MARIO MESTREBO
REGISTERED PROFESSIONAL ENGINEER
OCALA, FL 32107
P.E. NO. 12433-2015
PAOLO MESTREBO/ENGINEERING.COM

DESIGNED BY: PM
DRAWN BY: JPD
CHECKED BY: PM
DATE: 2/19/20

TITLE: PRELIMINARY PLAT

SCALE: 1" = 60'

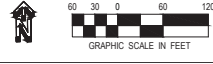
JOB#: 21-29
SHEET C3 OF 3



Curve #	Length	Radius	Data	Chord Distance	Chord Length
C1	39.27	25.00	90.00	S44°36'43"E	35.36
C2	39.27	25.00	90.00	N47°22'17"E	35.36
C3	100.89	125.21	87.38	S49°53'25"E	172.98
C4	39.27	25.00	90.00	S44°36'43"E	35.36
C5	39.27	25.00	90.00	N47°22'17"E	35.36
C6	39.27	25.00	90.00	N44°36'43"W	35.36
C7	39.27	25.00	90.00	S44°36'43"E	35.36
C8	39.27	25.00	90.00	S47°22'17"W	35.36
C9	39.27	25.00	90.00	S44°36'43"E	35.36
C10	39.27	25.00	90.00	N47°22'17"E	35.36
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C12	118.14	75.21	90.00	S47°22'17"W	106.38
C13	39.27	25.00	90.00	S44°36'43"E	35.36
C14	39.27	25.00	90.00	N47°22'17"E	35.36
C15	39.27	25.00	90.00	N44°36'43"W	35.36
C17	39.27	25.00	90.00	S47°22'17"W	35.36

Curve #	Length	Radius	Data	Chord Distance	Chord Length
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C20	39.27	25.00	90.00	N44°36'43"W	35.36
C21	39.27	25.00	90.00	S47°22'17"W	35.36
C22	39.27	25.00	90.00	N44°36'43"W	35.36
C23	39.27	25.00	90.00	S47°22'17"W	35.36
C24	39.27	25.00	90.00	N44°36'43"W	35.36
C25	39.27	25.00	90.00	S47°22'17"W	35.36
C26	39.27	25.00	90.00	N44°36'43"W	35.36
C28	157.41	100.21	90.00	N44°36'43"W	141.72

Line #	Length	Direction
L1	65.93	S60°36'42.59"E
L2	119.00	N0°23'17.42"E
L4	55.00	N0°23'17.42"E
L5	55.00	N26°10'58.77"W
L6	17.13	S0°23'17.42"W



ENGINEER'S CERTIFICATION

DATE: 2/20/20
 DESIGNED BY: PM
 DRAWN BY: PM
 CHECKED BY: PM
 DATE: 2/19/20

REVISION DESCRIPTION

PROJECT: Ocala Crossings South Phase One Preliminary Plat Phase 4
MARION COUNTY, FL, SEC. 10, TWP. 31N, R. 16E, S1

MASTROBERG ENGINEERING INC.
 17016 SW 19th PLACE
 Ocala, FL 34476
 PH: 352.434.2745
 PM@MASTROBERG.COM

TITLE: PRELIMINARY PLAT

SCALE: 1" = 60'

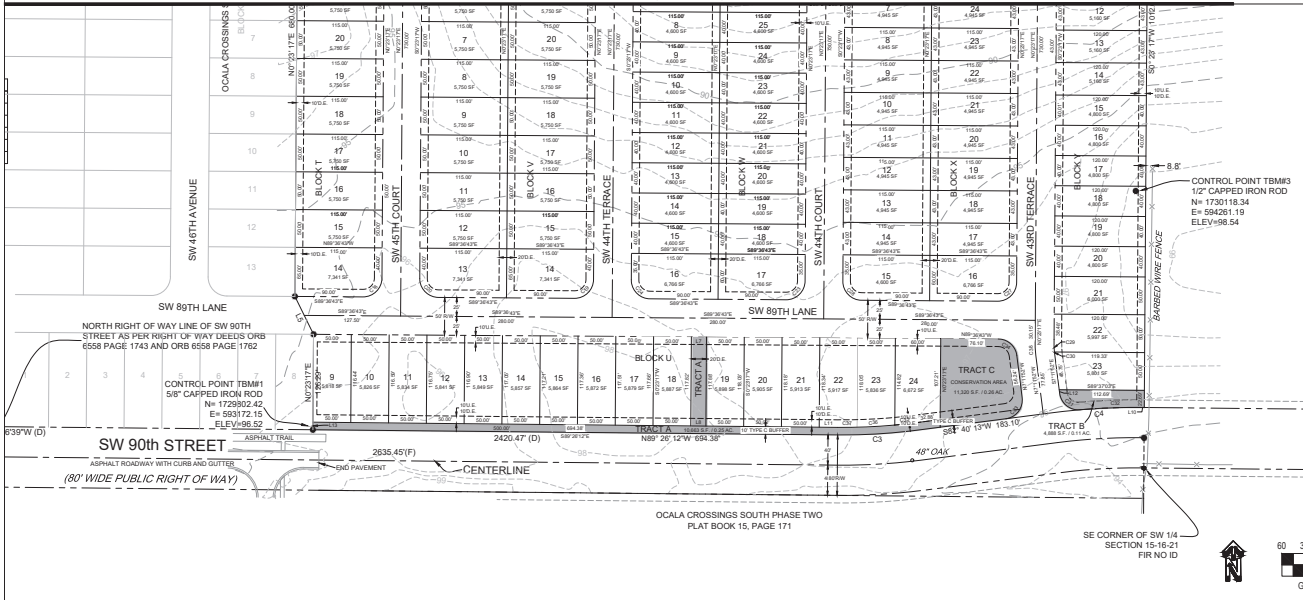
JOB#: 21-29

SHEET C2 OF 3

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C3	154.89	760.00	7.88	S89°37'31"W	154.81
C4	120.14	842.00	8.17	S89°47'44"W	120.00
C16	39.27	25.00	90.00	N45°23'17"E	35.30
C19	39.27	25.00	90.00	N45°23'17"E	35.30
C20	39.27	25.00	90.00	S44°36'43"E	35.30
C23	39.27	25.00	90.00	N45°23'17"E	35.30
C24	39.27	25.00	90.00	S44°36'43"E	35.30
C27	39.27	25.00	90.00	N45°23'17"E	35.30
C28	39.27	25.00	90.00	S44°36'43"E	35.30
C29	11.55	100.00	8.62	S2°55'14"E	11.54
C30	1.89	100.00	0.97	S8°42'49"E	1.89
C31	38.28	25.00	87.74	S51°04'04"E	34.65
C32	80.88	840.00	5.50	N87°48'49"E	80.65
C33	39.21	25.00	89.87	N37°44'11"E	35.31
C34	35.98	25.00	82.41	N48°24'17"W	32.94
C36	50.11	750.00	3.83	N89°41'38"E	50.10
C37	25.99	750.00	1.96	N89°38'08"E	25.99
C38	14.95	125.00	7.59	S2°24'17"W	14.94

Parcel Line Table		
Line #	Length	Direction
L3	16.90	N49°10'36"7"W
L7	20.00	N89°36'43"6"W
L8	50.00	S89°28'12"24"E
L10	4.40	S89°28'05"81"E
L11	24.41	S89°28'12"24"E
L12	4.74	S7°11'52"01"E
L13	10.00	S7°23'17"42"W

MATCH LINE A (SHEET 2 OF 3)



REVISION DESCRIPTION	DATE	REVISION
REVISED BY: JWH/ST/REAL ADMM/LOT/	2/28/20	
DESIGNED BY: PM		
DRAWN BY: JPD		
CHECKED BY: PM		
DATE: 2/19/24		

ENGINEER'S CERTIFICATION:

DATE: 2/19/24

PAOLO MESTRE/ENGINEERING.COM

MASTROBERG ENGINEERING INC.
17016 SW 24TH AVE
SUITE 200
OCALA, FL 34773
PH: 352.434.2700
PAOLOMESTRE@ENGINEERING.COM

TITLE: PRELIMINARY PLAT

SCALE: 1" = 60'

JOB#: 21-29

SHEET C3 OF 3



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22874

Agenda Date: 5/4/2026

Agenda No.: 6.1.

SUBJECT:

**Watching Park Farms- Agricultural Lot Split 000287- Waiver to County MSBU
Parcel # 20909-028-00 & 20909-031-00 #WaiverPIR-000325-2026
JCH Consulting Group, Inc.**

LDC 2.16.1.B(8)(g) - Agricultural lot splits outside of the Urban Growth Boundary

CODE A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC.

APPLICANT requesting waiver to the County MSBU for an Agricultural Lot Split consisting of six (6) parcels divided from the parent parcels. Parcel No. 20909-028-00 and Parcel No.20909-031-00. There is already an HOA in place.



SUBMITTAL SUMMARY REPORT AgLotSplit-000287-2026

PLAN NAME: Watching Park Farms	LOCATION: 14850 W HWY 40 OCALA,
APPLICATION DATE: 01/28/2026	PARCEL: 20909-028-00
DESCRIPTION: LDC 2.16.1B(8)(g) Applicability CODE states A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC. Watching Park Farms - Creating a Agricultural Lot Split for 6 parcels composed of two parcels. Parcel No. 20909-028-00 & 20909-031-00.	

CONTACTS	NAME	COMPANY
Applicant	Christopher Howson	JCH Consulting Group, Inc.
Applicant	Christopher Howson	JCH Consulting Group, Inc.
Applicant	Kristen Savage	

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Conditional Comment(s)	Utility Easement	Heather Proctor	02/18/2026	Parcel 20909-028-00 is within the Marion County Utilities service area but is currently outside of connection distance. Marion County Utilities requires a sufficient easement to allow for potential future utility service to all parcels. A minimum 20-foot utility easement will be required along the access road to serve Lots 1-5.	No
Conditional Comment(s)	Street Name Sign Installation	Chris Zeigler	03/30/2026	The street name signs for W Hwy 40 and SW 148 Ter Rd must be installed at the driveway prior to recording of the easement.	No

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.3	04/16/2026	04/23/2026	04/28/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	03/30/2026	04/07/2026	04/15/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	02/06/2026	02/20/2026	03/09/2026	Requires Re-submit
OCE: Plan Review (DR) v.4				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.3				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	04/23/2026	04/20/2026	Approved
<i>Corrections</i>	911 - Ag Lot Split (Resolved) - Easement has been assigned a quadrant designation of SW 148th Terrace Rd. Added road name to Sheet 2. Sheet 2 also has W HWY 40 is incorrectly labeled as State Road No 40.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/23/2026	04/16/2026	Approved
Fire Marshal (Plans) (Fire)	Roxanna Coleman	04/23/2026	04/16/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	04/23/2026	04/16/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/23/2026	04/16/2026	Not Required
OCE Design (Plans) (Office of the County Engineer)		04/23/2026	04/21/2026	Approved

SUBMITTAL SUMMARY REPORT (AgLotSplit-000287-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	04/23/2026	04/24/2026	Requires Re-submit
<i>Comments</i> **Repeat Comment** Title Commitment/opinion needs to be no more than 30 days old. -EMW 04.24.2026				
<p>Sec. 2.16.2. - Submittal Requirements. Ag Lot Split 2.16.1.B(8) - Agricultural lot splits outside of the Urban Growth Boundary: (INFO) 2.16.1.B(8)(f) - If an easement is utilized the following requirements shall apply: (INFO) 2.16.1.B(8)(f)2 - The easement shall be a private, non-exclusive easement for ingress and egress, allowing public use for emergency, utility and drainage purposes (PROVIDED) 2.16.1.B(8)(g) - A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation (Not provided at this time--If not provided, required MSBU waiver with maintenance requirements outlined through covenants) 2.16.4.C - Agricultural lot splits. Prior to DRC approval, in addition to other requirements, the following shall be required: C(1) & C(2) (INFO) 2.16.4.C(1) - Legal descriptions, acreage and square footage of the original and proposed lots together with the legal description of any existing or proposed easements shall be shown on a boundary survey prepared by a professional surveyor and mapper registered in the State of Florida. The survey must show all structures, easements, surface water bodies, the one percent (100-year) flood plain with base elevation, wetland and amount of acreage inside and outside of the flood plain and/or wetland. 2.16.4.C(2) - Title opinion of an attorney licensed in Florida or a certificate by a licensed title company dated through the date of final approval, showing all persons or entities with an interest of record in the property, including but not limited to, the record fee owners, easement holders, and mortgage and lien holders. The report shall include the tax identification number(s) for the property and copies of all documents such as vesting deeds, existing mortgages and any other documents evidencing an interest in the property which are referenced in the title opinion.</p>				

OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/23/2026	04/16/2026	Informational
<i>Comments</i> Please be advised that each lot will require a Major Site Plan or waiver when the existing and proposed impervious coverage exceeds 9,000 square feet. Several Ag Lot Splits will address the common elements (the shared driveway) with stormwater controls, and then each lot is responsible for its own stormwater.				

OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/23/2026	04/21/2026	Approved
----------------------------------------------------	---------------	------------	------------	----------

OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/23/2026	04/20/2026	Approved
---------------------------------------------------------------	---------------	------------	------------	----------

Utilities (OCE Plans) (Utilities)	Heather Proctor	04/23/2026	04/20/2026	Approved
<i>Comments</i> The project is located within the Marion County Utilities service area but is currently outside of connection distance to existing public utility systems. The 20-foot utility easement shown on the plans is adequate for future utility mains and services.				

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	04/07/2026	04/01/2026	Approved
<i>Corrections</i> 911 - Ag Lot Split (Resolved) - Easement has been assigned a quadrant designation of SW 148th Terrace Rd. Added road name to Sheet 2. Sheet 2 also has W HWY 40 is incorrectly labeled as State Road No 40.				
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/07/2026	04/01/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	04/07/2026	03/30/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	04/07/2026	03/30/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/07/2026	03/30/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	04/07/2026	04/06/2026	Approved
<i>Comments</i> Defer to Growth				

SUBMITTAL SUMMARY REPORT (AgLotSplit-000287-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	04/07/2026	04/14/2026	Requires Re-submit
<i>Comments</i>	Please provide MSBU documents or waiver. Please provide updated title commitment showing an effective date within 30 days of submittal. Please provide Easement documents. -EMW 04.14.2026			
	2.16.1.B(8) - Agricultural lot splits outside of the Urban Growth Boundary: (INFO) 2.16.1.B(8)(f) - If an easement is utilized the following requirements shall apply: (INFO) 2.16.1.B(8)(f)2 - The easement shall be a private, non-exclusive easement for ingress and egress, allowing public use for emergency, utility and drainage purposes (PROVIDED) 2.16.1.B(8)(g) - A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation (Not provided at this time--If not provided, required MSBU waiver with maintenance requirements outlined through covenants) 2.16.4.C - Agricultural lot splits. Prior to DRC approval, in addition to other requirements, the following shall be required: C(1) & C(2) (INFO) 2.16.4.C(1) - Legal descriptions, acreage and square footage of the original and proposed lots together with the legal description of any existing or proposed easements shall be shown on a boundary survey prepared by a professional surveyor and mapper registered in the State of Florida. The survey must show all structures, easements, surface water bodies, the one percent (100-year) flood plain with base elevation, wetland and amount of acreage inside and outside of the flood plain and/or wetland. 2.16.4.C(2) - Title opinion of an attorney licensed in Florida or a certificate by a licensed title company dated through the date of final approval, showing all persons or entities with an interest of record in the property, including but not limited to, the record fee owners, easement holders, and mortgage and lien holders. The report shall include the tax identification number(s) for the property and copies of all documents such as vesting deeds, existing mortgages and any other documents evidencing an interest in the property which are referenced in the title opinion.			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/07/2026	03/31/2026	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/07/2026	03/31/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/07/2026	03/30/2026	Approved
Utilities (OCE Plans) (Utilities)	Carrie Hyde	04/07/2026	03/31/2026	Approved
<i>Comments</i>	Approved with conditions as previously noted			

OCE: Plan Review (DR) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	02/20/2026	02/12/2026	Requires Re-submit
<i>Comments</i>	Please be aware that the addresses along the easement will have to change to reflect the new road name, including the address for parcel 20909-029-00 south of this project as it will use the named easement for access as well.			
<i>Corrections</i>	911 - Ag Lot Split (Not Resolved) - Easement has been assigned a quadrant designation of SW 148th Terrace Rd. Added road name to Sheet 2. Sheet 2 also has W HWY 40 is incorrectly labeled as State Road No 40.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	02/20/2026	02/18/2026	Approved
Fire Marshal (Plans) (Fire)	Roxanna Coleman	02/20/2026	02/11/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	02/20/2026	02/27/2026	Requires Re-submit
<i>Comments</i>	Need proper dimensions of easements to accurately asses.			
<i>Corrections</i>	2.16.1.B(8)(f)7 - Easements, flag lots (Not Resolved) - Provide dimensions of easement and show turnaround for emergency services.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	02/20/2026	02/06/2026	Informational
<i>Comments</i>	no comments			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	02/20/2026	02/25/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	02/20/2026	02/26/2026	Informational
<i>Comments</i>	2.16.1.B(8) - Agricultural lot splits outside of the Urban Growth Boundary: (INFO) 2.16.1.B(8)(f) - If an easement is utilized the following requirements shall apply: (INFO) 2.16.1.B(8)(f)2 - The easement shall be a private, non-exclusive easement for ingress and egress, allowing public use for emergency, utility and drainage purposes 2.16.4.C - Agricultural lot splits. Prior to DRC approval, in addition to other requirements, the following shall be required: C(1) & C(2) (INFO)			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	02/20/2026	02/11/2026	Informational
<i>Comments</i>	Please be advised that each lot will require a Major Site Plan or waiver when the existing and proposed impervious coverage exceeds 9,000 square feet. Several Ag Lot Splits will address the common elements (the shared driveway) with stormwater controls, and then each lot is responsible for its own stormwater.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	02/20/2026	02/12/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	02/20/2026	02/08/2026	Requires Re-submit
<i>Comments</i>	There was only one plan sheet submitted containing notes and legal description and also indicating there was supposed to be a second sheet. Please resubmit with both plan sheets. Once a complete plan is submitted, a review can be performed.			

SUBMITTAL SUMMARY REPORT (AgLotSplit-000287-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	02/20/2026	02/18/2026	Approved

Comments Approved with conditions.

REVIEW SESSION FILES: 241549ALS-SHEET 1.pdf
 241549ALS-SHEET 2.pdf
 Aerial Map.pdf
 ORB 2778.1796.pdf
 Title Opinion Letter Rev.pdf

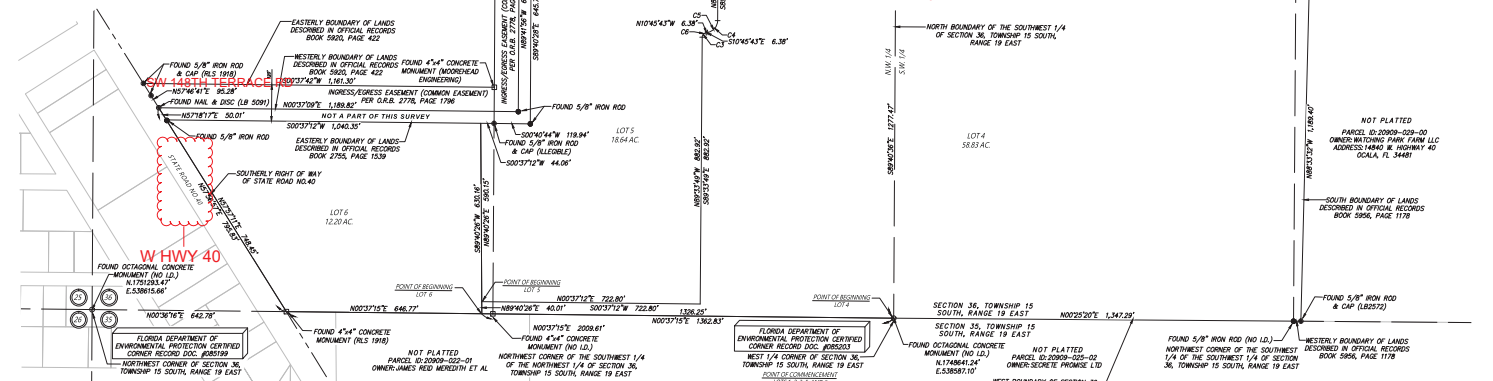
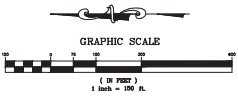
REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Janet Warbach	W HWY 40	02/11/2026 1:16	PM241549ALS-SHEET 2.pdf	1
Janet Warbach	SW 148TH TERRACE RD	02/11/2026 1:22	PM241549ALS-SHEET 2.pdf	1
Janet Warbach	SW 148TH TERRACE RD	02/11/2026 1:22	PM241549ALS-SHEET 2.pdf	1
Janet Warbach	SW 148TH TERRACE RD	02/11/2026 1:22	PM241549ALS-SHEET 2.pdf	1
Janet Warbach	New road name of SW 148th Terrace Rd	02/11/2026 1:23	PM241549ALS-SHEET 2.pdf	1

"WATCHING PARK FARMS"

MARION COUNTY AGRICULTURAL LOT SPLIT PLAN
PORTION OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST
MARION COUNTY, FLORIDA

CURVE TABLE				LINE TABLE		
CURVE	LENGTH	RADIUS	DELTA	LINE	BEARING	LENGTH
C1	157.08	100.00	090°10'00"	L1	N89°29'46"W	50.00
C2	157.08	100.00	090°10'00"	L2	S89°29'46"E	50.00
C3	20.63	15.00	078°48'06"	L3	N89°18'53"E	40.00
C4	55.01	40.00	078°48'06"	L4	N02°15'05"E	140.24
C5	55.01	40.00	078°48'06"			
C6	20.63	15.00	078°48'06"			

- LEGEND AND ABBREVIATIONS
- # MORE OR LESS
 - LB LOCKED BUSINESS
 - LS LAND SURVEYOR
 - E CENTERLINE
 - R RADIUS
 - A ARC LENGTH
 - Δ DELTA (CENTRAL ANGLE)
 - CH CHORD LENGTH
 - CA CHORD BEARING
 - SET 5/8" IRON ROD & CAP (LB 807)
 - FOUND 5/8" IRON ROD & CAP (AS NOTED)
 - FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
 - ◇ FOUND OCTAGONAL CONCRETE MONUMENT (AS NOTED)



Drawing made by JCH Engineering Group, Inc. on 08/04/25. All rights reserved. No part of this drawing may be reproduced without the written permission of JCH Engineering Group, Inc.

REVISIONS			
NO.	DATE	REVISION	BY

JCH
ENGINEERING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING, ENVIRONMENTAL & GIS
1000 W. STATE ROAD 100, SUITE 100
PALM BEACH, FL 33411
TEL: 561-842-2244 FAX: 561-842-2245
WWW.JCHENGRUP.COM

LOCATED IN SECTION 36,
TOWNSHIP 15 SOUTH, RANGE 19 EAST
MARION COUNTY, FLORIDA

MARION COUNTY AGRICULTURAL LOT SPLIT
FOR:
WATCHING PARK FARM

FB/PO	FIELD DATE	JOB NO.	SCALE
N/A	07/05/2025	241549A.1S	
DRAWING DATE	BY	APPROVED	SCALE
08/04/25	M.A.	CAI	1" = 150'

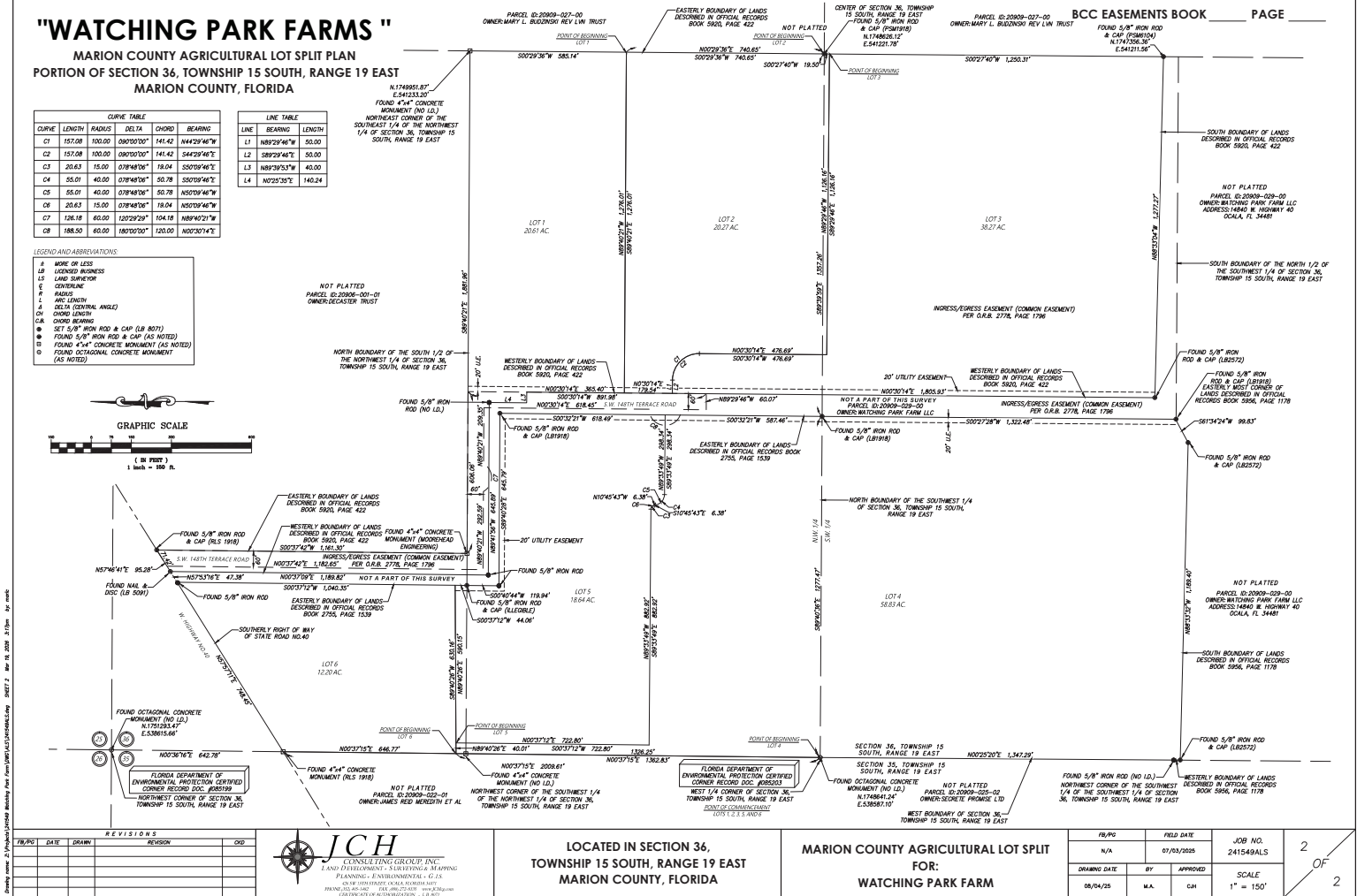
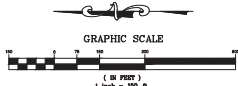
2 OF 2

"WATCHING PARK FARMS"

MARION COUNTY AGRICULTURAL LOT SPLIT PLAN
PORTION OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST
MARION COUNTY, FLORIDA

CURVE TABLE				LINE TABLE		
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	LENGTH
C1	157.08	100.00	080°50'00"	141.42	N44°29'46"W	50.00
C2	157.08	100.00	080°50'00"	141.42	S44°29'46"E	50.00
C3	20.63	15.00	078°48'06"	18.04	S50°09'46"E	40.00
C4	55.01	40.00	078°48'06"	50.78	S50°09'46"E	40.00
C5	55.01	40.00	078°48'06"	50.78	N50°09'46"W	40.00
C6	20.63	15.00	078°48'06"	18.04	N50°09'46"W	40.00
C7	126.18	60.00	120°29'29"	104.18	N88°40'21"W	40.00
C8	188.50	60.00	180°00'00"	120.00	N00°30'14"E	40.00

- LEGEND AND ABBREVIATIONS
- # MORE OR LESS
 - LB LINED BOUNDARY
 - LS LAND SURVEY
 - E CENTERLINE
 - R RADIUS
 - Δ DELTA (CENTRAL ANGLE)
 - CH CHORD LENGTH
 - CA CHORD ANGLE
 - SET 5/8" IRON ROD & CAP (LR 807)
 - FOUND 5/8" IRON ROD & CAP (AS NOTED)
 - FOUND 4 1/4" CONCRETE MONUMENT (AS NOTED)
 - FOUND OCTAGONAL CONCRETE MONUMENT (AS NOTED)



REVISIONS			
TRK/NO	DATE	DRAWN	REVISION

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING & ENVIRONMENTAL SERVICES
10000 W. UNIVERSITY BLVD., SUITE 200
FORT LAUDERDALE, FL 33324
TEL: 954-333-3333 FAX: 954-333-3334
WWW.JCHCONSULTING.COM

LOCATED IN SECTION 36,
TOWNSHIP 15 SOUTH, RANGE 19 EAST
MARION COUNTY, FLORIDA

MARION COUNTY AGRICULTURAL LOT SPLIT
FOR:
WATCHING PARK FARM

TRK/NO	DATE	BY	APPROVED	SCALE
N/A	01/05/2025	M.A.	CAI	1" = 150'

JOB NO.
241548A/LS
2 OF 2



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Development Review Committee Waiver Request Form

Waiver Request to Establishment of County MSBU

Per Section 2.10.1. of the Land Development Code: The Development Review Committee (DRC) may waive certain code requirements when not applicable to the proposed type of development or where alternative standards may promote flexibility, economical flexibility, and environmental soundness in layout and design.

Waiver requests and required documentation may be submitted through Civic Access. Waiver requests will not be processed without required information and applicable fees paid.

Please be specific in the reason/justification for the request below.

Section Number & Title of Code: LDC 2.16.1.B(8)(g) - Establishment of County MSBU

Details from Code:

CODE states A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC.

Reason/Justification for Request:

We are requesting a waiver to the establishment of an MSBU for an Agricultural Lot Split consisting of six (6) parcels derived from two parent parcels: Parcel No. 20909-028-00 and Parcel No. 20909-031-00.

OP
91.50
Daniel Hicks
CLERK OF CIRCUIT COURT
MARION COUNTY

DAVID R. ELLSPERMANN, CLERK OF CIRCUIT COURT
FILE: 2000-033588
DATE: 04/19/00 14:02
OR BOOK/PAGE: 2778/1796
MARION COUNTY

**DECLARATION OF
COVENANTS AND RESTRICTIONS
FOR
WOODS, FOSTER & LEONARD
PROPERTY**

[SPACE ABOVE THIS LINE FOR RECORDING DATA]

THIS DECLARATION OF COVENANTS AND RESTRICTIONS for WOODS, FOSTER & LEONARD PROPERTY (hereinafter referred to as the "Declaration") is made on the date hereinafter set forth by Foster & Leonard, L.L.C., a Kentucky Limited Liability Company and Gayle Woods and her husband, Eddie Woods (hereinafter collectively referred to as "Declarant").

WITNESETH:

WHEREAS, Declarant is the sole owner in fee simple of certain real property located in Marion County, Florida which is more particularly described in Exhibit "X" attached hereto (hereinafter referred to as the "Property").

WHEREAS, for the beneficial interest of the Declarant and of the future owners (the "Owners") of Parcels, it is desirable to subject said Parcels to, and impose upon Declarant and Owners of the Parcels, their successors and assigns, certain restrictions, conditions, limitations, reservations, and covenants in order to:

- (i) assure the beneficial, harmonious, and attractive development and improvement of the Parcels and Common Areas;
- (ii) cause the construction of residents and improvements of exterior scale, design quality, and appearance which will be harmonious with other residences and enhance the aesthetic appearance and value of the properties; and
- (iii) to prevent certain uses thereof which tend to diminish or be detrimental to the valuable and enjoyable development and maintenance of said Parcels and Common Areas; and

NOW, THEREFORE, Developer hereby submits the Property described in Exhibit "X" and declares that all of Woods, Foster & Leonard Property shall be held, sold and conveyed subject to the following easements, restrictions, covenants and conditions, which are for the purpose of protecting the value and desirability of, and which shall run with, said land, and be binding on all

032300-6

parties having any right, title or interest in the land or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each owner thereof. This Declaration does not create a condominium, and the Declarant does not constitute a condominium association.

ARTICLE I
DEFINITIONS

Section 1. "Assessments" shall mean any of the types of Assessments defined below in this Section.

(a) "Common Assessment" shall mean a charge against each Owner and his Lot, representing a portion of the expenses of maintaining, repairing, improving and replacing the Roadway located on the paved ingress and egress easement, operating the Association and performing any other maintenance, repairs or services authorized or permitted by this declaration, including the construction, maintenance and repair of common entrance and irrigation systems.

Section 2. "Woods, Foster & Leonard Property" shall mean and refer to the Property attached on Exhibit "X".

Section 3. "County" shall mean the Marion County, Florida.

Section 4. "Common Areas" may mean all personal property and real property, including easements, licenses, leaseholds, or other real property interests, including the improvements thereon, owned by any Lot Owner and herein designated as the Roadway or selectively maintained by the Declarant for the common use and enjoyment of the Owners, including any surface water or storm water management system, whether acquired by purchase or conveyance from the Declarant, its successors or assigns, or otherwise. The term "Common Areas" is such of the real property so designated by the Board that is not described as a Lot but does include and is not limited to the Roadway and may also include, but not be limited to fences, end landscape buffers around the perimeter of the Property, buffer Areas, entry features, decorations, improvements and landscaping, licensed or easement uses and any other real or personal property declared to be Common Areas in this Declaration or so designated by the Board of Directors. All "Common Areas" are to be devoted to and intended for the common use and enjoyment of the members of the Declarant, their families, guests, and persons occupying "Dwelling Units" on a guest or tenant basis, and to the extent authorized by this Declaration.

Section 5. "Common Expenses" may mean the actual and estimated costs of ownership, maintenance, management, operation, insurance, repair and replacement of the Common Areas; the cost of the maintenance, repair and continued implementation of the surface water or the storm water management system; costs of all utilities, cable or master television charges, if any; the costs of management and administration by the Declarant, including, but not limited to, compensation paid by the Declarant to managers, accountants, attorneys and other employees, agents or independent contractors; the costs of all utilities, gardening and other services benefitting the Common Areas, the

costs of fire, casualty and/or liability insurance, Workmen's Compensation insurance, and other insurance covering or connected with the Common Areas; costs of bonding the officers, agents, and employees of the Declarant; taxes paid by the Declarant, including real property taxes for the Common Areas; amounts paid by the Declarant for the discharge of any lien or encumbrance levied against the Common Areas or any portion thereof, and the costs of any other item or items so designated by, or in accordance with other expenses incurred by, the Declarant for any reason whatsoever in connection with the Common Areas or for the benefit of the Owners.

Section 6. "Declarant" is Foster & Leonard, L.L.C., a Kentucky Limited Liability Company and Gayle Woods and her husband, Eddie Woods and the successor or assign.

Section 7. "Declaration" shall mean and refer to this Declaration of Covenants and Restrictions for Woods, Foster & Leonard Property and any amendments and supplements thereto.

Section 8. "Dwelling Unit" or "Dwelling Parcel" shall mean and refer to a Lot as defined herein consisting of a detached single-family unit constructed thereon as to which a certificate of occupancy is issued by the applicable governmental authorities.

Section 9. "Institutional Mortgagee" shall mean and refer to a mortgage holder in the business of making, guaranteeing, or purchasing mortgages, including but not limited to banks, savings and loans, mortgage companies, VA, FHA, FNMA, or FHLMC.

Section 10. "Ingress/egress Easement" or "Roadway" is a mutual reciprocal easement for the common ingress and egress to any Lot more particularly described as thirty (30) foot on either side of the centerline of the Roadway as finally constructed by Declarant.

Section 11. "Lot", also referred to as "Tract" or "Parcel", shall mean and refer to Tracts 1 through 6, respectively and more particularly described on Exhibit "V".

Section 12. "Owner" shall mean and refer to the record owner of a Lot ("Lot Owner", "Owner") subsequent to Declarant, whether one or more persons or entities, of a fee simple title to any Lot or Parcel which is a part of or situated upon the Property; however, notwithstanding any applicable theory of the law of mortgages, "Owner" shall not mean or refer to a Mortgagee unless and until such Mortgagee has acquired title pursuant to foreclosure or any deed or proceeding in lieu of foreclosure. Owner may also mean any Declarant as owner of additional real property subjected to this Declaration and/or subsequent Owner.

Section 13. "Property" shall mean and refer to the property described on Exhibit "X" attached hereto.

ARTICLE II
PROPERTY SUBJECT TO THIS DECLARATION;
PROPERTY RIGHTS

Section 1. **The property.** The real Property which is and shall be held, transferred, sold, conveyed and occupied subject to this Declaration is located in Marion County, Florida, and is more particularly described in Exhibits "X".

Section 2. **Owner's Easements of Enjoyment.** Every owner shall have a right and easement of enjoyment including without limitation, the right of vehicular and pedestrian ingress and egress, in and to the Roadway which shall be appurtenant to ownership of a Lot. This right and easement shall also be deemed granted to the Owner's families, guests, invites, servants, employees, tenants, and contract purchasers.

Section 3. **Common Easement.** Declarant shall have a right and easement and the Owners and their successors-in-title hereby grant to Declarant easement over and upon (i) so much of each Tract as lies within thirty (30) feet of the centerline of the Roadway as actually constructed upon such Parcels and (ii) so much additional easement from the Roadway to each Owner's Tract necessary for the ingress and egress to a Tract from the Roadway, for the enjoyment of each Tract owner, their guest and invites. This grant of easement described as Roadway is privately owned and there is no obligation on the part if any political subdivision to repair, maintain or service said Roadway and it is therefore required that all Owners of any of the Property shall contribute amounts established hereunder. Except as is recorded or permitted in this Declaration or amendments thereto, there shall be no physical partition of the Roadway and easements or any part thereof nor shall any person acquiring any interest in the Property have the right of judicial partition.

Section 4. **Utility Easements.** To the extent that permits, licenses and easements over, upon or under the real property describe on Exhibit "X" are necessary so as to provide utility services to the Property, or for such other purposes reasonably necessary or useful for the proper maintenance and operation of the Woods, Foster & Leonard Property and each Owner and his heirs, successors and assigns, do hereby designate and appoint the Declarant and any successor to Declarant's rights hereunder as his agents and attorneys-in-fact with full power in his name, place and stead, to execute instruments creating, granting or modifying such easements.

ARTICLE III
COVENANT FOR MAINTENANCE ASSESSMENTS

Section 1. **Creation of the Lien and Personal Obligation for Assessments.** Each owner of any Lot by acceptance of a deed from any Declarant, whether or not it shall be so expressed in such deed, is deemed to covenant and agree, to pay Assessments to the Declarant, such Assessments to be established and collected as hereinafter provided. Lots owned by Declarant are subject to annual Assessment. The Assessments, together with interest, costs, and reasonable attorneys' fees, shall be a charge on the Lot and shall be a continuing lien upon the Lot against which each such Assessment is made. Each such Assessment, together with interest, costs and reasonable attorneys' fees, shall also

be the personal obligation of the person who was the Owner of such Lot at the time the Assessment fell due.

Section 2. Purpose of Assessments. The Assessments levied by the Declarant shall be used exclusively to promote the recreation, health, safety and welfare of the residents in the Property and for the improvement and maintenance of the Roadway, etc.

Section 3. Notice and Quorum for any Action. Beginning December 01, 2000 for the calendar year 2001 and annually thereafter, Declarant shall provide a written notice to a meeting to adapt an annual budget for the Common Assessment. Written notice of any meeting called for the purpose of taking any action authorized shall be sent to all Members not less than fourteen (14) days nor more than sixty (60) days in advance of the meeting. For the purposes of adopting the annual budget, there shall be nine (9) votes, the allocation of votes being four (4) votes for Tract 3 and one (1) vote for Tracts 1, 2, 4, 5 and 6. Five (5) affirmative votes in person or proxy shall be required to adopt an annual budget. If the required quorum is not present another meeting may be called subject to the same notice requirement. and the required quorum at such subsequent meeting shall be three (3) of the votes of the membership. The Declarant may call as many such subsequent meetings as necessary to obtain an authorized quorum.

Section 4. Date of Commencement of Assessments; Due Dates. The Assessments provided for in this Article shall commence as to any one Lot on January 01, 2001 and on the first day of each year thereafter. Written notice of the Common Assessment shall be sent to every Owner subject thereto. The Declarant shall, upon demand, and for a reasonable charge, furnish a certificate signed by any of the Declarant setting forth whether the Assessments on a specified Lot have been paid. A properly executed certificate of the Declarant as to the status of Assessments on a Lot is binding upon the Declarant as to third parties as of the date of its issuance.

ARTICLE IV COLLECTION OF ASSESSMENTS

Section 1. Monetary Defaults and Collection of Assessments.

(a) Late Fees and Interest. If any Assessment is not paid within ten (10) days after the due date, the Declarant shall have the right to charge the defaulting Owner a late fee equal to 20% of the amount of the Assessment, or Ten (\$10.00) dollars, whichever is greater, plus interest at the highest rate of interest allowable by law from the due date until paid. If there is no due date applicable to any particular Assessment, then the Assessment shall be due ten (10) days after written demand by the Declarant.

(b) Lien for Assessments. The Declarant has a lien on each Lot for unpaid Assessments owed to the Declarant by the Owner of such Lot, and for late fees and interest, and for reasonable attorneys fees incurred by the Declarant incident to the collection of the Assessments or enforcement of the lien, and all sums advanced and paid by the Declarant for taxes and payment on account of superior mortgages, liens or encumbrances in order to preserve and protect the Declarant's lien. The

lien is effective from and after recording a lien in the public records in the County, stating the legal description of the Lot, the name of the record Owner, and the amount due as of the recording of the claim of lien. A recorded claim of lien shall secure all sums set forth in the claim of lien, together with all Assessments or other monies owed to the Declarant by the Owner until the lien is satisfied. The lien is in effect until all sums secured by it have been fully paid or until the lien is barred by law. The claim of lien must be signed and acknowledged by an officer or agent of the Declarant. Upon payment in full of all sums secured by the lien, the person making the payment is entitled to a satisfaction of the lien.

(c) Collection and Foreclosure. The Declarant may bring an action in its name to foreclose a lien for Assessments in the manner a mortgage of real property is foreclosed and may also bring an action to recover a money judgment for the unpaid Assessments without waiving any claim of lien. The applicable Owner shall be liable to the Declarant for all costs and expenses incurred by the Declarant in connection with the collection of any unpaid Assessments, and the filing, enforcement, or foreclosure of the Declarant's lien, including reasonable attorneys' fees and all sums paid by the Declarant for taxes and on account of any other mortgage, lien, or encumbrance in order to preserve and protect the Declarant's lien.

(d) Subordination of Lien. The lien of the Declarant for Assessments or other monies shall be subordinate and inferior to the lien of any first mortgage of record. Any person who obtains title to a Lot pursuant to the foreclosure of a first mortgage of record, or any Mortgagee who accepts a deed to a Lot in lieu of foreclosure of the first mortgage of record shall not be liable for any Assessments or for other monies owed to the Declarant which are chargeable to the former Owner of the Lot and which became due prior to acquisition of title as a result of the foreclosure or deed in lieu thereof, unless the payment of such funds is secured by a claim of lien recorded prior to the recording of the foreclosed or underlying mortgage. The unpaid Assessments or other monies are common expenses collectable from all of the owners, including his successors and assigns. The new Owner, from and after the time of acquiring such title, shall be liable for payment of all future Assessments as may be assessed to the Owner's Lot. Any person who acquires a Lot, except through foreclosure of a first mortgage of record or acquiring title by sale, gift, devise, operation of law or by purchase at a judicial or tax sale, shall be liable for all unpaid Assessments and other monies due and owing by the former Owner to the Declarant; provided, however, that this obligation shall not be applicable to loans insured by the Federal Housing Administration or guaranteed by the Veterans Administration, if the applicable statutes, rules or regulations of the FHA or VA prohibit such liability.

Section 2. Negligence. An Owner shall be liable and may be assessed by the Declarant for the expense of any maintenance, repairs or replacement rendered necessary by his act, neglect or carelessness, but only to the extent that such expense is not met by the proceeds of insurance carried by the Declarant.

Section 3. Responsibility of an Owner for Occupants, Tenants, Guests and Invites. Each owner shall be responsible for the acts and omissions, whether negligent or willful, of any person residing in his Dwelling Unit, and for all employees, guests, and invites of the Owner or any such

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6 of 20

resident, and in the event the acts or omissions of any of the foregoing shall result in any damage to the Common Areas, or any liability to the Declarant, the Owner shall be assessed for same as in the case of any other Assessment, limited where applicable to the extent that the expense or liability is not met by the proceeds of insurance carried by the Declarant.

Section 4. Common Assessment. Each Owner, by acceptance of a deed for a Parcel, whether or not it shall be expressed in such deed, covenants and agrees to pay a pro rata share of the Common Assessment on the basis of the acreage of each Tract; Tract 1 having 36.531 acres, Tract 2 having 40.689 acres, Tract 3 having 245.262 acres, Tract 4 having 42.926 acres, Tract 5 having 40.512 acres and Tract 6 having 11.479 acres.

Section 5. Remedies of Declarant. Declarant or any Owner may bring an action at law against the Owner personally obligated to pay the Assessment, or foreclose the lien against the Property, and interest, costs, and reasonable fees of such foreclosure shall be added to the amount of each Assessment. No Owner may waive or otherwise escape liability for the Assessments provided for herein by non-use of the Roadway or abandonment of their Tract.

Section 6. No Waiver. The failure of the Declarant to enforce any right, provision, covenant or condition which may be granted by this Declaration, shall not constitute a waiver of the right of the Declarant or any Owner to enforce such right, provision, covenant, or condition in the future.

Section 7. Rights Cumulative. All rights, remedies and privileges granted hereunder shall be deemed to be cumulative, and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the Declarant thus exercising the same from executing such additional remedies, rights or privileges as may be granted or as it might have by law.

ARTICLE V USE RESTRICTIONS

Section 1. Use. No Tract shall be used except for residential or equine purposes consisting of one single-family residence, a garage, and accessory structures and uses, all as permitted herein. All buildings erected, altered, placed, and/or permitted to remain on said Parcels shall be detached single-family residences with attached garages and other permitted building. The garage entrances shall not directly face the Roadway. No part of any garage shall be located closer to the street than the front wall of the attached residence which is closest to the garage. The attached garage shall, as a minimum, contain sufficient space to accommodate two automobiles. Equine stables and accessory uses permitted with approval of Declarant described herein.

Section 2. Plan Approval. Prior to the beginning of construction of any improvements upon a Parcel (defined to be the beginning of any excavation, grading, or placement of improvements), there shall be submitted to for approval by Declarant duplicate copies in writing of the following:

(a) Plans, specifications, and elevations of all building (the "Building Plans") to be constructed, including a description of all exterior building and roof materials (including the color and type of exterior building and roof materials). One complete set of the Building Plans shall be retained by Declarant. All walks, steps, porches, patios, and other non-vehicular, non-planted surfaces in front of the Residence shall be of approved surface.

(b) Plot plan (the "Plot Plan") showing the location and dimensions of all buildings, driveways, porches, patios, terraces, mailboxes, barn, accessory building or structures, or any other permanent exterior structures or improvements, the approximate location of existing trees (marked to designate which are proposed to be cut down and which are to be retained subject to approval, all applicable front side and rear Lot lines and easements. floor level elevations, roof slopes and the type and location of the front yard landscaping required herein. Within one hundred twenty (120) days after completion of the residence on each Parcel, whether occupied or not and in addition to any trees already existing on the Parcel at the time of conveyance by the Declarant or subsequently planted or proposed to be planted by the Declarant, there shall be planted on each Parcel in front of the residence not less than ten (10) shrubs and/or trees.

Declarant shall have thirty (30) days to approve or conditionally approve the Plot Plan and Building Plan, failing which this contingency shall automatically be waived.

All proposed alterations, additions, or changes to the Building Plans or Plot Plan (as previously approved) shall be submitted to Declarant in writing and shall conform to all of the conditions above. Declarant shall have the right to approve, at its sole discretion, the proposed alterations, additions, or changes.

The approvals of Declarant as provided above shall be valid only if construction is begun in accordance thereto within one (1) year from the date of such approvals. If construction has not begun within said time, then the approvals shall lapse and re-approval by Declarant shall be required prior to the beginning of such construction or improvements.

Section 3. Garage. Only one residence with an attached garage and approved additional buildings, structures and improvements described previously above shall be permitted upon a Parcel.

Section 4. Size. Any residence constructed upon any Parcel shall contain a minimum living Area measured from the outside of the exterior walls, exclusive of porches, basements, attics, patios, and garages as follows:

- (a) One story residence: 2,400 square feet on the ground floor.
- (b) One and one-half and two story residences: 2,000 square feet on the ground floor and 2,800 total square feet.

Section 5. Utilities. The owner of the Parcel shall have the responsibility to preserve and protect all above and underground utilities located on the Parcel. No utilities may be above ground unless approved by Declarant.

Section 6. Driveways. All entranceway, driveways, and parking Areas shall be located with the consent and approval of Declarant finished with approved hard surface construction materials.

Section 7. Sod or Seeding. Within thirty (30) days after completion of the residence (weather permitting) on each Parcel, all Areas disturbed by construction shall be finish graded and seeded or sodded, and the side and rear yards shall be seeded or otherwise similarly planted or landscaped in full excepting only driveways, parking Areas, sidewalks, walkways, patios, terraces, porches, tennis courts, garden Area, etc.

Section 8. Trees. No trees larger than three inches in diameter shall be removed or cut except (i) dead or diseased trees, or (ii) unless the prior approval of Declarant is obtained in writing and for reasons caused by the construction of improvements and/or the beneficial development and use of the Parcel. Declarant is not responsible for the life or soundness of any tree.

Section 9. Other Vehicles. No trailer, inoperative automobiles or other vehicles, motor home, boat, camper, truck or other similar vehicles on property shall be allowed to remain on any Parcel unless kept within an approved enclosed garage or approved enclosed storage Area (i.e., within approved walls or fences) so as not to be visible from any other Parcel or the street. Notwithstanding the foregoing, vehicles reasonably necessary during construction of alterations of any building upon the Parcel are permitted.

Section 10. Tanks. No gas, fuel oil, or other holding tanks of any type shall be permitted to remain on any Parcel without the prior approval of Declarant as to the location and character of enclosure or barriers.

Section 11. Clotheslines. No exterior laundry or clothesline which are visible from any adjoining property or street shall be permitted to remain.

Section 12. Antennas. No antenna larger than a two-foot cube or three-foot diameter may be affixed to the residence, garage, or any other building or other structure, nor shall it extend higher than the highest point of the building or structure to which it is attached. No other antenna or satellite dish not so attached shall be located on the ground of any Parcel without prior approval of Declarant.

Section 13. Animals. No animals, livestock, or poultry of any kind shall be raised, bred, or kept on any Parcel except dogs, cats, or other small animals or birds customarily kept as household pets and horses. All such permitted animals shall be kept within an approved enclosed Area not permitted to run or stray upon any adjacent properties. Over-grazing will not be permitted. In the event pasture thins and turns to sand, Parcel Owner agrees to cease grazing and re-establish pasture.

Section 14. Temporary Shelters. No building or structures of a temporary character, including, but not limited to, storage huts, trailers, tents, shacks, barns, or other structure shall be constructed or permitted to remain upon any Parcel unless reasonable, necessary, and incident to construction.

Section 15. Gardens. No vegetable gardens upon any Parcel shall be planted or permitted to remain which extends nearer to the street than the rear yard of any residence on the Parcel, and in no event shall be nearer than one hundred (100) feet from the right-of-way line of any street.

Section 16. Signs. No sign of any kind shall be displayed on any Parcel except one sign not more than three square feet for advertising the Parcel for sale or rent. Farm name signage may be approved by Declarant.

Section 17. Fences. All fencing shall be four (4) plank oak black fence unless approval is granted by Declarant.

Section 18. Maintenance. Each Parcel shall be maintained in a neat and orderly condition, whether having improvements thereon or vacant. Weeds and grass shall be cut when necessary, and leaves, broken limbs, and other debris shall be removed when necessary. In the event that an Owner of a Parcel fails to maintain his Parcel in a neat and orderly condition, Declarant may, at its discretion enter upon such Parcel without liability and proceed to put in into an orderly condition, billing the cost of such work at the rate of one and one-half (1.5) times the cost of labor and materials used. Said cost shall be a valid debt of the Owner (and all successor Owners of the Parcel), and shall constitute a lien on the Parcel.

Section 19. Conduct. No immoral, improper, unlawful, noxious or offensive use shall be made or carried on in any building or upon any Parcel, not shall anything be done in any building or upon any Parcel which may be, or which may become, an annoyance or nuisance to the public or any other Owner.

Section 20. Declarant. Declarant shall not be responsible for the life or health of any trees upon any Parcel or the Common Areas, at the time of conveyance by them. After completion of all improvements, utilities, retention and storm drainage improvements, streets, etc. in accordance with all governmental requirements, Declarant shall not be responsible for any repairs, maintenance, reconstruction, or other work thereon except as defined.

Section 21. Restrictions. Each Parcel shall be conveyed subject to these Covenants and Restrictions the easements and restrictions and conditions in additional to any regulations or restrictions by governmental authorities.

Section 22. Enforcement. Each and all of the above Covenants and Restrictions shall be enforceable by injunction or other appropriate legal action available to Declarant and the Owner of any Parcel, their respective successor and assigns.

Section 23. Run with the Land. These Covenants and Restrictions shall run with the land, shall be binding upon all parties and all persons claiming under them for a period of ninety nine (99) years from and after the date upon which they have been recorded.

Section 24. Utilities. All utilities, including gas, water, sewer, electric shall be installed and maintained underground.

Section 25. Validity. Invalidation of any one or more of these Covenants and Restrictions by judgement or court order shall in no way affect the validity of any of the other provisions hereof which shall remain in full force and effect.

ARTICLE VI
INSURANCE

Section 1. Public Liability Insurance. The Declarant may procure and keep in force public liability insurance in the name of the Declarant and the Owners against any liability for personal injury or property damage resulting from any occurrence in or about the Roadway.

Section 2. Policies. Copies of all such insurance policies (or certificates thereof showing the premiums thereon to have been paid) shall be retained by the Declarant and open for inspection by the Owners and Mortgagees at any reasonable time. All such insurance policies shall provide that they shall not be cancelable by the insurer without first giving at least ten (10) days prior notice in writing to the Declarant.

ARTICLE VII
COVENANTS AGAINST PARTITION AND
SEPARATE TRANSFER OF MEMBERSHIP RIGHTS

Recognizing that the full use and enjoyment of any Lot is dependent upon the Owner's right and enjoyment to use the Roadway, and that it is in the interest of all of the Owners that the right to the use and enjoyment of the Roadway be retained by the Owners of Lots, it is therefore declared that the right to the use and enjoyment of any Owner in the Roadway shall remain undivided, and such Owner(s) shall have no right at law or equity to seek partition or severance or such right to the use and enjoyment of the Roadway. In addition, there shall exist no right to transfer the right to the use and enjoyment of the Roadway in any manner other than as an appurtenance to and in the same transaction with, a transfer of title to a Lot. Any conveyance or transfer of a Lot shall include the right to use and enjoyment of the Roadway appurtenant to and a further easement for ingress and egress to any such Lot subject to reasonable rules and regulations promulgated by the Declarant for such use and enjoyment, whether or not such rights shall have been described or referred to in the deed by which said Lot is conveyed. This provision does not give the Declarant and/or Lot or Dwelling owner a right to concurrent occupancy of Roadway/street, except where expressly provided for in the establishment instruments.

ARTICLE VIII
AMENDMENTS TO DECLARATION

Section I. General Amendments. This Declaration may be amended only (i) by the affirmative vote or written consent of the Members having not less than four (4) of the votes of the Membership, or (ii) by the Declarant, so long as the amendment will not impose more stringent regulations on Lots already sold by Declarant and/or as needed to clarify any ambiguity. No amendment shall be permitted which changes the rights, privileges and obligations of the Declarant without his prior written consent. Nothing contained herein shall affect the right of the Declarant to make whatever amendments or supplemental declarations are otherwise expressly permitted hereby without the consent or approval of any Owner or Mortgagee.

IN WITNESS WHEREOF, the undersigned has executed this Declaration this 30th day of March, 2000.

EXECUTED as of the date first above written

Signed in the presence of:

FOSTER & LEONARD, L.L.C., a Kentucky limited liability company

(Corporate Seal)

Joan Fletcher
Print Name: Joan Fletcher

By: Robert W Leonard
Robert W. Leonard Its Manager

Daniel Huck
Print Name: Daniel Huck

Joan Fletcher
Print Name: Joan Fletcher

Gayle Woods
Gayle Woods

Stephanie Smith
Print Name: Stephanie Smith

Eddie Woods
Eddie Woods

STATE OF Florida
COUNTY OF Marion

The foregoing instrument was acknowledged before me, this 30 day of March, 2000 by Robert W. Leonard as Manager of FOSTER & LEONARD, LLC, a Kentucky limited liability company of Corporation.

(a) personally known to me OR

(b) _____ produced _____ as identification.



Joan Pletcher
MY COMMISSION # CC756247 EXPIRES
July 5, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

Joan Pletcher
Notary Public



Joan Pletcher
MY COMMISSION # CC756247 EXPIRES
July 5, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

STATE OF FLORIDA
COUNTY OF MARION

The foregoing instrument was acknowledged before me, this 30 day of March, 2000 by
Eddie & Gayle Woods

- (a) personally known to me OR
- (b) _____ produced _____ as identification.

Joan Pletcher
Notary Public

STATE OF FLORIDA
COUNTY OF MARION



Joan Pletcher
MY COMMISSION # CC756247 EXPIRES
July 5, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

The foregoing instrument was acknowledged before me on the ____ day of March, 2000, by
_____, who is personally known to me or who produced
_____ as identification.

Notary Public

Exhibit X

14 of 20

THE SOUTHWEST 1/4; AND THE SOUTH 1/2 OF THE NORTHWEST 1/4; AND THAT PART OF THE WEST 750 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 LYING SOUTH OF STATE ROAD 40, ALL IN SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; AND THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 16 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA.

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Exhibit V

DESCRIPTION: TRACT 1

COMMENCE AT THE WEST 1/4 CORNER OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE N.00°10'40"E. ALONG THE WEST BOUNDARY OF SAID SECTION 36 A DISTANCE OF 2009.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No 40; THENCE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 47.52 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 47.52 FEET; THENCE S.00 10'40"W. ALONG A LINE LYING 80 FEET EAST OF AND BEING PARALLEL TO THE AFORESAID WEST BOUNDARY OF SECTION 36 A DISTANCE OF 734.01 FEET; THENCE N.89°55'06"E. 549.99 FEET; THENCE S.00 10'53"W. 120.06 FEET; THENCE N.89 53'32"E. 646.20 FEET; THENCE S.00°06'22"W. 1205.86 FEET; THENCE S.89°53'39"W. 1237.69 FEET; THENCE N.00 10'40"E. ALONG A LINE LYING 40 FEET EAST OF AND BEING PARALLEL TO THE AFORESAID WEST BOUNDARY OF SECTION 36 A DISTANCE OF 2034.69 FEET TO THE POINT OF BEGINNING.

Exhibit V Cont'd

DESCRIPTION: TRACT 2

BEGIN AT THE WEST 1/4 CORNER OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE N.00°10'40"E. ALONG THE WEST BOUNDARY OF SAID SECTION 36 A DISTANCE OF 2009.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No 40; THENCE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 47.52 FEET; THENCE S.00°10'40"W. ALONG A LINE LYING 40 FEET EAST OF AND BEING PARALLEL TO THE AFORESAID WEST BOUNDARY OF SECTION 36 A DISTANCE OF 2034.69 FEET; THENCE N.89°53'39"E. 1237.69 FEET; THENCE S.00°10'02"W. 1324.69 FEET; THENCE S.89°56'52"W. 1277.33 FEET TO THE N.W. CORNER OF THE S.W. 1/4 OF THE S.W. 1/4 OF AFORESAID SECTION 36; THENCE N.00°00'06"E. ALONG THE AFORESAID WEST BOUNDARY OF SECTION 36 A DISTANCE OF 1323.50 FEET TO THE POINT OF BEGINNING.

Exhibit V Cont'd

DESCRIPTION: TRACT 3

COMMENCE AT THE WEST 1/4 CORNER OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE N.00°10'40"E. ALONG THE WEST BOUNDARY OF SAID SECTION 36 A DISTANCE OF 2009.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No 40; THENCE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 748.45 FEET TO THE POINT OF BEGINNING; THENCE S.00°10'53"W. 1204.27 FEET; THENCE N.89°53'32"E. 646.20 FEET; THENCE S.00°06'22"W. 1205.86 FEET; THENCE S.00°10'02"W. 1324.69 FEET; THENCE S.89°56'52"W. 1277.33 FEET TO THE N.W. CORNER OF THE S.W. 1/4 OF THE S.W. 1/4 OF AFORESAID SECTION 36; THENCE S.00°00'06"W. ALONG THE AFORESAID WEST BOUNDARY OF SECTION 36 A DISTANCE OF 1323.50 FEET TO THE S.W. CORNER OF SAID SECTION 36 AND THE N.W. CORNER OF SECTION 1, TOWNSHIP 16 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE S.00°05'31"W. ALONG THE WEST BOUNDARY OF SAID SECTION 1 A DISTANCE OF 2650.43 FEET TO THE WEST 1/4 CORNER OF SAID SECTION 1; THENCE N.89°52'19"E. ALONG THE SOUTH BOUNDARY OF THE NORTH 1/2 OF SAID SECTION 1 A DISTANCE OF 2648.84 FEET TO THE CENTER OF SAID SECTION 1; THENCE N.00°02'39"E ALONG THE EAST BOUNDARY OF THE N.W. 1/4 OF SAID SECTION 1 A DISTANCE OF 2645.76 FEET TO THE NORTH 1/4 CORNER OF SAID SECTION 1 AND THE SOUTH 1/4 CORNER OF THE AFORESAID SECTION 36; THENCE N.00°30'58"W. ALONG THE EAST BOUNDARY OF THE S.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 36 A DISTANCE OF 1324.75 FEET TO THE N.E. CORNER OF SAID S.E. 1/4 OF S.W. 1/4; THENCE N.89°56'48"E. 1317.32 FEET; THENCE N.00°01'02"E. 1324.70 FEET; THENCE N.00°06'22"E. 1245.86 FEET; THENCE S.89°53'32"W. ALONG A LINE LYING 80 FEET SOUTH OF AND BEING PARALLEL TO THE NORTH BOUNDARY OF THE SOUTH 1/2 OF THE N.W. 1/4 OF SAID SECTION 36 A DISTANCE OF 646.15 FEET; THENCE N.00°10'53"E. 1189.71 FEET TO A POINT ON THE AFORESAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No. 40; THENCE S.57°30'36"W. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 47.52 FEET THE POINT OF BEGINNING.

Exhibit V Cont'd

DESCRIPTION: TRACT 4

COMMENCE AT THE WEST 1/4 CORNER OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE N.00°10'40"E. ALONG THE WEST BOUNDARY OF SAID SECTION 36 A DISTANCE OF 2009.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No 40; THENCE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 795.97 FEET TO THE POINT OF BEGINNING; THENCE S.00°10'53"W. 1189.71 FEET; THENCE N.89°53'32"E. ALONG A LINE LYING 80 FEET SOUTH OF AND BEING PARALLEL TO THE NORTH BOUNDARY OF THE SOUTH 1/2 OF THE N.W. 1/4 OF SAID SECTION 36 A DISTANCE OF 646.15 FEET; THENCE S.00°06'22"W. 1245.86 FEET; THENCE S.00°01'02"W. 1324.70 FEET; THENCE N.89°56'48"E. 1317.32 FEET TO THE N.E. CORNER OF THE S.E. 1/4 OF THE S.W. 1/4 OF AFORESAID SECTION 36; THENCE N.00°01'59"E. 1325.90 FEET; THENCE S.89°53'40"W. 1277.69 FEET; THENCE N.00°06'22"E. 1285.87 FEET; THENCE S.89°53'32"W. ALONG A LINE LYING 40 FEET SOUTH OF AND BEING PARALLEL TO THE AFORESAID NORTH BOUNDARY OF THE SOUTH 1/2 OF THE N.W. 1/4 A DISTANCE OF 646.09 FEET; THENCE N.00°10'53"E. 1175.16 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No. 40; THENCE S.57 30-36"W. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 47.52 FEET TO THE POINT OF BEGINNING.

Exhibit V Cont'd

DESCRIPTION: TRACT 5

COMMENCE AT THE WEST 1/4 CORNER OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE N.00°10'40"E. ALONG THE WEST BOUNDARY OF SAID SECTION 36 A DISTANCE OF 2009.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No. 40; THENCE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 843.49 FEET TO THE POINT OF BEGINNING; THENCE S.00°10'53"W. 1175.16 FEET; THENCE N.89°53'32"E. ALONG A LINE LYING 40 FEET SOUTH OF AND BEING PARALLEL TO THE NORTH BOUNDARY OF THE SOUTH 1/2 OF THE N.W. 1/4 OF SAID SECTION 36 A DISTANCE OF 646.09 FEET; THENCE S.00°06'22"W. 1285.87 FEET; THENCE N.89°53'40"E. 1277.69 FEET; THENCE N.00°01'59"E. 1325.91 FEET TO THE N.E. CORNER OF THE S.E. 1/4 OF THE N.W. 1/4 OF SAID SECTION 36; THENCE S.89°53'32"W. ALONG THE AFORESAID NORTH BOUNDARY OF THE SOUTH 1/2 OF THE N.W. 1/4 A DISTANCE OF 1882.04 FEET; THENCE N.00°10'53"E. 1160.61 FEET TO A POINT ON THE AFORESAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No. 40; THENCE S.57°30'36"W. 47.52 FEET TO THE POINT OF BEGINNING.

Exhibit V Cont'd

DESCRIPTION: TRACT 6

COMMENCE AT THE WEST 1/4 CORNER OF SECTION 36, TOWNSHIP 15 SOUTH, RANGE 19 EAST, MARION COUNTY, FLORIDA; THENCE N.00°10'40"E. ALONG THE WEST BOUNDARY OF SAID SECTION 36 A DISTANCE OF 2009.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD No 40; THENCE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 95.04 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.57°30'36"E. ALONG SAID SOUTHERLY RIGHT OF WAY LINE 653.41 FEET; THENCE S.00°10'53"W. 1804.21 FEET; THENCE S.89°55'06"W. 549.99 FEET; THENCE N.00°10'40"E. ALONG A LINE LYING 80 FEET EAST OF AND BEING PARALLEL TO THE AFORESAID WEST BOUNDARY OF SECTION 36 A DISTANCE OF 734.01 FEET TO THE POINT OF BEGINNING.



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22875

Agenda Date: 5/4/2026

Agenda No.: 6.2.

SUBJECT:

**Arden of Ocala- Mass Grading Plan 000394 - Waiver to Mass Grading Plan in Review
Parcel # 9018-0000-06 & 37471-013-00 #WaiverPIR-000677-2026
Dave Schmitt Engineering, Inc.**

LDC 6.13.6.A.3.c Stormwater quality criteria

CODE states Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1 and sodded bottoms.

APPLICANT request - Due to the site constraints, we are requesting a pond depth variance from 6 ft to 9 ft per the current plan. 1) The SJRWMD required a 20 ft maintenance berm on sides we have slope. 2) Since the pond doesn't recover the full amount, we had to hold back-to-back 100 year/24-hour storm events, which they approved. 3) We back-to-back maintain a 75 ft distance from the current existing well on site.



SUBMITTAL SUMMARY REPORT MassGrade-000394-2026

PLAN NAME: Arden of Ocala	LOCATION: 6670 SE MARICAMP RD OCALA,
APPLICATION DATE: 02/19/2026	PARCEL: 9018-0000-06
DESCRIPTION: Mass grading submission for entire site for Arden of Ocala	

CONTACTS	NAME	COMPANY
Applicant	Dave Schmitt	Dave Schmitt Engineering Inc.
Developer	Tim Safransky	Ocala Development Partners, LLC
Engineer of Record	Dave Schmitt	Dave Schmitt Engineering

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	02/24/2026	03/10/2026	03/19/2026	Requires Re-submit
OCE: Plan Review (DR) v.2				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1	ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
	911 Management (DR) (911 Management)	Jamie Waldron	03/10/2026	02/24/2026	Not Required
<i>Comments</i>	911 Review Not Required				
	Environmental Health (Plans) (Environmental Health)	Evan Searcy	03/10/2026	02/26/2026	Approved
<i>Comments</i>	Protect existing wells on property during demolition and construction. Apply for well abandonment permit through the Department of Health in Marion County. Proposed pool will require a construction permit through the Department of Health in Marion County.				
	Fire Marshal (Plans) (Fire)	Jonathan Kenning	03/10/2026	02/24/2026	Approved
	Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	03/10/2026	03/18/2026	Requires Re-submit
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.				
<i>Corrections</i>	2.12 - Zoning Classification-subject property (Not Resolved) - 2.12 - Zoning Classification-subject property: Show existing zoning classification on the subject property.				
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - 2.12/4.2 - Building height: Show existing and proposed building height (primary and accessory structures) in the site data table.				
<i>Corrections</i>	2.12/2.12.21 - Open space and natural areas (Resolved) - 2.12/2.12.21 - Open space and natural areas: Provide list of open space and natural areas in square footage, acreage, and percentage. Including existing and proposed natural open space, improved open space, open water, wetland, and preserved natural areas. Also show them on the plan.				
<i>Corrections</i>	2.12.13/14/15 - General Exhibits (Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.				
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Not Resolved) - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.				
<i>Corrections</i>	2.12 - Special Use Permits (Resolved) - 2.12 - Special Use Permits: List of all approved special use permits, case number, conditions, and the date of approval.				
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.				
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)				
<i>Corrections</i>	2.12 - Development Agreements (Resolved) - 2.12 - Development Agreements: List of Development Agreements including Marion County Official Record Book and Page.				
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Not Resolved) - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.				
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - 2.12/4.2 - Lot setback: Provide required setback and proposed setback in the site data table and show them on the plan.				
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Resolved) - 3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density: For residential project, show maximum and minimum allowable density, and proposed density.				

SUBMITTAL SUMMARY REPORT (MassGrade-000394-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	03/10/2026	03/18/2026	Requires Re-submit
<i>Corrections</i>	2.12 & Article 5 - Overlay zones (Not Resolved) - 2.12 & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - 3.2.3 - NON-RESIDENTIAL - Complies with FAR: For non-residential project, show maximum allowable Floor Area Ratio (FAR) and proposed FAR.			
<i>Corrections</i>	2.12 - Variances (Resolved) - 2.12 - Variances: List of approved Variance, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - 2.12.4/6.11.7 - Loading area: Show proposed loading areas on plan, per Sec. 6.11.7. - Loading areas.			
<i>Corrections</i>	2.12 - Parcel number (Resolved) - 2.12 - Parcel number: Show parcel numbers on the cover sheet.			
<i>Corrections</i>	2.12/3.2.3 - Land Use Consistency (Resolved) - 2.12/3.2.3 - Land Use Consistency: Provide a list of existing and proposed uses. Provide list of area in squarefootage/acreage for each existing and proposed uses. Verify if existing and proposed uses are allowed under land use designation and zoning classification.			
<i>Corrections</i>	2.12.9 - Existing, proposed & adjacent ROWs (Resolved) - 2.12.9 - Existing, proposed & adjacent ROWs: Show name, location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project on plan.			
<i>Corrections</i>	2.12.10 - Easement (Resolved) - 2.12.10 - Easement: Show existing and proposed easements on plan, and provide description of each easement.			
<i>Corrections</i>	4.3.11 - Mining project (Resolved) - 4.3.11 - Mining project: If the project is for mining, does this project have an approved development plan (Conceptual Plan, Master Plan, Improvement, Plat) or Special Use Permit			
<i>Corrections</i>	2.12 - Site coverage (Resolved) - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.			
<i>Corrections</i>	2.12 - Rezoning (Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Lot area & lot width (Resolved) - 2.12 - Lot area & lot width: Provide required lot area and lot width in the site data table. Show proposed lot area and lot width of all lots in the site data table and on the plan.			
<i>Corrections</i>	2.12.4/6.11.6 - Construction access (Resolved) - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,.			
<i>Corrections</i>	2.12 - Land Use Designation-subject property (Not Resolved) - 2.12 - Land Use Designation-subject property: Show existing land use designation the subject property.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided? (Resolved) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.			
<i>Corrections</i>	6.11.6.B - Remained or removed materials from site (Resolved) - 6.11.6.B - Remained or removed materials from site: Any activity excavating and removing material from a site shall include a designated access route and be approved by the County prior to utilization.			
<i>Corrections</i>	2.12.20 - Phases of development (Resolved) - 2.12.20 - Phases of development: Show all phases of development on plan. Improvements must be in place to support each phase of development at time of phase completion.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	03/10/2026	02/27/2026	Requires Re-submit
<i>Comments</i>	Please submit tree mitigation calculations (to determine tree replacement inches) and MFLA Locations and calculations			
OCE Design (Plans) (Office of the County Engineer)	William Poole	03/10/2026	03/03/2026	Requires Re-submit
<i>Corrections</i>	2.12.3 - Title block (Not Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	2.12.4 - Front page of the plan (Not Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	2.12.4 - Front page of the plan (Not Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	2.12.4 - Front page of the plan (Not Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	Additional Design Comments (Not Resolved) - Additional Comments:			
OCE Property Management (Plans) (Office of the County Engineer)		03/10/2026	03/09/2026	Not Required
<i>Comments</i>	ROW is not a reviewer for this plan.			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/10/2026	02/25/2026	Requires Re-submit
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".			

SUBMITTAL SUMMARY REPORT (MassGrade-000394-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/10/2026	02/25/2026	Requires Re-submit
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - 6.13.6 - Stormwater Quality Criteria: The following systems shall be considered as meeting the County's stormwater quality criteria: a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, shall have an appropriate vegetative cover. c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1, shall have sodded bottoms. d) Wet retention/detention systems, including wetlands, shall meet the governing State standards. e) Systems demonstrating distributed volume.			
<i>Corrections</i>	6.13.2.B(5) - Hydraulic Analysis (Not Resolved) - 6.13.2.B(5) - Hydraulic Analysis: Hydraulic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. Provide a sub-basin map for each sub-basin; label each sub-basin and provide total area as well as area of impervious coverage within each sub-basin.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	6.13.2.A.12/6.12.5-Details, X-Sections, References (Not Resolved) - 6.13.2.A.12/6.12.5-Details, X-Sections, References: Provide details, cross sections, or references clearly describing the construction intent. It is acceptable to reference standard details, such as FDOT's, when used instead of reproducing them.			
<i>Corrections</i>	6.10 - Karst Topography and High Recharge Areas (Not Resolved) - 6.10 - Karst Topography and High Recharge Areas: An application for any new development or expansion of existing development, located within a high recharge or karst sensitive area as designated by the appropriate water management district or Marion County maps, shall submit an analysis of site conditions in sufficient detail to define hydrologic and geologic conditions which may guide mining, land development, or construction activities on the proposed site. Karst analysis shall include depiction of karst features on the project site and off-site within 200 feet of the project boundary. Karst analysis should be signed and sealed by an engineer.			
<i>Corrections</i>	6.13.5 - Flood Plain & Protection (Not Resolved) - 6.13.5 - Flood Plain & Protection: This section provides requirements for all land use activities which materially change the location, elevation, size, capacity, or hydraulic characteristics of the existing one percent (100-year) flood plain as identified by FEMA. Make sure that equivalent flood plain volume and conveyance is maintained. Land use activities which materially change the flood plain may be permitted when calculations performed by a licensed professional are provided demonstrating that compensating storage or other hydraulic characteristics are provided on the owner's property or within an easement. Land use activities that do not meet the thresholds for a stormwater analysis shall minimally be required to demonstrate one-for-one compensating storage. When proposed improvements associated with mass grading plans, major site plans or improvement plans encroach into a flood hazard zone, it shall be necessary for the applicant to file a map amendment or revision with FEMA.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.7 - Geotechnical Criteria (Not Resolved) - 6.13.7 - Geotechnical Criteria: Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. The estimated seasonal high ground water elevation and confining layer shall be clearly identified. The estimated seasonal high water elevation and the confining layer shall be set no lower than the bottom of the boring for the purposes of stormwater system modeling. The pond bottom elevation of a stormwater facility shall be designed a minimum of 1 foot above the estimated seasonal high water elevation. When the pond bottom is within 1 foot of the estimated seasonal high water elevation, a 50 percent reduction factor shall be used for percolation or ground water mounding analysis shall be included.			
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications (Not Resolved) - 7.1.3.B. - Drainage Construction Specifications: Provide following note on cover sheet: "No change to the work as shown on the approved plans shall be made without notification to and approval by the Office of the County Engineer."			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - Additional Stormwater comments			
<i>Corrections</i>	6.13.8 - Stormwater Conveyance Criteria (Not Resolved) - 6.13.8 - Stormwater Conveyance Criteria: Conveyance systems shall be sized to accommodate the 25-year 24-hour storm event. The tailwater elevation utilized shall be based on the tailwater elevation of the receiving water body plus 6 inches at the peak discharge time of the design storm. Alternatively, the tailwater elevation utilized can be the design high water elevation of the 25-year 24-hour design storm. All retention/detention areas within subdivision developments shall have direct access to a right-of-way. A drainage right-of-way may be necessary to establish this access. Drainage rights-of-way shall be a minimum of 30 feet in width. All drainage swales to facilities or underground stormwater conveyance systems shall be within drainage easements, except where rights-of-way are provided. Drainage easements shall be a minimum of 20 feet in width.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.13.2.B(1)/(2) - Runoff Analysis/Tc Calculations (Not Resolved) - 6.13.2.B(1)/(2) - Runoff Analysis/Tc Calculations: Calculations shall minimally include: Runoff analysis that reflects the project basin soil type, area, and ground cover based on pre-conditions and post-conditions for ultimate development. Time of concentration and travel time analysis for hydrology and hydraulic systems.			

SUBMITTAL SUMMARY REPORT (MassGrade-000394-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/10/2026	02/25/2026	Requires Re-submit
<i>Corrections</i>	6.13.8.B(3) - Lane Spread Calculations (Not Resolved) - 6.13.8.B(3) - Lane Spread Calculations: Lane spread shall be calculated using FDOT criteria considering the 4-inch per hour or 10-year frequency storm as appropriate, to produce the following results: 1. Subdivision Local and Minor Local Roads: The allowable lane spread shall be no greater than the crown (or high side) of the road. For all divided roadways the allowable lane spread shall be no greater than the inside (or high side) edge of pavement. 2. Arterial, Collector, and Major Local Roads: The allowable lane spread shall leave 8 feet of travel lane dry in each direction.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - 6.13.2.B(8) - Calculation & Plan Consistency: Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.			
<i>Corrections</i>	6.12.6 - Roadway Flooding Level of Service (Not Resolved) - 6.12.6 - Roadway Flooding Level of Service: Subdivision Local and Minor Local Roads: Flooding due to the 25-year storm design high water level shall be below one-half of the travel lane. For internal flood evacuation routes, flooding due to the 100-year storm design high water level shall be below one-half of the travel lane. Further restrictions may be imposed by the County Engineer or his designee, for flood prone areas. Arterial, Collector, and Major Local Roads: All roads shall be designed to be above the 100-year storm design high water level for that basin. Flooding due to this event shall not encroach into the travel lane.			
<i>Corrections</i>	2.12.4.L(9)(b) - Data Block (Impervious Area) (Not Resolved) - 2.12.4.L(9)(b) - Data Block (Impervious Area): Provide existing and proposed gross impervious area in SF, ac, and percentage in the data block on the cover sheet. Include any offsite drainage to your site in the data block.			
<i>Corrections</i>	6.13.3 - Type of Stormwater Facility Criteria (Not Resolved) - 6.13.3 - Type of Stormwater Facility Criteria: Please see LDC 6.13.3 to find the requirements for the stormwater management facility that is proposed for the project.			
<i>Corrections</i>	6.13.2.A.3 - Retention/Detention Design Parameters (Not Resolved) - 6.13.2.A.3 - Retention/Detention Design Parameters: Show location and design parameters for all retention/detention areas including: 1. Dimensions or coordinates for constructability. 2. Cross sections along the width and length of each pond, showing the design high water elevation, estimated seasonal high water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. 3. Soil boring location with labels.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	03/10/2026	02/25/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	03/10/2026	03/01/2026	Requires Re-submit
<i>Corrections</i>	2.12.30 - Construction entrance (Not Resolved) - 2.12.30 - Construction entrance: Show the construction entrance and provide a route plan.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	03/10/2026	03/05/2026	Requires Re-submit
<i>Comments</i>	The project is located within the Marion County Utilities service area and will connect to public water and sewer. Re-submit showing the existing sewer force main on Maricamp Road and the water main on Pine Trace on the plans to confirm that the existing water and wastewater infrastructure will not be impacted by the proposed grading activities.			

REVIEW SESSION FILES:

- AO-1 Arden of Ocala Drainage Report (12-29-2025).pdf
- AO-1 FEMA flood map.pdf
- AO-1 MG FULL SET.pdf
- AO-1 SURVEY.pdf
- AO-1 USGS quad.pdf
- Arden of Ocala Geotech Final Report.pdf
- Contour Map.pdf
- PACSCON #2024-2222_ERA, High Point Apts, Ocala, FL_2025-06-13.pdf
- Soils Map.pdf
- Wetland Map.pdf
- wildlife report REV 10.12.2022.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Alexander	Isohyetal map shows this area has around 11.5" of rainfall	02/24/2026 2:11	PMAO-1 Arden of Ocala Drainage Report (12-29-2025).pdf	25
Alexander	Isohyetal map shows rainfall amount is around 8.3"	02/24/2026 2:11	PMAO-1 Arden of Ocala Drainage Report (12-29-2025).pdf	25



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

9018-0000-06, 37471-000-00
37471-010-00, 37471-013-00

Date: 4/23/26 Parcel Number(s): 37471-008-00 Permit Number: MG-000394-2026

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Arden of Ocala Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): _____
Signature: _____
Mailing Address: _____ City: _____
State: _____ Zip Code: _____ Phone # _____
Email address: _____

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Dave Schmitt Engineering, Inc. Contact Name: Dave Schmitt
Mailing Address: 12301 Lake Underhill Rd. Suite 241 City: Orlando
State: FL Zip Code: 32828 Phone # 407-207-9088
Email address: dsemailbox@dseorl.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.13.6 Stormwater Quality Criteria
Reason/Justification for Request (be specific): Due to the site constraints, we are requesting the pond depth variance from 6 ft to 9 ft per the current plan. 1) The SJRWMD required a 20 ft maintenance berm on sides we have slope 2) Since the pond doesn't recover the full amount, we had to hold back to back 100 year-24 hour storm events, which they approved. 3) We also had to maintain a 75 ft distance from the current existing well on site.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

MASS GRADING PLAN

for

ARDEN OF OCALA

OCALA, FLORIDA

PARCEL ID NUMBERS
 9018-0000-06 37471-000-00
 37471-010-00 37471-013-00
 9018-0327-33

LEGAL DESCRIPTION:

PARCEL NO. 1: (37471-000-00)

PARCEL 1, THE SOUTH 455 FEET OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, AND THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 LYING WEST OF COUNTY ROAD 464 (FORMALLY STATE HIGHWAY 464); EXCEPT THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND EXCEPT THE FOLLOWING, COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, THENCE NORTH 210 FEET; THENCE WEST 125 FEET; THENCE SOUTH 210 FEET; THENCE EAST 125 FEET TO THE POINT OF BEGINNING, ALL LYING IN SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA.

LESS AND EXCEPT #1:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; THENCE NORTH 0°01'00" WEST 507.31 FEET; THENCE SOUTH 89°32'27" EAST 29.43 FEET; THENCE SOUTH 89°52'27" EAST 20.50 FEET; THENCE SOUTH 00°54'44" WEST 48.00 FEET; THENCE NORTH 89°52'27" WEST 29.43 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT #2:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 0°13'09" WEST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 235.50 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°52'27" EAST, PARALLEL WITH THE NORTH LINE OF THE NORTHWEST 1/4 OF AFORESAID SECTION, A DISTANCE OF 189.76 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY OF COUNTY ROAD 464 (FORMALLY STATE HIGHWAY 464); A 180 FOOT RIGHT-OF-WAY, THENCE SOUTH 0°01'00" WEST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 492.51 FEET; THENCE SOUTH 0°13'09" WEST, PARALLEL WITH THE WEST LINE OF THE NORTHWEST 1/4 OF AFORESAID SECTION, A DISTANCE OF 586.14 FEET; THENCE SOUTH 89°52'27" WEST, PARALLEL WITH THE NORTH LINE OF THE NORTHWEST 1/4 OF AFORESAID SECTION, A DISTANCE OF 125.00 FEET TO THE WEST LINE OF THE NORTHWEST 1/4 OF AFORESAID SECTION; THENCE NORTH 89°13'09" EAST, ALONG SAID LINE, A DISTANCE OF 94.89 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT #3:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 0°13'09" WEST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 235 FEET; THENCE NORTH 89°52'27" EAST, PARALLEL WITH THE NORTH LINE OF THE NORTHWEST 1/4 OF AFORESAID SECTION, A DISTANCE OF 189.76 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY OF COUNTY ROAD 464 (FORMALLY STATE ROAD 464); THENCE NORTHWESTERLY, ALONG SAID RIGHT-OF-WAY, TO THE POINT OF BEGINNING.

AND LESS ANY PORTION CONVEYED IN DEEDS RECORDED IN OFFICIAL RECORDS BOOK 4518, PAGE 1518 AND OFFICIAL RECORDS BOOK 599, PAGE 122, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

TOGETHER WITH THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; LESS ANY PORTION CONVEYED IN DEEDS RECORDED IN OFFICIAL RECORDS BOOK 4518, PAGE 1518 AND OFFICIAL RECORDS BOOK 599, PAGE 122, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL NO. 2: (37471-013-00)

A PORTION OF THE SOUTH 455 FEET OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 LYING WEST OF COUNTY ROAD 464 (FORMALLY STATE HIGHWAY 464), IN SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; SAID MONUMENT ALSO MARKING THE NORTHWEST CORNER OF LOT 26, BLOCK 327, UNIT 18, SILVER SPRINGS SHORES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK J, PAGE 146, PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE NORTH 89°13'09" EAST, ALONG THE BOUNDARY OF SAID UNIT 18, A DISTANCE OF 461.94 FEET; THENCE CONTINUE ALONG SAID BOUNDARY, NORTH 89°51'11" WEST, 1019.87 FEET; THENCE DEPARTING SAID BOUNDARY, NORTH 89°07'13" WEST, 40.32 FEET; THENCE SOUTH 89°48'39" WEST, 194.5 FEET; THENCE NORTH 00°54'44" EAST, 453.58 FEET TO THE NORTH BOUNDARY OF THE 1/2 ACRES 488 FEET OF THE NORTH 1/2 OF THE 1/2 ACRES 14.00 ACRES NORTHWEST 1/4 OF SAID SECTION 6; THENCE SOUTH 89°51'11" EAST, ALONG SAID NORTH BOUNDARY, 1040.79 FEET TO THE WEST BOUNDARY OF THE AFORESAID NORTHWEST 1/4 OF SECTION 6; THENCE NORTH 0°13'09" EAST, ALONG SAID WEST BOUNDARY, 188.64 FEET; THENCE SOUTH 42°40'29" EAST, 1812.29 FEET TO THE AFORESAID BOUNDARY OF UNIT 18, SILVER SPRINGS SHORES; THENCE NORTH 89°03'33" WEST, ALONG SAID BOUNDARY, 125.36 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 3: (9018-0000-06)

A PORTION OF LOT 2, SILVER SPRINGS SHORES, UNIT 18, TRACT Q-Q REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 101, PUBLIC RECORDS OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; SAID MONUMENT ALSO MARKING THE NORTHWEST CORNER OF LOT 26, BLOCK 327, UNIT 18, SILVER SPRINGS SHORES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK J, PAGE 146, PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE SOUTH 89°53'33" EAST, ALONG THE BOUNDARY OF SAID PLAT, 1314.62 FEET; THENCE CONTINUE ALONG SAID PLAT BOUNDARY, NORTH 69°35'33" EAST, 29.33 FEET TO THE MOST WESTERLY CORNER OF LOT 2, SILVER SPRINGS SHORES, UNIT 18, TRACT Q-Q REPLAT; THENCE ALONG THE BOUNDARY OF SAID LOT 2, NORTH 40°23'39" EAST, 82.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID BOUNDARY, SOUTH 89°53'33" EAST, 107.44 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD 464 (FORMALLY STATE HIGHWAY 464) (80 FEET WIDE); THENCE SOUTH 42°41'30" EAST, ALONG SAID RIGHT-OF-WAY LINE, 277.64 FEET; THENCE DEPARTING SAID COUNTY ROAD 464, RUN SOUTH 47°48'59" WEST, 239.64 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 4: (37471-010-00)

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; THENCE NORTH 210 FEET; THENCE WEST 125 FEET; THENCE SOUTH 210 FEET; THENCE EAST 125 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 5: (9018-0000-26)

LOT 26, BLOCK 327, SILVER SPRINGS SHORES UNIT NO. 18, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK J, PAGES 146 THROUGH 153, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

WATER / SEWER SERVICE:
 CITY OF OCALA UTILITIES
 201 SE 3RD ST.
 OCALA, FL 34471
 PHONE: 352-629-2489

GAS SERVICE:
 CENTRAL FLORIDA GAS
 1705 7TH STREET WEST
 WINTER HAVEN, FL 33890
 PHONE: 863-292-2933

ELECTRIC SERVICE:
 CITY OF OCALA UTILITIES
 201 SE 3RD ST.
 OCALA, FL 34471
 PHONE: 352-629-2489

TABLE OF CONTENTS

1	COVER SHEET
2	GENERAL NOTES
3	EROSION CONTROL & DEMO PLAN
4	EROSION CONTROL DETAILS
5	SWPPP
6	OVERALL MASTER PLAN
7	MASS GRADING - OVERALL PLAN
8 - 14	MASS GRADING PLAN 1, 2, 3, 4, 5, 6 & 7
15 - 16	POND PLAN 1 & 2
17 - 18	MASS GRADING DETAILS 1 & 2

PLANS BY OTHERS:
 - TOPOGRAPHIC SURVEY

DEVELOPER/OWNER:
 OCALA DEVELOPMENT PARTNERS, LLC.
 19046 BRUCE B DOWNS BLVD, 403
 TAMPA, FL 33647
 PHONE: 813-244-7057
 CONTACT: TIM SAFRANSKY
 E-MAIL: TIM@INTERFORUMHOLDINGS1.com

ENGINEER:
 DAVE SCHMITT ENGINEERING, INC.
 12301 LAKE UNDERHILL ROAD
 SUITE 241
 ORLANDO, FL 32828
 PHONE: 407-207-9088
 FAX: 407-207-9089
 CONTACT: DAVE SCHMITT, P.E.

SURVEYOR:
 COLLIER'S ENGINEERING & DESIGN
 5471 WEST WATER AVE., 100
 TAMPA, FLORIDA 33647
 PHONE: 813-582-4633
 CONTACT: DAVID FERRARO
 EMAIL: DAVID.FERRARO@COLLIERSENG.COM

SOILS/GEOTECHNICAL:
 INTERTEK PSI
 5801 BENJAMIN CENTER DRIVE, SUITE 112
 TAMPA, FL 33634
 PHONE: 813-580-7471
 CONTACT: COURTLAND ALVIES
 EMAIL: COURTLANDALVIES@INTERTEK.COM

ENVIRONMENTAL:
 PACSCON
 4517 GEORGE ROAD, SUITE 220
 TAMPA, FL 33634
 CONTACT: LEIGH ANN ANDERSON
 PHONE: 844-772-2728
 EMAIL: LANDERSON@PACSCON.COM

LANDSCAPE ARCHITECT:
 BORRELLI + PARTNERS
 720 VASSAR STREET
 ORLANDO, FL 32804
 CONTACT: CHRIS RICE
 FAX: 407-418-1338
 EMAIL: CRICE@BORRELLIARCHITECTS.COM
 FAX:



SITE LOCATION

DAVE SCHMITT ENGINEERING, INC.
 12301 LAKE UNDERHILL RD., SUITE 241
 ORLANDO, FL 32828
 407-207-9088 FAX 407-207-9089
 Certification of Authorization #27471

DAVE M. SCHMITT
 FLORIDA REG. NUMBER
 48574

DATE: AUGUST 2025 JOB NO.: AO-1 SHEET: 01 OF 18

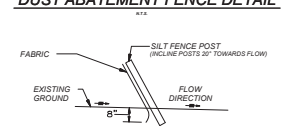
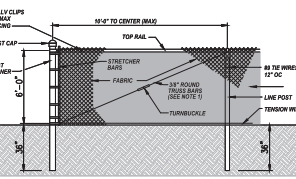
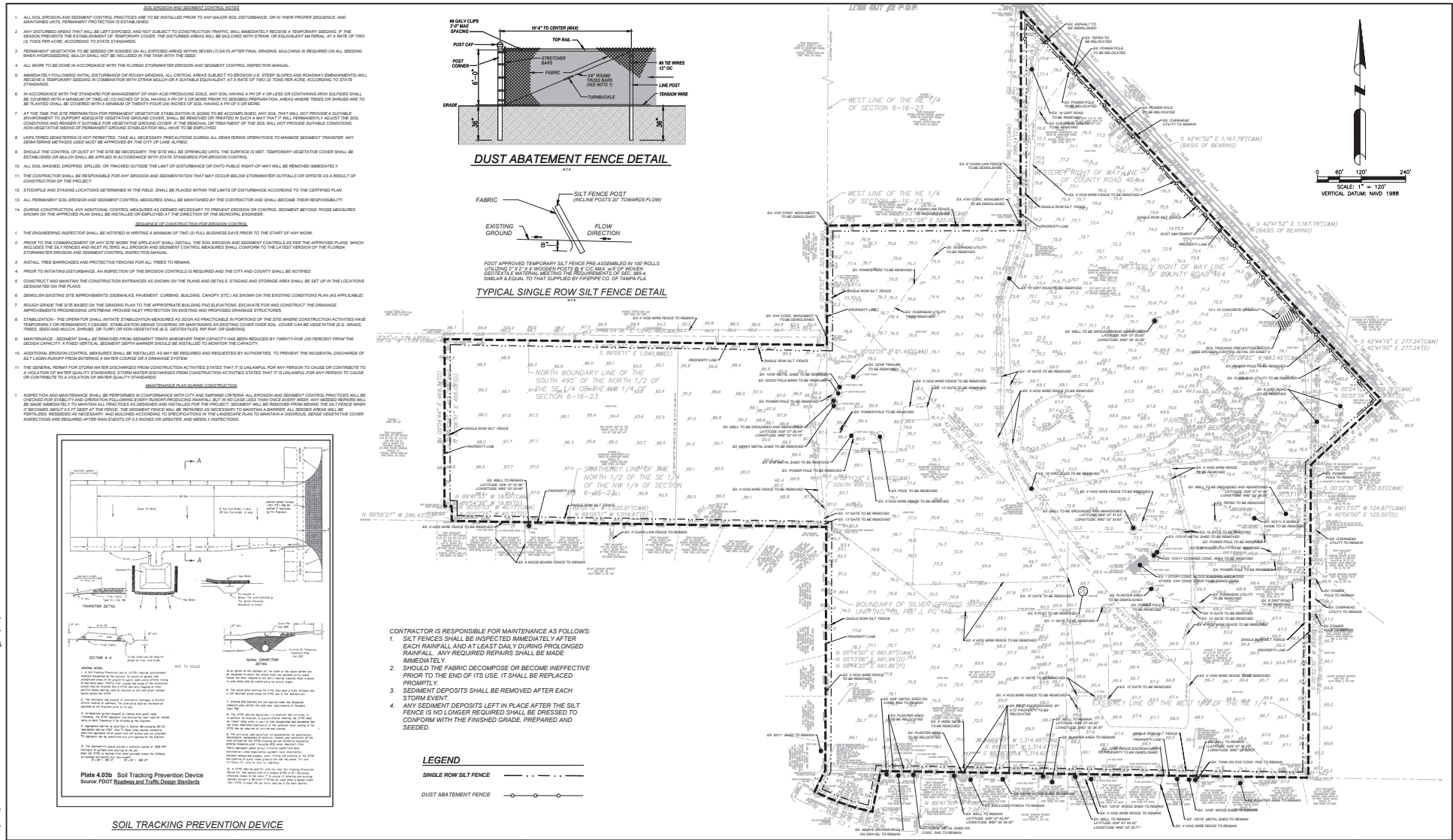
PREPARED FOR:
OCALA DEVELOPMENT PARTNERS, LLC.



THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION

REVISIONS							
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

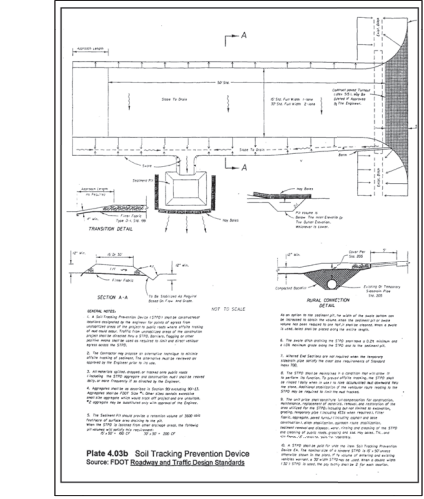
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- SOIL EROSION AND SEDIMENT CONTROL NOTES**
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
 2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE GRASS PREVENTS THE ESTABLISHMENT OF PERMANENT VEGETATION, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OF EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
 3. PERMANENT VEGETATION TO BE SEEDING OR SOAKED BY ALL EXPOSED AREAS WHEN SEVEN (7) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR MANUAL.
 5. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR MAJOR GRADING, ALL DISTURBED AREAS SHALL BE SUBJECT TO EROSION CONTROL. STEEP SLOPES AND ROADWAY (SUBPARALLEL) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OF A SUITABLE EQUIVALENT AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
 6. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULPHATES SHALL BE COVERED WITH A MINIMUM OF TWENTY FOUR (24) INCHES OF SOIL HAVING A PH OF 5.0 OR MORE.
 7. AT THE TIME THE TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES ARE TO BE REMOVED, ANY SOIL THAT WILL NOT PROVIDE A SUFFICIENT ENVIRONMENT TO SUPPORT ADAPTABLE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A MANNER THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND BECOME SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
 8. UNEXPECTED DISTURBANCES NOT PREVENTED: IF ALL NECESSARY PRECAUTIONS DURING ALL DISTURBING OPERATIONS TO MINIMIZE SEDIMENT TRANSPORT, ANY DISTURBANCES NOT PREVENTED MUST BE APPROVED BY THE CITY OF LAKE ALACHUA.
 9. SHOULD THE CONTROL OF JUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
 10. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR OUTSIDE RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR DUE TO STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
 12. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
 13. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL BECOME THEIR RESPONSIBILITY.
 14. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION CONTROL, SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED AT THE DISCRETION OF THE MUNICIPAL ENGINEER.

- REVISIONS FOR EROSION CONTROL**
1. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED BY WRITING A MINIMUM OF TWO (2) FULL BUSINESS DAYS PRIOR TO THE START OF ANY WORK.
 2. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE APPROVED PLAN, WHICH FOLLOWS THE SILT FENCES AND INLET FILTERS, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR MANUAL.
 3. INSTALL TREE BARRICADES AND PROTECTIVE FENCING FOR ALL TREES TO REMAIN.
 4. PRIOR TO REMEDIATING DISTURBANCE, AN INSPECTION OF THE EROSION CONTROL IS REQUIRED AND THE CITY AND COUNTY SHALL BE NOTIFIED.
 5. CONTRACTOR AND MAINTENANCE THE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN AND DETAILS. STAGING AND STORAGE OF THE CONSTRUCTION MATERIALS SHALL BE AS SHOWN ON THE PLAN.
 6. DEMONSTRATE SITE IMPROVEMENTS (SIDEWALKS, PAVEMENT, CURBING, BUILDING, CANOPY, ETC.) AS SHOWN ON THE EXISTING CONDITIONS PLAN AS APPLICABLE.
 7. BEFORE GRADING THE SITE TO THE APPROVED BELINDING ELEVATION, THE CONTRACTOR SHALL CONSTRUCT THE DRAINAGE IMPROVEMENTS UPSTREAM, PROVIDE INLET PROTECTION ON EXISTING AND PROPOSED GRADING STRUCTURES.
 8. STABILIZATION: THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEASURES INCLUDING AN EROSION COVER OVER SOIL, COVER CAN BE VEGETATIVE (E.G. GRASS, SEEDS) AND MULCH (STRAW, TURF OR NON-VEGETATIVE E.G. GEOTEXTILES, RIF MAT, OR GEOMAT).
 9. MAINTENANCE: SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS, PROVIDED THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FRESH VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
 10. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED, AND REQUESTED BY AUTHORITIES, TO PREVENT THE ACCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM ENTERING A WATER COURSE OF A DRAINAGE SYSTEM.
 11. THE GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES THAT IS UNLAWFUL FOR ANY REASON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH CITY AND COUNTY CRITERIA. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.



- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AS FOLLOWS:**
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF ITS USE, IT SHALL BE REPLACED PROMPTLY.
 3. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT.
 4. ANY SEDIMENT DEPOSITS LEFT IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE FINISHED GRADE, PREPARED AND SEEDED.

LEGEND

SINGLE ROW SILT FENCE ————

DUST ABATEMENT FENCE ○—○—

SOIL TRACKING PREVENTION DEVICE

<p>DAVE SCHMITT ENGINEERING, INC. 12301 LAKE UNDERHILL ROAD SUITE 241 ORLANDO, FL 32828 407-207-3088 FAX 407-207-3089 Certification of Authorization #27471</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION							<p>FL PROJECT NO. 48774</p> <p>Dave M Schmitt</p>	<p>EROSION CONTROL & DEMO PLAN</p> <p>ARDEN OF OCALA OCALA, FLORIDA</p>	<p>DATE: AUGUST 2025 PROJECT NO.: AG-1 DRAWN BY: DM CHECKED BY: DMS SCALE: 1"=120' SHEET: 03 OF 18</p>
	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION											

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TYPES OF EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION AND MAINTAINING THEM UNTIL THE PROJECT IS COMPLETE.

3. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AND PROTECTED AGAINST EROSION AND SEDIMENTATION.

4. THE CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.

5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SUDAS AND SUDAS-2 STANDARDS.

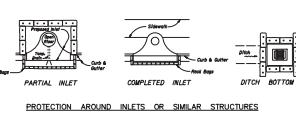
6. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL EROSION AND SEDIMENT CONTROL MEASURES INSTALLED AND MAINTAINED DURING CONSTRUCTION.

7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE PROJECT SITE.

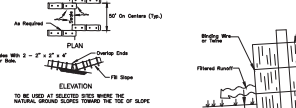
8. THE CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.

9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SUDAS AND SUDAS-2 STANDARDS.

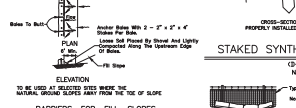
10. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL EROSION AND SEDIMENT CONTROL MEASURES INSTALLED AND MAINTAINED DURING CONSTRUCTION.



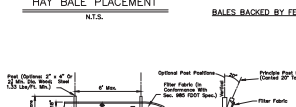
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



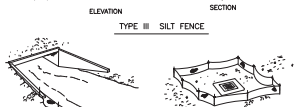
STAKED SYNTHETIC HAY BALE



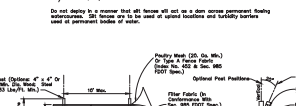
HAY BALE PLACEMENT



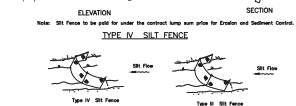
BALES BACKED BY FENCE



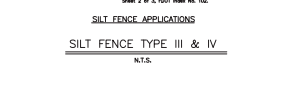
TYPE III SILT FENCE



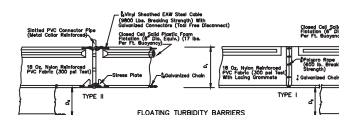
TYPE IV SILT FENCE



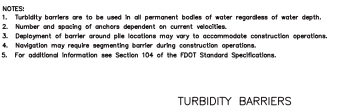
SILT FENCE APPLICATIONS



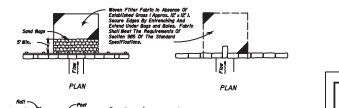
SILT FENCE TYPE III & IV



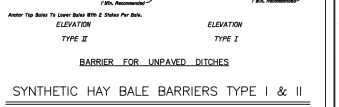
FLOATING TURBIDITY BARRIERS



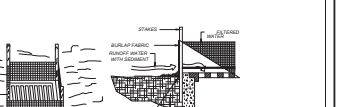
STAKED TURBIDITY BARRIER



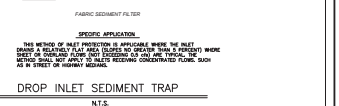
TURBIDITY BARRIERS



Barrier for Unpaved Ditches



SYNTHETIC HAY BALE BARRIERS TYPE I & II



FABRIC SEGMENT FILTER

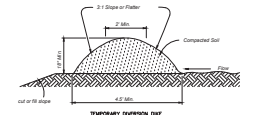


DROP INLET SEDIMENT TRAP

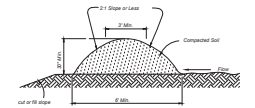


Barrier for Paved Ditch

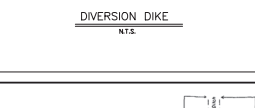
NOTE: COMPONENTS OF TYPES I & TYPE II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGN. ANY REFINEMENT OR THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I & II SHALL BE AS APPROVED BY THE ENGINEER.



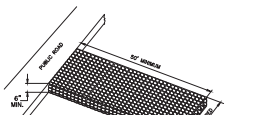
TEMPORARY DIVERSION DIKE FOR AREA OF 1 TO 2.5 ACRES



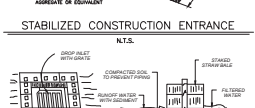
TEMPORARY DIVERSION DIKE FOR AREA OF 2.5 TO 10 ACRES



DIVERSION DIKE



STABILIZED CONSTRUCTION ENTRANCE



SILT FENCE APPLICATION

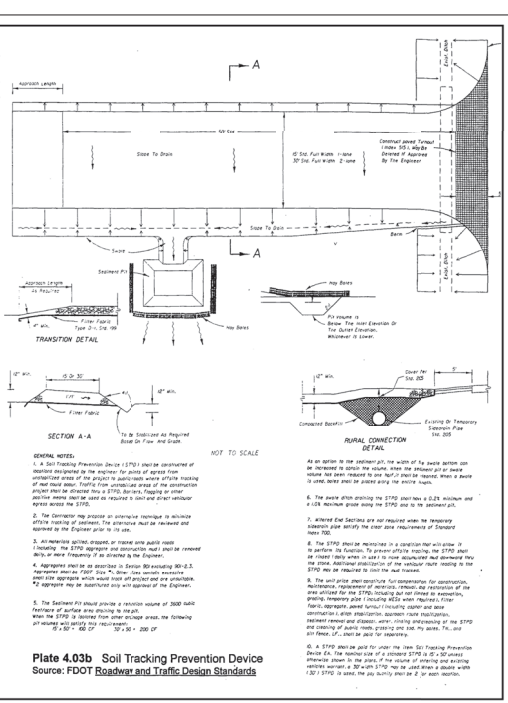


Plate 4.03b Soil Tracking Prevention Device Shows: FDOT Roadway and Traffic Design Standards

NOTE: REFER TO FDOT SPECIFICATIONS AND INDEX A-E FOR TRAFFIC DESIGN STANDARDS AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

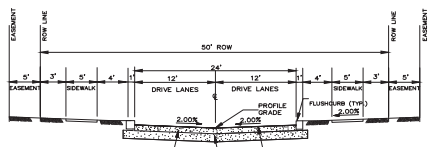
DAVE SCHMITT ENGINEERING, INC. 12301 Lake Underhill Road Suite 241 ORLANDO, FL 32828 407-207-9089 FAX: 407-207-9089 Certification of Authorization #92741

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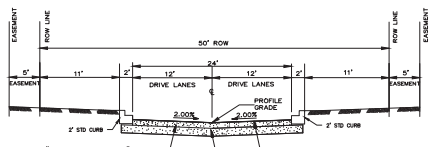
DAVE M. SCHMITT FLORIDA REG. NUMBER 48274

EROSION CONTROL DETAILS ARDEN OF OCALA OCALA, FLORIDA DATE: AUGUST 2025 PROJECT NO.: AO-1 DRAWN BY: DM CHECKED BY: DMS SCALE: NONE SHEET: 04 OF 18

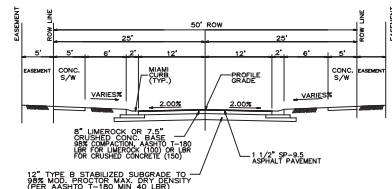
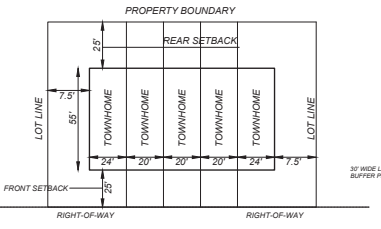
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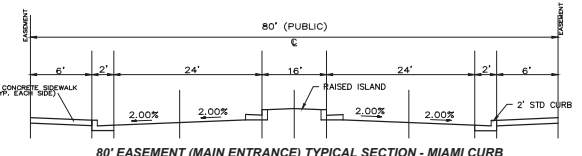
TYPICAL 50' PRIVATE STREET



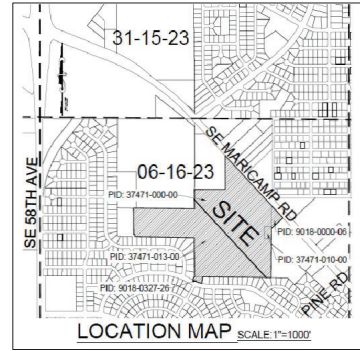
TYPICAL 50' PUBLIC STREET (SE 6TH AVE RD.)



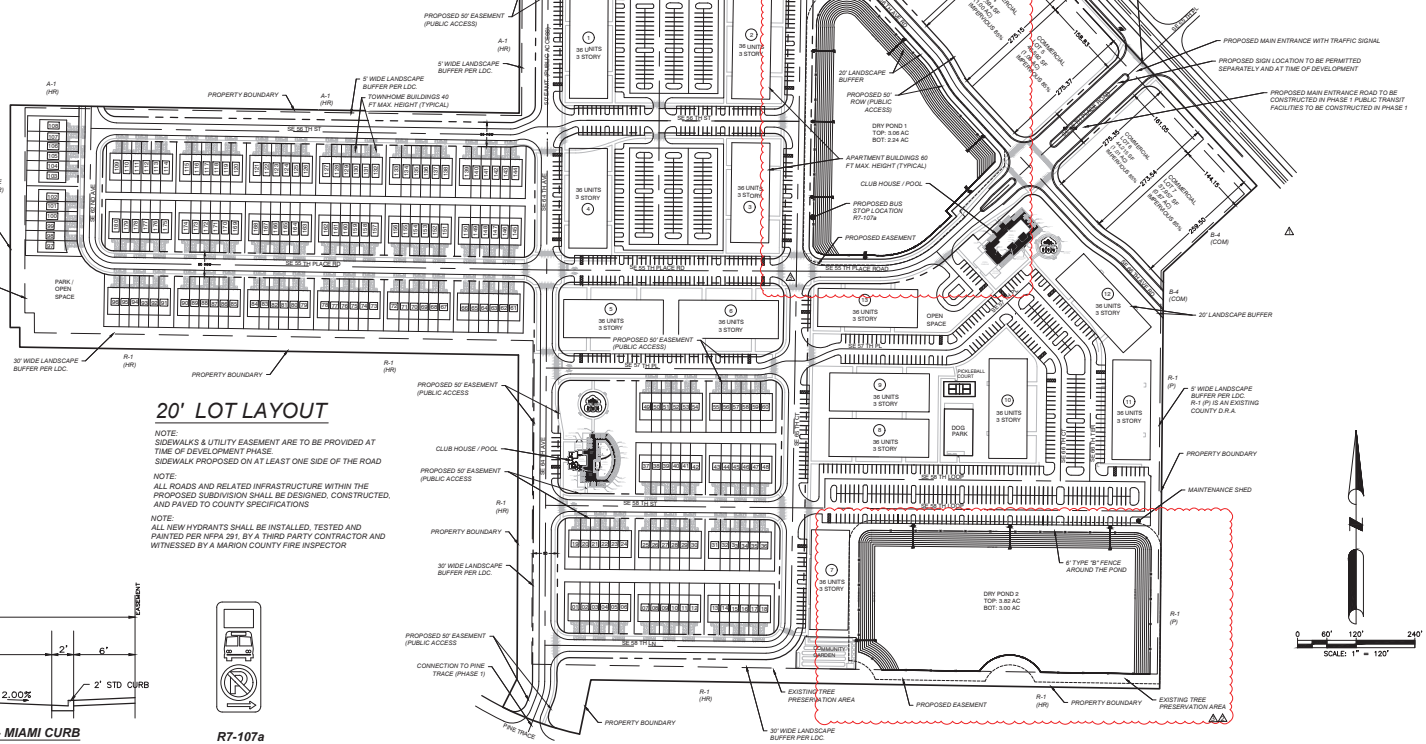
SE 56TH LOOP TYPICAL 50' SECTION (TOWNHOME SECTION)



80' EASEMENT (MAIN ENTRANCE) TYPICAL SECTION - MIAMI CURB



LOCATION MAP SCALE 1"=1000'



20' LOT LAYOUT

NOTE: SIDEWALKS & UTILITY EASEMENT ARE TO BE PROVIDED AT TIME OF DEVELOPMENT PHASE
SIDEWALK PROPOSED ON AT LEAST ONE SIDE OF THE ROAD AND PAVED TO COUNTY SPECIFICATIONS

NOTE: ALL ROADS AND RELATED INFRASTRUCTURE WITHIN THE PROPOSED SUBDIVISION SHALL BE DESIGNED, CONSTRUCTED, AND PAVED TO COUNTY SPECIFICATIONS

NOTE: ALL NEW HYDRANTS SHALL BE INSTALLED, TESTED AND PAINTED PER NFPA 291, BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR



R7-107a

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12/23/2025	DM	REV. PER VMD COMMENTS			
12/15/2025	DM	REV. PER VMD COMMENTS			
11/20/2025	DM	REV. PER VMD COMMENTS			

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

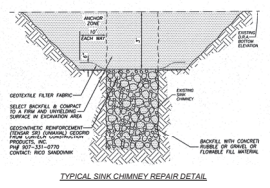
OVERALL MASTER PLAN
ARDEN OF OCALA
OCALA, FLORIDA

DATE: AUGUST 2025
PROJECT NO.: AO-1
DRAWN BY: DM
CHECKED BY: DMS
SCALE: NONE
SHEET: 06 OF 18

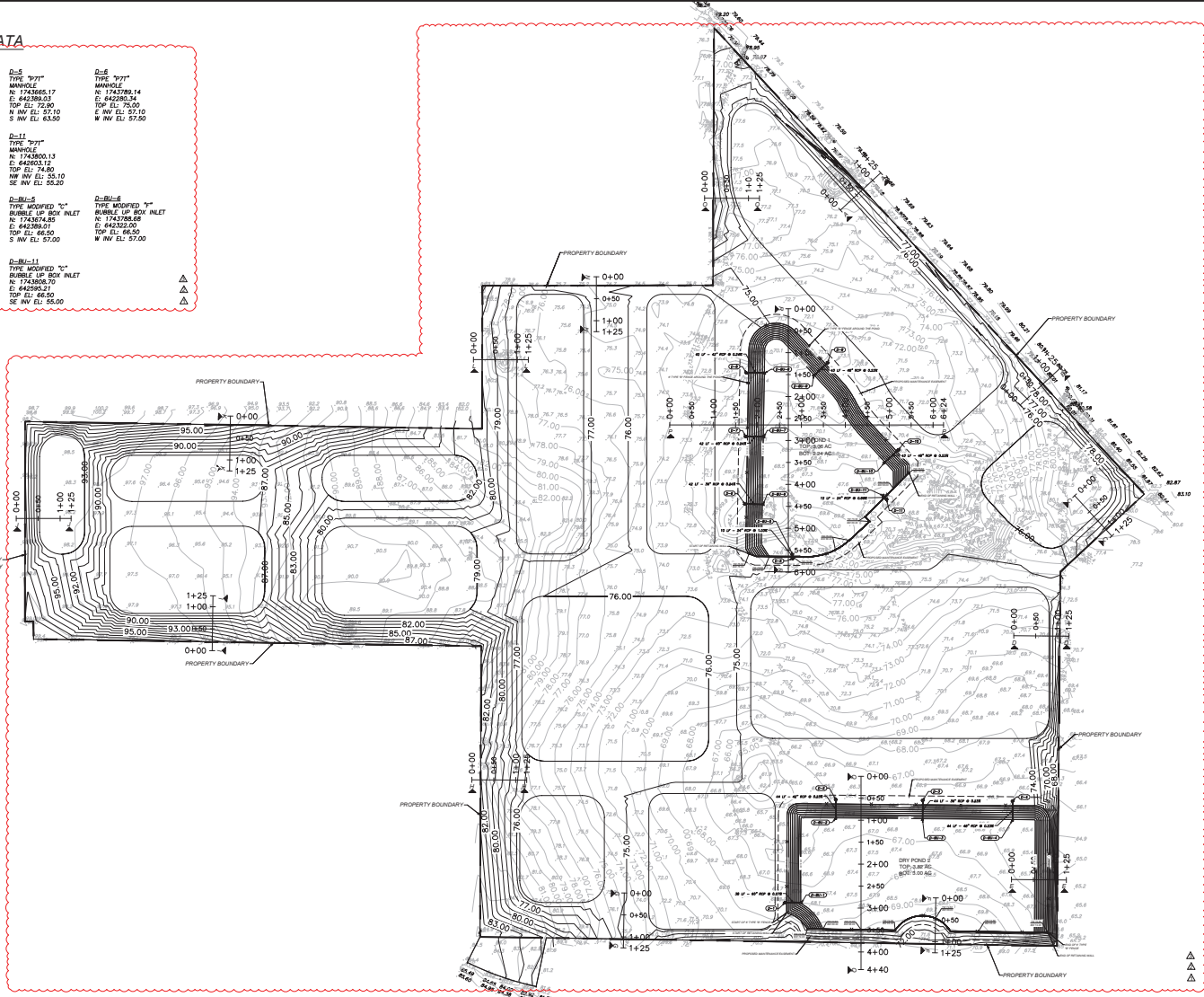
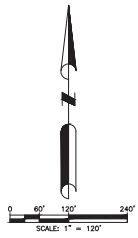
DRAINAGE STRUCTURE DATA

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D-7 TYPE "P" MANHOLE N: 1743243.49 E: 642325.11 TOP EL: 74.50 S INV EL: 56.10 W INV EL: 54.20	D-8 TYPE "P" MANHOLE N: 1744688.02 E: 642365.76 E: 642465.70 TOP EL: 74.50 W INV EL: 64.70	D-9 TYPE "P" MANHOLE N: 1744111.06 E: 642325.90 E: 642325.90 TOP EL: 75.00 SE INV EL: 53.30	D-10 TYPE "P" MANHOLE N: 1743912.75 E: 642303.12 TOP EL: 75.00 SW INV EL: 54.80 SE INV EL: 55.20	D-11 TYPE "P" MANHOLE N: 1743800.13 E: 642303.12 TOP EL: 74.80 SW INV EL: 55.10 SE INV EL: 55.30	D-12 TYPE "P" MANHOLE N: 1743808.17 E: 642389.87 TOP EL: 66.50 S INV EL: 57.00
D-BI-1 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1742681.70 E: 642495.49 TOP EL: 66.50 W INV EL: 56.00	D-BI-2 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743007.93 E: 642497.22 TOP EL: 66.50 N INV EL: 54.00	D-BI-3 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743008.99 E: 642495.01 TOP EL: 66.50 N INV EL: 56.00	D-BI-4 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743008.11 E: 642389.87 TOP EL: 66.50 N INV EL: 54.00	D-BI-5 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743808.85 E: 642389.01 TOP EL: 66.50 S INV EL: 57.00	D-BI-6 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743788.69 E: 642322.50 TOP EL: 66.50 W INV EL: 57.00
D-BI-7 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743943.08 E: 642323.77 TOP EL: 66.50 W INV EL: 54.00	D-BI-8 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1744087.54 E: 642323.45 TOP EL: 66.50 W INV EL: 57.00	D-BI-9 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1744087.97 E: 642323.20 TOP EL: 66.50 NE INV EL: 53.80	D-BI-10 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743883.77 E: 642326.30 TOP EL: 66.50 NE INV EL: 54.50	D-BI-11 TYPE MODIFIED "B" BUBBLE UP BOX INLET N: 1743808.70 E: 642326.21 TOP EL: 66.50 SE INV EL: 55.00	

NOTE:
GC SHALL REMOVE TO A MINIMUM OF THREE FEET BELOW THE BASIN BOTTOM AND SIDES IF ANY LIMESTONE OUTCROPS ARE ENCOUNTERED DURING CONSTRUCTION.
ALL STORMWATER POND SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE VEGETATION TO MINIMIZE EROSION.



NOTE:
IF LIMESTONE IS ENCOUNTERED DURING EXCAVATION, THE RETENTION BASIN WILL BE OVEREXCAVATED AND BACKFILLED SO THAT THERE IS A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL BETWEEN THE SURFACE OF THE LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF THE STORMWATER BASIN.



F:\A01\CAD\Plans\set\WG107 MASS GRADING PLAN.dwg-12/19/2025 4:47:19 PM

DAVE SCHMITT ENGINEERING, INC.
12301 Lake Underhill Road Suite 241
ORLANDO, FL 32826
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

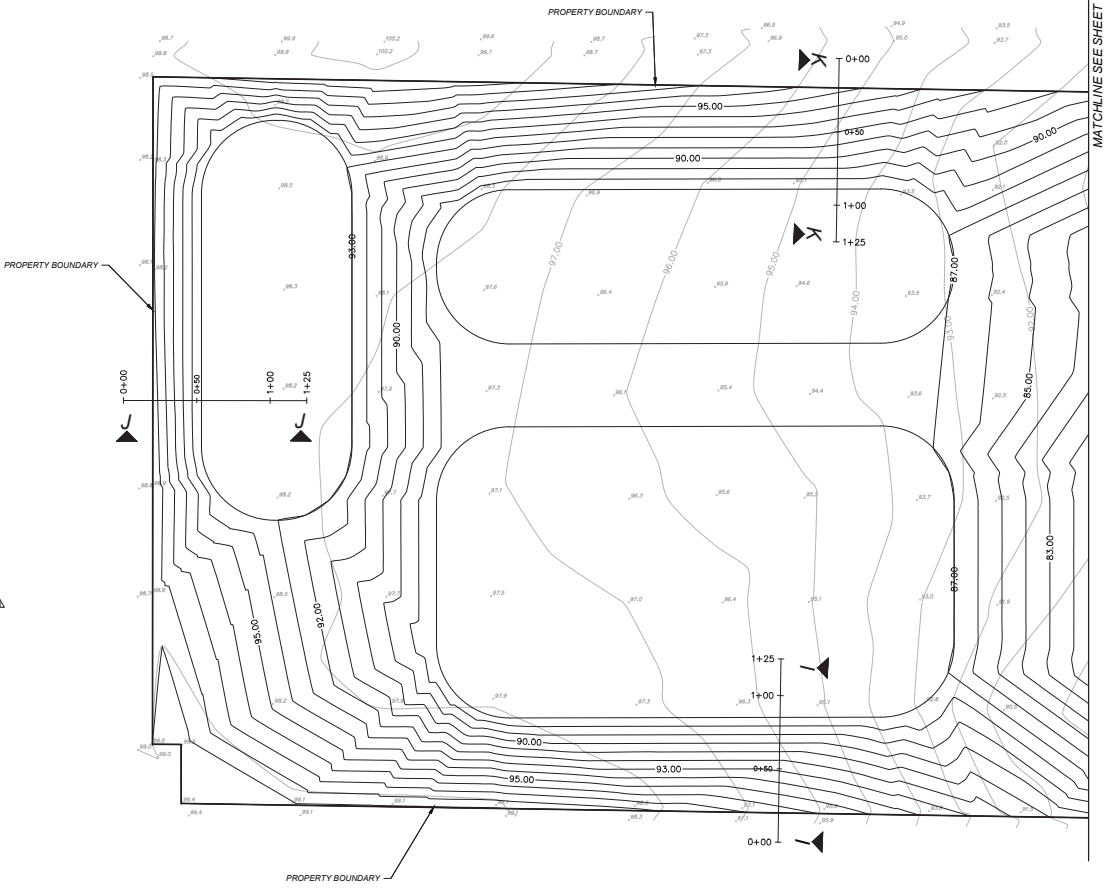
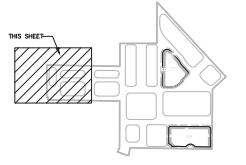
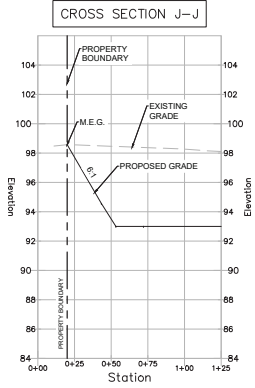
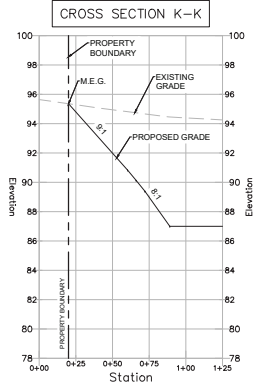
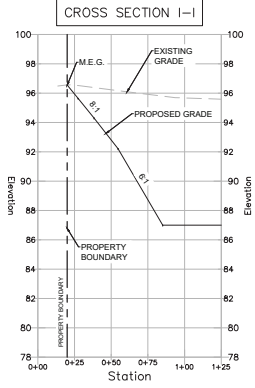
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12/15/2025	DM	REV. PER WMD COMMENTS			
11/20/2025	DM	REV. PER WMD COMMENTS			

FL VE IDA REG. NU IER
10174
Dave M Schmitt

MASS GRADING - OVERALL PLAN
ARDEN OF OCALA
OCALA, FLORIDA

DATE: AUGUST 2025
PROJECT NO.: AO-1
DRAWN BY: DM
CHECKED BY: DMS
SCALE: 1"=120'
SHEET: 07 OF 18

F:\AO1\CAD\Plans\14 MASS GRADING PLAN.dwg, 1/21/19/2025 4:57:27 PM



**DAVE SCHMITT
ENGINEERING, INC.**
12301 Lake Underhill Road Suite 241
ORLANDO, FL 32829
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
11/20/2025	DM	REV. PER WMD COMMENTS			

FLC DA REC. NO. ER
48974
Dave M Schmitt

MASS GRADING - 3
ARDEN OF OCALA
OCALA, FLORIDA

DATE: AUGUST 2025
PROJECT NO.: AO-1
DRAWN BY: DM
CHECKED BY: DMS
SCALE: 1"=40'
SHEET: 10 OF 18

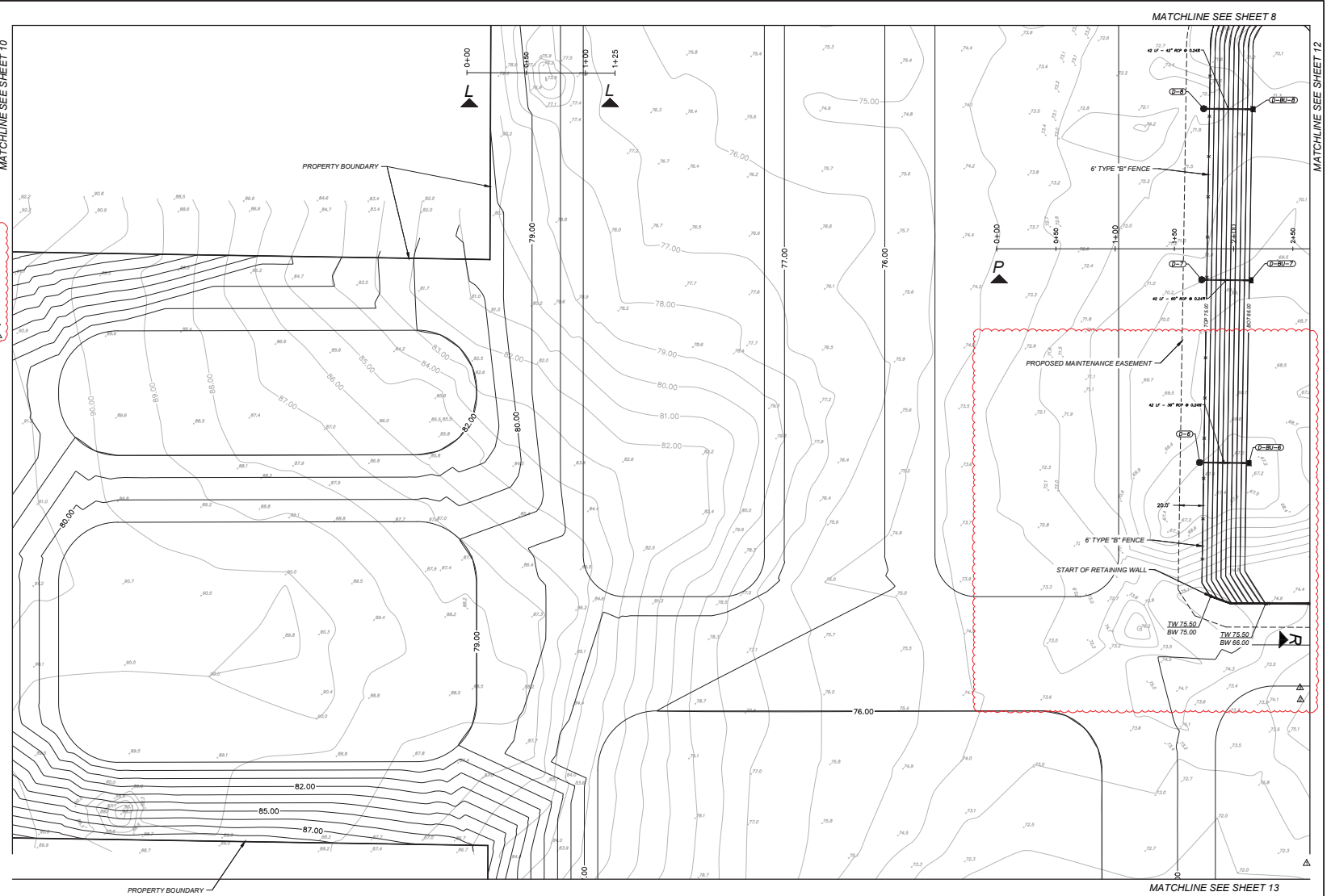
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DRAINAGE STRUCTURE DATA

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D-5 TYPE: MODIFIED "S" INVERT UP BOX INLET N: 1742785.68 E: 642322.00 TOP EL: 66.50 W INV EL: 57.00	D-6 TYPE: MODIFIED "S" INVERT UP BOX INLET N: 174284.58 E: 642323.77 TOP EL: 66.50 W INV EL: 57.00	D-7 TYPE: MODIFIED "S" INVERT UP BOX INLET N: 174287.54 E: 642325.41 TOP EL: 66.50 W INV EL: 57.00

CROSS SECTION L-L

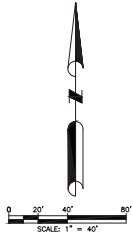
KEY MAP
NTS



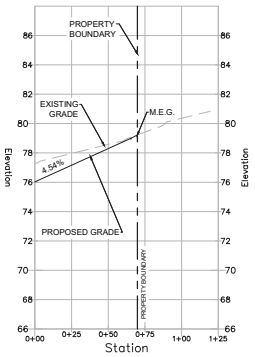
	DAVE SCHMITT ENGINEERING, INC. 12301 Lake Underhill Road Suite 241 ORLANDO, FL 32826 407-207-9088 FAX 407-207-9089 Certification of Authorization #27471	REVISIONS				DATE: AUGUST 2025 PROJECT NO.: AO-1 DRAWN BY: DM CHECKED BY: DMS SCALE: 1"=40' SHEET: 11 OF 18		
		DATE	BY	DESCRIPTION	DATE		BY	DESCRIPTION
			12/23/2025	DM	REV. PER WMD COMMENTS	MASS GRADING - 4 ARDEN OF OCALA OCALA, FLORIDA		
			12/15/2025	DM	REV. PER WMD COMMENTS			
			11/20/2025	DM	REV. PER WMD COMMENTS			

DRAINAGE STRUCTURE DATA

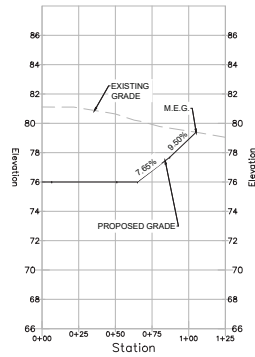
D-5 TYPE "9"7" MANHOLE N: 1742665.17 E: 642369.23 TOP EL: 72.90 N INV EL: 54.80 S INV EL: 63.50	D-9 TYPE "9"7" MANHOLE N: 1744811.08 E: 642468.70 TOP EL: 70.00 SW INV EL: 53.80 NE INV EL: 54.00	D-10 TYPE "9"7" MANHOLE N: 1743862.75 E: 642629.93 TOP EL: 70.00 SW INV EL: 54.80 NE INV EL: 54.70	D-11 TYPE "9"7" MANHOLE N: 1743862.75 E: 642661.12 TOP EL: 70.00 NW INV EL: 55.10 SE INV EL: 55.20
D-BU-5 TYPE MODIFIED "4" BUMBLE BEE BOX INLET N: 1744827.85 E: 642437.27 TOP EL: 66.50 S INV EL: 57.00	D-BU-9 TYPE MODIFIED "4" BUMBLE BEE BOX INLET N: 1744827.85 E: 642388.35 TOP EL: 66.50 NE INV EL: 53.80	D-BU-10 TYPE MODIFIED "4" BUMBLE BEE BOX INLET N: 1743862.75 E: 642588.35 TOP EL: 66.50 NE INV EL: 54.50	D-BU-11 TYPE MODIFIED "4" BUMBLE BEE BOX INLET N: 1743862.75 E: 642588.35 TOP EL: 66.50 SE INV EL: 55.00



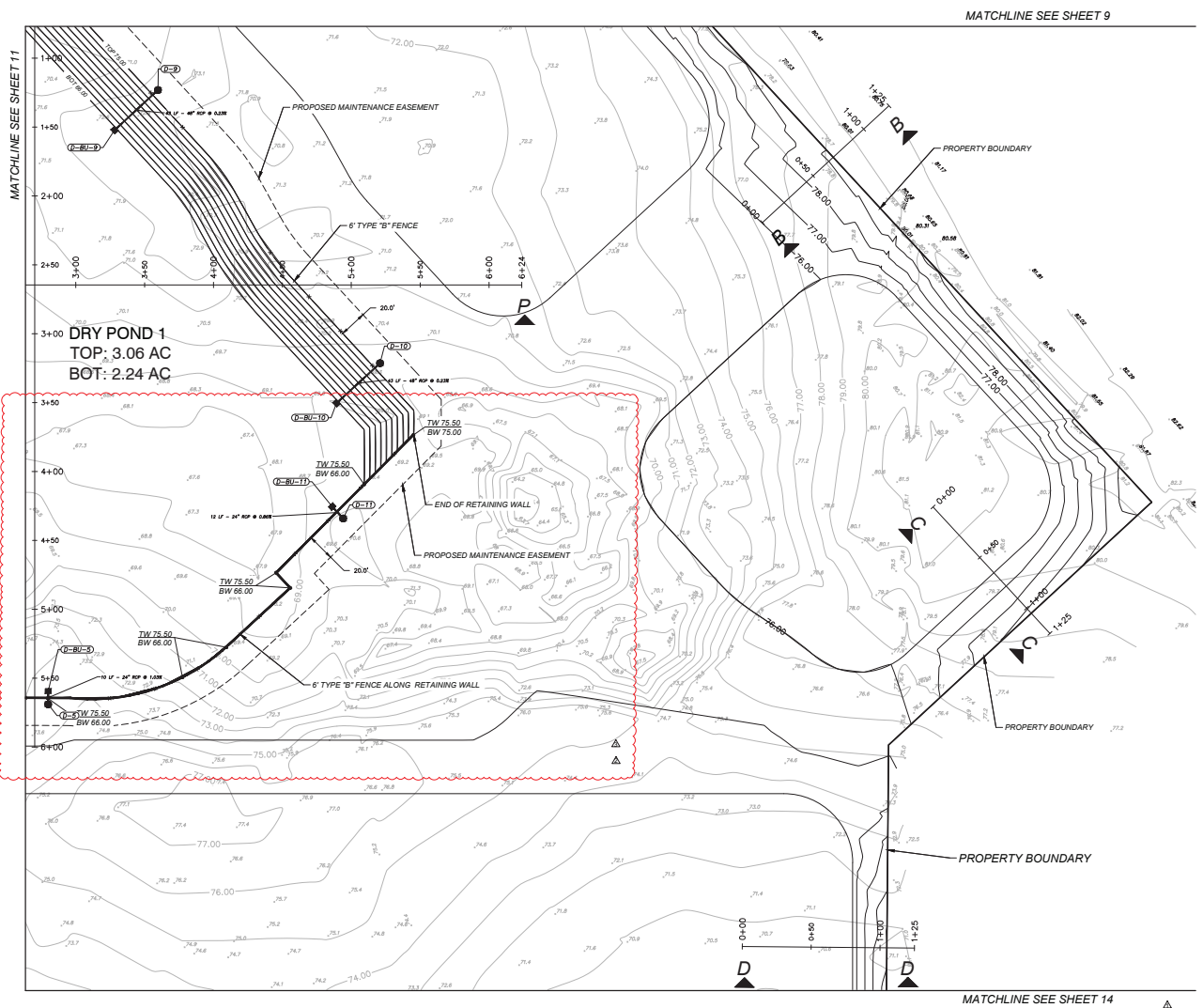
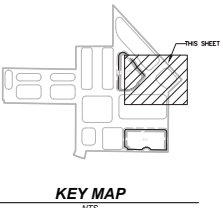
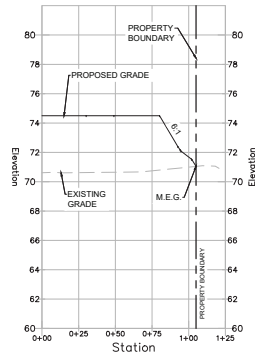
CROSS SECTION B-B



CROSS SECTION C-C



CROSS SECTION D-D



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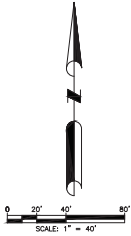
**DAVE SCHMITT
ENGINEERING, INC.**
12301 Lake Underhill Road Suite 241
ORLANDO, FL 32829
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12/23/2025	DM	REV. PER WMD COMMENTS			
12/15/2025	DM	REV. PER WMD COMMENTS			
11/20/2025	DM	REV. PER WMD COMMENTS			



MASS GRADING - 5
ARDEN OF OCALA
OCALA, FLORIDA

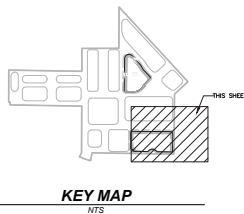
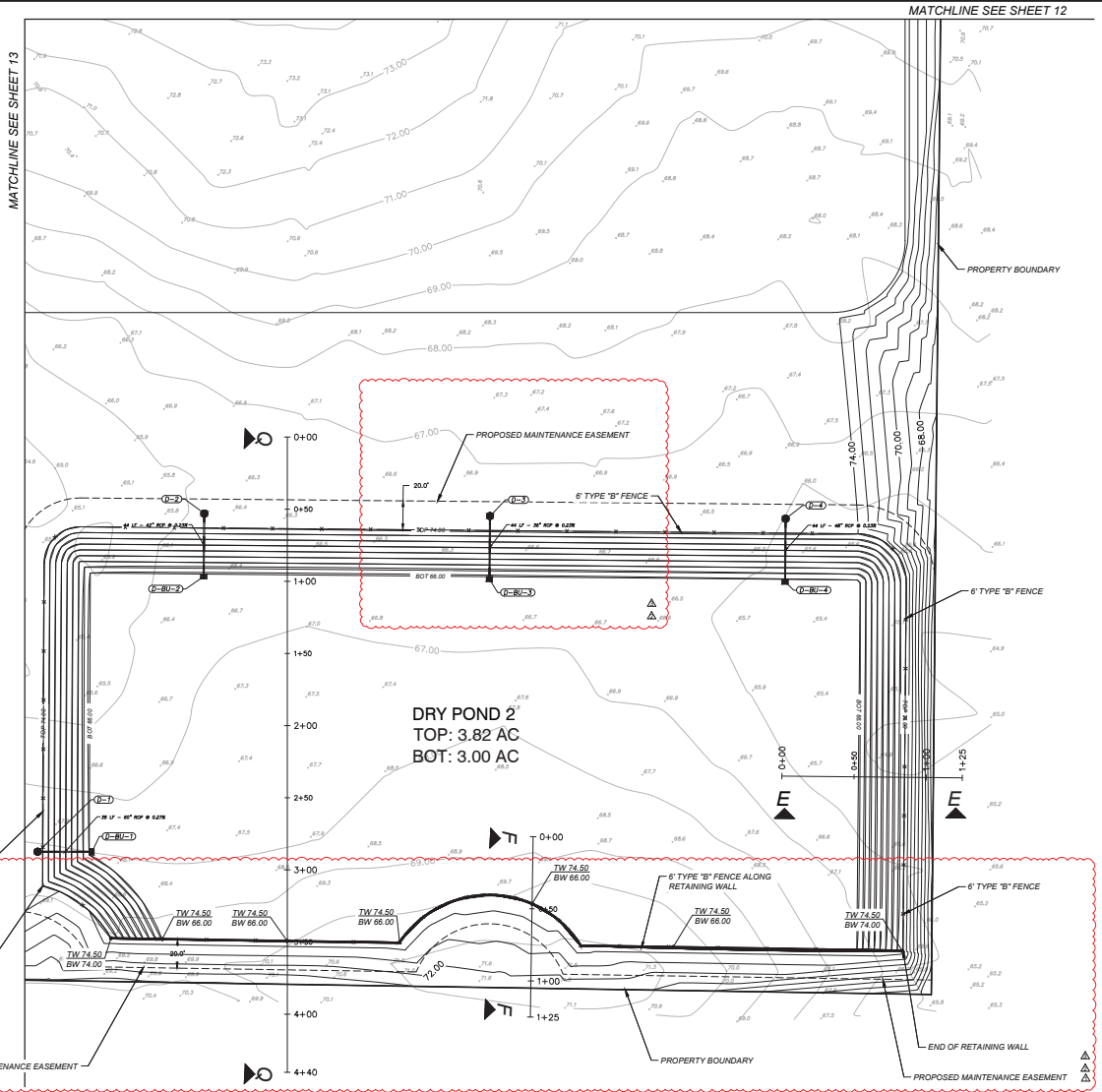
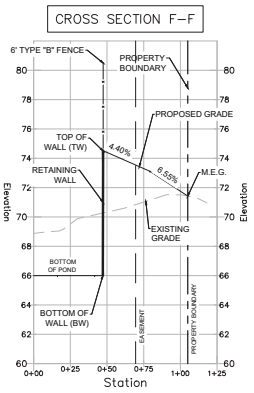
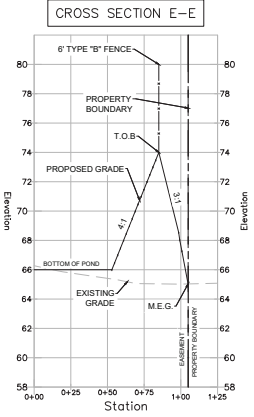
DATE: AUGUST 2025
PROJECT NO.: AO-1
DRAWN BY: DM
CHECKED BY: DMS
SCALE: 1"=40'
SHEET: 12 OF 18



DRAINAGE STRUCTURE DATA

D-1	D-2	D-3	D-4
TYPE "9"7"	TYPE "9"7"	TYPE "9"7"	TYPE "9"7"
MANHOLE	MANHOLE	MANHOLE	MANHOLE
N: 1742881.02	N: 1743114.39	N: 1743114.61	N: 1743112.77
E: 642371.02	E: 642487.42	E: 642885.23	E: 642885.27
TOP EL: 74.50	TOP EL: 74.50	TOP EL: 74.50	TOP EL: 74.50
E INV EL: 56.10	S INV EL: 54.10	S INV EL: 56.10	S INV EL: 54.10
W INV EL: 59.70	N INV EL: 60.20	N INV EL: 60.20	N INV EL: 55.50

D-1B-1	D-1B-2	D-1B-3	D-1B-4
TYPE MODIFIED "9"7"	TYPE MODIFIED "9"7"	TYPE MODIFIED "9"7"	TYPE MODIFIED "9"7"
BURNER UP ROW INLET	BURNER UP ROW INLET	BURNER UP ROW INLET	BURNER UP ROW INLET
N: 1742881.70	N: 1743070.73	N: 1743070.95	N: 1743069.11
E: 642409.49	E: 642487.50	E: 642885.01	E: 642885.01
TOP EL: 66.50	TOP EL: 66.50	TOP EL: 66.50	TOP EL: 66.50
W INV EL: 56.00	N INV EL: 54.00	N INV EL: 54.00	N INV EL: 54.00



REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12/23/2025	DM	REV. PER WMD COMMENTS			
12/15/2025	DM	REV. PER WMD COMMENTS			
11/20/2025	DM	REV. PER WMD COMMENTS			

FLC DA REG. NUM. ER
 Dave M. Schmitt
 Professional Engineer
 State of Florida
 License No. 12512

MASS GRADING - 7
 ARDEN OF OCALA
 OCALA, FLORIDA

DATE: AUGUST 2025
 PROJECT NO.: AC-1
 DRAWN BY: DM
 CHECKED BY: DMS
 SCALE: 1"=40'
 SHEET: 14 OF 18

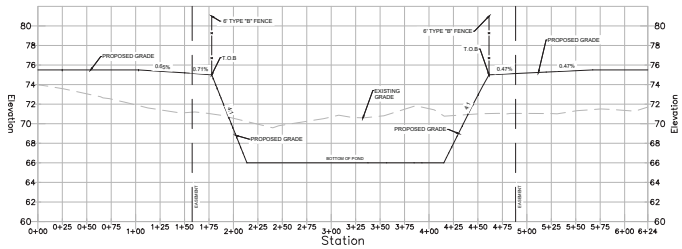
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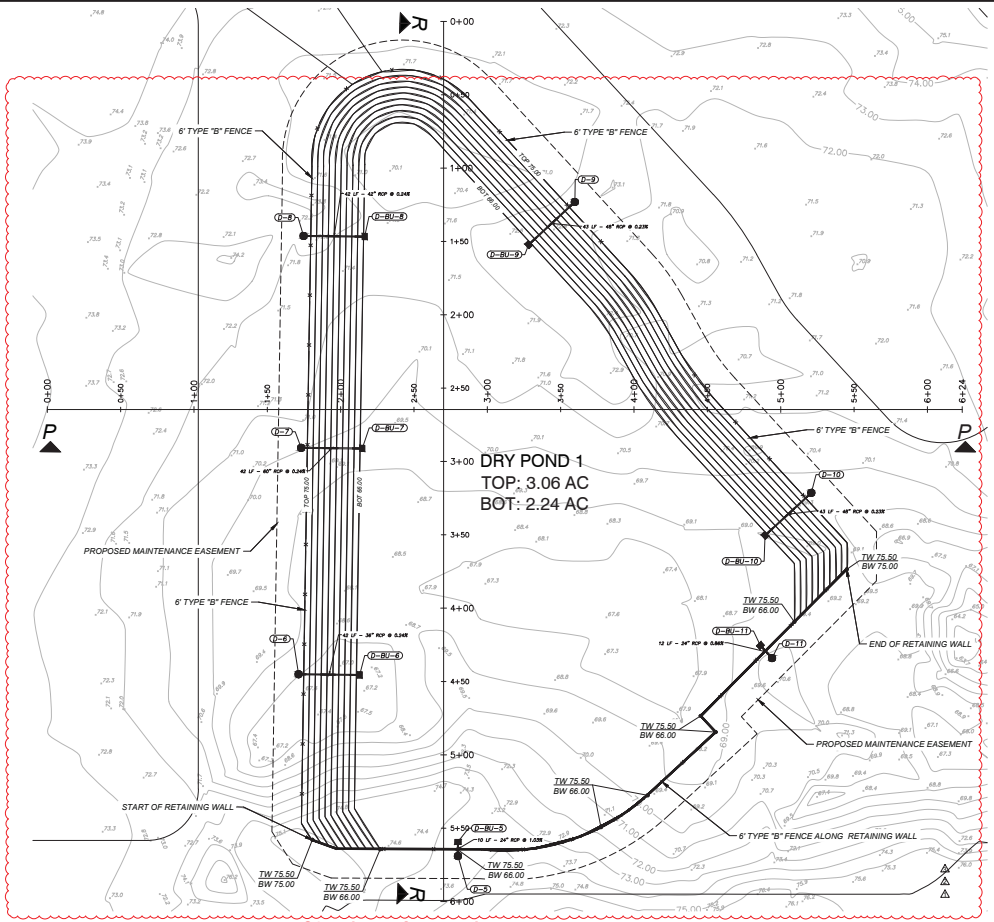
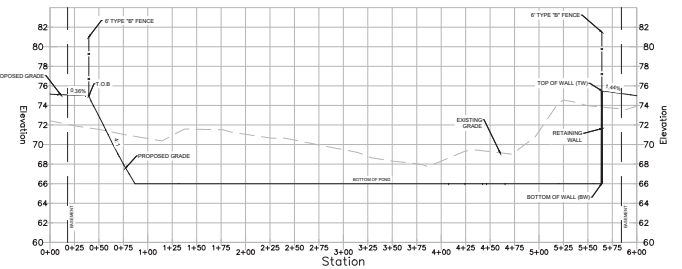
DRAINAGE STRUCTURE DATA

D-5 TYPE "99" MANHOLE N: 1742665.17 E: 642282.03 TOP EL: 72.80 N INV EL: 57.00 S INV EL: 63.50	D-6 TYPE "99" MANHOLE N: 1742680.14 E: 642283.76 TOP EL: 76.00 N INV EL: 57.10 S INV EL: 57.00	D-7 TYPE "99" MANHOLE N: 1742683.49 E: 642282.11 TOP EL: 76.00 N INV EL: 54.10 S INV EL: 54.25	D-8 TYPE "99" MANHOLE N: 1742688.02 E: 642283.76 TOP EL: 76.00 N INV EL: 54.00 S INV EL: 64.00	D-9 TYPE "99" MANHOLE N: 1742688.02 E: 642283.76 TOP EL: 76.00 N INV EL: 54.00 S INV EL: 54.00	D-10 TYPE "99" MANHOLE N: 1742691.75 E: 642283.76 TOP EL: 75.00 N INV EL: 54.60 S INV EL: 54.70	D-11 TYPE "99" MANHOLE N: 1742690.13 E: 642283.76 TOP EL: 74.00 N INV EL: 55.10 S INV EL: 59.20
D-BU-5 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742674.25 E: 642282.01 TOP EL: 66.50 S INV EL: 57.00	D-BU-6 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742689.08 E: 642282.01 TOP EL: 66.50 N INV EL: 57.00	D-BU-7 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742693.08 E: 642281.77 TOP EL: 66.50 N INV EL: 54.00	D-BU-8 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742697.24 E: 642281.77 TOP EL: 66.50 N INV EL: 57.00	D-BU-9 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742697.24 E: 642281.77 TOP EL: 66.50 N INV EL: 53.80	D-BU-10 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742698.77 E: 642283.27 TOP EL: 66.50 N INV EL: 54.50	D-BU-11 TYPE MODIFIED "C" BUBBLE UP BOX INLET N: 1742698.70 E: 642282.91 TOP EL: 66.50 SE INV EL: 55.00

CROSS SECTION P-P

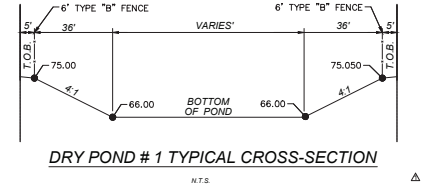


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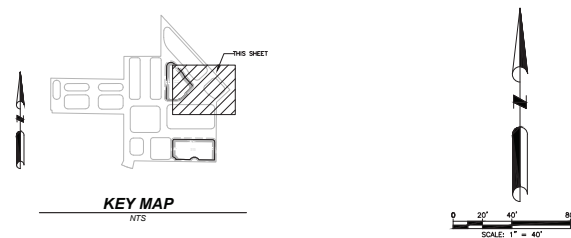


POND #1 DATA

TOP OF BANK EL.	75.0
BOTTOM OF POND EL.	66.0
10YR./24HR. D.H.W. EL.	69.9
25 YR./24HR. D.H.W. EL.	71.3
100YR./24HR. D.H.W. EL.	73.8
25 YR./96 HR. D.H.W. EL.	73.8
MEAN FL. EL.	68.5



NOTE
GC SHALL REMOVE TO A MINIMUM OF THREE FEET BELOW THE BASIN BOTTOM AND SIDES IF ANY LIMESTONE OUTCROPS ARE ENCOUNTERED DURING CONSTRUCTION.
ALL STORMWATER POND SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE VEGETATION TO MINIMIZE EROSION



DSI
DAVE SCHMITT ENGINEERING, INC.
12301 Lake Underhill Road Suite 241
ORLANDO, FL 32835
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12/23/2025	DM	REV. PER WMD COMMENTS			
12/15/2025	DM	REV. PER WMD COMMENTS			
11/20/2025	DM	REV. PER WMD COMMENTS			

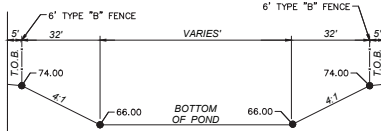
FL DA REG. NUI ER
10074
Dave M Schmitt

POND PLAN - 1
ARDEN OF OCALA
OCALA, FLORIDA

DATE: AUGUST 2025
PROJECT NO.: AC-1
DRAWN BY: DM
CHECKED BY: DMS
SCALE: 1"=40'
SHEET: 15 OF 18

DRAINAGE STRUCTURE DATA

D-1 TYPE "9"7" MANHOLE N: 1742881.62 E: 642371.95 TOP EL: 74.50 F INV EL: 56.10 N INV EL: 59.70	D-2 TYPE "9"7" MANHOLE N: 1742816.39 E: 642487.42 TOP EL: 74.50 F INV EL: 54.10 N INV EL: 60.50	D-3 TYPE "9"7" MANHOLE N: 1742114.61 E: 642865.53 TOP EL: 74.00 F INV EL: 54.10 N INV EL: 60.00	D-4 TYPE "9"7" MANHOLE N: 1742112.77 E: 642862.77 TOP EL: 74.00 F INV EL: 54.10 N INV EL: 53.50
D-BU-1 TYPE MODIFIED "T" BUBBLE UP BOX INLET N: 1742881.70 E: 642489.49 TOP EL: 66.50 N INV EL: 56.00	D-BU-2 TYPE MODIFIED "T" BUBBLE UP BOX INLET N: 1742079.73 E: 642487.52 TOP EL: 66.50 N INV EL: 54.00	D-BU-3 TYPE MODIFIED "T" BUBBLE UP BOX INLET N: 1742079.95 E: 642489.87 TOP EL: 66.50 N INV EL: 56.00	D-BU-4 TYPE MODIFIED "T" BUBBLE UP BOX INLET N: 1742086.11 E: 642489.87 TOP EL: 66.50 N INV EL: 54.00



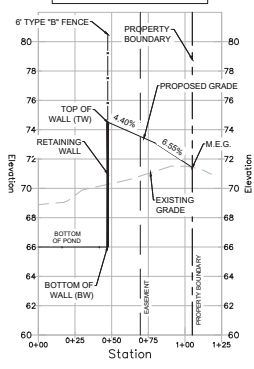
DRY POND #2 TYPICAL CROSS-SECTION
N.T.S.

POND #2 DATA

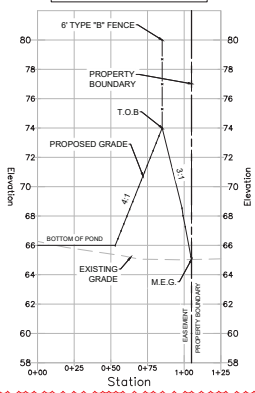
TOP OF BANK EL.	74.0
BOTTOM OF POND EL.	66.0
10YR./24HR. D.H.W. EL.	69.6
25 YR./24HR. D.H.W. EL.	71.0
100YR./24HR. D.H.W. EL.	73.7
25 YR./96HR. D.H.W. EL.	73.7
MEAN FL EL.	68.2

NOTE:
GC SHALL REMOVE TO A MINIMUM OF THREE FEET BELOW THE BASIN BOTTOM AND SIDES IF ANY LIMESTONE OUTCROPS ARE ENCOUNTERED DURING CONSTRUCTION.
ALL STORMWATER POND SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE VEGETATION TO MINIMIZE EROSION

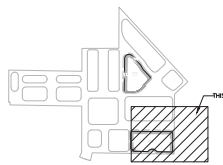
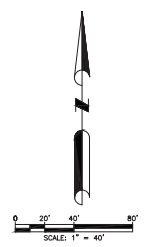
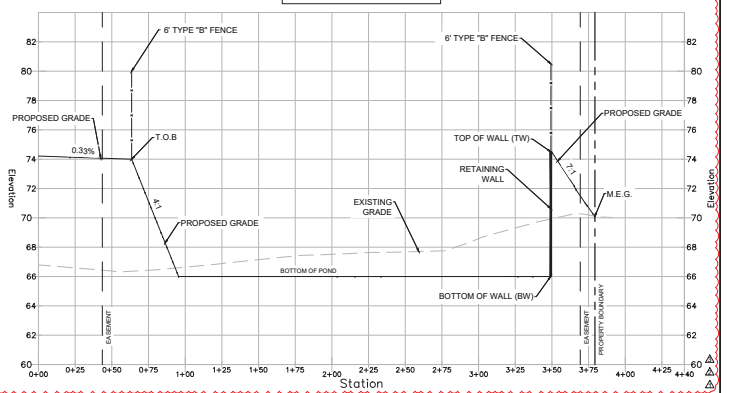
CROSS SECTION F-F



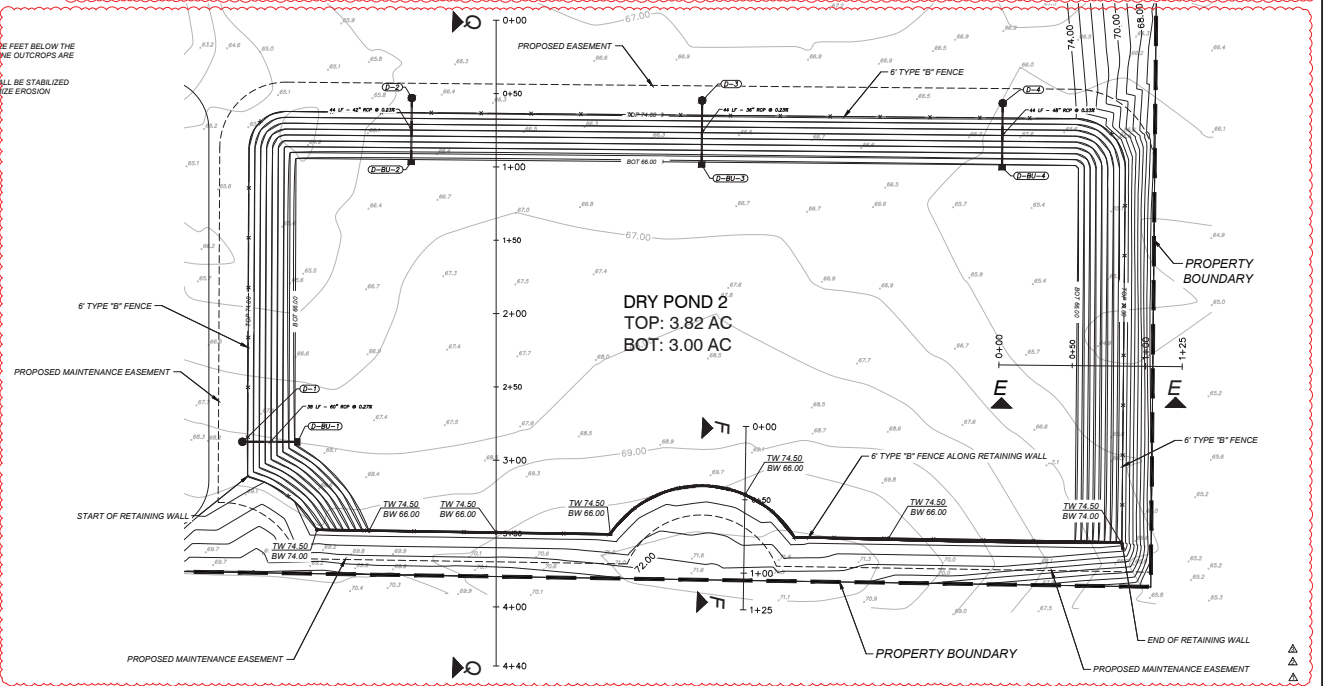
CROSS SECTION E-E



CROSS SECTION Q-Q



KEY MAP
N.T.S.



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12301 Lake Underhill Road Suite 241
ORLANDO, FL 32826
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

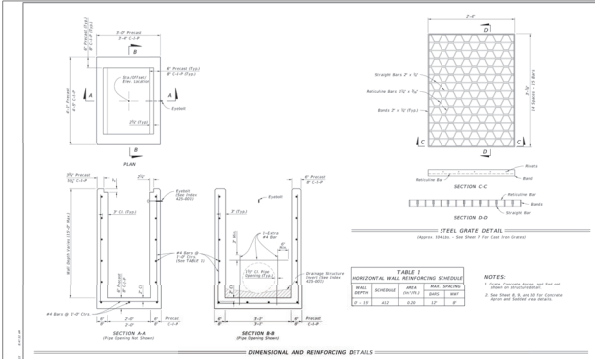
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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12/23/2025	DM	REV. PER WMD COMMENTS			
12/15/2025	DM	REV. PER WMD COMMENTS			
11/20/2025	DM	REV. PER WMD COMMENTS			

FLC **DA** **REC.** **NU** **ER**
48974
Dave M Schmitt

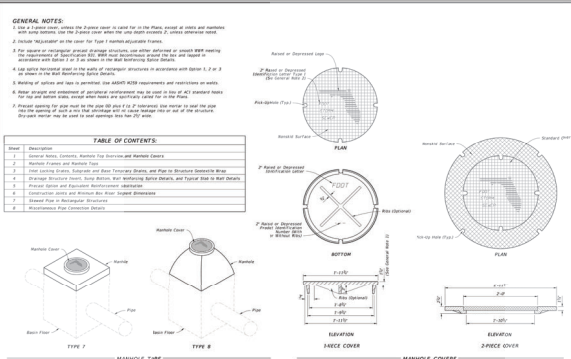
POND PLAN - 2
ARDEN OF OCALA
OCALA, FLORIDA

DATE: AUGUST 2025
PROJECT NO.: AC-1
DRAWN BY: DM
CHECKED BY: DMS
SCALE: 1"=40'
SHEET: 16 OF 18

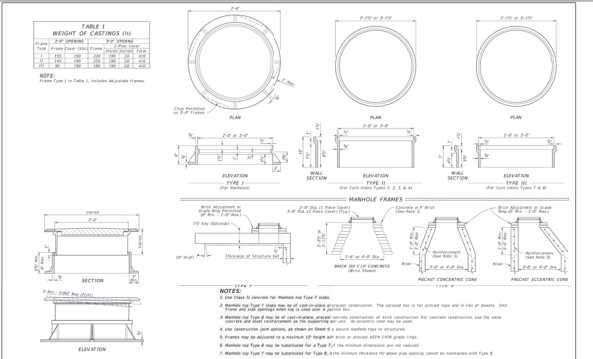
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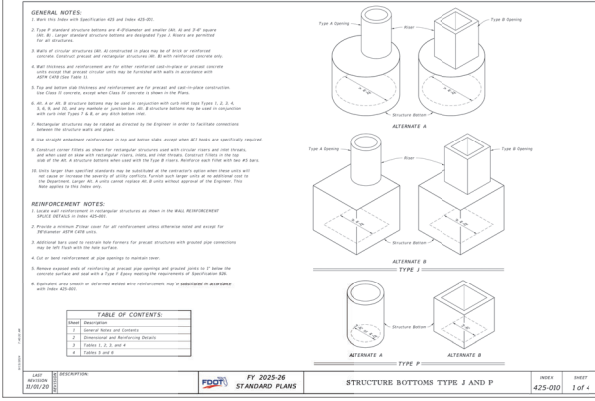
TYPE C - DIMENSIONAL REINFORCING AND STEEL GRATE DETAILS
 DITCH BOTTOM INLET TYPES C, D, E, AND H
 SHEET NO. 425-032 2 of 3



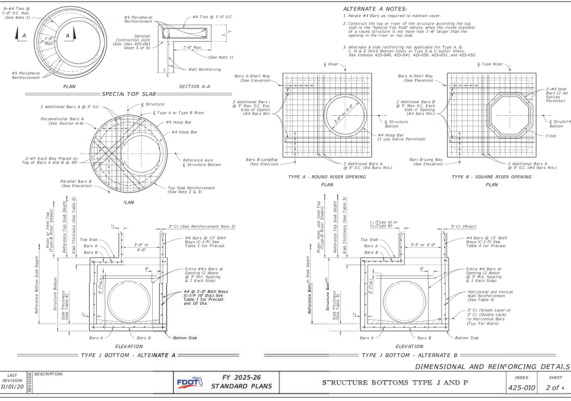
TYPE 1 - ADJUSTABLE FRAME
TYPE 2 - MANHOLE FRAMES AND MANHOLE TOPS
 SUPPLEMENTARY DETAILS FOR DRAINAGE STRUCTURES
 SHEET NO. 425-001 2 of 2



TYPE 1 - ADJUSTABLE FRAME
TYPE 2 - MANHOLE FRAMES AND MANHOLE TOPS
 SUPPLEMENTARY DETAILS FOR DRAINAGE STRUCTURES
 SHEET NO. 425-001 2 of 2



STRUCTURE BOTTOMS TYPE J AND P
 STANDARD PLANS
 SHEET NO. 425-000 1 of 4



STRUCTURE BOTTOMS TYPE J AND P
 STANDARD PLANS
 SHEET NO. 425-000 2 of 4

TABLE 1 - ALTERNATE A - STRUCTURES

STRUCTURE TYPE	MINIMUM DESIGN HEIGHT (ft)	MINIMUM DESIGN WIDTH (ft)	MINIMUM DESIGN LENGTH (ft)	MINIMUM DESIGN AREA (sq ft)	MINIMUM DESIGN PERIMETER (ft)
1	1.0	1.0	1.0	1.0	1.0
2	1.5	1.5	1.5	1.5	1.5
3	2.0	2.0	2.0	2.0	2.0
4	2.5	2.5	2.5	2.5	2.5
5	3.0	3.0	3.0	3.0	3.0
6	3.5	3.5	3.5	3.5	3.5
7	4.0	4.0	4.0	4.0	4.0
8	4.5	4.5	4.5	4.5	4.5
9	5.0	5.0	5.0	5.0	5.0
10	5.5	5.5	5.5	5.5	5.5

TABLE 2 - ALTERNATE B - STRUCTURES

STRUCTURE TYPE	MINIMUM DESIGN HEIGHT (ft)	MINIMUM DESIGN WIDTH (ft)	MINIMUM DESIGN LENGTH (ft)	MINIMUM DESIGN AREA (sq ft)	MINIMUM DESIGN PERIMETER (ft)
1	1.0	1.0	1.0	1.0	1.0
2	1.5	1.5	1.5	1.5	1.5
3	2.0	2.0	2.0	2.0	2.0
4	2.5	2.5	2.5	2.5	2.5
5	3.0	3.0	3.0	3.0	3.0
6	3.5	3.5	3.5	3.5	3.5
7	4.0	4.0	4.0	4.0	4.0
8	4.5	4.5	4.5	4.5	4.5
9	5.0	5.0	5.0	5.0	5.0
10	5.5	5.5	5.5	5.5	5.5

TABLE 3 - REINFORCING SCHEDULE

STRUCTURE TYPE	MINIMUM DESIGN HEIGHT (ft)	MINIMUM DESIGN WIDTH (ft)	MINIMUM DESIGN LENGTH (ft)	MINIMUM DESIGN AREA (sq ft)	MINIMUM DESIGN PERIMETER (ft)
1	1.0	1.0	1.0	1.0	1.0
2	1.5	1.5	1.5	1.5	1.5
3	2.0	2.0	2.0	2.0	2.0
4	2.5	2.5	2.5	2.5	2.5
5	3.0	3.0	3.0	3.0	3.0
6	3.5	3.5	3.5	3.5	3.5
7	4.0	4.0	4.0	4.0	4.0
8	4.5	4.5	4.5	4.5	4.5
9	5.0	5.0	5.0	5.0	5.0
10	5.5	5.5	5.5	5.5	5.5

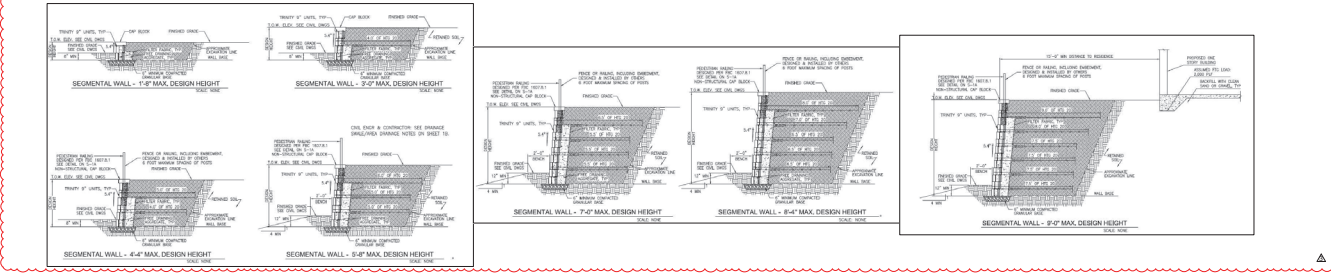
TABLE 4 - WALL DESIGNS - RECTANGULAR STRUCTURES

STRUCTURE TYPE	MINIMUM DESIGN HEIGHT (ft)	MINIMUM DESIGN WIDTH (ft)	MINIMUM DESIGN LENGTH (ft)	MINIMUM DESIGN AREA (sq ft)	MINIMUM DESIGN PERIMETER (ft)
1	1.0	1.0	1.0	1.0	1.0
2	1.5	1.5	1.5	1.5	1.5
3	2.0	2.0	2.0	2.0	2.0
4	2.5	2.5	2.5	2.5	2.5
5	3.0	3.0	3.0	3.0	3.0
6	3.5	3.5	3.5	3.5	3.5
7	4.0	4.0	4.0	4.0	4.0
8	4.5	4.5	4.5	4.5	4.5
9	5.0	5.0	5.0	5.0	5.0
10	5.5	5.5	5.5	5.5	5.5

TABLE 4 NOTES

- Reinforce 12" minimum on the cover for Type 1 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 2 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 3 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 4 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 5 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 6 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 7 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 8 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 9 Manhole Structures.
- Reinforce 12" minimum on the cover for Type 10 Manhole Structures.

STRUCTURE BOTTOMS TYPE J AND P
 STANDARD PLANS
 SHEET NO. 425-000 3 of 4



SEGMENTAL WALL - 10' MAX DESIGN HEIGHT
SEGMENTAL WALL - 8' MAX DESIGN HEIGHT
SEGMENTAL WALL - 6' MAX DESIGN HEIGHT
SEGMENTAL WALL - 4' MAX DESIGN HEIGHT



DAVE SCHMITT ENGINEERING, INC.
 12301 Lake Underhill Road Suite 241
 ORLANDO, FL 32826
 407-207-9088 FAX 407-207-9089
 Certification of Authorization #27471

REVISIONS

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12/22/2025	DM	REV. PER WMD COMMENTS			



MASS GRADING DETAILS - 1
 ARDEN OF OCALA
 OCALA, FLORIDA

DATE: AUGUST 2025
 PROJECT NO.: AO-1
 DRAWN BY: DM
 CHECKED BY: DMS
 SCALE: NONE
 SHEET: 17 OF 18

www.callahanengineering.com

Doing Business as: **CALLAHAN ENGINEERING & DESIGN**

10000 W. UNIVERSITY BLVD. SUITE 100
MARIETTA, GA 30067
PHONE: 770.426.1000
FAX: 770.426.1001
WWW.CALLAHANENGINEERING.COM

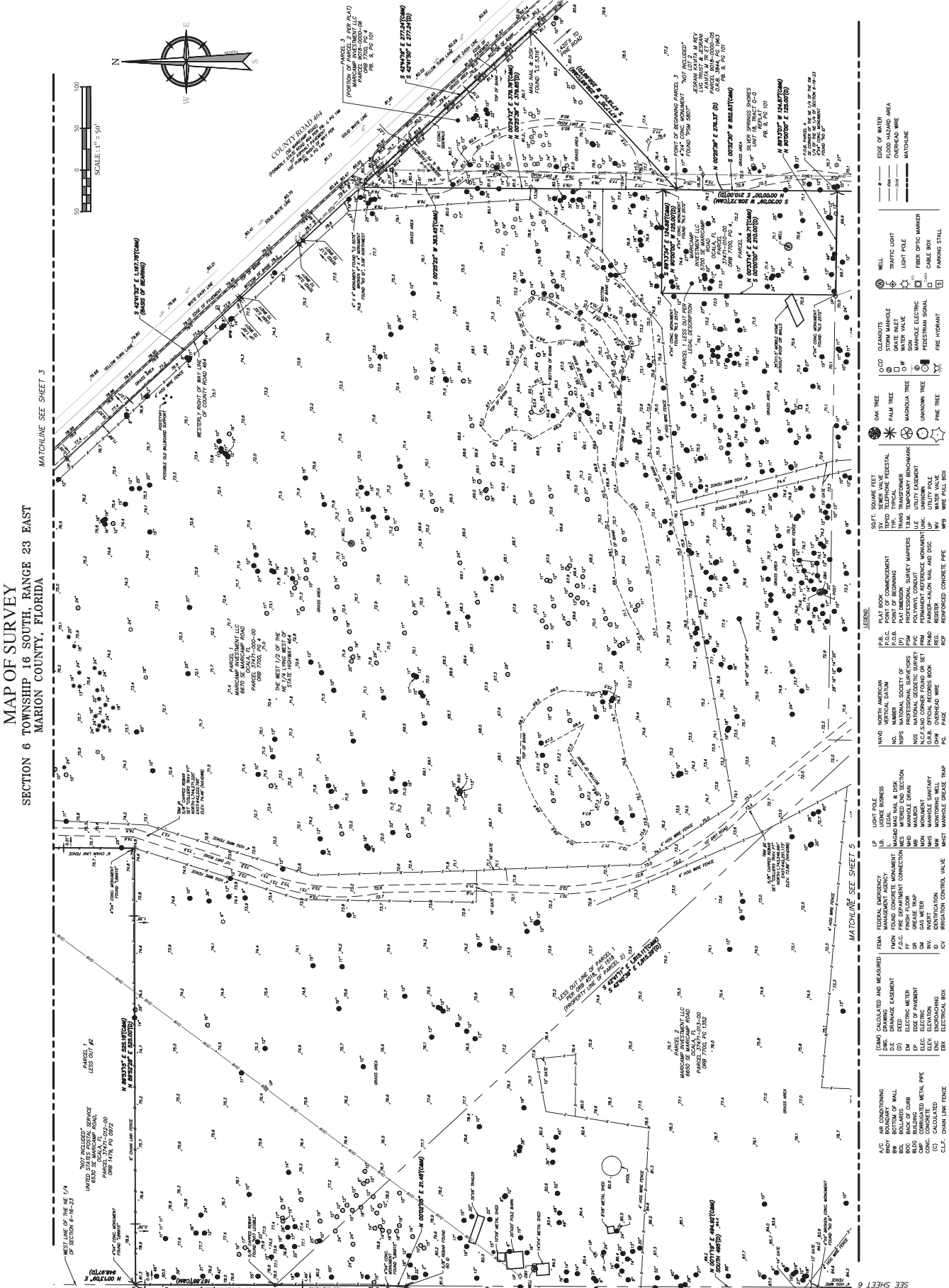
Charles David Ferraro
REGISTERED PROFESSIONAL SURVEYOR AND MAPPER
COLLEGE OF SURVEYING AND MAPPING
UNIVERSITY OF FLORIDA
L.L. LICENSE # 18398

FOR
**OCALA
DEVELOPMENT
PARTNERS, LLC**

**BOUNDARY, TOPOGRAPHIC
& TREE SURVEY**

SECTION 6, TOWNSHIP 16
SOUTH, RANGE 23 EAST
MARION COUNTY
FLORIDA

DATE: 11/14/2023
PROJECT: 23031001
SHEET: 4 OF 6



SCALE: 1" = 50'

SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA

MAP OF SURVEY

SECTION 6, TOWNSHIP 16 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA

DATE: 11/14/2023
PROJECT: 23031001
SHEET: 4 OF 6

FOR
**OCALA
DEVELOPMENT
PARTNERS, LLC**

**BOUNDARY, TOPOGRAPHIC
& TREE SURVEY**

SECTION 6, TOWNSHIP 16
SOUTH, RANGE 23 EAST
MARION COUNTY
FLORIDA

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22876

Agenda Date: 5/4/2026

Agenda No.: 6.3.

SUBJECT:

Lowell Correctional Institute - Major Site Plan 33538 - Waiver to Major Site Plan in Review

Parcel #: 07399-083-00 # WaiverPIR-000620-2026

Kimley-Horn and Associates

LDC 6.4.7 and LDC 2.12.8

CODE states Vertical control shall be provided and meet the following: (1) All surveys submitted for the purpose of construction shall show a minimum of two bench marks per site. For linear construction, bench marks shall be set at 1,000-foot intervals. For large acreage sites, additional bench marks may be required by the County Surveyor, not to exceed a ratio of one bench mark per 20 acres. (2) Bench mark information shall be in a current datum approved by the Office of the County Engineer. (3) Plans shall have a statement or table detailing vertical datum and adjustment, including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the vertical information shown. One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review. (4) When using stationing, all vertical control points shall be referenced to station and offset information. B. Horizontal control shall be provided and meet the following: (1) All surveys submitted for the purpose of construction shall show a minimum of two intervisible horizontal control points per site. For linear construction, horizontal control points shall be set at no greater than 1,000-foot intervals and at every change of direction. For large acreage sites, horizontal control points shall include all boundary corners and additional horizontal control points as may be required by the County Surveyor not to exceed a ratio of two intervisible horizontal control points per 20 acres. (2) Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System based on a current datum approved by the Office of the County Engineer. (3) Florida State Plane Coordinate values shall be derived from redundant measurements that meet or exceed Third Order, Class I accuracy standards as set forth by the Federal Geodetic Control Committee (FGCC). (4) Plans shall have a statement or table detailing horizontal datum, adjustment, and coordinate values including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the State Plane information shown. One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review. (5) When using stationing, all control points shall be referenced to station and offset information. If multiple line stationing exists, the basis for the station and offsets shall be clearly defined. Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.

APPLICANT requests exemption from survey requirements found in sections 6.4.7 and 2.12.8. The project a State Correctional Facility situated on State owned land. The property owner has informed us that state owned lands are exempt from these commented requirements.

DIVISION 8. - LANDSCAPING

CODE states The purpose and intent of this division is to provide landscaping guidelines establishing minimum standards and criteria for the design, installation, and maintenance of landscaping which enhances the aesthetic appearance of Marion County, complimenting the natural and built environments, reducing noise and glare, improving air and water quality, providing shade and habitat, and buffering the aspects of development.

APPLICANT - A waiver is sought from all landscape requirements. The project is a correctional facility. Landscaping is not allowed per State Correctional Department.



SUBMITTAL SUMMARY REPORT 33538

PLAN NAME: LOWELL CORRECTIONAL INSTITUTE

LOCATION: 3700 NW 111TH PL
OCALA,

APPLICATION DATE: 10/22/2025

PARCEL: 07399-083-00

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Jose Lopez	GNV
Engineer of Record	Jose Lopez	GNV

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.2	02/25/2026	03/04/2026	03/10/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	01/15/2026	01/30/2026	02/24/2026	Requires Re-submit
OCE: Plan Review (DR) v.3				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	03/04/2026	03/03/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	03/04/2026	02/26/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	03/04/2026	02/25/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	03/04/2026	03/05/2026	Approved

- Corrections* 2.12.4.L & Article 5 - Overlay zones (Resolved) - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.
- Corrections* Additional Growth Services Comments (Resolved) - Additional Growth Services Comments
- Corrections* 2.12 - Land Use Designation-subject property (Resolved) - 2.12 - Land Use Designation-subject property: Show existing land use designation the subject property.
- Corrections* 2.12.16/6.5 - EALS or Exemption provided (Resolved) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.
- Corrections* 2.12.19 - Dimension & location of site improvement (Resolved) - 2.12.19 - Dimension & location of site improvement: Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements.
- Corrections* 2.12.4.L - DRI/FQD Compliance Note (Resolved) - 2.12.4.L - DRI/FQD Compliance Note?: Revise the plan to add the following advisory note:
"DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE [PROJECT NAME DRI/FQD] DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.
- Corrections* 3.3.3 - Comply w Approved Hamlet Plan? (Resolved) - 3.3.3 - Comply w Approved Hamlet Plan?: For approved Hamlet Plan, provide required information on plan per LDC 3.3.3. See sub-checklist items.
- Corrections* 2.12.5/1.8.2.A - Traffic Capacity Available (Resolved) - 2.12.5/1.8.2.A - Traffic Capacity Available?: The adjoining roadway(s) are currently identified as exceeding their acceptable Level of Service, as such they are not eligible for further development unless and until sufficient capacity is demonstrated to be available or alternative approaches for the proposed development are proposed for consideration and potential approval (e.g., proportionate share, etc.).
- Corrections* 2.12.4/6.11.6 - Construction access (Resolved) - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,.
- Corrections* 2.1.3 - Order of plan approval and consistency (Resolved) - 2.1.3 - Order of plan approval and consistency: The plans shall be consistent with approved PUD/Master Plan/Final Plat. Plans listed below may be reviewed concurrently, but must be approved in the order listed below, when applicable and when the proper land use and zoning are in place: A.Master Plan. B.Preliminary Plat. C.Improvement Plan. D.Final Plat. E.Major Site Plan. However, a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application.
- Corrections* 2.12 - Waivers (Requested & Approved) (Resolved) - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.
- Corrections* 4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.

SUBMITTAL SUMMARY REPORT (33538)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	03/04/2026	03/05/2026	Approved
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation (Resolved) - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection.			
<i>Corrections</i>	2.12.32 - 100yr flood zone and flood prone areas (Resolved) - 2.12.32 - 100yr flood zone and flood prone areas: Show existing one percent (100-year) FEMA flood plain on plan with zone elevation and vertical datum noted; water line of lakes, wetlands, rivers, streams and canals; and other manmade or natural features. A note shall be provided detailing source and survey field methods used to obtain and verify data field methods of delineation of all lines shown.			
<i>Corrections</i>	2.12.23 - Building lot typicals (Resolved) - 2.12.23 - Building lot typicals: Show building lot typicals (primary and accessory structures) in table format and illustration.			
<i>Corrections</i>	2.12.6 - Location of water and sewer (Resolved) - 2.12.6 - Location of water and sewer: Show location of septic systems and wells. Locations shall be outside setback and clearance.			
<i>Corrections</i>	2.12 - Site coverage (Resolved) - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.			
<i>Corrections</i>	2.12 - Variances (Resolved) - 2.12 - Variances: List of approved Variance, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			
<i>Corrections</i>	2.12 - Zoning Classification-subject property (Resolved) - 2.12 - Zoning Classification-subject property: Show existing zoning classification on the subject property.			
<i>Corrections</i>	2.12.10 - Easement (Resolved) - 2.12.10 - Easement: Show existing and proposed easements on plan, and provide description of each easement.			
<i>Corrections</i>	2.12 - Owner and applicant name (Resolved) - 2.12 - Owner and applicant name: Show name, address, phone number, and signature of the owner and applicant on the cover sheet.			
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - 2.12/4.2 - Lot setback: Provide required setback and proposed setback in the site data table and show them on the plan.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Resolved) - 2.12.5/1.8.2.D - Traffic Concurrence Evaluation?: In order to propose alternative solutions to addressing the lack of roadway capacity, a traffic study will be required and a traffic methodology must be submitted for review and approval prior to the traffic study being completed. Please contact OCE-Traffic Review for further information on completing the necessary methodology and study.			
<i>Corrections</i>	2.12/2.12.21 - Open space and natural areas (Resolved) - 2.12/2.12.21 - Open space and natural areas: Provide list of open space and natural areas in square footage, acreage, and percentage. Including existing and proposed natural open space, improved open space, open water, wetland, and preserved natural areas. Also show them on the plan.			
<i>Corrections</i>	2.12/3.2.3 - Land Use Consistency (Resolved) - 2.12/3.2.3 - Land Use Consistency: Provide a list of existing and proposed uses. Provide list of area in square footage/acreage for each existing and proposed uses. Verify if existing and proposed uses are allowed under land use designation and zoning classification.			
<i>Corrections</i>	2.12.10 - Easement or land reservation (Resolved) - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - 2.12.4/6.11.7 - Loading area: Show proposed loading areas on plan, per Sec. 6.11.7. - Loading areas.			
<i>Corrections</i>	2.12.20 - Phases of development (Resolved) - 2.12.20 - Phases of development: Show all phases of development on plan. Improvements must be in place to support each phase of development at time of phase completion.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Resolved) - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)			
<i>Corrections</i>	2.12 - Rezoning (Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12.9 - Existing, proposed & adjacent ROWs (Resolved) - 2.12.9 - Existing, proposed & adjacent ROWs: Show name, location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project on plan.			
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - 2.12/4.2 - Building height: Show building height (primary and accessory structures) in the site data table.			
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Resolved) - 3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density: For residential project, show maximum and minimum allowable density, and proposed density.			
<i>Corrections</i>	2.12 - Special Use Permits (Resolved) - 2.12 - Special Use Permits: List of all approved special use permits, case number, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Lot area & lot width (Resolved) - 2.12 - Lot area & lot width: Provide required lot area and lot width in the site data table. Show proposed lot area and lot width of all lots in the site data table and on the plan.			
<i>Corrections</i>	2.12 - Parcel number (Resolved) - 2.12 - Parcel number: Show parcel numbers on the cover sheet.			
<i>Corrections</i>	2.12.22 - Tracts (Resolved) - 2.12.22 - Tracts : Show existing and proposed tracts on plan, and provide description of each tract.			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - 3.2.3 - NON-RESIDENTIAL - Complies with FAR: For non-residential project, show maximum allowable Floor Area Ratio (FAR) and proposed FAR.			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.			

SUBMITTAL SUMMARY REPORT (33538)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	03/04/2026	03/05/2026	Approved
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Resolved) - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	03/04/2026	02/27/2026	Requires Re-submit
<i>Comments</i>	Please submit waiver from landscape requirements			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	03/04/2026	02/27/2026	Requires Re-submit
<i>Corrections</i>	2.12.3 - Title block (Not Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	2.12.4.E & 6.2.1.A - Licensed Professional (Not Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	03/04/2026	03/04/2026	Informational
<i>Comments</i>	<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete 5 accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/04/2026	02/26/2026	Requires Re-submit
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	2.12.4.L(9)(b) - Data Block (Impervious Area) (Not Resolved) - 2.12.4.L(9)(b) - Data Block (Impervious Area): Provide existing and proposed gross impervious area in SF, ac, and percentage in the data block on the cover sheet. Include any offsite drainage to your site in the data block.			

SUBMITTAL SUMMARY REPORT (33538)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/04/2026	02/26/2026	Requires Re-submit
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - 6.13.6 - Stormwater Quality Criteria: The following systems shall be considered as meeting the County's stormwater quality criteria: a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, shall have an appropriate vegetative cover. c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1, shall have sodded bottoms. d) Wet retention/detention systems, including wetlands, shall meet the governing State standards. e) Systems demonstrating distributed volume.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - 6.13.2.B(8) - Calculation & Plan Consistency: Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - Additional Stormwater comments			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	03/04/2026	02/25/2026	Requires Re-submit
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements (Not Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.			
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Not Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
	6.4.7.A(1) - Show a minimum of two bench marks per site			
	6.4.7.A(2 & 3) - Bench mark information shown			
	6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site			
	6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	03/04/2026	03/01/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	03/04/2026	03/02/2026	Approved
<i>Comments</i>	Project is located within the Marion County Utilities service area; however, it is currently outside of connection distance to existing public utilities. Future utility extension plans indicate public water service is planned for this area, but at this time the site is served by a private well system.			
	The project is also located within the State B-Map area.			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Resolved) - 6.14.5.A(2) - Proposed mains & connections shown: C01.02 – Water and Sewer Notes Note #9 to be revised: Marion County Utilities will not own any water or sewer mains or services located within the parcel boundary. When water and/or sewer service is extended to serve this project, MCU ownership and maintenance will terminate at the County right-of-way or at the project meter, as applicable.			

REVIEW SESSION FILES:
 25036.0.01 TOPO SURVEY_v1.pdf
 Combined Technical Memo - Lowell CI Letter Mod.pdf
 Comment Response Letter.pdf
 File Category Placeholder.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Theresa S.	6.4.7.A(1) - Show a minimum of two bench marks per site 6.4.7.A(2 & 3) - Bench mark information shown 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System	02/25/2026 3:45	PM25036.0.01 TOPO SURVEY_v1.pdf	4

SUBMITTAL SUMMARY REPORT (33538)

eREVIEW SESSION FILES: 25036.0.01 TOPO SURVEY_v1.pdf
 Combined Technical Memo - Lowell CI Letter Mod.pdf
 Comment Response Letter.pdf
 File Category Placeholder.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Theresa S.	6.4.7.A(1) - Show a minimum of two bench marks per site 6.4.7.A(2 & 3) - Bench mark information shown 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System	02/25/2026 3:46	PM25036.0.01 TOPO SURVEY_v1.pdf	1
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OCE: Plan Review (DR) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	01/30/2026	01/28/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	01/30/2026	01/20/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	01/30/2026	01/15/2026	Approved
<i>Comments</i>	Defer to the State Fire Marshal's Office			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	01/30/2026	01/30/2026	Approved
<i>Corrections</i>	2.12.9 - Existing, proposed & adjacent ROWs (Resolved) - 2.12.9 - Existing, proposed & adjacent ROWs: Show name, location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project on plan.			
<i>Corrections</i>	2.12.22 - Tracts (Resolved) - 2.12.22 - Tracts : Show existing and proposed tracts on plan, and provide description of each tract.			
<i>Corrections</i>	2.12 - Owner and applicant name (Resolved) - 2.12 - Owner and applicant name: Show name, address, phone number, and signature of the owner and applicant on the cover sheet.			
<i>Corrections</i>	2.12 - Parcel number (Resolved) - 2.12 - Parcel number: Show parcel numbers on the cover sheet.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.			
<i>Corrections</i>	3.3.3 - Comply w Approved Hamlet Plan? (Resolved) - 3.3.3 - Comply w Approved Hamlet Plan?: For approved Hamlet Plan, provide required information on plan per LDC 3.3.3. See sub-checklist items.			
<i>Corrections</i>	2.12.10 - Easement or land reservation (Resolved) - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation			
<i>Corrections</i>	Additional Growth Services Comments (Resolved) - Additional Growth Services Comments			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.			
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - 2.12/4.2 - Lot setback: Provide required setback and proposed setback in the site data table and show them on the plan.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.			
<i>Corrections</i>	2.12/3.2.3 - Land Use Consistency (Resolved) - 2.12/3.2.3 - Land Use Consistency: Provide a list of existing and proposed uses. Provide list of area in square footage/acreage for each existing and proposed uses. Verify if existing and proposed uses are allowed under land use designation and zoning classification.			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation (Resolved) - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection.			
<i>Corrections</i>	2.12 - Rezoning (Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Zoning Classification-subject property (Resolved) - 2.12 - Zoning Classification-subject property: Show existing zoning classification on the subject property.			
<i>Corrections</i>	2.12 - Lot area & lot width (Resolved) - 2.12 - Lot area & lot width: Provide required lot area and lot width in the site data table. Show proposed lot area and lot width of all lots in the site data table and on the plan.			
<i>Corrections</i>	2.12 - Variances (Resolved) - 2.12 - Variances: List of approved Variance, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12.20 - Phases of development (Resolved) - 2.12.20 - Phases of development: Show all phases of development on plan. Improvements must be in place to support each phase of development at time of phase completion.			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.			

SUBMITTAL SUMMARY REPORT (33538)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	01/30/2026	01/30/2026	Approved
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - 2.12.4/6.11.7 - Loading area: Show proposed loading areas on plan, per Sec. 6.11.7. - Loading areas.			
<i>Corrections</i>	2.1.3 - Order of plan approval and consistency (Resolved) - 2.1.3 - Order of plan approval and consistency: The plans shall be consistent with approved PUD/Master Plan/Final Plat. Plans listed below may be reviewed concurrently, but must be approved in the order listed below, when applicable and when the proper land use and zoning are in place: A.Master Plan. B.Preliminary Plat. C.Improvement Plan. D.Final Plat. E.Major Site Plan. However, a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application.			
<i>Corrections</i>	2.12 - Land Use Designation-subject property (Resolved) - 2.12 - Land Use Designation-subject property: Show existing land use designation the subject property.			
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - 2.12/4.2 - Building height: Show building height (primary and accessory structures) in the site data table.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Resolved) - 2.12.5/1.8.2.D - Traffic Concurrency Evaluation?: In order to propose alternative solutions to addressing the lack of roadway capacity, a traffic study will be required and a traffic methodology must be submitted for review and approval prior to the traffic study being completed. Please contact OCE-Traffic Review for further information on completing the necessary methodology and study.			
<i>Corrections</i>	2.12.5/1.8.2.A - Traffic Capacity Available (Resolved) - 2.12.5/1.8.2.A - Traffic Capacity Available?: The adjoining roadway(s) are currently identified as exceeding their acceptable Level of Service, as such they are not eligible for further development unless and until sufficient capacity is demonstrated to be available or alternative approaches for the proposed development are proposed for consideration and potential approval (e.g., proportionate share, etc.).			
<i>Corrections</i>	2.12.19 - Dimension & location of site improvement (Resolved) - 2.12.19 - Dimension & location of site improvement: Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements.			
<i>Corrections</i>	2.12 - Site coverage (Resolved) - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.			
<i>Corrections</i>	2.12/2.12.21 - Open space and natural areas (Resolved) - 2.12/2.12.21 - Open space and natural areas: Provide list of open space and natural areas in square footage, acreage, and percentage. Including existing and proposed natural open space, improved open space, open water, wetland, and preserved natural areas. Also show them on the plan.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			
<i>Corrections</i>	2.12.6 - Location of water and sewer (Resolved) - 2.12.6 - Location of water and sewer: Show location of septic systems and wells. Locations shall be outside setback and clearance.			
<i>Corrections</i>	2.12 - Special Use Permits (Resolved) - 2.12 - Special Use Permits: List of all approved special use permits, case number, conditions, and the date of approval.			
<i>Corrections</i>	2.12.10 - Easement (Resolved) - 2.12.10 - Easement: Show existing and proposed easements on plan, and provide description of each easement.			
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Resolved) - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - 3.2.3 - NON-RESIDENTIAL - Complies with FAR: For non-residential project, show maximum allowable Floor Area Ratio (FAR) and proposed FAR.			
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Resolved) - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Resolved) - 3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density: For residential project, show maximum and minimum allowable density, and proposed density.			
<i>Corrections</i>	2.12.4.L - DRI/FQD Compliance Note (Resolved) - 2.12.4.L - DRI/FQD Compliance Note?: Revise the plan to add the following advisory note: "DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE [PROJECT NAME DRI/FQD] DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.			
<i>Corrections</i>	2.12.4/6.11.6 - Construction access (Resolved) - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,.			
<i>Corrections</i>	2.12.32 - 100yr flood zone and flood prone areas (Resolved) - 2.12.32 - 100yr flood zone and flood prone areas: Show existing one percent (100-year) FEMA flood plain on plan with zone elevation and vertical datum noted; water line of lakes, wetlands, rivers, streams and canals; and other manmade or natural features. A note shall be provided detailing source and survey field methods used to obtain and verify data field methods of delineation of all lines shown.			

SUBMITTAL SUMMARY REPORT (33538)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	01/30/2026	01/30/2026	Approved
<i>Corrections</i>	2.12.23 - Building lot typicals (Resolved) - 2.12.23 - Building lot typicals: Show building lot typicals (primary and accessory structures) in table format and illustration.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	01/30/2026	01/16/2026	Requires Re-submit
<i>Comments</i>	Please submit Tree Preservation, signed and sealed Landscape, Irrigation and (if applicable) photometric plans			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	01/30/2026	02/24/2026	Requires Re-submit
<i>Corrections</i>	2.12.4.E & 6.2.1.A - Licensed Professional (Not Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
<i>Corrections</i>	2.12.3 - Title block (Not Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	01/30/2026	02/04/2026	Informational
<i>Comments</i>	<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	01/30/2026	01/16/2026	Requires Re-submit
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - 6.13.2.B(8) - Calculation & Plan Consistency: Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - Additional Stormwater comments			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			

SUBMITTAL SUMMARY REPORT (33538)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	01/30/2026	01/16/2026	Requires Re-submit
<i>Corrections</i>	2.12.4.L(9)(b) - Data Block (Impervious Area) (Not Resolved) - 2.12.4.L(9)(b) - Data Block (Impervious Area): Provide existing and proposed gross impervious area in SF, ac, and percentage in the data block on the cover sheet. Include any offsite drainage to your site in the data block.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - 6.13.6 - Stormwater Quality Criteria: The following systems shall be considered as meeting the County's stormwater quality criteria: a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, shall have an appropriate vegetative cover. c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1, shall have sodded bottoms. d) Wet retention/detention systems, including wetlands, shall meet the governing State standards. e) Systems demonstrating distributed volume.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	01/30/2026	01/26/2026	Requires Re-submit
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements (Not Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	01/30/2026	01/15/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	01/30/2026	01/27/2026	Requires Re-submit
<i>Comments</i>	Correction Comment: The parcel is within the Marion County Utilities service area but is currently outside the connection distance to public water and sewer.			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Not Resolved) - 6.14.5.A(2) - Proposed mains & connections shown: C01.02 – Water and Sewer Notes Note #9 to be revised: Marion County Utilities will not own any water or sewer mains or services located within the parcel boundary. When water and/or sewer service is extended to serve this project, MCU ownership and maintenance will terminate at the County right-of-way or at the project meter, as applicable.			

OCE Survey (Plans) • Requires Re-submit • Smail Theresa • Completed : 02/25/2026

Due Date: 03/04/2026
Completed Date: 02/25/2026

Corrections (2)

Correction Type 6.4.7. Construction Plans - Survey **Category** Survey - Major Site Plan [Respond](#)

Comment 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.

Correction Type 2.12.8. - Current boundary and topographic survey **Category** Survey - Major Site Plan [Respond](#)

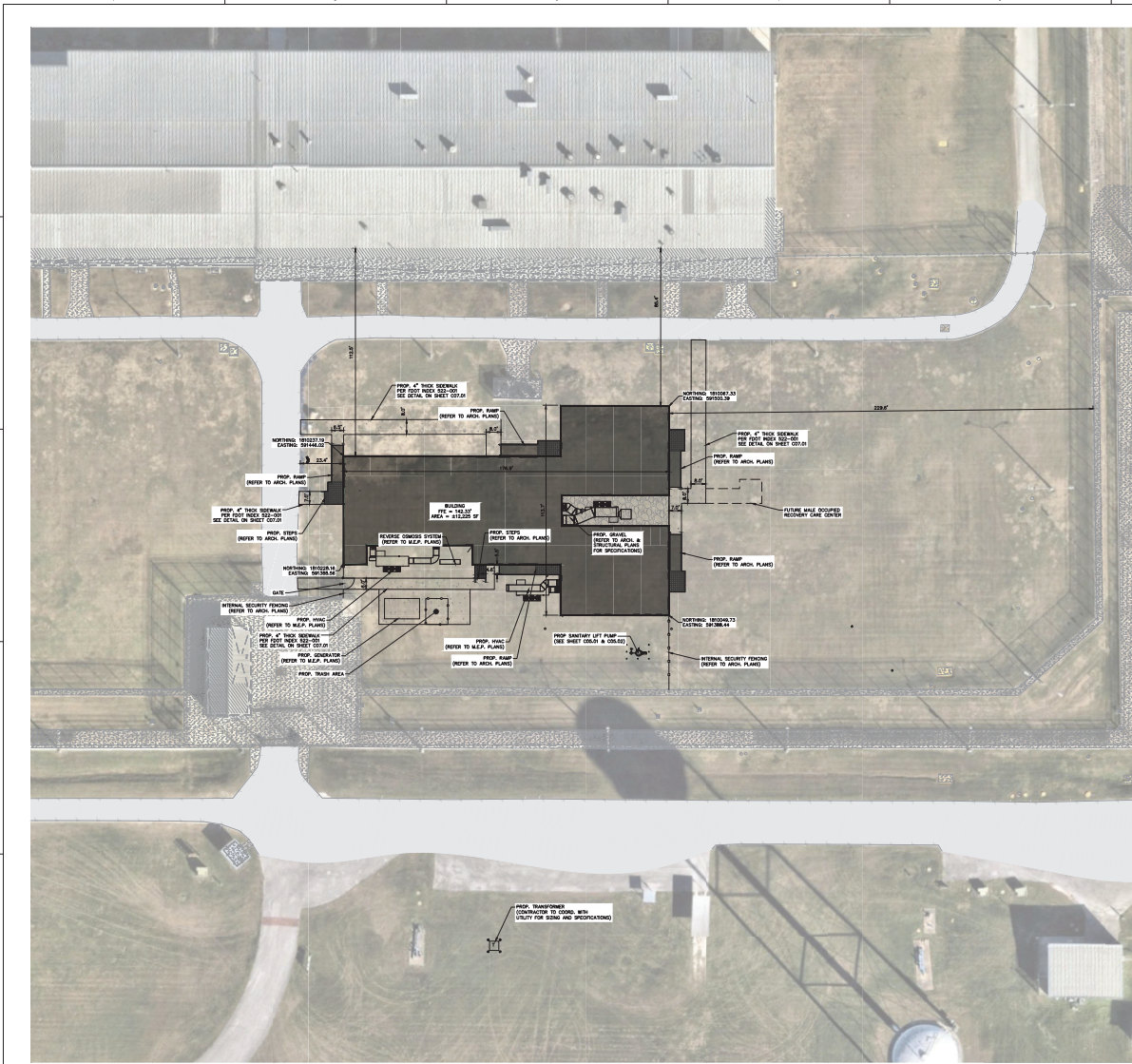
Comment 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.
6.4.7.A(1) - Show a minimum of two bench marks per site
6.4.7.A(2 & 3) - Bench mark information shown
6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site
6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System

! Landscape (Plans) • Requires Re-submit • Heyen Susan • Completed : 02/27/2026

Due Date	Completed Date
03/04/2026	02/27/2026

Comment

Please submit waiver from landscape requirements



- CONCRETE SIDEWALKS**
 (PER FOOT INDEX 122-001)
- NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 2. PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROPOSED WORK JURISDICTION.
 3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE FINISH, SIDEWALKS, ETC. PROVIDE TRUCKS/DOES. PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 4. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION FOR SURVEY DATE MAY 4, 2018, BY LONGITUDE SURVEYORS, LLC.
 5. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 6. MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 3.0% (1:33).
 7. MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 3.0% (1:33).

PREPARED FOR:

MODCORR
 MODULAR CORRECTIONAL SOLUTIONS

URBANA ARCHITECTS

1500 W. WINDYBROOK
 MSP
 3100 KENNEDY BLVD
 WATERSFORD, NY 13155 (518) 234-0100

City of Tampa
 100 2ND AVENUE, SUITE 110
 TAMPA, FL 33602 (813) 274-6200

MD DESIGN
 2811 HARBERN STREET
 HELLWOOD, AL 35892 (205) 938-5657

PROFESSIONAL ENGINEER
HATFIELD GROUP
 26 WEST BROADWAY, 4010
 NEW YORK, NY 10013 (212) 200-9113

GOLDMAN COPELAND USE BOUNDARY
 1000 TOWN HALL, NY 10018
 1000 TOWN HALL, NY 10018
 (212) 512-2200

NO.	DESCRIPTION	DATE
1	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
2	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
3	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
4	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
5	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
6	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
7	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
8	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
9	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018
10	ISSUED FOR AHCA STAGE II SUBMISSION	08/07/2018

FLORIDA LICENSE NUMBER
 JOSE A. LOPEZ, JR., P.E.
 85445

**MODCORR MEDMOD
 LOWELL CORRECTIONAL
 INSTITUTE**
 1100 MI GARDEN LANE RD DONALD, FL 34620

ISSUED FOR
 AHCA STAGE II SUBMISSION

SITE PLAN

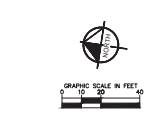
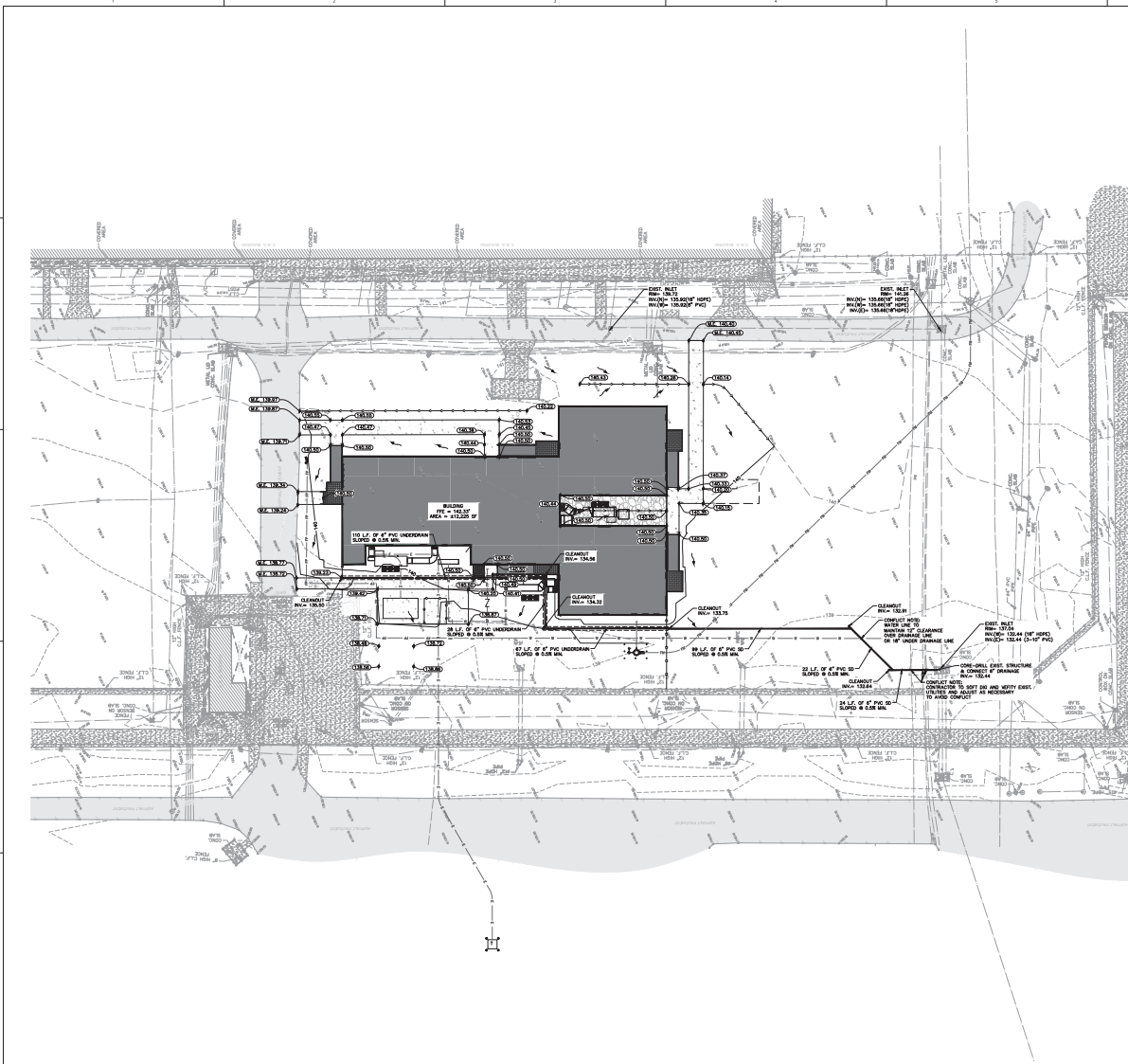
PROJECT NUMBER: LOW-ALP01-FL-12

DESIGNED BY: JAL

DRAWN BY: RJK

NO. PROJECT NO.	DATE
SCALE: AS SHOWN	DATE
DATE	NUMBER 003
DATE	DRAWN NO.

C03.01



- LEGEND**
- PROPOSED SPOT ELEVATION
 - PROPOSED CONTOUR LINE
 - PROPOSED CONTOUR
 - PROPOSED UNDERMIN' (SEE SHEET C-04 FOR DETAILS)
 - EXIST. GRADE
 - EXIST. WALL
 - EXIST. DRIVEWAY

- NOTES**
- ALL DIMENSIONS ARE TO THE FACE OF MEMBER UNLESS OTHERWISE INDICATED.
 - ALL EXISTING CONSTRUCTION SHALL HAVE A MINIMUM COVER SLIPS OF 4" UNLESS OTHERWISE INDICATED.
 - ALL EXISTING CONSTRUCTION SHALL HAVE A MINIMUM COVER SLIPS OF 4" UNLESS OTHERWISE INDICATED.
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 - ALL EXISTING CONSTRUCTION SHALL HAVE A MINIMUM COVER SLIPS OF 4" UNLESS OTHERWISE INDICATED.



DESIGNED FOR:
MSP
1300 WINDSOR DR
WATSFORD, NY 13153-20-00

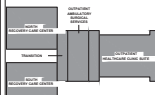
DESIGNED BY:
K. A. LOPEZ
K. A. LOPEZ ARCHITECTS
100 W. 2ND ST., SUITE 101
GAINESVILLE, FL 32601 (813) 374-0274

MD DESIGN
2011 HARBERN STREET
HOLLWOOD, FL 33024 (813) 984-5857

PROJECT ENGINEER
HATFIELD GROUP
26 WEST BROADWAY, 403
NEW YORK, NY 10013 (212) 200-9113

USE BUCKLEUP
NEW YORK, NY 10013
212 278-6642

NO.	DESCRIPTION	DATE
1	ISSUED FOR SUBMISSION	08/07/2013
2	ISSUED FOR SUBMISSION	08/07/2013
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4	ISSUED FOR SUBMISSION	08/07/2013
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7	ISSUED FOR SUBMISSION	08/07/2013
8	ISSUED FOR SUBMISSION	08/07/2013
9	ISSUED FOR SUBMISSION	08/07/2013
10	ISSUED FOR SUBMISSION	08/07/2013



FLORIDA LICENSE NUMBER
JOSE A. LOPEZ, JR., P.E.
85440

**MODCORR MEDMOD
LOWELL CORRECTIONAL
INSTITUTE**

1100 MI CHARLES RD DONALD, FL 34620

ISSUED FOR
AHCA STAGE II SUBMISSION

**PAVING,
GRADING, &
DRAINAGE PLAN**

PROJECT NUMBER: 006-AL006-PL-12

DESIGNED BY: JAL

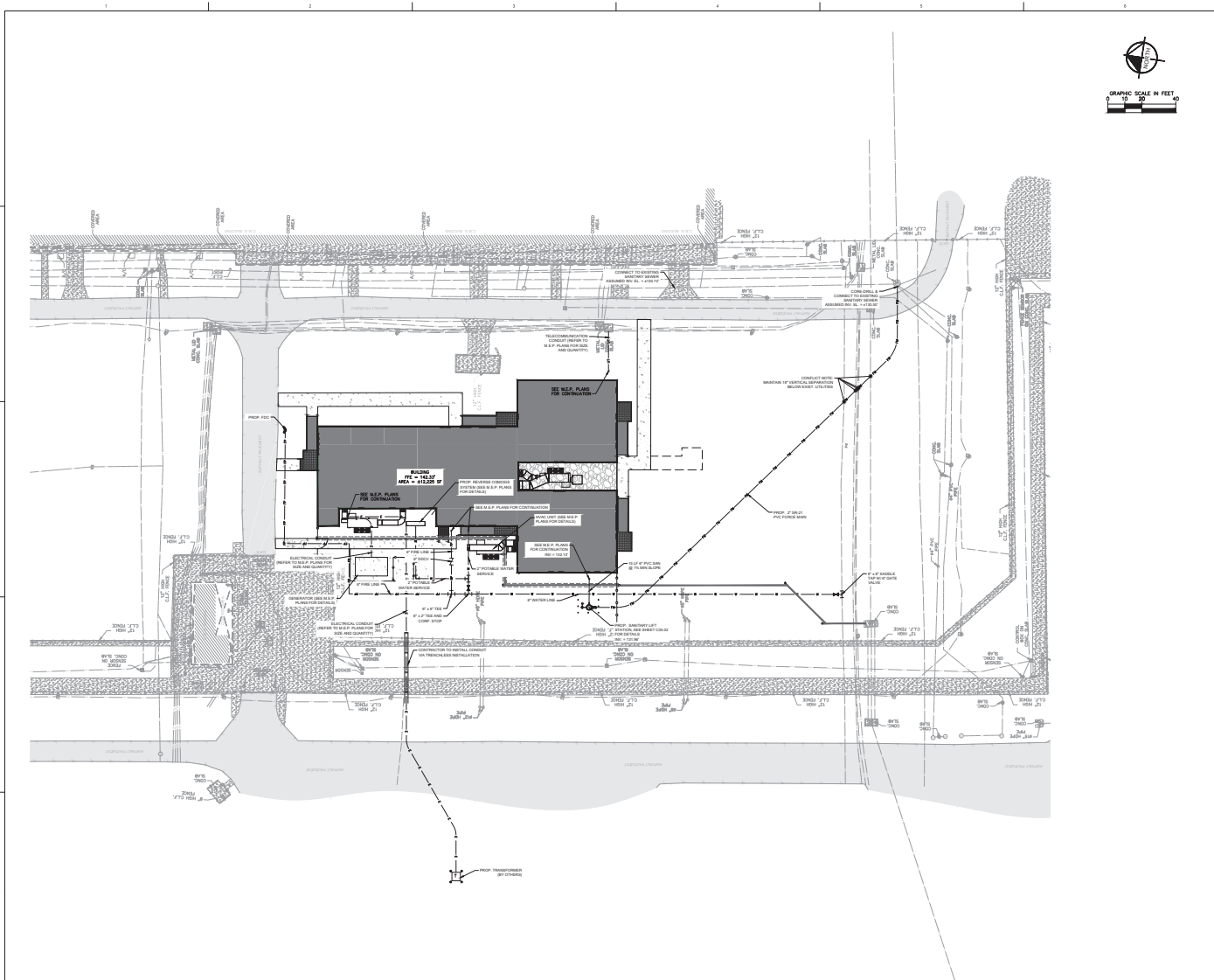
DRAWN BY: KOK

SCALE: AS SHOWN

DATE: 08/07/2013

DRAWN NO.:

C04.01



PREPARED FOR:

MODCORR
MODULAR CORRECTIONAL SOLUTIONS

URBANN ARCHITECTS
ARCHITECTS

OWNER/ARCHITECT:
MSP
3300 MADISON BLVD
WATERSFORD, NY 12188-0200-000

P.A. NUMBER:
Key-Horn
100 W. 200th ST. A.B. #10
GARDEN CITY, NY 11530-3420-114

NO DESIGN
2811 HARBORN STREET
HOLLWOOD, FL 33488-3048-0457

PROFESSIONAL ENGINEER:
HATFIELD GROUP
26 WEST BROADWAY, 403
NEW YORK, NY 10013-2004-113

USE BROOKLYN
GOLDMAN
COPOLAND
100 WALL STREET, 10TH FLOOR
NEW YORK, NY 10038-2000-1000

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	08/07/2018
2	ISSUED FOR CONSTRUCTION	08/07/2018
3	ISSUED FOR CONSTRUCTION	08/07/2018
4	ISSUED FOR CONSTRUCTION	08/07/2018
5	ISSUED FOR CONSTRUCTION	08/07/2018
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7	ISSUED FOR CONSTRUCTION	08/07/2018
8	ISSUED FOR CONSTRUCTION	08/07/2018
9	ISSUED FOR CONSTRUCTION	08/07/2018
10	ISSUED FOR CONSTRUCTION	08/07/2018

FLORIDA LICENSE NUMBER
JOSE A. LOPEZ, P.E.
85440

**MODCORR MEDMOD
LOWELL CORRECTIONAL
INSTITUTE**
1100 MIAMI GABLES RD DONALD, FL 34620

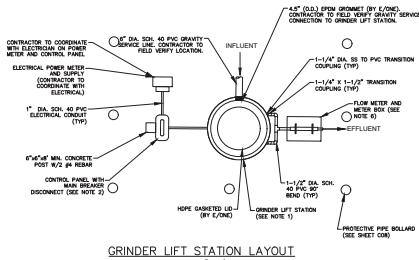
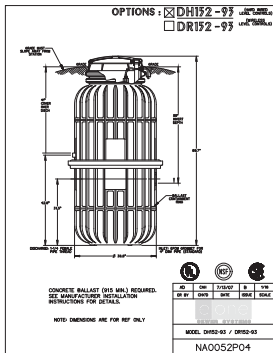
ISSUED FOR
AHCA STAGE II SUBMISSION

UTILITY PLAN

PROJECT NUMBER: 006-ALP002-PL-12
DESIGNED BY: JAL
DRAWN BY: KJK

SCALE: AS SHOWN	DATE: NOVEMBER 2018
DATE: NOVEMBER 2018	DATE: NOVEMBER 2018
DATE: NOVEMBER 2018	DATE: NOVEMBER 2018
DATE: NOVEMBER 2018	DATE: NOVEMBER 2018

C05.01



GRINDER LIFT STATION DETAILS

- NOTES:**
1. THE GRINDER LIFT STATION SHALL BE MODEL DH152 BY E/ONE, OR ENGINEER APPROVED EQUAL. THE GRINDER LIFT STATION SHALL INCLUDE TWO GRINDER PUMPS, CHECK VALVE, HPDE TANK, AND ALL APPURTENANCES FOR A COMPLETE AND FULLY FUNCTIONAL GRINDER LIFT STATION.
 2. THE CONTROL PANEL SHALL BE MODEL NA0344P03 BY E/ONE, OR ENGINEER APPROVED EQUAL. THE CONTROL PANEL SHALL INCLUDE TWO (2) 120-VOLT 15 AMP GFI RECEPTACLES, MAIN BREAKER, DISCONNECT, AND PADLOCK. THE THERMOPLASTIC ENCLOSURE SHALL BE CORROSION-PROOF, NEMA 4X-RATED, AND INCLUDE AN EXTERNAL VISUAL AND AUDIBLE ALARM.
 3. CONTRACTOR SHALL PROVIDE PRE-CAST OR POURED IN PLACE CONCRETE ANCHOR PER MANUFACTURER'S RECOMMENDATION. THE CONCRETE ANCHOR SHALL BE 915 LB (41N).
 4. CONTRACTOR SHALL PROVIDE CLEAN, COMPACTABLE BACKFILL, SUCH AS PEA GRAVEL OR CRUSHED STONE, 1/8" - 3/4" IN SIZE TO GRADE PER MANUFACTURER RECOMMENDATION. CLAY OR SILTS ARE NOT ACCEPTABLE BACKFILL.
 5. CONTRACTOR SHALL PLACE WETWELL ON A 6" BED OF GRAVEL MADE OF NATURALLY ROUNDED AGGREGATE, CLEAN AND FREE FLOWING, WITH PARTICLE SIZE NOT LESS THAN 1/8" OR MORE THAN 3/4" IN DIAMETER PER MANUFACTURER RECOMMENDATION.
 6. FLOW METER SHALL BE 2" ULTRAMAG MODEL LM06 ELECTROMAGNETIC FLOW METER, OR APPROVED EQUAL. FLOW METER SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL INSTALL A 2" X 1-1/2" TRANSITION COUPLING 3" UPSTREAM AND 3" DOWNSTREAM OF THE FLOW METER TO CONNECT TO THE FORCE MAIN.

PREPARED FOR:

MODCORR
MODULAR CORRECTIONAL SOLUTIONS

URBANA ARCHITECTS
ARCHITECTS

1000 W. BROADWAY
WATSFORD, NY 13153-0100
PH: 518-837-7700 FAX: 518-837-7700

1000 W. BROADWAY
WATSFORD, NY 13153-0100
PH: 518-837-7700 FAX: 518-837-7700

Key-Horn
KEY-HORN ENGINEERING
1000 W. BROADWAY
WATSFORD, NY 13153-0100
PH: 518-837-7700 FAX: 518-837-7700

1000 W. BROADWAY
WATSFORD, NY 13153-0100
PH: 518-837-7700 FAX: 518-837-7700

GOLDMAN
COPOLAND
1000 W. BROADWAY
WATSFORD, NY 13153-0100
PH: 518-837-7700 FAX: 518-837-7700

NO.	DESCRIPTION	DATE
1	ISSUED FOR SUBMISSION	08/07/2014
2	ISSUED FOR SUBMISSION	08/07/2014
3	ISSUED FOR SUBMISSION	08/07/2014
4	ISSUED FOR SUBMISSION	08/07/2014
5	ISSUED FOR SUBMISSION	08/07/2014
6	ISSUED FOR SUBMISSION	08/07/2014
7	ISSUED FOR SUBMISSION	08/07/2014
8	ISSUED FOR SUBMISSION	08/07/2014
9	ISSUED FOR SUBMISSION	08/07/2014
10	ISSUED FOR SUBMISSION	08/07/2014

FLORIDA LICENSE NUMBER
JOSE A. LOPEZ, P.E., P.F.E.
85640

MODCORR MEDMOD
LOWELL CORRECTIONAL
INSTITUTE
1100 NW GARDEN LANE, SUITE 3400, FT. LAUDERDALE, FL 33309

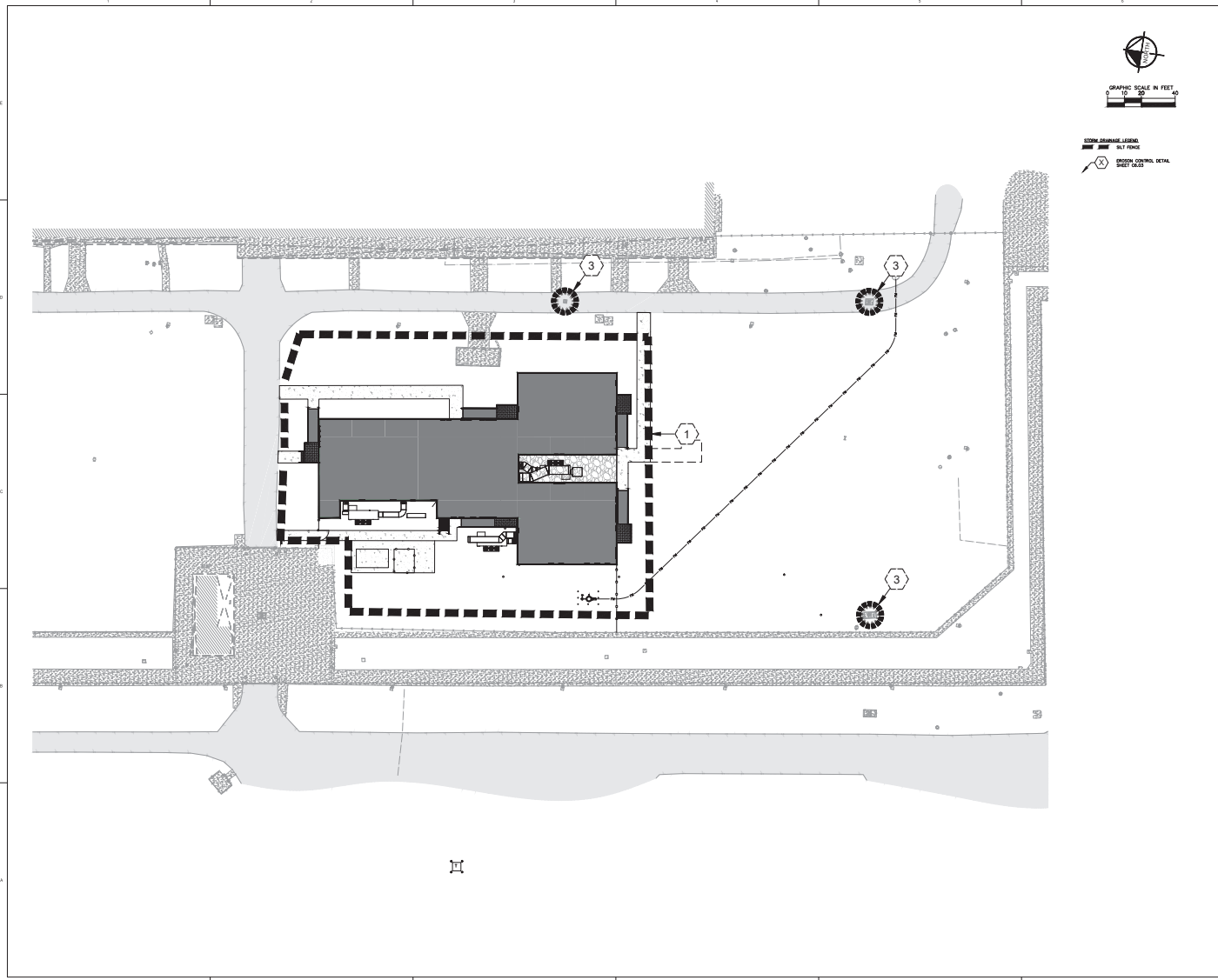
ISSUED FOR
AHCA STAGE II SUBMISSION

LIFT STATION
DETAILS

PROJECT NUMBER: SEE AHCA STAGE II, PD
DESIGNED BY: JAL
DRAWN BY: KMK

SCALE: AS SHOWN	DATE: 08/07/2014
SCALE: AS SHOWN	DATE: 08/07/2014
SCALE: AS SHOWN	DATE: 08/07/2014

C05.02



PREPARED FOR:

MODCORR
MODULAR CORRECTIONAL SOLUTIONS

URBANN ARCHITECTS

URBAN ARCHITECTS
1200 MADISON BLVD
WATERSFORD, NY 12188-0100-000
P.A. LICENSED
ARCHITECT
100 W. 20th St., 4th Fl. 101
GREENWICH, NY 10309-1001-0001

MD DESIGN
2811 HARBEN STREET
HOLLWOOD, FL 33488-0848-0001
PROFESSIONAL ENGINEER
HATFIELD GROUP
26 WEST BROADWAY, 4th FL
NEW YORK, NY 10013-0200-0010

GOLDMAN COPLAND USBC Brooklyn
New York, NY 10018
212.688.6800
www.goldman-copland.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR SUBMISSION	08/07/2018
2	ISSUED FOR SUBMISSION	08/07/2018
3	ISSUED FOR SUBMISSION	08/07/2018
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10	ISSUED FOR SUBMISSION	08/07/2018

FLORIDA LICENSE NUMBER
JOSE A. LOPEZ, JR., P.E.
85440

**MODCORR MEDMOD
LOWELL CORRECTIONAL
INSTITUTE**
1100 MI GARDEN LANE DONALD, FL 34620

ISSUED FOR
AHCA STAGE II SUBMISSION

**EROSION
CONTROL PLAN**

PROJECT NUMBER: J06-AL002-PL-12
DESIGNED BY: JAL
DRAWN BY: KJK

SCALE: AS SHOWN	DATE: NUMBER 000
DATE: NUMBER 000	DATE: NUMBER 000
DATE: NUMBER 000	DATE: NUMBER 000
DATE: NUMBER 000	DATE: NUMBER 000

DATE: NUMBER 000

C06.01

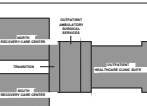


DATE: 01/11/2017
 PROJECT: MODCORR MEDMOD
 SHEET: 06.03

DESIGNER: KIM
 CHECKER: JAK
 DATE: 01/11/2017

PROJECT: MODCORR MEDMOD
 SHEET: 06.03

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01/11/2017
2	ISSUED FOR PERMIT	01/11/2017
3	ISSUED FOR PERMIT	01/11/2017
4	ISSUED FOR PERMIT	01/11/2017
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18	ISSUED FOR PERMIT	01/11/2017
19	ISSUED FOR PERMIT	01/11/2017
20	ISSUED FOR PERMIT	01/11/2017



FLORIDA LICENSE NUMBER
 JOSE A. LOPEZ, JR., P.E.
 85445

MODCORR MEDMOD
 LOWELL CORRECTIONAL
 INSTITUTE

ISSUED FOR
 AHCA STAGE II SUBMISSION

EROSION
 CONTROL
 DETAILS

PROJECT NUMBER: 06-ALP06-PL-12

DESIGNED BY: JAK

DRAWN BY: KIM

SCALE: AS SHOWN

DATE: 01/11/2017

NO. PROJECT NO.
 06.03

NO. SHEET NO.
 06.03

NO. DRAWING NO.
 06.03

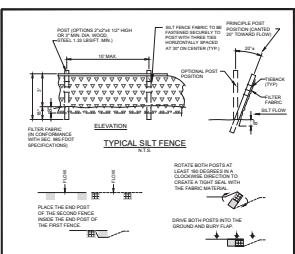


FIGURE 1

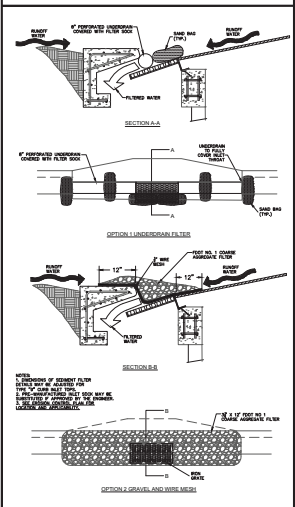


FIGURE 2

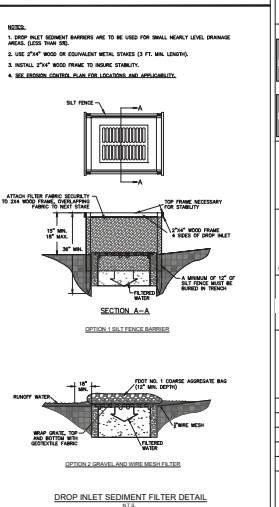
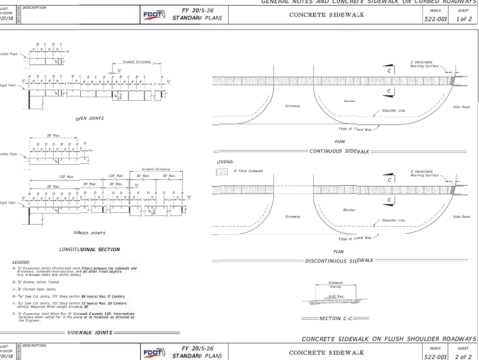
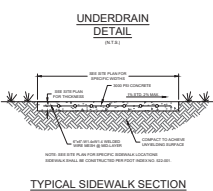
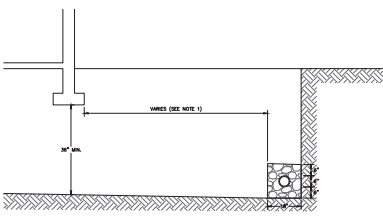
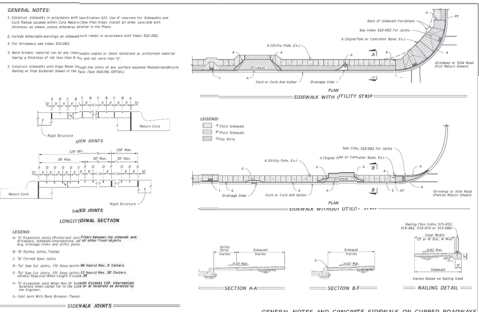


FIGURE 3

MODCORR MEDMOD LOWELL CORRECTIONAL INSTITUTE - EROSION CONTROL DETAILS - 06.03
 DATE: 01/11/2017
 PROJECT: MODCORR MEDMOD
 SHEET: 06.03

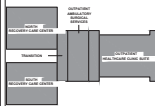


MODCORR
LOWELL CORRECTIONAL INSTITUTE

URBANA ARCHITECTS
ARCHITECTS

LOWELL CORRECTIONAL INSTITUTE
ARCHITECTS

GOLDMAN COPELAND
ARCHITECTS



FLORIDA LICENSE NUMBER
JOSE A. LOPEZ, P.E.
85445

MODCORR MEDMOD
LOWELL CORRECTIONAL INSTITUTE

ISSUED FOR
AHCA STAGE II SUBMISSION

SITE DETAILS

PROJECT NUMBER: JCL-ALP-FL-12
DESIGNED BY: JAL
DRAWN BY: KJK

SCALE: AS SHOWN
DATE: NOVEMBER 2015
DRAWN BY: KJK

C07.01



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22877

Agenda Date: 5/4/2026

Agenda No.: 6.4.

SUBJECT:

**The Church on the Hill Entry Canopy- Major Site Plan 000493- Waiver to Major Site Plan
Parcel # 37229-000-00 #WaiverPIR-000675-2026
MCA Consulting Engineers, Inc.**

LDC 2.21.1 Applicability

CODE states A. Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area. **APPLICANT** request - the proposed improvement consists of a small, covered entry walkway and approximately 305 square feet of new asphalt to support the church's van drop off area. The scope of work is limited in nature and does not increase intensity of use, modify traffic circulation, or require stormwater redesign beyond standard compliance. Based on staff's guidance, any increase in impervious area requires the site plan to be updated. We respectfully request a waiver from the Major Site Plan requirement so the project may be processed as a Minor Site Plan under Division 20 Sec. 2.20.1. We appreciate the County's assistance and are happy to provide any additional information needed to support this request.



SUBMITTAL SUMMARY REPORT MajorSite-000493-2026

PLAN NAME: Church Entry/walkway	LOCATION: 10050 S US HWY 441 BELLEVIEW,
APPLICATION DATE: 03/11/2026	PARCEL: 37229-000-00
DESCRIPTION: New covered walkway structure at the Church.	

CONTACTS	NAME	COMPANY
Applicant	Jose Aguiar	Prestige Grey Construction
Engineer of Record	Miles Anderson	MCA CONSULTING ENGINEERS, INC
Owner	Timothy Lastinger	Bellevue First Assembly Of God

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	03/12/2026	03/26/2026	04/10/2026	Requires Re-submit
OCE: Plan Review (DR) v.2				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1	ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
	911 Management (DR) (911 Management)	Caroline Dennison	03/26/2026	03/25/2026	Approved
	Environmental Health (Plans) (Environmental Health)	Evan Searcy	03/26/2026	03/13/2026	Approved
	Fire Marshal (Plans) (Fire)	Roxanna Coleman	03/26/2026	03/12/2026	Approved
	Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	03/26/2026	03/18/2026	Requires Re-submit

- Comments** Staff notes the building permit site plans (BLDC-26-02-00644) were submitted as major site plan. Alternative site plan type (e.g., Minor Site Plans or Permit-stage Site Plans) will require waiver approved by DRC. If you have any questions related to this Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.
- Corrections** 2.12.27 - Location & screening of outside storage (Resolved) - [INFO] No outdoor storage
- Corrections** 2.12.16/6.5 - EALS or Exemption provided (Resolved) - [INFO] Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.
- Corrections** 4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [INFO] If applicable, indicate signs on site plan. Please note any new sign will require separate sign permit.
- Corrections** 2.12/4.2 - Building height (Not Resolved) - Please indicate required/proposed building height
- Corrections** 2.12 - Zoning Classification-adjacent properties (Not Resolved) - Please submit site plan indicating adjacent properties and respective zoning classification/FLU designations.
- Corrections** 2.12/4.2 - Lot setback (Not Resolved) - Please indicate required/proposed setbacks on separate site data table and on site plan
- Corrections** 2.12.10 - Easement (Not Resolved) - If applicable, please indicate any easements on site plan.
- Corrections** 2.12.5/1.8.2.F - Concurrency Deferral Statement (Not Resolved) - If applicable, please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F): "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."
- Corrections** 2.12 - Parcel number (Not Resolved) - Please indicate parcel number on cover sheet
- Corrections** 2.12.4/6.11.7 - Loading area (Not Resolved) - If applicable, please indicate loading areas on site plan
- Corrections** 3.2.3 - NON-RESIDENTIAL - Complies with FAR (Not Resolved) - Please indicate maximum/proposed allowable Floor Area Ratio (FAR).
- Corrections** 2.12.4.L & Article 5 - Overlay zones (Not Resolved) - Include following statements in cover sheet: (1) FEMA Flood Zone X, (2) No ESOZ, (3) Primary Springs Protection Zone
- Corrections** 2.12/2.12.21 - Open space and natural areas (Not Resolved) - Please indicate required/proposed open space
- Corrections** 2.12 - Waivers (Requested & Approved) (Not Resolved) - Are any waiver applications intended? In future submittals, please provide table of approved/proposed waivers/approval date/conditions
- Corrections** 2.12 - Site coverage (Not Resolved) - Please indicate existing/proposed impervious surface/building area in square footage, acreage, and percentage.

SUBMITTAL SUMMARY REPORT (MajorSite-000493-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	03/26/2026	03/18/2026	Requires Re-submit
<i>Corrections</i>	2.12.19 - Dimension & location of site improvement (Not Resolved) - Staff notes two similar "site plan" documents were submitted by applicant. Please clarify/explain. Submitted site plans do not seem to align with North arrow. Please provide full site plan with proposed improvements (indicating entire church building/property boundaries), not just area of work.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Not Resolved) - Please indicate required buffers per LDC Sec. 6.8.6 for commercial to ROW and commercial to adjacent property with duplex according to Property Appraiser. Any deviation from required buffers will require submittal/approval of waivers.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Not Resolved) - Please provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8.			
<i>Corrections</i>	2.12 - Zoning Classification-subject property (Not Resolved) - Please indicate subject property zoning classification/FLU designations.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	03/26/2026	03/13/2026	Requires Re-submit
<i>Comments</i>	Please submit DRC approved site plan with approval stamp			
OCE Design (Plans) (Office of the County Engineer)	William Poole	03/26/2026	03/23/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	03/26/2026	04/09/2026	Requires Re-submit
<i>Comments</i>	Please add owner's certification with signer information to the coversheet of the Civil Plans. -EMW 04.09.2026			
<i>Comments</i>	<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/26/2026	03/19/2026	Requires Re-submit
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.2.C - Geotechnical Investigation Report (Not Resolved) - 6.13.2.C - Geotechnical Investigation Report: A signed and sealed report summarizing all subsurface exploration data and subsurface soil profiles. Exploration logs, laboratory or in situ test results, groundwater information, the interpretation and analysis of the subsurface data. Recommendations for design, discussion of conditions for solution of anticipated problems, and recommended geotechnical special provisions.			
<i>Corrections</i>	2.12.4.L(9)(b) - Data Block (Impervious Area) (Not Resolved) - 2.12.4.L(9)(b) - Data Block (Impervious Area): Provide existing and proposed gross impervious area in SF, ac, and percentage in the data block on the cover sheet. Include any offsite drainage to your site in the data block.			

SUBMITTAL SUMMARY REPORT (MajorSite-000493-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/26/2026	03/19/2026	Requires Re-submit
<i>Corrections</i>	6.13.9 - Grading Criteria (Not Resolved) - 6.13.9 - Grading Criteria: Sufficient grading shall be designed to allow surface water runoff and controlled discharge to be drained to the retention/detention areas without causing adverse effects on adjacent property. Grading can be demonstrated by the use of flow arrows, spot grades, etc. Buildings: All buildings shall have a minimum finished floor elevation 8 inches above finish grade and graded away from the building for stormwater runoff. Exceptions are listed in LDC 6.13.9.B. In no case shall finished floor elevations be below the one percent (100-year) flood plain plus one foot. Driveways: In the case where roadside swales are the drainage conveyance system, driveway design information shall be included on the plans minimally addressing culvert size, invert elevation, and direction of slope of culvert or the placement of ditch block for each at every specific lot. Affidavit: At time of building application, applicant shall provide an affidavit that the impervious area, lot grading plan, minimum finished floor elevation, and stormwater system complies with the development plan on file with the County. If no development plan is on file, applicant shall provide an affidavit that all drainage is held on-site or directly tied to a recognized drainage system. The applicant shall provide a sketch with the building application indicating the drainage intent. Construction: All stormwater runoff increase during construction and following must be kept on-site or directed to swales, ditches, or piping to approved drainage areas.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	6.13.2.A.12/6.12.5-Details, X-Sections, References (Not Resolved) - 6.13.2.A.12/6.12.5-Details, X-Sections, References: Provide details, cross sections, or references clearly describing the construction intent. It is acceptable to reference standard details, such as FDOT's, when used instead of reproducing them.			
<i>Corrections</i>	6.13.2.A.4-Stormwater Features&Connective Elements (Not Resolved) - 6.13.2.A.4-Stormwater Features&Connective Elements: All stormwater features or connective elements located and identified that may have an impact on the existing or proposed system, including but not limited to cross-drains, natural weirs, water line of lakes, wetlands, rivers, springs, streams, canals and other manmade or natural features.			
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications (Not Resolved) - 7.1.3.B. - Drainage Construction Specifications: Provide following note on cover sheet: "No change to the work as shown on the approved plans shall be made without notification to and approval by the Office of the County Engineer."			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.7 - Geotechnical Criteria (Not Resolved) - 6.13.7 - Geotechnical Criteria: Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. The estimated seasonal high ground water elevation and confining layer shall be clearly identified. The estimated seasonal high water elevation and the confining layer shall be set no lower than the bottom of the boring for the purposes of stormwater system modeling. The pond bottom elevation of a stormwater facility shall be designed a minimum of 1 foot above the estimated seasonal high water elevation. When the pond bottom is within 1 foot of the estimated seasonal high water elevation, a 50 percent reduction factor shall be used for percolation or ground water mounding analysis shall be included.			
<i>Corrections</i>	6.13.3 - Type of Stormwater Facility Criteria (Not Resolved) - 6.13.3 - Type of Stormwater Facility Criteria: Please see LDC 6.13.3 to find the requirements for the stormwater management facility that is proposed for the project.			
<i>Corrections</i>	6.13.2.A.3 - Retention/Detention Design Parameters (Not Resolved) - 6.13.2.A.3 - Retention/Detention Design Parameters: Show location and design parameters for all retention/detention areas including: 1. Dimensions or coordinates for constructability. 2. Cross sections along the width and length of each pond, showing the design high water elevation, estimated seasonal high water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. 3. Soil boring location with labels.			
<i>Corrections</i>	6.10 - Karst Topography and High Recharge Areas (Not Resolved) - 6.10 - Karst Topography and High Recharge Areas: An application for any new development or expansion of existing development, located within a high recharge or karst sensitive area as designated by the appropriate water management district or Marion County maps, shall submit an analysis of site conditions in sufficient detail to define hydrologic and geologic conditions which may guide mining, land development, or construction activities on the proposed site. Karst analysis shall include depiction of karst features on the project site and off-site within 200 feet of the project boundary. Karst analysis should be signed and sealed by an engineer.			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.13.2.A(11)(b) - Erosion Control (Not Resolved) - 6.13.2.A(11)(b) - Erosion Control: Erosion Control shall be used to prevent runoff, and/or deposition of sediment from the site and shall be regularly inspected and maintained during construction. Show limits of silt fence, turbidity barrier, and other perimeter or intermediate controls. Show inlet protection. Provide Erosion Control notes and details.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - 6.13.6 - Stormwater Quality Criteria: The following systems shall be considered as meeting the County's stormwater quality criteria: a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, shall have an appropriate vegetative cover. c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1, shall have sodded bottoms. d) Wet retention/detention systems, including wetlands, shall meet the governing State standards. e) Systems demonstrating distributed volume.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".			

SUBMITTAL SUMMARY REPORT (MajorSite-000493-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/26/2026	03/19/2026	Requires Re-submit
<i>Corrections</i>	6.13.2.A.5-Existing/Proposed Stormwater Structures (Not Resolved) - 6.13.2.A.5-Existing/Proposed Stormwater Structures: All existing and proposed stormwater structures located and identified including labels and design parameters such as, references to a detail or source, widths, depths, heights and pertinent elevations.			
<i>Corrections</i>	2.12.13/14/15 - General Exhibits (Not Resolved) - 2.12.13/14/15 - General Exhibits : Please provide the NRCS Soil Survey Map, USGS Quad Map, NWI Map, and FEMA Map with the project boundary outlined.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.			
<i>Corrections</i>	6.13.6.C - Best Management Practices (Not Resolved) - 6.13.6.C - Best Management Practices: Provide a sinkhole repair detail and note stating "a minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility". Oil/water separator is required if the proposed use falls under the following: car wash, auto or marine paint and body shop, service or repair shop, automotive fleet operations, gas stations, etc. Retention and/or detention facilities shall have a maximum depth of ten feet, as measured between the design high water elevation and the pond bottom for dry facilities, and between the design high water elevation and the normal control water elevation for wet ponds.			
<i>Corrections</i>	6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations (Not Resolved) - 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations: Calculations shall minimally include: Runoff analysis that reflects the project basin soil type, area, and ground cover based on pre-conditions and post-conditions for ultimate development. Time of concentration and travel time analysis for hydrology and hydraulic systems.			
<i>Corrections</i>	6.13.2 A(1)/(2) - Contributing Basins/Tc (Not Resolved) - 6.13.2 A(1)/(2) - Contributing Basins/Tc: Plan sheets shall minimally show: All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. The time of concentration, and travel path, for each watershed shall be shown.			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - Additional Stormwater comments			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - This submittal is missing a considerable amount of items for a complete submittal for a major site plan nor does it appear that Miles was consulted regarding what was submitted for this major site plan. The site does have an existing major site plan from 1974, although it is unclear if the existing pond would have sufficient storage for additional runoff.			
<i>Corrections</i>	6.13.2.A(11)(a) - Construction Entrance (Not Resolved) - 6.13.2.A(11)(a) - Construction Entrance: Show construction entrance location, stormwater controls, and construction entrance detail.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	03/26/2026	03/26/2026	Requires Re-submit
<i>Corrections</i>	2.12.10 - Easement or land reservation (Not Resolved) - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation			
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements (Not Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.			
<i>Corrections</i>	6.2.1.A. - Licensed Professional (Not Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
<i>Corrections</i>	6.2.1.E - Drawing legend (Not Resolved) - 6.2.1.E - Drawing legend: Provide a drawing legend as needed.			
<i>Corrections</i>	6.2.1.F - North Arrow (Not Resolved) - 6.2.1.F - North Arrow: Provide north arrow and graphic drawing and written scale			
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Not Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	03/26/2026	03/15/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	03/26/2026	03/16/2026	Approved
<i>Comments</i>	Parcel 37229-000-00 is within the City of Belleview Utility service area, but outside the Municipality boundary. No additional flows are proposed, and no infrastructure or utilities will be impacted in the ROW. Marion County Utilities does not require a letter from the Utility company.			



Prestige Grey Construction LLC
PO BOX 420533
Miami, Florida 33242

<https://prestigegreyconstruction.com>
prestigegreyconstructionfl@gmail.com
+786-385-8231

Belleview First Assembly of God
10050 S US HWY 441,
Belleview, FL 34420
Parcel: 37229-000-00

Plan in Review – Waiver Request
Reference: Division 21 Sec. 2.21.1
(Major Site Plans)
Requested Classification: Minor Site
Plan (Division 20 Sec. 2.20.1)

Project Description

The proposed improvement consists of a small covered entry walkway and approximately 305 square feet of new asphalt to support the church’s van drop-off area (will be used only for the church’s one van). The work is limited in scope and does not increase intensity of use, modify traffic circulation, or require stormwater redesign beyond standard compliance.

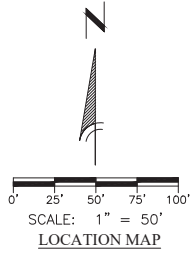
Waiver Request

Based on staff guidance, any increase in impervious area requires the site plan to be updated. The current plan was automatically classified as a Major Site Plan, although the scope of work meets the criteria for a Minor Site Plan under Division 20 Sec. 2.20.1.

We respectfully request a waiver from Division 21 Sec. 2.21.1 to allow the active Major Site Plan to be reclassified and processed as a Minor Site Plan. This waiver will allow the project to proceed appropriately based on its limited scope.

Plan Number: **MajorSite-000493-2026**

We appreciate the County’s assistance and are happy to provide any additional information needed to support this request.



STRUCTURAL LUMBER

- L-1 ALL STRUCTURAL AND LOAD BEARING WALL SHALL HAVE A MIN. F_b=1200 P.S.I.
- L-2 WALL W/ A HEIGHT GREATER OF 9' SHALL HAVE INTERMEDIATE BRIDGING SPACED NOT GREATER THAN 7' APART.
- L-3 LOAD BEARING WALLS SHALL HAVE DOUBLE SOUTHERN YELLOW PINE (SYP) OR SPRUCE (SPF) #2 TOP PLATES. THE SOIL PLATE ON CONCRETE SLAB AND MASONRY SHALL BE SALT SOLUTION PRESSURE TREATED SOUTHERN YELLOW PINE (SYP).
- L-4 ALL INTERIOR PARTITIONS (INTERIOR WALL CONSTRUCTION) SHALL BE SPRUCE (SPF). FURRING STRIPS SHALL BE SOUTHERN YELLOW PINE (SYP).
- L-5 ALL LUMBER EXPOSED TO THE EXTERIOR SHALL BE STRESS TREATED AND ALL FASTENERS SHALL BE OF HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER COMPLYING WITH FBC317

MASONRY

DESIGN CRITERIA
FLORIDA BUILDING CODE.

WIND DESIGN
WALLS MIST OR EXCEED:
140 MPH. EXPOSURE "C", PARTIALLY ENCLOSED (EXCEEDS ENCLOSED CONDITION PRESSURE), IMPORTANCE FACTOR 1.0, CATEGORY AS APPLICABLE.

MATERIAL

- M-1 MASONRY CONSTRUCTION SHALL CONFORM TO ACI STANDARD BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 318-19, 332-20)
- M-2 CONCRETE BLOCKS SHALL CONFORM TO ASTM C90 128 DAY STRENGTH=2000 P.S.I. ± FM=1500 P.S.I. LAID IN RUNNING BOND.
- M-3 MORTARS SHALL BE TYPE S OR M.
- M-4 REINFORCED WALL WITH CONV. HORIZONTAL BOND BEAM GROUTED SOLID AND W/ MIN. #5 REBAR AND 2" JOINT OVERLAP.
- M-5 WHERE SHOWN, VERTICAL CELLS OF BLOCK MASONRY SHALL BE FILLED WITH GROUT @ A MIN. COMPRESSIVE STRENGTH OF 2500 P.S.I. @ 28 DAYS, GROUT SLUMP NOT LESS 8" AND REINFORCED WITH MIN. #5 AND 2" JOINT OVERLAP.
- M-6 GROUT FOR FILLED CELLS SHALL BE Poured OR PUMPED IN LIFTS NOT TO EXCEED 10 FEET IN HEIGHT, AND SHALL BE CONSOLIDATED AT TIME OF POURING BY RODDING OR VIBRATING.
- M-7 PROVIDE KNOCKOUT IN C.I.E. AT BASE OF EACH FILLED CELL TO ALLOW VISUAL VERIFICATION OF COMPLETE GROUT PENETRATION.

BUILDING CODES CRITERIA

BUILDING CODE : 2023 FLORIDA BUILDING CODE-RESIDENTIAL, EIGHTH EDITION
ELECTRICAL CODE : 2023 FLORIDA BUILDING CODE-RESIDENTIAL, EIGHTH EDITION (NFPA 70 - 2020)
PLUMBING CODE : 2023 FLORIDA BUILDING CODE-PLUMBING, EIGHTH EDITION
MECHANICAL CODE : 2023 FLORIDA BUILDING CODE-MECHANICAL, EIGHTH EDITION
GAS CODE : 2023 FLORIDA BUILDING CODE-FUEL GAS, EIGHTH EDITION

NFPA 13-19 INSTALLATION OF SPRINKLER SYSTEMS. LATEST EDITION OSHA LOCAL ENVIRONMENTAL REGULATIONS FBC - ACI-318-19, FBCE - ACI 332-20 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE OTHER STANDARDS LISTED IN THEIR RESPECTIVE SECTIONS IN SPECIFICATIONS.
AISI CODE OF STANDARD PRACTICE. MANUAL OF STEEL CONSTRUCTION AISI 9100-16/SI-18 SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STEEL FOR BUILDINGS INCLUDING SUPPLEMENTS.
SPECIFICATIONS FOR THE STRUCTURAL JOINTS USING ASTM A-325 BOLTS STRUCTURAL WELDING CODE AWS D1.1
AISI SPECIFICATIONS FOR THE DESIGN OF LIGHT GAUGE COLD FORMED ASHRA A FOR MECHANICAL WORK.

GENERAL CONSTRUCTION NOTES

- G-1 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR START ON CONSTRUCTION.
- G-2 THE GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, THE WORK PERSONS, AND OTHER PEOPLE DURING CONSTRUCTION. HE SHALL SUPERVISE AND DIRECT THE WORK AND BE RESPONSIBLE FOR ALL CONSTRUCTION.
- G-3 THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ANCHORS, EMBEDS AND SUPPORTS OR ANY OTHER ITEMS WHICH EFFECT THE STRUCTURAL DRAWINGS.

FOUNDATION

- F-1 ALL ORGANIC MATERIALS, REFUSE MATERIALS OR SOFT AREAS SHALL BE REMOVED AND SOIL PREPARED FOR AN ALLOWABLE BEARING PRESSURE OF 2000 P.S.F.
- F-2 SHOULD THE CONTRACTOR DISCOVER ANY CONDITION WHICH COULD PREVENT THE ATTAINMENT OF THE STATED DESIGN PRESSURE HE SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY.
- F-3 FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED (95% DRY DENSITY) TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL AND 8" FOR EARTH. CONTRACTOR IS RESPONSIBLE FOR ALL FOUNDATION INVESTIGATION, ENGINEERS COMPACTION REPORT REQUIRED FOR FILL OF 24" OR MORE WHERE APPROVED.

SLABS ON GRADE

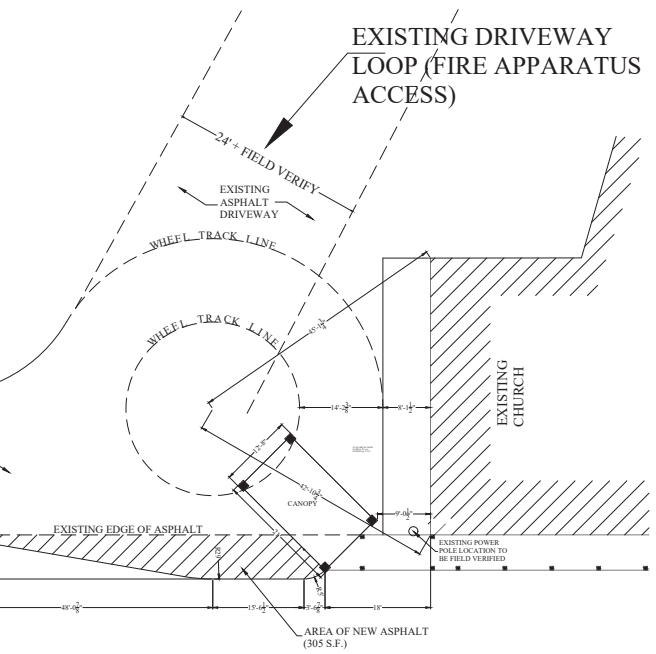
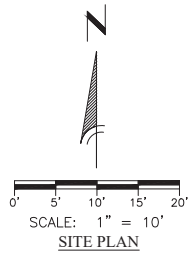
- S-1 COMPACTED INTERIOR FILL TO 95% MIN. OF MODIFIED PROCTOR MAXIMUM DRY DENSITY ASTM D1557-587 OPTIMUM MOISTURE CONTENT. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A REPRESENTATIVE FROM A QUALIFIED LABORATORY APPROVED BY THE ENGINEER. EACH LAYER OF FILL SHALL NOT EXCEED 10" AND SHALL BE COMPACTED PRIOR TO PLACEMENT OF NEXT FILL LAYER.
- S-2 ALL FLOOR SLABS SHALL BE PLACED UPON A 4" THICK SAND LAYER FOR FINE GRADING.

CONCRETE REINFORCING

- C-1 CONCRETE SHALL CONFORM TO ACI STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-19).
- C-2 CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH AS FOLLOWS: FOUNDATION, FILLED CELLS, CONCRETE BEAMS, 3000 P.S.I., SLABS ON GRADE 3000 P.S.I.
- C-3 REBARS SHALL CONFORM TO ASTM A-615 GRADE 40, AND 25" LAP AT ALL JOINT. SLAB WITH FIBER MESH OR WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064/A1064M-16.
- C-4 COVER FOR REINFORCING SHALL BE AS FOLLOWS UNLESS NOTED: FOOTING 3" SLABS ON GRADE 1" FROM TOP BEAMS 1" (ON STRIPS)
- C-5 VERTICAL REBAR WALL REINFORCING SHALL BE STANDARD BOOK WITH A PROJECTION OF 25" MIN. ABOVE SLAB AND A 7" MIN. EMBEDMENT.

ADVISORY NOTES

- A. CONTRACTOR/APPLICANT SHALL PROVIDE ON-SITE MANUFACTURERS INSTALLATION SPECIFICATIONS AND OR GUIDELINES FOR ALL COMPONENTS AND CLADDING ASSEMBLIES ASSOCIATED WITH THE EXTERIOR ENVELOPE.
- B. ALL CONNECTORS AND FASTENERS SHALL BE INSTALL AS PER MANUFACTURERS SPECIFICATIONS AND TABLES (UNDER SEPARATE COVER).
- C. IN LIEU OF ANY DRAINAGE PLAN BEING SUBMITTED OWNER/CONTRACTOR AGREE THAT ALL STORM WATER RUNOFF ASSOCIATED WITH THIS STRUCTURE SHALL BE CONTAINED ON THIS PROPERTY AND OR ROUTED TO THE CITY/COUNTY APPROVED MEANS OF DRAINAGE L.I.C.
- D. ALL GLASS/GLAZING THAT MEETS HAZARDOUS GLASS DESIGNATIONS SHALL BE SAFETY GLAZED PER FBC-8506
- E. APPLICANT/CONTRACTOR HAS ELECTED TO USE THE "CEILING FAN" CREDIT ON ENERGY CALCS. FANS SHALL BE INSTALLED IN ALL HABITABLE ROOMS PER FBC 2023 FLORIDA BUILDING CODE-8TH EDITION ENERGY 47.4.5.4.
- F. SMOKE ALARMS TO BE INSTALLED PER ELECTRICAL NOTES ON ELECTRICAL PLAN. NOT SHOWN ON ELECTRIC FLOOR PLAN.



PAGE INDEX
PAGE 1 - COVER
PAGE 2 - FLOOR PLAN & SECTIONS

ENGINEER'S NOTES

- 1. WORK CATEGORY: SEE FBC - CHANGES TABLE 108.006
- 2. WORK CLASSIFICATION: SEE FBC - CHANGES TABLE 108.006
- 3. ASSUMED LOAD BEARING CAPACITY - 1.5 K.S.F.
- 4. ALL FOUNDATION, WALL, & SLAB REINFORCING SHALL BE PER THE OTHER DRAWINGS.
- 5. ALL MATERIALS AND OTHER CONNECTIONS SHALL BE BASED UPON THE DESIGN COMPANY'S ENGINEERING CALCULATIONS AND SPECIFICATIONS.
- 6. BUILDING CATEGORY: "NONRESIDENTIAL"
- 7. WIND EXPOSURE: "B"
- 8. ALL EXTERIOR WALLS SHALL BE CONFORM TO THE CITY/COUNTY APPROVED MEANS OF DRAINAGE L.I.C.
- 9. ALL EXTERIOR WALLS SHALL BE CONFORM TO THE CITY/COUNTY APPROVED MEANS OF DRAINAGE L.I.C.
- 10. ALL EXTERIOR WALLS SHALL BE CONFORM TO THE CITY/COUNTY APPROVED MEANS OF DRAINAGE L.I.C.
- 11. FLOOR FINISH: "SEE OTHER DRAWINGS"

FBC CHAPTER 16			
ZONE	WIND SPEED (MPH)	WIND PRESSURE (PSF)	WIND UPLIFT (PSF)
1	10	25.48	-27.72
2	15	25.48	-27.72
3	20	25.48	-27.72
4	25	25.48	-27.72
5	30	25.48	-27.72
6	35	25.48	-27.72
7	40	25.48	-27.72
8	45	25.48	-27.72
9	50	25.48	-27.72
10	55	25.48	-27.72
11	60	25.48	-27.72
12	65	25.48	-27.72
13	70	25.48	-27.72
14	75	25.48	-27.72
15	80	25.48	-27.72
16	85	25.48	-27.72
17	90	25.48	-27.72
18	95	25.48	-27.72
19	100	25.48	-27.72

I HEREBY CERTIFY THAT I HAVE REVIEWED THE STRUCTURE FOR THE INTEGRITY OF THE WALLS, ROOF, DAMAGED, ETC., AND THAT THE BUILDING CONFORMS WITH THE REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE, EIGHTH EDITION

Miles C Anderson
Digitally signed by Miles C Anderson
Date: 2026.03.09 10:09:19 -04'00'

MILES C ANDERSON PE
FLORIDA PROFESSIONAL ENGINEER # 33365
THIS DOCUMENT IS A DIGITALLY SIGNED AND SEALED BY MILES C ANDERSON. IT IS A COPY OF THE ORIGINAL DOCUMENT AND NOT A COPY OF A COPY. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THEY ARE SIGNED AND SEALED BY THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL ENGINEER
LAND PLANNING
STRUCTURAL
1515 EAST SILVER SPRINGS BLVD. SUITE 132
OCALA, FLORIDA 34470
(352) 629-5591
FAX (352) 629-4402



DATE: 2-4-26
DRAWN: MS
CHECKED: MCA
FILE: THE CHURCH...
JOB No.: 25-069

LOCATION & SITE PLAN
THE CHURCH ON THE HILL

SHEET:
1 OF 2



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22878

Agenda Date: 5/4/2026

Agenda No.: 6.5.

SUBJECT:

Wells Fargo Free Standing ATM - Waiver to Major Site Plan

Parcel #: 9009-0000-08 # WaiverSTA-000660-2026

Austin L. Hattaway Contracting, LLC

LDC 2.20.1.A and 2.21.1.A - Applicability

CODE states A. When any of the Minor Site Plan thresholds are exceeded, a Major Site Plan is required.

A. Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT requests a waiver to the Major Site Plan and Minor Site Plan to go directly to building permitting stage.



SUBMITTAL SUMMARY REPORT Waiver STA-000660-2026

PLAN NAME:	Wells Fargo Free Standing ATM	LOCATION:	9264 SE MARICAMP RD OCALA,
APPLICATION DATE:	04/20/2026	PARCEL:	9009-0000-08
DESCRIPTION:	Waiver for master site plan requirements LDC 2.21.1.A Code states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area. APPLICANT request permit in lieu of a site plan per Marion Co. staff		

CONTACTS	NAME	COMPANY
Applicant	AUSTIN HATTAWAY	AUSTIN L HATTAWAY CONTRACTING LLC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Waiver Request to Major Site Plan v.1	04/28/2026	05/07/2026	04/30/2026	Approved

SUBMITTAL DETAILS

OCE: Waiver Request to Major Site Plan v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Fire Marshal (Plans) (Fire)	Jonathan Kenning	05/07/2026	04/28/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	05/07/2026	04/29/2026	Informational
<i>Comments</i>	Applicant is seeking waiver to major and minor site plans to go straight to building permit with documentation showing parking calculations and queue capacity (2 cars based on provided length on page A2.1. Page A1.0 provides a note indicating no new trees proposed to bring the project area frontage up to today's C-Type buffer standards. The buffer should be brought up to code - not for the entire parcel frontage, just the project area frontage.			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/07/2026	04/28/2026	Approved
<i>Comments</i>	APPROVED. No change in impervious area is proposed			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/07/2026	04/28/2026	Approved
<i>Comments</i>	This development won't generate a significant amount of new traffic. A traffic analysis is not required.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/07/2026	04/29/2026	Not Required
<i>Comments</i>	Project location is within the Marion County Utilities service area, but has no proposed water or sewer connections for the free standing ATM. Proposed improvements will have no impact in existing MCU infrastructure.			



9264 SE Maricamp Rd



Imagery ©2026 Airbus, Maxar Technologies, Map data ©2026 50 ft

WELLS FARGO BANK NEW ATM - Shores Landing Plaza



JAMES M. HAMILL
ARCHITECT
3800 MARKET DRIVE, SUITE 170
IRVING, TX 75038

A	AND	E.S.	EACH SIDE	(RR)	REMOVE & RELOCATE
@	AT	E.W.	EACH WAY	(RE)	RELOCATED
ABV	ABOVE	EXT, EXTR	EXTERIOR	RE	REFER TO
A.F.F.	ABOVE FINISHED FLOOR	FIN	FINISH	REIN	REINFORCING
AGL	ANGLE	FLG	FLANGE	REQD	REQUIRED
ALT	ALTERNATE	FLR	FLOOR	RECOM	REQUIREMENTS
BLOC	BLOCKED	FND	FOUNDATION	RF	ROOF
BLK'D	BLOCKED	F.F.F.	FINISH FACE OF	SCHED	SCHEDULE
BLK'G	BLOCKING	F.F.O.	FINISH FACE OF	SMS	SHEET METAL SCREW
BLW, BEL	BELOW	F.O.	FACE OF	S.O.G.	SLAB ON GRADE
BW	BEAM	F.O.C.	FACE OF CONCRETE	SPCG	SPACING
B.O.W.	BOTTOM OF WALL	FRMG	FRAMING	SO	SQUARE
BOT	BOTTOM	FTG	FOOTING	STGRD	STAGGERED
BRG	BEARING	GA	GAGE	STIFF	STIFFENER
BTWN, BET	BETWEEN	GALV	GALVANIZED	STL	STEEL
C	CAMBER	GRD	GRADE	STRUC	STRUCTURE
C.I.P.	CAST IN PLACE	HDR	HEADER	STRUCT, STR	STRUCTURAL
C.-J.	CONSTRUCTION JOINT	HORZ, (H)	HORIZONTAL	TAB	TOP & BOTTOM
CL	CENTER LINE	HGT	HEIGHT	TND	THREAD
CLR	CLEAR	H.S.B.	HIGH STRENGTH BOLTS	T.O.P.	TOP OF
COL	COLUMN	INT, INTR	INTERIOR	T.O.C.	TOP OF CONCRETE
CONC	CONCRETE	JNT	JOINT	T.O.F.	TOP OF FOOTING
CONN.	CONNECTION	JST(S)	JOIST(S)	T.O.S.	TOP OF STEEL
CONST	CONSTRUCTION	LB, #	POUND	T.O.W.	TOP OF WALL
CONT	CONTINUOUS	LG	LONG	TRANS	TRANSVERSE
CSK	COUNTERSINK	LONGIT	LONGITUDINAL	STRUC	STRUCTURAL TUBING,
DBL	DOUBLE	MAX	MAXIMUM	TS	(TUBE STEEL)
DIA, Ø	DIAMETER	MACH	MACHINE BOLT	U.N.O.	UNLESS NOTED OTHERWISE
DIAG	DIAGONAL	MIN	MINIMUM	VERT, (V)	VERTICAL
DLT	DEEP LEG TRAC	NIC	NOT IN CONTRACT	W	WITHOUT
DWG	DRAWING	(N)	NEW	WR	WATER RESISTANT
(E) EXIST	EXISTING	O.C.	ON CENTER	WIS	WELDED HEADED STUD
DWL	DWELL	OVR, O	OVER	W.P.	WORK POINT
EA	EACH	OPNG	OPENING	W.S.	WOOD SCREW
EF	EACH FACE	PC	PIECE	WT, WGT	WEIGHT
EL, ELEV	ELEVATION (DATUM)	PLT, PLT	PLATE	W.W.F.	WELDED WIRE
EMBED	EMBEDMENT	P.T.	PRESSURE TREATED	FABRIC	FABRIC
		(R)	REMOVE		

1	NOTE #	KEYNOTE SYMBOL
⊙	GRID REFERENCE	GRID REFERENCE
⊕	NORTH ARROW	NORTH ARROW
⊖	DETAIL REFERENCE	DETAIL REFERENCE
⊗	SECTION	SECTION
⊘	EXTERIOR ELEVATION	EXTERIOR ELEVATION
⊙	INTERIOR ELEVATION	INTERIOR ELEVATION
⊚	SCOPE OF WORK NOTE	SCOPE OF WORK NOTE
⊛	ROOM NAME	ROOM NAME
⊜	WINDOW REFERENCE	WINDOW REFERENCE
⊝	DETAILED PLAN/ ENLARGED AREA PLAN	DETAILED PLAN/ ENLARGED AREA PLAN
---	PROPERTY LINE	PROPERTY LINE
---	CENTER LINE	CENTER LINE
---	DATUM/BENCH MARK	DATUM/BENCH MARK
---	BREAK LINE	BREAK LINE
---	CONCRETE WALL	CONCRETE WALL
---	MASONRY WALL	MASONRY WALL
---	EXISTING 2x4 OR 2x6 WALL TO REMAIN	EXISTING 2x4 OR 2x6 WALL TO REMAIN
---	EXISTING WALL/AREA TO BE REMOVED	EXISTING WALL/AREA TO BE REMOVED
---	NEW 2x4 OR 2x6 WALL TO BE CONSTRUCTED	NEW 2x4 OR 2x6 WALL TO BE CONSTRUCTED

PROPERTY ADDRESS:
204 SE MARICAMP ROAD
OCALA, FL 33472

PARCEL:
9009-0000-08

YEAR BUILT:
1980

ACRES:
0.33

LAND USE:
DR - DEVELOPMENT OF REGIONAL IMPACT

FLOOD ZONE:
X

PROPERTY DESCRIPTION:
SEC 08 TWP 18 R1E 23
BEG AT SWLY COR OF TRACT D BEING PT OF INT OF NLY ROW OF BAHIA RD & CENTERLINE OF FLA POWER CORP ESMT N 47-12-21 E 254.62 FT N 42-47-39 W 20 FT N 47-12-21 E 20 FT TO PT OF INT WSWLY ROW OF SR 464 S 42-47-39 E 83.58 FT TO PT OF CURVATURE OF ROW CURVE CONCAVE WLY SLY ALG ARC OF ROW CURVE AN ARC DIST OF 39.21 FT TO TANGENCY BEING ON NLY ROW OF BAHIA RD S 47-12-21 W 102.52 FT TO PT OF CURVATURE OF ROW CURVE WLY ALG ARC OF ROW CURVE 401.35 FT TO PT OF TANGENCY N 68-25-58 W 705.33 FT TO POB EXCEPT COM SWLY COR TRACT D BEING INT OF NLY ROW OF BAHIA RD & CENTERLINE OF FL POWER CORP ESMT SELY ALG N ROW 705.33 FT FOR POC NLY ALG CURVE 331.22 FT FOR POB CONT ALG CURVE 70.14 FT TO END OF CURVE N 47-12-21 E 102.32 FT TO POT NELY ALG ROW 39.21 FT TO S ROW SR 464 N 42-47-39 W 165 FT S 47-12-21 W 187 FT S 42-47-39 E 173.14 FT TO POB & EX COM SWLY COR TRACT D BEING INT OF NLY ROW OF BAHIA RD & CENTERLINE OF FL POWER CORP ESMT N 47-12-21 E 554.62 FT TO POB N 47-12-21 E 200 FT SWLY ROW SR 464 S 42-47-39 E 180 FT S 47-12-21 W 200 FT N 42-47-39 W 180 FT TO POB

CODES:
• 2020 FLORIDA BUILDING CODE.
• 2020 FLORIDA ELECTRICAL CODE.

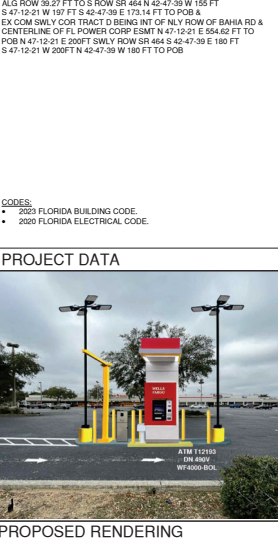
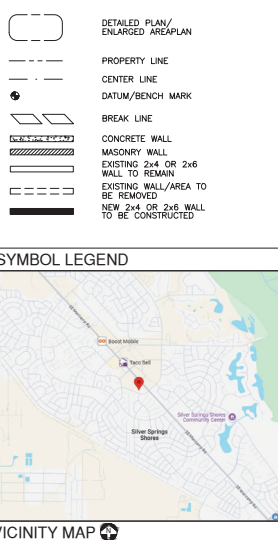
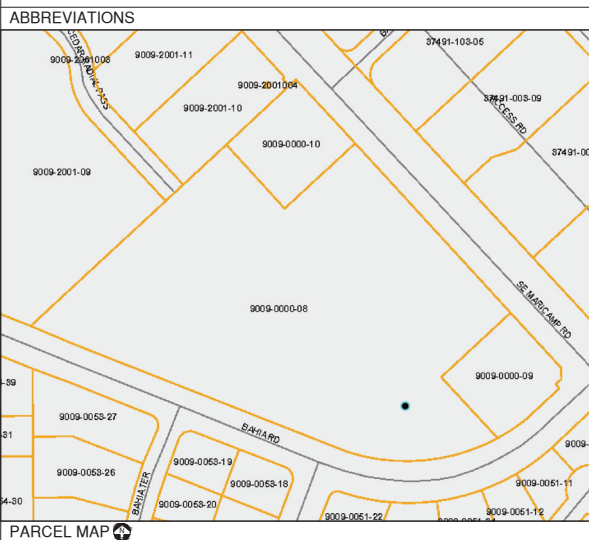
PROJECT PROPOSITOR:
WELLS FARGO BANK
525 MARKET STREET
21 ST FLOOR
SAN FRANCISCO, CA 94105

PROJECT COORDINATOR:
PSG ENERGY SERVICES
4301 MEADOW ROAD
MACON, GA 31206
913.533.0213

OWNER:
OCALA ASSOCIATES LLC
3109 STIRLING RD STE 200
FT LAUDERDALE, FL 33312-6558

STRUCTURAL ENGINEER:
POINT 2 STRUCTURAL ENGINEERS
3701 BUSINESS DR, SUITE 100
SACRAMENTO, CA 95820
C/O BRAD J. ROLLINS
916.452.8200
MR. T050

ARCHITECT:
JAMES M. HAMILL
3800 MARKET DRIVE SUITE 170
IRVING, TX 75038
P. 972.714.0420
F. 972.714.0282



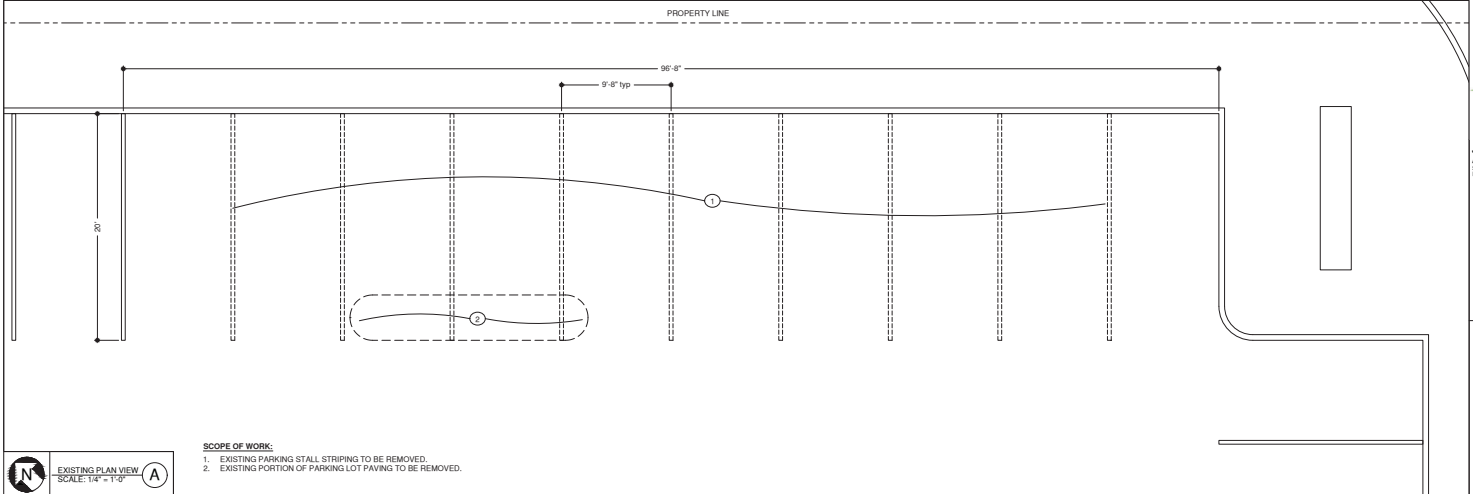
PROJECT TEAM	
INSTALL ATM WITH NEW ATM ENCLOSURE AND ASSOCIATED WORK.	
PROJECT OVERVIEW	
SCOPE OF WORK: <ul style="list-style-type: none"> INSTALL NEW ELECTRICAL SERVICE. REMOVE (10) PARKING STALLS. DEMO PORTION OF ASPHALT AREA. FORM A POUR NEW CONCRETE ISLAND. INSTALL (8) NEW BOLLARDS w/ COVERS. INSTALL NEW UTILITY PEDESTAL. INSTALL NEW VHD. INSTALL (2) NEW 20' LIGHT STD w/ (4) NEW L.E.D. FIXTURES EACH. INSTALL NEW WF490 ATM. INSTALL NEW WF600 BOLL ATM ENCLOSURE. PAINT NEW 4" LANE STRIPING. PAINT NEW 12" TRAFFIC BREAKLINE. STENCIL NEW 12" "ENTER ONLY" LETTERING. STENCIL NEW 12" "EXIT ONLY" LETTERING. 	
SCOPE OF WORK	
GENERAL INFORMATION A0.0 GENERAL INFORMATION ARCHITECTURAL A1.0 SITE PLAN A2.1 PLAN VIEW (EXISTING) PLAN VIEW (PROPOSED) GENERAL DETAILS D1 ELEVATION (PROPOSED) ISLAND FOUNDATION DETAILS ATM MANUFACTURER DETAILS LIGHT STANDARD BASE DETAILS D2 ENCLOSURE DETAILS VEHICLE HEIGHT DETECTOR DETAILS D3 ADA SPECIFICATIONS ELECTRICAL E1 ELECTRICAL DETAILS E2 PEDESTAL DETAILS E3 LIGHTING DETAILS STRUCTURAL 1 COVER PAGE & DESIGN CRITERIA 2 ELEVATIONS 3 FRAMING ISO 4 FRAMING DETAILS 5 FRAMING DETAILS 6 FOUNDATION DETAILS 7 ELECTRICAL DETAILS	
SHEET SCHEDULE	

WELLS FARGO BANK
Shores Landing Plaza
9264 SE MARICAMP ROAD
OCALA, FL 33475

DESIGN: J. SPFX
JOB: Shores Landing
SCALE: NOTED
DATE: 04/07/2025

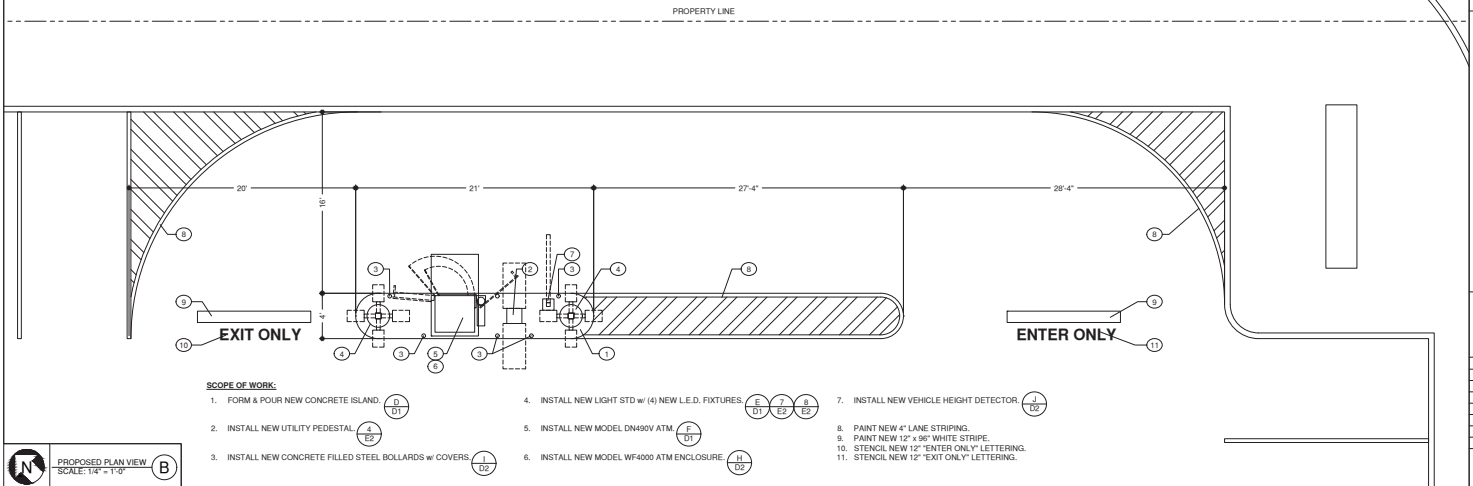
REV	
03/16/2026	A
04/03/2026	B

A0.0
OF 9



EXISTING PLAN VIEW
SCALE: 1/4" = 1'-0" **(A)**

- SCOPE OF WORK:**
1. EXISTING PARKING STALL STRIPING TO BE REMOVED.
 2. EXISTING PORTION OF PARKING LOT PAVING TO BE REMOVED.



PROPOSED PLAN VIEW
SCALE: 1/4" = 1'-0" **(B)**

- SCOPE OF WORK:**
1. FORM & POUR NEW CONCRETE ISLAND. **(1, D1)**
 2. INSTALL NEW UTILITY PEDESTAL. **(4, E2)**
 3. INSTALL NEW CONCRETE FILLED STEEL BOLLARDS w/ COVERS. **(1, D2)**
 4. INSTALL NEW LIGHT STD w/ (4) NEW L.E.D. FIXTURES. **(5, E1, E2, E3)**
 5. INSTALL NEW MODEL DN490V ATM. **(F, D1)**
 6. INSTALL NEW MODEL WF4000 ATM ENCLOSURE. **(H, D2)**
 7. INSTALL NEW VEHICLE HEIGHT DETECTOR. **(J, D3)**
 8. PAINT NEW 4" LANE STRIPING.
 9. PAINT NEW 12" x 96" WHITE STRIPE.
 10. STENCIL NEW 12" "ENTER ONLY" LETTERING.
 11. STENCIL NEW 12" "EXIT ONLY" LETTERING.

PSG ENERGY SERVICES
ARCHITECT
1400 MIDLAND ROAD
DALLAS, TX 75206
817.320.0719

JAMES M. HAMILL
ARCHITECT
5815 CROSSLAND DRIVE, SUITE 170
IRVING, TX 75038

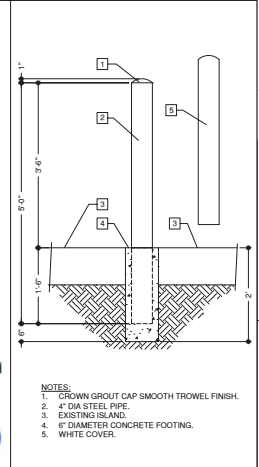
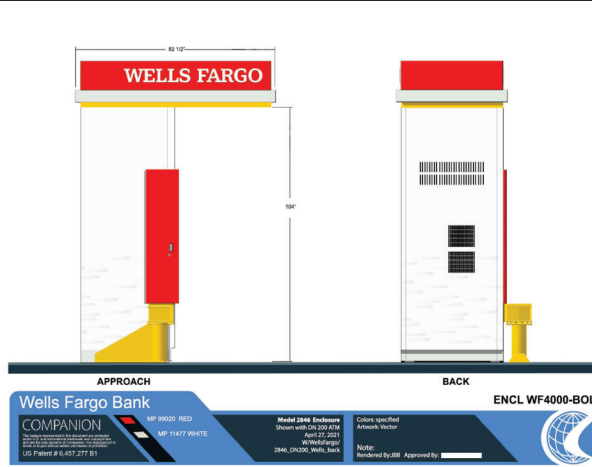
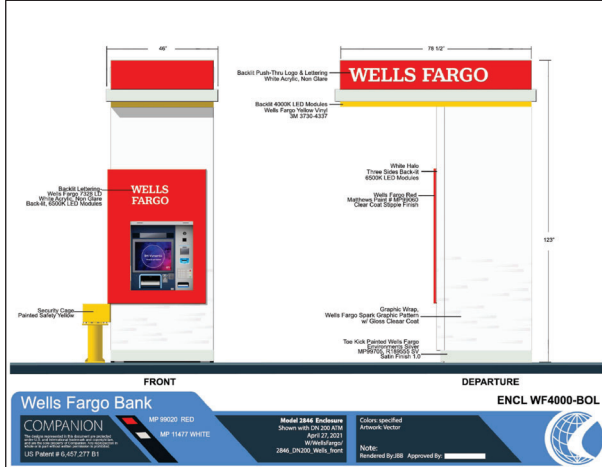
WELLS FARGO BANK
Shores Landing Plaza
9264 SE MARICAMP ROAD
OCALA, FL 33475

EXISTING PLAN VIEW
PROPOSED PLAN VIEW

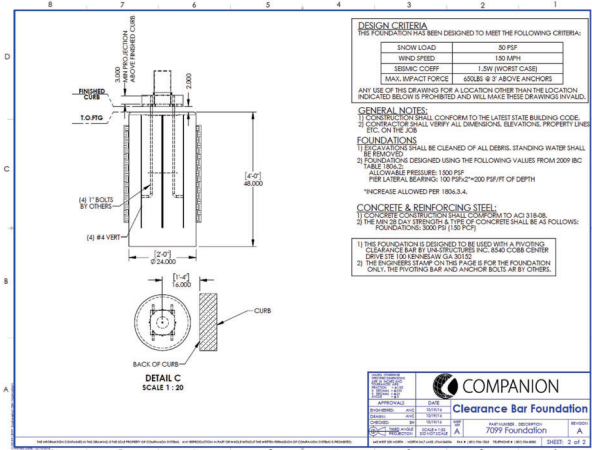
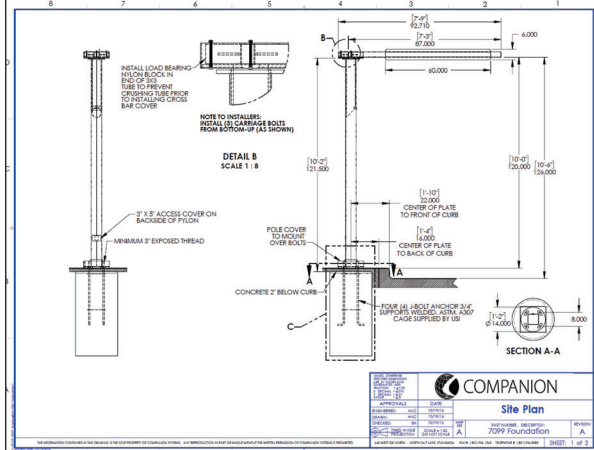
DRAWN: **J. SPIX**
USER: Shores Landg
SCALE: NOTED
DATE: 04/07/2025

REV	DESCRIPTION
03/16/2026	A
04/03/2026	B

A2.1
OF 9



H | ATM ENCLOSURE DETAILS



J | VEHICLE HEIGHT DETECTOR DETAILS

PSG ENERGY SERVICES
 ARCHITECT
 1400 MIDLAND ROAD
 SUITE 170
 IRVING, TX 75038
 (972) 261-0100

JAMES M. HAMILL
 ARCHITECT
 9264 SE MARICAMP ROAD
 OCALA, FL 33447

WELLS FARGO BANK
 Shores Landing Plaza
 9264 SE MARICAMP ROAD
 OCALA, FL 33447

ATM Enclosure Details
 VHD Details

DRAWN: J. SPFX
USER: Shores Landing
SCALE: NOTED
DATE: 04/07/2025

REV	
03/16/2026	A
04/03/2026	B

D2
 OF 9

220 Automatic Teller Machines and Fare Machines
 220.1 General. Where automatic teller machines or self-service fare vending, collection, or adjustment machines are provided, at least one of each type provided at each location shall comply with 707. Where bins are provided for envelopes, waste paper, or other purposes, at least one of each type shall comply with 811.

305 Clear Floor or Ground Space

305.1 General. Clear floor or ground space shall comply with 305.
 305.2 Floor or Ground Surfaces. Floor or ground surfaces of a clear floor or ground space shall comply with 302. Changes in level are not permitted.
 EXCEPTION: Slopes not steeper than 1:48 shall be permitted.
 305.3 Size. The clear floor or ground space shall be 30 inches (760 mm) minimum by 48 inches (1220 mm) minimum.
 305.4 Knee and Toe Clearance. Unless otherwise specified, clear floor or ground space shall be permitted to include knee and toe clearance complying with 306.
 305.5 Position. Unless otherwise specified, clear floor or ground space shall be positioned for either forward or parallel approach to an element.
 305.6 Approach. One full unobstructed side of the clear floor or ground space shall adjoin an accessible route or adjoin another clear floor or ground space.
 305.7 Maneuvering Clearance. Where a clear floor or ground space is located in an alcove or otherwise confined on all or part of three sides, additional maneuvering clearance shall be provided in accordance with 305.7.1 and 305.7.2.
 305.7.1 Forward Approach. Alcoves shall be 36 inches (915 mm) wide minimum where the depth exceeds 24 inches (610 mm).
 305.7.2 Parallel Approach. Alcoves shall be 60 inches (1525 mm) wide minimum where the depth exceeds 15 inches (380 mm).

308 Reach Ranges

308.1 General. Reach ranges shall comply with 308.
 308.2 Forward Reach.
 308.2.1 Unobstructed. Where a forward reach is unobstructed, the high forward reach shall be 48 inches (1220 mm) maximum and the low forward reach shall be 15 inches (380 mm) minimum above the finish floor or ground.
 308.2.2 Obstructed High Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required reach depth over the obstruction. The high forward reach shall be 48 inches (1220 mm) maximum where the reach depth

is 20 inches (510 mm) maximum. Where the reach depth exceeds 20 inches (510 mm), the high forward reach shall be 44 inches (1120 mm) maximum and the reach depth shall be 25 inches (635 mm) maximum.
 308.3 Side Reach.
 308.3.1 Unobstructed. Where a clear floor or ground space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 48 inches (1220 mm) maximum and the low side reach shall be 15 inches (380 mm) minimum above the finish floor or ground.
 EXCEPTIONS:
 1. An obstruction shall be permitted between the clear floor or ground space and the element where the depth of the obstruction is 10 inches (255 mm) maximum.
 2. Operable parts of fuel dispensers shall be permitted to be 54 inches (1370 mm) maximum measured from the surface of the vehicular way where fuel dispensers are installed on existing curbs.

308.3.2 Obstructed High Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches (865 mm) maximum and the depth of the obstruction shall be 24 inches (610 mm) maximum. The high side reach shall be 48 inches (1220 mm) maximum for a reach depth of 10 inches (255 mm) maximum. Where the reach depth exceeds 10 inches (255 mm), the high side reach shall be 46 inches (1170 mm) maximum for a reach depth of 24 inches (610 mm) maximum.

309 Operable Parts

309.1 General. Operable parts shall comply with 309.
 309.2 Clear Floor Space. A clear floor or ground space complying with 305 shall be provided.
 309.3 Height. Operable parts shall be placed within one or more of the reach ranges specified in 308.
 309.4 Operation. Operable parts shall be operable with one hand and shall not require light grasping, pinching, or twisting of the wrist. The force required to activate operation parts shall be 5 pounds (22.2 N) maximum.

707 Automatic Teller Machines and Fare Machines

707.1 General. Automatic teller machines and fare machines shall comply with 707.
 707.2 Clear Floor or Ground Space. A clear floor or ground space complying with 305 shall be provided.
 EXCEPTION: Clear floor or ground space shall not be required at drive-up only automatic teller machines and fare machines.

707.3 Operable Parts. Operable parts shall comply with 309. Unless a clear or correct key is provided, each operable part shall be able to be differentiated by sound or touch, without activation.
 EXCEPTION: Drive-up only automatic teller machines and fare machines shall not be required to comply with 309.2 and 309.3.

707.4 Privacy. Automatic teller machines shall provide the opportunity for the same degree of privacy of input and output available to all individuals.
 707.5 Speech Output. Machines shall be speech enabled. Operating instructions and orientation, visible transaction prompts, user input verification, error messages, and all displayed information for full use shall be accessible to and independently usable by individuals with vision impairments. Speech shall be delivered through a mechanism that is readily available to all users, including but not limited to, an industry standard connector or a telephone handset. Speech shall be recorded or digitized human, or synthesized.
 EXCEPTIONS:
 1. Audible tones shall be permitted instead of speech for visible output that is not displayed for security purposes, including but not limited to, asterisks representing personal identification numbers.
 2. Advertisements and other similar information shall not be required to be audible unless they convey information that can be used in the transaction being conducted.
 3. Where speech synthesis cannot be supported, dynamic alphabetic output shall not be required to be audible.

707.5.1 User Control. Speech shall be capable of being repeated or interrupted. Volume control shall be provided for the speech function.
 EXCEPTION: Speech output for any single function shall be permitted to be automatically interrupted when a transaction is selected.
 707.5.2 Receipts. Where receipts are provided, speech output devices shall provide audible balance inquiry information, error messages, and all other information on the printed receipt necessary to complete or verify the transaction.
 EXCEPTIONS:
 1. Machine location, date and time of transaction, customer account number, and the machine identifier shall not be required to be audible.
 2. Information on printed receipts that duplicates information available on-screen shall not be required to be presented in the form of an audible receipt.
 3. Printed copies of bank statements and checks shall not be required to be audible.

707.6 Input. Input devices shall comply with 707.6.
 707.6.1 Input Controls. At least one tactilely discernible input control shall be provided for each function. Where provided, key surfaces not on active areas of display screens, shall be raised above surrounding surfaces. Where

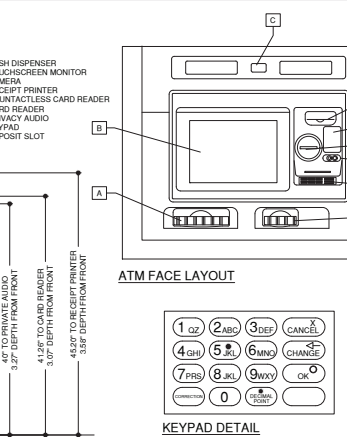
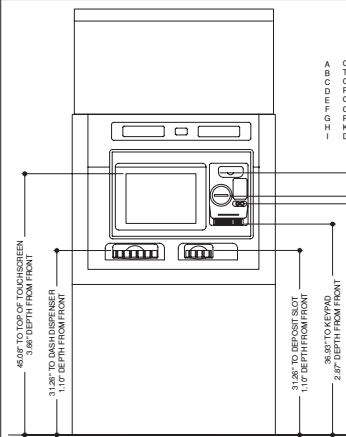
membrane keys are the only method of input, each shall be tactilely discernible from surrounding surfaces and adjacent keys.

707.6.2 Numeric Keys. Numeric keys shall be arranged in a 12-key ascending or descending telephone keypad layout. The number five key shall be tactilely distinct from the other keys.
 707.6.3 Function Keys. Function keys shall comply with 707.6.3.
 707.6.3.1 Contrast. Function keys shall contrast visually from background surfaces. Characters and symbols on key surfaces shall contrast visually from key surfaces. Visual contrast shall be either light-on-dark or dark-on-light.
 EXCEPTION: Tactile symbols required by 707.6.3.2 shall not be required to comply with 707.6.3.1.
 707.6.3.2 Tactile Symbols. Function key surfaces shall have tactile symbols as follows: Enter or Proceed key: raised circles; Clear or Correct key: raised left arrow; Cancel key: raised letter 'x'; Add Value key: raised plus sign; Decrease Value key: raised minus sign.

707.7 Display Screen. The display screen shall comply with 707.7.
 707.7.1 Visibility. The display screen shall be visible from a point located 40 inches (1015 mm) above the center of the clear floor space in front of the machine.
 707.7.2 Characters. Characters displayed on the screen shall be in a sans serif font. Characters shall be 5/16 inch (4.8 mm) high minimum based on the uppercase letter 'I'. Characters shall contrast with their background with either light characters on a dark background or dark characters on a light background.
 707.8 Braille Instructions. Braille instructions for initiating the speech mode shall be provided. Braille shall comply with 703.3.

DRIVE THRU ATM IS EXEMPT FROM SECTION 707.2 (REF. 305). CLEAR FLOOR SPACE & GROUND SPACE.
 DRIVE THRU ATM IS EXEMPT FROM SECTION 707.3 (REF. 309.2 & 309.3). OPERABLE REACH.
 DRIVE THRU ATM MEETS SECTION 707.3 (REF. 309.4). OPERABLE PARTS.
 DRIVE THRU ATM MEETS SECTION 707.4. PRIVACY.
 DRIVE THRU ATM MEETS SECTION 707.5. SPEECH OUTPUT.
 DRIVE THRU ATM MEETS SECTION 707.6. INPUT.
 DRIVE THRU ATM IS EXEMPT FROM SECTION 707.7.1. DISPLAY SCREEN.
 DRIVE THRU ATM MEETS SECTION 707.7.2. DISPLAY CHARACTERS.
 DRIVE THRU ATM MEETS SECTION 707.8. BRAILLE INSTRUCTIONS.

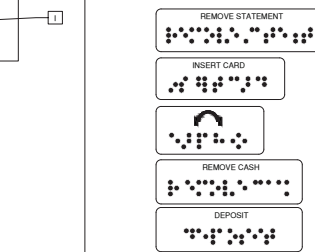
ACCESSIBLE NOTES



OPERATING HEIGHTS / DEPTHS
 ATM ACCESSIBLE SPECIFICATIONS



NUMERIC KEY LAYOUT

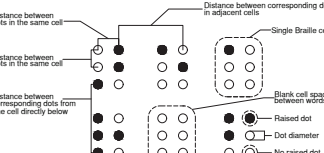


ATM BRAILLE DECALS

Key Function	Description of Raised Symbol	Raised Symbol
Enter or Proceed:	CIRCLE	○
Clear or Correct:	LEFT ARROW	←
Cancel:	"X"	X
Add Value:	PLUS SIGN	+
Decreased Value:	MINUS SIGN	-

TACTILE SYMBOLS

MEASUREMENT RANGE	MIN. / MAX. IN INCHES
DOT BASE DIAMETER	.059 (1.5 mm) - .063 (1.6 mm)
DISTANCE BETWEEN 2 DOTS IN THE SAME CELL	.090 (2.3 mm) - .100 (2.5 mm)
DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS	.241 (6.1 mm) - .300 (7.6 mm)
DOT HEIGHT	.025 (0.6 mm) - .037 (0.9 mm)
DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW	.395 (10.0 mm) - .400 (10.2 mm)



DIMENSIONS AND CAPITALIZATION

PSG ENERGY SERVICES
 ARCHITECT
 9264 SE MARICAMP ROAD
 OCALA, FL 33447
 (352) 200-0710

JAMES M. HAMIL
 ARCHITECT
 9264 SE MARICAMP ROAD, SUITE 170
 IRVING, TX 75062

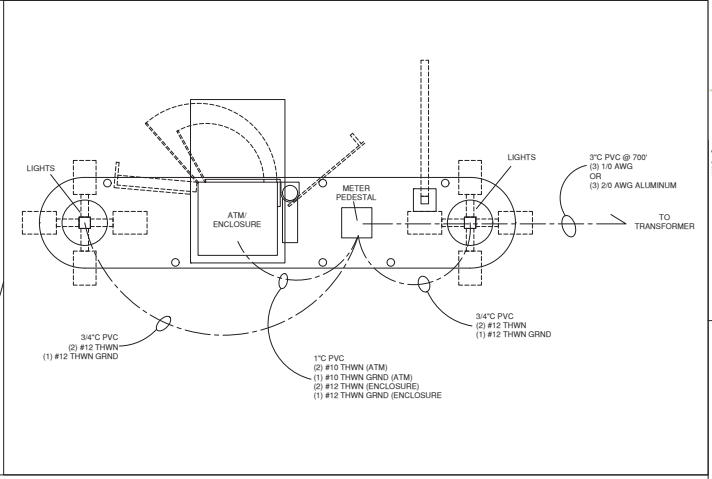
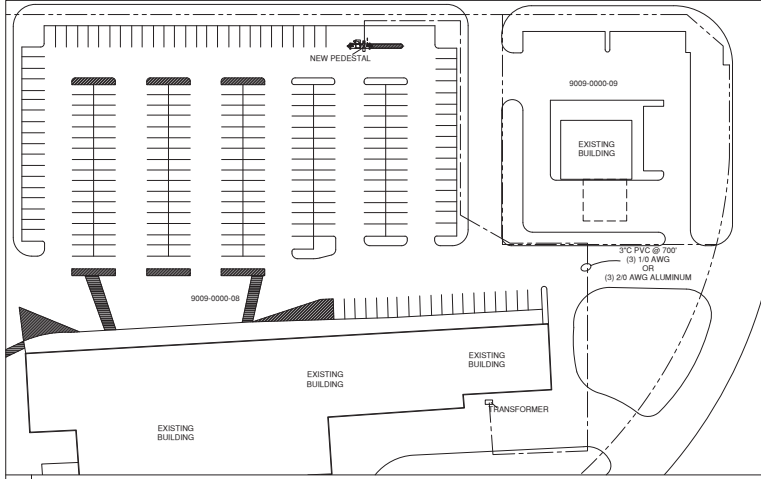
ADA SPECIFICATIONS

WELLS FARGO BANK
 Shores Landing Plaza
 9264 SE MARICAMP ROAD
 OCALA, FL 33447

DRAWN BY: J. SPKX
 JOB: Shores Landing
 SCALE: NOTED
 DATE: 04/07/2025

REV
 03/16/2026 A
 04/03/2026 B

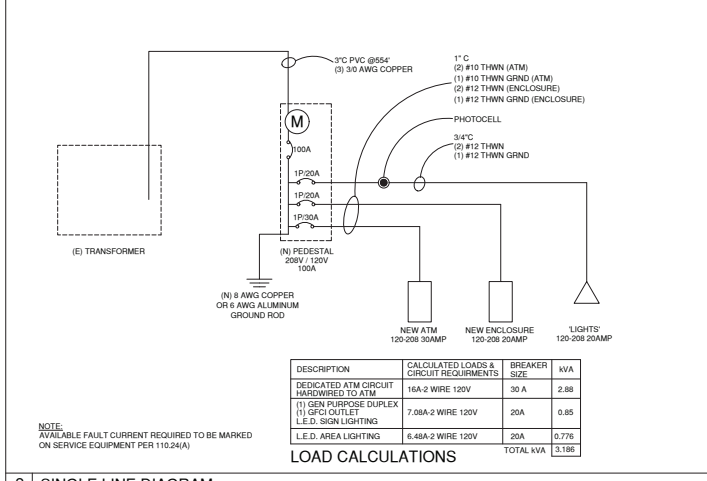
d3
 OF 9



1 ELECTRICAL PLAN

SCALE: 1"=40'-0"

SCALE: 1/4"=1'-0"



NOTE: AVAILABLE FAULT CURRENT REQUIRED TO BE MARKED ON SERVICE EQUIPMENT PER 110.24(A)

DESCRIPTION	CALCULATED LOADS & CIRCUIT REQUIREMENTS	BREAKER SIZE	KVA
DEDICATED ATM CIRCUIT HARDWIRED TO ATM	16A-2 WIRE 120V	30 A	2.88
(1) GEN PURPOSE DUPLEX (1) GFCI OUTLET (1) L.E.D. SIGN LIGHTING	7.08A-2 WIRE 120V	20A	0.85
L.E.D. AREA LIGHTING	6.48A-2 WIRE 120V	20A	0.776
	TOTAL KVA		3.196

2 SINGLE LINE DIAGRAM

3 -



JAMES M. HAMILL
ARCHITECT
5800 ROCKWELL BLVD, SUITE 170
IRVING, TX 75062

ELECTRICAL DETAILS

WELLS FARGO BANK
Shores Landing Plaza
9264 SE MARICAMP ROAD
OCALA, FL 33475

DRAWN: J. SPIX
JOB: Shores Landing
SCALE: NOTED
DATE: 04/07/2025

REV	DESCRIPTION
03/16/2026	A
04/03/2026	B

E1
OF 9

RSX3 LED Area Luminaire



Specifications

- Power: 0.50 W (0.687 A)
- Length: 23.5" (597 mm)
- Width: 14.1" (358 mm)
- Height: 17.7" (449 mm)
- Weight: 48.0 lbs (21.8 kg)

Accessories

- House Side Shield
- External Glass Shield
- External 540 Full View

Introduction

The RSX3 LED Area Family delivers maximum light output with a significant energy savings, long life and outstanding performance performance in all applications. The RSX3 luminaire is 23.5" x 14.1" x 17.7" (597 mm x 358 mm x 449 mm) and weighs 48.0 lbs (21.8 kg).

The RSX3 luminaire is integral channel mounting luminaire that allows the luminaire to be mounted on most existing and new systems. The "no-drill" solution provides significant labor savings. An adjustable foot on the bottom of mounting arm allows for mounting without cutting the electrical compartment. A range of adjustable mounting configurations are available.

Design Objectives

See website for [Lithonia Lighting](#) details for Design Objectives and page 11. See website for [Lithonia Lighting](#) details for Design Objectives and page 11.

Design Objectives

See website for [Lithonia Lighting](#) details for Design Objectives and page 11. See website for [Lithonia Lighting](#) details for Design Objectives and page 11.

7 LIGHT FIXTURE DETAILS

Technical Information - SSS Square Straight Steel Poles

Code	Height (ft)	Height (m)	Weight (lb)	Weight (kg)	Wind Speed (mph)	Wind Speed (m/s)	Wind Pressure (psf)	Wind Pressure (kN/m²)
SSS 10	10	3.05	100	45.4	15	6.7	0.17	0.008
SSS 12	12	3.66	144	65.2	20	9.1	0.22	0.011
SSS 15	15	4.57	225	101.6	25	11.3	0.34	0.017
SSS 20	20	6.10	400	181.4	30	13.7	0.67	0.033
SSS 25	25	7.62	625	283.5	35	15.8	1.19	0.059
SSS 30	30	9.14	900	407.3	40	18.3	1.92	0.094
SSS 35	35	10.67	1225	553.5	45	20.4	2.89	0.143
SSS 40	40	12.19	1600	725.8	50	22.6	4.16	0.205
SSS 45	45	13.72	2025	916.5	55	24.8	5.74	0.283
SSS 50	50	15.24	2500	1134.0	60	27.1	7.63	0.376
SSS 55	55	16.77	3025	1378.5	65	29.4	9.84	0.493
SSS 60	60	18.29	3600	1649.0	70	31.7	12.37	0.624
SSS 65	65	19.81	4225	1935.5	75	34.1	15.22	0.770
SSS 70	70	21.34	4900	2237.0	80	36.6	18.39	0.931
SSS 75	75	22.87	5625	2553.5	85	39.1	21.88	1.108
SSS 80	80	24.40	6400	2885.0	90	41.7	25.69	1.301
SSS 85	85	25.93	7225	3231.5	95	44.3	29.82	1.511
SSS 90	90	27.46	8100	3693.0	100	47.0	34.27	1.738
SSS 95	95	28.99	9025	4169.5	105	49.7	39.04	1.982
SSS 100	100	30.52	10000	4661.0	110	52.6	44.13	2.243

Technical Information - SSS Square Straight Steel Poles (continued)

Code	Height (ft)	Height (m)	Weight (lb)	Weight (kg)	Wind Speed (mph)	Wind Speed (m/s)	Wind Pressure (psf)	Wind Pressure (kN/m²)
SSS 105	105	32.05	11025	5167.5	115	55.6	49.54	2.421
SSS 110	110	33.58	12100	5700.0	120	58.7	55.37	2.714
SSS 115	115	35.11	13225	6257.5	125	61.9	61.62	3.021
SSS 120	120	36.64	14400	6840.0	130	65.2	68.29	3.343
SSS 125	125	38.17	15625	7447.5	135	68.6	75.38	3.680
SSS 130	130	39.70	16900	8080.0	140	72.1	82.89	4.033
SSS 135	135	41.23	18225	8737.5	145	75.7	90.82	4.401
SSS 140	140	42.76	19600	9420.0	150	79.4	99.17	4.784
SSS 145	145	44.29	21025	10127.5	155	83.2	107.94	5.183
SSS 150	150	45.82	22500	10860.0	160	87.1	117.13	5.597
SSS 155	155	47.35	24025	11617.5	165	91.1	126.74	6.027
SSS 160	160	48.88	25600	12400.0	170	95.2	136.77	6.473
SSS 165	165	50.41	27225	13207.5	175	99.4	147.22	6.935
SSS 170	170	51.94	28900	14040.0	180	103.7	158.09	7.413
SSS 175	175	53.47	30625	14897.5	185	108.1	169.38	7.907
SSS 180	180	55.00	32400	15780.0	190	112.6	181.09	8.418
SSS 185	185	56.53	34225	16687.5	195	117.2	193.22	8.945
SSS 190	190	58.06	36100	17620.0	200	121.9	205.77	9.488
SSS 195	195	59.59	38025	18577.5	205	126.7	218.74	10.047
SSS 200	200	61.12	40000	19560.0	210	131.6	232.13	10.622

SSS Square Straight Steel Poles

Features & Specifications

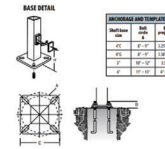
- 20" POLE
- Anchor Base Pole
- SQUARE STRAIGHT STEEL

Technical Information - SSS Square Straight Steel Poles

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SSS 50	50	15.24	2500	1134.0	60	27.1	7.63	0.376
SSS 55	55	16.77	3025	1378.5	65	29.4	9.84	0.493
SSS 60	60	18.29	3600	1649.0	70	31.7	12.37	0.624
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SSS 100	100	30.52	10000	4661.0	110	52.6	44.13	2.243

SSS Square Straight Steel Poles

Base Detail



Technical Information - SSS Square Straight Steel Poles

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SSS 170	170	51.94	28900	14040.0	180	103.7	158.09	7.413
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SSS 200	200	61.12	40000	19560.0	210	131.6	232.13	10.622

8 LIGHT POLE DETAILS

7 LIGHT FIXTURE DETAILS

PSG ENERGY SERVICES
 1400 MIDLAND ROAD
 WAXAHACH, TX 75096
 817.392.0719

JAMES M. HAMIL ARCHITECT
 3000 RICHMOND DRIVE, SUITE 110
 IRVING, TX 75062

WELLS FARGO BANK
 Shores Landing Plaza
 9264 SE MARICAMP ROAD
 OCALA, FL 33475

DRAWN: J. SPFX
 USER: Shores Landing
 SCALE: NOTED
 DATE: 04/07/2025

REV
 03/16/2026 A
 04/03/2026 B

E3
 OF 9



Marion County

Development Review Committee

Agenda Item

File No.: 2026-22886

Agenda Date: 5/4/2026

Agenda No.: 6.6.

SUBJECT:

Good News Church - Waiver to Major Site Plan
Parcel #: 29697-017-05 # WaiverSTA-000668-2026
Davis Dinkins Engineering

LDC 2.21.1.A - Major Site Plan

CODE states A. A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT request - The church seeks to add a 12' x 24' (288 sf) prefabricated storage shed to the existing site. There are no trees being removed, no impact to buffers, access/traffic, or utilities and no impervious area being added (other than the 288 square foot rooftop that is considered impervious). Previous construction under an approved DRC Major Site plan (AR 16303) provided a drainage system with capacity beyond what was required by the permitted plan. This was documented during the final close out of the permits by the as-built survey. Accordingly, there is no anticipated negative impact to the permitted system, or surrounding properties. There are no tree removals, access, or utility modifications required for the installation of the storage shed.



SUBMITTAL SUMMARY REPORT Waiver STA-000668-2026

PLAN NAME:	Good News Church	LOCATION:	5600 SE 24TH ST OCALA,
APPLICATION DATE:	04/22/2026	PARCEL:	29697-017-05
DESCRIPTION:	<p>LDC 2.21.1.A - Major Site Plan CODE states A. A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet; (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.</p> <p>APPLICANT request - The church seeks to add a 12' x 24' (288 sf) pre-fabricated storage shed to the existing site. There are no trees being removed, no impact to buffers, access/traffic, or utilities and no impervious area being added (other than the 288 square foot rooftop that is considered impervious). Previous construction under an approved DRC Major Site plan (AR 16303) provided a drainage system with capacity beyond what was required by the permitted plan. This was documented during the final close out of the permits by the as-built survey. Accordingly, there is no anticipated negative impact to the permitted system, or surrounding properties. There are no tree removals, access, or utility modifications required for the installation of the storage shed.</p>		

CONTACTS	NAME	COMPANY
Applicant	Davis Dinkins	Davis Dinkins Engineering, PA
Applicant	Davis Dinkins	Davis Dinkins Engineering, PA
Engineer of Record	Davis Dinkins	Davis Dinkins Engineering, PA
Engineer of Record	Davis Dinkins	Davis Dinkins Engineering, PA

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Waiver Request Review v.1	04/22/2026	05/01/2026	05/01/2026	Approved

SUBMITTAL DETAILS

OCE: Waiver Request Review v.1					
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS	
Environmental Health (Plans) (Environmental Health)	Evan Searcy	05/01/2026	05/01/2026	Approved	
Fire Marshal (Plans) (Fire)	Jonathan Kenning	05/01/2026	04/22/2026	Approved	
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	05/01/2026	05/01/2026	Informational	
<i>Comments</i>	Defer to stormwater. Site is R-1 HR land use.				
Landscape (Plans) (Parks and Recreation)	Susan Heyen	05/01/2026	04/23/2026	Approved	
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	05/01/2026	04/29/2026	Approved	
OCE Property Management (Plans) (Office of the County Engineer)		05/01/2026	04/27/2026	Not Required	
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/01/2026	04/24/2026	Informational	
<i>Comments</i>	Approved. Site has an existing drainage system under AR 16303 and the applicant has provided a signed and sealed drainage memo verifying that the existing DRA has sufficient capacity for the addition.				
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	05/01/2026	04/28/2026	Not Required	
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/01/2026	04/22/2026	Approved	
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/01/2026	04/22/2026	Not Required	
<i>Comments</i>	The project does not increase flows or propose any changes to the existing public utilities served by Marion County Utilities.				