



# Marion County

## Board of County Commissioners

### Planning and Zoning

### Meeting Agenda

McPherson Governmental Campus  
601 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-438-2323  
Fax: 352-438-2324

District 1 – Craig Curry, Commissioner  
District 2 – Kathy Bryant, Chairman  
District 3 – Matt McClain, Commissioner  
District 4 – Carl Zalak, III, Vice-Chair  
District 5 – Michelle Stone, Commissioner

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**Monday, November 17, 2025**

**1:30 PM**

**McPherson Governmental  
Campus Auditorium**

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The Marion County Board of County Commissioners welcomes you to its Planning and Zoning meeting. All commission and zoning meetings are open to the public.

Pre-screening will be conducted upon entering the administrative building, located at 601 SE 25th Ave., Ocala, FL 34471.

As a courtesy to others, silence your cell phones and other electronic devices before entering the auditorium. If you need to take a call, please step outside.

#### PUBLIC COMMENTS

To encourage participation, ensure equal access to all participants and foster mutual respect, please follow these guidelines.

-BCC Planning and Zoning Meeting

-Public Comments during the Planning and Zoning portion of the meeting will be limited to two (2) minutes per speaker. You must sign in at the desk located in the foyer of the commission auditorium on the day of the meeting.

Marion County staff is available throughout each meeting for your convenience.

Anyone requiring accommodations due to a disability or physical impairment should contact Marion County Administration at 352-438-2300 at least two (2) days before a meeting.

Agenda items are posted on Marion County's website, <https://www.marionfl.org>, before each board meeting. Click the "Agendas & Videos" link on the homepage to download the agenda packet and back-up documentation.

The Marion County Clerk of Court keeps the official minutes and audio recordings of commission meetings, workshops and public hearings. To request a copy of these materials, contact the Clerk's Office at 352-671-5622. Marion County streams video for most board meetings, workshops and public hearings (when applicable) live online through the county's website. These recordings are archived online after meetings, but DVDs can be requested by contacting Marion County Administration at 352-438-2300.

**CALL TO ORDER**  
**INVOCATION AND PLEDGE OF ALLEGIANCE**  
**1:30 PM ROLL CALL**  
**ANNOUNCEMENTS**

**1. PLANNING & ZONING AND DRC WAIVER REQUESTS - REQUEST PROOF OF PUBLICATION (AT 1:30PM):**

[Present Cover Documents from Planning and Zoning Commission Public Hearing](#)

**1.1 Planning and Zoning Consent Items:**

**1.1.1.** [251101SU - Thomas Grimes, Special Use Permit to Allow for Commercial Vehicle Parking of One \(1\) Semi-Truck and One \(1\) Semi-Truck Trailer, in a General Agriculture \(A-1\) Zone, 3.24 Acre Parcel, Parcel Account Number 46072-001-08, Site Address 14612 SE 80th Avenue, Summerfield, FL, 34491](#)

**1.1.2.** [251106SU - Young Life, Special Use Permit Modification to Special Use Permit SUP 210110SU-B / RESO 21-R-083 to Add New Maintenance Building and Access \(for Existing Recreation Camp Facility; Conversion of Farm Structure\), in a General Agriculture \(A-1\) Zone, 8.80 Acre Parcel, Parcel Account Number 40263-001-00, Site Addresses 9596, 9600 SE 183rd Avenue Road, and 18285 NE 95th Street Road, Ocklawaha, FL 32179](#)

**1.1.3.** [251107SU - Jajolo Limited Partnership, Special Use Permit to Allow for a Fenced Outdoor Display Area, Sidewalk Display Area, and Propane Tank, in a Community Business \(B-2\) Zone, 6.69 Acre Parcel, Parcel Account Number 35013-002-00, Site Address 8602 SW Highway 200, Ocala, FL 34481](#)

**1.2 Planning and Zoning Items for Individual Consideration:**

**1.2.1.** [251102SU - Krystal Rodriguez DeLeon & Kemuel Rodriguez Rivera, Special Use Permit to Allow for the Parking of Two \(2\) Commercial Vehicles with a Weight Greater than 16,000 Pounds, One \(1\) Semi-Truck Trailer, and Two \(2\) Storage Trailers, in a General Agriculture \(A-1\) Zone, 4.0 Acre Parcel, Parcel Account Number 44997-000-15, Site Address 12160 SE 112th Avenue Road, Belleview, FL 34420](#)

**1.2.2.** [251103SU - Ocala Freedom Investment, LLC, Special Use Permit to Allow for A Storage Facility Related to Commercial Business, in a Single-Family Dwelling \(R-1\) Zone, 0.41 Acre Parcel, Parcel Account Number 3578-017-030, Site Address 10320 SW 42nd Avenue, Ocala, FL 34476](#)

**1.2.3.** [251104SU - Roberto Solares Alvera, Special Use Permit to Allow for Commercial Parking of Two \(2\) Semi-Trucks, Two \(2\) Trailers, and Work Equipment in a General Agricultural \(A-1\) Zone, 1.0 Acre Parcel, Parcel Account Number 41869-012-01, Site Address 2255 SE 150th Street, Summerfield FL 34491](#)

- 1.2.4. [251108ZC - Agri-Source, Inc, Zoning Change from General Agriculture \(A-1\) to Heavy Industrial \(M-2\) Zone, on an Approximate 1.6 Acre Portion of a 36.77 Acre Parcel, Parcel Account Number 15861-000-00, Address 4001 NE 35th Street, Ocala, FL, 34479](#)

**1.3 Adoption of Ordinance**



**Marion County**  
**Board of County Commissioners Planning  
and Zoning**  
**Agenda Item**

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**File No.:** 2025-21220

**Agenda Date:** 11/17/2025

**Agenda No.:**

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**SUBJECT:**

**Present Cover Documents from Planning and Zoning Commission Public Hearing**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Attached are:

- Proof of publication
- General location map for all applications being considered today
- The Planning and Zoning Commission recommendations for today's meeting
- The October 27, 2025, Planning and Zoning Commission Meeting Draft Minutes
- An interactive geographic information systems (GIS) map of various residential planned unit developments (PUDs) approved within unincorporated Marion County since 2016

**BUDGET/IMPACT:**

None

**RECOMMENDED ACTION:**

For information only.

# LOCALiQ

The Gainesville Sun | The Ledger  
Daily Commercial | Ocala StarBanner  
News Chief | Herald-Tribune

PO Box 631244 Cincinnati, OH 45263-1244

## AFFIDAVIT OF PUBLICATION

Autumn Williams  
Marion County Growth Services  
2710 E Silver Springs BLVD  
Ocala FL 34470-7006

STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of the Star Banner, published in Marion County, Florida; that the attached copy of advertisement, being a Public Notices, was published on the publicly accessible website of Marion County, Florida, or in a newspaper by print in the issues of, on:

OCA Ocala Star-Banner 11/03/2025  
OCA ocala.com 11/03/2025

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 11/03/2025

Maria K. Williams  
Legal Clerk

Kaitlyn Felty  
Notary, State of WI, County of Brown

3.7.27

My commission expires

Publication Cost:	\$374.90	
Tax Amount:	\$0.00	
Payment Cost:	\$374.90	
Order No:	11790125	# of Copies:
Customer No:	533584	1
PO #:		

**THIS IS NOT AN INVOICE!**

*Please do not use this form for payment remittance.*

KAITLYN FELTY  
Notary Public  
State of Wisconsin

**NOTICE OF INTENTION TO  
CONSIDER ADOPTION OF AN  
ORDINANCE**

NOTICE IS HEREBY GIVEN THAT THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, WILL HOLD A PUBLIC HEARING ON THE 17TH DAY OF NOVEMBER 2025, AT 1:30 PM, AT THE MCPHERSON GOVERNMENTAL CAMPUS AUDITORIUM, 601 SE 25TH AVENUE, OCALA, FLORIDA. TO CONSIDER APPROVAL OF THE FOLLOWING COMPREHENSIVE PLAN AMENDMENT, REZONING AND/OR SPECIAL USE PERMIT APPLICATIONS, AND TO CONSIDER ADOPTION OF A PROPOSED ORDINANCE ALL INTERESTED PARTIES MAY APPEAR AT THIS PUBLIC HEARING AND BE HEARD WITH RESPECT TO THE PROPOSED ORDINANCE SAID ORDINANCE ENTITLED:

AN ORDINANCE OF THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, APPROVING LAND USE CHANGE, REZONING AND SPECIAL USE PERMIT PETITIONS AND AUTHORIZING IDENTIFICATION ON THE OFFICIAL ZONING MAP, PROVIDING FOR AN EFFECTIVE DATE.

1. **251101SU** - Thomas Grimes, requests a **Special Use Permit**, Articles 2 and 4, of the Marion County Land Development Code, to allow for commercial vehicle parking of one (1) semi-truck & one (1) semi-truck trailer, in a General Agriculture (A-1) zone, on an approximate 3.24 Acre Parcel, on Parcel Account Number 46072-001-08, Site Address 14612 SE 80th Avenue, Summerfield, FL 34491
2. **251102SU** - Krystal Rodriguez DeLeon & Kemuel Rodriguez Rivera, request a **Special Use Permit**, Articles 2 and 4, of the Marion County Land Development Code, to allow for commercial vehicle parking of two (2) semi-trucks, one (1) semi-truck trailer, and two (2) storage trailers, in a General Agriculture (A-1) zone, on an approximate 4.00 Acre Parcel, on Parcel Account Number 44997-000-15, Site Address 12160 SE 112th Avenue Road, Belleview, FL 34420
3. **251103SU** - Ocala Freedom Investments, LLC, requests a **Special Use Permit**, Articles 2 and 4, of the Marion County Land Development Code, to allow for material and equipment storage related to commercial business, in a Single-Family Dwelling (R-1) zone, on an approximate 0.41 Acre Parcel, on Parcel Account Number 3578-017-030, Site Address 10320 SW 42nd Avenue, Ocala, FL 34476
4. **251104SU** - Roberto Solares Alvera, requests a **Special Use Permit**, Articles 2 and 4, of the Marion County Land Development Code, to allow for commercial parking of two (2) semi-trucks, two (2) trailers, and work equipment, in a General Agriculture (A-1) zone, on an approximate 1.00 Acre Parcel, on Parcel Account Number 41869-012-01, Site Address 22355 SE 150th Street, Summerfield, FL 34491
5. **251106SU** - Young Life, requests a **Special Use Permit**, Articles 2 and 4, of the Marion County Land Development Code, Modification to Special Use Permit SUP 210110SU-B / RESO 21-R-083 to add new maintenance building and access (for existing recreation camp facility; conversion of farm structure), in a General Agriculture (A-1) zone, on an approximate 8.80 Acre Parcel, on Parcel Account Number 40263-001-00, Site Addresses 9596, 9600 SE 183rd Avenue Road, and 18285 NE 95th Street Road, Ocklawaha, FL 32179
6. **251107SU** - Jajoio Limited Partnership, requests a **Special Use Permit**, Articles 2 and 4, of the Marion County Land Development Code, to allow for a fenced outdoor display area, sidewalk display area, and propane tank, in a Community Business (B-2) zone, on an approximate 6.69 Acre Parcel, on Parcel Account Number 35913-002-00, Site Address 8602 SW Highway 200, Ocala, FL 34481
7. **251108ZC** - Agri-Source, Inc., requests a **Zoning Change**, Articles 2 and 3, of the Marion County Land Development Code, from General Agriculture (A-1) zone to Heavy Industrial (H-2) zone, for all permitted uses, on an approximate 1.6 Acre Portion of a 36.77 Acre Parcel, on Parcel Account Number 15861-000-00, Site Address 4001 NE 35th Street, Ocala, FL 34475

IF REASONABLE ACCOMMODATIONS OF A DISABILITY ARE NEEDED FOR YOU TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE ADA COORDINATOR/HR DIRECTOR AT (352) 438-2345 AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE HEARING, SO APPROPRIATE ARRANGEMENTS CAN BE MADE.

BE ADVISED THAT IF ANY PERSON OR PERSONS WISH TO APPEAL A DECISION OF THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, MADE AT THE ABOVE ADVERTISED MEETING, A RECORD OF THE PROCEEDINGS WILL BE NEEDED BY SUCH PERSON OR PERSONS AND A VERBATIM RECORD MAY BE NEEDED.

FOR MORE INFORMATION:  
[HTTPS://WWW.MARIONFL.ORG/  
LEGAL/NOTICES](https://www.marionfl.org/legal/NOTICES)

PLEASE BE GOVERNED  
ACCORDINGLY

DATED THIS 7TH DAY OF OCTOBER,  
2025

BOARD OF COUNTY  
COMMISSIONERS  
MARION COUNTY, FLORIDA

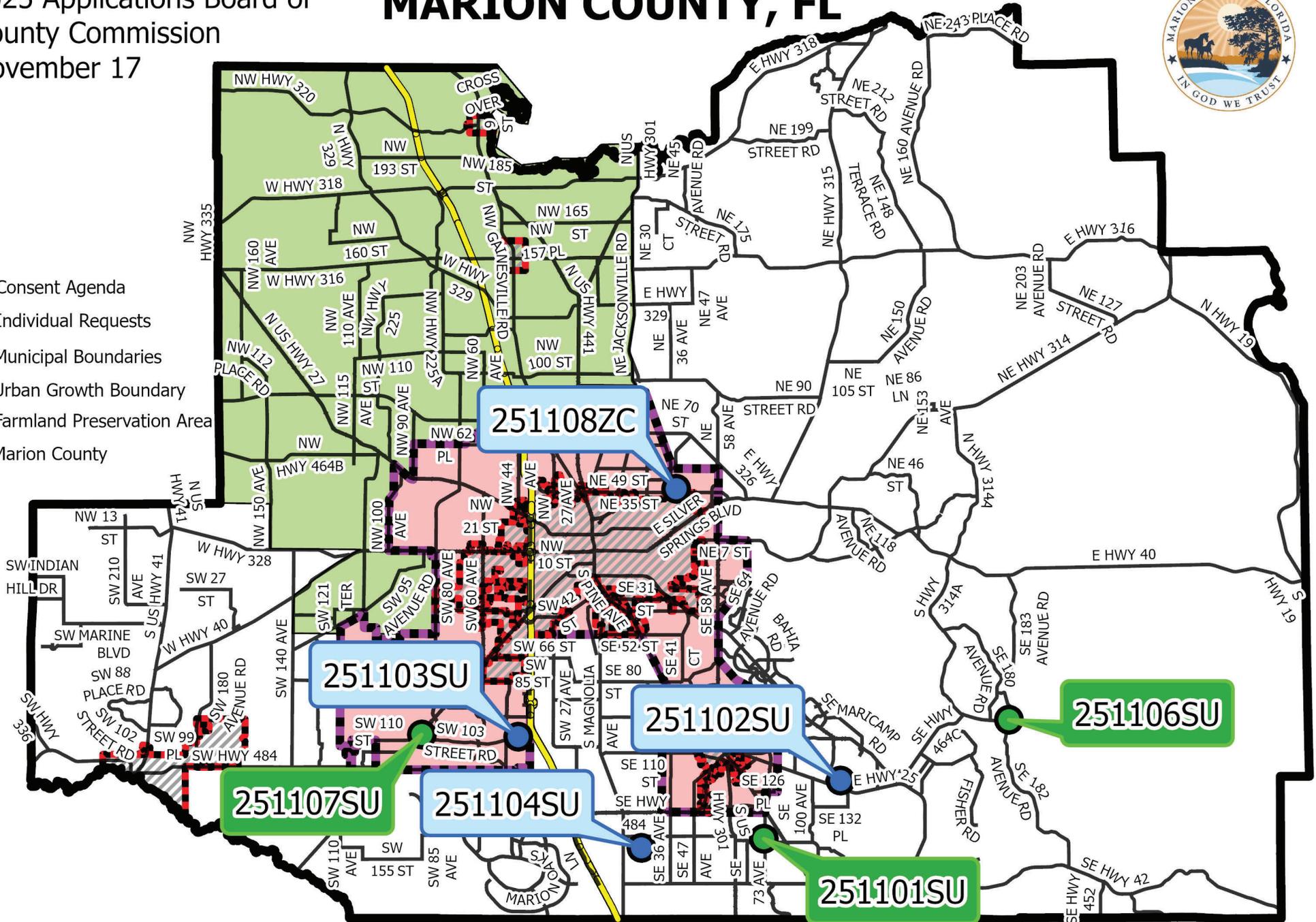
D. WINDBERG, DEPUTY CLERK

#11790125

# MARION COUNTY, FL



- Consent Agenda
- Individual Requests
- Municipal Boundaries
- Urban Growth Boundary
- Farmland Preservation Area
- Marion County



Disclaimer: All provided GIS data is to be considered a generalized spatial representation which is subject to revisions. The feature boundaries are not to be used to establish legal boundaries. For specific information, contact the appropriate county department or agency. This information is provided as a visual representation only and is not intended to be used as a legal or official representation of legal boundaries.

Scale: 1:350,000

0 2.5 5 Miles

Date: 11/3/2025  
Department: Growth Services



## Planning and Zoning Commission

### Recommendation Report for the November 17 & 18, 2025 BCC Public Hearing

The following items on the BCC/P&Z Agenda were heard by the P&Z Commission on October 27, 2025, during the P&Z Commission Public Hearing

#### Items on the Consent Agenda

##### **251101SU – Thomas Grimes**

Special Use Permit to Allow for Commercial Vehicle Parking of One (1) Semi-Truck and One (1) Semi-Truck Trailer, in a General Agriculture (A-1) Zone, 3.24 Acre Parcel, Parcel Account Number 46072-001-08, Site Address 14612 SE 80<sup>th</sup> Avenue, Summerfield, FL 34491

Staff recommends approval with conditions. Planning and Zoning recommends approval with conditions (motion passed unanimously on consent, 4-0).

##### **251106SU – Young Life**

Special Use Permit Modification to Special Use Permit SUP 210110SU-B / RESO 21-R-083 to Add New Maintenance Building and Access (for Existing Recreation Camp Facility; Conversion of Farm Structure), in a General Agriculture (A-1) Zone, 8.80 Acre Parcel, Parcel Account Number 40263-001-00, Site Addresses 9596, 9600 SE 183<sup>rd</sup> Avenue Road, and 18285 NE 95<sup>th</sup> Street Road, Ocklawaha, FL 32179

Staff recommends approval with conditions. Planning and Zoning recommends approval with conditions (motion passed unanimously on consent, 4-0).

##### **251107SU - Jajolo Limited Partnership**

Special Use Permit to Allow for a Fenced Outdoor Display Area, Sidewalk Display Area, and Propane Tank, in a Community Business (B-2) Zone, 6.69 Acre Parcel, Parcel Account Number 35013-002-00, Site Address 8602 SW Highway 200, Ocala, FL 34481

Staff recommends approval with conditions. Planning and Zoning recommends approval with conditions (motion passed unanimously on consent, 4-0).

#### Items for Individual Consideration

##### **251102SU – Krystal Rodriguez DeLeon & Kemuel Rodriguez Rivera (PULLED FROM CONSENT)**

Special Use Permit to Allow for the Parking of Two (2) Commercial Vehicles with a Weight Greater than 16,000 Pounds, One (1) Semi-Truck Trailer, and Two (2) Storage Trailers, in a General Agriculture (A-1) Zone, 4.0 Acre Parcel, Parcel Account Number 44997-000-15, Site Address 12160 SE 112<sup>th</sup> Avenue Road, Belleview, FL 34420

Staff recommends approval with conditions. Planning and Zoning recommends approval with conditions (motion passed, 3-1).

## Planning and Zoning Commission

### Recommendation Report for the November 17 & 18, 2025 BCC Public Hearing

#### **251109ZC – On Top of The World Communities, LLC (PULLED FROM CONSENT)**

Zoning Change from Improved Agriculture (A-2), Multiple Family Dwelling (R-3), and Community Business (B-2) to Regional Business (B-4) and Multiple Family Dwelling (R-3) Zone, for All Permitted Uses, on an approximate 24.10 Acre Portion of a 37.14 Acre Tract, Parcel Account Numbers 35300-000-03, 35300-001-17, and a portion of 35300-000-16, No Address Assigned

Staff recommends approval. Planning and Zoning recommends approval (motion passed unanimously, 4-0).

#### **251103SU – Ocala Freedom Investments LLC**

Special Use Permit to Allow for Storage Facility Related to Commercial Business, in a Single-Family Dwelling (R-1) Zone, 0.41 Acre Parcel, Parcel Account Number 3578-017-030, Site Address 10320 SW 42<sup>nd</sup> Avenue, Ocala, FL 34476

Staff recommends denial. Planning and Zoning recommends denial (motion passed unanimously, 4-0).

#### **251104SU - Roberto Solares Alvera**

Special Use Permit to Allow for Commercial Parking of Two (2) Semi-Trucks, Two (2) Trailers, and Work Equipment, in a General Agriculture (A-1) Zone, 1.0 Acre Parcel, Parcel Account Number 41869-012-01, Site Address 2255 SE 150<sup>th</sup> Street, Summerfield, FL 34491

Staff recommends denial. Planning and Zoning recommends denial (motion passed unanimously, 4-0).

#### **251105SU - On Top of The World Communities, LLC**

Special Use Permit, to Allow for Outdoor Storage and Sales for a Home Depot, Inc., in a Planned Unit Development (PUD) Zone, on an approximate 13.25 Acre Portion of a 22.62 Acre Parcel, on Parcel Account Number 3530-1001-18, Site Address 8151 SW Highway 200, Ocala, FL 34481

Staff recommends approval with conditions. Planning and Zoning recommends approval with conditions (motion passed unanimously, 4-0).

#### **251108ZC - Agri-Source, Inc.**

Zoning Change from General Agriculture (A-1) Zone to Heavy Industrial (M-2) Zone, for All Permitted Uses, on an approximate 1.6 Acre Portion of a 36.77 Acre Parcel, Parcel Account Number 15861-000-00, Site Address 4001 NE 35<sup>th</sup> Street, Ocala, FL 34479

Staff recommends denial. Planning and Zoning recommends approval (motion passed, 3-1).

## Planning and Zoning Commission

### Recommendation Report for the November 17 & 18, 2025 BCC Public Hearing

#### **251110ZP - Drake Ranch, LLC**

Zoning Change from General Agriculture (A-1) and Community Business (B-2) to Planned Unit Development (PUD) Zone, on an approximate ±446.72 Acre Portion of a 1,473.78 Acre Tract, Parcel Account Numbers 40866-000-00, 41109-006-00, 41109-005-00, 41109-017-01, 41109-015-00 & 41109-009-00, Site Address 13210 SW Highway 200, Dunnellon, FL 34432

Staff recommends denial. Planning and Zoning recommends approval with conditions (motion passed unanimously, 4-0).

All records pertaining to notice to property owners, all correspondence and other related information pertaining to individual Zoning Change and Special Use Permit requests are located in the Planning and Zoning Department files for record purposes.

The Marion County Planning and Zoning Commission met on October 27, 2025, at 5:30 pm in the Board of County Commissioners Auditorium, 601 SE 25<sup>th</sup> Avenue, Ocala, Florida.

**PLEDGE OF ALLEGIANCE AND INVOCATION**

Michael Behar led the Invocation and the Pledge of Allegiance.

**CALL TO ORDER**

Board members present were Chair Michael Kroitor, Michael Behar, Jerry Lourenco, Andy Bonner, Alternate Paul Stentiford, and Alternate Len Racioppi.

Staff members present were Assistant County Administrator Tracy Straub, Chief Assistant County Attorney Dana Olesky, Director Chuck Varadin, Deputy Director Ken Weyrauch, Planners Chris Rison, Ken Odom, Sarah Wells, Erik Kramer, Jared Rivera, Code Enforcement Supervisor Thomas Sapp, Administrative Staff Assistant Autumn Williams, and Staff Assistant IV Kim Lamb.

**ACKNOWLEDGEMENT OF PROOF OF PUBLICATION AND MAILING AND POSTING OF NOTICE**

Autumn Williams read the Proofs of Publication and the Affidavit of Mailing and Posting of Notice and advised that the meeting was properly advertised.

**EXPLANATION OF PROCEDURE FOR HEARING REQUESTS**

Chair Michael Kroitor and Assistant County Attorney Dana Olesky explained the procedure for hearing requests to the audience.

**1. Items on the Consent Agenda**

**251101SU – Thomas Grimes**

Special Use Permit to Allow for Commercial Vehicle Parking of One (1) Semi-Truck and One (1) Semi-Truck Trailer, in a General Agriculture (A-1) Zone, 3.24 Acre Parcel, Parcel Account Number 46072-001-08, Site Address 14612 SE 80<sup>th</sup> Avenue, Summerfield, FL 34491

**251106SU – Young Life**

Special Use Permit Modification to Special Use Permit SUP 210110SU-B / RESO 21-R-083 to Add New Maintenance Building and Access (for Existing Recreation Camp Facility; Conversion of Farm Structure), in a General Agriculture (A-1) Zone, 8.80 Acre Parcel, Parcel Account Number

40263-001-00, Site Addresses 9596, 9600 SE 183<sup>rd</sup> Avenue Road, and 18285 NE 95<sup>th</sup> Street Road, Ocklawaha, FL 32179

**251107SU - Jajolo Limited Partnership**

Special Use Permit to Allow for a Fenced Outdoor Display Area, Sidewalk Display Area, and Propane Tank, in a Community Business (B-2) Zone, 6.69 Acre Parcel, Parcel Account Number 35013-002-00, Site Address 8602 SW Highway 200, Ocala, FL 34481

Michael Behar made a motion to agree with the staff’s findings and recommendations, and recommend approval of the applications on the consent agenda because they will not adversely affect the public interest, are consistent with the Marion County Comprehensive Plan, and are compatible with the surrounding land uses. Seconded by Andy Bonner. The motion passed unanimously, 4-0.

**2. Consider the Following Individual Requests**

**251102SU – Krystal Rodriguez DeLeon & Kemuel Rodriguez Rivera (PULLED FROM CONSENT)**

Special Use Permit to Allow for the Parking of Two (2) Commercial Vehicles with a Weight Greater than 16,000 Pounds, One (1) Semi-Truck Trailer, and Two (2) Storage Trailers, in a General Agriculture (A-1) Zone, 4.0 Acre Parcel, Parcel Account Number 44997-000-15, Site Address 12160 SE 112<sup>th</sup> Avenue Road, Belleview, FL 34420

Planner Ken Odom, Growth Services, presented the case and read the report into the record. Staff recommends approval with conditions.

Krystal Rodriguez De Leon, 12160 SE 112<sup>th</sup> Avenue Road, Belleview, 34420, the property owner and applicant, addressed the Board.

1. Sean Sullivan – 11990 SE 112<sup>th</sup> Avenue Road, Belleview

- Opposed, safety concerns, increased noise, additional traffic, and the potential wear and degradation of the dirt road caused by these vehicles. Feels the presence of such vehicles is visually disruptive and diminishes the scenic quality of the area. Additionally, reports having personally witnessed the applicants performing motor replacement work on-site at this location.

Michael Behar made a motion to agree with the staff’s findings and recommendation and recommend approval with conditions of this application because it will not adversely affect the public interest, is consistent with the Marion County Comprehensive Plan, and is compatible with the surrounding land uses. Seconded by Jerry Lourenco. The motion passed 3-1, with Andy Bonner dissenting.

**251109ZC – On Top of The World Communities, LLC (PULLED FROM CONSENT)**

Zoning Change from Improved Agriculture (A-2), Multiple Family Dwelling (R-3), and Community Business (B-2) to Regional Business (B-4) and Multiple Family Dwelling (R-3) Zone, for All Permitted Uses, on an approximate 24.10 Acre Portion of a 37.14 Acre Tract, Parcel Account Numbers 35300-000-03, 35300-001-17, and a portion of 35300-000-16, No Address Assigned

Deputy Director Ken Weyrauch, Growth Services, presented the case and read the report into the record. Staff recommends approval.

Fred Roberts, 40 SE 11<sup>th</sup> Avenue, Ocala, 34471, on behalf of the property owner and applicant, addressed the Board.

The following members of the public spoke during Public Comment:

1. Thomas Hotte – 8708 SW 95<sup>th</sup> Lane, Unit D, Ocala
  - o Withdrew his previously stated opposition at this time.

Andy Bonner made a motion to agree with the staff’s findings and recommendation and recommend approval with conditions of this application because it will not adversely affect the public interest, is consistent with the Marion County Comprehensive Plan, and is compatible with the surrounding land uses. Seconded by Michael Behar. The motion passed unanimously, 4-0.

**251103SU – Ocala Freedom Investments LLC**

Special Use Permit to Allow for Storage Facility Related to Commercial Business, in a Single-Family Dwelling (R-1) Zone, 0.41 Acre Parcel, Parcel Account Number 3578-017-030, Site Address 10320 SW 42<sup>nd</sup> Avenue, Ocala, FL 34476

Planner Jared Rivera, Growth Services, presented the case and read the report into the record. Staff recommends denial.

Luis Moises, 2533 Pearl Cider Street, Orlando, 32824, on behalf of the property owner and applicant, addressed the Board.

The following members of the public spoke during Public Comment:

1. Anna Signore – 10284 SW 42<sup>nd</sup> Avenue, Ocala
  - o Opposed, states significant safety concerns in a pedestrian-heavy neighborhood with narrow roads and no sidewalks. Explains that children walk to school daily, and families frequently use the area for walking, biking, and outdoor activities with pets. The proposed driveway directly faces a cul-de-sac commonly used by children for play. Feels the storage of heavy equipment is incompatible with the residential character of the neighborhood and potentially hazardous to both children and other residents.

2. Michelle Balmer – 4225 SW 103<sup>rd</sup> Street, Ocala

- Opposed, states the presence of multiple heavy equipment machines regularly loaded, unloaded, and serviced on-site throughout the day. Reports operations occurring from 5:00 AM to 11:00 PM daily, contributing to excessive noise and disruption. Notes damage to the roadways by the equipment and raises serious concerns about the safety of children in the area.

Andy Bonner made a motion to agree with the staff’s findings and recommendation and recommend denial of this application because it will adversely affect the public interest, is not consistent with the Marion County Comprehensive Plan, and is not compatible with the surrounding land uses. Seconded by Michael Behar. The motion passed unanimously, 4-0.

**251104SU – Roberto Solares Alvera**

Special Use Permit to Allow for Commercial Parking of Two (2) Semi-Trucks, Two (2) Trailers, and Work Equipment, in a General Agriculture (A-1) Zone, 1.0 Acre Parcel, Parcel Account Number 41869-012-01, Site Address 2255 SE 150<sup>th</sup> Street, Summerfield, FL 34491

Planner Erik Kramer, Growth Services, presented the case and read the report into the record. Staff recommends denial.

Roberto Solares Alvera, 2255 SE 150<sup>th</sup> Street, Summerfield, 34491, property owner and applicant, and Adalberto Hernandez, 17401 SW 17<sup>th</sup> Circle, Ocala, 34473, translating on behalf of the property owner and applicant, addressed the Board.

There were no members of the public who spoke during Public Comment.

Michael Behar made a motion to agree with the staff’s findings and recommendation and recommend denial of this application because it will adversely affect the public interest, is not consistent with the Marion County Comprehensive Plan, and is not compatible with the surrounding land uses. Seconded by Andy Bonner. The motion passed unanimously, 4-0.

**251105SU - On Top of The World Communities, LLC**

Special Use Permit, to Allow for Outdoor Storage and Sales for a Home Depot, Inc., in a Planned Unit Development (PUD) Zone, on an approximate 13.25 Acre Portion of a 22.62 Acre Parcel, on Parcel Account Number 3530-1001-18, Site Address 8151 SW Highway 200, Ocala, FL 34481

Planner Ken Odom, Growth Services, presented the case and read the report into the record. Staff recommends approval with conditions.

Gene Losito, 1700 SE 17<sup>th</sup> Street, Suite 200, Ocala, 34471, on behalf of the property owner and applicant, addressed the Board.

1. Thomas Hotte – 8708 SW 95<sup>th</sup> Lane, Unit D, Ocala
  - Opposed, requests a more substantial buffer than the existing vegetation alone, noting that the natural screening is often sparse or ineffective during certain times of the year. Specifically asks for a concrete wall to ensure consistent visual and noise protection. Emphasizes the need to safeguard existing residents and preserve neighborhood character. Also, raises traffic concerns, pointing out that the original traffic study was conducted prior to the recent wave of development and may no longer reflect current conditions
2. Gwen Garcia – 9758 SW 100<sup>th</sup> Avenue Road, Ocala
  - Accepts that something will be going here but requests clarification regarding site access, including how vehicles will enter and exit the property
3. Robyn Cyr – 8639 SW 95<sup>th</sup> Lane, Unit C, Ocala
  - Opposed, asks about site access, noting that the area is particularly narrow and may not safely accommodate increased traffic. Raises both traffic and safety concerns for local residents. Requests the implementation of a buffer zone similar to what exists near the Sprouts location up the street, to help mitigate impacts.
4. Stu Grossberg - 13363 SW 111<sup>th</sup> Circle, Dunnellon
  - Opposed, traffic concerns due to the current traffic infrastructure, which is not designed to support the existing volumes. Requests a new traffic study that accounts for the significant growth and development that have occurred in the area, emphasizing the need for updated data.

Michael Behar made a motion to agree with the staff's findings and recommendation and recommend approval with conditions of this application because it will not adversely affect the public interest, is consistent with the Marion County Comprehensive Plan, and is compatible with the surrounding land uses. Seconded by Andy Bonner. The motion passed unanimously, 4-0.

**251108ZC - Agri-Source, Inc.**

Zoning Change from General Agriculture (A-1) Zone to Heavy Industrial (M-2) Zone, for All Permitted Uses, on an approximate 1.6 Acre Portion of a 36.77 Acre Parcel, Parcel Account Number 15861-000-00, Site Address 4001 NE 35<sup>th</sup> Street, Ocala, FL 34479

Planner Kathleen Brugnoli, Growth Services, presented the case and read the report into the record. Staff recommends denial.

Austin Daily, 40 SE 11<sup>th</sup> Avenue, Ocala, 34471, on behalf of the property owner and applicant, addressed the Board.

There were no members of the public who spoke during Public Comment.

Jerry Lourenco made a motion to disagree with the staff’s findings and recommendation and recommend approval of this application because it will not adversely affect the public interest, is consistent with the Marion County Comprehensive Plan, and is compatible with the surrounding land uses. Seconded by Michael Behar. The motion passed, 3-1, with Andy Bonner dissenting.

**251110ZP - Drake Ranch, LLC**

Zoning Change from General Agriculture (A-1) and Community Business (B-2) to Planned Unit Development (PUD) Zone, on an approximate ±446.72 Acre Portion of a 1,473.78 Acre Tract, Parcel Account Numbers 40866-000-00, 41109-006-00, 41109-005-00, 41109-017-01, 41109-015-00 & 41109-009-00, Site Address 13210 SW Highway 200, Dunnellon, FL 34432

Planner Jared Rivera, Growth Services, presented the case and read the report into the record. Staff recommends denial.

David Tillman, 1720 SE 16<sup>th</sup> Avenue, Bldg 100, Ocala, 34471, on behalf of the property owner and applicant, addressed the Board.

The following members of the public spoke during Public Comment:

1. Stu Grossberg - 13363 SW 111<sup>th</sup> Circle, Dunnellon
  - o Opposed, traffic concerns.
2. Kathy Peare – 10182 SW 156<sup>th</sup> Place, Dunnellon
  - o Opposed, traffic concerns, and noted the impact the proposed 40 families will have on the Withlacoochee River.

Michael Behar made a motion to disagree with the staff’s findings and recommendation and recommend approval with conditions of this application because it will not adversely affect the public interest, is consistent with the Marion County Comprehensive Plan, and is compatible with the surrounding land uses. Seconded by Andy Bonner. The motion passed unanimously, 4-0.

**1. Other Business**

**Special Set Planning & Zoning Commission Meeting to discuss EAR-Based Comprehensive Plan Amendments on Monday, November 10, 2025, at 5:30 PM**

Ken Weyrauch confirmed the date and time of the meeting with the board.

**2. Review the Minutes of the Previous Meeting**

Andy Bonner made a motion to approve the minutes from the September 29, 2025, Planning and Zoning Commission meeting. Seconded by Jerry Lourenco. The motion passed unanimously, 4-0.

**ADJOURNMENT**

The meeting adjourned at 9:02PM

Attest:

\_\_\_\_\_  
Michael Kroitor, Chairman

\_\_\_\_\_  
Autumn Williams  
Administrative Staff Assistant

DRAFT

## Planning & Zoning Attendance Report

2025		January	February	March	April	May	June	July	August	September	October	November	December
Michael Behar	Board Member	X	X		X		X	X	X		X		
Danny Gaekwad	Board Member	X	X	X		X				X			
Greg Lord	Board Member	X		X	X	X		X	X				
Jerry Lourenco	Board Member		X	X	X	X	X		X		X		
Michael Kroitor	Board Member	X	X	X	X		X	X	X	X	X		
Andy Bonner	Board Member	X	X	X	X	X	X	X	X	X	X		
Donald Johnson	Board Member	-	-	-	-	X		X	X	X			
*Thomas Fisher Term ended 08/2025	Alternate	*	*	*	*	*		*		-	-	-	-
Len Racioppi	Alternate	-	-	-	-	-	-	-	-	*	*		
*Paul Stentiford	Alternate	-	-	-	-	-		*	*	*	*		

- N/A

X Present; attendance is counted towards quorum

\* Alternate Present; attendance not counted towards quorum

## County-wide Development Map

A map of various residential planned unit development (PUD) projects approved within unincorporated Marion County since 2016 can be viewed at:

<https://marioncountyfl.maps.arcgis.com/apps/mapviewer/index.html?webmap=2dd674d3c3ae4a579e6f64f113873e90>

or by linking through this QR Code:



Projects are labelled as:

- APPROVED - Land Use or Zoning change has been approved by the Board of County Commissioners.
- DEVELOPMENT REVIEW - Site plan for approved application is in review.
- BUILDING PERMITTING - Site plan for approved application has been approved by the Development Review Committee and can apply for building permit(s) or has built.
- PENDING – Application has been submitted and is in consideration for a Land Use or Zoning change.
- DENIED – Application was denied a Land Use or Zoning change.

This map is intended to provide a visual reference only and is updated every 3 – 4 months. This map should not be relied on for project accuracy. For project details, please contact the Marion County Growth Services Department by telephone at 352-438-2600 or via email at [Planning@MarionFL.org](mailto:Planning@MarionFL.org).



# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21222

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.1.1.

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**SUBJECT:**

**251101SU - Thomas Grimes, Special Use Permit to Allow for Commercial Vehicle Parking of One (1) Semi-Truck and One (1) Semi-Truck Trailer, in a General Agriculture (A-1) Zone, 3.24 Acre Parcel, Parcel Account Number 46072-001-08, Site Address 14612 SE 80<sup>th</sup> Avenue, Summerfield, FL, 34491**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Thomas Grimes, owner of the subject property and applicant, has filed an application for a Special Use Permit (SUP) to allow for the parking of one (1) commercial vehicle (Semi-Truck) with a weight greater than 16,000 pounds on a property with a zoning of General Agriculture (A-1). An aerial photograph showing the general location of the subject property was provided. The Parcel Identification Number associated with the property is 46072-001-08, and the street address is 14612 SE 80th Ave, Summerfield, FL, 34491. The legal description is displayed in the deed included in the application. The subject property is a 3.24-acre parcel located within the Secondary Springs Protection Zone (S-SPOZ) and outside of the Urban Growth Boundary. The applicant is applying for a special use permit that would allow the parking of one truck and one trailer when the truck is not in use. Currently, the truck stays on the road for weeks at a time and returns home between assignments. Staff is recommending approval because the requested use is compatible with the surrounding area, it will not adversely affect the public interest, and it is consistent with the Marion County Comprehensive Plan.

**BUDGET/IMPACT:**

None

**RECOMMENDED ACTION:**

Staff recommends approval with conditions. Planning and Zoning Commission recommends approval with conditions.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>P&amp;ZC Date: 10/27/2025</b>	<b>BCC Date: 11/17/2025</b>
<b>Case Number:</b>	251101SU
<b>CDP-AR:</b>	32159
<b>Type of Case:</b>	<b>Special Use Permit:</b> For parking one commercial vehicle (Tractor & Trailer) in A-1 Zoning
<b>Owner</b>	Thomas Grimes
<b>Applicant</b>	Same
<b>Street Address</b>	14612 SE 80 <sup>th</sup> Ave, Summerfield, FL, 34491
<b>Parcel Number</b>	46072-001-08
<b>Property Size</b>	±3.24 acres
<b>Future Land Use</b>	Rural Land (RL)
<b>Zoning Classification</b>	General Agriculture (A-1)
<b>Overlay Zone/Scenic Area</b>	Secondary Springs Protection Zone
<b>Staff Recommendation</b>	<b>APPROVAL WITH CONDITIONS</b>
<b>P&amp;ZC Recommendation</b>	<b>APPROVAL WITH CONDITIONS (ON CONSENT)</b>
<b>Project Planner</b>	Sarah Wells
<b>Related Case(s)</b>	Code Case 988535: CE Commercial Vehicle

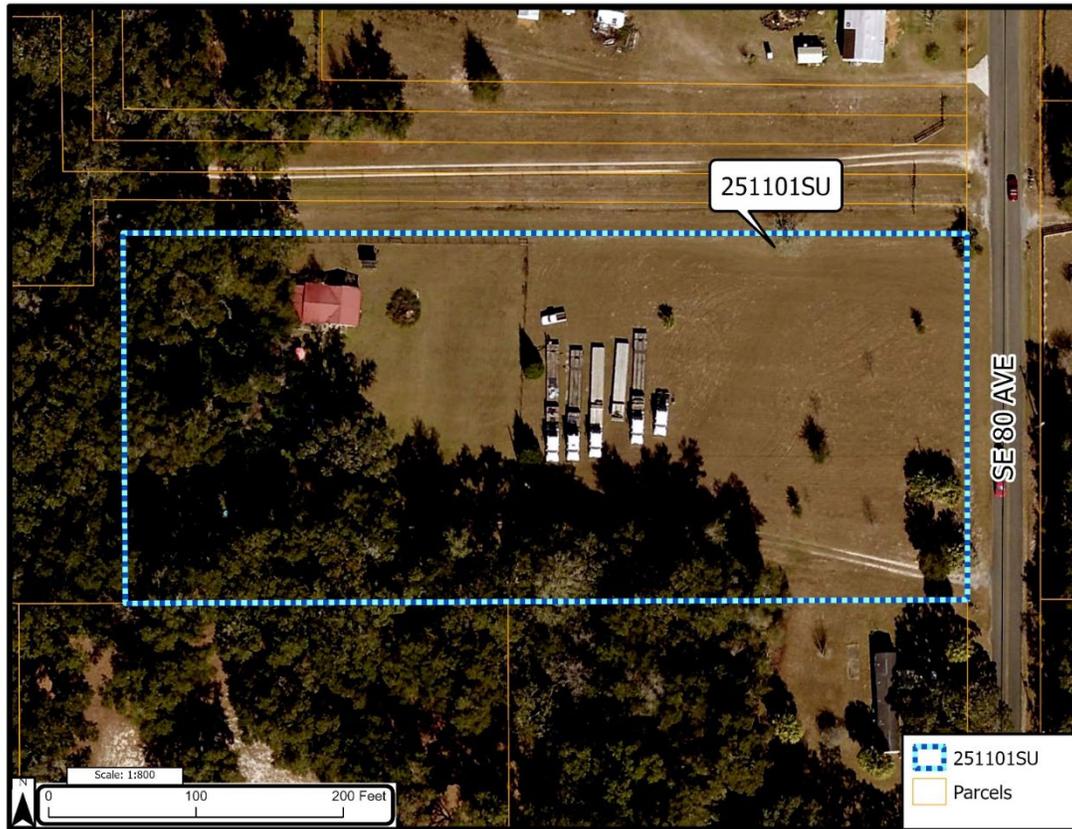
## I. ITEM SUMMARY

Thomas Grimes, owner of the subject property and applicant, has filed an application for a Special Use Permit (SUP) to allow for the parking of one (1) commercial vehicle (Semi-Truck and trailer, see figure 6) with a weight greater than 16,000 Pounds on a property with a zoning of General Agriculture (A-1) (See attachment A). Figure 1 is an aerial photograph showing the general location of the subject property. The Parcel Identification Number associated with the property is 46072-001-08 and the street address is 14612 SE 80<sup>th</sup> Ave, Summerfield, FL, 34491. The legal description is displayed in the deed included in the application (See Attachment A). The subject property is a 3.24-acre parcel located within the Secondary Springs Protection Zone (S-SPOZ) and outside of the Urban Growth Boundary. The applicant is applying for a special use permit that would allow the parking of one truck and one trailer when the truck is not in use. Currently, the truck is used for weeks at a time, where it is on the road, until the owner, Thomas Grimes, returns home until the next route is assigned.

The Special Use Permit was requested because of code case number 988535. On June 24, 2025, while Code Enforcement Officer Scott Anderson was patrolling his area, he noticed that the applicant had two white semi-trucks with trailers located on the parcel. On September 3, 2025, Code Enforcement notes that upon a site visit, the two trucks and trailers were present on the property. The 2024 aerial images available on Marion Counties Interactive Map (see figure 1) depict the presence of up to six (6) trucks with and without trailers. Staff notes that the most recent areal imagery provided by Marion County Property Appraiser's 2025 Pictometry Oblique Imagery, dated May 16, 2024, (see figure 7) shows only one (1) truck. The applicant has stated that they drive only one truck, and that he had previously been allowing his employer to park trucks on his property but will no longer be doing so. The applicant also stated that he had been parking his truck on his property for over thirty years and was unaware that it was not allowed.

Staff is recommending approval because the requested use is compatible with the surrounding area, will not adversely affect the public interest, and is consistent with the Marion County Comprehensive Plan.

**Figure 1**  
**Aerial Photograph of Subject Property**



## II. STAFF SUMMARY RECOMMENDATION

Staff recommends **APPROVAL WITH CONDITIONS** due to the analysis provided within this staff report. If approved, staff recommends the conditions specified in Section VII.B. of this Staff Report. The recommended conditions are being imposed to address compliance with the requirements in Land Development Code (LDC) Sections 2.8.2.D and 2.8.3.B, and 4.2.6(f).

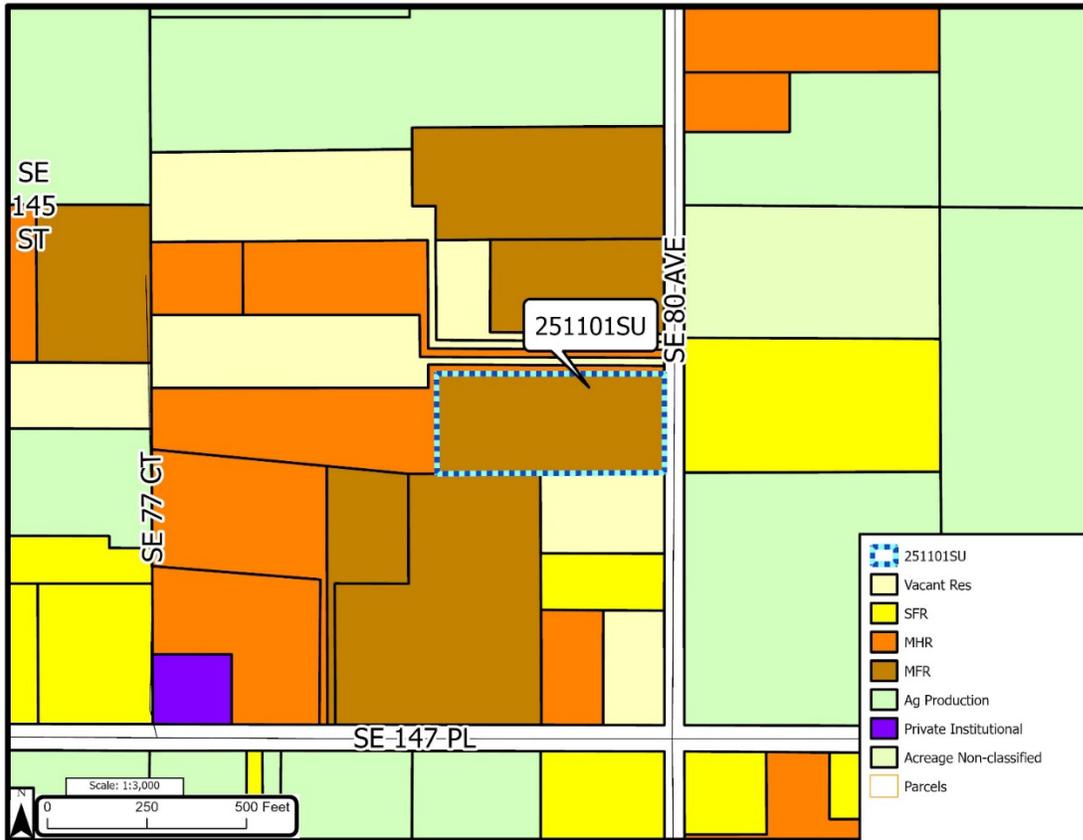
## III. NOTICE OF PUBLIC HEARING

Consistent with LDC Section 2.7.3.C, notice of public hearing was mailed to all property owners (14 property owners) within 300 feet of the subject property on October 10<sup>th</sup>, 2025. Consistent with LDC Section 2.7.3.B, public notice was posted on the subject property on October 8<sup>th</sup>, 2025, where site photos were also collected (Attachment B) and consistent with LDC Section 2.7.3.E due public notice was published in the Ocala Star-Banner on October 13, 2025. As of the date of the initial distribution of this staff report, no letters of opposition have been received. Evidence of the above-described public notices are on file with the Growth Services Department and are incorporated herein by reference.

#### IV. BACKGROUND/CHARACTER OF THE AREA

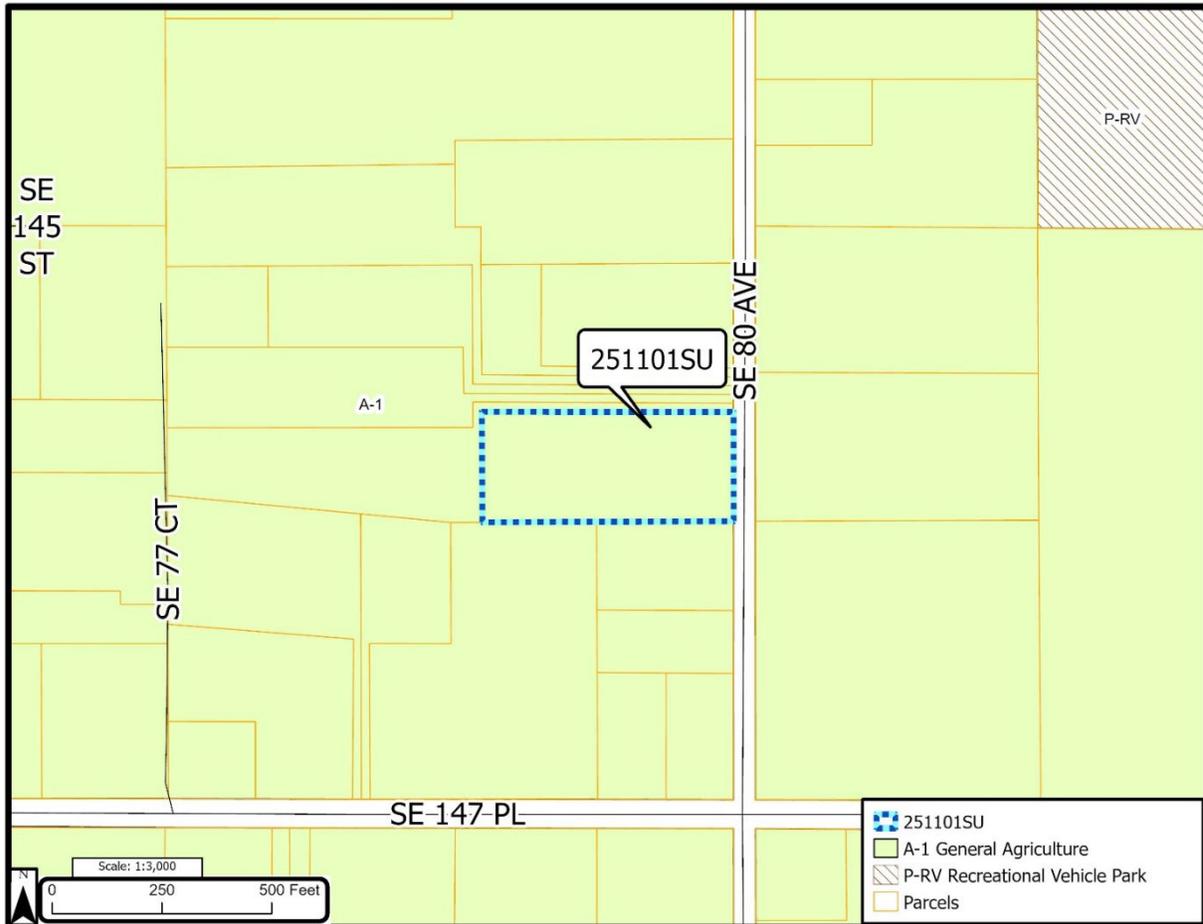
A. *Existing site conditions.* Figure 3 shows that the property is currently listed as Multifamily residential by the Marion County Property Appraiser's Office. To the north, the property abuts Manufactured Home Residential and Vacant Residential flags, and a Multifamily Residential parcel. To the south, the property abuts Multifamily Residential and Vacant Residential. The east of the subject property abuts the SE 80<sup>th</sup> Ave ROW, followed by Single-Family Residential, Ag production, and Acreage Non-classified. Finally, the west of the property abuts Manufactured Home Residential, Multifamily Residential, and Vacant Residential properties.

**Figure 2**  
**Existing Conditions Map**



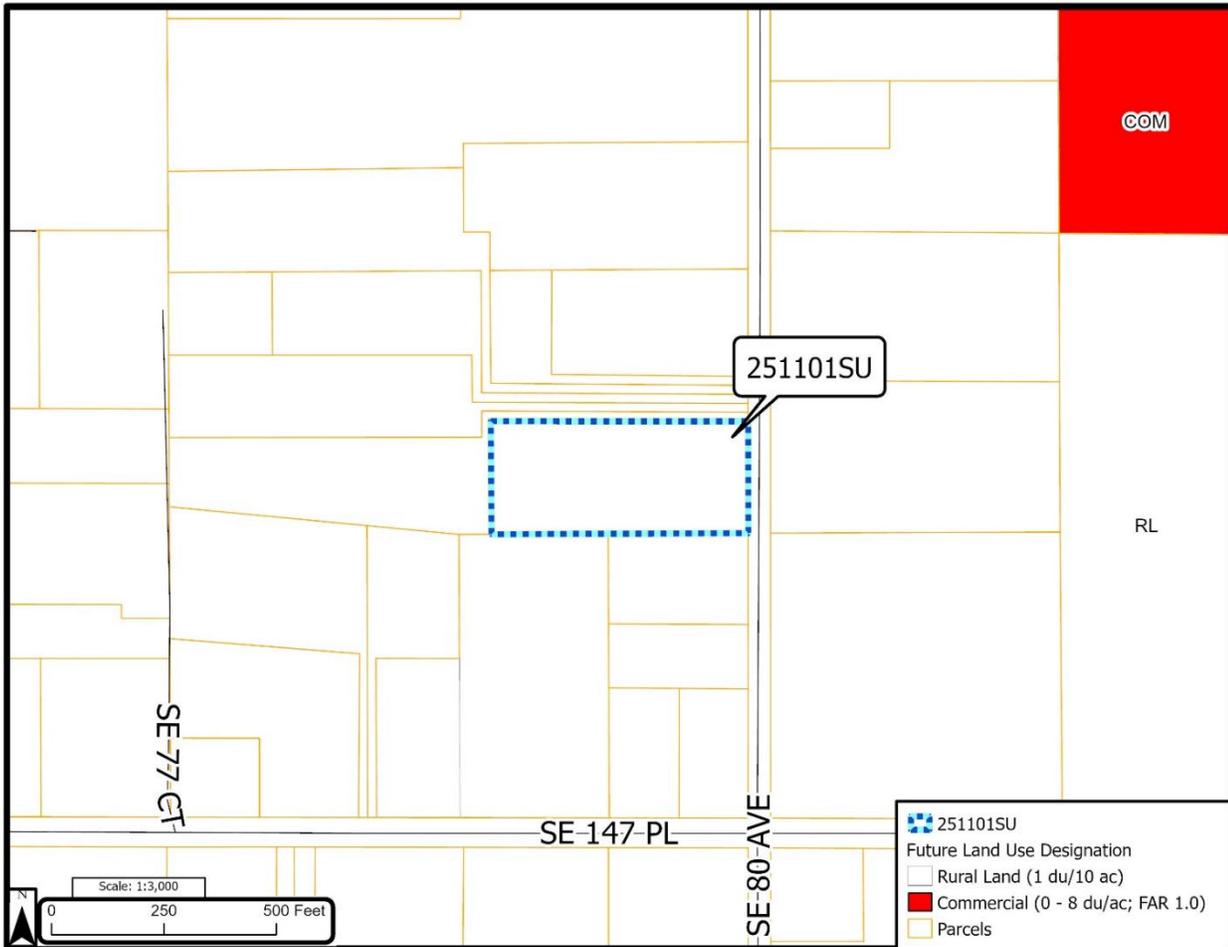
- B. *Zoning district map.* Figure 3 shows the subject property is classified as General Agriculture (A-1). This is the property's initial zoning classification. No agricultural exemption has been filed for the subject parcel.

**Figure 3**  
**Zoning Classification**



- C. *FLUMS designation.* Figure 4 is the FLUMS which shows the subject property is designated Rural Land (RL), allowing a maximum development of one dwelling unit per 10 acres. This is the property's initial land use designation.

**Figure 4**  
**FLUMS Designations**



**Figure 5  
Conceptual Plan**



**Figure 6  
Proposed Truck and Trailer**



**Figure 7**  
**Marion County Property Appraiser Pictometry Imagery**



## **V. ANALYSIS**

LDC Section 2.8.2.D provides that in making a recommendation to the Board, the Planning and Zoning Commission shall make a written finding the SUP addresses nine (9) specific requirements. LDC Section 2.8.3.B requires consistency with the Comprehensive Plan. Staff's analysis of compliance with these ten (10) requirements are addressed below.

- A. *Provision for **ingress and egress** to property and proposed structures thereon with reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Analysis:** Small vehicular ingress/egress currently accesses SE 80<sup>th</sup> Ave. Commercial vehicle access is proposed to utilize the same access point. A DRC comment received from OCE is as follows: "This parcel is located on SE 80th Avenue which is a Major Local roadway. There is currently a single unpaved driveway providing access to the parcel. The Special Use Permit shall limit the parcel to a single driveway. That driveway shall be paved to meet County commercial driveway standards. Driveway may be relocated from its current location, if so, the existing driveway must be removed, and the right-of-way must be restored by sodding the disturbed areas." Due to the comments received by staff, the following conditions are imposed:

- *Commercial vehicle ingress/egress shall only utilize the access point on SE 80<sup>th</sup> Ave.*
- *The Applicant shall construct a commercial driveway apron that will be permitted through the Office of the County Engineer.*

- B. *Provision for **off-street parking and loading areas**, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.*

**Analysis:** All parking spaces is contained on the subject parcel. The parking area for the commercial vehicle will be to the center of the parcel, facing SE 80th Avenue. The home on this parcel faces south, placing the parking area on the side of the home. See Figure 5 for the conceptual site plan, visualizing the proposed parking of the truck and trailer.

- *The parking of the truck and trailer shall be contained on the subject parcel and shall be consistent with the submitted Conceptual Site Plan*

- C. *Provisions for **refuse and service area**, with particular reference to the items in (1) and (2) above.*

**Analysis:** No additional refuse or service area is mentioned within this application. Notwithstanding, the following condition is imposed.

- *No mechanical repairs or maintenance on the commercial vehicle(s) shall take place on-site.*

- D. *Provision for **utilities**, with reference to locations, availability, and compatibility.*

**Analysis:** The property currently is connected to well & septic, and the requested special use will not impose a burden that would require any additional water or power generation.

- E. *Provision for **screening and buffering** of dissimilar uses and of adjacent properties where necessary.*

**Analysis:** The west and south boundaries of the parcel are heavily vegetated, however, eastern boundary of the parcel fronts SE 80<sup>th</sup> Ave and does not currently have screening.

- *The eastern boundary of the parcel shall be buffered with a 6' opaque fence.*

- F. *Provision for **signs**, if any, and **exterior lighting** with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.*

**Analysis:** The application makes no reference to signs being placed on the property, or the addition of extra lighting.

G. *Provision for **required yards and other green space.***

**Analysis:** The special use permit will not trigger any need to increase additional green space at this time.

H. *Provision for general **compatibility** with adjacent properties and other properties in the surrounding area.*

**Analysis:** Compatibility is defined as a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition. Figure 1 is an aerial photograph displaying existing and surrounding properties. At this time, there are several large lot agricultural/residential properties, both vacant and improved. The following condition is imposed.

- *This special use permit runs with the owner and not property. Any sale of the property will void this special use.*

I. *Provision for meeting any **special requirements** required by the site analysis for the particular use involved.*

**Analysis:** Staff notes that unlike a variance which runs with the land and is recorded in the public records, a special use permit is not recorded. As a result, a subsequent owner will not have notice of the requirements. Staff has recommended a condition that will void the SUP if the property changes hands. To ensure that the SUP stays in compliance and has a system of periodic reviews, Staff recommends a list of conditions provided at the end of this report to mitigate the possibility of any negative impacts from this special use. Notwithstanding, staff imposes the following condition:

- *This special use permit will allow for one (1) commercial vehicle combo with a weight of 16,000 pounds or more. If the following vehicle is replaced, the applicant shall notify the Marion County Planning Department immediately to record the new VIN as part of this SUP.*
  - *Tractor: 2019 Freightliner, VIN# 3AKJGNDR4KDKU0130*
  - *Trailer: VIN# 4U3J04821CL012295*

J. *Consistency with the Comprehensive Plan.*

1. Policy 2.1.5: **Permitted & Special Uses** – The county shall identify permitted and special uses for each land use designation and zoning classification, as further defined in the Comprehensive Plan, Zoning, and LDC.

**Analysis:** LDC Section 4.3.21 requires a Special Use Permit for the parking of a commercial vehicle with trailer on an A-1 zoned property that is 5 acres or less adhering to specific conditions. Thus, the application is consistent with FLUE Policy 2.1.5.

Based on the above findings, Staff concludes the SUP is **consistent** with LDC Sections 2.8.2.D and 2.8.3.B provided conditions to address the eight (8) requirements are imposed.

## VI. ALTERNATIVE RECOMMENDATIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to the Board of County Commissioners to **DENY** the special use permit amendment.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, amend the findings and conclusions contained herein so as to support the approval of the Ordinance with amended conditions and make a recommendation to the Board of County Commissioners to adopt a proposed Ordinance to **APPROVE WITH AMENDED CONDITIONS** the special use permit.
- C. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance, and make a recommendation to the Board of County Commissioners to **TABLE** the application for up to two months in order to provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.

## VII. STAFF RECOMMENDATION

- A. Staff recommends the Planning and Zoning Commission enter into the record the Staff Report and all other competent substantial evidence presented at the hearing and make a recommendation to the Board of County Commissioners to adopt a proposed Ordinance to **APPROVAL WITH CONDITIONS** the special use permit.
- B. To address compliance with LDC Sections 2.8.2.D and 2.8.3.B, the following conditions are imposed:
  - 1. *Ingress/Egress shall continue to utilize SE 80<sup>th</sup> AVE. only.*
  - 2. *The Applicant shall construct a commercial driveway apron, to be permitted through the office of the county engineer, within 180 days.*
  - 3. *The parking of the truck and trailer shall be contained on the subject parcel and shall be consistent with the submitted Conceptual Site Plan.*
  - 4. *The eastern boundary of the parcel shall be buffered with a 6' opaque fence within 90 days.*
  - 5. *No unloading or loading of materials/junk shall take place on the subject property.*
  - 6. *No mechanical repairs or maintenance on the commercial vehicle(s) shall take place on site.*
  - 7. *This special use permit runs with the owner and not property. Any sale of the property will void this special use.*

8. *This special use permit will allow for one (1) commercial vehicle with a weight of 16,000 pounds or more. If the following vehicle is replaced, the applicant shall notify the Marion County Planning Department immediately to record the new VIN as part of this SUP.*
- *Tractor: 2019 Freightliner, VIN# 3AKJGNDR4KDKU0130*
  - *Trailer: VIN# 4U3J04821CL012295*
9. *The Special Use Permit shall expire on November 21, 2030; however it may be renewed administratively three times for up to 5 years each by a written instrument signed and issued by the Growth Services Director (or position equivalent to the Growth Services Director at that time), unless:*
- *There have been unresolved violations of the County Land Development Code, the County Code of Ordinances, and/or the conditions of the permit,*
  - *Neighboring property owners within 300' of the subject property have complained to the County Code Enforcement, Zoning, or equivalent/similar Departments/Divisions about the uses of the subject property by this Permit, or*
  - *The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).*

## **VIII. PLANNING AND ZONING COMMISSION RECOMMENDATION**

Approval as conditioned (on consent).

## **IX. BOARD OF COUNTY COMMISSIONERS' ACTION**

TBD

## **X. LIST OF ATTACHMENTS**

- A. SUP application filed on August 12, 2025
- B. Site Photos
- C. DRC Comments.



Marion County Board of County Commissioners

Growth Services
2710 E. Silver Springs Blvd. Ocala, FL 34470
Phone: 352-438-2600 Fax: 352-438-2601

APPLICATION COMPLETE
DATE COMPLETED 8/21/25
INITIALS em
TENTATIVE MEETING DATES
P&Z PH 10/27/25
BCC/P&Z PH 11/17 or 11/18/25

SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000.00

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: One truck and trailer

Legal Description: (Please attach a copy of the deed and location map.) Parcel Zoning: A-1

Parcel account number(s): 46072-001-08

Property dimensions: 247 x 246 Total acreage: 3.24

Directions: Ft. King L, 36th St. Maricamp -> base line -> 441 -> 147th St. -> 80th Ave

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. Please print all information, except for the Owner and Applicant/Agent signature.

Thomas Grimes, Donna Sellers

THOMAS Grimes

Property Owner name (please print)

Applicant or agent name (please print)

14612 SE 80th Ave, Summerfield

"

Mailing Address

Mailing Address

Summerfield, FL, 34492

"

City, State, Zip code

City, State, Zip code

352-470-5722

"

Phone number (include area code)

Phone number (include area code)

Katmandu.tlg@gmail.com

"

E-mail address

E-mail address

Thomas Lee Grimes

Thomas Lee Grimes

Signature

Signature

PLEASE NOTE: A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or denied. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

Table with 4 columns: Project No., Code Case No., Application No., and Rev. Date. Includes handwritten entries like '2025 08 0047', '988535', '33249', and '8/21/25'. A signature 'Scott Anderson' is written over the table.

waiting on permit, VIN & photo & death cert - will come at later date

**SPECIAL USE PERMIT – REGULAR APPLICATION**  
**APPLICANT'S SUBMISSION CHECKLIST & GENERAL INFORMATION**

**APPLICATION FINDINGS OF FACTS REQUIREMENTS**

The application must include a written description addressing the following findings, either on the Concept Plan or in a separate written description. The P&Z may make further written findings that the specific requirements, if any, governing the individual SUP, excluding towers, have been made concerning the following matters, where applicable:

- Handwritten note on the left: This will be done*
- 1) Provision for ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe. *EXIT 80TH AVE ON TO PROPERTY, ONE DRIVEWAY*
  - 2) Provision for off-street parking and loading areas, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area. *NO STREET PARKING - NO UNLOADING*
  - 3) Provisions for refuse and service area, with particular reference to the items in (1) and (2) above. *I HUAL TRASH TO LANDFILL*
  - 4) Provision for utilities, with reference to locations, availability and compatibility. *WELL AND SEPTIC*
  - 5) Provision for screening and buffering of dissimilar uses and of adjacent properties where necessary. *PARKING 2 ACRES DEEP ON MY PROPERTY.*
  - 6) Provision for signs, if any, and exterior lighting with consideration given to glare, traffic safety, economic effects and compatibility and harmony with properties in the surrounding area. *NO SIGNS*
  - 7) Provision for required yards and other green space. *IT'S MY HOME - RESIDENTIAL*
  - 8) Provision for general compatibility with adjacent properties and other property in the surrounding area. *SISTER IS NEIGHBOR THAT SEES TRUCK MOST*
  - 9) Provision for meeting any special requirements required by the site analysis for the particular use involved. *WOULD COMPLY*

**ADVISORIES:**

- 1) If approved, the Special Use Permit will NOT become effective until 14 days AFTER the final decision is made by the Marion County Board of County Commissioners.
- 2) A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present and additional information is required, the request may be postponed or denied.





**STATE OF MINNESOTA**  
**IRP APPORTIONED REGISTRATION CAB CARD**  
 Valid from March 01, 2025  
 Valid to February 28, 2026



445 Minnesota Street  
 Saint Paul, MN 55101-5188  
 PH: 651-205-4141  
 TDD/TTY: 651-282-6555

<b>IRP REGISTRANT INFORMATION</b>				<b>MOTOR CARRIER RESPONSIBLE FOR SAFETY</b>		
ACCT/FLEET: 0000117-0002		SUPPLEMENT: 1		USDOT: 0124813		
ADMIRAL MERCHANTS MTR FRGHT 215 S 11TH ST MPLS MN 55403-2520				ADMIRAL MERCHANTS MOTOR FREIGHT INC 215 SOUTH 11TH STREET MINNEAPOLIS MN 55403-9837		
Plate PAS8550	Year Sticker 03242025 PAS8550	Unit Number 6059A	Gross Wgt 112000	Unladen Wgt 18300	Axles 3	Seats 0
Model Year 2019	Make FRHT	Type Truck Tractor	VIN 3AKJGNDR4KDKU0130			
Owner/Lessor		RCAP LEASING INC				

The vehicle above has been proportionately registered between the State of Minnesota and other jurisdictions as shown below.

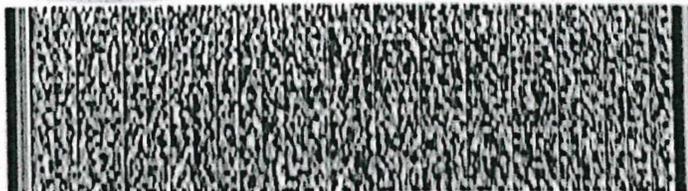
Jur	Weight										
AB	50802K	GA	80000	ME	100000	NJ	80000	PE	50802K	WA	105500
AL	QUAL	IA	112000	MI	112000	NL	50802K	QC	6 AXLE	WI	80000
AR	80000	ID	112000	MN	112000	NM	80000	RI	80000	WV	80000
AZ	80000	IL	80000	MO	80000	NS	50802K	SC	80000	WY	112000
BC	50802K	IN	80000	MS	80000	NV	112000	SD	112000	**	****
CA	80000	KS	85500	MT	112000	NY	112000	SK	50802K	**	****
CO	80000	KY	80000	NB	50802K	OH	80000	TN	80000	**	****
CT	112000	LA	88000	NC	80000	OK	90000	TX	80000	**	****
DC	80000	MA	112000	ND	105500	ON	50802K	UT	80000	**	****
DE	80000	MB	50802K	NE	94000	OR	105500	VA	80000	**	****
FL	80000	MD	80000	NH	80000	PA	80000	VT	80000	**	****

This apportioned cab card must be carried in the vehicle at all times (MS 168.11, subd 2). Void if altered or erased.

Attestation: By use of this credential the vehicle owner or the owner's authorized representative attests that: (1) All information printed on this credential is accurate (2) Vehicle is insured while operated upon the public streets and highways as required by Minnesota law. (Minnesota Statutes: 65B.48 subd. 1, 169.791 subd 2, 169.797 subd.4) (3) Vehicle will be operated in compliance with the federal and state laws that apply to this permit and to this vehicle's class of registration.

Acknowledgment of Data Privacy: The vehicle owner or the owner's authorized representative acknowledges that at the time of application, they were informed that: (1) the information collected is used to identify the motor vehicle and the vehicle owner to whom the permit is issued; (2) they were not required to submit the information; (3) failing to submit the information would result in the Department of Public Safety being unable to issue the permit; and (4) the Department of Public Safety being unable to issue the permit; and (5) the Department of Public Safety releases this information only as authorized or required by state and federal law.

ADMIRAL MERCHANTS MTR FRGHT  
 215 S 11TH ST  
 MPLS MN 55403-2520



**Change of address / Changement d'adresse**

You are required by law to notify the ministry of transportation within six days of changing your address. / Vous êtes tenu par la loi d'aviser le ministère des transports dans les six jours suivant un changement d'adresse.

All vehicles registered to you at the address now on record will be changed to reflect the address requested by this notice. / Cet avis entraînera la modification de l'adresse sur tous les documents d'immatriculation actuellement à votre dossier.

If this is not what you want or you are a fleet operator, please take your notice of owner address change to any driver and vehicle licence office. / Si vous désirez qu'il en soit autrement ou si vous exploitez un parc de véhicules, veuillez présenter l'avis de changement d'adresse du propriétaire à un bureau de l'immatriculation et des permis de conduire.

To change the address on your driver's licence, you must include your driver's licence change of address stub with this notice of owner address change. / Pour modifier l'adresse qui apparaît sur votre permis de conduire, vous devez présenter, avec cet avis le bilan de changement d'adresse du permis de conduire.

Take this change notice to any driver and vehicle licence office or mail to. / Veuillez présenter cet avis à un bureau de l'immatriculation et des permis de conduire ou envoyer-le au :

ServiceOntario  
P.O. Box 9200 / C.P. 9200  
Kingston ON, K7L 5K4.

**IMPORTANT**

Office Use Only / À l'usage du bureau

ID Viewed

ID Number  
**5813A48 TRL**

Name  
Third Party

Signature

For address change, detach here. / Pour changement d'adresse, détachez ici.

**Plate Owner Address Change Notice / Avis de changement d'adresse du propriétaire de la plaque**

Street name & No. or lot, conc & typ / N° et nom, ou lot conc. et carton

City, Town, Village / Ville ou Village

Prov.

Postal code / Code postal

Mailing address as above: if no, complete mailing address on reverse. / Adresse postale identique: si non, remplir l'espace au verso.

Name / Nom  
**ITC 24 OPEN DECK FREIGHT SYSTEMS INC**

Ontario  
TR1 - FIT  
PLATE PLAQUE  
ISSUED pursuant to the Highway Traffic Act / Délivré en vertu du Code de la route

PERMIT - VEHICLE PORTION / CERTIFICAT D'IMM. - VÉHICULE

BRAND - NONE  
VIN  
MARK 2012  
POWER  
COLOUR  
VEHIC NO. 07705  
VEHIC TYPE  
WEIGHT  
POIDS

PLATED  
RIN  
N° 1890385  
YEAR  
ANNÉE 2

NAME  
ITC 24 OPEN DECK FREIGHT SYSTEMS INC

ADDRESS  
7 PARKSIDE DR  
ST. CATHARINES, ONTARIO L2M0B2

OFFICE / BUREAU  
EFF. DATE / EN VIGUEUR  
PERMIT NO. / N° DE CERTIFICAT  
K7622793

17-8/01 19-08-09

Minister of Transportation / Ministre des Transports

Detach here / Détachez ici

Ontario  
TR1  
PLATE PLAQUE  
ISSUED pursuant to the Highway Traffic Act / Délivré en vertu du Code de la route

PERMIT - PLATE PORTION / CERTIFICAT D'IMM. - PLAQUE

ATTACHED  
N° 1890385  
MODEL  
EXPIRY DATE / DATE D'EXPIRATION  
REQ. GROSS WT. / POIDS BRUT CH.

VIN  
MARK 2012  
VALTAG NO.  
CODE  
NAME  
ITC 24 OPEN DECK FREIGHT SYSTEMS INC

ADDRESS  
7 PARKSIDE DR  
ST. CATHARINES, ONTARIO L2M0B2

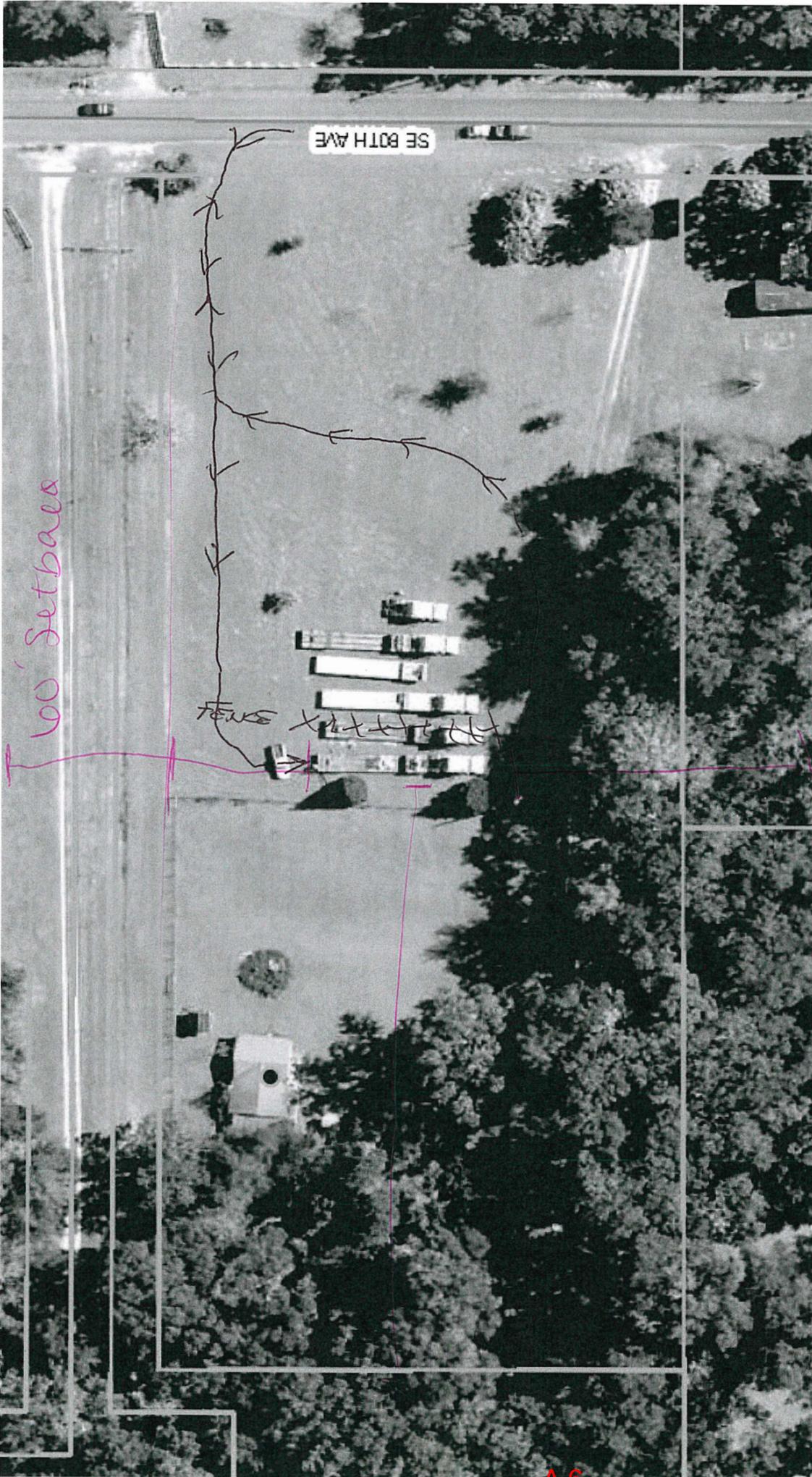
OFFICE / BUREAU  
EFF. DATE / EN VIGUEUR  
PERMIT NO. / N° DE CERTIFICAT  
K7622793

17-8/01 19-08-09

Minister of Transportation / Ministre des Transports

This plate portion must be signed by the owner to be valid. / Le certificat d'immatriculation-plaque doit être signé par le propriétaire pour être valide.

Ontario law requires that this permit or a true copy be carried in the vehicle for which it was issued while the vehicle is being operated on a highway. / Selon la loi ontarienne, ce certificat ou une copie conforme doit toujours être dans le véhicule pour lequel il a été délivré lorsque ce véhicule circule sur la voie publique.

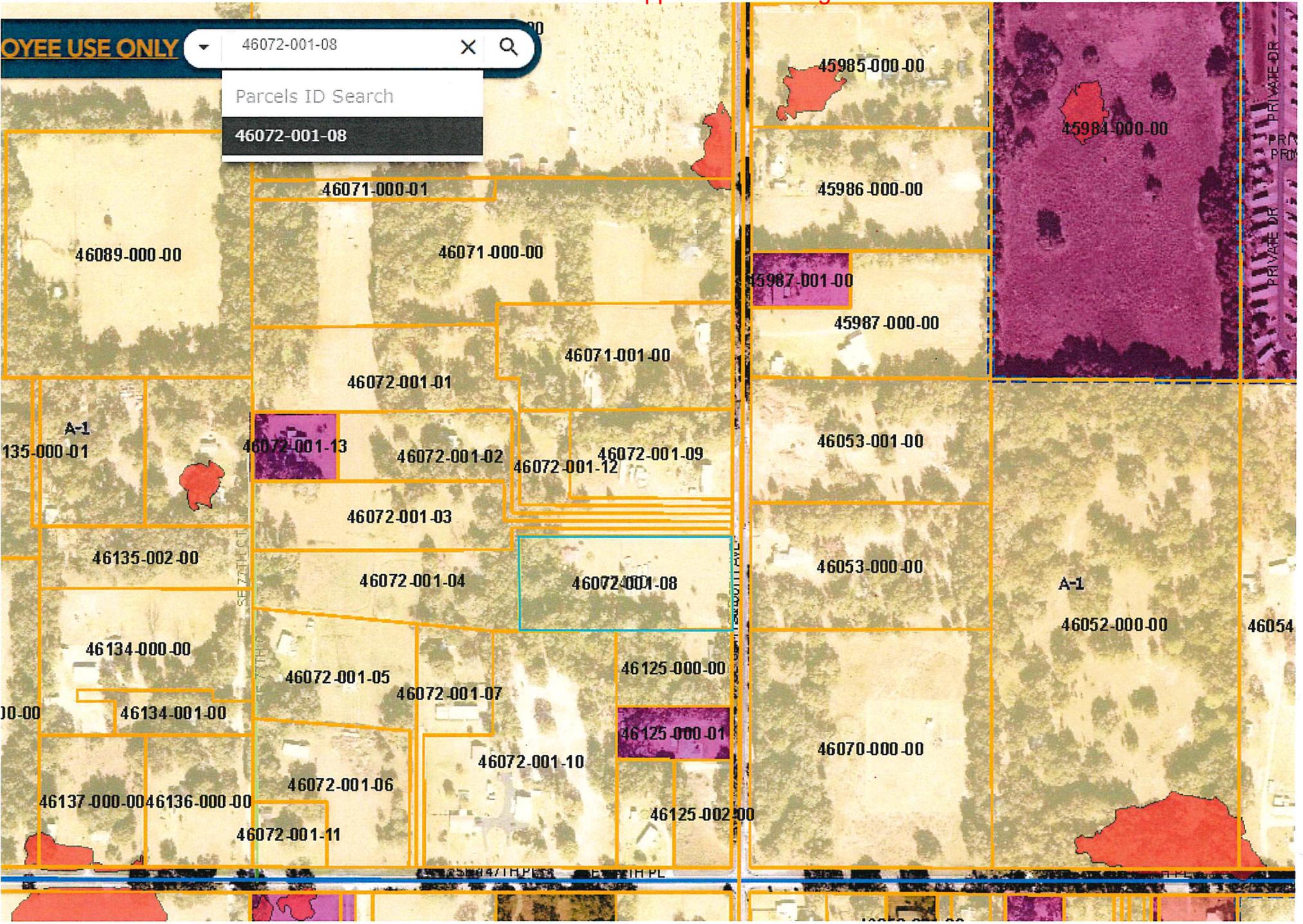


concept plan

BOYEE USE ONLY

46072-001-08 X Q

Parcels ID Search  
46072-001-08



Return to: (enclose self-addressed stamped envelope)

Name:

Address:

This Instrument Prepared by:

RECORD AND RETURN TO

Property Appraisers Parcel I.D. (Folio) Number(s):

46072-001-08

Granted(s) S.S.#(s):

WARRANTY DEED INDIVID. TO INDIVID

BK 1851 PG 0159

RAMCO FORM 01

rec 6.00  
b5 270.00  
at 110.72  
b5 386.72

STATE OF FLORIDA DOCUMENTARY STAMP TAX DEPT. OF REVENUE JUL 30 1992 110.72

STATE OF FLORIDA DOCUMENTARY STAMP TAX DEPT. OF REVENUE JUL 30 1992 270.00

SPACES ABOVE THIS LINE FOR PROCESSING DATA

This Warranty Deed Made the 30th day of July A. D. 1992 by Craig J. Charest, a married man, conveying non-homestead property

hereinafter called the grantor, to

Donna Sellers, a single woman and Tommy L. Grimes, a single man as tenants in common whose postoffice address is P.O. Box #808, Summerfield, Florida 34491

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and their heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, releases, conveys and confirms unto the grantee, all that certain land situate in Marion County, Florida, viz:

For a point of reference commence at the Northeast corner of SE 1/4 of Section 17, Township 17 South, Range 23 East, Marion County, Florida; thence N 89° 41' 11" West 25.00 feet to a point on the West right of way of a county road (50 ft R/W); thence along said right of way S 00° 01' 17" West 415.95 feet to the Point of Beginning; thence continue S 00° 01' 17" West 246.49 feet; thence departing from said County road, N 89° 41' 03" West 572.15 feet; thence N 00° 02' 24" East 246.50 feet; thence S 89° 41' 03" East 572.06 feet to the Point of Beginning.

Subject to Restrictions, easements, reservations and zoning regulations of record.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1991

TOGETHER WITH 1974 CRSN Mobile Home ID#12100862 RP#R565887 Subject to a mortgage in favor of Fleet Finance Inc. which the grantee hereby assumes and agrees to pay having an approximate balance of \$34,563.47

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Ellen Butler  
Mary Belf

Craig J. Charest  
5598 NW Wire Road  
Ocala, Florida 34470

STATE OF Florida  
COUNTY OF Marion

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared

92-050132  
BY S. J. [Signature]  
92 JUL 30 11 38 13

Jimmy H. Cowan, Jr., CFA  
**Marion County Property Appraiser**



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2025 Property Record Card

46072-001-08

[GOOGLE Street View](#)

Prime Key: 1854440

[MAP IT+](#)

Current as of 8/20/2025

Property Information

M.S.T.U.

PC: 08

Acres: 3.24

SELLERS DONNA  
 GRIMES TOMMY L  
 PO BOX 808  
 SUMMERFIELD FL 34492-0808

Taxes / Assessments:

Map ID: 238

Millage: 9001 - UNINCORPORATED

More Situs

Situs: 14612 SE 80TH AVE  
 SUMMERFIELD

2024 Certified Value

Land Just Value	\$64,152		
Buildings	\$48,867		
Miscellaneous	\$1,934		
Total Just Value	\$114,953		
Total Assessed Value	\$67,037	Impact	(\$47,916)
Exemptions	(\$42,037)	<u>Ex Codes:</u> 01 38	
Total Taxable	\$25,000		
School Taxable	\$42,037		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$64,152	\$48,867	\$1,934	\$114,953	\$67,037	\$42,037	\$25,000
2023	\$64,152	\$45,893	\$1,999	\$112,044	\$65,084	\$40,084	\$25,000
2022	\$64,152	\$39,776	\$2,098	\$106,026	\$63,188	\$38,188	\$25,000

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">1851/0159</a>	07/1992	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$45,000
<a href="#">1486/1934</a>	02/1988	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$39,500
<a href="#">1461/0940</a>	10/1987	07 WARRANTY	9 UNVERIFIED	U	I	\$32,000
<a href="#">1196/0433</a>	01/1984	07 WARRANTY	0	U	V	\$13,000

Property Description

SEC 17 TWP 17 RGE 23  
 COM AT NE COR OF SE 1/4 W 25 FT TO W ROW OF CTY RD  
 S 415.95 FT TO POB S 246.49 FT W 572.15 FT N 246.50 FT  
 E 572.06 FT TO POB AKA TRACT 8

Parent Parcel: 46072-001-00

Land Data - Warning: Verify Zoning

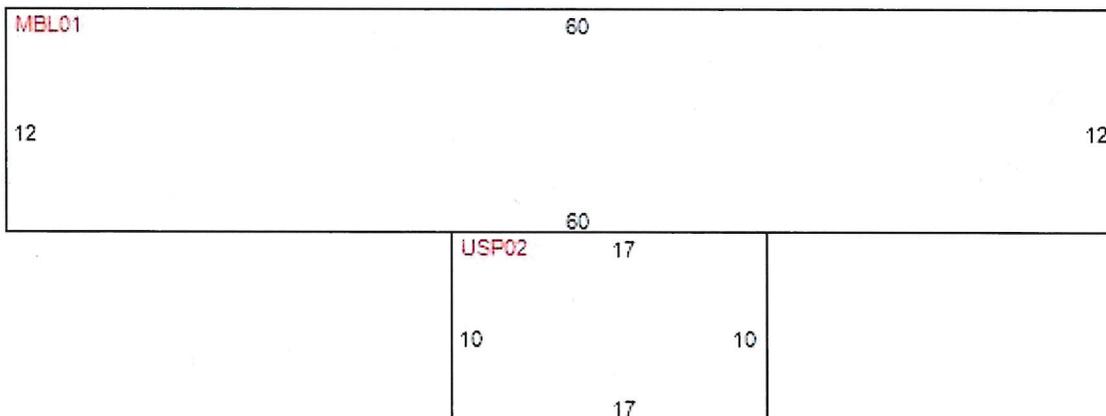
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		247.0	572.0	A1	3.24	AC						
9994		246.4	.0	A1	1.00	UT						

Neighborhood 9486  
Mkt: 10 70

Traverse

**Building 1 of 2**

MBL01=L60D12R60U12.D12L19  
USP02=D10L17U10R17.



Building Characteristics

**Improvement** MH - MOBILE - MOBILE HOME RESID  
**Effective Age** 9 - 40-99 YRS  
**Condition** 0

**Year Built** 1974  
**Physical Deterioration** 0%  
**Obsolescence: Functional** 0%

Quality Grade 100 - POOR  
 Inspected on 5/13/2025 by 181

Obsolescence: Locational 0%  
 Architecture 2 - MBL HOME  
 Base Perimeter 144

Type ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
MBL 0120	MH ALUM SIDING	1.00	1974	N	0 %	0 %	720	720
USP 0201	NO EXTERIOR	1.00	1993	N	0 %	0 %	170	170

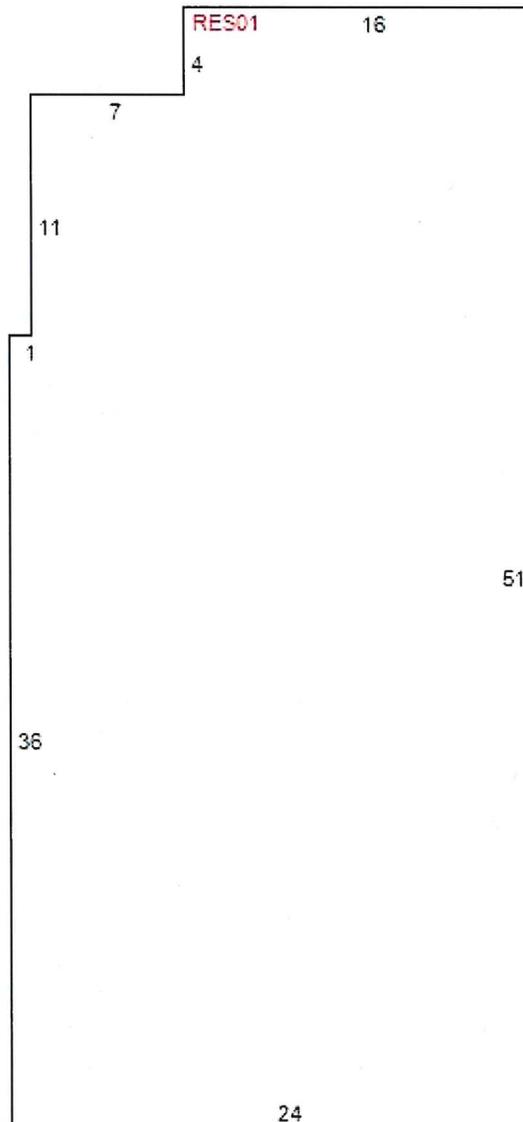
**Section: 1**

<b>Roof Style:</b> 02 FLAT WOOD STR	<b>Floor Finish:</b> 24 CARPET	<b>Bedrooms:</b> 3	<b>Blt-In Kitchen:</b> Y
<b>Roof Cover:</b> 17 KOOL SEAL/MTL	<b>Wall Finish:</b> 12 PLYWD PANELING	<b>4 Fixture Baths:</b> 0	<b>Dishwasher:</b> N
<b>Heat Meth 1:</b> 22 DUCTED FHA	<b>Heat Fuel 1:</b> 06 GAS	<b>3 Fixture Baths:</b> 2	<b>Garbage Disposal:</b> N
<b>Heat Meth 2:</b> 00	<b>Heat Fuel 2:</b> 00	<b>2 Fixture Baths:</b> 0	<b>Garbage Compactor:</b> N
<b>Foundation:</b> 3 PIER	<b>Fireplaces:</b> 0	<b>Extra Fixtures:</b> 2	<b>Intercom:</b> N
<b>A/C:</b> N			<b>Vacuum:</b> N

Traverse

**Building 2 of 2**

RES01=L24U36R1U11R7U4R16D51.



Building Characteristics

**Improvement** 1F - SFR- 01 FAMILY RESID  
**Effective Age** 7 - 30-34 YRS  
**Condition** 4  
**Quality Grade** 200 - LOW  
**Inspected on** 5/13/2025 by 181

**Year Built** 1980  
**Physical Deterioration** 0%  
**Obsolescence: Functional** 0%  
**Obsolescence: Locational** 0%  
**Architecture** 0 - STANDARD SFR  
**Base Perimeter** 150

Type	ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES	0134	- WD FRAME-STUCO	1.00	1980	N	0 %	0 %	1,181	1,181

**Section: 1**

<b>Roof Style:</b> 10 GABLE	<b>Floor Finish:</b> 24 CARPET	<b>Bedrooms:</b> 3	<b>Blt-In Kitchen:</b> Y
<b>Roof Cover:</b> 16 GALVANIZED MTL	<b>Wall Finish:</b> 16 DRYWALL-PAINT	<b>4 Fixture Baths:</b> 0	<b>Dishwasher:</b> N
<b>Heat Meth 1:</b> 22 DUCTED FHA	<b>Heat Fuel 1:</b> 06 GAS	<b>3 Fixture Baths:</b> 1	<b>Garbage Disposal:</b> N
<b>Heat Meth 2:</b> 00	<b>Heat Fuel 2:</b> 00	<b>2 Fixture Baths:</b> 0	<b>Garbage Compactor:</b> N
<b>Foundation:</b> 5 CONCRETE SLAB	<b>Fireplaces:</b> 0	<b>Extra Fixtures:</b> 2	<b>Intercom:</b> N
<b>A/C:</b> Y			<b>Vacuum:</b> N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
190 SEPTIC 1-5 BTH	1.00	UT	99	1984	2	0.0	0.0
256 WELL 1-5 BTH	1.00	UT	99	1984	2	0.0	0.0
190 SEPTIC 1-5 BTH	1.00	UT	99	1984	1	0.0	0.0
159 PAV CONCRETE	432.00	SF	20	1984	3	0.0	0.0
048 SHED OPEN	72.00	SF	15	2001	1	9.0	8.0
UDU UTILITY-UNFINS	192.00	SF	40	2001	1	16.0	12.0
UDU UTILITY-UNFINS	120.00	SF	40	2001	1	12.0	10.0

Appraiser Notes

2 UDU'S N/A

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
MC01313	4/1/1984	12/1/1984	SHED

**Madeloni, Elizabeth**

**From:** Thomas Grimes <katmandutlg@gmail.com>  
**Sent:** Thursday, August 21, 2025 11:52 AM  
**To:** Madeloni, Elizabeth  
**Subject:** Re: CamScanner 08-21-2025 11.28.pdf

**CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER**

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Yes, Elizabeth, I was told if I applied for more than one, it lowers my chances of getting approved

On Thu, Aug 21, 2025, 11:49 Madeloni, Elizabeth <Elizabeth.Madeloni@marionfl.org> wrote:

Thomas, is it just one Semi-Truck and Trailer?



**Elizabeth Madeloni**  
*Development Review Coordinator*  
Growth Services

Marion County Board of County Commissioners  
2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Main: 352-438-2675 | Direct: 352-438-2683

*Empowering Marion for Success!*

Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

**From:** Thomas Grimes <katmandutlg@gmail.com>  
**Sent:** Thursday, August 21, 2025 11:40 AM  
**To:** Madeloni, Elizabeth <Elizabeth.Madeloni@marionfl.org>  
**Subject:** CamScanner 08-21-2025 11.28.pdf

**CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER**

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

## Attachment B Site Photos



1. Facing west from driveway



2. Facing north, proposed parking



3. facing south from proposed parking, extensive vegetation



4. Facing east towards SE 80th Ave.



5. Facing south, natural buffering



6. Facing southwest from proposed parking

## Attachment B Site Photos



7. Facing south from proposed parking



8. Facing northwest from proposed parking



9. Facing northeast from proposed parking onto SE 80th Ave.



10. Facing east from proposed parking onto SE 80th St.



11. Facing west from driveway



12. Facing north of proposed parking spots

Attachment B Site Photos



13. Southern buffering.



14. Facing east from driveway



15. Proof of sign posting



16. Proof of sign posting



17. Facing south onto SE 80th Ave.



18. Facing south down SE 80th Ave.

## Attachment B Site Photos



19. Facing south from driveway



20. Depicting driveway state.



21. Facing north from driveway



22. Proof of sign posting.



23. Facing west from SE 80th Ave. towards proposed parking area



24. Facing east across SE 80th Ave.

## Attachment B Site Photos



25. Facing north from driveway of subject property



26. Facing northwest towards proposed parking area

# Development Review Comments Letter

9/5/2025 9:44:28 AM

**TOMMY GRIMES**  
**ZO SUP #33249**

**ATTACHMENT C**

ID	DESCRIPTION	REMARK	STATUS	DEPT
1	Special Use Permit	N/A	INFO	911
2	Special Use Permit	Stormwater is not opposed to the special use permit. The applicant is requesting a SUP for the purpose of having a truck and trailer. Parcel # 46072-001-08 is currently zoned A-1 and is 3.24 acres in size. There are no FEMA Flood Zones or County Flood Prone Areas on this site. Per the MCPA, this site currently has 2,887 SF of impervious coverage. This site will be subject to a Major Site Plan or waiver when its existing and proposed impervious coverage exceeds 9,000 SF.	INFO	ENGDRN
3	Special Use Permit	CONDITIONAL APPROVAL - This parcel is located on SE 80th Avenue which is a Major Local roadway. There is currently a single unpaved driveway providing access to the parcel. The Special Use Permit shall limit the parcel to a single driveway. That driveway shall be paved to meet County commercial driveway standards. If driveway may be relocated from its current location, if so the existing driveway must be removed and the right-of-way must be restored by sodding the disturbed areas.	INFO	ENGTRF
4	Special Use Permit	Approved	INFO	FRMSH
5	Special Use Permit	Provide screening along SE 80th	INFO	LSCAPE
6	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	LUCURR
7	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	ZONE



# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21227

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.1.2.

---

**SUBJECT:**

**251106SU - Young Life, Special Use Permit Modification to Special Use Permit SUP 210110SU-B / RESO 21-R-083 to Add New Maintenance Building and Access (for Existing Recreation Camp Facility; Conversion of Farm Structure), in a General Agriculture (A-1) Zone, 8.80 Acre Parcel, Parcel Account Number 40263-001-00, Site Addresses 9596, 9600 SE 183<sup>rd</sup> Avenue Road, and 18285 NE 95<sup>th</sup> Street Road, Ocklawaha, FL 32179**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Brian Tofflemire, on behalf of Young Life, Inc., filed an application for Modification to Special Use Permit (SUP) number 210110SU-B / Resolution 21-R-083 to add a new maintenance building and access for the existing Young Life Southwind recreation camp facility by converting an existing ag/farm structure on ±8.8 acres with a zoning of General Agriculture (A-1). The property is located outside the Urban Growth Boundary (UGB), within the Countywide Secondary Springs Protection Zone (S-SPOZ), and includes an Environmentally Sensitive Zone (ESOZ) that is a northern extension of the Ocklawaha River ESOZ area to the south. The site currently includes the existing Young Life Southwind Camp wastewater treatment plant facility.

The Planning and Zoning Commission, on motion by Commissioner Behar, seconded by Commissioner Bonner, voted to agree with staff's findings and recommendation of approval with conditions for the application request on the consent agenda with a vote of 4-0.

**BUDGET/IMPACT:**

None.

**RECOMMENDED ACTION:**

Staff recommends approval with conditions. Planning and Zoning Commission recommends approval with conditions.



**Marion County  
Board of County Commissioners**

**Growth Services**

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

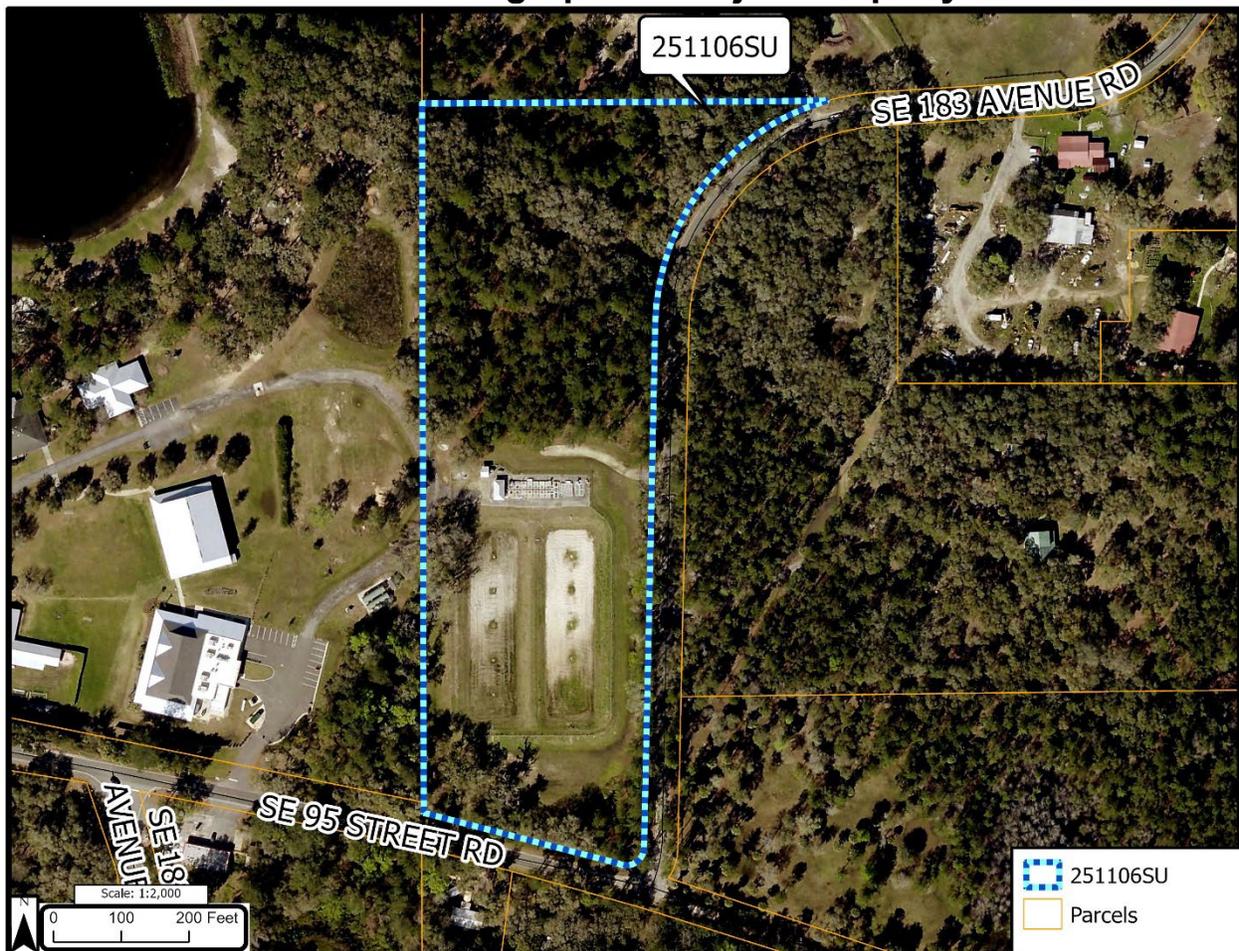
**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>Hearing Dates</b>	<b>P&amp;Z: 10/27/2025</b>	<b>BCC: 11/17/2025</b>
<b>Case Number</b>	251106SU	
<b>CDP-AR</b>	33284	
<b>Type of Case – Special Use Permit (SUP)</b>	Modification to Special Use Permit 210110SU-B / Resolution 21-R-083 to add new maintenance building and access (for existing recreation camp facility; conversion of farm structure) in a General Agriculture (A-1) zone.	
<b>Owner</b>	Young Life, Inc.	
<b>Applicant</b>	Brian Tofflemire	
<b>Street Address</b>	9596 SE 183 <sup>rd</sup> Ave Rd, Ocklawaha, FL 32179	
<b>Parcel Number</b>	40263-001-00	
<b>Property Size</b>	±8.8 acres	
<b>Future Land Use</b>	Rural Land	
<b>Zoning Classification</b>	General Agriculture (A-1)	
<b>Overlay Zone / Scenic Area</b>	Outside Urban Growth Boundary (UGB), In Countywide Secondary Springs Protection Overlay Zone (SSPOZ), In Environmentally Sensitive Overlay Zone (ESOZ)	
<b>Staff Recommendation</b>	<b>Approval with Conditions</b>	
<b>P&amp;ZC Recommendation</b>	<b>Approval with Conditions (ON CONSENT)</b>	
<b>Project Planner</b>	Christopher D. Rison, Senior Planner, AICP, FRA-P	
<b>Related Case(s)</b>	20160205SU / 16-R-084 (Camp-wide SUP, remains in effect) 20191008SU / 19-R-438 (Initial/1 <sup>st</sup> WWTP SUP, replaced by 2 <sup>nd</sup> ) 20210110SU-B / 21-R-083 (2 <sup>nd</sup> WWTP SUP)	

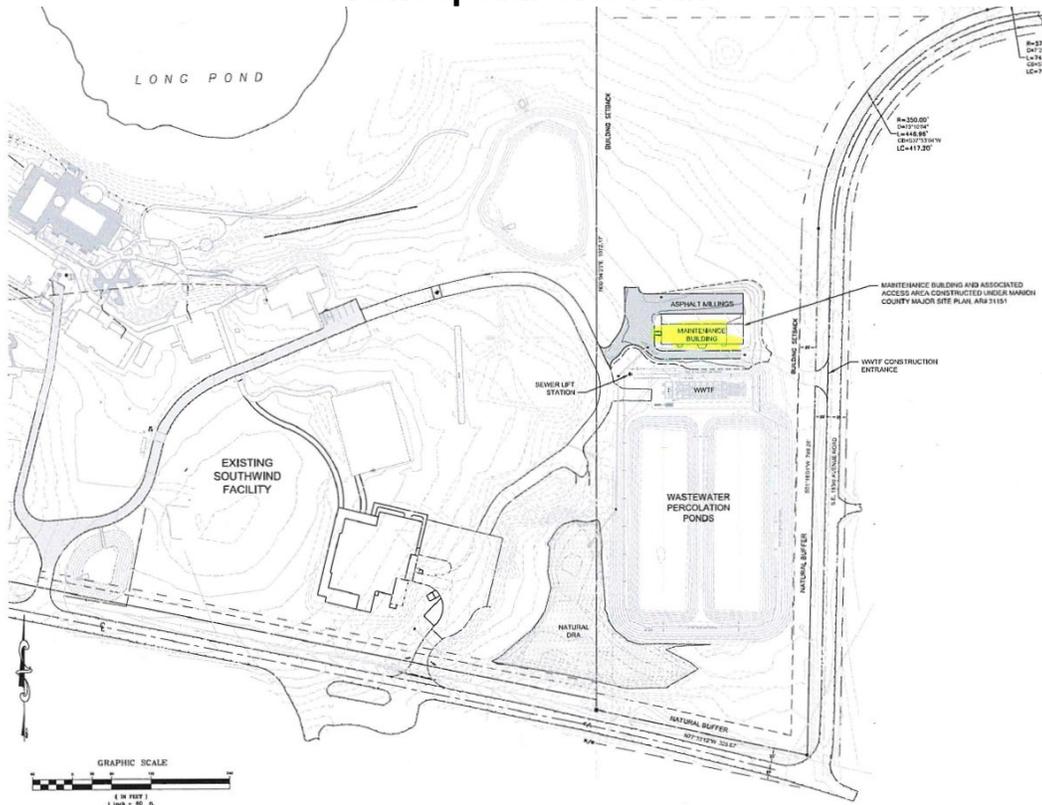
## I. ITEM SUMMARY

Brian Tofflemire, on behalf of Young Life, Inc., filed an application for Modification to Special Use Permit (SUP) number 210110SU-B / Resolution 21-R-083 to add a new maintenance building and access for the existing Young Life Southwind recreation camp facility by converting an existing ag/farm structure on ±8.8 acres with a zoning of General Agriculture (A-1). Figure 1 is an aerial photograph showing the general location of the subject property and Figure 2 shows the proposed concept plan, while Figure 3 shows the proposed buildout of the new maintenance building. The Parcel Identification Number associated with the property is 40263-001-00 and the street address is 9596 SE 183<sup>rd</sup> Avenue Road, Ocklawaha, FL 32179. The property is one of multiple parcels that form the overall Young Life Inc. Southwind Camp complex located in southeastern Marion County. The site currently includes the existing Young Life Southwind Camp wastewater treatment plant facility. The property is located outside the Urban Growth Boundary (UGB), within the Countywide Secondary Springs Protection Zone (S-SPOZ), and includes an Environmentally Sensitive Zone (ESOZ) that is a northern extension of the Ocklawaha River ESOZ area to the south. The legal descriptions are included in Attachment A.

**Figure 1**  
**Aerial Photograph of Subject Property**



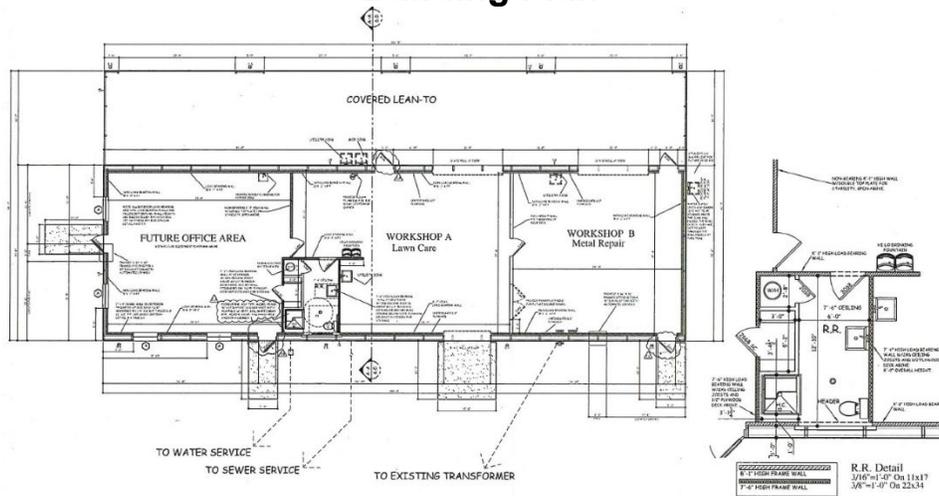
**Figure 2  
Conceptual Site Plan**



**Figure 3  
ESOZ PLAN**



**Figure 4  
Building Plan**



**II. STAFF SUMMARY RECOMMENDATION**

Staff recommends **APPROVAL WITH CONDITIONS** following the analysis provided within this staff report. If approved, staff recommends the conditions specified in Section VII.B. of this Staff Report. The recommended conditions are being imposed to address compliance with the requirements in Land Development Code (LDC) Sections 2.8.2.D, 2.8.3.B, and 4.2.2 & 3.

**III. NOTICE OF PUBLIC HEARING**

“Due Public Notice” of the public hearing was provided pursuant to LDC Section 2.8.3.D, as listed in following Table A. As of the issuance of this report, no letters expressing opposition or support have been received.

<b>TABLE A. PUBLIC NOTICE SUMMARY</b>			
<b>METHOD</b>	<b>FORMAT</b>	<b>DATE</b>	<b>LDC Section(s)</b>
Newspaper Legal Notice	Display Ad	Ad Run: 10/13/2025	Division 1.4 and Section 2.8.3.D.
Sign	Special Use Permit	Posted: 10/7/2025	Division 1.4 and Section 2.8.3.D.
300-foot Mail Notice	SPO Letter 8 - owners	Mailed: 10/10/2025	Division 1.4 and Section 2.8.3.D.

#### IV. BACKGROUND/CHARACTER OF THE AREA

A. *FLUMS designation.* Figure 5 provides the Future Land Use Map Series (FLUMS) that shows the site’s future land use designation is Rural Land (RL) that allows for agricultural, recreational, and residential uses up to a maximum development density of one dwelling unit per 10 acres. This is the property’s initial land use designation; the main body of the historic camp to the west is a qualified pre-existing use under Comprehensive Plan Future Land Use Element (FLUE) Policy 10.1.5.

**Figure 5  
FLUMS Designations**



B. *Zoning district map.* Figure 6 shows the subject property is classified as General Agriculture (A-1). Staff notes, the site, along with other commonly owned properties to the west, have been the historic and continuing location of the Young Life Southwind recreational camp; the main body of the historic camp is a qualified pre-existing use under FLUE Policy 10.1.5.

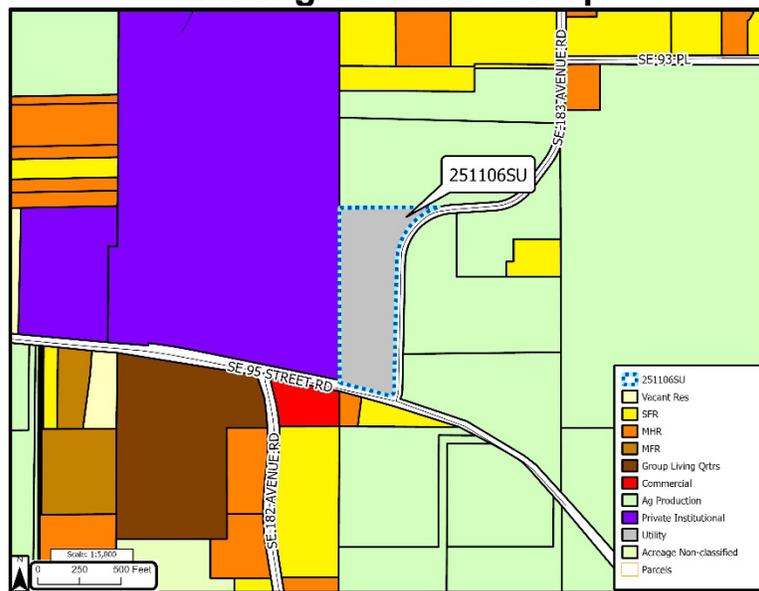
**Figure 6  
Zoning Classification**



C. *Existing site conditions.* PID 40263-001-00 currently includes the Young Life Southwind Camp’s wastewater treatment plant consistent with the approved 2021 SUP in effect for the site. The parcel also includes a large structure permitted as an ag/farm building for limited use in maintaining the site and overall camp’s grounds. The application proposes conversion of the structure into a formal maintenance building, fulfilling its current duties and expanding its use in providing supporting camp facility maintenance. A previous temporary construction driveway is also proposed as an additional entrance, to enable deliveries directly to the proposed maintenance building. Traffic Engineering has not objected to the added access, noting that primary access for the facility is expected to be from/through the camp to the west (see Attachment B).

Figure 7 shows the site is surrounded by agricultural properties, single-family residences, manufactured home residences, some “multiple-family” residences (usually a residence and family/guest unit), and the institutional use of the existing camp facilities to the west. The surrounding uses have not changed significantly since the historic SUP’s consideration.

**Figure 7**  
**Existing Conditions Map**



## V. ANALYSIS

LDC Section 2.8.2.D provides that in making a recommendation to the Board, the Planning and Zoning Commission shall make a written finding the SUP addresses nine (9) specific requirements. LDC Section 2.8.3.B requires consistency with the Comprehensive Plan. Staff's analysis of compliance with these ten (10) requirements are addressed below.

### A. *Consistency with the Comprehensive Plan.*

1. Policy 2.1.5: **Permitted & Special Uses** – The county shall identify permitted and special uses for each land use designation and zoning classification, as further defined in the Comprehensive Plan, Zoning, and LDC.

**Analysis:** The subject property is zoned A-1. Under LDC Section 4.2.3, public parks may be considered by SUP. Additionally, as noted, the site functions as part of the recognized Southwind Camp under FLUE 10.1.5, wherein one site use is the wastewater treatment facility supporting the camp and the proposed use is a maintenance building to also support the camp. The original SUP enabled a walking trail on the portion of the site north of the proposed maintenance building; while not indicated on the concept plan, staff anticipates that activity will continue and does not object to that continuation.

Based on these findings, the requested special use permit is inconsistent with the Comprehensive Plan.

### B. *Provision for **ingress and egress** to property and proposed structures thereon with reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Analysis:** Private vehicular access to the site is currently provided via driveways extending from existing camp to the west. A prior construction driveway is proposed as added access to SE 183<sup>rd</sup> Avenue Road. Staff does not object to the added access subject to compliance with the LDC including County Engineer approval which is recommended as the following condition:

- *Ingress/egress shall be via SE 95<sup>th</sup> Street Road via the existing driveway entrances through the existing main camp to the west, or by SE 183<sup>rd</sup> Avenue Road, subject to review and approval by the County Engineer.*

### C. *Provision for **off-street parking and loading areas**, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.*

**Analysis:** Parking is currently provided on-site for the subject and adjoining camp parcel and will continue in that form. The added access will enable treatment plant and maintenance building deliveries to be brought directly to the facilities rather

than through the camp's grounds where young patrons may be present. As noted above, staff have no objection to the added access subject to the previously noted condition.

- D. *Provisions for **refuse and service area**, with particular reference to the items in (1) and (2) above.*

**Analysis:** The Applicant states that refuse will continue to be centrally collected by the camp with its current adjoining facilities.

- E. *Provision for **utilities**, with reference to locations, availability, and compatibility.*

**Analysis:** The proposed maintenance building is currently served by supporting utilities, including the on-site facilities serving the camp. No changes in those services are proposed.

- F. *Provision for **screening and buffering** of dissimilar uses and of adjacent properties where necessary.*

**Analysis:** The Applicant notes screening and buffering is provided for the site, and will be maintained, except for the opening for the formal driveway. Staff notes natural vegetation was essentially preserved to form the buffers along SE 95<sup>th</sup> Street Road and SE 183<sup>rd</sup> Avenue Road. No additional buffers/screening are recommended.

- G. *Provision for **signs**, if any, **and exterior lighting** with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.*

**Analysis:** The Applicant notes minimal exterior lighting is installed at each of the existing building to become the camp maintenance building. No signs are proposed, except for an existing information sign posted on the SE 183<sup>rd</sup> Avenue Road gate. The LDC Section 4.2.2.C(3) does provide that lighting shall not cast direct light on adjacent properties, and no deviation from the standard is requested.

- H. *Provision for **required yards and other green space**.*

**Analysis:** The existing structure is setback in excess of 25' from the site's property line share with SE 183<sup>rd</sup> Avenue Road, in full compliance with the setback requirements of General Agriculture (A-1) zoning.

- I. *Provision for general **compatibility** with adjacent properties and other properties in the surrounding area.*

**Analysis:** Compatibility is defined as a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition. Figures 2, 3 and 7 shows the site's existing and proposed uses and the existing uses on the surrounding properties. The proposed

maintenance building is in place and is constructed in a form similar to other agricultural structures found on various farms. The structure is currently used for the camp's ground maintenance activities equipment as an ag/farm structure, and the expanded use options are not expected to significantly modify the operational characteristics of the site. Staff notes that should concerns arise, the site will be subject to the County's Noise and Vibration Control Ordinance.

J. *Provision for meeting any **special requirements** required by the site analysis for the particular use involved.*

**Analysis:** Staff notes that use of the site is proposed in support of the adjoining historic Young Life Southwind Camp, and the current SUP (20160205SU / 16-R-084) conditions linking the site with the camp, and the renewal and expiration provisions are proposed to remain unchanged. Staff notes the site's wastewater treatment plant (WWTP) represents a significant investment and the WWTP is subject to permitting and monitoring through the Florida Department of Environmental Protection (FDEP). Conditions related to the installation and operation of the WWTP were initially established by the SUP; however, as the facility is subject to FDEP jurisdiction and permitting and the site is not in a Primary Springs Protection Overlay Zone (P-SPOZ) or Basin Management Action Plan (BMAP) area, both Growth Services and Utility Department staff support deletion of prior conditions #4 and #5 as identified in struck-through italics below. As such, staff recommend the following conditions:

- The site shall be developed and operated for a wastewater treatment plant (WWTP) and camp maintenance building, consistent with the attached plan set (Concept Plan, ESOZ Plan, and camp maintenance building plan; further, a, and nature walking trail may be provided north of the maintenance building consistent with the historic conceptual plan of record submitted for Special Use Permit No. 20191008SU, Resolution No. 19-R-438.
- In lieu of a minor site plan for the WWTP, an Environmentally Sensitive Overlay Zone Plan must be submitted and maintained. This may occur in conjunction with the building permits for the facility.
- ~~The owner/operator shall coordinate with Marion County Utilities to determine whether a plan for long-term operation and maintenance is required. Such determination must be provided in writing within 120 days of approval of the SUP.~~
- ~~Quarterly water quality sampling will be required, and results shall be submitted to the Growth Services Department.~~
- Expansion or modification of the type, size or location of any of the proposed uses/operations beyond those indicated in the application materials or shown on the conceptual plan or ESOZ site plan is prohibited; however, a new Special Use Permit application may be submitted for consideration to expand the uses/operations. This prohibition does not apply to use of the site for other uses permitted by the site's A-1 (General Agriculture) zoning such as agricultural structures (e.g., horse barns), subject to compliance with the Land Development Code (LDC), but ensuring all other conditions of this Special Use Permit continue to be satisfied for their respective use(s).
- **This Special Use Permit shall run with the owner (Young Life, Inc. a Florida Corporation)** and not the property. In the event the property is sold, the Special Use Permit shall terminate. A Special Use Permit Application for consideration to reassign, renew/extend and/or modify this Special Use Permit may be

submitted in the future, subject to then review and approval considerations as provided in the Marion County Land Development Code.

- The Special Use Permit shall **expire on January 15, 2031**; however, it may be renewed administratively up to three times, for up to **10 years each for a maximum total of 40 years**, by a written instrument signed and issued by the Growth Services Director (or position equivalent to the Growth Services Director at that time), unless:
  - a. There have been unresolved violations of the County Land Development Code, the County Code of Ordinances, and/or the conditions of the Permit,
  - b. Neighboring property owners within 300' of the subject property have complained to the County Code Enforcement, Zoning, or equivalent/similar Departments/Divisions about the uses of the subject property by this Permit, or
  - c. The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).
- Special Use Permit 210110SU-B, Resolution Number 21-R-083 is hereby repealed and replaced by this Special Use Permit.

Based on the above findings, Staff concludes the requested SUP is **consistent** with FLUE Policy 2.3.21 and recommends **APPROVAL with Conditions** to ensure the requested SUP complies with LDC Sections 2.8.2.D and 2.8.3.B.

## VI. ALTERNATIVE ACTIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation with findings to the Board of County Commissioners to **DENY** the proposed special use permit application.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance and act to **TABLE OR CONTINUE** the application for up to two months in order to provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.
- C. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to the Board of County Commissioners to **APPROVE WITH CONDITIONS** the special use permit application.
- D. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, amend the findings and conclusions contained herein so as to support the approval of the Ordinance with amended conditions and make a recommendation to the Board of County Commissioners to adopt a proposed Ordinance to **APPROVE WITH AMENDED CONDITIONS** the special use permit application.

## VII. STAFF RECOMMENDATION

- A. Staff recommends the Planning and Zoning Commission enter into the record the Staff Report and all other competent substantial evidence presented at the hearing and make a recommendation to the Board of County Commissioners to recommend **APPROVAL with Conditions** for the SUP.
- B. Staff recommends the following updated and revised SUP conditions to replace prior SUP 210112SU-B/Resolution 21-R-083 to ensure the requested SUP Modification complies with LDC Section 2.8.2.D and 2.8.3.B, as follows:
1. The site shall be developed and operated for a wastewater treatment plant (WWTP) and camp maintenance building, consistent with the attached plan set (Concept Plan, ESOZ Plan, and camp maintenance building plan; further, a, ~~and~~ nature walking trail may be provided north of the maintenance building consistent with the historic conceptual plan of record submitted for Special Use Permit No. 20191008SU, Resolution No. 19-R-438.
  2. Ingress/egress shall be via SE 95<sup>th</sup> Street Road via the existing driveway entrances through the existing main camp to the west, or by SE 183<sup>rd</sup> Avenue Road, subject to review and approval by the County Engineer.
  3. In lieu of a minor site plan for the WWTP, an Environmentally Sensitive Overlay Zone Plan must be submitted and maintained. This may occur in conjunction with the building permits for the facility.
  4. Expansion or modification of the type, size or location of any of the proposed uses/operations beyond those indicated in the application materials or shown on the conceptual plan or ESOZ site plan is prohibited; however, a new Special Use Permit application may be submitted for consideration to expand the uses/operations. This prohibition does not apply to use of the site for other uses permitted by the site's A-1 (General Agriculture) zoning such as agricultural structures (e.g., horse barns), subject to compliance with the Land Development Code (LDC), but ensuring all other conditions of this Special Use Permit continue to be satisfied for their respective use(s).
  5. **This Special Use Permit shall run with the owner (Young Life, Inc. a Florida Corporation)** and not the property. In the event the property is sold, the Special Use Permit shall terminate. A Special Use Permit Application for consideration to reassign, renew/extend and/or modify this Special Use Permit may be submitted in the future, subject to then review and approval considerations as provided in the Marion County Land Development Code.
  6. The Special Use Permit shall **expire on January 15, 2031**; however, it may be renewed administratively up to three times, for up to **10 years each for a maximum total of 40 years**, by a written instrument signed and issued by the Growth Services Director (or position equivalent to the Growth Services Director at that time), unless:
    - a. There have been unresolved violations of the County Land Development Code, the County Code of Ordinances, and/or the conditions of the Permit,
    - b. Neighboring property owners within 300' of the subject property have complained to the County Code Enforcement, Zoning, or equivalent/similar Departments/Divisions about the uses of the subject property by this Permit, or
    - c. The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).
  7. Special Use Permit 210110SU-B, Resolution Number 21-R-083 is hereby repealed and replaced by this Special Use Permit.

## **VIII. PLANNING AND ZONING COMMISSION RECOMMENDATION**

The Planning and Zoning Commission, on motion by Commissioner Behar, second by Commissioner Bonner, voted to agree with staff's findings and recommendation of approval with conditions for the application request on the consent agenda with a vote of 4-0.

## **IX. BOARD OF COUNTY COMMISSIONERS' ACTION**

TBD

## **X. LIST OF ATTACHMENTS**

- A. SUP Application
- B. SUP Conceptual / ESOZ Plan with Building Plan
- C. SUP 210110SU-B, Resolution No. 21-R-083
- D. SUP 191008SU, Resolution No. 19-R-438
- E. DRC Comments
- F. Photo Set



Marion County  
Board of County Commissioners

Growth Services ♦ Planning & Zoning

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

APPLICATION COMPLETE  
DATE COMPLETED 8/25/25  
INITIALS EM  
TENTATIVE MEETING DATES  
P&Z PH 10/27/25  
BCC/P&Z PH 11/17 or 11/18/25

**SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000**

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of:

Updating the existing SUP 210110SU-B to show the location of the new maintenance building and to request the addition of habitable space within the maintenance building. See attached "Request to Update." The SUP renewal date will remain unchanged.

**Legal Description:** (Please attach a copy of the deed and location map.) **Parcel Zoning:** A-1

**Parcel account number(s):** 40263-001-00

**Property dimensions:** See attached SUP Conceptual Plan **Total acreage:** 8.8 ac

**Directions:** The site is on the north and south sides of SE 95th Street Road immediately at and east of, SE 182nd Avenue Road.

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. **Please print all information, except for the Owner and Applicant/Agent signature.**

**Property Owner name (please print)**  
Young Life, a Texas non-Profit Corporation

**Applicant or agent name (please print)**  
Brian Tofflemire

**Mailing Address**  
18115 SE 95th Street Rd

**Mailing Address**  
301 14th Street

**City, State, Zip code**  
Ocklawaha, FL 32179

**City, State, Zip code**  
Buffalo, NY 14213

**Phone number (include area code)**  
352-288-2500

**Phone number (include area code)**  
716-331-0712

**E-mail address**  
jzillner@sw.younglife.org

**E-mail address**  
btofflemire@sc.younglife.org

**Signature**

**Signature**

**PLEASE NOTE:** A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or **denied**. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

STAFF/OFFICE USE ONLY				
Project No.: <u>2002 08 0001</u>	Code Case No.: <u>          </u>	Application No.: <u>33284</u>		
Rev'd by: <u>EM</u>	Rev'd Date: <u>8/25/25</u>	FLUM: <u>RL</u>	Zoning Map No.: <u>349</u>	Rev: 07/1/2019



### Finds & Facts - Request to Update SUP 210110SU-B – Young Life, Inc.-Southwind

- A. To continue to meet the needs of the camp, the existing maintenance building has been demolished, and a new maintenance building was permitted and constructed on parcel 40263-001-00. Southwind is requesting an update to SUP 210110SU-B to show the location of the new maintenance building and to request the addition of habitable space (build three offices and a kitchenette) within the new building.
- B. Fee – See attached
- C. Conceptual Plan – See attached
  - 1) See attached civil plan C005A for screening and buffering that is installed along the west side of the parcel, blocking the view from SE 183<sup>rd</sup> Avenue Road.
  - 2) See attached civil plan C003 for location of utilities. The camp's water, sewer and storm are self-contained. They are not connected to the local utilities. A new transformer was installed.
- D. Description of facts & findings
  - 1) See attached civil plans. The existing ingress and egress to the property will be maintained. No additional staff are being hired. Therefore, there will be no change to the traffic demands.
  - 2) No off-street parking will be utilized for the maintenance building.
  - 3) Refuse will continue to be centrally collected by the camp.
  - 4) See the attached civil plan C003 for location of utilities. The camp's water, sewer and storm are self-contained. They are not connected to the local utilities. A new transformer was installed.
  - 5) See attached civil plan C005A for screening and buffering that is installed along the west side of the parcel, blocking the view from SE 183<sup>rd</sup> Avenue Road.
  - 6) Minimal exterior lighting is installed at each door for safe egress.
  - 7) Trees and overgrowth were removed to make way for the new building and access road. Vegetation and green space outside the immediate work area was left undisturbed.
  - 8) The building is used to store and service equipment and tools for the maintenance of the existing camp. This fits within the agricultural zone of the adjacent properties. Adding offices to the building will allow for better oversight of this work. The building was painted green to minimize its visual impact.
  - 9) An updated Environmentally Sensitive Overlay Zone plane is included with this application.

---

#### Southwind Camp

Letter of Authorization  
(to Agencies Named below)

Marion County  
Growth Services Department  
Office of the County Engineer

St. Johns River Water Mgt. District (SJRWMD)  
Environmental Resource Regulation

Florida Department of Environmental Protection (FDEP)

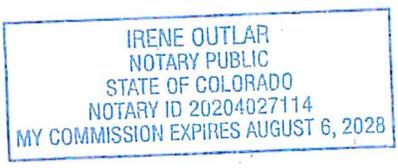
Project: YOUNG LIFE SOUTHWIND  
Location: 18115 S.E. 95<sup>th</sup> Street Road  
Ocklawaha, Florida  
County: Marion

We hereby designate and authorize Josh Zillner to act on our behalf in the processing of permit applications and/or proprietary authorizations and to furnish, on request, supplemental information in support of permitting/application processes. In addition, we authorize Josh Zillner to bind us to perform any requirement which may be necessary to procure permit authorizations.

By   
\_\_\_\_\_  
Paul Sherrill  
Young Life

STATE OF COLORADO  
COUNTY OF EL PASO

The foregoing instrument was acknowledged before me on this 21 day of April, 2025, by Paul Sherrill as Secretary/Vice President of YOUNG LIFE on behalf of the company.



  
\_\_\_\_\_  
Notary Public, State of Colorado  
Name: Irene Outlar  
(Please print or type)  
Commission Number: 20204027114  
Commission Expires: Aug 06, 2028

Notary: Check one of the following:  
 Personally known OR  Produced \_\_\_\_\_ as identification



8/19/2025, 11:56:33 AM

Marion County

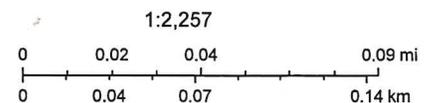
Parcels

Aerial 2024

Red: Band\_1

Green: Band\_2

Blue: Band\_3



Marion County Property Appraiser, Marion County BOCC

Marion County Board of County Commissioners

This map is provided "as is" without any warranty or representation of accuracy, timeliness, completeness, merchantability, or fitness. The user is responsible for verifying any information and assumes all risk for reliance

Prepared by: \* R-1850  
Jennifer Brock DS-58450  
Affiliated Title of Central Florida, Ltd.  
2701 SE Maricamp Road, Suite 101  
Ocala, Florida 34471

DAVID R ELLSPERMANN CLERK OF COURT MARION COUNTY  
DATE: 06/10/2013 02:48:00 PM  
FILE #: 2013058906 OR BK 05873 PGS 1879-1880  
REC 18.50 DEED DS 584.50 VF

File Number: 13-639

Record and Return to:  
Affiliated Title  
2701 SE Maricamp Road #1  
Ocala, FL 34471

General Warranty Deed

Made this June 7, 2013 A.D. By Jeffrey L. Furr and Jerome Furr, hereinafter called the grantors, to Young Life, a Texas non-profit corporation, whose address is: 420 N Cascade Avenue, Colorado Springs, CO 80903, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Marion County, Florida, viz:

ALL THAT PORTION OF NE 1/4 OF SW 1/4 LYING WEST OF THE COUNTY ROAD THAT RUNS IN A NORTHEAST-SOUTHWEST DIRECTION, ACROSS SAID NE 1/4 OF SW 1/4 AND NORTH OF THE COUNTY ROAD THAT RUNS IN A NORTHWEST-SOUTHEAST DIRECTION, OF SECTION 19, TOWNSHIP 16 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA.

Subject to covenants, restrictions and easements of record (if any) which are not by this reference reimposed.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2012.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Amber Rochefort  
Witness 1 Sign: Amber Rochefort

A  
Witness 1 Print:

Donna Scott  
Witness 2 Sign: Donna Scott

Witness 2 Print:

State of Florida  
County of Bay

Jeffrey L. Furr  
Jeffrey L. Furr  
address: 2007 Marvin Avenue  
Port St. Joe, FL 32456

The foregoing instrument was acknowledged before me this 4 day of June, 2013, by Jeffrey L. Furr who is/are personally known to me or who has produced driver's license as identification.

NOTARY SEAL



Donna Scott  
Notary Public  
Print Name: Donna Scott  
My Commission Expires: 6-17-2014

DEED Individual Warranty Deed - Legal On Face  
Closers' Choice

Prepared by: \*  
Jennifer Brock  
Affiliated Title of Central Florida, Ltd.  
2701 SE Maricamp Road, Suite 101  
Ocala, Florida 34471

File Number: 13-639

Signed, sealed and delivered in our presence:

Witness 1 Sign: [Signature]  
Jennifer Brock

Witness 1 Print: \_\_\_\_\_  
[Signature]

Witness 2 Sign: [Signature]  
Ryan Swanson

Witness 2 Print: \_\_\_\_\_

State of Florida  
County of Marion

[Signature]  
Jerome Furr  
address: 316 Beverly Circle  
Charlotte, NC 28270

The foregoing instrument was acknowledged before me this 31 day of May, 2013, by Jerome Furr, who is/are personally known to me or who has produced driver's license as identification.

NOTARY SEAL



[Signature]  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Foreign Not For Profit Corporation  
YOUNG LIFE, INC.

### Filing Information

Document Number	828890
FEI/EIN Number	84-0385934
Date Filed	10/25/1972
State	TX
Status	ACTIVE
Last Event	NAME CHANGE AMENDMENT
Event Date Filed	07/06/1978
Event Effective Date	NONE

### Principal Address

420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Changed: 02/04/2019

### Mailing Address

420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Changed: 02/04/2019

### Registered Agent Name & Address

COGENCY GLOBAL INC.  
115 NORTH CALHOUN STREET  
SUITE 4  
TALLAHASSEE, FL 32301

Name Changed: 12/28/2023

Address Changed: 12/28/2023

### Officer/Director Detail

#### **Name & Address**

Title Assistant Secretary

Baker, Brandon  
420 N. CASCADE AVENUE  
COLORADO SPRINGS 80903 SG

Title Chair, Director, Trustee

Melton, Harold  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title CFO, VP

Brill, Scott  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title COO, VP

Boyle, Billy  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title President

Crenshaw, Newton F  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Secretary, VP

Sherrill, Paul W  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Treasurer

Briggs, Dave  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Haslam, Bill  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Entwistle, Brooks  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Roberts, Chris  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Lear, Clyde  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

McWilliams, Curtis B  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Eaton, Doug  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Guerra, Heriberto  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Holland, Jacqueline  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Hummel, John  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Stevens, Kathleen  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

McVaney, Kevin  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee, VC

Rodriguez, Mark  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Zoradi, Mark  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Stain, Michael  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Ballbach, Nanette  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Crenshaw, Newton F  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Washington, Phyllis  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Jones, Regg  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Bere, Sue  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Hutchison, Susan  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Peterson, Susan  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Thomas, Tom  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Harrison, Raquel  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Murray, Mike  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Yee, Angeline  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

Title Director, Trustee

Young, Kristin  
420 N. CASCADE AVENUE  
COLORADO SPRINGS, CO 80903

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2023	04/19/2023
2024	04/16/2024
2025	04/22/2025

**Document Images**

[04/22/2025 – ANNUAL REPORT](#) [View image in PDF format](#)

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<a href="#">05/24/1996 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/27/1995 -- ANNUAL REPORT</a>	View image in PDF format
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Property Record Card

40263-001-00

[GOOGLE Street View](#)

Prime Key: 992089

[MAP IT+](#)

Current as of 8/19/2025

### Property Information

YOUNG LIFE  
C/O PROPERTY TAX  
PO BOX 520  
COLORADO SPRINGS CO 80901-0520

### Taxes / Assessments:

Map ID: 349

**Millage:** 9001 - UNINCORPORATED

M.S.T.U.

PC: 91

Acres: 8.80

More Situs

Situs: 9596 SE 183RD AVENUE RD  
OCKLAWAHA

### 2024 Certified Value

Land Just Value	\$122,406		
Buildings	\$0		
Miscellaneous	\$120,722		
Total Just Value	\$243,128	Impact	
Total Assessed Value	\$230,414	<u>Ex Codes:</u> 10	(\$12,714)
Exemptions	(\$230,414)		
Total Taxable	\$0		

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$122,406	\$0	\$120,722	\$243,128	\$230,414	\$230,414	\$0
2023	\$122,406	\$0	\$139,559	\$261,965	\$209,467	\$209,467	\$0
2022	\$122,406	\$0	\$0	\$122,406	\$63,642	\$63,642	\$0

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">5873/1879</a>	06/2013	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$83,500
<a href="#">5873/1878</a>	06/2012	71 DTH CER	0	U	I	\$100
<a href="#">2541/0960</a>	08/1998	03 LIFE EST	1 LIFE ESTATE	U	V	\$100

### Property Description

SEC 19 TWP 16 RGE 25  
THAT PORTION OF THE NE1/4 OF SW1/4 LYING  
W OF COUNTY RD THAT RUNS IN A NE/SW DIRECTION & N  
OF COUNTY RD THAT RUNS IN A NW/SE DIRECTION

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9155		.0	.0	A1	1.50	AC						
9902		.0	.0	A1	3.00	AC						
9902		.0	.0	A1	4.30	AC						
9994		1,320.0	.0	A1	1.00	UT						

Neighborhood 8900  
Mkt: 10 70

Miscellaneous Improvements

Type	Nbr	Units	Type	Life	Year In	Grade	Length	Width
256 WELL 1-5 BTH	1.00		UT	99	1967	1	0.0	0.0
190 SEPTIC 1-5 BTH	1.00		UT	99	1978	1	0.0	0.0
105 FENCE CHAIN LK	1,224.00		LF	20	2020	3	0.0	0.0
UDU UTILITY-UNFINS	312.00		SF	40	2020	5	26.0	12.0
048 SHED OPEN	154.00		SF	15	1978	1	14.0	11.0
159 PAV CONCRETE	25.00		SF	20	2020	3	0.0	0.0
SWR SEWAGE PLANT	50,000.00		GL	10	2020	3	0.0	0.0

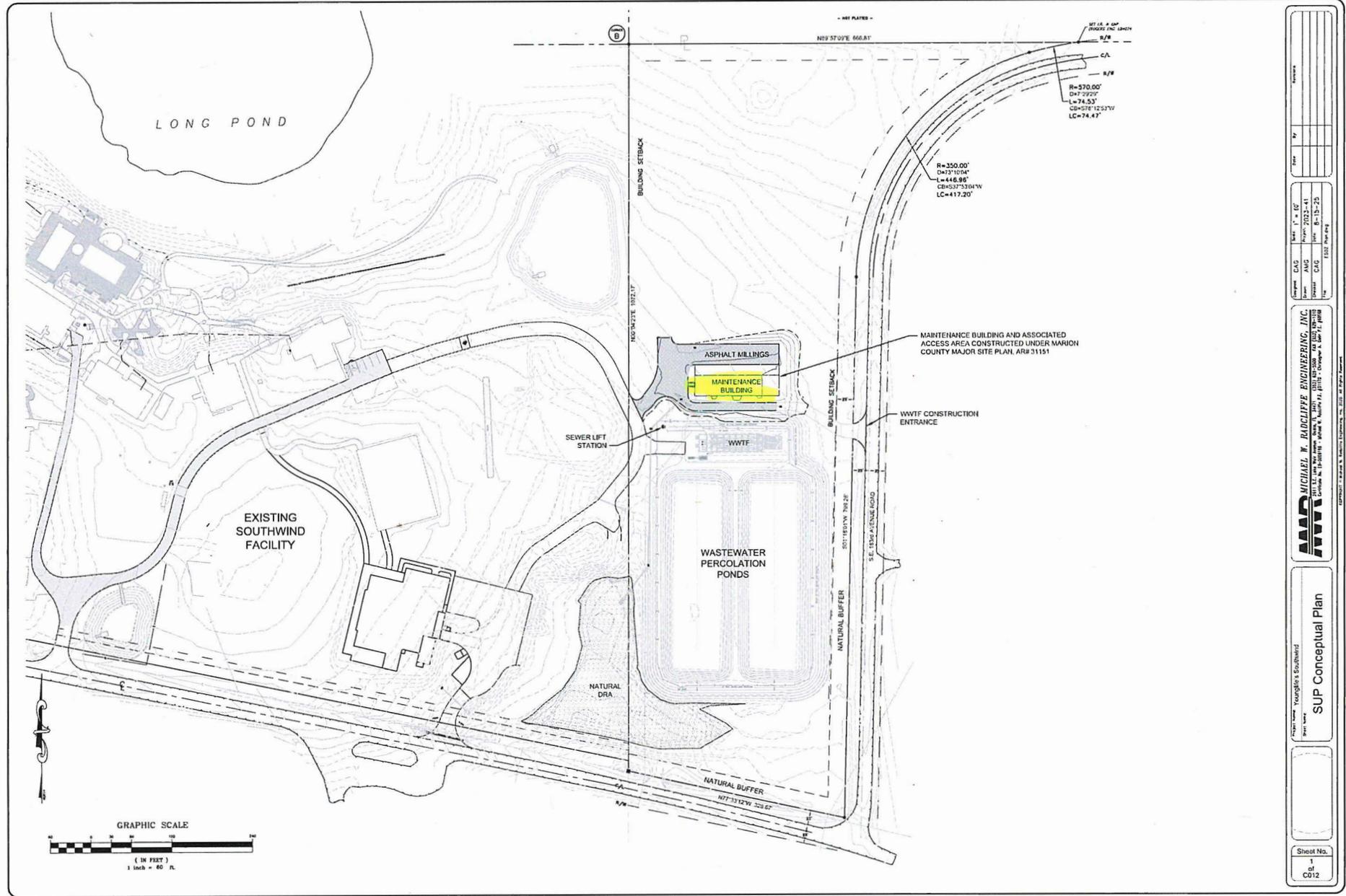
Appraiser Notes

RES DEMO 2019

Planning and Building

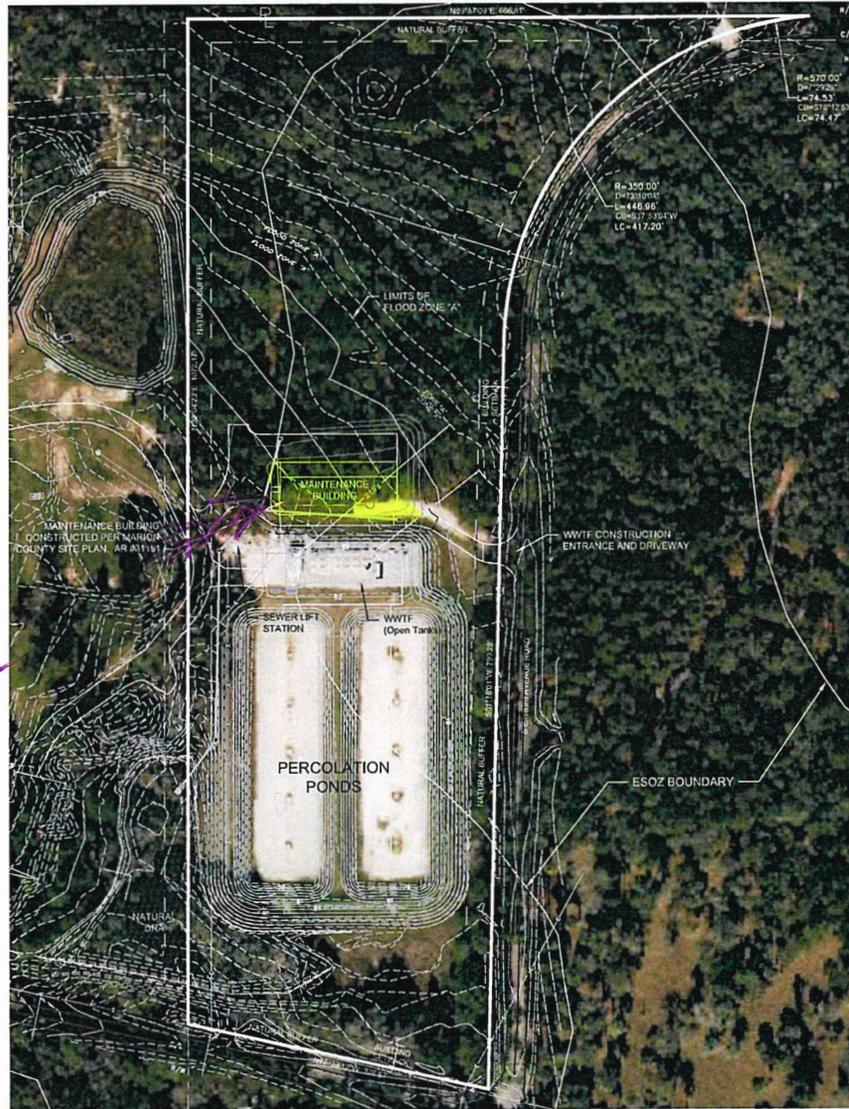
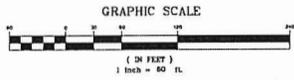
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
2019110682	1/14/2020	6/9/2020	NEW UTILITY BLDG FOR WASTE WATER TREATMENT FACILITY.UTILITY
MC985B	1/1/1978	6/1/1978	BLDG 01= SCREEN PORCH
2024072972	-	-	NEW PRE-ENGINEERED METAL MAINTENANCE BUILDING



Project Name	Young Life Southwind
Sheet No.	1 of C012
<b>SUP Conceptual Plan</b>	
<b>MAR MICHAEL K. RADCLIFFE ENGINEERING, INC.</b>	
<small>311 S.E. 1st Ave., Suite 100, Ft. Lauderdale, FL 33301          Phone: (954) 341-1111 Fax: (954) 341-1113          Website: www.mkradcliffe.com</small>	
Scale	1" = 60'
Drawn	AUG
Checked	CAD
Project No.	2022-044
Sheet No.	B-1 of 2-23
Date	02/28/24

## Younglife's Southwind Camp ESOZ Plan



**NOTES:**

1. THIS PLAN PREPARED IN SUPPORT OF A SPECIAL USE PERMIT ON PARCEL#40263-001-00
2. BOUNDARY INFO FROM SURVEY BY ROGERS ENGINEERING, LLC DATED JUNE 30, 2020
3. THIS SITE IS IN THE VERY UPPER REACH OF THE ESOZ, AND OVERLAND FLOW DISTANCE TO THE OKLAHAWA RIVER IS APPROXIMATELY TWO MILES.

**ESOZ DRAINAGE CALCULATIONS**

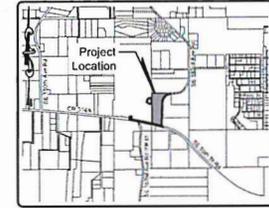
EXISTING IMPERVIOUS AREAS	
WWTF (COVERED PORTION)	1787 SF
WWTF CONTROL BLDG.	312 SF
MAINTENANCE BUILDING	3750 SF
ASPHALT (PAVT & MILLINGS)	10541 SF
CONCRETE	200 SF
<b>TOTAL</b>	<b>16590 SF</b>

**NOTES:**

1. WWTF PERCOLATION PONDS REMOVED 65,000 SF OF AREA FROM PRE-DEVELOPMENT STORMWATER RUNOFF FROM THIS SITE. PERC PONDS ARE DESIGNED TO MEET FDEP VOLUME REQUIREMENTS AND PROVIDE 2 FEET OF FREEBOARD.
2. RUNOFF FROM THE MAINTENANCE BUILDING AND ASSOCIATED ASPHALT MILLINGS IS TREATED IN THE ADJACENT NATURAL RETENTION AREA, AS PERMITTED BY MARION COUNTY SITE PLAN, AP#201131.

**TREES:**

TREES REQUIRED = 9.07 X 100<sup>2</sup>/ACRE = 907 INCHES  
 TREES PROVIDED = BASED ON SURVEY LOCATED TREES, THERE ARE 1,230 INCHES PER ACRE.  
 THE NORTHERN 4 ACRES WILL REMAIN IN NATURAL STATES WITH A YIELD OF 4 X 1,230 = 4,932 INCHES. ADDITIONALLY, TREES WILL REMAIN IN THE 25' WIDE NATURAL BUFFER SHOWN ON THE PLAN.



SCALE: 1" = 2000'  
 MARION COUNTY, FLORIDA  
 SECTION 19, TOWNSHIP 16 SOUTH, RANGE 25 EAST

**Site Information:**

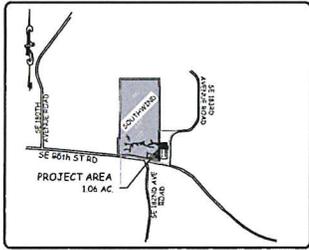
**PROJECT NAME:** YOUNGLIFE'S SOUTHWIND SUP  
**LOCATION:** 10285 SE 85<sup>TH</sup> STREET RD  
 OKLAHAWA, FL, 32178  
**OWNER:** YOUNG LIFE  
**CONTACT:** CHRIS OWEN, P.E.  
 2811 SE LAKE MEER AVENUE  
 OCALA, FLORIDA 34471  
**SITE AREA:** 9.07 ACRES  
**EXISTING ZONING:** A-1  
**PARCEL NUMBER:** 40263-001-00



**MICHAEL W. BADLIFER ENGINEERING, INC.**  
 2811 SE LAKE MEER AVENUE, SUITE 100, OCALA, FL 34471  
 TEL: 352.369.1111 FAX: 352.369.1112  
 WWW.MWBEI.COM  
 LICENSE NO. 12-00018 - Joshua W. Badlifer, P.E. (October 8, 2011, #1018)

Project Name: Younglife's Southwind Camp  
 Sheet Name: ESOZ Plan

Sheet No.  
 C001  
 of

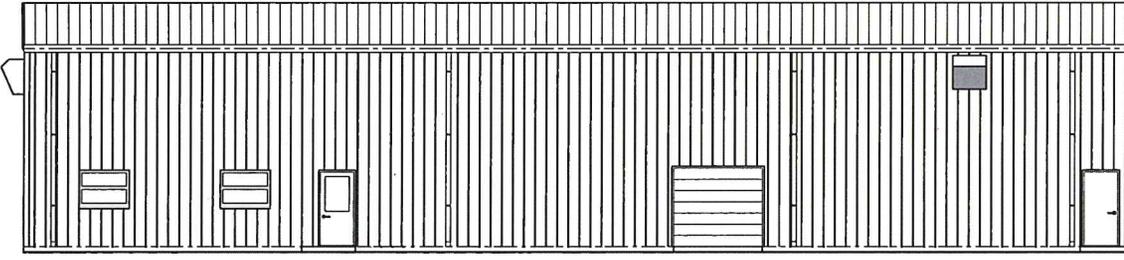


LOCATION MAP

SCALE: 1" = 2000'  
MANATEE COUNTY, FLORIDA  
SECTION 18, TOWNSHIP 15 SOUTH, RANGE 25 EAST

Site Information:

PROJECT NAME: YOUNG LIFE - SOUTHWIND  
PROJECT LOCATION: 18115 SE 85th St Rd  
OSCEOLA, FL 33779  
PARCEL NUMBERS: 40287-000-00 AND 40283-001-00



Younglife Southwind Camp Maintenance Building

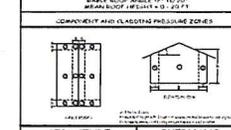
PHASE ONE	AREA (Sq. Ft.)
Main Building & Workshops A & B	1,911
Main Building - Future Office Area	1,089
Lean-To	1,600
Total Phase One	4,600

Index of Sheets

- 1.0 Cover Sheet
- 2.0 Construction Notes
- 3.0 Site Layout Plan
- 4.0 Life Safety Plan
- 5.0 Floor Plan
- 6.0 Floor Plan Details
- 7.0 Foundation Plan
- 8.0 Elevations Plan
- E-100 Electrical Plan
- F-100 Future Floor Plan

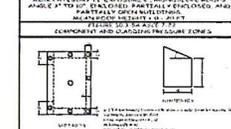
MATERIAL LEGEND	List of Abbreviations
PLYWOOD	11V - 1/2" GYPSUM BOARD
TEXTURE WOOD	11W - 1/2" GYPSUM BOARD
GYPSUM BOARD	12 - 1/2" GYPSUM BOARD
FINISH WOOD	13 - 1/2" GYPSUM BOARD
ROUGH WOOD	14 - 1/2" GYPSUM BOARD
METAL	15 - 1/2" GYPSUM BOARD
GLASS	16 - 1/2" GYPSUM BOARD
BRICK	17 - 1/2" GYPSUM BOARD
CONCRETE	18 - 1/2" GYPSUM BOARD
CONCRETE BLOCK	19 - 1/2" GYPSUM BOARD
COMPACTED EARTH	20 - 1/2" GYPSUM BOARD
GRANULAR FILL	21 - 1/2" GYPSUM BOARD
BATT INSULATION	22 - 1/2" GYPSUM BOARD
RIGID INSULATION	23 - 1/2" GYPSUM BOARD
	24 - 1/2" GYPSUM BOARD
	25 - 1/2" GYPSUM BOARD
	26 - 1/2" GYPSUM BOARD
	27 - 1/2" GYPSUM BOARD
	28 - 1/2" GYPSUM BOARD
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	95 - 1/2" GYPSUM BOARD
	96 - 1/2" GYPSUM BOARD
	97 - 1/2" GYPSUM BOARD
	98 - 1/2" GYPSUM BOARD
	99 - 1/2" GYPSUM BOARD
	100 - 1/2" GYPSUM BOARD

COMPONENT & CLADDING WIND PRESSURES DESIGN LOAD PERFORMANCE REQUIREMENTS



STRUCTURE		OVERHANG	
ZONE	WIND PRESSURE (PSF)	ZONE	WIND PRESSURE (PSF)
1	15	1	15
2	15	2	15
3	15	3	15
4	15	4	15
5	15	5	15
6	15	6	15
7	15	7	15
8	15	8	15
9	15	9	15
10	15	10	15
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96	15	96	15
97	15	97	15
98	15	98	15
99	15	99	15
100	15	100	15

COMPONENT & CLADDING WIND PRESSURES DESIGN LOAD PERFORMANCE REQUIREMENTS



STRUCTURE		OVERHANG	
ZONE	WIND PRESSURE (PSF)	ZONE	WIND PRESSURE (PSF)
1	15	1	15
2	15	2	15
3	15	3	15
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ENGINEER'S NOTES

1. DESIGN WIND SPEED: 140 MPH (157 KNOTS) - ASCE 7-16, TABLE 16.5-1, CATEGORY II, EXPOSURE B,

GENERAL REQUIREMENTS:

- ANY REFERENCE TO CONTRACTOR SHALL ALSO INCLUDE ALL SUB CONTRACTORS AS THEY RELATE TO AND ALL NOTES THROUGHOUT THESE PLANS... 1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED BELOW...

CONSTRUCTION RESPONSIBILITY:

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE AND ARE NOT INTENDED TO INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY. THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, PROCEDURES, SEQUENCES OR PROCEDURES FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK...

- 1. ALL SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMISSION. SUPERINTENDENT CONTRACTOR REVIEW RESULTS IN DELAYS. THE CONTRACTOR SHALL CONSENT THAT SHOP DRAWINGS HAVE BEEN COMPLETED AND CHECKED BY THE SUPPLIER PRIOR TO SUBMISSION... 2. THE GENERAL CONTRACTOR SHALL SUBMIT FOR ENGINEER REVIEW SHOP DRAWINGS FOR THE FOLLOWING ITEMS IF APPLICABLE: - STRUCTURAL STEEL - ENGINEERS DESIGN CONNECTIONS AT ROOF GABLES (w/ STEEL JOISTS OR PRE-ENGINEERED CONNECTIONS AT ROOF GABLES (w/ REINFORCING STEEL THAT IS ANOMALOUS OR IF NOT SHOWN ON PLAN) - FORMWORK, SHORING, RESHORING (w/ CONCRETE) - FORM DESIGNS THAT ARE ANOMALOUS OR WITH STRENGTH GREATER THAN 3000 PSI - ELEVATIONS (w/)

- 3. THE NOTATIONS FOLLOWING SUBMITTAL ITEMS INDICATE THE FOLLOWING: a. CALCULATIONS AND SHOP DRAWINGS SHALL BE REVIEWED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. b. INCLUDE A CERTIFICATE OF COMPLIANCE WITH CONTRACT DOCUMENTS SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. c. FOR THE DESIGN. d. SUBMIT FOR INFORMATION AND RECORD ONLY. 4. MANUFACTURERS LITERATURE SUBMIT 4 COPIES OF MANUFACTURERS LITERATURE FOR ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION OF THE PROJECT.

- 1. GENERAL BUILDING CODE a. 2023 FLORIDA BUILDING CODE WITH EDITORIAL 2. CONCRETE CODES a. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14) SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 308) b. LATEST EDITION OF THE CRACK MANUAL OF STANDARD PRACTICE AND ALL SUPPLEMENTS 3. STRUCTURAL STEEL CODES (IF APPLICABLE) a. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, LOAD AND RESISTANCE FACTOR DESIGN, AISC 360-16 b. AISC MANUAL OF STEEL CONSTRUCTION, 2017 4. PRECAST AND PRECAST-PRESTRESSED REQUIREMENTS, USE SPECS BY SUPPLIER (IF APPLICABLE) 5. OPEN WEB STEEL JOISTS AND JOIST GIRDERS (IF APPLICABLE) a. STANDARD SPECIFICATIONS, LOADS, TABLES AND WEIGHT TABLES FOR STEEL JOISTS AND JOIST GIRDERS, S31-17

- 1. INSTALL MAIN FRAMING MEMBERS INCLUDING FLOORING, FURRING, HANGING STUDS, FRAMING AND SHEATHING. INSTALL MEMBERS TRUE PLUMB AND LEVEL. INSTALL SHEATHING WHERE REQUIRED TO SET FRAMING DIMENSIONS ALIGNED. SHEATH FRAMING IN WALLS, THUS AND SPACE MEMBERS FRAMING MORE THAN 24" ON CENTER. STUDS: FURRING TO BE NO MORE THAN 1/2" ON CENTER. MEMBERS OF CONCRETE OR OTHER MATERIALS TO PROVIDE PROPER HARDWARE AS INDICATED. 2. MAKE PROPER PROVISIONS FOR WORK OF OTHER TRADES REFER TO THE DRAWINGS FOR WORK IN ROOMS AND TO WORK EQUIPPED OR BACK UP AND FRAMED OVERHEADS FOR ALL OTHER AND THEIR ACCESSORIES.

- 1. PLACE PLYWOOD OR OSB ROOF SHEATHING WITH REQUIRED JOINT SPACES BETWEEN SHEETS AND WITH JOISTS STAGGERED. PLYWOOD SHEATHING SHALL BE REFERRED TO FRAMING. SECURE SHEETS OVER FIRM BEARING PROVIDED PLYWOOD SHEATHING TO BE FASTENED TO JOISTS AS FOLLOWS: UNFASTENED PLYWOOD ROOF EDGES: SPACED ONE BETWEEN EACH SUPPORT. PROCEED FROM EXTERIOR TO INTERIOR. UNFASTENED PLYWOOD EDGES AT 4' O.C. AND AT INTERMEDIATE SUPPORTS AT 8' O.C. HAIL WITH AT LEAST 10 PERCENT OVERLAP. (SEE ADDITIONAL INFORMATION ON SHEATHING ROOF HAILING AND WINDING CLAMPING, SHEATHING LAYOUT AND ROOF SHEATHING HAILING ZONES)

PRIMARY CODES:

- 8TH EDITION 2023 FLORIDA BUILDING CODE
8TH EDITION 2023 FLORIDA PLUMBING CODE
8TH EDITION 2023 FLORIDA MECHANICAL CODE
8TH EDITION 2023 FLORIDA FUEL GAS CODE
8TH EDITION 2023 FLORIDA ENERGY CONSERVATION CODE
OTHER REFERENCED CODES:
FLORIDA FIRE PREVENTION CODE 10A EDITION 07
NFPA: NATIONAL FIRE PROTECTION ASSOCIATION
NEC: NATIONAL ELECTRICAL CODE 2020
LOCAL ENVIRONMENTAL REGULATIONS:
ACI 318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. OTHER STANDARDS LISTED IN THEIR RESPECTIVE SECTIONS IN SPECIFICATIONS

CAST-IN-PLACE CONCRETE:
1. THE LATEST EDITION OF THE FOLLOWING ACI STANDARDS APPLY:
ACT 318-BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
ACT 218-LOAD REQUIREMENTS FOR DETERMINING FIRE RESISTANCE OF CONCRETE AND MASONRY CONSTRUCTION. ACCESSIBLE.
ACT 308-100 GUIDE TO DESIGN OF SLABS ON GRADE.
2. CONCRETE SHALL BE NORMAL WEIGHT (150 PCF) AS SPECIFIED ON STRUCTURAL DRAWINGS, WITH MIXES DESIGNED TO MEET THE FOLLOWING CRITERIA FOR USE IN VARIOUS ELEMENTS OF THE STRUCTURE AS FOLLOWS:
28 DAY COMPRESSIVE STRENGTH MIN MAX
STRUCTURAL ELEMENT STRENGTH RATIO AGGREGATE W/C RATIO
FOUNDATION WALLS 3000 3/4" 0.48
SLAB ON GRADE, RELATED FLOORS, BEAMS, COLUMNS 3000 3/4" 0.48

- 3. SLOPE RANGE AT POINT OF DISCHARGE 4" TO 10".
4. WATER REDUCING AND AIR ENTRAINING AGENTS SHALL BE ENCLOSED IN DESIGN MIXES. SUPERPLASTICIZERS MAY BE USED AT THE CONTRACTORS OPTION.
5. A CONCRETE MIX DESIGN FOR EACH UNIQUE COMBINATION OF STRENGTH, CURE, AGGREGATE GRADATION AND WATER CEMENT RATIO SPECIFIED SHALL BE PREPARED BY AN INDEPENDENT TESTING LABORATORY AND BE SUBMITTED FOR REVIEW PRIOR TO CASTING ANY CONCRETE MIXES THAT WILL BE TRANSPORTED AT THE PROJECT SITE BY PUMPING. SHALL BE SPECIFICALLY DESIGNED FOR PUMPING.
6. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

CONCRETE FORMWORK: (IF APPLICABLE)

- 1. ALL FORMWORK SHALL BE DESIGNED, ERECTED, SUPPORTED, BRACED, AND MAINTAINED ACCORDING TO ACI 307, RECOMMENDED STANDARD PRACTICE FOR CONCRETE FORMWORK.
2. RESPONSIBILITY: THE DESIGN, CONSTRUCTION, AND SAFETY OF ALL FORMWORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FORMS, SHORES, BACKSHORES, FALSEWORK, BRACING, AND OTHER TEMPORARY SUPPORTS SHALL BE ENGINEERED TO SUPPORT ALL LOADS INCLUDING THE WEIGHT OF CONCRETE, CONSTRUCTION EQUIPMENT, LIVE LOADS, LATERAL LOADS DUE TO WIND AND WET CONCRETE IMBALANCE. SEE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
3. DESIGN: THE DESIGN OF ALL CONCRETE FORMWORK SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. SEE SPECIFICATIONS.
4. TOLERANCES: UNLESS SPECIFIED OTHERWISE, ALL TOLERANCES FOR FORMWORK SHALL CONFORM TO ACI STANDARD 117, STANDARD TOLERANCES FOR CONCRETE STRUCTURES AND MATERIALS. THE CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO VERIFY THAT WORK IS WITHIN SPECIFIED TOLERANCES UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE ENGINEER PRIOR TO BEGINNING WORK.
5. ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED OR TOOLED WHERE SHOWN ON THE ARCHITECTURAL DRAWINGS.

ROUGH FRAMING: (IF APPLICABLE)

- 1. INSTALL MAIN FRAMING MEMBERS INCLUDING FLOORING, FURRING, HANGING STUDS, FRAMING AND SHEATHING. INSTALL MEMBERS TRUE PLUMB AND LEVEL. INSTALL SHEATHING WHERE REQUIRED TO SET FRAMING DIMENSIONS ALIGNED. SHEATH FRAMING IN WALLS, THUS AND SPACE MEMBERS FRAMING MORE THAN 24" ON CENTER. STUDS: FURRING TO BE NO MORE THAN 1/2" ON CENTER. MEMBERS OF CONCRETE OR OTHER MATERIALS TO PROVIDE PROPER HARDWARE AS INDICATED.
2. MAKE PROPER PROVISIONS FOR WORK OF OTHER TRADES REFER TO THE DRAWINGS FOR WORK IN ROOMS AND TO WORK EQUIPPED OR BACK UP AND FRAMED OVERHEADS FOR ALL OTHER AND THEIR ACCESSORIES.

SHEATHING AND FLOORING: (IF APPLICABLE)

- 1. PLACE PLYWOOD OR OSB ROOF SHEATHING WITH REQUIRED JOINT SPACES BETWEEN SHEETS AND WITH JOISTS STAGGERED. PLYWOOD SHEATHING SHALL BE REFERRED TO FRAMING. SECURE SHEETS OVER FIRM BEARING PROVIDED PLYWOOD SHEATHING TO BE FASTENED TO JOISTS AS FOLLOWS: UNFASTENED PLYWOOD ROOF EDGES: SPACED ONE BETWEEN EACH SUPPORT. PROCEED FROM EXTERIOR TO INTERIOR. UNFASTENED PLYWOOD EDGES AT 4' O.C. AND AT INTERMEDIATE SUPPORTS AT 8' O.C. HAIL WITH AT LEAST 10 PERCENT OVERLAP. (SEE ADDITIONAL INFORMATION ON SHEATHING ROOF HAILING AND WINDING CLAMPING, SHEATHING LAYOUT AND ROOF SHEATHING HAILING ZONES)

FABRICATION OF BEAMS AND BUILT UP HEADERS: (IF APPLICABLE)

- 1. AT HEADERS AND BEAMS BUILT UP WITH MULTIPLE SHIP OR BILSTEEL MEMBERS, JOIN TOGETHER WITH WELDED JOINTS. WELDS SHALL BE 1/4" MINIMUM IN WIDTH. FABRICATE WITH OF HEAVY PROTECTIVE PAINTS ON BOTH SIDES TO WITHSTAND THE WEIGHT OF THE STRUCTURE. HEADERS BEARING ABOVE WALL OPENINGS SHALL BE BUILT UP USING THE FOLLOWING SIZE LUMBER:
WELDED MEMBER LOCATION 2x6 FRAMING 2x8 FRAMING
BUILT UP HEADERS 2x8x8 2x8x8
BUILT UP BEAMS 2x12x2 2x12x2

REINFORCING STEEL:

- 1. REINFORCING STEEL ASTM A618/A618M-22. SPECIFICATION FOR REINFORCED AND PLAIN BUILT UP STEEL BEAMS FOR CONCRETE REINFORCEMENT (FOR WELDED ALIQUOTS) ETC.
2. REINFORCING STEEL TO BE WELDED ASTM A706/A706M-06. SPECIFICATION FOR LOW-ALLOY STEEL REINFORCED AND PLAIN BUILT UP FOR CONCRETE REINFORCEMENT (FOR WELDED ALIQUOTS) ETC.
3. WELDED WIRE FABRIC ASTM A646/A646M-16. CARBON STEEL, WIRE AND WELDS WIRE REINFORCEMENT PLAIN AND DEFORMED FOR CONCRETE REINFORCEMENT. YIELD STRENGTH OF #5 (1/2") AND LARGER IN SIZE (1/4") IS 63,511 N/MM<sup>2</sup> (9,170 PSI) IN SIZE 10.
4. REINFORCING STEEL WITH A CONCRETE CAST DIRECTLY AGAINST EARTH #1 B. INTERIOR BEAMS 1" C. EXTERIOR BEAMS AND COLUMNS 1 1/2" D. EXTERIOR BEAMS AND COLUMNS 2" EXTERIOR SLABS 1 1/2"
5. WHERE SLICE LENGTHS ARE NOT SPECIFIED, USE 40 BAR DIAMETERS, BUT 24" IN CASE LESS THE 24" LAP AT WELDE.
6. SCHEDULED OR DETAILED REINFORCING STEEL SHALL NOT BE TACK WELDED FOR AND RECESSED. WELDED REINFORCING STEEL SHALL BE ACCORDING WITH DETAILS BEFORE AND GUARANTEED PLACEMENT OF CONCRETE. SUPPORTING ACCESSORY KEYS THAT REST ON CONCRETE SHALL BE WELDED TO THE CONCRETE. THE WELDED STRUCTURE SHALL BE FABRICATED OF STAINLESS STEEL OR PLASTIC LINED.
7. FOUR-TOOTH AND GRAB BAR REINFORCING SHALL BE SUPPORTED ON SPECIALLY CAST 3" THICK HIGH CONCRETE BLOCKS CAST IN ACCORDANCE WITH DETAILS FURNISHED ON DRAWINGS. SLAB ON-GRADE REINFORCING, INCLUDING WIRE FABRIC, SHALL BE SUPPORTED ON ACCESSORIES WITH 3/8" DIA PLATES OR ON PRECAST BLOCKS OR CONCRETE BLOCS OF THE PROPER THICKNESS.

FOUNDATIONS:

- 1. FOUNDATION DESIGN IS BASED ON PRESUMPTIVE LOAD BEARING CAPACITY INFORMATION CONTAINED IN SECTION 1006 OF THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND ENGINEERING FROM STEEL COR BUILDINGS, INSTANTLY SIGNED AND SEALED (DATED 11/06/2023).
2. ALL VEGETATION TYPICALLY ROOTS AND COSMOSIC TREES SHALL BE STRIPPED AND REMOVED FROM THE CONSTRUCTION AREA FOR A DISTANCE OF AT LEAST 10 FEET BEYOND THE EXTERIOR OF BUILDING FOUNDATION LISTS THE DEPTH OF STRIPPING SHALL BE THAT REQUIRED TO REMOVE ANY SIGNIFICANT ROOT ZONES, SMALL TREE STUMPS AND OTHER UNACCEPTABLE MATERIAL, BUT NO DEEPER THAN 18" INCHES.
3. EXCAVATION FOR LARGE STUMPS, ABANDONED UTILITIES, UNDERGROUND TANKS, ETC SHALL BE BACK FILLED IN LAYERS WITH COMPACTION AND TESTING OF EACH LAYER AS DESCRIBED FOR PLACEMENT AND COMPACTION OF FILL MATERIAL. USE LOOSE BACK FILL LAYER THICKNESS APPROPRIATE FOR THE SIZE OF COMPACTOR BEHIND SOIL.
4. THE UPPER 18" INCHES OF THE FOOTING EXCAVATION BOTTOMS SHOULD BE COMPACTED TO DENSITY'S EQUIVALENT TO 95 PERCENT OF THE ADJUSTED PROCTOR MAXIMUM DRY DENSITY (ASTM D998 METHOD C) COMPACTION OR EQUIVALENTS OF THE FOOTING EXCAVATION BEARING LEVEL. SOILS LOOSENED BY THE EXCAVATION SHOULD BE RECLAIMED BY BEATING SEVERAL PASSES WITH A RELATIVELY LIGHTWEIGHT WALK BEHIND VIBRATORY ROLLER OR ROLLER COMPACTOR. TEST ONE FOOT OF EVERY SIX FOOT FOOTINGS AND ONE TEST EVERY 100 LINEAL FEET OF WALL FOOTINGS.
5. UNLESS NOTED, ALL INTERIOR FOOTINGS SHALL BE CENTERED UNDER COLUMNS, PIERS AND WALLS.
6. SLAB ON GRADE CONSTRUCTION SHALL BE SUPPORTED ON SUBGRADE AND TO A DEPTH OF NO LESS THAN 20% OF THE ADJUSTED PROCTOR MAXIMUM DRY DENSITY (ASTM D998 METHOD D) TO A DEPTH OF AT LEAST 12 INCHES. SLAB ON-GRADE SHALL BE CAST OVER A HARD BARBER. SEE SPECIFICATIONS.

CONCRETE MASONRY: (IF APPLICABLE)

- 1. CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO PROVISIONS OF ASTM C 90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI (28 DAY).
2. MORTAR SHALL CONFORM TO ASTM C 270 TYPE S.
3. PLASTERED TOW GLEEN UNITS SHALL BE USED FOR BLOCKS THAT ARE TO HAVE CELL REINFORCED AND FILLED. WIRE MESH SHALL BE ADHESIVE TO CELLS THAT ARE TO BE FILLED AND TO BE USED IN MORTAR.
4. FILL CELLS AS NOTED ON DRAWINGS WITH 3000 PSI GRADE BROUT CONFORMING TO ASTM C 474 OR WITH PORTLAND-CEMENT-MORTAR MIX SPECIFICALLY DESIGNED FOR FILLING OF CELLS.
5. THE REARS CAST ON MASONRY WALLS SHALL BE CONSTRUCTED SO AS TO LEY AND BOND INTO BLOCK CELLS. THE USE OF BULLETPROOFER OR SHEET PAPER IS NOT TO BE USED UNLESS SPECIFICALLY NOTED. HOWEVER LEVEL PAPER IS ALLOWED.
6. SEE ARCHITECT'S DRAWINGS FOR THE EXTENT AND EXACT LOCATION OF MASONRY WALLS.
7. MASONRY WALLS SHALL BE BACKED EITHER BY OTHER INTERSECTING WALLS OR STRUCTURAL MEMBERS OR BY ANCHORAGE OR BRACING TO THE STRUCTURE ABOVE.
8. BLOCK ENDINGS SHALL BE SPECIALLY FORMED TO SHOW EDGEL WITH BOND CORNER BARS, OR PRECAST UNITS DESIGNED ON THE WEIGHT OF THE FINAL CONSTRUCTED CONSTRUCTION. THEY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ANCHOR TO THE WALLS FOR VERTICAL AND LATERAL LOADS THAT CAN BE APPLIED PRIOR TO COMPLETION OF LATERAL SUPPORT BY CONNECTIONS AT FLOORS OR ROOF FRAMING LEVELS.
9. AT AN INTERIOR WALL WITH PROVIDED 1/2" VERTICAL BRACING AT THE INTERIOR WALL FACE, THE SECTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
A. NEW CONCRETE STEEL FLOOR BEAMS, NON-CONCRETE STEEL FLOOR DECK SHALL BE PERMITTED TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
A. STEEL ROOF DECK, STEEL ROOF DECK SHALL BE PERMITTED TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AISC 360-16.
B. CONCRETE SLAB ON TOP OF STEEL ROOF DECK, CONCRETE SLAB ON TOP OF STEEL DECK SHALL BE PERMITTED TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
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**LIFE SAFETY LEGEND**

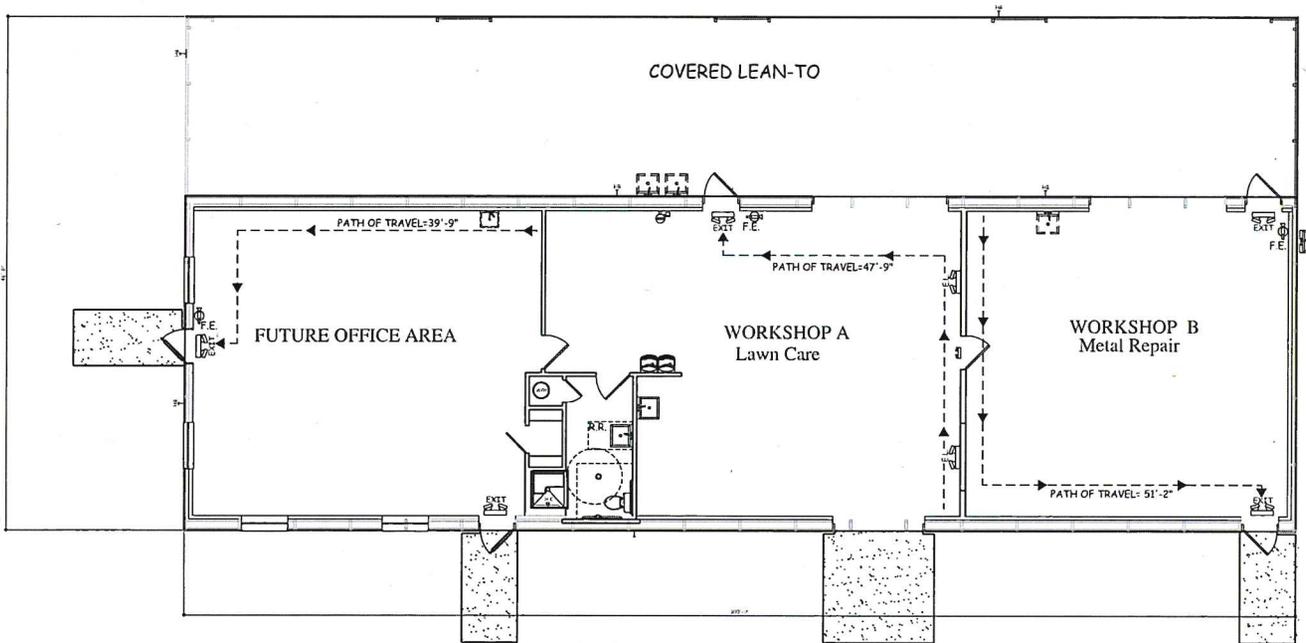
- ← MAX. EXIT TRAVEL DISTANCE  
PATH OF TRAVEL
- ELB EMERGENCY LIGHT /EXIT SIGN  
COMBO WITH BATTERY BACKUP
- ELB EXIT SIGN WITH BATTERY  
BACKUP
- ELB EMERGENCY LIGHT WITH BATTERY  
BACKUP
- FE FIRE EXTINGUISHER
- FS FIRE STROBE
- FS FIRE PULL STATION
- SD SMOKE DETECTOR

**MEANS OF EGRESS**

Means of Egress for Factory Group F-1, Storage Group S-1 and Business Group B per FBC Sections 1017 and FBC Table 1017.2 and per FFPC (NFPA 101 Life Safety Code 2021) Chapters 38, 40 & 42, Sections 38.2.6, 40.2.6 and 42.2.6.

The following is a summary:

Area	Common Path of Travel	Maximum Travel Distance
Group B & Group F-1	75 FT.	200 FT.(FBC) & 200 FT. (FFPC)
Group S-1	50 FT.	200 FT.(FBC) & 200 FT. (FFPC)



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**CURINGTON Construction LLC**  
Office (352) 732-7939 Fax (352) 751-5044  
2652 NE 24th Street, Ocala, Florida 34470

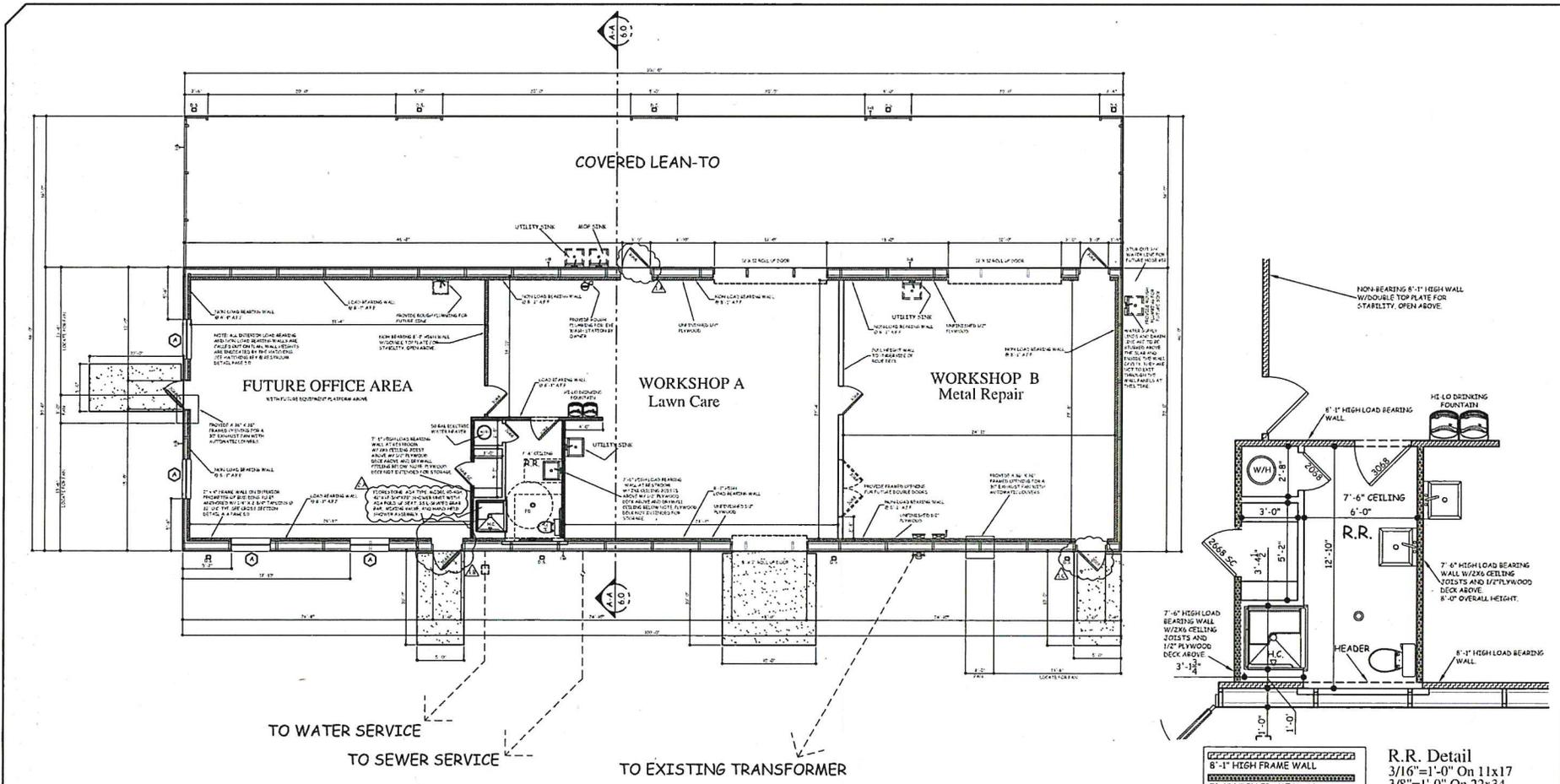
**H.W. Barrington & Associates, Inc.**  
Civil Structural Engineering  
4001 NE 11th Ave, Suite 100, Ft. Lauderdale, FL 33304  
Tel: (954) 561-1111 Fax: (954) 561-1112  
www.hwbarrington.com

Building Classification: Pre-Engineered Metal  
Project: Young Life Southwind Camp Maintenance Building  
Scale: 3/16"=1'-0" On 24" x 36" Paper  
Location: Parcel L1.D# 4056-001-00  
Date: 12-12-24, On 11 x 17 Paper

**SHEET #**  
4.0

FOR CONSTRUCTION

Life Safety Plan



- △ REVISIONS
- 1-A DOOR SWING REVERSED.
  - 1-B DOOR SWING REVERSED.
  - 1-C DOOR SWING REVERSED.
  - 2-A. SHOWER MODEL CHANGE.

WINDOW SCHEDULE

CALLOUT	WINDOW SIZE	NOTES
A	4030	SINGLE HUNG FIN

FOR CONSTRUCTION

CURINGTON Construction LLC  
Office (352) 732-7839  
1852 N.E. 24th Street, Ocala, Florida 34470

F.M. Barrineau & Associates, Inc.  
Civil Structural Engineering  
1000 N. 17th St., Ocala, FL 34471  
Phone: (352) 349-1111  
Fax: (352) 349-1112

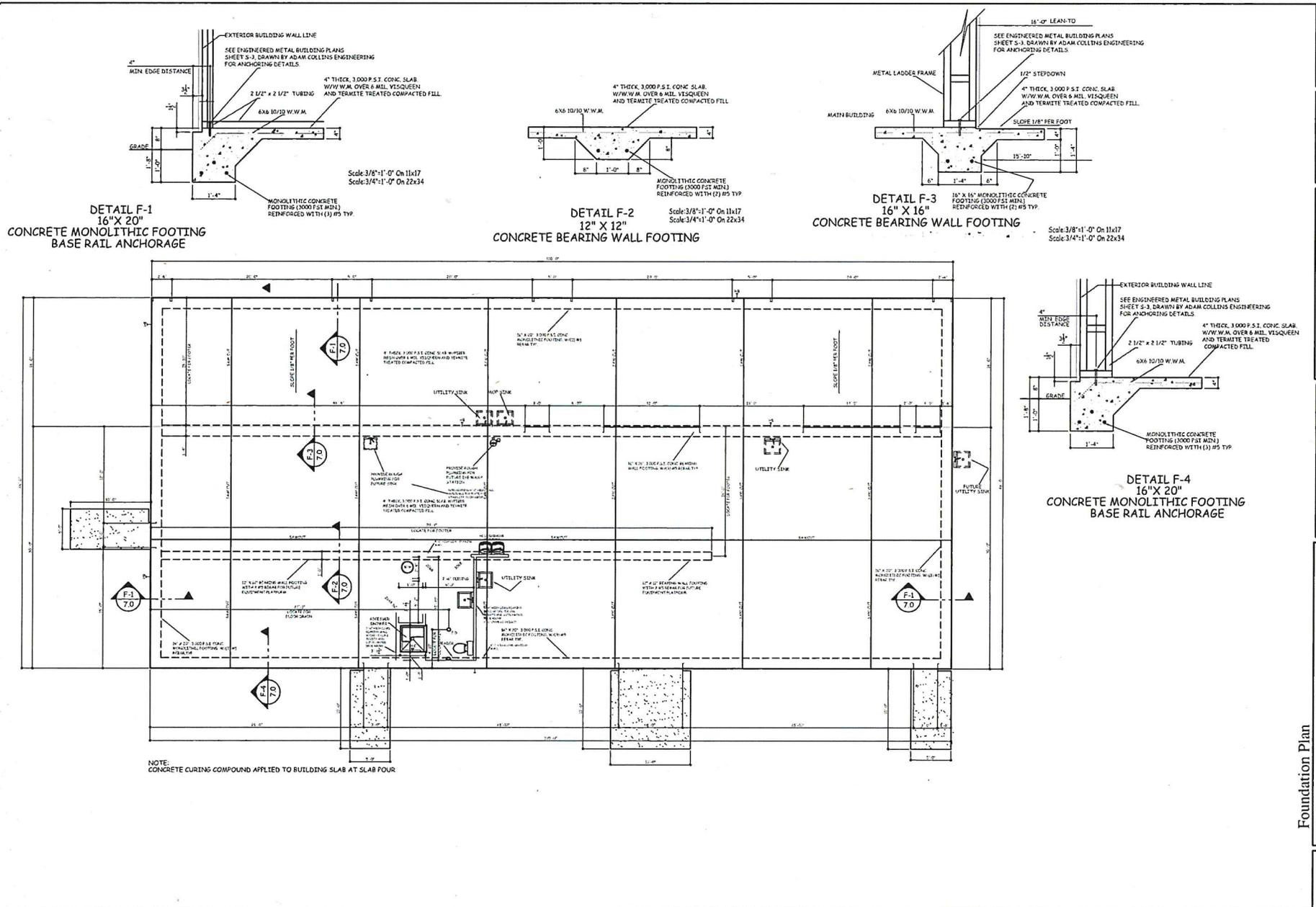
Building Classification: Pre-Engineered Metal  
Location: Young Life Southwind Camp  
Scale: 1/8" = 1'-0" On 33" x 34" Paper  
Drawn By: J.C. [unreadable]  
Checked By: J.C. [unreadable]  
Date Submitted: 10/22/24 On 11' x 17' Paper

DATE: 4-25-24  
REV: 12-08-24  
REV: 12-21-24  
REV: 12-22-24  
REV: 12-23-24

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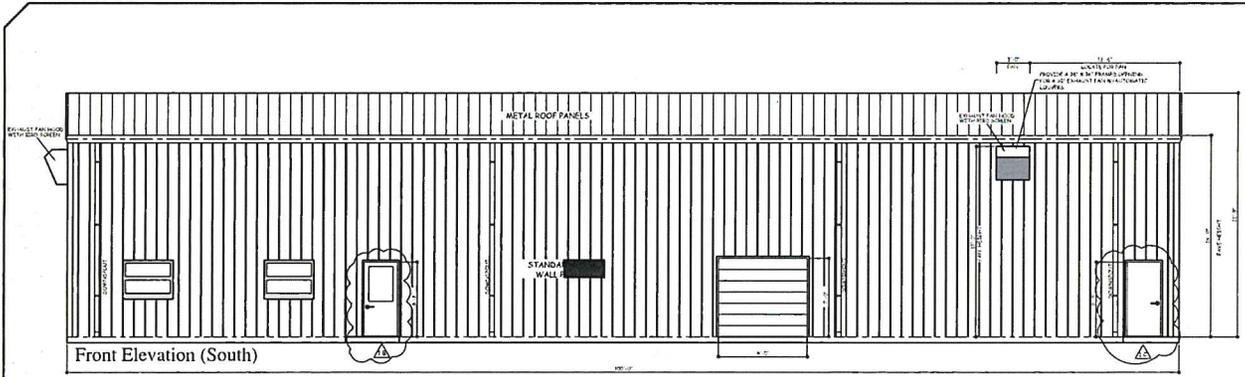
**CURINGTON Construction LLC**  
Office (352) 732-7839 Fax (352) 351-5644  
2952 N.E. 24th Street, Ocala, Florida 34470

**H.W. Barineau & Associates, Inc.**  
Civil Structural Engineering  
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www.hwbainc.com

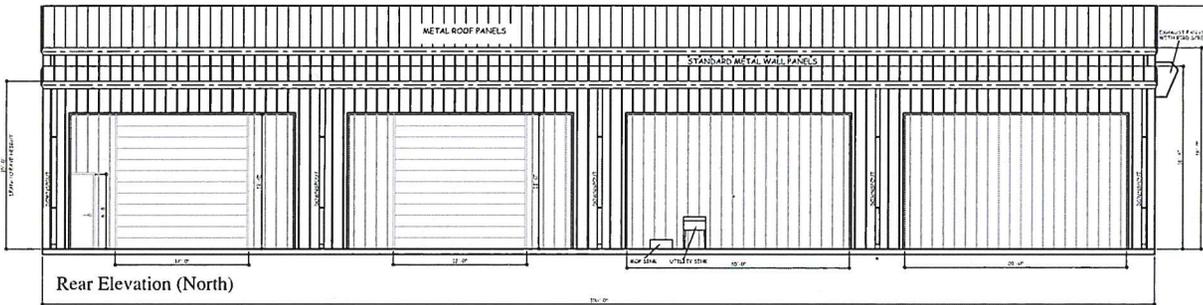
Building Classification: Pre-Engineered Metal  
Location: Parcel 1.D. # 4036-001-00  
Scale: 3/8" = 1'-0" On 24" X 36" Paper  
Date Computed: 12-28-2024, On 11:19:11 AM

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**7.0**

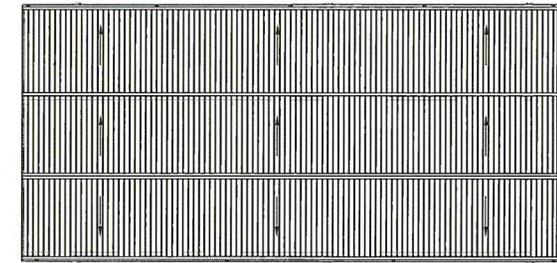
FOR CONSTRUCTION



Front Elevation (South)

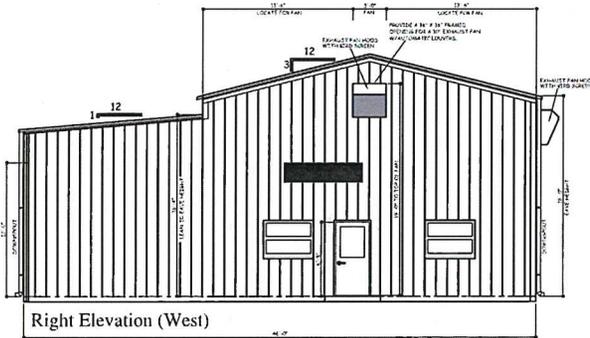


Rear Elevation (North)

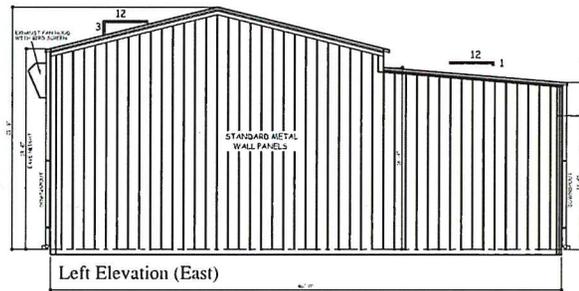


Roof Plan  
Scale: 1/32" 11" X 17" Paper  
Scale: 1/16" 22" X 34" Paper

- △ REVISIONS  
 1-A DOOR SWING REVERSED.  
 1-B DOOR SWING REVERSED.  
 1-C DOOR SWING REVERSED.



Right Elevation (West)



Left Elevation (East)

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 24-5618

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REV.:	12-08-23
REV.:	12-21-23
REV.:	12-22-23
REV.:	12-29-23

CURINGTON  
 Construction, LLC  
 Office (352) 732-7939 Fax (352) 391-5644  
 2402 N.E. 24th Street, Ocala, Florida 34470

H.W. Bergin & Associates, Inc.  
 Civil Structural Engineers  
 1400 S.W. 10th Street, Ft. Lauderdale, FL 33304  
 Phone: (954) 561-1111 Fax: (954) 561-1112  
 www.hwbainc.com

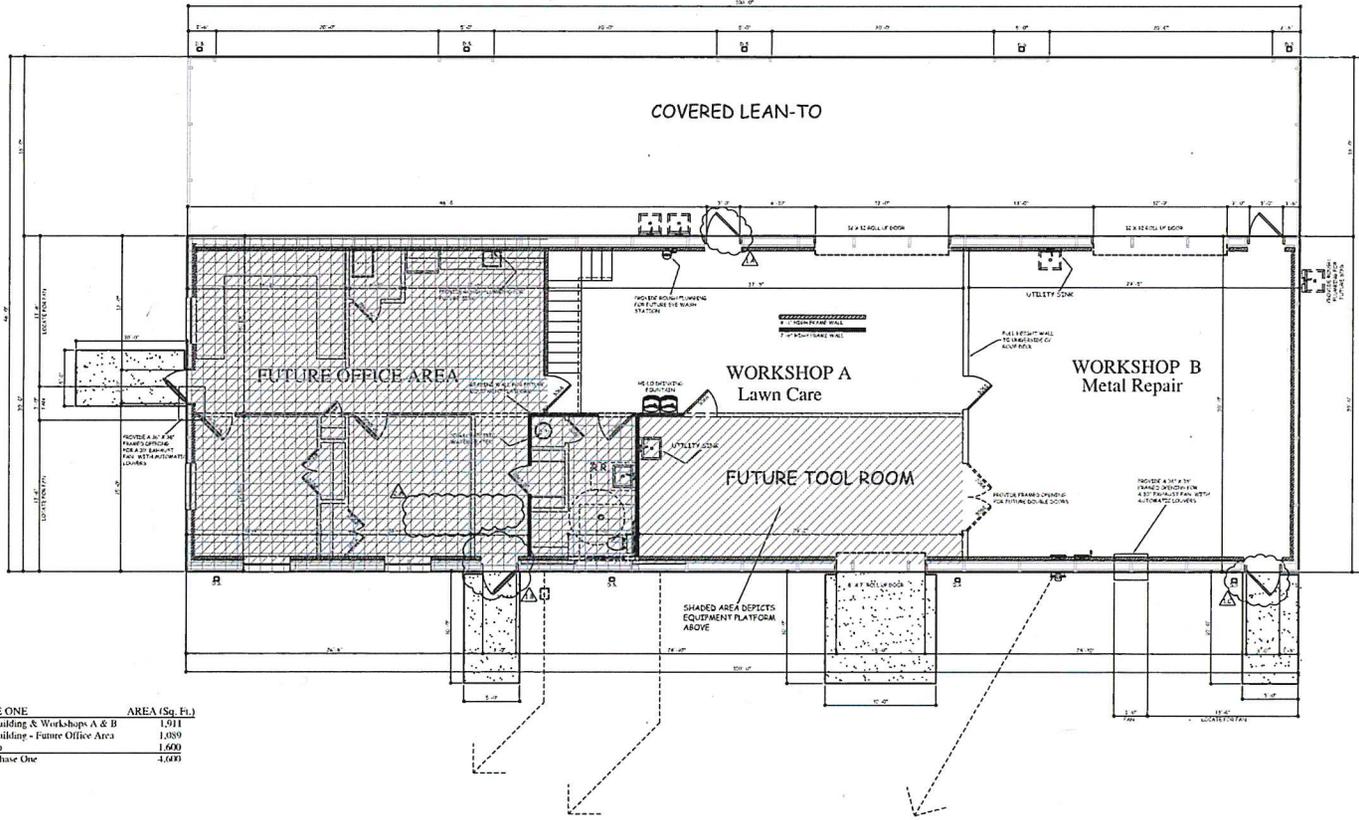
Younglife Southwind Camp  
 Maintenance Building  
 Building Classification:  
 Pre-Engineered Metal  
 Scale:  
 1/16" = 1'-0" On 22" X 34" Paper  
 Location:  
 Parcel ID #: 4056-401-1-0  
 1922 SW 1st St, Ocala, FL 34470

Elevations Plan

SHEET #  
 8.0

FOR CONSTRUCTION





PHASE ONE	AREA (Sq. Ft.)
Main Building & Workshops A & B	1,914
Main Building - Future Office Area	1,089
Lean-To	1,600
<b>Total Phase One</b>	<b>4,603</b>

DATE	REV.	DESCRIPTION
12-20-24	1	ISSUED FOR PERMITS
12-21-24	2	REVISED PER COMMENTS
12-22-24	3	REVISED PER COMMENTS
12-23-24	4	REVISED PER COMMENTS

**CURINGTON Construction LLC**  
 Office (352) 732-7939 Fax (352) 351-5044  
 2652 N.E. 24th Street, Ocala, Florida 34470

**H.W. Bargino & Associates, Inc.**  
 Civil Structural Engineering  
 4475 E. 11th Street, Ocala, FL 34470  
 Phone: (352) 343-1111 Fax: (352) 343-1112  
 www.hwbainco.com

Building Classification: Pre-Engineered Metal  
 Location: Parcel ID: 4106-0401-10  
 Scale: 1/16" = 1'-0" On 24" x 36" Paper  
 Date: 12/22/24, On 11 x 17 Paper

F-100

FOR CONSTRUCTION

## RESOLUTION NO. 21-R-083

### A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, APPROVING A RENEWAL AND MODIFICATION OF A SPECIAL USE PERMIT, PROVIDING AN EFFECTIVE DATE.

**WHEREAS**, an application for a renewal and modification of a Special Use Permit was duly filed with the Growth Services Department and considered by the Marion County Planning and Zoning Commission at its meeting on December 28, 2020; and

**WHEREAS**, the aforementioned application was considered at a public hearing held by the Board of County Commissioners of Marion County, Florida, at its meeting on Tuesday, January 19, 2021. Now therefore,

**BE IT RESOLVED** by the Board of County Commissioners of Marion County, Florida:

**SECTION 1. SPECIAL USE PERMIT APPLICATION APPROVAL 210110SU-B – Young Life, Inc.-Southwind.** The application requesting a renewal and modification of Special Use Permit 191008SU (19-R-438), Articles 2 and 4 of the Marion County Land Development Code as submitted by Chad Martin, Ocklawaha FL, a copy of said application being on file with the Marion County Growth Services Director, for a wastewater treatment plant capable of treating 50,000 gallons per day in an A-1 (General Agriculture) zone, on Parcel Account No. 40263-001-00, 8.8 Acres.

**SECTION 2. FINDINGS AND CONDITIONS.** The Board of County Commissioners agrees with the recommendation and findings of the Planning and Zoning Commission recommending approval of the Special Use Permit and the Board approves the Special Use Permit subject to the following conditions:

1. The site shall be developed and operated for a wastewater treatment plant (WWTP) and nature walking trail consistent with the submitted conceptual plan of record submitted for Special Use Permit No. 20191008SU, Resolution No. 19-R-438 (attached), its subsequent Environmentally Sensitive Overlay Zone (ESOZ) Site Plan (Building Permit No. 2019110682 - attached), and the conditions as provided with this approval.
2. Ingress/egress shall be via SE 95<sup>th</sup> Street Road thru existing & proposed driveway entrances.
3. In lieu of a minor site plan for the WWTP, an Environmentally Sensitive Overlay Zone Plan must be submitted and maintained. This may occur in conjunction with the building permits for the facility.
4. *The owner/operator shall coordinate with Marion County Utilities to determine whether a plan for long-term operation and maintenance is required. Such determination must be provided in writing within 120 days of approval of the SUP.*

5. *Quarterly water quality sampling will be required and results shall be submitted to the Growth Services Department.*
6. Expansion or modification of the type, size or location of any of the proposed uses/operations beyond those indicated in the application materials or shown on the conceptual plan or ESOZ site plan is prohibited; however, a new Special Use Permit application may be submitted for consideration to expand the uses/operations. This prohibition does not apply to use of the site for other uses permitted by the site's A-1 (General Agriculture) zoning such as agricultural structures (e.g., horse barns), subject to compliance with the Land Development Code (LDC), but ensuring all other conditions of this Special Use Permit continue to be satisfied for their respective use(s).
7. **This Special Use Permit shall run with the owner (Young Life, Inc. a Florida Corporation) and not the property.** In the event the property is sold, the Special Use Permit shall terminate. A Special Use Permit Application for consideration to reassign, renew/extend and/or modify this Special Use Permit may be submitted in the future, subject to then review and approval considerations as provided in the Marion County Land Development Code.
8. The Special Use Permit shall **expire on January 19, 2031**; however it may be renewed administratively up to three times, for up to **10 years each for a maximum total of 40 years**, by a written instrument signed and issued by the Growth Services Director (or position equivalent to the Growth Services Director at that time), unless:
  - a. There have been unresolved violations of the County Land Development Code, the County Code of Ordinances, and/or the conditions of the Permit,
  - b. Neighboring property owners within 300' of the subject property have complained to the County Code Enforcement, Zoning, or equivalent/similar Departments/Divisions about the uses of the subject property by this Permit, or
  - c. The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).
9. Special Use Permit 20191008SU, Resolution Number 19-R-438 is hereby repealed and replaced by this Special Use Permit.

**SECTION 3. REVOCATION.** Violation or failure to comply with one or more condition(s) of this Special Use Permit shall be grounds for revocation of this Special Use Permit by the Board at a noticed public hearing.

**SECTION 4. EFFECTIVE DATE.** This Resolution shall take effect immediately upon its adoption.

**DULY ADOPTED** in regular session this 19th day of January, 2021.

**BOARD OF COUNTY COMMISSIONERS  
MARION COUNTY, FLORIDA**

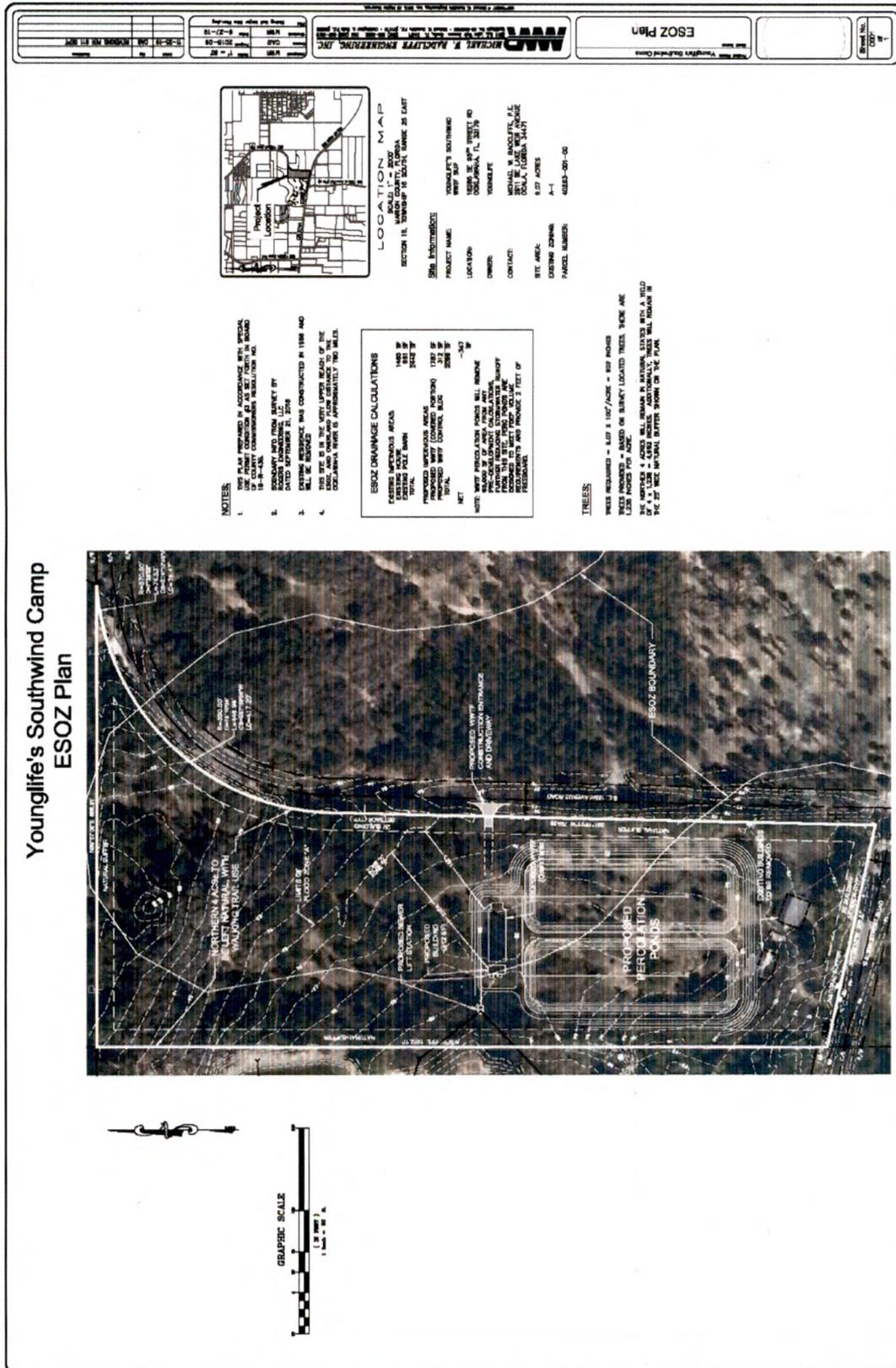
**ATTEST:**

  
\_\_\_\_\_  
GREGORY C. HARRELL, CLERK

  
\_\_\_\_\_  
JEFF GOLD, CHAIRMAN



Building Permit No. 2019110682 – Environmentally Sensitive Overlay Site Plan



Younglife's Southwind Camp  
 ESOZ Plan

- NOTES:**
1. THIS PLAN PREPARED IN ACCORDANCE WITH SECTION 10-10-10, F.S. AND CHAPTER 62, F.A.C. AND THE ESOZ REGULATIONS OF COUNTY COMMISSIONER'S REGULATION NO. 12-00001.
  2. BACKGROUND INFO FROM SURVEY BY ROBERTSON ENGINEERING, LLC.
  3. EXISTING EROSION WAS CONSTRUCTED IN 1998 AND WILL BE REMOVED.
  4. THIS SITE IS IN THE WEST UPPER REACHS OF THE COGUMMA RIVER IS APPROXIMATELY 700 FEET.

**ESOZ DRAINAGE CALCULATIONS**

EXISTING IMPERVIOUS AREAS	1500 SF
EXISTING PAVEMENT	1500 SF
TOTAL	3000 SF
PROPOSED IMPERVIOUS AREAS	1700 SF
PROPOSED PAVEMENT	1700 SF
PROPOSED WWT COLLECTION BLDG	200 SF
TOTAL	3600 SF
NET	-600 SF

NOTE: NET IMPERVIOUS AREAS WILL REMAIN NEGATIVE TO 600 SQ. FT. AND WILL BE FURTHER REDUCED BY FUTURE PERCUTATION POND AND WWT COLLECTION BLDG. THIS WILL BE FURTHER REDUCED BY FUTURE PERCUTATION POND AND WWT COLLECTION BLDG.

**LOCATION MAP**  
 SECTION 18, TOWNSHIP 18 NORTH, RANGE 25 EAST  
 COUNTY OF ALACHUA, FLORIDA

**PROJECT NAME:** YOUNGLIFE'S SOUTHWIND  
**LOCATION:** 1000 S.W. 10TH STREET, RD 10, COGUMMA, FL, 32916  
**OWNER:** YOUNGLIFE  
**CONTACT:** MICHAEL W. BANCROFT, A.E.  
 1000 S.W. 10TH STREET, RD 10, COGUMMA, FLORIDA 32916  
**SITE AREA:** 8.07 ACRES  
**EXISTING ZONING:** A-1  
**PANEL NUMBER:** A2583-001-00

**TREES:**  
 TREES REMOVED = 8107 S. 1107' / ACRES = 897 TREES  
 TREES PROTECTED = BASED ON SURVEY LOCATED TREES, THERE ARE LESS TREES FOR ADE.  
 IF A TREES ARE REMOVED IN FUTURE PERCUTATION POND AND WWT COLLECTION BLDG, THIS WILL BE FURTHER REDUCED BY FUTURE PERCUTATION POND AND WWT COLLECTION BLDG.

<p>DATE: 11/14/2019          TIME: 10:00 AM          DRAWN BY: [Signature]          CHECKED BY: [Signature]          SCALE: AS SHOWN</p>	<p>PROJECT: ESOZ Plan          SHEET NO. 1 OF 1          TOTAL SHEETS: 1</p>	<p>DESIGNED BY: [Signature]          CHECKED BY: [Signature]          DATE: 11/14/2019</p>
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## RESOLUTION NO. 19-R-438

### A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, APPROVING A SPECIAL USE PERMIT, PROVIDING AN EFFECTIVE DATE.

**WHEREAS**, an application for a Special Use Permit was duly filed with the Growth Services Department and considered by the Marion County Planning and Zoning Commission at its meeting on September 30, 2019; and

**WHEREAS**, the aforementioned application was considered at a public hearing held by the Board of County Commissioners of Marion County, Florida at its meeting on Tuesday, October 15, 2019. Now therefore,

**BE IT RESOLVED** by the Board of County Commissioners of Marion County, Florida:

**SECTION 1. SPECIAL USE PERMIT APPLICATION APPROVAL 191008SU Young Life Inc.** The application requesting a Special Use Permit, Articles 2 and 4, of the Marion County Land Development Code as submitted by DNM Engineering and Associates, Inc., Ocala, FL, a copy of said application being on file with the Marion County Growth Services Director, is hereby approved for construction of a wastewater treatment facility capable of treating 50,000 gallons per day, in an A-1 (General Agriculture) zone, on Parcel Account No. 40263-001-00, 8.8 Acres.

**SECTION 2. FINDINGS AND CONDITIONS.** The Board of County Commissioners agrees with the recommendation and findings of the Planning and Zoning Commission recommending approval of the Special Use Permit and the Board approves the Special Use Permit subject to the following conditions:

1. The site shall be developed and operated consistent with the submitted conceptual plan and the conditions as provided with this approval.
2. Ingress/egress shall be via SE 95<sup>th</sup> Street Road thru existing & proposed driveway entrances.
3. In lieu of a minor site plan for the WWTP, an Environmentally Sensitive Overlay Zone Plan must be submitted. This may occur in conjunction with the building permits for the facility.
4. Expansion or modification of the type, size or location of any of the proposed uses/operations beyond those indicated in the application materials or shown on the conceptual plan is prohibited. However, a new Special Use Permit application may be submitted. This prohibition does not apply to new agricultural structures (i.e. horse barns) permissible on the property.
5. The owner/operator shall coordinate with Marion County Utilities to determine whether a plan for long-term operation and maintenance is required. Such determination must be provided in writing within 120 days of approval of the SUP.
6. Quarterly water quality sampling will be required and results shall be submitted to the Growth Services Department.

7. The Special Use permit shall run with the owner, Young Life Southwind, and not the property.
8. The Special Use Permit shall expire on October 28, 2029; however it may be renewed administratively up to three times, for up to 10 years each, by a written instrument signed and issued by the Growth Services Director (or position equivalent to the Growth Services Director at that time), unless:
  - a. There have been unresolved violations of the County Land Development Code, the County Code of Ordinances, and/or the conditions of the Permit,
  - b. Neighboring property owners within 300' of the subject property have complained to the County Code Enforcement, Zoning, or equivalent/similar Departments/Divisions about the uses of the subject property by this Permit, or
  - c. The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).

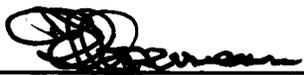
**SECTION 3. REVOCATION.** Violation or failure to comply with one or more condition(s) of this Special Use Permit shall be grounds for revocation of this Special Use Permit by the Board at a noticed public hearing.

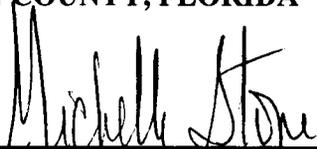
**SECTION 4. EFFECTIVE DATE.** This Resolution shall take effect immediately upon its adoption.

**DULY ADOPTED** in regular session this 15<sup>th</sup> day of October, 2019.

**ATTEST:**

**BOARD OF COUNTY COMMISSIONERS  
MARION COUNTY, FLORIDA**

  
\_\_\_\_\_  
DAVID R. ELLSPERMANN, CLERK

  
\_\_\_\_\_  
MICHELLE STONE, CHAIRMAN



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

October 12, 2025

MARION COUNTY GROWTH SERVICES DEPARTMENT  
KEN WEYRAUCH, DEPUTY DIRECTOR  
2710 E SILVER SPRINGS BLVD  
OCALA, FL 34470

**SUBJECT: STAFF REVIEW COMMENTS LETTER**  
PROJECT NAME: YOUNG LIFE SOUTHWIND HISTORIC CAMP  
PROJECT #2002080001  
APPLICATION: ZO SUP #33284

Dear Ken:

Below are the reviewers' comments for the above referenced project.

**1. DEPARTMENT: ENGDRN - STORMWATER REVIEW**

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: Stormwater is not opposed to the special use permit. The applicant is requesting a SUP for the purpose of updating the existing SUP to account for the additional structure and habitable space. Parcel # 40263-001-00 is currently zoned A-1 and is 8.8 acres in size. There is a FEMA Flood Zone on this site. Per the MCPA, this site currently has 491 SF of impervious coverage. This site will be subject to a Major Site Plan or waiver when its existing and proposed impervious coverage exceeds 9,000 SF.

**2. DEPARTMENT: ENGTRF - TRAFFIC REVIEW**

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: Traffic has no concerns with this request as maintenance buildings are auxiliary uses to the main use of the campground and will not increase the amount of traffic from the site.

**3. DEPARTMENT: 911 - 911 MANAGEMENT**

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: N/A

**4. DEPARTMENT: DOH - ENVIRONMENTAL HEALTH**

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: N/A

**5. DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW**

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: Fire Review conditionally approved for a special use permit. Any site improvements and building construction shall comply with the minimum requirements of the Florida Fire Prevention Code.

6. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: no comment

7. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: Parcel 40263-001-00 is within the Marion County Utility service area, but currently outside of connection distance to MCU infrastructure. The parcel is served by onsite water and wastewater treatment facilities. The requested special use update will have no impact on Marion County Utilities. This parcel is located outside of the Urban Growth Boundary and the Primary Springs Protection Zone.

8. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

REMARKS: The review will be conducted at the time of the reporting process.

9. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Special Use Permit

STATUS OF REVIEW: INFO

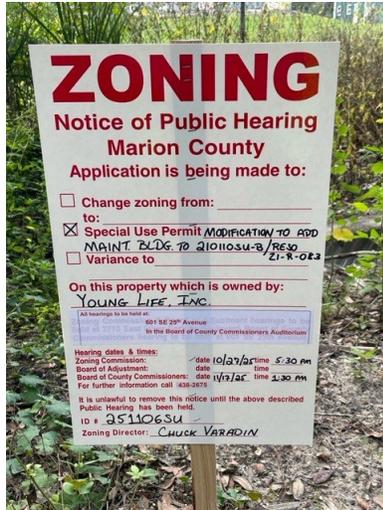
REMARKS: The review will be conducted at the time of the reporting process.

If you have any questions, please feel free to contact me at (352) 671-8686 or [DevelopmentReview@marionfl.org](mailto:DevelopmentReview@marionfl.org).

Sincerely,

Development Review Team

1A. Site Sign along SE 183<sup>rd</sup> Avenue Road, October 2025.



1B. Site Sign along SE 95<sup>th</sup> Street, October 2025



2. Views along SE 183<sup>rd</sup> Avenue Road from site's requested additional driveway.

View North.



View South.



3. View of driveway for 9647 SE 183<sup>rd</sup> Avenue Road (PID# 40263-000-00) located southeast of the site's additional requested SE 183<sup>rd</sup> Avenue Road driveway.



4. Views looking east and southeast from the subject property's southeast corner at the SE 183<sup>rd</sup> Avenue Road and SE 95<sup>th</sup> Street Road intersection:

View east.



View southeast.



5. Views looking east to west along SE 95<sup>th</sup> Street Road.

View east along SE 95<sup>th</sup> Street Road with site on left.



View southeast



View southwest.



View west along SE 95<sup>th</sup> Street Road with site on right.



View into the site from SE 95<sup>th</sup> Avenue.



View of residence site shown in picture directly above.



5. View site and surroundings from camp's east driveway, looking south and moving clockwise.

View south.



View along south boundary w/SE95th Street.



View along interior fence along south boundary.



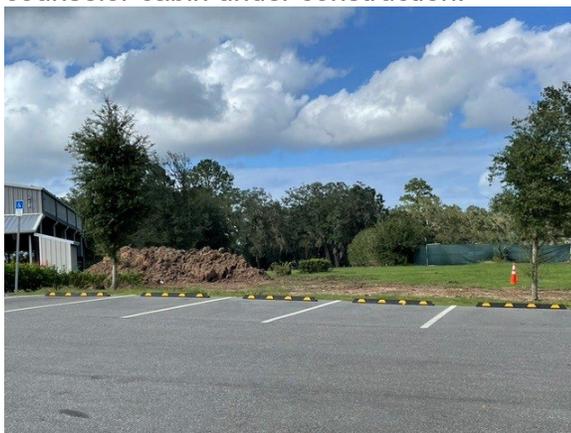
View of dining hall rear loading area.



View of dining hall (left) and covered sport court.



View of covered sport court (left) and counselor cabin under construction.



View of counselor cabin under construction with the structure (green building beyond the green tanks) to be converted from ag/farm to maintenance building.



View east through vegetation to WWTP percolation ponds.



Berm & vegetation screening along site's south boundary and along the north side of SE 95<sup>th</sup> Street Road.





# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21228

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.1.3.

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**SUBJECT:**

**251107SU - Jajolo Limited Partnership, Special Use Permit to Allow for a Fenced Outdoor Display Area, Sidewalk Display Area, and Propane Tank, in a Community Business (B-2) Zone, 6.69 Acre Parcel, Parcel Account Number 35013-002-00, Site Address 8602 SW Highway 200, Ocala, FL 34481**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Applicant, Paul Rondeau, on behalf of property owner, Jajolo Properties, has filed a special use permit to allow for a fenced outdoor display area, sidewalk display area, and propane tank in a Community Business (B-2) zoning classification within 103<sup>rd</sup> Street Square subdivision on SW Hwy 200, pursuant to the provisions of Land Development Code (LDC) Division 2.8 - Special Use Permit, and LDC Section 4.2.18. The subject property is situated inside the Urban Growth Boundary (UGB) and in the County's Secondary Springs Protection Overlay Zone (S-SPOZ).

**BUDGET/IMPACT:**

None.

**RECOMMENDED ACTION:**

Staff recommends approval with conditions. Planning and Zoning Commission recommends approval with conditions.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

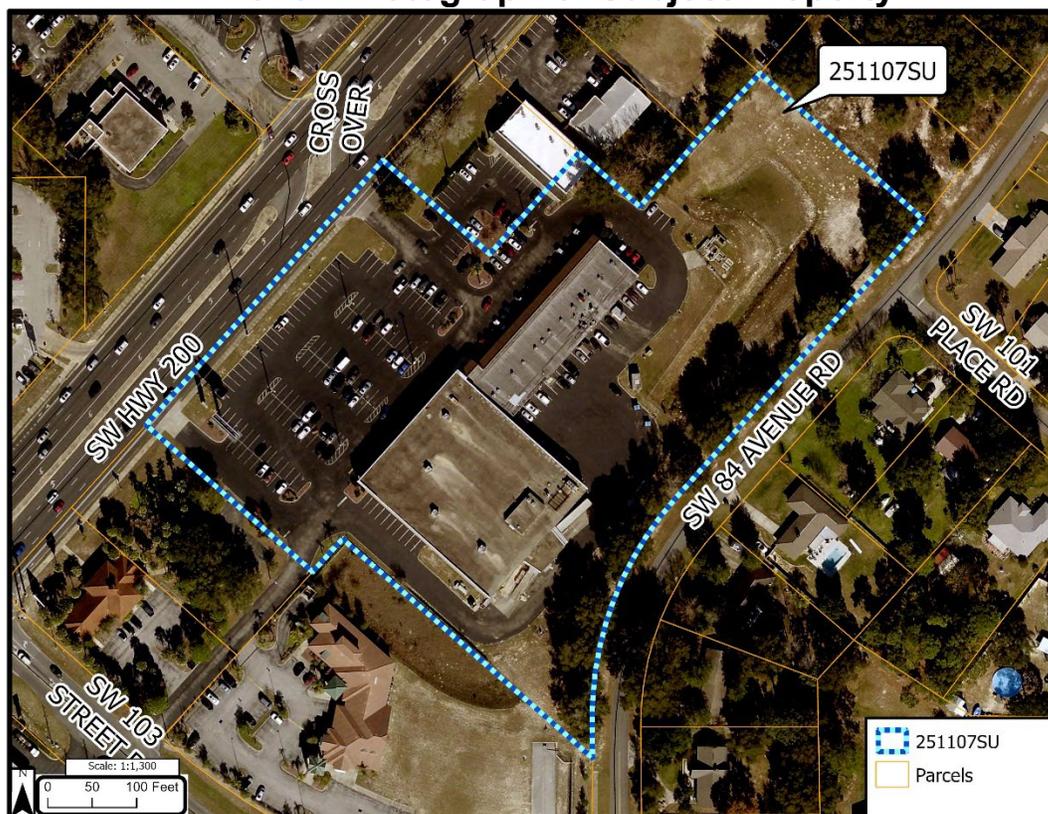
**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>P&amp;ZC Date: 10/27/2025</b>	<b>BCC Date: 11/17/2025</b>
<b>Case Number:</b>	251107SU
<b>CDP-AR:</b>	33305
<b>Type of Case:</b>	<b>Special Use Permit</b> to allow a fenced outdoor display area, sidewalk display area, and a propane tank in a Community Business (B-2) zoning classification.
<b>Owner</b>	Jajolo Properties
<b>Applicant</b>	Paul Rondeau
<b>Street Address</b>	8602 SW State Road 200, Ocala, FL 34481
<b>Parcel Number</b>	35013-002-00
<b>Property Size</b>	±6.69 acres
<b>Future Land Use</b>	Commercial (COM)
<b>Zoning Classification</b>	Community Business (B-2)
<b>Overlay Zone/Scenic Area</b>	Urban Growth Boundary (UGB) & Secondary Springs Protection Overlay Zone (S-SPOZ)
<b>Staff Recommendation</b>	<b>Approval with Conditions</b>
<b>P&amp;ZC Recommendation</b>	<b>Approval with Conditions (On consent)</b>
<b>Project Planner</b>	Kathleen Brugnoli
<b>Related Case(s)</b>	000702SU: Farm Store in Community Business (B-2) – approved.

## I. ITEM SUMMARY

Paul Rondeau, on behalf of Jajolo Properties, has filed an application for a special use permit to allow for a fenced outdoor display area, sidewalk display area, and a propane tank in a Community Business (B-2) zoning classification (see Attachment A). Figure 1 is an aerial photograph showing the location of the subject property. The Property Identification Number associated with the property is 35013-002-00, Address: 8602 SW State Road 200, Ocala, FL 34481, and the legal description is displayed on the deed included as part of the application. The subject property is located within the Urban Growth Boundary (UGB) and the Secondary Springs Protection Overlay Zone (S-SPOZ).

**Figure 1**  
**Aerial Photograph of Subject Property**



## II. STAFF SUMMARY RECOMMENDATION

Staff recommends **APPROVAL with conditions** due to the request being consistent with the Marion County Comprehensive Plan, compatible with the surrounding area, and not adversely affecting the public interest as specified in Section VI.B. of this Staff Report. The recommended conditions are being imposed to address compliance with the requirements in LDC Sections 2.8.2.D and 2.8.3.B.

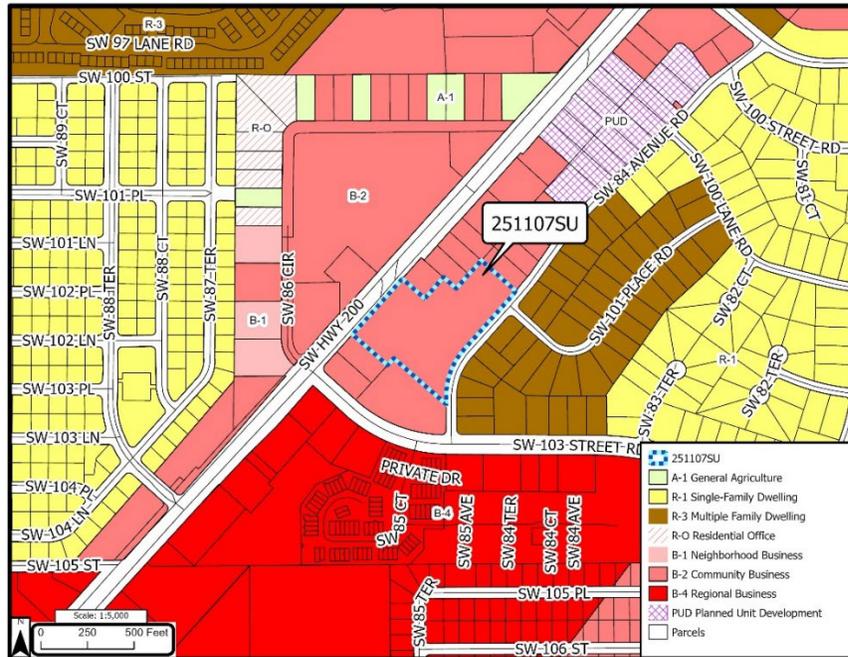
### III. NOTICE OF PUBLIC HEARING

The Growth Services Director has interpreted the requirements of Land Development Code (LDC) Sections 2.7.3.C and 2.7.3.B to apply to SUP applications. LDC Section 2.7.3.C requires notice of public hearing be mailed to all property owners within 300 feet of the subject property and notice was mailed to (69) property owners on October 10, 2025. As of the date of the initial distribution of this staff report, no letters of opposition or support have been received. Consistent with LDC Section 2.7.3.B., public notice was posted on the subject property on October 8, 2025, and consistent with LDC Section 2.8.3.E. due public notice was published in the Ocala Star-Banner on October 13, 2025. Evidence of the above-described public notices are on file with the Growth Services Department and is incorporated herein by reference.

### IV. BACKGROUND/CHARACTER OF THE AREA

- A. *Existing site conditions.* Figure 2 provides zoning classification information while Figure 3 shows the FLUMS designation for the area. Table 1 outlines the existing uses of the surrounding area, while Figure 4 illustrates those uses in relation to the subject property. A site visit was conducted on October 8, 2025 (Attachment B). The property is developed with an existing commercial plaza, 103<sup>rd</sup> Street Square Plaza, a multi-unit building with one large anchor store at the end that was previously occupied by Big Lots. All parking areas, points of ingress/egress, and loading areas were established at the time of construction which was in 1992.
- B. *Zoning district map.* Figure 2 shows the subject property designated as Community Business (B-2). Surrounding properties to the north, south, and west have a similar B-2 zoning with parcels to the west being zoned Multiple-Family Dwelling (R-3) and within Kingsland Country Estates Unit 1.

**Figure 2**  
**Zoning Classification**



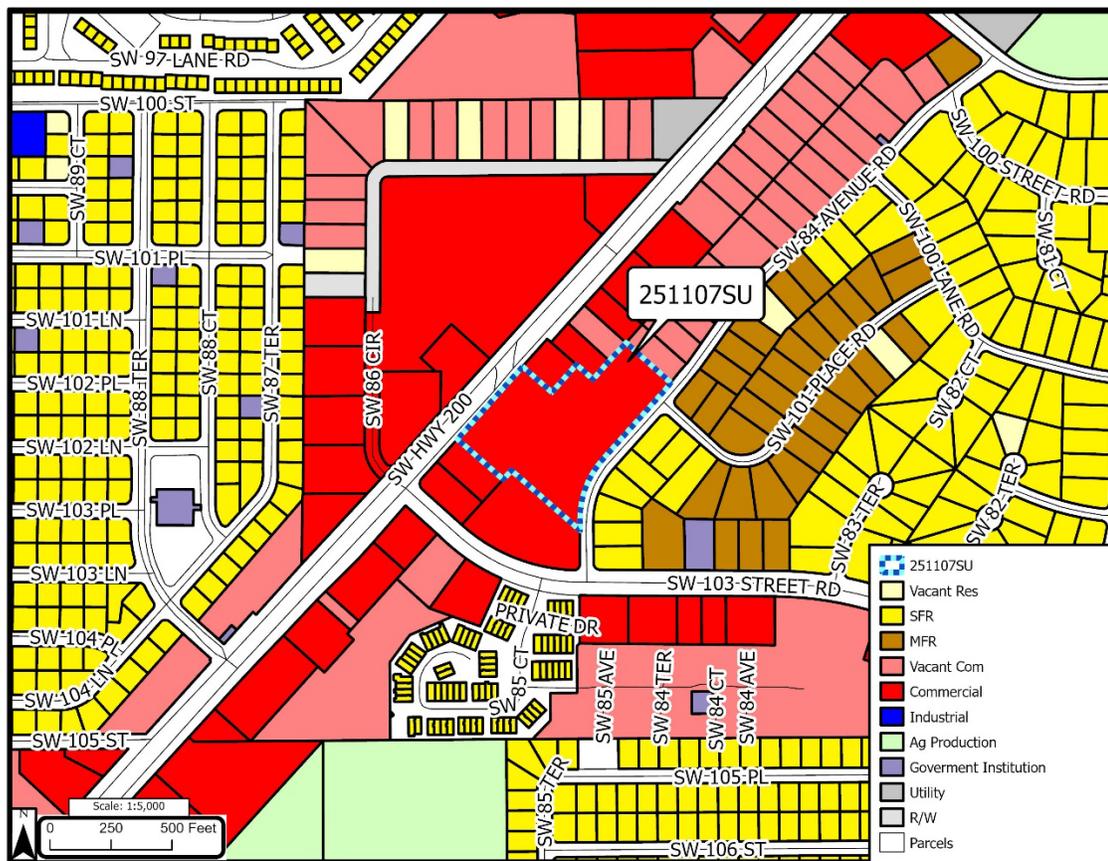
C. *FLUMS designation.* Figure 3 is the FLUMS and shows the subject property as Commercial (COM) land use (0-8 du/ac; 1.0 FAR) with the same land use to the north, south, and west. The residential area to the east has a Medium Residential (MR) land use that allows 1.4 du/ac.

**Figure 3**  
**Future Land Use Map Series**

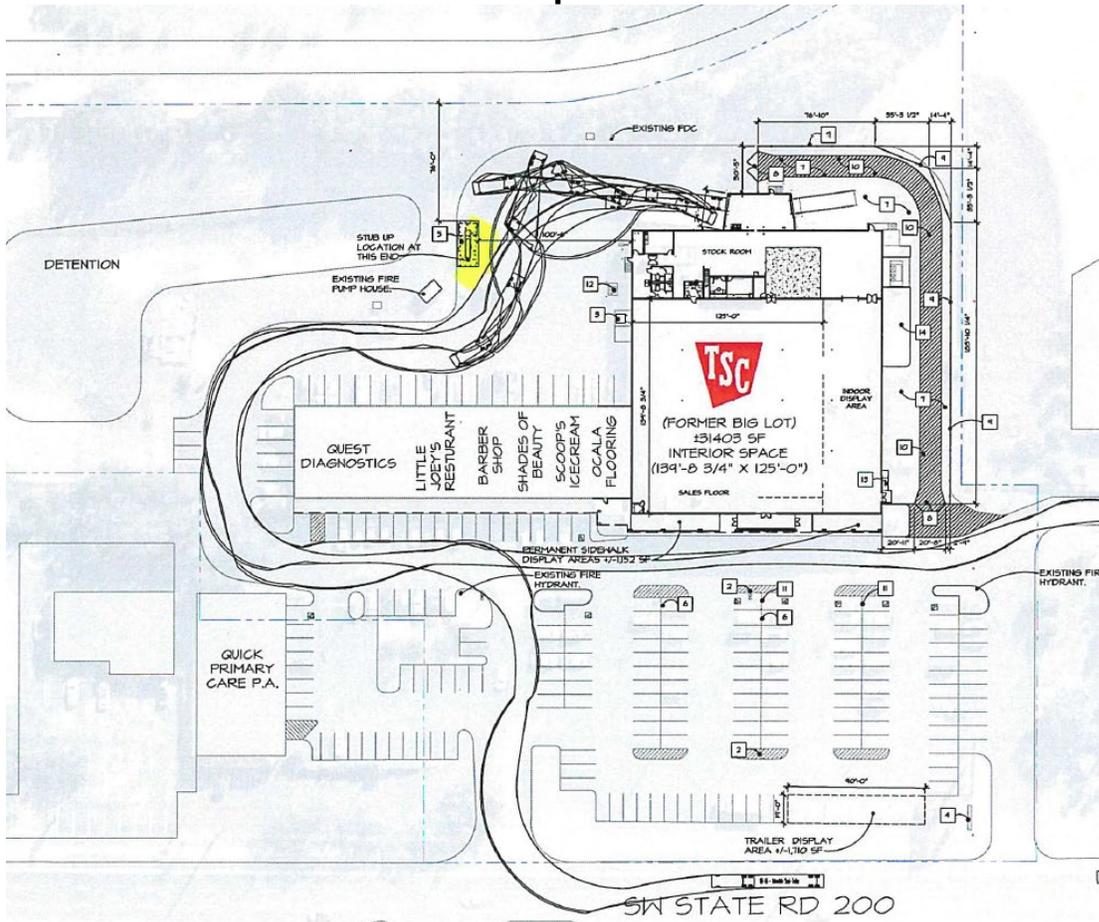


TABLE 1. ADJACENT PROPERTY CHARACTERISTICS			
Direction	FLUMS	Zoning	Existing Use
Site	Commercial (COM)	Community Business (B-2)	Commercial
North	Commercial (COM)	Community Business (B-2)	Commercial
South	Commercial (COM)	Community Business (B-2))	Commercial
East	Medium Residential (MR)	Multiple-Family Dwelling (R-3)	Residential Multi-Family Residential
West	Commercial (COM)	Community Business (B-2)	Commercial

**Figure 4**  
**MCPA Property Uses**



**Figure 5  
Concept Plan**



## V. ANALYSIS

LDC Section 2.8.2.D provides that in making a recommendation to the Board, the Planning and Zoning Commission shall make a written finding the SUP addresses nine (9) specific requirements. LDC Section 2.8.3.B requires consistency with the Comprehensive Plan. Staff's analysis of compliance with these ten (10) requirements are addressed below.

- A. *Provision for **ingress and egress** to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Analysis:** The parcel has two existing points of access to SW Hwy 200 with a third coming up from the south on SW 103<sup>rd</sup> Street Rd. to serve the commercial center. Traffic stated in their DRC comments (Attachment C) they had no concerns as the special use permit request being made was for outdoor storage and display areas. However, during a DRC meeting, the County Engineer mentioned concern with truck traffic and turning directly into the parking lot from SW Hwy 200 and

suggested the condition provided below to address the concern. Staff concludes that the application **is consistent** with provisions for ingress and egress.

- Delivery of store merchandise via semi-truck must use SE 103<sup>rd</sup> Street Rd. for ingress/egress.

- B. *Provision for **off-street parking and loading areas**, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.*

**Analysis:** Paved lined parking already exists on the property with accessible parking spaces as well. The site plan provided (Attachment A Page 3) indicates that based on the size of the commercial structure, 134 parking spaces are required with 7 being accessible for disabled permit parking. The commercial center has 183 parking spaces with 8 of those being accessible spaces for disabled permit parking, exceeding what was required by the Land Development Code (LDC). Areas for truck loading and unloading are also already in place and are located towards the rear of the building and allowing for traffic circulation. The propane tank proposed is located at the rear of the property next to the existing fire pump house and in an area providing distance from the existing commercial uses and the residential behind it. Staff finds the application is **consistent** with provisions for off-street parking and loading areas as well as noise.

- C. *Provisions for **refuse and service area**, with particular reference to the items in (1) and (2) above.*

**Analysis:** Waste removal for the property is already established as this is an existing commercial center already in operation. Staff concludes the application **is consistent** with provisions for refuse.

- D. *Provision for **utilities**, with reference to locations, availability, and compatibility.*

**Analysis:** Findings of Facts from the Utilities state that the parcel is currently served by a community well and private wastewater system (Attachment C Page 2). They also state the special use requested for outdoor storage does not alter the building's flows or use so they have no comments to provide. Staff finds the application is **consistent** with the provisions for utilities.

- E. *Provision for **screening and buffering** of dissimilar uses and of adjacent properties where necessary.*

**Analysis:** The findings of facts (Attachment A Page 2) provided state the following, "New 10' high chain link fencing with fabric screening around the outdoor display area will be located to the side and rear of the building. Trailer display area at the front of the parking area will not lower the parking counts below the minimum code requirements. All sidewalk display areas are located under the existing roof line

and will not encroach on required clearance for exiting or accessibility.” The trailer display area mentioned is shown on the site plan as being the parking spaces closest to SW Hwy 200 with no additional buffering or screening shown. Marion County LDC provides that the intent for buffering requirements is to reduce negative impacts of adjacent uses upon each other and to screen and provide an aesthetic quality, especially along public rights-of-way (Sec 6.8.6.B). In an effort to enhance travel corridors, staff proposes the following conditions to address the trailer display area. With the conditions provided, staff finds the application **consistent** with the provision for screening and buffering.

- The trailer display area can remain as shown on the site plan abutting SW Hwy 200 if a modified C-Type buffer is installed the entire length of the trailer display area.
  - Modified C-Type buffer: shall consist of a 15-foot wide landscape strip without a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer and form a layered landscape screen with a minimum height of six feet achieved within one year.
  - As an alternative, the trailer display can be relocated to the south side of the building within the existing area of parking spaces which would require no additional buffering to be installed.

F. *Provision for **signs**, if any, **and exterior lighting** with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.*

**Analysis:** Exterior lighting and signs are to remain as they are currently. A monument sign at the southern entrance/exit identifies all the businesses within the commercial center which Tractor Supply will permit separately to add their name to. The application is **consistent** with the signs and exterior lighting requirements of this section.

G. *Provision for **required yards and other green space**.*

**Analysis:** As previously stated, this parcel is already developed, and all yards and green spaces were addressed at the time of site plan review and construction. The application is **consistent** with yards and other green spaces.

H. *Provision for general **compatibility** with adjacent properties and other property in the surrounding area.*

**Analysis:** Compatibility is defined in Chapter 163.3164(9) of the Florida Statutes, under the Community Planning Act, as “a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition.”

Figure 1 is an aerial photograph displaying existing and surrounding properties. Figure 4 displays the same properties based on their use code per Marion County Property Appraiser. Uses surrounding this property, according to MCPA, are commercial in nature except for neighboring residential located towards the rear of the property both fenced and heavily treed to help screen from the commercial activity. Staff finds the application is **consistent** with the provision for compatibility.

I. *Provision for meeting any **special requirements** required by the site analysis for the particular use involved.*

**Analysis:** Staff notes that unlike a variance, which runs with the land and is recorded in the public records, a special use permit is not recorded. As a result, a subsequent owner will not have notice of the requirements. Staff recommends the following policy for future development of the property.

- The site shall be developed and operated consistent with the Special Use Permit Application, the submitted conceptual plan, and the conditions as provided with this approval.
- The special Use Permit shall run with the tenant, Tractor Supply. Any change in tenant will void this special use permit and a new tenant would need to apply.
- The propane tank shall be placed behind the commercial center and in accordance with the applicable codes.

J. *Consistency with the Comprehensive Plan.*

1. Policy 2.1.5: **Permitted & Special Uses** – The county shall identify permitted and special uses for each land use designation and zoning classification, as further defined in the Comprehensive Plan, Zoning, and LDC.

**Analysis:** LDC Section 4.2.3(C) allows for Special Use Permits and outdoor storage is a special use request that can be made for B-2 zoning classification. Thus, the application is **consistent** with FLUE Policy 2.1.5.

Based on the above findings, staff concludes the SUP is consistent with LDC Sections 2.8.2.D and 2.8.3.B as well as the Comprehensive Plan.

## VI. ALTERNATIVE RECOMMENDATIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, and make a recommendation to the Commission to adopt a proposed Ordinance to **DENY** the special use permit.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, amend the findings and conclusions contained herein so as to support the approval of the Ordinance with amended conditions, and make a

recommendation to the Commission to adopt a proposed Ordinance to **APPROVE WITH AMENDED CONDITIONS** the special use permit.

- C. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance, and make a recommendation to the Commission to **TABLE** the application for up to two months in order to provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.

## VII. STAFF RECOMMENDATION

- A. Staff recommends the Board enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, and make a recommendation to adopt a proposed Ordinance to **APPROVE with conditions** the special use permit based on compatibility in the area, compliance with the Comprehensive Plan, and a lack of adverse impacts to the surrounding area.
- B. To address compliance with LDC Sections 2.8.2.D and 2.8.3.B, the following conditions are imposed in the event that the Board chooses to agree with staff recommendation and approve the special use with conditions:
1. Delivery of store merchandise via semi-truck must use SE 103<sup>rd</sup> Street Rd. for ingress/egress.
  2. The trailer display area can remain as shown on the site plan abutting SW Hwy 200 if a modified C-Type buffer is installed the entire length of the trailer display area.
    - a. Modified C-Type buffer: shall consist of a 15-foot wide landscape strip without a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer and form a layered landscape screen with a minimum height of six feet achieved within one year.
    - b. As an alternative, the trailer display can be relocated to the south side of the building within the existing area of parking spaces which would require no additional buffering to be installed.
  3. The site shall be developed and operated consistent with the Special Use Permit Application, the submitted conceptual plan, and the conditions as provided with this approval.
  4. The special Use Permit shall run with the tenant, Tractor Supply. Any change in tenant will void this special use permit and a new tenant would need to apply.
  5. The propane tank shall be placed behind the commercial center and in accordance with the applicable fire codes.

## **PLANNING AND ZONING COMMISSION RECOMMENDATION**

Approval with conditions (on consent).

### **VIII. BOARD OF COUNTY COMMISSIONERS ACTION**

To be determined.

### **IX. LIST OF ATTACHMENTS**

- A. SUP Application.
- B. Site Photos.
- C. DRC Comments.
- D. Surrounding Property Owner Map.



Marion County Board of County Commissioners

Growth Services ♦ Planning & Zoning

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2600 Fax: 352-438-2601

STAFF/OFFICE USE ONLY	
Case No.:	
AR No.:	
PA:	

- New or Modification \$1,000
- Expired \$1,000
- Renewal (no changes) \$300

SPECIAL USE PERMIT APPLICATION

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: A fenced outdoor display area (SF), Sidewalk Display Area (SF) and Propane Tank.

Property/Site Address: 8602 SW State Road 200, Ocala, FL 34481

Property Dimensions: \_\_\_\_\_ Total Acreage: 6.69

Legal Description: (Please attach a copy of the deed and location map.) Parcel Zoning: B-2

Parcel Account Number(s): 35013-002-00

Each property owner(s) MUST sign this application or provide written authorization naming the applicant or agent below to act on their behalf. Please print all information, except for the Owner and Applicant/Agent signature. If multiple owners or applicants, please use additional pages.

Jajolo Properties

Paul Rondeau

Property Owner Name (please print)

Applicant or Agent Name (please print)

4065 N Lecanto Highway, Suite 500

5401 Virginia Way

Mailing Address

Mailing Address

Beverly Hills, FL 34465

Brentwood, TN 37207

City, State, Zip Code

City, State, Zip Code

352-746-3301

813-298-2620

Phone Number (include area code)

Phone Number (include area code)

jajoloproperties@gmail.com

prondeau@tractorsupply.com

E-Mail Address (include complete address)

E-Mail Address (include complete address)

*Stephan A Tamposi* Stephan A Tamposi

*Paul Rondeau*

Signatures\*

Signatures

\*By signing this application, applicant hereby authorizes Growth Services to enter onto, inspect, and traverse the property indicated above, to the extent Growth Services deems necessary, for the purposes of assessing this application and inspecting for compliance with County ordinance and any applicable permits.

STAFF/OFFICE USE ONLY			
Project No.:	<u>2025 08 0057</u>	Code Case No.:	
Rcvd by:	<u>EM</u>	Rcvd Date:	<u>8/26/25</u>
		FLUM:	<u>com</u>
		Application No.:	
		AR No.:	<u>33305</u>
		Rev:	<u>10/20/21</u>

Please note: The Special Use Permit will not become effective until after a final decision is made by the Marion County Board of County Commissioners. The owner, applicant or agent must be present at the public hearing to represent this application. If no representative is present and the board requires additional information, the request may be postponed or denied. Notice of said hearing will be mailed to the above-listed address(es). All information given by the applicant or agent must be correct and legible to be processed. The filing fee is non-refundable.

For more information, please contact the Zoning Division at 352-438-2675.

Empowering Marion for Success

marionfl.org



### **SPECIAL USE – FINDING OF FACTS – TRACTOR SUPPLY**

8602 SW STATE ROAD 200, Ocala FL 34481

1. The existing entrances to the site as well as the parking spaces, sidewalks, and drive aisles will be reused. The existing buildings and all required fire exits will remain.
2. The existing parking area and accessible parking spaces will be reused and will comply with current zoning parking numbers/requirements.
3. Existing dumpsters, landscaping, fences, and screening are to remain.
4. All existing utilities are to remain. No additional utilities are proposed.
5. New 10'-0" high chain link fencing with fabric screening around the outdoor display area will be located to the side and rear of the building. Trailer display area at the front of the parking area will not lower the parking counts below the minimum code requirements. All sidewalk display areas are located under the existing roof line and will not encroach on required clearance for exiting or accessibility.
6. All site and exterior building lighting is to remain. New signage for the Tractor Supply will comply with current codes.
7. Existing yards, setbacks, and greenspace are to remain.
8. The proposed outdoor display areas are similar to other outdoor display areas along State Road 200.
9. We are willing to meet any special requirements/conditions necessary to obtain the special use permit.



**CERTIFICATE OF LIMITED PARTNERSHIP**  
**JAJOLO LIMITED PARTNERSHIP,**  
**A FLORIDA LIMITED PARTNERSHIP**

STATE OF FLORIDA  
COUNTY OF CITRUS

BEFORE ME, the undersigned authority, personally appeared Stephen A. Tamposi, President of Keller Court, Inc., as general partner of Jajolo Limited Partnership (the "Partnership"), who, upon being duly sworn, certified as follows:

1. The name of the Partnership is Jajolo Limited Partnership;
2. The name and address of the agent for service of process on the Partnership is Eric D. Abel, Esq., 2450 N. Citrus Hills Boulevard, Hernando, FL 34442;
3. The names and addresses of the general partner of the Partnership is:  
Keller Court, Inc. 99-164372  
(a Florida corporation)  
2450 N. Citrus Hills Blvd.  
Hernando, FL 34442
4. The mailing address and the principal office of the Partnership is: c/o Stephen Tamposi, 2450 N. Citrus Hills Blvd., Hernando, Florida 34442;
5. The latest date upon which the limited partnership is to dissolve is: December 31, 2045.

98 APR 30 AM 9:31  
FILED  
SECRETARY OF STATE  
TALLAHASSEE, FLORIDA

Under penalties of perjury, we declare that we have read the foregoing and that the facts alleged are true, to the best of our knowledge and belief.

4-28-98  
Date

Stephen A. Tamposi  
Stephen A. Tamposi, President,  
Keller Court, Inc., a Florida corporation, as  
General Partner of Jajolo  
Limited Partnership

STATE OF FLORIDA  
COUNTY OF CITRUS

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of APRIL, 19 98 by Stephen A. Tamposi, as President of Keller Court, Inc., as general partner of Jajolo Limited Partnership, a Florida limited partnership, who is personally known to me and who did not take an oath.

Lisa M Bazemore  
Notary Public

Lisa M Bazemore  
My Commission CC692087  
Expires December 6, 2001

**ACCEPTANCE OF APPOINTMENT AS REGISTERED AGENT**

Having been named as statutory registered agent for Jajolo Limited Partnership, a Florida limited partnership (the "Partnership"), in the foregoing Certificate of Limited Partnership, I hereby agree to act in the capacity, and, on behalf of the Partnership, to accept service of process for the Partnership and to comply with any and all statutes relative to the complete and proper performance of the duties of registered agent.

REGISTERED AGENT:  
  
Eric D. Abel

**AFFIDAVIT OF CAPITAL CONTRIBUTIONS**

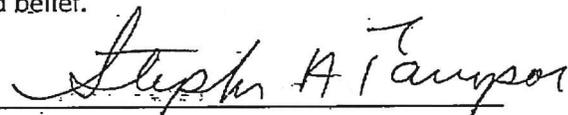
STATE OF FLORIDA  
COUNTY OF CITRUS

BEFORE ME, the undersigned authority, personally appeared Stephen A. Tamposi, as President of Keller Court, Inc., as general partner of Jajolo Limited Partnership (the "Partnership"), who, upon being duly sworn, certified as follows:

1. The amount of capital contributions to the Partnership made by the limited partner(s) is, in the aggregate, Two Hundred Fifty Thousand and no/100 Dollars (\$250,000.00);
2. At this time, it is not anticipated that additional capital contributions will be made by the limited partners.

Under penalties of perjury, we declare that we have read the foregoing and that the facts alleged are true, to the best of our knowledge and belief.

4-28-98  
Date

  
Stephen A. Tamposi, President  
of Keller Court, Inc., a Florida corporation,  
as general partner of Jajolo  
Limited Partnership

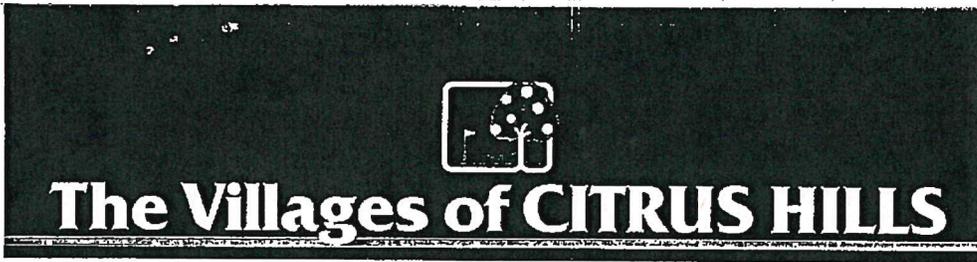
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98 APR 30 AM 9:12  
SECRETARY OF STATE  
TALLAHASSEE, FLORIDA

STATE OF FLORIDA  
COUNTY OF CITRUS

The foregoing instrument was acknowledged before me this 28 day of APRIL, 19 98, by Stephen A. Tamposi, as President of Keller Court, Inc., as general partner of Jajolo Limited Partnership, a Florida limited partnership, who is personally known to me and who did not take an oath.

  
Notary Public

 Lisa M Bazemore  
My Commission CC692067  
Expires December 6, 2001



A 98 000 001 076

April 28, 1998

Florida Department of State  
 Division of Corporations  
 409 E. Gaines Street  
 Tallahassee, Florida 32399

600002506886-- 1  
 -04/30/98--01083--001  
 \*\*\*1785.00 \*\*\*1785.00

Dear Sirs:

Enclosed please find a Certificate of Limited Partnership for Jajolo Limited Partnership. Also enclosed is the Acceptance of Appointment as Registered Agent and the Affidavit of Capital Contributions. A check in the amount of \$1,785.00 is included to cover the fees in this matter.

If you have any questions, please feel free to call.

Very truly yours,

CM

*Eric D. Abel*  
 Eric D. Abel, General Counsel

FILED  
 98 APR 30 AM 9:11  
 SECRETARY OF STATE  
 TALLAHASSEE, FLORIDA

EDA:lb  
 Enclosure



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Partnership  
JAJOLO LIMITED PARTNERSHIP

### Filing Information

<b>Document Number</b>	A98000001076
<b>FEI/EIN Number</b>	59-3507061
<b>Date Filed</b>	04/30/1998
<b>State</b>	FL
<b>Status</b>	ACTIVE

### Principal Address

2476 N. ESSEX AVE.  
HERNANDO, FL 34442

Changed: 04/22/2002

### Mailing Address

2476 N. ESSEX AVE.  
HERNANDO, FL 34442

Changed: 04/22/2002

### Registered Agent Name & Address

ABEL, ERIC D, Esq.  
2476 N ESSEX AVE  
HERNANDO, FL 34442

Name Changed: 03/20/2015

Address Changed: 12/31/1998

### General Partner Detail

#### **Name & Address**

Document Number P97000104372

KELLER COURT, INC.  
2476 N. ESSEX AVENUE  
HERNANDO, FL 34442

### Annual Reports

# Attachment A

Report Year	Filed Date
2023	01/19/2023
2024	01/29/2024
2025	01/30/2025

### Document Images

<a href="#">01/30/2025 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/29/2024 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/19/2023 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/21/2022 -- ANNUAL REPORT</a>	View image in PDF format
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<a href="#">03/26/2019 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/26/2018 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/27/2017 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/23/2016 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/20/2015 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/21/2014 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/25/2013 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/07/2012 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/21/2011 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/26/2010 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/11/2009 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/11/2008 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/26/2007 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/29/2006 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/07/2005 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/21/2004 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/27/2003 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/22/2002 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/26/2001 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/07/2000 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">12/31/1998 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/30/1998 -- Domestic LP</a>	View image in PDF format

**2025 FLORIDA LIMITED PARTNERSHIP ANNUAL REPORT**

**FILED  
Jan 30, 2025  
Secretary of State  
1150217274CC**

DOCUMENT# A98000001076

**Entity Name:** JAJOLO LIMITED PARTNERSHIP

**Current Principal Place of Business:**

2476 N. ESSEX AVE.  
HERNANDO, FL 34442

**Current Mailing Address:**

2476 N. ESSEX AVE.  
HERNANDO, FL 34442

**FEI Number:** 59-3507061

**Certificate of Status Desired:** No

**Name and Address of Current Registered Agent:**

ABEL, ERIC D ESQ.  
2476 N ESSEX AVE  
HERNANDO, FL 34442 US

*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.*

**SIGNATURE:** ERIC D ABEL

01/30/2025

Electronic Signature of Registered Agent

Date

**General Partner Detail :**

Document # P97000104372  
Name KELLER COURT, INC.  
Address 2476 N. ESSEX AVENUE  
City-State-Zip: HERNANDO FL 34442

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a general partner of the limited partnership or the receiver or trustee empowered to execute this report as required by Chapter 620, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.*

**SIGNATURE:** STEPHEN A TAMPOSI

**PRESIDENT OF GENERAL PARTNER** 01/30/2025

Electronic Signature of Signing General Partner Detail

Date

2400  
16450.00

Prepared by and return to:  
Charles H. Carver, Esq.  
Ward Rovell & Van Eepoel, P.A.  
101 E. Kennedy Blvd., Suite 4100  
P.O. Box 71  
Tampa, Florida 33601-0071



DAVID R. ELLSPERMANN, CLERK OF COURT MARION COUNTY  
DATE: 09/16/2003 03:46:19 PM  
FILE #: 2003119709 OR BK/PG 03521/1934

RECORDING FEES 24.00  
DEED DOC TAX 16,450.00

(Space Above This Line For Recording Data)

**SPECIAL WARRANTY DEED**

THIS INDENTURE is made and executed this 8th day of September, 2003, between **OCALA PLAZA CORPORATION**, a Florida corporation (hereinafter referred to as the "Grantor"), and **JAJOLO LIMITED PARTNERSHIP**, a Florida limited partnership (hereinafter referred to as the "Grantee"), whose post office address is c/o The Villages at Citrus Hills, 2476 North Essex Avenue, Hernando, Florida 34442. (Wherever used herein, the terms "Grantor" and "Grantee" include all the parties to this instrument and their heirs, legal representatives, successors and assigns.)

W I T N E S S E T H :

That Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) paid by Grantee to Grantor, the receipt whereof is hereby acknowledged, has granted, bargained and sold to Grantee, and does hereby grant, bargain and sell to Grantee, the following described lands located in Marion County, Florida (the "Property"), to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE

TOGETHER WITH all easements, hereditaments and appurtenances and all improvements thereon, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

Grantor hereby covenants with Grantee that, subject to and except for (i) ad valorem taxes and other governmental assessments for the year 2003 and subsequent years thereto, which are not yet due and payable, (ii) laws, ordinances and governmental regulations (including, but not limited to, building, zoning and land use ordinances) affecting the occupancy, use or enjoyment of the Property, and (iii) the matters described on Exhibit "B" attached hereto and incorporated herein by reference, Grantor does hereby fully warrant the title to the Property and will defend the same against the lawful claims of all persons claiming by, through and under Grantor, but against none other.

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first written above.

Signed, sealed and delivered in our presence as witnesses:

OCALA PLAZA CORPORATION, a Florida corporation

[Signature]  
Print Name: L. L. [unclear]

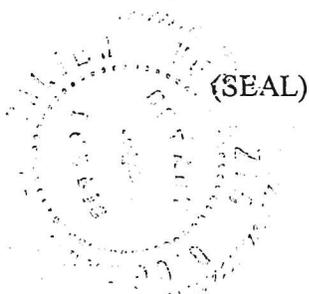
By: [Signature]  
R. Laird Elliott, its President

[Signature]  
Print Name: Karen Sheehan  
As to Grantor

2 Waterfield Drive, Scarborough Ontario, Canada M1P3W5

PROVINCE OF ONTARIO )  
COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT was acknowledged before me this 5<sup>th</sup> day of September, 2003, by R. Laird Elliott, as the President of **OCALA PLAZA CORPORATION**, a Florida corporation, on behalf of the corporation. He  is personally known to me, or  produced Drivers license as identification.



[Signature]  
Notary Public, Province of Ontario  
Valter Venancio Di Cesare

(Print or Type Notary Name)  
Commission (Serial) Number: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

172428  
12160.033943

FILE: 2003119709  
OR BOOK/PAGE 03521/1935

EXHIBIT "A"Legal DescriptionFILE: 2003119709  
OR BOOK/PAGE 03521/1936Parcel 1:

Lot 2, Block 1, and the Drainage Retention Area as shown on the Plat of 103RD. STREET SQUARE, as per plat thereof recorded in Plat Book 2, Pages 76 and 77, Public Records of Marion County, Florida.

## LESS AND EXCEPT:

Begin at the Easternmost corner of Lot 1, Block 1, as shown on said plat of 103RD. STREET SQUARE; thence S.48 degrees 25 minutes 48 seconds E. 17.00 feet; thence S.41 degrees 34 minutes 12 seconds W. 59.00 feet; thence N.48 degrees 25 minutes 48 seconds W. 17.00 feet to a point intersecting the Southeasterly lot line of said Lot 1; thence N.41 degrees 34 minutes 12 seconds E. 59.00 feet to the POINT OF BEGINNING.

Parcel 2:

TOGETHER WITH an easement for ingress, egress and for a water well and piping thereto over the following described parcel:

A parcel of land in Tract "B" as shown on the plat of KINGSLAND COUNTRY ESTATES UNIT 1, as per plat thereof recorded in Plat Book L, Pages 3 through 6, inclusive, of the Public Records of Marion County, Florida, and being more particularly described as follows:

Commence at the Northernmost corner of said Tract "B", said point being at the intersection to the Southeasterly right of way line of State Road 200 (100 feet wide), and the Southwesterly right of way line of Kingsland Country Drive (S.W. 100th Street, right of way width varies); thence S.41 degrees 34 minutes 12 seconds W., along the Northwesterly line of said Tract "B" and the Southeasterly right of way line of said State Road 200 for 2550.64 feet, to a concrete monument; thence S.48 degrees 25 minutes 48 seconds E. 220.00 feet to the POINT OF BEGINNING; thence continue S.48 degrees 25 minutes 48 seconds E. 30.00 feet; thence S.41 degrees 34 minutes 12 seconds W. 250.00 feet, to a point on the Northerly right of way line of S.W. 103rd Street Road (Hialeah Boulevard - 100 feet wide); thence N.48 degrees 25 minutes 48 seconds W., along said Northerly right of way line, 30.00 feet; thence N.41 degrees 34 minutes 12 seconds E. 75.00 feet to a point; thence N.48 degrees 25 minutes 48 seconds W. 10.00 feet to a point; thence N.41 degrees 34 minutes 12 seconds E. 10.00 feet to a point; thence S.48 degrees 25 minutes 48 seconds E. 10.00 feet to a point; thence N.41 degrees 34 minutes 12 seconds E. 165.00 feet to the POINT OF BEGINNING.

LESS AND EXCEPT from the above parcels, any portion lying within State Road 200 right of way described as follows:

Parcel No. 163

That part of Lot 2, Block 1, 103RD STREET SQUARE, as per plat thereof recorded in Plat Book 2, Pages 76 and 77, Public Records of Marion County, Florida. (Said property being a portion of those lands described in Official Records Book 2063, Page 275, of the Public Records of Marion County, Florida; lying within 70.00 feet Southeasterly of, when measured perpendicular to, the following described baseline of survey of S.R. 200 as shown on State of Florida department of transportation right of way map Section 36100-2522:

Begin at a point on the South line of the NW 1/4 of Section 25, Township 16 South, Range 20 East, Marion County, Florida, said point being 771.07 feet N.89 degrees 40 minutes 15 seconds E. of the Southwest corner of said NW 1/4; thence N.42 degrees 02 minutes 16 seconds E. 3558.98 feet to a point on the North line of said Section 25, said point being 2143.30 feet S.89 degrees 15 minutes 25 seconds W. of the Northeast corner of said Section 25, for the end of this described line.

FILE: 2003119709  
OR BOOK/PAGE 03521/1937

EXHIBIT "B"

FILE: 2003119709  
OR BOOK/PAGE 03521/1938

Permitted Exceptions

1. Matters as shown on the Plat of 103rd Street Square, recorded in Plat Book 2, pages 76 and 77 of the Public Records of Marion County, Florida.
2. Rights of tenants in possession under leases not recorded in the Public Records.
3. Terms, conditions and provisions of the Memorandum of Lease recorded in Official Records Book 1768, Page 505 and Subordination, Non-Disturbance and Attornment Agreement recorded in Official Records Book 1885, page 1717 of the Public Records of Marion County, Florida.
4. Easements as shown in those certain Deeds recorded in Official Records Book 1783, Page 1385 and Official Records Book 1885, page 1673 of the Public Records of Marion County, Florida.
5. Covenant to the Board of County Commissioners of Marion County, Florida as recorded in Official Records Book 1817, Page 742 of the Public Records of Marion County, Florida.
6. Terms, conditions and provisions of the Ingress and Egress Easement Agreement recorded in Official Records Book 1885, Page 1676 of the Public Records of Marion County, Florida.
7. Terms, conditions and provisions of Utility and Drainage Easement Agreement as recorded in Official Records Book 1885, Page 1679 of the Public Records of Marion County, Florida.

Jimmy H. Cowan, Jr., CFA  
**Marion County Property Appraiser**



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

**2025 Property Record Card**

**35013-002-00**

[GOOGLE Street View](#)

Prime Key: 2688815

[MAP IT+](#)

Current as of 7/30/2025

Property Information

JAJOLO LIMITED PARTNERSHIP  
C/O THE VILLAGES AT CITRUS  
HILLS  
2476 N ESSEX AVE  
HERNANDO FL 34442-5321

Taxes / Assessments:

Map ID: 114

Millage: 9002 - UNINCORPORATED

M.S.T.U.

PC: 16

Acres: 6.69

More Situs

Situs: 8600 SW HWY 200 OCALA

2024 Certified Property Value by Income

Land Just Value	N/A	
Buildings	N/A	
Miscellaneous	N/A	
Total Just Value	\$3,061,576	<u>Ex Codes:</u>
Total Assessed Value	\$3,061,576	
Exemptions	\$0	
Total Taxable	\$3,061,576	

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$1,748,496	\$2,410,281	\$116,517	\$3,061,576	\$3,061,576	\$0	\$3,061,576
2023	\$2,331,328	\$2,506,320	\$116,517	\$3,014,998	\$3,014,998	\$0	\$3,014,998
2022	\$2,331,328	\$2,096,014	\$116,517	\$2,821,422	\$2,750,873	\$0	\$2,750,873

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">4790/0341</a>	12/2006	09 EASEMNT	0	U	I	\$100
<a href="#">3521/1934</a>	09/2003	06 SPECIAL WARRANTY	2 V-SALES VERIFICATION	Q	I	\$2,350,000
<a href="#">2528/0271</a>	07/1998	65 TAKING	0	U	V	\$100
<a href="#">2063/0275</a>	05/1994	06 SPECIAL WARRANTY	2 V-SALES VERIFICATION	U	I	\$3,050,000
<a href="#">1885/1673</a>	09/1992	08 CORRECTIVE	0	U	V	\$100
<a href="#">1783/1385</a>	09/1991	07 WARRANTY	8 ALLOCATED	U	V	\$528,000

Property Description

SEC 25 TWP 16 RGE 20  
PLAT BOOK 002 PAGE 076  
103RD STREET SQUARE  
LOT 2 & DRAINAGE RETENTION AREA

LESS AND EXC BEG AT THE EASTERN MOST COR OF LOT 1 BLK 1  
 TH S 48-25-48 E 17 FT TH S 41-34-12 W 59 FT TH N 48-25-48 W  
 17 FT TO A POINT INTERSECTING THE SELY LOT LINE OF SAID LOT  
 1 TH N 41-34-12 E 59 FT TO THE POB TOGETHER WITH AN  
 EASEMENT FOR INGRESS AND EGRESS AND FOR A WATER WELL AND  
 PIPINT THERETO OVER THE FOLLOWING DESCRIBED PARCEL: COM AT  
 THE NORTHERNMOST COR OF SAID TRACT B SAID POINT BEING AT  
 THE INTERSECTION TO THE SELY ROW LINE OF SR 200 (100 FT )  
 AND THE SWLY ROW LINE OF KINGSLAND COUNTRY DRIVE (SW 100TH  
 ST ROW WIDTH VARIES) TH S 41-34-12 W ALONG THE NWLY LINE OF  
 SAID TRACT B AND THE SELY ROW LINE OF SAID SR 200 FOR  
 2550.64  
 TH S 48-25-48 E 220 FT TO THE POB TH CONT S 48-25-48 E 30  
 FT  
 TH S 41-34-12 W 250 FT TO A POINT ON THE NLY ROW OF  
 SW 103RD ST RD (HIALEAH BLVD 100 FT WIDE) TH N 48-25-48 W  
 ALONG SAID NLY ROW LINE 30 FT TH N 41-34-12 E 75 FT TH  
 N 48-25-48 W 10 FT TH N 41-34-12 E 10 FT TH S 48-25-48 E  
 10 FT TH N 41-34-12 E 165 FT TO THE POB &  
 EXC SR 200 ROW LYING WITHIN THE FOLLOWING DESC BDYS: LYING  
 WITHIN 70.00 FT SELY OF WHEN MEASURED PERPENDICULAR TO THE  
 FOLLOWING DESC BASELINE OF SURVEY OF SR 200 AS SHOWN ON  
 STATE OF FL DEPT OF TRANS ROW MAP: BEGIN AT A PT ON THE S  
 LINE OF THE NW 1/4 OF SEC 25 PT BEING 771.07 FT N 89-40-15  
 E  
 OF THE SW COR OF NW 1/4 TH N 42-02-16 E 3558.98 FT TO A PT  
 ON THE N LINE PT BEING 2143.30 FT S 89-15-25 W OF THE NE  
 COR  
 FOR THE END OF THIS DESC LINE

Parent Parcel: 3501-200-004

Land Data - Warning: Verify Zoning

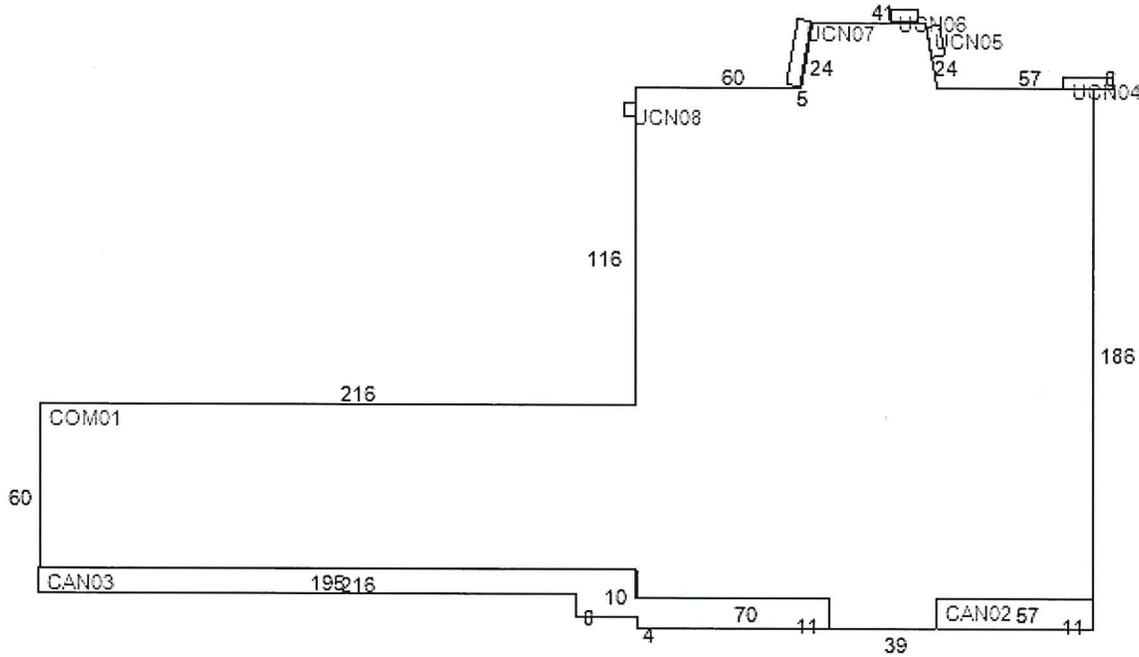
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
GCSF	1600	400.0	500.0	B2	291,416.00	SF							
Neighborhood 9933													
Mkt: 2 70													

Traverse

**Building 1 of 1**

COM01=L57D11L39U11L70U10L216U60R216U116R60A10|24R41A170|24R57D186.  
 CAN02=L57D11R57U11.L96  
 CAN03=L70U10L217D9R195D8R22D4R70U11.R95U186  
 UCN04=R8U4L18D4R10.L57U22L3  
 UCN05=A170|11A80|5A350|11A260|5.U2L3  
 UCN06=U4L10D4R10.L38,7  
 UCN07=A190|24A280|5A10|24A100|5.L64D30  
 UCN08=L4D5R4U5.

MZS09=504.  
504



Building Characteristics

<b>Structure</b>	4 - MASONRY NO PILAST	<b>Year Built</b>	1992
<b>Effective Age</b>	4 - 15-19 YRS	<b>Physical Deterioration</b>	0%
<b>Condition</b>	0	<b>Obsolescence: Functional</b>	0%
<b>Quality Grade</b>	600 - AVERAGE	<b>Obsolescence: Locational</b>	0%
<b>Inspected on</b>	1/30/2023 by 117	<b>Base Perimeter</b>	1198

Exterior Wall 72 EXT INSULATN FIN SYSM BLK54 OCALA BLOCK24 CONC BLK-PAINT

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler	A/C
1	15.0	1.00	1992	0	45,364	M16 COMMUNITY SHOP CTR	100 %	Y Y
2	11.0	1.00	1992	0	627	CAN CANOPY-ATTACHD	100 %	N N
3	11.0	1.00	1992	0	2,899	CAN CANOPY-ATTACHD	100 %	N N
4	10.0	1.00	1992	0	72	UCN CANOPY UNFIN	100 %	N N
5	12.0	1.00	1992	0	55	UCN CANOPY UNFIN	100 %	N N
6	10.0	1.00	1992	0	40	UCN CANOPY UNFIN	100 %	N N
7	12.0	1.00	1992	0	120	UCN CANOPY UNFIN	100 %	N N
8	10.0	1.00	1992	0	20	UCN CANOPY UNFIN	100 %	N N
9	8.0	1.00	1992	0	504	MZS MEZZANINE STOR	100 %	Y Y

**Section: 1**

Elevator Shafts: 0      Aprtments: 0      Kitchens: 2      4 Fixture Baths: 2      2 Fixture Baths: 14  
 Elevator Landings: 0      Escalators: 0      Fireplaces: 0      3 Fixture Baths: 2      Extra Fixtures: 48

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
SWR SEWAGE PLANT	10,000.00	GL	10	1992	3	0.0	0.0
144 PAVING ASPHALT	136,788.00	SF	5	1992	3	0.0	0.0
159 PAV CONCRETE	4,302.00	SF	20	1992	3	0.0	0.0
259 WELL 04-12IN	1.00	UT	99	1992	2	0.0	0.0
184 RETAIN WALL	520.00	SF	50	1992	3	0.0	0.0
105 FENCE CHAIN LK	56.00	LF	20	1992	2	0.0	0.0
UDU UTILITY-UNFINS	180.00	SF	40	1992	3	10.0	18.0
114 FENCE BOARD	760.00	LF	10	2000	4	0.0	0.0

Appraiser Notes

103RD STREET SQUARE PLAZA  
 AS OF 1/30/2023  
 -  
 8602- BIG LOTS.....2-5FX 3X MZS=504/SF  
 -  
 A & B-OCALA FLOORING.....3-2FX 7X  
 -  
 C- SCOOPS ICE CREAM.....1-3FX 1-2FX 4X  
 -  
 D-SHADES OF BEAUTY.....1-2FX 7X UNIT D& E TOGETHER  
 -  
 E- TOMMY J S BARBERSOP.....1-2FX 1X  
 -  
 F- D&R COIN SHOP.....1-2FX  
 -  
 G & H-LITTLE JOEYS ITALIAN REST.....1-3FX 2-2FX 7X  
 -  
 J-WOK N ROLL II.....2-2FX 10X  
 -  
 J & K-QUEST DIAGNOSTICS.....3-2FX 7X  
 -

Planning and Building

**\*\* Permit Search \*\***

Permit Number	Date Issued	Date Completed	Description
2022083482	9/27/2022	11/8/2022	MODIFY EXISTING SIGN: REMOVE 14;X48; FACES & INSTALL 10;6;X
2019101802	10/22/2019	10/29/2019	COMMERCIAL RECONNECT
2019040458	4/5/2019	5/13/2019	NEW CERTIFICATE OF OCCUPANCY COMMERCIAL SPACE. WOK N ROLL RE
2016111035	11/1/2016	3/27/2017	INT RENO-QUEST LAB FRONT DESK
2013011075	1/10/2013	10/8/2013	SIGNAGE #A
2012110643	11/1/2012	2/4/2013	UNITS A&B INT BUILD OUT
M040572	4/5/2011	5/3/2011	RECONNECT #F
M011551	1/1/2004	2/1/2004	RECONNECT B
M010111	1/1/2004	1/1/2004	RECONNECT F
M010808	1/1/2004	3/1/2004	INT RENO J
041426	4/1/2000	7/1/2000	RENOVATIONS/ALTERATION
MA51158	6/1/1999	-	INT STE C
MA50829	5/1/1999	-	RECONNECT
-1503917437	10/15/1997	9/20/2022	

Attachment A

MCPA Property Record Card

7/30/25, 11:58 AM

134

0919043	10/1/1997	6/1/1998	CA
MA85684	10/1/1994	-	CA
MA62555	4/1/1993	-	CA (SUITE J)
MB19280	8/1/1992	-	CANOPY (SUITE D)
MA52899	6/1/1992	-	CA (SUITE E)
MA52819	6/1/1992	6/1/1992	CA (SUITE B)
MA51255	4/1/1992	-	CA (SUITE C)
MA51200	4/1/1992	5/1/1992	CA (SUITE A)
MA51341	4/1/1992	-	RETAINING WALL
MA51094	4/1/1992	7/1/1992	CA (SUITE I)
MA49861	3/1/1992	-	CA-VOID (SUITE J)
MA49859	3/1/1992	6/1/1992	CA (SUITE D)
MA49860	3/1/1992	5/1/1992	CA (SUITE F)
MA49858	3/1/1992	6/1/1992	CA (SUITE G)
MA45767	9/1/1991	5/1/1992	SHOPPING CENTER

Sign Posting



Additional sign posting.

Attachment B



Looking southwest on SW Hwy 200.



Looking across SW Hwy 200 to Steeplechase Plaza.

Attachment B



Looking northeast on SW Hwy 200.



Location of proposed Tractor Supply store.

## Attachment B



Other businesses in the same commercial center as the proposed store.



Side of the commercial center which leads to the rear of the building.

## Attachment B



Side of building (medical office out of frame towards the right).



Medical office south of the commercial center.

## Attachment B

Views of the rear of commercial center.



## Attachment B

More views of the rear of the commercial center.



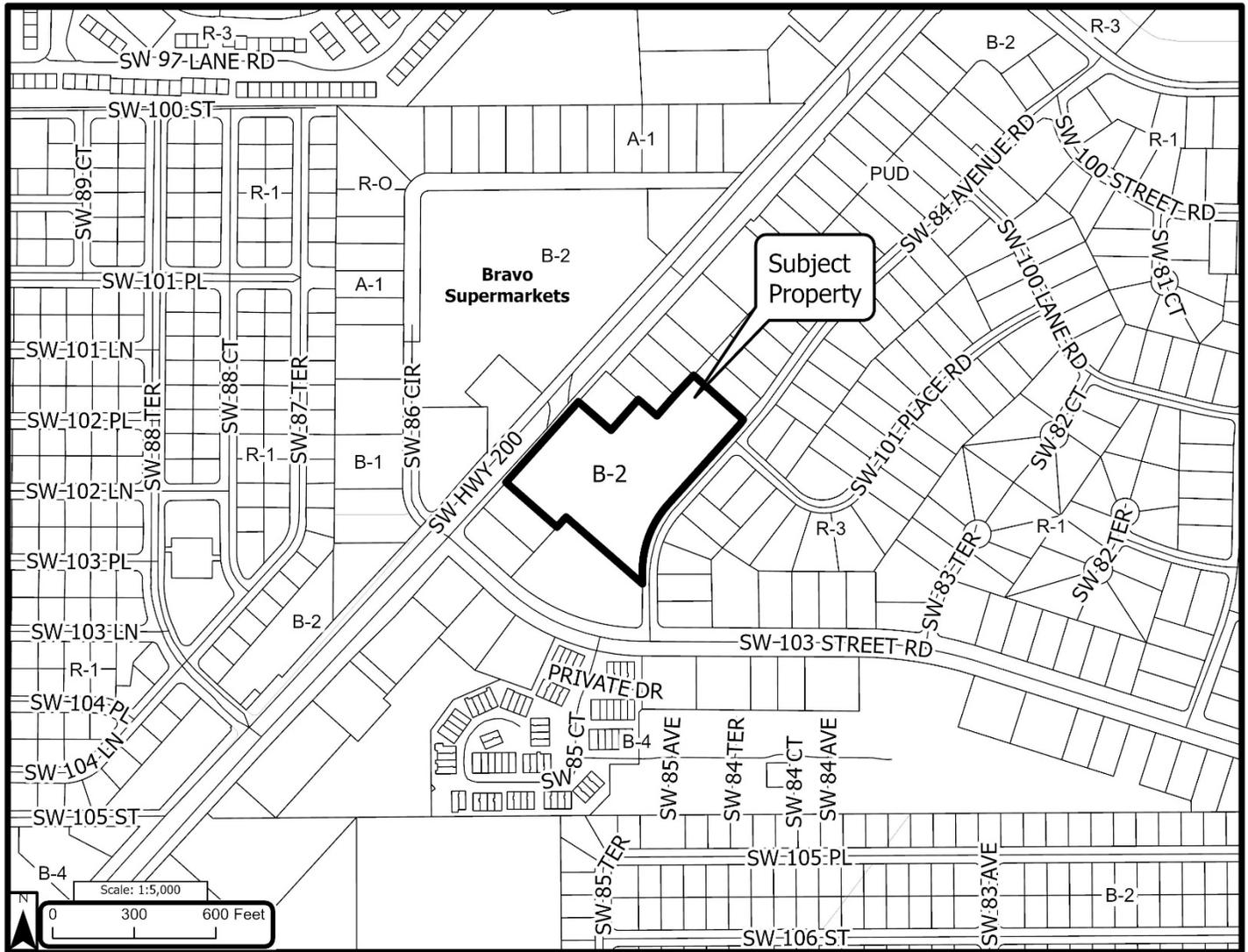
**Development Review Comments Letter**

10/3/2025 3:13:32 PM

**TRACTOR SUPPLY CO - 8600, 103RD STREET SQUARE PLAZA  
ZO SUP #33305**

## Attachment C

ID	DESCRIPTION	REMARK	STATUS	DEPT	APPLICANT RESPONSE
1	Special Use Permit	N/A	INFO	911	
2	Special Use Permit	Stormwater is not opposed to the special use permit. The applicant is requesting a SUP for the purpose of having an outdoor display area and a propane tank. Parcel # 35013-002-00 is currently zoned B-2 and is 6.69 acres in size. There is a FEMA Flood Zone and a County Flood Prone Area on this site. Per the MCPA, this site currently has 191,491 SF of impervious coverage. This site will be subject to a Major Site Plan or waiver when its existing and proposed impervious coverage exceeds 9,000 SF.	INFO	ENGDRN	
3	Special Use Permit	There are no traffic concerns with allowing outdoor storage and display areas.	INFO	ENGTRF	
4	Special Use Permit	Approved	INFO	FRMSH	
5	Special Use Permit	no comments	INFO	LSCAPE	
6	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	LUCURR	
7	Special Use Permit	Parcel 35013-002-00 is located within the Marion County Utilities service area and is currently served by a community well and private waste water system. AR#32925 proposes to change the utility provider to MCU and update the water and waste water infrastructure. The Special Use Permit for outdoor storage does not alter the building's flows or use. MCU has no comment.  This parcel is within the Urban Growth Boundary and outside of the Primary Springs Protection Zone.	INFO	UTIL	
8	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	ZONE	



<b>First Public Hearing:</b> Planning & Zoning Commission <b>10/27/2025 @ 5:30 p.m.</b>	<b>Owner(s):</b> Jajolo Limited Partnership
	<b>Agent(s):</b> Paul Rondeau
	<b>Location:</b> 8602 SW Hwy 200, Ocala, FL 34481
<b>Second Public Hearing:</b> Board of County Commissioners <b>11/17/2025 @ 1:30 p.m.</b>	<b>Parcel(s):</b> 35013-002-00
	<b>Zone(s):</b> B-2 (Community Business)
	<b>Acre(s):</b> ± 6.69
<b>Public Hearing Location:</b> 601 SE 25 <sup>th</sup> Avenue, Ocala, FL 34471 - McPherson Governmental Campus Auditorium	
<b>Request Description:</b> Special Use Permit to allow a fenced outdoor display area, sidewalk display area, and propane tank in a Community Business (B-2) zone.	
You are receiving this notification because you own property that is located within 300' of the subject parcel(s) <b>If you have any questions, please call (352) 438-2675</b>	
All provided GIS data is to be considered a generalized spatial representation, which is subject to revisions. The feature boundaries are not to be used to establish legal boundaries. For specific visual information, contact the appropriate county department or agency. The information is provided in a visual representation only and is not intended to be used as a legal or official representation of legal boundaries.	





# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21223

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.2.1.

---

**SUBJECT:**

**251102SU - Krystal Rodriguez DeLeon & Kemuel Rodriguez Rivera, Special Use Permit to Allow for the Parking of Two (2) Commercial Vehicles with a Weight Greater than 16,000 Pounds, One (1) Semi-Truck Trailer, and Two (2) Storage Trailers, in a General Agriculture (A-1) Zone, 4.0 Acre Parcel, Parcel Account Number 44997-000-15, Site Address 12160 SE 112<sup>th</sup> Avenue Road, Belleview, FL 34420**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Krystal Rodriguez De Leon and Kemuel Rodriguez Rivera have filed for a Special Use Permit (SUP) to allow for the parking of two (2) commercial vehicles with a weight greater than 16,000 Pounds, one (1) trailer, and two (2) storage trailers on a property with a zoning of General Agriculture (A-1) parcel less than five acres. An aerial photograph showing the general location of the subject property is included. The Parcel Identification Number associated with the property is 44997-000-15, and the street address is 12160 SE 112th Ave Rd, Belleview. The Property is located inside the Secondary Springs Protection Zone. The legal description is included.

Staff is recommending **Approval with Conditions** of this request for parking of commercial vehicles on an agricultural property of five acres or less. Staff also recommend several conditions be met, which are outlined in the staff report.

**BUDGET/IMPACT:**

None.

**RECOMMENDED ACTION:**

Staff recommends approval with conditions. Planning and Zoning Commission recommends approval with conditions.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

**PLANNING & ZONING SECTION  
STAFF REPORT**

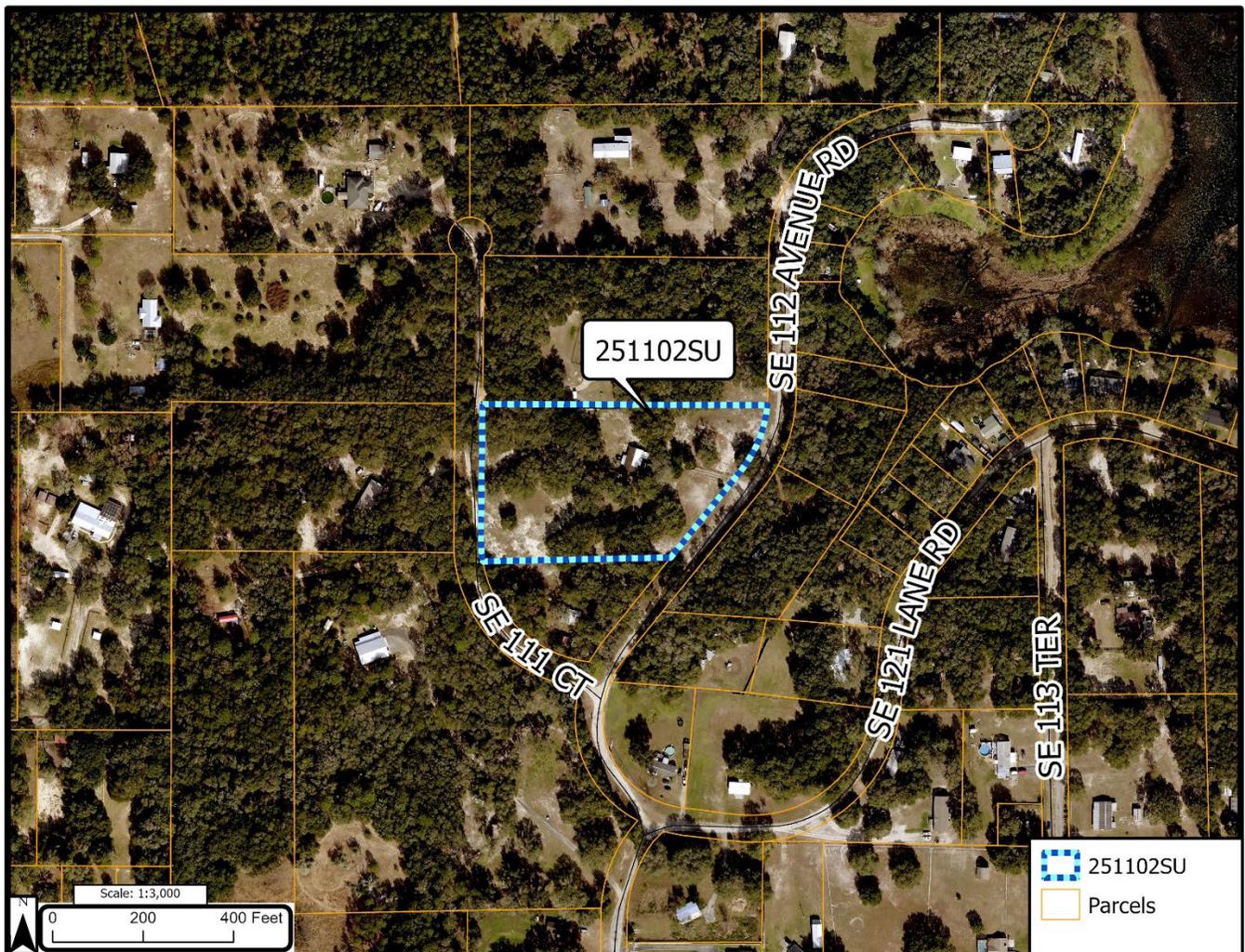
<b>P&amp;ZC Date: 10/27/2025</b>	<b>BCC Date: 11/17/2025</b>
<b>Case Number:</b>	251102SU
<b>CDP-AR:</b>	33252
<b>Type of Case:</b>	<b>Special Use Permit:</b> For parking two (2) semi-tractors, one (1) active trailer, and two (2) storage trailers.
<b>Owner</b>	Krystal Rodriguez-De Leon
<b>Applicant</b>	Kemuel Rodriguez-Rivera
<b>Street Address</b>	12160 SE 112 <sup>th</sup> Ave Rd, Belleview
<b>Parcel Number</b>	44997-000-15
<b>Property Size</b>	±4.0
<b>Future Land Use</b>	Rural Land (RL)
<b>Zoning Classification</b>	General Agriculture (A-1)
<b>Overlay Zone/Scenic Area</b>	Secondary Springs Protection Zone
<b>Staff Recommendation</b>	<b>Approval With Conditions</b>
<b>P&amp;ZC Recommendation</b>	<b>Approval With Conditions (3-1)</b>
<b>Project Planner</b>	Kenneth Odom
<b>Related Case(s)</b>	<b>Code Case #: 991048:</b> Commercial Vehicle Parking on Residential/Agriculture (See Attachment D)

## I. ITEM SUMMARY

Krystal Rodriguez De Leon and Kemuel rodriguez Rivera have filed for a Special Use Permit (SUP) to allow for the parking of two (2) commercial vehicles with a weight greater than 16,000 Pounds, one (1) trailer and two (2) storage trailers on property with a zoning of General Agriculture (A-1) parcel less than five acres (See attachment A). Figure 1 is an aerial photograph showing the general location of the subject property. The Parcel Identification Number associated with the property is 44997-000-15, and the street address is 12160 SE 112th Ave Rd, Belleview. The Property is located inside the Secondary Springs Protection Zone. The legal description is included as Attachment A.

Staff is recommending **Approval with Conditions** of this request, as under LDC Sec 4.3.21(1), for parking of commercial vehicles on an agricultural property five acres or less, several conditions must be met, which are addressed in the conditional requirement listed below.

**Figure 1**  
**Aerial Photograph of Subject Property**



## **II. STAFF SUMMARY RECOMMENDATION**

Staff recommends **APPROVAL** due to the analysis provided throughout this report. If approved, the staff has provided recommended conditions to be imposed to address compliance with the requirements in Land Development Code (LDC) Sections 2.8.2.D and 2.8.3.B, and 4.2.6(f).

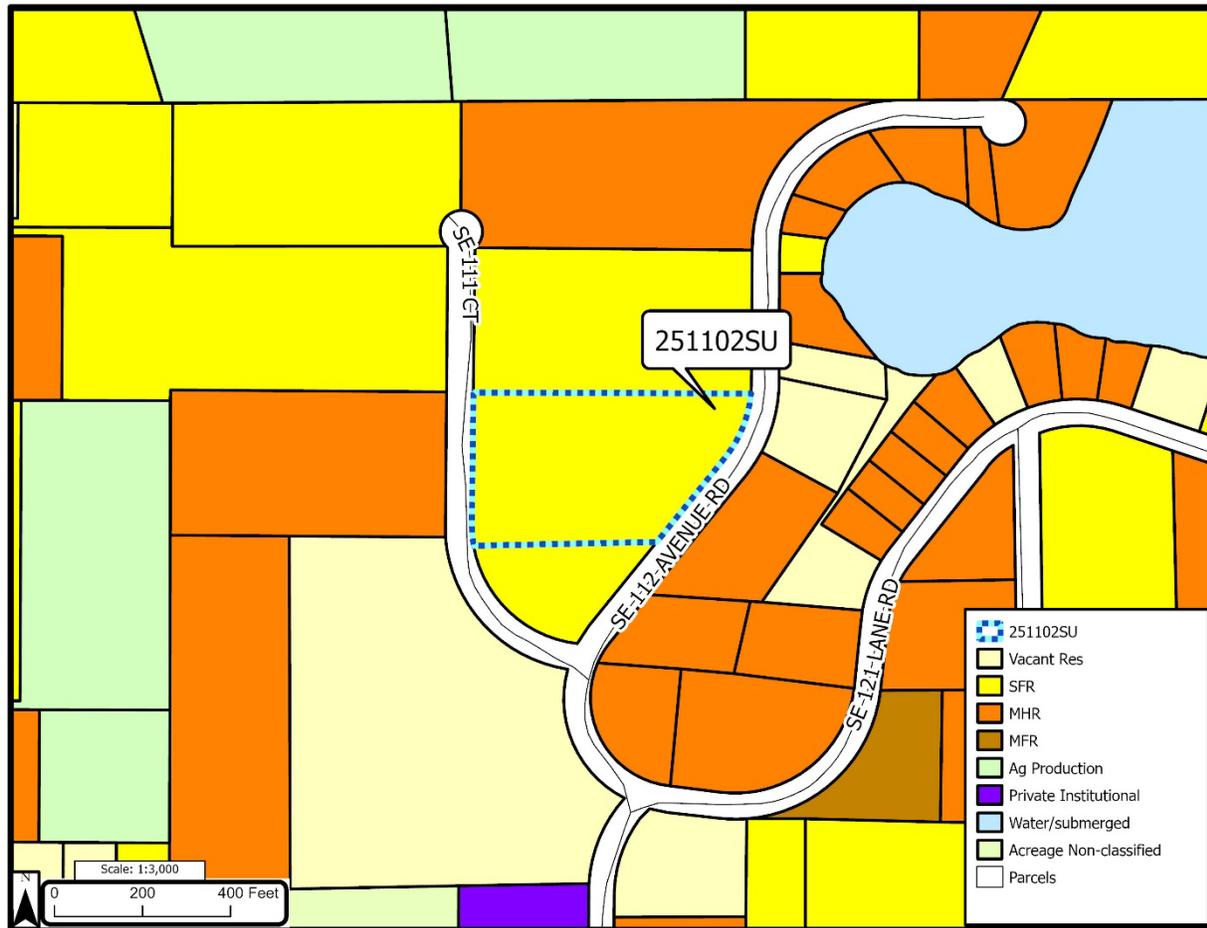
## **III. NOTICE OF PUBLIC HEARING**

Consistent with LDC Section 2.7.3.C, notice of public hearing was mailed to all property owners (14 property owners) within 300 feet of the subject property on October 10<sup>th</sup>, 2025. Consistent with LDC Section 2.7.3.B, public notice was posted on the subject property on October 15<sup>th</sup>, 2025, where site photos were also collected (Attachment B), and consistent with LDC Section 2.7.3.E due public notice was published in the Ocala Star-Banner on October 13<sup>th</sup>, 2025. As of the date of the initial distribution of this staff report, no letters of opposition have been received. Evidence of the above-described public notices is on file with the Growth Services Department and is incorporated herein by reference.

## **IV. BACKGROUND/CHARACTER OF THE AREA**

A. *Existing site conditions.* The property card shows that the site is classified as General Agriculture (A-1). Figure 2 shows that the property is currently listed as General Agriculture by the Marion County Property Appraiser's Office. Larger residential and agricultural properties comprise the uses within the immediate area.

**Figure 2**  
**Existing Conditions Map**



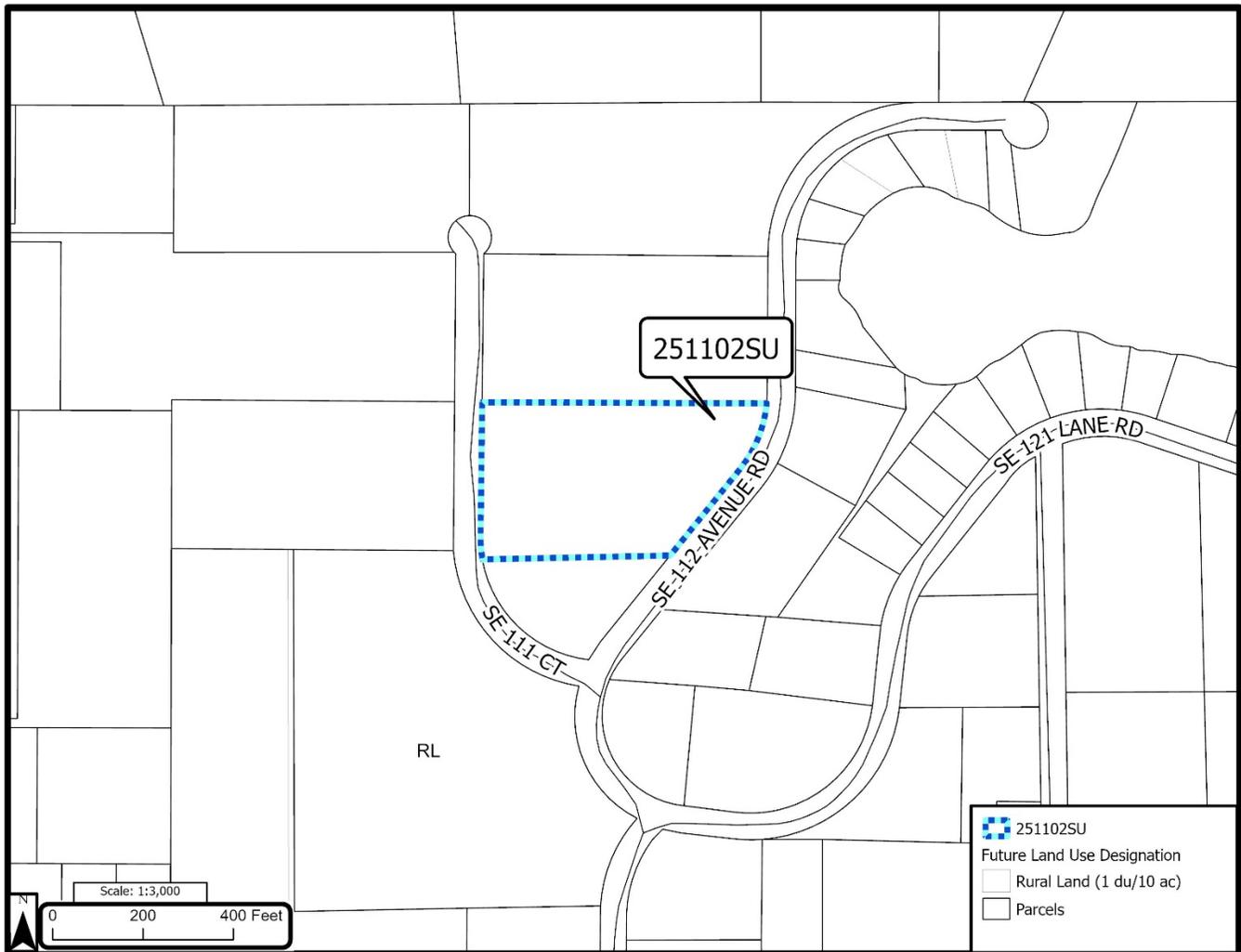
B. *Zoning district map.* Figure 3 shows that the subject property is classified as General Agriculture (A-1). This is the property's initial zoning classification.

**Figure 3**  
**Zoning Classification**



C. *FLUMS designation.* Figure 54 is the FLUMS, and it shows that the subject property is designated Rural Land (RL), allowing a maximum development of 1 dwelling unit per 10 acres. This is the property's initial land use designation.

**Figure 4**  
**FLUMS Designations**



## V. ANALYSIS

LDC Section 2.8.2.D provides that in making a recommendation to the Board, the Planning and Zoning Commission shall make a written finding that the SUP addresses nine (9) specific requirements. LDC Section 2.8.3.B requires consistency with the Comprehensive Plan. Staff's analysis of compliance with these ten (10) requirements is addressed below.

- A. *Provision for **ingress and egress** to property and proposed structures thereon with reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Analysis:** Ingress/egress will be from and to CR 25 via SE 112<sup>th</sup> Avenue Road and SE 121<sup>st</sup> Avenue Road. Both of the smaller roads are privately maintained,

but are dedicated public rights-of-way. CR 25 is a Marion County-maintained Rural Collector roadway.

The Office of the County Engineer – Traffic Engineering Division recommends DENIAL based on the fact that the subdivision streets that provide access to the subject property are all unpaved non-County non-County-maintained roadways. Semi trucks cause significantly more damage to roadways than typical residential traffic, especially on unpaved roads. These roads are non-County-maintained, so the burden of the additional maintenance would fall on the adjacent homeowners.

- SE 112th and SE 121st Avenue Roads shall be the only route of ingress/egress.
- The commercial vehicles shall be parked near the home and barn located at the rear of the property, as illustrated in the conceptual plan

- B. *Provision for **off-street parking and loading areas**, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.*

**Analysis:** The property owner has installed millings to stabilize the parking area as was conditioned under the previous SUP.

- *No loading of materials or loaded vehicles shall be permitted on site.*

- C. *Provisions for **refuse and service area**, with particular reference to the items in (1) and (2) above.*

**Analysis:** The only garbage generated on site is from the residential use of the property and not a result of any commercial operations. That trash is removed weekly, by the owners, and taken to the Davis Recycling Center located at 11307 SE 128<sup>th</sup> Place Road, Ocklawaha, FL 32179.

- *No mechanical repairs, washing, or maintenance of the commercial vehicle(s) shall take place on-site.*

- D. *Provision for **utilities**, with reference to locations, availability, and compatibility.*

**Analysis:** The property currently is connected to a well and septic, and the requested special use would not conceivably impose a burden that would require any additional water or power generation. Electrical services are provided by Duke Energy Inc.

- E. *Provision for **screening and buffering** of dissimilar uses and of adjacent properties where necessary.*

**Analysis:** The applicant has indicated that the truck parking area will be located in the rear of the property, and there is a large amount of natural vegetative screening in most of the bordering areas. While there are a significant number of mature trees on site, they do not provide for ground-level buffering of the tractor-trailer combination. If approved, the following condition is imposed:

- *The commercial vehicle shall be parked behind the home towards the rear of the property as illustrated in the conceptual plan. This plan allows for the permitted storage trailers to be used as buffers for the operational tractor/trailer combination. A hedgerow on the north side of the northern storage trailer and a hedgerow on the south side of the southern storage trailer shall also be required.*

- F. *Provision for **signs**, if any, and **exterior lighting** with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.*

**Analysis:** The application makes no reference to signs being placed on the property. However, multiple lighting sources have been identified around the perimeter of the home and at the entrance of the property.

- *All lighting shall be pointed inward and downward and will be shielded if necessary in order to keep light from bleeding onto adjacent properties.*

- G. *Provision for **required yards and other green space**.*

**Analysis:** The special use permit will not trigger any need to increase additional green space at this time.

- H. *Provision for general **compatibility** with adjacent properties and other properties in the surrounding area.*

**Analysis:** Compatibility is defined as a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time, such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition. Figure 1 is an aerial photograph displaying existing and surrounding properties. Notwithstanding, if the requested SUP is approved, the following conditions will be imposed:

- *This special use permit runs with the operator of the commercial vehicles, who resides on-site (Krystal Rodriguez De Leon & Kemuel Rodriguez Rivera) and not with the property.*
- *The property owners (Krystal Rodriguez De Leon & Kemuel Rodriguez Rivera) shall also reside on-site.*

- *Operating Hours shall be limited to 5:00 AM to 7:30 PM, Monday through Saturday.*

- I. *Provision for meeting any **special requirements** required by the site analysis for the particular use involved.*

**Analysis:** Staff notes that, unlike a variance, which runs with the land and is recorded in the public records, a special use permit is not recorded. As a result, a subsequent owner will not have notice of the requirements. Staff has recommended a condition that will void the SUP if the property changes hands. To ensure that the SUP stays in compliance and has a system of periodic reviews, Staff recommends a list of conditions provided at the end of this report to mitigate the possibility of any negative impacts from this special use. Notwithstanding, staff imposes the following condition if approved:

- J. *Consistency with the Comprehensive Plan.*

1. Policy 2.1.5: **Permitted & Special Uses** – The county shall identify permitted and special uses for each land use designation and zoning classification, as further defined in the Comprehensive Plan, Zoning, and LDC.

**Analysis:** LDC Section 4.2.31 requires a Special Use Permit for parking of commercial vehicles over 16,000 pounds on A-1 zoned properties less than 5 acres. Thus, the application is consistent with FLUE Policy 2.3.21.

Based on the above findings, staff concludes the SUP is **consistent** with LDC Sections 2.8.2.D and 2.8.3.B, even with conditions to address the ten (10) requirements imposed.

## VI. ALTERNATIVE RECOMMENDATIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to the Board of County Commissioners to **DENY** the special use permit.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, amend the findings and conclusions contained herein so as to support the approval of the Ordinance with amended conditions, and make a recommendation to the Board of County Commissioners to adopt a proposed Ordinance to **APPROVE WITH AMENDED CONDITIONS** the special use permit.
- C. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance, and make a recommendation to the Board of County Commissioners to **TABLE** the application for up to two months in order to

provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.

## VII. STAFF RECOMMENDATION

- A. Staff recommends that the Planning and Zoning Commission enter into the record the Staff Report and all other competent, substantial evidence presented at the hearing and make a recommendation to the Board of County Commissioners to adopt a proposed Ordinance to **APPROVE WITH CONDITIONS** the special use permit.
- B. In the event the Board chooses to approve the application, the following conditions are the staff's recommendation:
1. *SE 112th and SE 121st Avenue Roads shall be the only route of ingress/egress.*
  2. *The commercial vehicle shall be parked behind the home towards the rear of the property as illustrated in the conceptual plan. This plan allows for the permitted storage trailers to be used as buffers for the operational tractor/trailer combination. A hedgerow on the north side of the northern storage trailer and a hedgerow on the south side of the southern storage trailer shall also be required.*
  3. *No loading of materials or loaded vehicles shall be permitted on the site.*
  4. *No mechanical repairs, washing, or maintenance on the commercial vehicle(s) shall take place on-site.*
  5. *This special use permit runs with the operator of the commercial vehicles, who resides on-site (Krystal Rodriguez De Leon & Kemuel Rodriguez Rivera) and not with the property.*
  6. *The property owners (Krystal Rodriguez De Leon & Kemuel Rodriguez Rivera) shall also reside on-site.*
  7. *Operating Hours shall be limited to 5:00 AM to 7:30 PM, Monday through Saturday.*
  8. *Commercial vehicles permitted to operate from this site shall be limited to:*
    - *1989 Peterbilt -1XP5DB9XXKD268523*
    - *Trailer – 2TVTP4852XPD000456*
- If either the tractor or trailer is replaced, the applicant shall contact the Marion Growth Services department immediately to change the VIN numbers permitted on site.*
9. *Operating Hours shall be limited to 5:00 AM to 7:30 PM, Monday through Saturday.*
  10. *The Special Use Permit shall expire on November 17<sup>th</sup>, 2030, and will not be eligible for administrative renewal, and a new application will need to be submitted*

*at that time. However, any violations of these conditions will be the basis for a revocation of this SUP initiated by the Growth Services Director, additionally the following items may result in the potential revocation of this SUP:*

- a) *There have been unresolved violations of the County Land Development Code, the County Code of Ordinances, and/or the conditions of the permit.*
- b) *Neighboring property owners within 300' of the subject property have complained to the County Code Enforcement, Zoning, or equivalent/similar Departments/Divisions about the uses of the subject property by this Permit.*

## **VIII. PLANNING AND ZONING COMMISSION RECOMMENDATION**

Approval With Conditions (3-1)

## **IX. BOARD OF COUNTY COMMISSIONERS' ACTION**

TBD

## **X. LIST OF ATTACHMENTS**

- A. SUP application filed on August 26, 2025.
- B. Site Photos
- C. DRC Comments.
- D. Code Violation #991048
- E. Site Plan



Marion County Board of County Commissioners

Growth Services 2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2600 Fax: 352-438-2601

APPLICATION COMPLETE DATE COMPLETED 8/26/25 INITIALS EM TENTATIVE MEETING DATES P&Z PH 10/27/25 BCC/P&Z PH 11/17 or 11/18/25

SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000.00

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: Parking ONLY for 2 semi truck with 1 trailer and 2 storage trailer. 2nd Semi truck will be in the future in case driving one needs to be repair, it can be taken to a shop with out going out of work, we do not own a second truck at the moment. If not approved we will keep just the one.

Legal Description: (Please attach a copy of the deed and location map.) Parcel Zoning: A1 is closer but trailer will be empty at all times Parcel account number(s): 44997-000-15

Property dimensions: Total acreage: 4

Directions: Turn right onto E Fort King St, Turn L onto SE 25th Ave, Turn L onto SE Maricamp Rd, Turn R onto SE 108th Terr Rd Turn L onto CR-25, Turn L onto SE 112th Ave Rd, Turn L onto SE 121st Ln Rd, Turn L onto 12160 SE 112th Ave Rd Belleview

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. Please print all information, except for the Owner and Applicant/Agent signature.

Krystal Rodriguez De Leon

Kemuel Rodriguez Rivera

Property Owner name (please print) 12160 SE 112th Ave Rd

Applicant or agent name (please print) 12160 SE 112th Ave Rd

Mailing Address Belleview FL, 32240

Mailing Address Belleview FL, 32240

City, State, Zip code 787-454-2837

City, State, Zip code 787-907-4739

Phone number (include area code) krystal.rodriguez3@upr.edu

Phone number (include area code) rodriguezkemuel741@gmail.com

E-mail address

E-mail address Kemuel Rodriguez

Signature

Signature

PLEASE NOTE: A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or denied. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

Table with 4 columns: Project No., Code Case No., Application No., and Zoning Map No. with handwritten entries: 2025 080048, 991048, 33252, 275. Includes Revd by: EM, Revd Date: 8/24/25, FLUM: RL, and Rev: 07/1/2019.

A1 Zoning

**SPECIAL USE PERMIT****WRITTEN FINDINGS & FACTS**

1. Access will be off CR 25, turn left onto SE 121th Ave Rd, turn left onto SE 121<sup>st</sup> Ln Rd, then turn left onto our property on 12160 SE 112<sup>th</sup> Ave Rd, Belleview FL, 34420 towards the left side of the house. Semi-Truck will be parked daily right next to our storage trailer.
2. The parking area is grass, and access into the house is a dirt road. There will be no loading due to being for parking purposes.
3. Any waste will come from daily household trash and not from commercial vehicles as there will NOT be any maintenance or repairs. Will be taken to Davis Recycling Center located 11307 SE 128th Place Rd, Ocklawaha, FL 32179.
4. Power Company is Duke Energy.
5. Property is fenced and big Oak Trees will be surrounding parking area partially blocking view from the street or neighbors and enough space in between for easy and safe access.
6. Entrance and land will have a utility pole that lights up automatically at sunset, motion light and cameras for security are also installed around the area and property. There will be no turning around or backing up on the road outside our property to ensure traffic safety, our property has 4 acres allowing us to enter and exit straight onto the property.
7. As well as setbacks, will be in compliance with local codes and ordinances.
8. There is a privet property to the left (12214 SE 112TH AVENUE RD) surrounded by trees blocking most of the view between houses; back of the property is SE 111 CT, towards the right of our property, privet property is located (12075 SE 111th Ct)
9. Yes, we would be willing to meet any special conditions necessary to get this special use permit.

## VIN NUMBERS AND ADDITIONAL INFORMATION

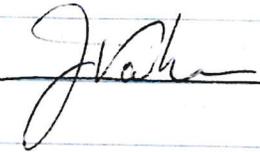
- First Semi Truck (1)
  - 1989 Peterbilt: 1XP5DB9XXKD268523
- Second Semi Truck (2) *- see following letter -*
  - Currently I do not own a second one
  - Please accept a second semi-truck with the **Condition** of providing VIN at the time of Purchase
- First Storage Trailer (1)
  - White one VIN: 1TDR48022EA058320
- Second Storage Trailer (2)
  - Black one: Previous owner has not been able to find old title that includes VIN, they sent us a copy of bill of sale including all descriptions of trailer, and they let me know they are going to look through all old records and see if they find it. Please accept this bill of sale temporarily, we are also trying to locate the VIN from the actual trailer itself but as being too old it is hard to find.
- Trailer
  - VIN: 2TVTP482XPD000456
  - This trailer is for occasional use if needed. Kemuel is allowed to load in Marion Transfer sometimes and as it is 12 minutes away from our house, they allow him to bring trailer home overnight so we can load first thing in the morning instead of driving to Lake Panasoffkee (45mins away) to come back to Marion. If approved, this trailer will be EMPTY.
  - This Trailer is leased through Atomic Transport LLC and is parked at all times at their facilities in Lake Panasoffkee Landfield.

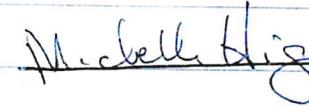
Bill of Sale

MARCH 23, 2025

I Krystal Rodriguez purchase a 53 FT TRAILMOBILE Dryvan from J+J TACK SHACK for the amount of one THOUSAND Dollars. I'm buying the TRAILER in "AS IN" CONDITION with NO WARRANTY Implied or Expressed, TRAILER IS BLACK in color with WHITE LETTERS on the side "DON FOLEY."

Buyer  \_\_\_\_\_

SELLER  J+J TACK \_\_\_\_\_

witness  \_\_\_\_\_

**1989 Peterbilt VIN :1XP5DB9XXKD268523**



VIN: 1TDR48022EA058320



- VIN: 1TDR48022EA058320



- VIN: 1TDR48022EA058320



○

Trailer for occasional use if allowed

VIN: 2TVTP482XPD000456



# ATTACHMENT A

Mail Lien Satisfaction to: Dept of Highway Safety and Motor Vehicles, Neil Kirkman Building, Tallahassee, FL 32399-0500

T# 1698681305  
B# 1109069

Identification Number <b>1XP5DB9XXKD268523</b>	Year <b>1989</b>	Make <b>PTRB</b>	Body <b>TR</b>	WT-L-BHP <b>16487</b>	Vessel Regis. No.	Title Number <b>71804402</b>
---	---------------------	---------------------	-------------------	--------------------------	-------------------	---------------------------------



Registered Owner: \_\_\_\_\_ Date of Issue **08/22/2022**

**KRYSTAL MARIE RODRIGUEZ DE LEON OR KEMUEL RODRIGUEZ RIVERA**  
8818 SE 161ST PL  
SUMMERFIELD, FL 34491-5826

Lien Release Interest in the described vehicle is hereby released By \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

**IMPORTANT INFORMATION**

1. When ownership of the vehicle described herein is transferred, the seller **MUST** complete in full the Transfer of Title by Seller section at the bottom of the certificate of title.
2. Upon sale of this vehicle, the seller must complete the notice of sale on the reverse side of this form.
3. Remove your license plate from the vehicle.
4. See the web address below for more information and the appropriate forms required for the purchaser to title and register the vehicle, mobile home or vessel: <http://www.hsmv.state.fl.us/html/titlinf.html>

Mail To:

**KRYSTAL MARIE RODRIGUEZ DE LEON**  
8818 SE 161ST PL  
SUMMERFIELD, FL 34491-5826

## CERTIFICATE OF TITLE

Identification Number <b>1XP5DB9XXKD268523</b>	Year <b>1989</b>	Make <b>PTRB</b>	Body <b>TR</b>	WT-L-BHP <b>16487</b>	Vessel Regis. No.	Title Number <b>71804402</b>
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Lien Release Interest in the described vehicle is hereby released

Prev State <b>FL</b>	Color <b>BLK</b>	Primary Brand <b>REBUILT</b>	Secondary Brand	No of Brands <b>2</b>	Use <b>PRIVATE</b>	Prev Issue Date <b>02/11/2015</b>	By _____
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Title \_\_\_\_\_

Odometer Status or Vessel Manufacturer or OH use <b>EXEMPT</b>	Engine Drive	Hull Material	Prop	Date of Issue <b>08/22/2022</b>	Date _____
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Registered Owner  
**KRYSTAL MARIE RODRIGUEZ DE LEON OR KEMUEL RODRIGUEZ RIVERA**  
8818 SE 161ST PL  
SUMMERFIELD, FL 34491-5826

1st Lienholder  
**NONE**

**OTHER JURISDICTION BRANDS  
NE-SALVAGE**

**MAY HAVE PREVIOUSLY BEEN DECLARED A  
TOTAL LOSS VEHICLE DUE TO DAMAGE**

DIVISION OF MOTORIST SERVICES

TALLAHASSEE



FLORIDA

DEPARTMENT OF HIGHWAY SAFETY AND MOTOR VEHICLES

*Robert R. Kynoch*

Robert R. Kynoch  
Director

Control Number **157686559**

**12 / 2 157686559**

*Terry L. Rhodes*

Terry L. Rhodes  
Executive Director

**TRANSFER OF TITLE BY SELLER** (This section must be completed at the time of sale.)

Federal and/or state law require that the seller state the mileage, purchaser's name, selling price and date sold in connection with the transfer of ownership. Failure to complete or providing a false statement may result in fines and/or imprisonment. This title is warranted to be free from any liens except as noted on the face of the certificate and the motor vehicle or vessel described is hereby transferred to:

Seller Must Enter Purchaser's Name \_\_\_\_\_ Address \_\_\_\_\_

Seller Must Enter Selling Price \_\_\_\_\_ Seller Must Enter Date Sold: \_\_\_\_\_

I/We state that this  5 or  6 digit odometer now reads \_\_\_\_\_ (no tenths) miles, date read \_\_\_\_\_ and I hereby certify that to the best of my knowledge the odometer reading:  1 reflects ACTUAL MILEAGE.  2 is IN EXCESS OF ITS MECHANICAL LIMITS  3 is NOT THE ACTUAL MILEAGE.

**UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING DOCUMENT AND THAT THE FACTS STATED IN IT ARE TRUE.**

SELLER Must Sign Here: \_\_\_\_\_

CO-SELLER Must Sign Here: \_\_\_\_\_

Print Here: \_\_\_\_\_

Print Here: \_\_\_\_\_

Selling Dealer's License Number: \_\_\_\_\_ Tax No.: \_\_\_\_\_ Tax Collected: \_\_\_\_\_

Auction Name: \_\_\_\_\_ License Number: \_\_\_\_\_

PURCHASER Must Sign Here: \_\_\_\_\_

CO-PURCHASER Must Sign Here: \_\_\_\_\_

Print Here: \_\_\_\_\_

Print Here: \_\_\_\_\_

**NOTICE: PENALTY IS REQUIRED BY LAW IF NOT SUBMITTED FOR TRANSFER WITHIN 30 DAYS AFTER DATE OF PURCHASE.**

STATE OF FLORIDA

167 LIEN SATISFACTION



**CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)  
04/08/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> USI Insurance Services, LLC 8000 Norman Center Drive Suite 500 Bloomington, MN 55437	<b>CONTACT NAME:</b> Transportation Dept <b>PHONE (A/C, No, Ext):</b> 612-509-1001 <b>E-MAIL ADDRESS:</b> ins.transportation@usi.com <b>FAX (A/C, No):</b>													
	<table border="1"> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A : Great American Insurance Company</td> <td>16691</td> </tr> <tr> <td>INSURER B : Great American Spirit Insurance Company</td> <td>33723</td> </tr> <tr> <td>INSURER C :</td> <td></td> </tr> <tr> <td>INSURER D :</td> <td></td> </tr> <tr> <td>INSURER E :</td> <td></td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Great American Insurance Company	16691	INSURER B : Great American Spirit Insurance Company	33723	INSURER C :		INSURER D :		INSURER E :		INSURER F :
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INSURER C :														
INSURER D :														
INSURER E :														
INSURER F :														
<b>INSURED</b> KRodz Transport LLC. 8818 SE 161st PL Summerville, FL 34491														

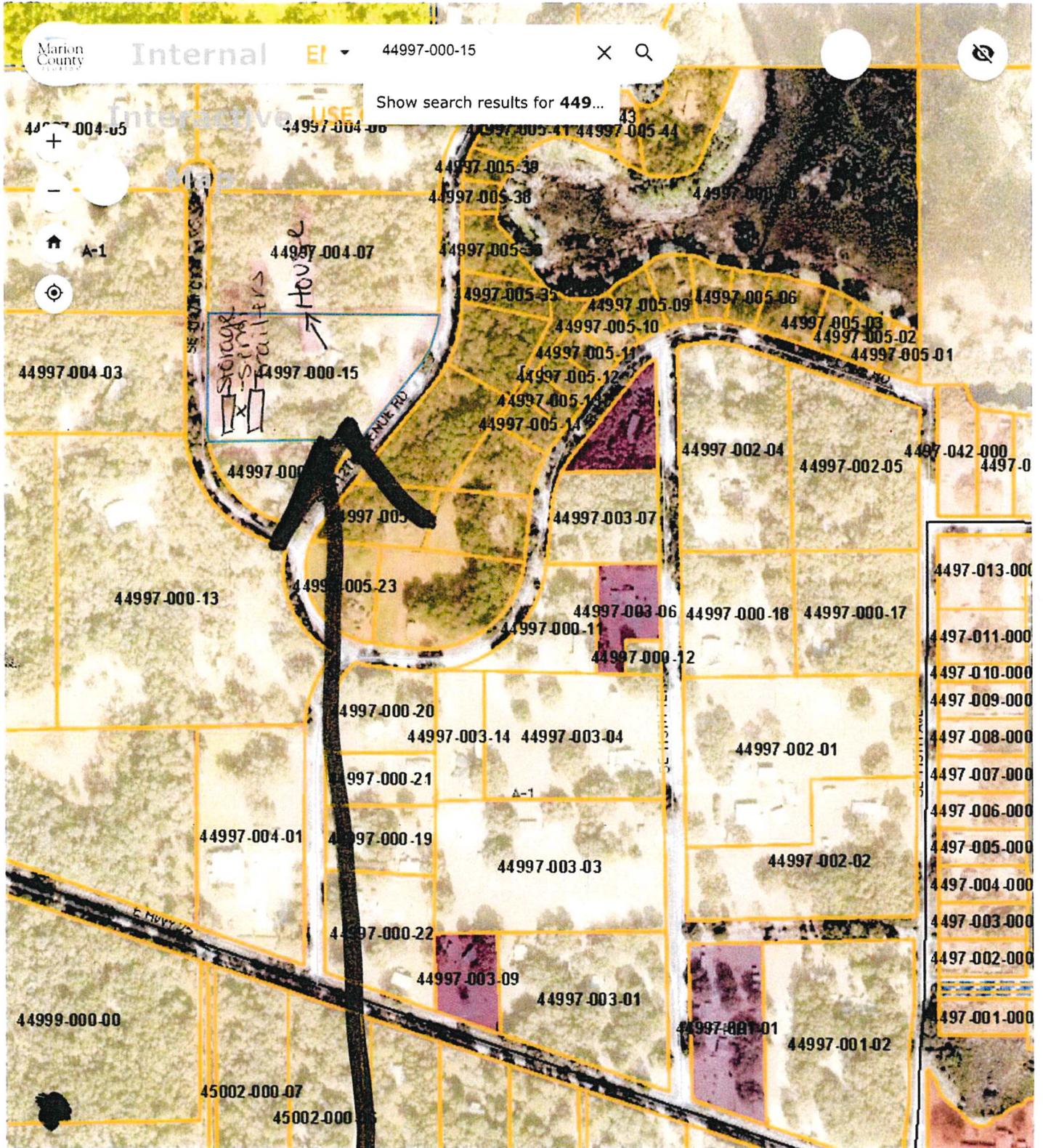
**COVERAGES**                      **CERTIFICATE NUMBER:**                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

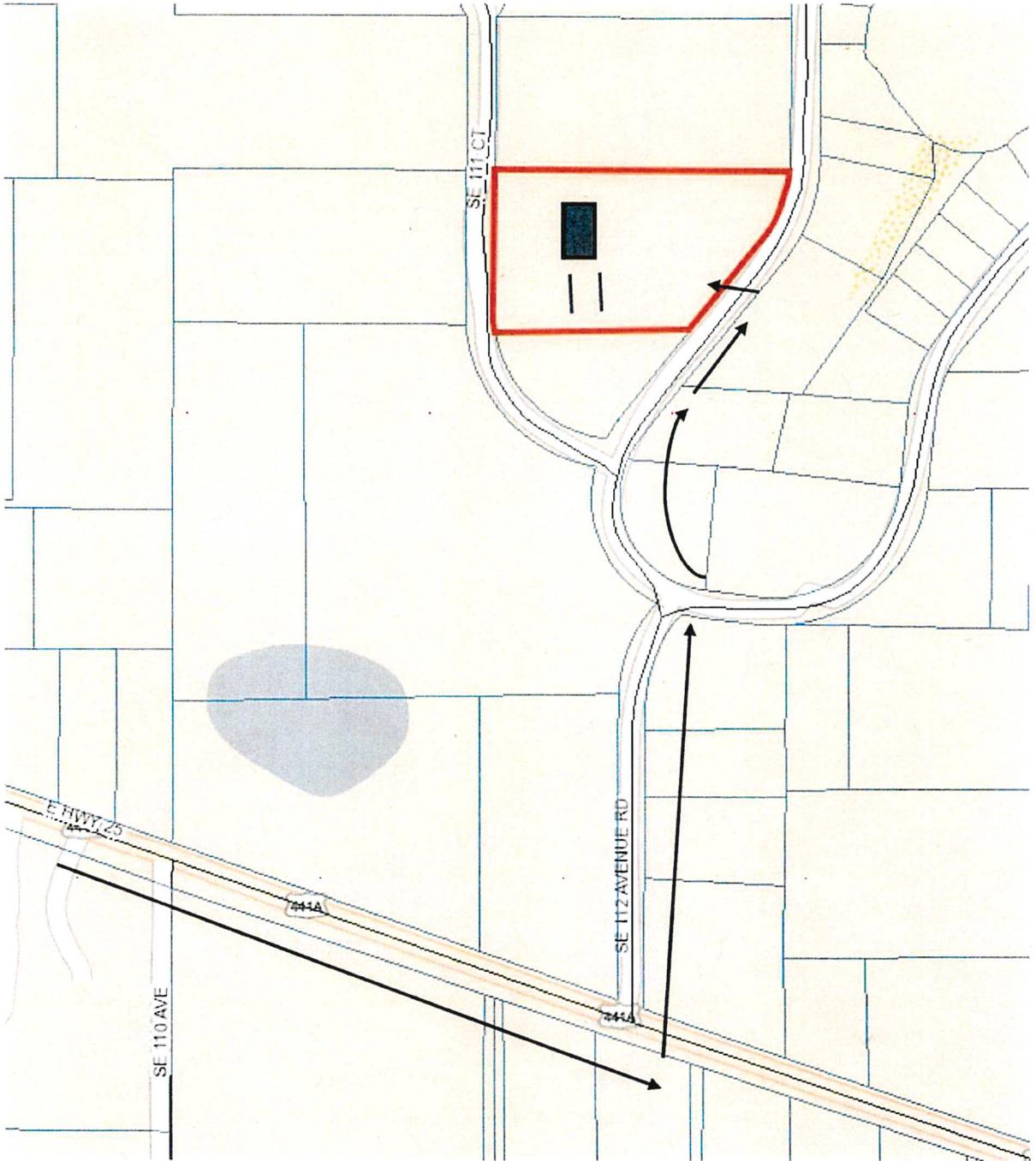
INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
A	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON TRUCKING LIABILITY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS			GTP4169909	04/01/2024	05/01/2025	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ PIP \$ 10,000
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> Y <input checked="" type="checkbox"/> N <input type="checkbox"/> N/A PER STATUTE    OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Physical Damage			GTP4169909	04/01/2024	05/01/2025	Comp/Collision: \$1,000 Limit: see policy
B	Occupational Accident			OA4169910	04/01/2025	05/01/2025	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
 Unit# 0141 1989 Peterbilt 1XP5DB9XXKD268523 \$45,000  
 Occupational Accident applies to driver: Kemuel Rodriguez  
 SUPPLEMENTAL COVERAGE INCLUDED:  
 Truxpro

<b>CERTIFICATE HOLDER</b> Atomic Transport LLC 1301 Riverfront Parkway Suite 119 Chattanooga, TN 37402	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
---	--



0 150 300ft



Our residence, parking will be towards the left side of the house behind trees as pointed in the picture below



Farther view showing how trees partially block view from outside road



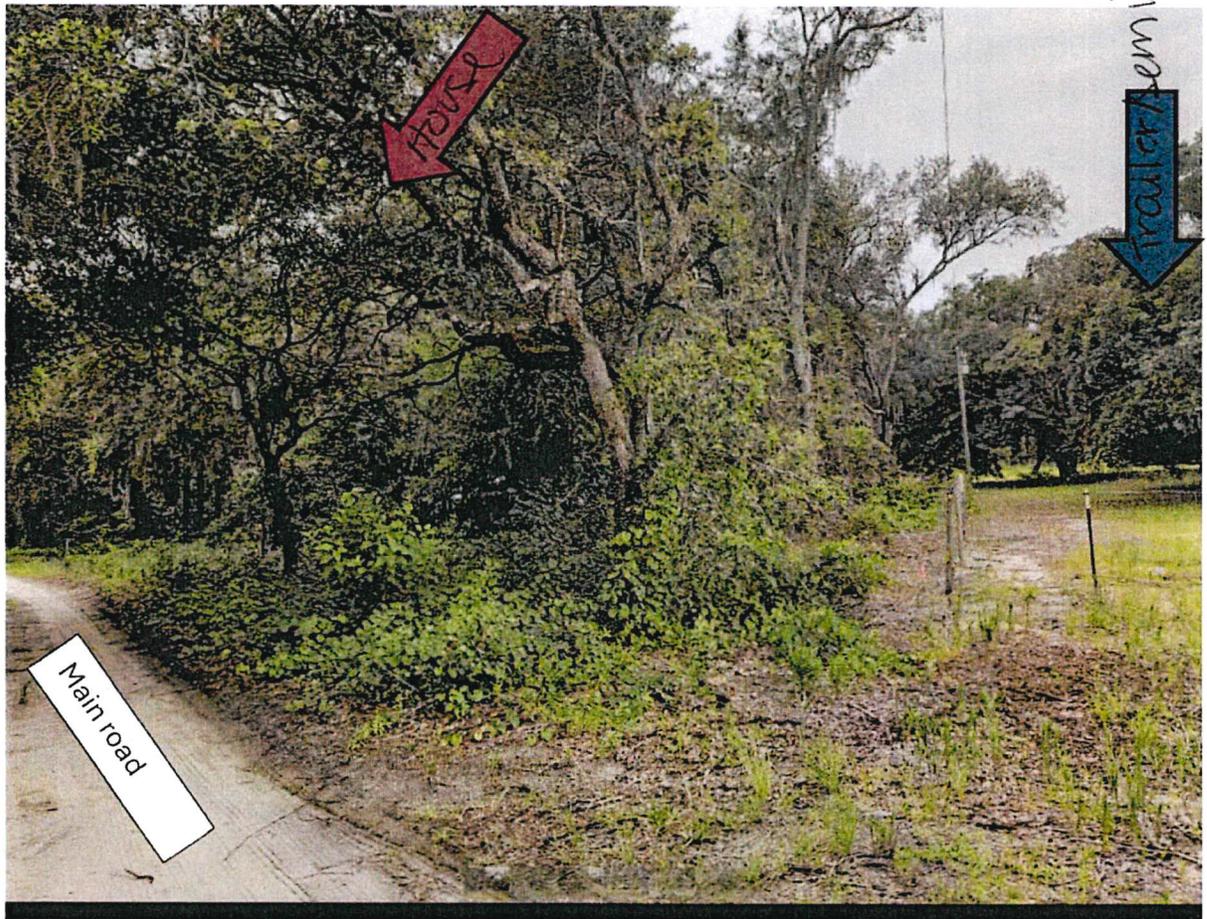
## Please see pictures below for reference.

Blue arrow represents where parking will be,

Purple arrow represents grass land between our fence and neighbors privet house where is blocking most of the view



Picture 2



- This represents the **ATTACHMENT A** from next door neighbor  
neighborhoods

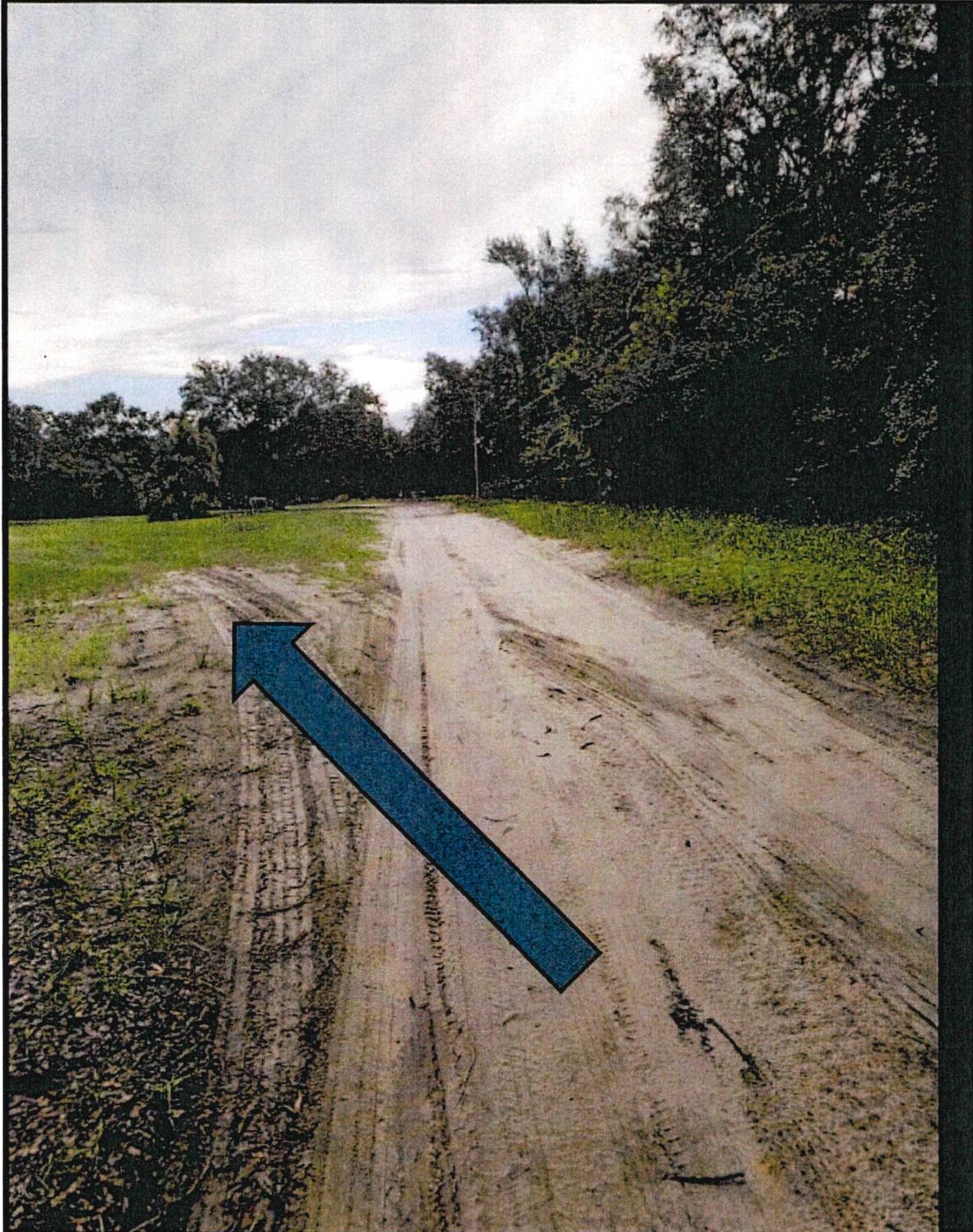


neighbors house

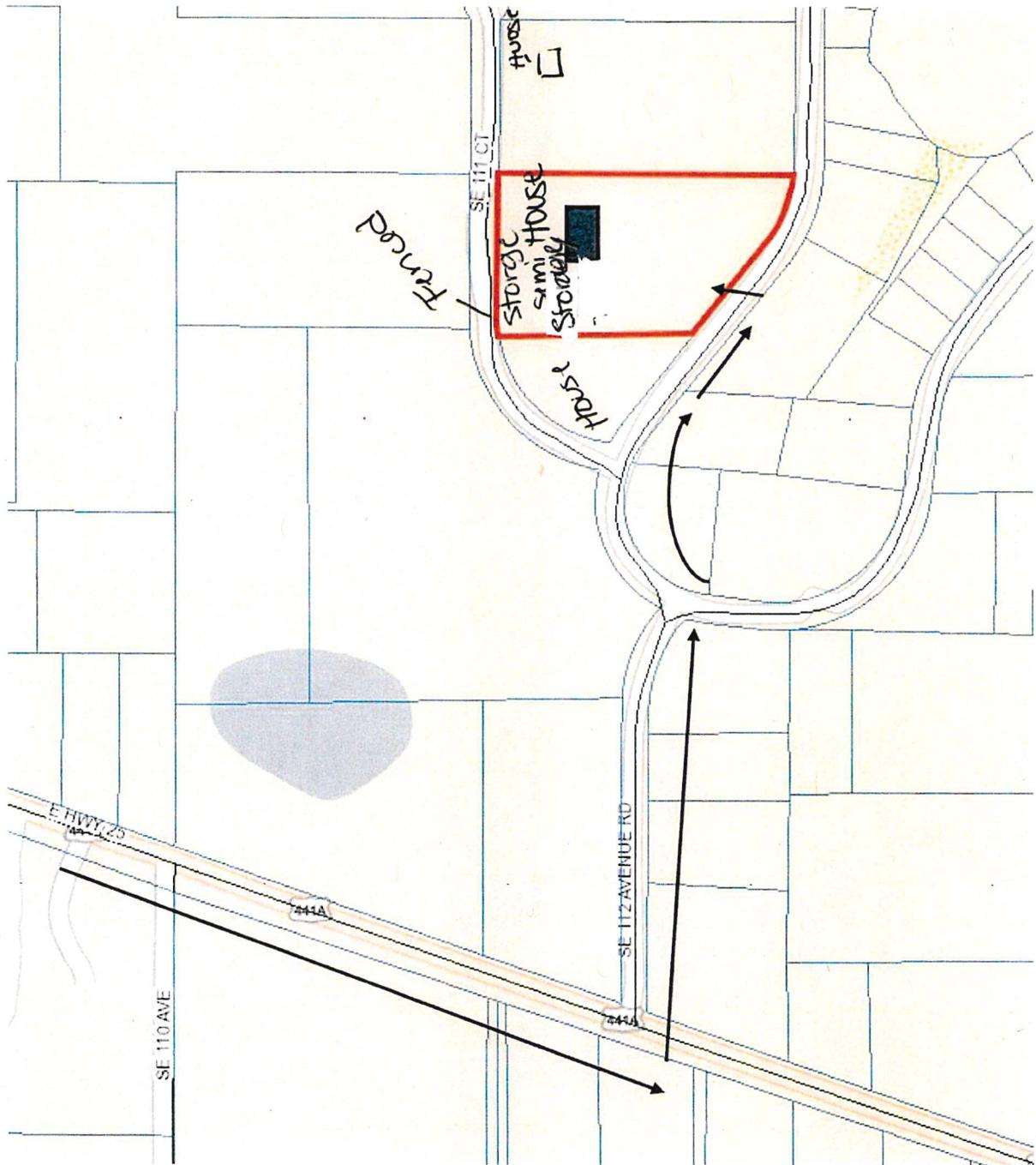


where  
trailers  
seem  
will  
be

Main entrance 1



Any required changes will be done if needed



Main entrance Closer picture



Prepared by & Return to:  
 Simply Title, LLC Fruitland Park  
 Jazmin Vazquez Rolon  
 2468 US Highway 441  
 Unit 201  
 Fruitland Park, FL 34731  
 File No.: 2025-8

## General Warranty Deed

Made this 6<sup>th</sup> day of February, 2025 A.D. By **MR5DAYS LLC, a Florida Limited Liability Company**, whose address is: 610 E. Zack Street, Suite 110-4211, Tampa, FL 33602, hereinafter called the grantor, to **Krystal M. Rodriguez De Leon and Kemuel Rodriguez Rivera, Wife and Husband**, whose post office address is: 12160 SE 112th Avenue Rd, Belleview, FL 34420, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of **Three Hundred Seventy-Five Thousand and 00/100 (\$375,000.00) Dollars** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Marion County, Florida**, viz:

**LOT 8, BLOCK D, MAC REEVES SUBDIVISION, AN UNRECORDED SUBDIVISION IN SECTION 1, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA. ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATE IN THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, BEING MORE FULLY AND PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 1 FROM WHICH POINT PROCEED ON THE WEST BOUNDARY THEREOF, SOUTH 00 DEGREES 13 MINUTES 17 SECONDS EAST, A DISTANCE OF 656.00 FEET; THENCE EAST 686.78 FEET TO THE POINT OF BEGINNING; FROM THE POINT OF BEGINNING THUS DESCRIBED, CONTINUE THENCE EAST A DISTANCE OF 628.43 FEET TO THE WESTERLY RIGHT OF WAY LINE OF A 60 FOOT WIDE ROAD; THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE NORTHWESTERLY HAVING A CENTRAL ANGLE OF 37 DEGREES 09 MINUTES 48 SECONDS AND A CENTER LINE RADIUS OF 300.00 FEET; AN ARC DISTANCE OF 147.80 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 37 DEGREES 31 MINUTES 53 SECONDS WEST A DISTANCE OF 497.29 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A CENTRAL ANGLE OF 121 DEGREES 24 MINUTES 05 SECONDS AND A CENTER LINE RADIUS OF 230.00 FEET; THENCE ON THE ARC OF SAID CURVE A DISTANCE OF 46.40 FEET TO ITS INTERSECTION WITH ANOTHER CURVE CONCAVE NORTHEASTERLY; HAVING A CENTRAL ANGLE OF 89 DEGREES 02 MINUTES 17 SECONDS AND A CENTER LINE RADIUS OF 300.00 FEET; THENCE ON THE ARC OF SAID CURVE IN A NORTHWESTERLY DIRECTION A DISTANCE OF 400.40 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING.**

**LESS AND EXCEPT LANDS DESCRIBED AS:**

**A PORTION OF LOT 8, BLOCK D, OF AN UNRECORDED SUBDIVISION IN SECTION 1, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, BEING MORE FULLY AND PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 1, FROM WHICH POINT PROCEED ON THE WEST BOUNDARY THEREOF SOUTH 00 DEGREES 13 MINUTES 17 SECONDS EAST A DISTANCE OF 656.00 FEET, THENCE EAST 1315.21 FEET TO THE WESTERLY RIGHT OF WAY LINE OF A 60 FEET WIDE ROAD, THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE NORTHWESTERLY HAVING A CENTRAL ANGLE OF 37 DEGREES 09 MINUTES 48**

SECONDS AND A CENTER LINE RADIUS OF 300.00 FEET AN ARC DISTANCE OF 147.80 FEET TO THE POINT OF TANGENCY OF SAID CURVE, THENCE SOUTH 37 DEGREES 31 MINUTES 53 SECONDS WEST A DISTANCE OF 247.97 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 37 DEGREES 31 MINUTES 53 SECONDS WEST A DISTANCE OF 249.32 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A CENTRAL ANGLE OF 121 DEGREES 24 MINUTES 05 SECONDS AND A CENTER LINE RADIUS OF 230.00 FEET, THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 46.40 FEET TO ITS INTERSECTION WITH ANOTHER CURVE CONCAVE NORTHEASTERLY, HAVING A CENTRAL ANGLE OF 89 DEGREES 02 MINUTES 17 SECONDS AND A CENTER LINE RADIUS OF 300.00 FEET, THENCE ALONG THE ARC OF SAID CURVE IN A NORTHWESTERLY DIRECTION 357.35 FEET, THENCE NORTH 88 DEGREES 32 MINUTES 01 SECONDS EAST 419.75 FEET TO THE POINT OF BEGINNING.

Property Address: 12160 SE 112th Avenue Rd, Belleview, FL 34420

Parcel Identification Number: 44997-000-15

Subject to the covenants, conditions, restrictions, easements, reservations and limitations of records, if any, and taxes for 2025 and all subsequent years, which are not yet due and owing.

Grantors warrant that at the time of this conveyance, the subject property is not the Grantors' homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2024.

*(Signatures on following page)*

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

*[Handwritten Signature]*

Witness Printed Name Heisha Michelle Acosta  
P.O. Address 1003 Dudley Dr.  
Kissimmee Fl 34758

*[Handwritten Signature]*

Witness Printed Name Rosali Garcia Rodriguez  
P.O. Address Islote 2 calle 7 # 28  
Arecibo P.R. 00612

*[Handwritten Signature]*

By: \_\_\_\_\_ (Seal)  
**Alonso Del Castillo, Authorized Member of MR5DAYS LLC, a Florida Limited Liability Company**

State of Florida  
County of Lake

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 6<sup>th</sup> day of February, 2025 by **Alonso Del Castillo, Authorized Member of MR5DAYS LLC, a Florida Limited Liability Company** who  is personally known or  has produced a driver's license as identification.

[Seal]



**HEISHA MICHELLE ACOSTA**  
Notary Public  
State of Florida  
Comm# HH492860  
Expires 3/30/2028

*[Handwritten Signature]*  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Property Record Card

44997-000-15

[GOOGLE Street View](#)

Prime Key: 1089506

[MAP IT+](#)

Current as of 6/26/2025

### Property Information

RODRIGUEZ DE LEON KRystal M  
RIVERA KEMUEL RODRIGUEZ  
12160 SE 112TH AVENUE RD  
BELLEVIEW FL 34420-5594

### Taxes / Assessments:

Map ID: 275

Millage: 9001 - UNINCORPORATED

M.S.T.U.

PC: 01

Acres: 4.00

Situs: 12160 SE 112TH AVENUE RD  
BELLEVIEW

### 2024 Certified Value

Land Just Value	\$72,504		
Buildings	\$181,051		
Miscellaneous	\$2,340		
Total Just Value	\$255,895		
Total Assessed Value	\$160,532	Impact	(\$95,363)
Exemptions	\$0	<u>Ex Codes:</u>	
Total Taxable	\$160,532		
School Taxable	\$255,895		

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$72,504	\$181,051	\$2,340	\$255,895	\$160,532	\$0	\$160,532
2023	\$54,264	\$144,306	\$1,950	\$200,520	\$145,938	\$0	\$145,938
2022	\$43,320	\$103,665	\$1,950	\$148,935	\$132,671	\$0	\$132,671

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8560/0635</a>	02/2025	07 WARRANTY	9 UNVERIFIED	Q	1	\$375,000
<a href="#">8345/1193</a>	06/2024	26 TRUSTEE	9 UNVERIFIED	Q	1	\$170,000
<a href="#">6965/1873</a>	05/2019	07 WARRANTY	9 UNVERIFIED	U	1	\$140,100
<a href="#">6965/1867</a>	04/2019	74 PROBATE	0	U	1	\$100
<a href="#">6965/1866</a>	04/2019	71 DTH CER	0	U	1	\$100
<a href="#">6962/0511</a>	04/2019	08 CORRECTIVE	0	U	1	\$100
<a href="#">6955/0552</a>	04/2019	62 DISTR	0	U	1	\$100
<a href="#">6965/1872</a>	03/2019	71 DTH CER	0	U	1	\$100
<a href="#">1603/1343</a>	09/1989	07 WARRANTY	2 V-SALES VERIFICATION	Q	1	\$70,500
<a href="#">0432/0173</a>	06/1970	02 DEED NC	0	U	1	\$4,477

### Property Description

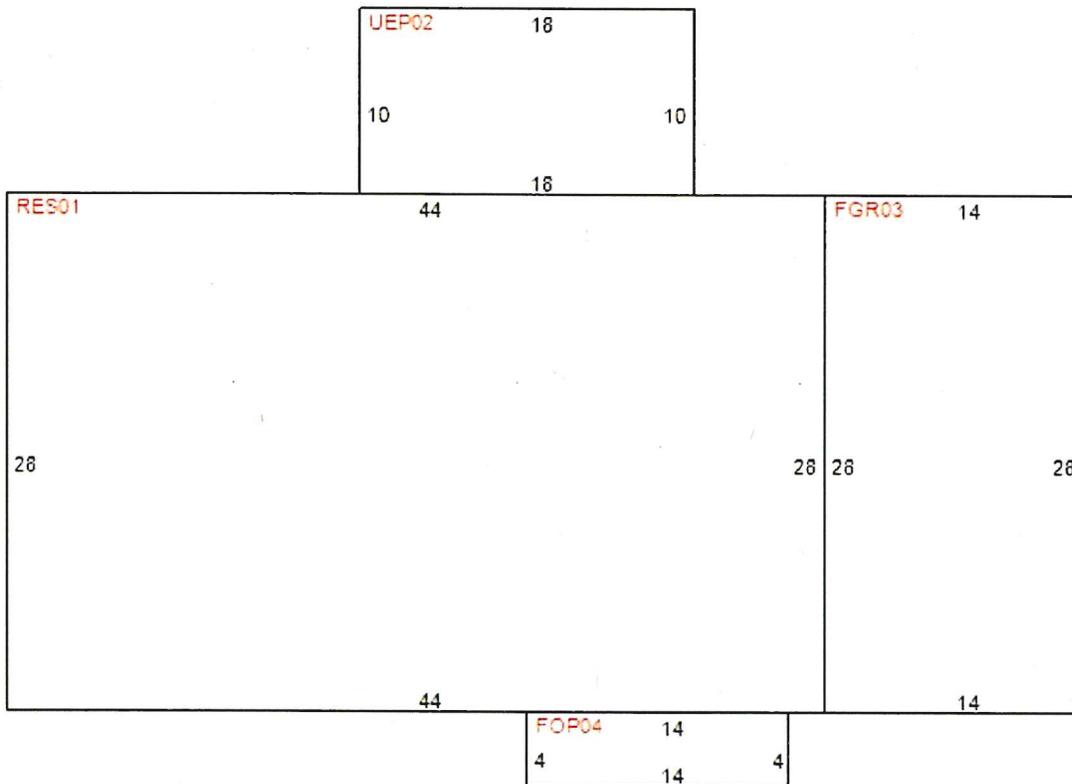
SEC 01 TWP 17 RGE 23  
 PLAT BOOK UNR PAGE 103  
 MAC REEVES SUB  
 BLK D LOT 8 BEING MORE FULLY DESC AS:  
 COM AT THE NW COR OF SEC 1 TH S 00-13-17 E 656 FT TH E 686.78 FT  
 TO THE POB TH CONT E 628.43 FT TH SWLY ALONG ARC OF CURVE  
 CONCAVE NWLY HAVING A CENTRAL ANGLE OF 37-09-48 A RADIUS OF 300 FT  
 AN ARC DISTANCE OF 147.80 FT TH S 37-31-53 W 497.29 FT TO THE POC  
 OF A CURVE CONCAVE ELY HAVING A CENTRAL ANGLE OF 121-24-05 A RADIUS OF  
 230 FT TH ALONG ARC OF CURVE 46.40 FT TO AN INTERESTION WITH ANOTHER  
 CURVE CONCAVE NELY HAVING A CENTRAL ANGLE OF 89-02-17 A RADIUS OF 300 FT  
 TH ALONG ARC OF CURVE IN A NWLY DIRECTION 400.40 FT TH N 300 FT  
 TO THE POB AS DESC OR 432-173  
 EXC COM AT THE NW COR OF SEC 1 TH S 00-13-17 E 656 FT TH E 1315.21 FT TH  
 SWLY ALONG ARC OF CURVE NWLY HAVING A CENTRAL ANGLE OF 37-09-48 A  
 RADIUS OF 300 FT AN ARC DISTANCE OF 147.80 FT TH S 37-31-53 W 247.97 FT  
 TO THE POB TH CONT S 37-31-53 W 249.32 FT TO THE POC OF A CURVE CONCAVE  
 ELY HAVING A CENTRAL ANGLE OF 121-24-05 A RADIUS OF 230 FT TH ALONG  
 ARC OF CURVE 46.40 FT TO ITS INTERSECTION WITH ANOTHER CURVE CONCAVE  
 NELY HAVING A CENTRAL ANGLE OF 89-02-17 A RADIUS OF 300 FT TH ALONG ARC  
 OF CURVE NWLY DIRECTION 357.35 FT TH N 88-32-01 E 419.75 FT TO THE POB

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		.0	.0	A1	4.00	AC						
Neighborhood 9488 - MAC REEVES SUB												
Mkt: 10 70												

Traverse

**Building 1 of 1**  
 RES01=L44D28R44U28.L7  
 UEP02=U10L18D10R18.R7  
 FGR03=D28R14U28L14.D28L2  
 FOP04=D4L14U4R14.



Building Characteristics

<b>Improvement</b>	1F - SFR- 01 FAMILY RESID	<b>Year Built</b> 1982
<b>Effective Age</b>	2 - 05-09 YRS	<b>Physical Deterioration</b> 0%
<b>Condition</b>	0	<b>Obsolescence: Functional</b> 0%
<b>Quality Grade</b>	600 - AVERAGE	<b>Obsolescence: Locational</b> 0%
<b>Inspected on</b>	5/24/2023 by 228	<b>Architecture</b> 0 - STANDARD SFR
		<b>Base Perimeter</b> 144

TypeID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES 0132	- CONC BLK-STUCO	1.00	1982	N	0 %	0 %	1,232	1,232
UEP 0229	- VINYL SIDING	1.00	1982	N	0 %	0 %	180	180
FGR 0332	- CONC BLK-STUCO	1.00	1982	N	0 %	0 %	392	392
FOP 0401	- NO EXTERIOR	1.00	1982	N	0 %	0 %	56	56

Section: 1

<b>Roof Style:</b> 10 GABLE	<b>Floor Finish:</b> 34 HARDWD ON CONC	<b>Bedrooms:</b> 3	<b>Blt-In Kitchen:</b> Y
<b>Roof Cover:</b> 08 FBRGLASS SHNGL	<b>Wall Finish:</b> 16 DRYWALL-PAINT	<b>4 Fixture Baths:</b> 0	<b>Dishwasher:</b> N
<b>Heat Meth 1:</b> 20 HEAT PUMP	<b>Heat Fuel 1:</b> 10 ELECTRIC	<b>3 Fixture Baths:</b> 2	<b>Garbage Disposal:</b> N
<b>Heat Meth 2:</b> 00	<b>Heat Fuel 2:</b> 00	<b>2 Fixture Baths:</b> 0	<b>Garbage Compactor:</b> N
<b>Foundation:</b> 7 BLK PERIMETER	<b>Fireplaces:</b> 0	<b>Extra Fixtures:</b> 2	<b>Intercom:</b> N
<b>A/C:</b> Y			<b>Vacuum:</b> N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
256 WELL 1-5 BTH	1.00	UT	99	1963	2	0.0	0.0
190 SEPTIC 1-5 BTH	1.00	UT	99	1963	2	0.0	0.0
159 PAV CONCRETE	204.00	SF	20	1982	3	0.0	0.0
ADU UTILITY-ALUM	160.00	SF	40	1982	1	10.0	16.0
ADU UTILITY-ALUM	120.00	SF	40	1982	1	10.0	12.0
144 PAVING ASPHALT	1,310.00	SF	5	1990	1	0.0	0.0
045 LEAN TO	280.00	SF	15	2003	1	0.0	0.0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
MC01897	9/1/1982	11/1/1982	SFR

ATTACHMENT B



Storage Trailer



Storage Trailer



Operational Tractor



Operational Trailer



# ZONING

Notice of Public Hearing  
Marion County  
Application is being made to:

- Change zoning from: \_\_\_\_\_ to: \_\_\_\_\_
  - Special Use Permit (1) SEMI-TRACTORS (1) TRAILER AND (2) STORAGE TRAILERS
  - Variance to \_\_\_\_\_
- RODRIGUEZ, KAYSTAL & XIMENES  
On this property which is owned by:

All hearings to be held at:  
601 SE 25<sup>th</sup> Avenue  
In the Board of County Commissioners Auditorium

Hearing dates & times:  
 Zoning Commission: date 10/17/25 time 5:30 PM  
 Board of Adjustment: date \_\_\_\_\_ time \_\_\_\_\_  
 Board of County Commissioners: date 11/17/25 time 1:30 PM  
 For further information call 438-2675

It is unlawful to remove this notice until the above described Public Hearing has been held.

ID # 251102-SU  
Zoning Director: CHUCK VERRIN



Primary Home

ATTACHMENT B



Rear of Home Facing North



Proposed Parking Area



Facing Southwest



Rear of Home



Front Of Home



North Side of Property



Driveway



Facing South 112<sup>th</sup> Ave Rd



Facing North 112<sup>th</sup> Ave Rd

**ATTACHMENT C**

# Development Review Comments Letter

10/8/2025 12:29:08 PM

**KRYSTAL RODRIGUES DE LEON**  
**ZO SUP #33252**

ID	DESCRIPTION	REMARK	STATUS	DEPT	APPLICANT RESPONSE
1	Special Use Permit	N/A	INFO	911	
2	Special Use Permit	N/A	INFO	DOH	
3	Special Use Permit	Stormwater is not opposed to the special use permit. The applicant is requesting a SUP for the purpose of storing two semi-trucks and 3 trailers. Parcel # 44997-000-15 is currently zoned A-1 and is 4 acres in size. There are no FEMA Flood Zones or County Flood Prone Areas on this site. Per the MCPA, this site currently has 3,934 SF of impervious coverage. This site will be subject to a Major Site Plan or waiver when its existing and proposed impervious coverage exceeds 9,000 SF.	INFO	ENGDRN	
4	Special Use Permit	RECOMMEND DENIAL - The subdivision streets that provide access to the subject property are all unpaved non-County maintained roadways. Semi trucks cause significantly more damage to roadways than typical residential traffic especially on unpaved roads. These roads are non-County maintained, so the burden of the additional maintenance would fall on the adjacent homeowners.	INFO	ENGTRF	
5	Special Use Permit	Approved	INFO	FRMSH	
6	Special Use Permit	no comments	INFO	LSCAPE	
7	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	LUCURR	
8	Special Use Permit	Parcel 44997-000-15 is located within the Marion County Utilities service area; however, it is outside of connection distance. The Special Use Permit	INFO	UTIL	

ATTACHMENT C

		does not propose any additional flows, and therefore MCU has no comment.  This parcel is also located outside of both the Urban Growth Boundary and the Primary Springs Protection Zone.			
9	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	ZONE	

# Code Case Detail Report ATTACHMENT D

CDPR4204 - Code Case Detail Report

**CASE NBR:** 991048

**AO NBR:** 674871

OLD CASE NBR

STATUS: OPEN

INSPECTOR: HANNAH, CHARLES

CASE TYPE: LAND DEVELOPMENT

FOLIO NBR: 44997-000-15

**AO INFORMATION**

OPEN DATE 7/28/2025

OPEN USER CE344PJ

COMPL NAME SEAN SULLIVAN

COMPL PHONE 352-857-3057

COMPL ADDRESS 11990 SE 112TH AVENUE RD  
BELLEVIEW

COMPL FAX

**CASE INFORMATION**

ADDR NBR: 158448

LOCATION: 12160 SE 112TH AVENUE RD BELLEVIEW

OPEN DATE: 07/31/2025

DISPOSITION

CLOSE DATE:

DISP BY:

DISP DATE:

DIRECTIONS: S ON 441 E ON C-25 TURN LEFT ON 112TH AVE RD. JOB ON LEFT

**CATEGORY:** CE - COMMERCIAL VEHICLE

PRIORITY: 0

LAST VISIT ID: 677068 ZIP: 344205594

HEARING DATE:

CONTACT?:

DESCRIPTION:

PHYSICAL FILE ID:

ON GOING ISSUE WITH COMMERCIAL VEHICLES PARKING - NOT JUST THE BLACK TRAILER - OTHER TRUCK AND TRAILER PARKING - EVERY NIGHT & OVER THE WEEKEND - ALSO PARKING IN THE BACK - CAN BE SEEN FROM THE ROAD - PLEASE CALL THE PR REGARDING ON GOING ISSUE

**CONTACT INFORMATION:**

KRYSTAL M RODRIGUEZ DE LEON

PHONE:

FAX:

**TENANT INFORMATION:**

RODRIGUEZ DE LEON KRYSTAL M

PHONE:

FAX:

**OWNER INFORMATION:**

KRYSTAL M RODRIGUEZ DE LEON

KEMUEL RODRIGUEZ RIVERA

12160 SE 112TH AVENUE RD

BELLEVIEW, FL 34420

PHONE:

FAX:

**VIOLATOR INFORMATION:**

KRYSTAL M RODRIGUEZ DE LEON

KEMUEL RODRIGUEZ RIVERA

12160 SE 112TH AVENUE RD

BELLEVIEW, FL 34420

PHONE: 344205594

FAX:

**COMPLAINANT INFORMATION:**

NAME/ADDRESS:

SEAN SULLIVAN

11990 SE 112TH AVENUE RD BELLEVIEW

PHONE:

352-857-3057

FAX:

**ACTION ORDER NOTES:**

SE ON E HWY 25 // LT SE 112TH AVENUE RD

1120. This has been called in prior and closed. This is zoned A-1 and has trailers clearly marked as a farm trailer. There is no commercial vehicles present at this time. Left a VM for the CP. CP returned call and states the possible violator parks his truck there, but not all the time. I will recheck and determine if evidence can be obtained.

**VISITS:**

**CASE NBR: 991048**

**ATTACHMENT D**

**AO NBR: 674871**

192

OLD CASE NBR

STATUS: OPEN

INSPECTOR: HANNAH, CHARLES

CASE TYPE: LAND DEVELOPMENT

FOLIO NBR: 44997-000-15

VISIT NBR	INSPECTOR	NAME	SCHEDULED DATE	VISIT DATE	NBR DAYS COMP.
680683	CE344CH	HANNAH, CHARLES	09/29/2025		
677068	CE344CH	HANNAH, CHARLES		07/31/2025	
1145. Observed a trailer on property and does not have an 08 exemption.					
677070	CE344CH	HANNAH, CHARLES	08/14/2025	08/28/2025	
1010. The violator has applied for a SUP and will recheck					

**LETTERS:**

REF TYPE	LETTER NAME	RQST DATE	PRINT DATE	SEND DATE	STATUS
CC	CEO-NOV COM VEH	07/31/2025	10/08/2025		ACTV

**VIOLATIONS:**

STATUS	GROUP	CODE	VIOL. DATE	DESCRIPTION/REMARKS
COMPLIED	CE	4.2.3	7/31/2025	A-1 GENERAL AGRICULTURE VIOLATION
VIOLATION	CE	4.3.21	7/31/2025	COMMERCIAL VEHICLE

**IMAGES:**

IMAGE DATE	IMAGE DESCRIPTION
8/28/2025	12160 SE 112TH AVENUE RD Photos by CH
8/28/2025	12160 SE 112TH AVENUE RD Photos by CH
7/31/2025	12160 SE 112TH AVENUE RD
7/31/2025	12160 SE 112TH AVENUE RD
7/31/2025	12160 SE 112TH AVENUE RD

**NOTES:**

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ATTACHMENT E





# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21224

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.2.2.

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**SUBJECT:**

**251103SU - Ocala Freedom Investment, LLC, Special Use Permit to Allow for A Storage Facility Related to Commercial Business, in a Single-Family Dwelling (R-1) Zone, 0.41 Acre Parcel, Parcel Account Number 3578-017-030, Site Address 10320 SW 42<sup>nd</sup> Avenue, Ocala, FL 34476**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Luis Moises, on behalf of Ocala Freedom Investment, LLC, has filed a Special Use Permit for a storage facility related to a construction and property management business on a 0.41-acre property with a Single-Family Dwelling (R-1) zoning classification at 10320 SW 42<sup>nd</sup> Avenue Ocala, FL, pursuant to the provisions of Land Development Code (LDC) Division 2.8 - Special Use Permit, and LDC Section 4.2.3. The subject property has a Medium Residential (MR) land use designation and is situated inside the Urban Growth Boundary (UGB) and in the County's Secondary Springs Protection Overlay Zone (SSPOZ). The Special Use Permit request is in response to on-going Code Case No. 986026.

**BUDGET/IMPACT:**

None

**RECOMMENDED ACTION:**

Staff recommends denial. Planning and Zoning Commission recommends denial.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>P&amp;Z Date: 10/27/2025</b>	<b>BCC Date: 11/17/2025</b>
<b>Case Number</b>	251103SU
<b>CDP-AR</b>	33230
<b>Type of Case</b>	<b>Special Use Permit</b> for material and equipment storage related to construction and property management business
<b>Owner</b>	Ocala Freedom Investments, L.L.C., R/A Mairielys Ordonez
<b>Applicant</b>	Luis Moises
<b>Street Address/Site Location</b>	10320 SW 42 <sup>nd</sup> Avenue, Ocala, FL 34476
<b>Parcel Number(s)</b>	3578-017-030
<b>Property Size</b>	±0.41 AC
<b>Future Land Use</b>	Medium Residential (MR)
<b>Existing Zoning Classification</b>	Single-Family Dwelling (R-1)
<b>Overlays Zones/Special Areas</b>	Urban Growth Boundary (UGB) & Secondary Springs Protection Zone (SSPZ)
<b>Staff Recommendation</b>	<b>DENIAL</b>
<b>P&amp;Z Recommendation</b>	<b>DENIAL</b>
<b>Project Planner</b>	Jared Rivera-Cayetano
<b>Related Cases</b>	Code Case No. 986026, 934739, 934740, 934741 & 934742

## I. ITEM SUMMARY

Luis Moises, on behalf of Ocala Freedom Investments, L.L.C., filed a Special Use Permit (SUP) application for a ±0.41-acre property with a zoning classification of Single-Family Dwelling (R-1). The subject property is located at 10320 SW 42nd Avenue, Ocala, FL. The Parcel Identification Number for the subject property is 3578-017-030. Located within the Ocala Waterway Estates subdivision, the legal descriptions are provided within the rezoning application (see Attachment A). The site is located inside the Urban Growth Boundary (UGB) and within the Secondary Springs Protection Zone (SSPZ). The intention of this Special Use Permit request is to allow a storage facility related to the property owner's construction and property management business. The Special Use Permit request is in response to on-going Code Case No. 986026, and similar previous violations on PID 4202-010-001, 4202-010-004, 4202-010-062, and 4202-010-059 (see Code Case No. 934739, 934740, 934741, and 934742). The applicant had previously constructed a 2,000-square-foot metal storage structure (Permit No. 2024064201; Attachment F) for four (4) heavy machinery vehicles, electronic appliances, home furniture, and other light- to medium-duty construction and maintenance tools. The applicant proposes an additional paved driveway along SW 103<sup>rd</sup> Street. The applicant indicates no customer activity will occur within the subject property; employees live in the existing single-family residence. Staff finds that the approval of this application would allow a commercial use that must accommodate traffic, stormwater, and landscaping on a 0.41-acre lot and within a subdivision otherwise intended for single-family residential development.

## II. STAFF SUMMARY RECOMMENDATION

Staff recommends **DENIAL**. Although the applicant has suggested plans to move all activity to a more permanent site within a year; Staff finds the proposed use is not consistent with the Medium Residential (MR) Future Land Use (FLU) designation and would introduce a commercial use that must accommodate traffic, stormwater, and landscaping on a 0.41-acre lot within a subdivision otherwise intended for single-family residential development. Staff finds the request is not consistent with the Marion County Comprehensive Plan, not compatible with the surrounding area, and will adversely affect the public interest. However, in the event that the Special Use Permit request is approved, the conditions in Section VII of this report are recommended to partially address compliance with the requirements in the Marion County Land Development Code (LDC) Sections 2.8.2.D and 2.8.3.B.

**Figure 1  
General Location Map**



### III. NOTICE OF PUBLIC HEARING

The Growth Services Director has interpreted the requirements of Land Development Code (LDC) Sections 2.7.3.C, 2.7.3.B and 2.7.3.E to apply to SUP applications. Consistent with LDC Section 2.7.3.B., notice of public hearing was mailed to all property owners (23 owners) within 300 feet of the subject property on October 10, 2025. Consistent with LDC Section 2.7.3.B., public notice was posted on the subject property on October 17, 2025, and consistent with LDC Section 2.7.3.E., due public notice was published in the Ocala Star-Banner on October 13, 2025. Evidence of the above-described public notices are on file with the Growth Services Department and is incorporated herein by reference. As of the date of the initial distribution of this staff report, no letters of opposition or support have been received.

### IV. BACKGROUND/CHARACTER OF AREA

#### A. Existing Site Conditions.

Figure 1, above, is a general location aerial displaying existing and surrounding site conditions. Figure 2, below, displays the subject and surrounding properties' existing uses as established by the Marion County Property Appraiser Office's Property Code (PC).

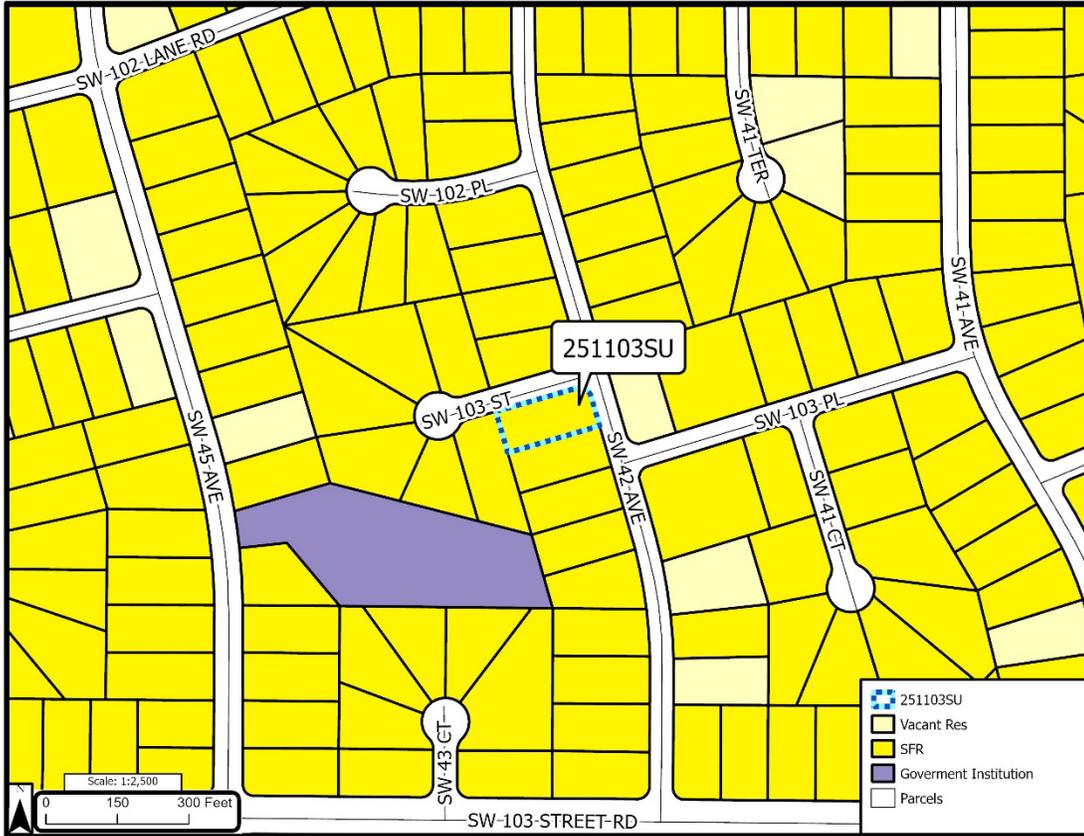
In general, the surrounding properties are characterized predominantly by residential development, although select properties (including PID 3578-024-027 to the east of the subject property) are currently characterized as *Vacant Residential*. Properties characterized as Government Institution are currently used as drainage retention areas. The subject property and all surrounding properties are part of the pre-existing Ocala Waterway Estates subdivision.

Staff conducted a site visit with Code Enforcement staff on October 6, 2025. An additional site visit was conducted on October 17, 2025. Staff found that the subject property is a corner lot along SW 42<sup>nd</sup> Avenue and SW 103<sup>rd</sup> Street. The latter is a cul-de-sac that provides access to seven (7) residential lots. The subject property contains one (1) single-family residential structure fronting SW 42<sup>nd</sup> Avenue.

A metal storage structure, approximately forty (40) feet by fifty (50) feet, is located to the rear of the residential structure, fronting SW 103<sup>rd</sup> Street. This building is currently undergoing the permitting process. This building stores material and equipment related to the property owner's construction and property management business. Specifically, Staff observed one (1) flatbed trailer, four (4) heavy machinery vehicles, electronic appliances, home furniture, and other light- to medium-duty construction and maintenance tools. Although a paved driveway is proposed by the applicant, Staff notes the proposed storage facility is currently accessed through an unpaved, dirt driveway. Staff notes signs of wear along the shoulders of SW 103<sup>rd</sup> Street, including several areas of exposed soil. The side and rear of the subject property is currently enclosed by a vinyl fence. Several vehicles were parked in front of the single-family residence. Site photos are attached to this report (see Attachment C).

Figure 3 provides zoning classification information while Figure 4 provides Future Lane Use (FLU) designation information for the area.

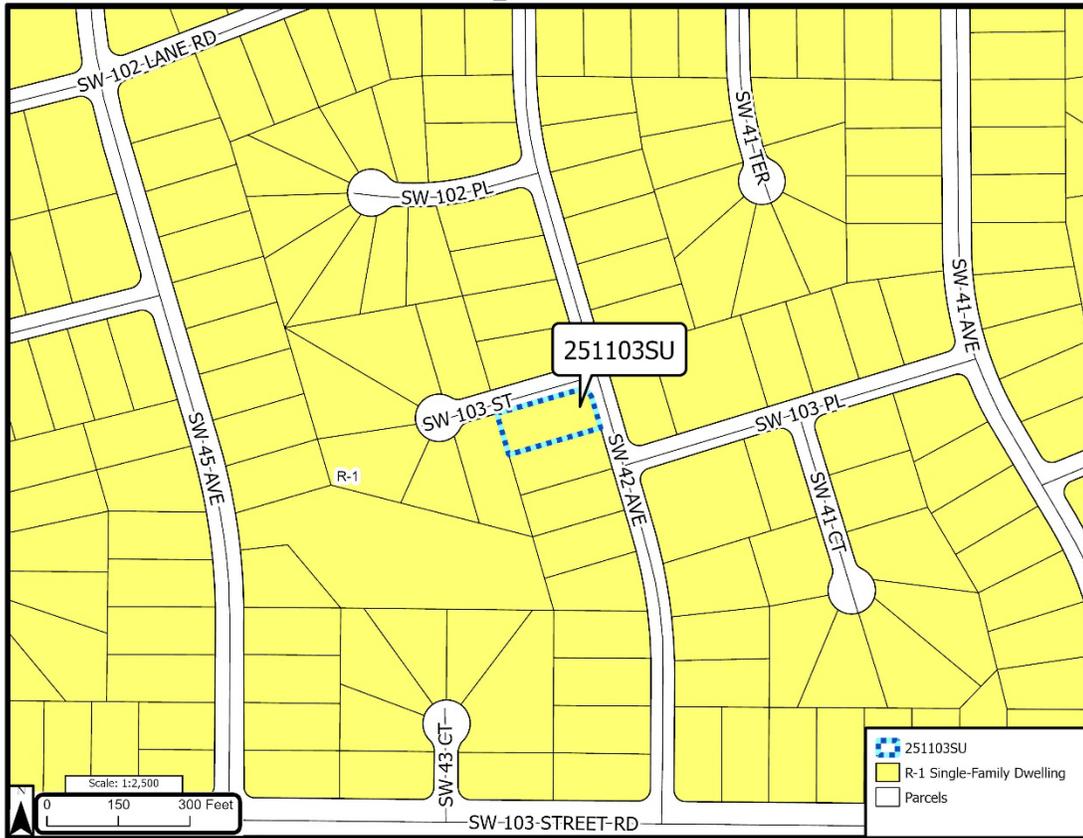
**Figure 2**  
**Existing Use per Property Appraiser Property Code**



**B. Zoning Classification.**

Figure 2, below, displays the existing zoning classifications for the subject property in relation to the existing zoning classifications of the surrounding properties. All surrounding properties have a Single-Family Dwelling (R-1) zoning classification. No properties within this subdivision are commercially zoned. No Special Use Permits been approved for non-residential uses within this subdivision.

**Figure 3**  
**Zoning Classification**



C. *FLUM Designation.*

Figure 4, below, displays the existing Future Land Use (FLU) designation for the subject property in relation to the existing FLU designation of the surrounding properties. Virtually all properties are designated as Medium Residential (MR) which is intended for residential development with a density between one (1) and four (4) dwelling units per one (1) acre. There is a nearby parcel designated as Public (P), currently serving as a water retention area (WRA).

The subject property is within the Secondary Springs Protection Overlay Zone (SSPOZ) and inside the Urban Growth Boundary (UGB), as established by the Marion County Comprehensive Plan.

**Figure 4  
FLUMS Designation**

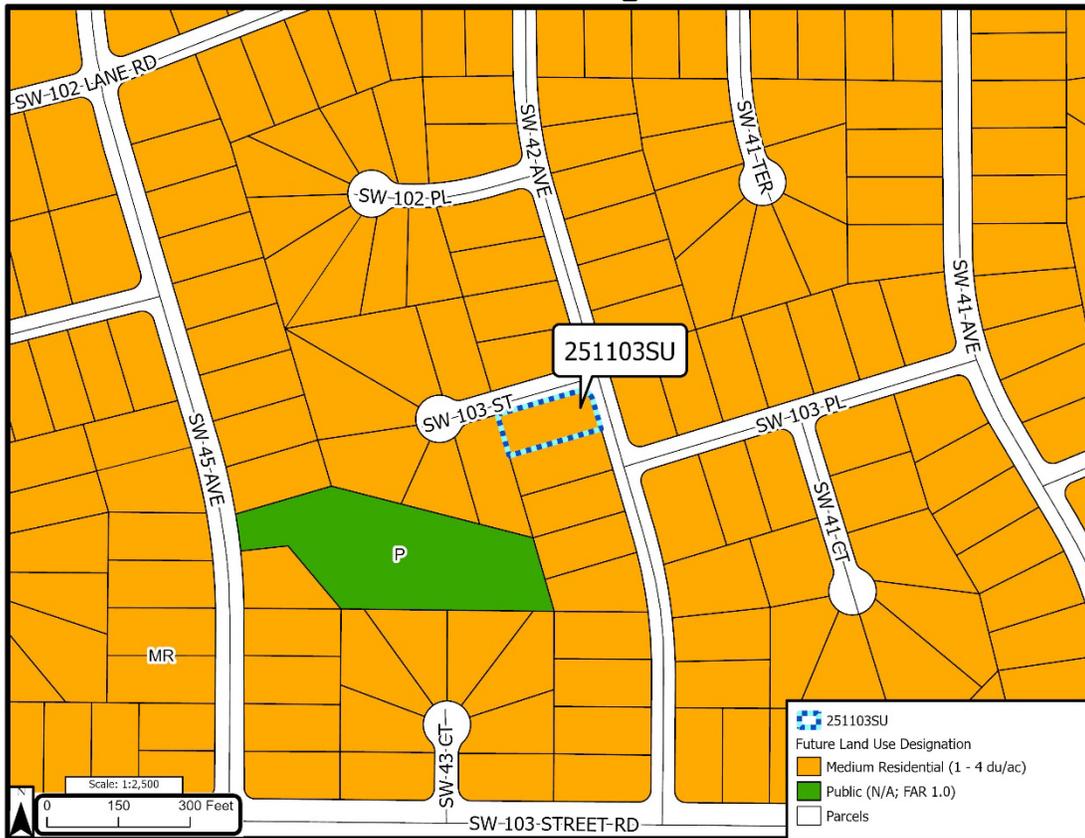


Table A, below, assembles the information in Figures 2, 3, and 4 in tabular form. Figure 5 provides a preliminary plot plan for the requested use, including the setbacks for the existing single-family residence and the proposed storage facility on a 0.41-acre property. The proposed structure is intended to store material and equipment related to the property owner’s construction and property management business. Specifically, the storage facility will contain four (4) heavy machinery vehicles, electronic appliances, home furniture, and other light- to medium-duty construction and maintenance tools. Since the initial submission of this application, an additional flatbed trailer is also proposed to be on-site.

The applicant proposes a six-foot vinyl fence to screen the proposed building, as well as several gates for access. The applicant proposes a concrete driveway along SW 103<sup>rd</sup> Street. No additional landscaping was specified by the applicant. A separate fenced area serving as a private backyard for the resident on-site is proposed by the applicant.

<b>TABLE 1. ADJACENT PROPERTY CHARACTERISTICS</b>			
<b>Direction</b>	<b>FLUM Designation</b>	<b>Zoning Classification</b>	<b>MCPA Existing Use</b>
<b>Subject Property</b>	Medium Residential (MR)	Single-Family Dwelling (R-1)	Single Family Residential*
<b>North</b>	Right-of-Way & Medium Residential (MR)	Right-of-Way & Single-Family Dwelling (R-1)	Right-of-Way & Single Family Residential
<b>South</b>	Medium Residential (MR)	Single-Family Dwelling (R-1)	Single Family Residential
<b>East</b>	Right-of-Way & Medium Residential (MR)	Right-of-Way & Single-Family Dwelling (R-1)	Right-of-Way & Vacant Residential
<b>West</b>	Medium Residential	Single-Family Dwelling (R-1)	Single Family Residential

\*MCPA classification ignores proposed commercial use on subject property that is currently not permitted by the existing residential zoning.



- A. *Provision for **ingress and egress** to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Analysis:** The subject property currently has one (1) permitted driveway, located along SW 42<sup>nd</sup> Avenue, a local subdivision road maintained by Marion County. No traffic impact statement was provided; however, trip generation of the subject property is expected to exceed that of a property with a single-family dwelling unit alone, as Staff notes the storage facility is regularly accessed by commercial vehicles, both under and over 16,000 pounds. Indeed, Staff notes signs of wear along the shoulders of SW 103<sup>rd</sup> Street, another local subdivision road maintained by Marion County, including several areas of exposed soil.

Furthermore, Staff notes there is no paved driveway to the storage facility from SW 103<sup>rd</sup> Street at this time, with access currently provided through an unpaved, dirt driveway. Although the applicant proposes an additional paved driveway along SW 103<sup>rd</sup> Street to access the storage facility, the Office of the County Engineer (OCE) notes that standard residential driveways would not necessarily be designed to accommodate the frequent use of large commercial vehicles, including all trailers for heavy machinery.

Staff therefore finds the application is **not consistent** with provisions for ingress and egress. However, in the event that the Special Use Permit request is approved, Staff recommends the following condition(s) to partially mitigate ingress and egress concerns:

- *A site plan shall be submitted for approval through the development review process.*
- *A driveway along SW 103<sup>rd</sup> Street shall be constructed to commercial driveway standards.*

- B. *Provision for **off-street parking and loading areas**, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.*

**Analysis:** The applicant currently proposes no additional off-street parking for the storage facility, other than off-street parking associated with the existing residential driveway for owner-operated vehicles. However, Staff notes the storage facility is regularly accessed by commercial vehicles, which have been observed to park along SW 103<sup>rd</sup> Street. Indeed, Staff notes signs of wear along the shoulders of SW 103<sup>rd</sup> Street, located within the County-maintained Right-of-Way (ROW).

Staff therefore finds the application is **not consistent** with provisions for off-street parking. However, in the event that the Special Use Permit request is approved, Staff recommends the following condition to partially mitigate ingress and egress concerns:

- *Commercial vehicles shall be parked within the subject property at all times.*

C. *Provisions for **refuse and service area**, with particular reference to the items in (1) and (2) above.*

**Analysis:** The applicant indicates all waste shall be handled from a single container shared with the primary residence. Waste removal is provided by resident. Staff therefore concludes that the application is **consistent** with LDC provisions for refuse and service areas.

D. *Provision for **utilities**, with reference to locations, availability, and compatibility.*

**Analysis:** The subject property is within the Marion County Utilities service area. The primary residence is currently served by central potable water and septic system. The applicant indicates the proposed storage facility will not require potable water and/or wastewater service. Nevertheless, Marion County Utilities will recalculate capacity charges during the development review and permitting processes if the proposed building results in increased flows. Any new septic systems would be required to meet County standards at the time of development review.

The subject property is currently served by SECO Energy for electricity. Any electrical work will need to meet applicable County standards at the time of permitting. Staff therefore concludes that the application is **consistent** with LDC provisions for utilities.

E. *Provision for **screening and buffering** of dissimilar uses and of adjacent properties where necessary.*

**Analysis:** The applicant currently proposes a six-foot vinyl fence to screen the proposed storage facility. Photos of the proposed storage facility in relation to the vinyl fence are located in Attachment B.

The Marion County Land Development Code (LDC) includes several provisions to ensure compatibility between different land uses during the development review process. As a commercial use, Section 6.8.6 of the Marion County LDC would require a Type B buffer—composed of a 20-foot landscape strip with a buffer wall—on all property boundaries abutting a residential parcel. Along the property boundaries abutting residential parcels, the proposed storage facility meets side and rear setbacks of eight (8) and twenty-five (25) feet, respectively. Furthermore, Staff notes opaque fences in lieu of buffer walls have typically required waivers to LDC provisions during the development review process.

Staff therefore finds the application is **not consistent** with provisions for screening and buffering. However, in the event that the Special Use Permit request is approved, Staff recommends the following condition(s) to partially mitigate screening and buffering concerns:

- *During development review, a 20-foot Type B buffer and a modified 8-foot Type B buffer shall be provided along PID 3578-017-029 and PID 3578-017-031, respectively. A 6-foot opaque fence may be used in lieu of a buffer wall.*

F. *Provision for **signs**, if any, and **exterior lighting** with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.*

**Analysis:** No signage currently exists, nor is one proposed, within the subject property. Exterior lighting is not proposed, but if it is found that lighting needs to be added, a photometric plan will be provided in accordance with the Marion County LDC. Staff therefore concludes that the application is **consistent** with LDC provisions for signs and exterior lighting.

G. *Provision for **required yards and other green space**.*

**Analysis:** The subject property, as proposed by the applicant, will contain approximately 5,770 square feet of impervious surfaces, excluding sections of the driveway apron within the County ROW. As such, the site, as proposed by the applicant, would not typically be subject to a formal development review process prior to the approval of any permits for the proposed storage facility. Furthermore, Staff notes all trees previously located within the subject property were previously cleared during the construction of the single-family residence, as allowed by the Marion County LDC. Staff notes open space and tree preservation standards as required by the Marion County Land Development Code would have been enforced during the formal development review process.

Staff therefore concludes that the application **may or may not consistent** with LDC provisions for green space.

H. *Provision for general **compatibility** with adjacent properties and other property in the surrounding area.*

**Analysis:** "Compatibility" is defined in Chapter 163.3164(9) of the Florida Statutes, under the Community Planning Act, as "a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition." Figure 1 is a general location aerial displaying existing and surrounding site conditions. Figure 2 displays the subject and surrounding properties' existing uses as established by the Marion County Property Appraiser Office's Property Code (PC).

The surrounding properties are characterized predominantly by residential development. The subject property and all surrounding properties are part of the pre-existing Ocala Waterway Estates subdivision. No properties within this subdivision are commercially zoned. No Special Use Permits have been approved

for non-residential uses within this subdivision. The applicant proposes storage of equipment and material for a real estate and construction business in a residential subdivision.

Staff therefore finds the application is **not consistent** with provisions for compatibility. The applicant has suggested plans to move all activity to a more permanent site within a year; however, Staff does not believe that any conditions can make the proposed commercial use compatible with the surrounding residential area. However, in the event that the Special Use Permit request is approved, Staff recommends the following condition(s) to partially mitigate compatibility concerns:

- *The site shall be developed and operated consistent with the concept plan.*
- *The Special Use Permit shall run with the property owner, Ocala Freedom Investments, L.L.C. Should the subject property change in ownership, the existing metal storage structure and proposed driveway will be allowed for personal purposes only, consistent with County standards.*
- *The Special Use Permit shall expire on November 17, 2028.*

*I. Provision for meeting any **special requirements** required by the site analysis for the particular use involved.*

**Analysis:** Although there are no County standards for heavy machinery on residentially zoned properties, Staff notes that LDC Section 4.2.9 on the Single-Family Dwelling (R-1) Classification does explicitly list special uses involving commercial vehicles, further providing that such uses are required to meet LDC Section 4.3.21. LDC Section 4.3.21(1) specifically provides standards for commercial vehicles on residential properties less than five (5) acres in size. Unless otherwise approved by the Board of County Commissioners, Special Use Permits to allow the parking of commercial vehicles over 16,000 pounds must provide parking at least 100 feet from the nearest residential structure, while only one (1) commercial vehicle over 16,000 pounds may be allowed per lot. The applicant includes a request for one (1) commercial vehicle and four (4) heavy machinery vehicles on a 0.41-acre property. Lots in the surrounding Ocala Waterway Estate subdivision are generally less than 0.5 acre in size.

- *This Special Use Permit shall be limited to one (1) flatbed trailer (VIN 16V3F3322P6270465) as provided in the submitted Application.*
- *This Special Use Permit shall be limited to four (4) heavy machinery vehicles as provided in the submitted Application:*
  - *JOHN DEERE 333P, VIN 1T0333PALSFE0623*
  - *JOHN DEERE 325, VIN IT0325GKNJ432788*
  - *VERMEER CHOP SAW, VIN 1URD11AC0R1055732*
  - *HYDRAULIC EXCAVATOR 17P-TIER, VIN 1FF017PAJRK001217*

Staff notes commercial zoning—which may allow the proposed use—generally require greater setback distances than residential zoning. The applicant requests a commercial use on a 0.41-acre property. Furthermore, Staff notes that the most restrictive commercial zoning classifications that allow certain commercial storage uses (including B-1 and B-2) require all materials to be fully enclosed. Therefore, the following condition(s) are recommended to further mitigate compatibility concerns:

- *The proposed storage facility shall be permitted in lieu of any additional accessory structure. Any expansion of building structures or impervious surfaces beyond that permitted by the concept plan shall require a new/revised Special Use Permit.*
- *No outdoor storage of material and equipment shall be permitted within the subject property.*

*J. Consistency with the Comprehensive Plan.*

1. **FLUE Policy 2.1.5** on Permitted and Special Use provides, “The County shall identify permitted and special uses for each land use designation and zoning classification, as further defined in the Comprehensive Plan, Zoning, and LDC.”

**Analysis:** Staff notes that the Special Use Permit (SUP) process can be used to request uses not specifically listed by code, based on their similarities with listed uses. Although there are no County standards for heavy machinery on residentially zoned properties, Staff notes that LDC Section 4.2.9 on the Single-Family Dwelling (R-1) Classification does explicitly list special uses involving commercial vehicles, further providing that such uses are required to meet LDC Section 4.3.21, including a maximum of one (1) commercial vehicle over 16,000 pounds per lot. Otherwise, LDC Section 4.2.9 on the Single-Family Dwelling (R-1) Classification includes a limited range of commercial uses, either by-right or by Special Use Permit.

This application is thus **not consistent** with FLUE Policy 2.1.5, provided that all previously-listed conditions are met.

2. **Policy 2.1.8** on Medium Residential (MR) provides, “This land use designation is intended to recognize areas suited for primarily single-family residential units within the UGB, PSAs and Urban Area. However, the designation allows for multifamily residential units in certain existing developments along the outer edges of the UGB or Urban Area. The density range shall be from one (1) dwelling unit per one (1) gross acre to four (4) dwelling units per one (1) gross acre, as further defined in the LDC. This land use designation is an Urban Area land use.”

**Analysis:** The subject site is designated as Medium Residential (MR) and proposes a metal structure intended to store material and equipment related to the applicant's construction and property management business. Given the intended commercial purpose of the storage facility, this use does not align with the intent of Medium Residential use and is thus **not consistent** with Policy 2.1.8.

3. **FLUE 3.1.2** on Planning Principles within UGB provides, "The County shall implement long-term planning principles to guide the creation of land use policy and development regulations within the County, which shall be implemented through the policies contained in the County Comprehensive Plan and as further defined in the LDC. These principles shall include:
- (1) Preserve open space, natural beauty and critical environmental areas.
  - (2) Allow for a mix of land uses to create compact residential, commercial, and employment hubs.
  - (3) Strengthen and direct development towards existing communities and development.
  - (4) Encourage compact and mixed use building design.
  - (5) Foster distinctive, attractive communities with a strong sense of place.
  - (6) Create walkable and linked neighborhoods.
  - (7) Create a range of housing opportunities and choices.
  - (8) Provide a variety of transportation choices.
  - (9) Encourage community and stakeholder collaboration.
  - (10) Make development decisions predictable, fair and cost effective.
  - (11) Encourage interconnected development, multi-modal transportation opportunities.
  - (12) Links to the surrounding neighborhoods, and alternative transportation routes.
  - (13) Establish priority areas for public facility and service infrastructure."

**Analysis:** The subject property is within an existing Urban Area (as designated by the Marion County Comprehensive Plan) and is served by central potable water.

That said, the applicant proposes a storage facility for a private construction and property management business. The applicant indicates no customer activity will occur within the subject property. As such, the applicant proposes a commercial use that will not serve the surrounding residential area. This special use would therefore not meet Criteria 2 and 5 of FLUE Policy 3.1.2, and is thus **not consistent** with FLUE Policy 3.1.2.

Based on the above findings, staff concludes the SUP is **not consistent** with LDC Sections 2.8.2.D and 2.8.3.B. However, in the event that the Special Use Permit request is approved, Staff recommends the conditions in Section VII of this report to partially address compliance.

## VI. ALTERNATIVE ACTIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein so as to support the approval of the Ordinance with amended conditions, and make a recommendation to the Commission to adopt a proposed Ordinance to **APPROVE WITH CONDITIONS** the Special Use Permit.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance, make a recommendation to **TABLE** the application for up to two months in order to provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.

## VII. STAFF RECOMMENDATION

Staff recommends the Planning & Zoning (P&Z) Commission enter into the record the Staff Report, and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to **DENY** the Special Use Permit based on compatibility in the area, compliance with the Comprehensive Plan, and adverse impacts to the surrounding area.

That said, to partially address compliance with LDC Sections 2.8.2.D and 2.8.3.B, the following conditions would be recommended in the event that the Board chooses to approve the requested special use:

- 1. The site shall be developed and operated consistent with the concept plan.*
- 2. The Special Use Permit shall run with the property owner, Ocala Freedom Investments, L.L.C. Should the subject property change in ownership, the existing metal storage structure and proposed driveway will be allowed for personal purposes only, consistent with County standards.*
- 3. A site plan shall be submitted for approval through the development review process.*
- 4. Commercial vehicles shall be parked within the subject property at all times.*
- 5. A driveway along SW 103rd Street shall be constructed to commercial driveway standards.*
- 6. During development review, a 20-foot Type B buffer and a modified 8-foot Type B buffer shall be provided along PID 3578-017-029 and PID 3578-017-031, respectively. A 6-foot opaque fence may be used in lieu of a buffer wall.*
- 7. The proposed storage facility shall be permitted in lieu of any additional accessory structure. Any expansion of building structures or impervious surfaces beyond that permitted by the concept plan shall require a new/revised Special Use Permit.*

8. *No outdoor storage of material and equipment shall be permitted within the subject property.*
9. *This Special Use Permit shall be limited to one (1) flatbed trailer (VIN 16V3F3322P6270465) as provided in the submitted Application.*
10. *This Special Use Permit shall be limited to four (4) heavy machinery vehicles as provided in the submitted Application:*
  - a. *JOHN DEERE 333P, VIN 1T0333PALSFE0623*
  - b. *JOHN DEERE 325, VIN IT0325GKNJ432788*
  - c. *VERMEER CHOP SAW, VIN 1URD11AC0R1055732*
  - d. *HYDRAULIC EXCAVATOR 17P-TIER, VIN 1FF017PAJRK001217*
11. *The Special Use Permit shall expire on November 17, 2028.*

## **VIII. PLANNING & ZONING COMMISSION RECOMMENDATION**

**DENIAL.**

## **IX. BOARD OF COUNTY COMMISSIONERS ACTION**

To be determined. Scheduled for November 17, 2025 at 1:30 PM.

## **X. LIST OF ATTACHMENTS**

- A. Application
- B. DRC Comments Letter
- C. Site Photos
- D. Code Case No. 986026
- E. Code Case No. 934739, 934740, 934741 & 934742
- F. Permit No. 2024064201



**Marion County  
Board of County Commissioners**

Growth Services ♦ Planning & Zoning

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

[www.marioncountyfl.org](http://www.marioncountyfl.org)

**SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000.00**

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: We will use this facility to store materials and equipment (such as appliances, kitchen cabinets, and light-to medium-duty construction and maintenance tools) needed for the development and upkeep of properties we build or manage.

**Legal Description:** (Please attach a copy of the deed and location map.) **Parcel Zoning:** SFR-01.

**Parcel account number(s):** 3578-017-030.

**Property dimensions:** 201x90 total 17860 sqft **Total Acreage:** 0.41

**Directions:** 10320 SW 42<sup>ND</sup> AVE, OCALA, FL 34476.

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. **Please print all information, except for the Owner and Applicant/Agent signature.**

Ocala Freedom Investments LLC / Mairielys Ordonez  
**Property Owner name (please print)**

Luis Moises  
**Applicant or agent name (please print)**

1911 Morning Drive  
**Mailing Address**

1911 Morning Drive  
**Mailing Address**

Orlando, Florida, 32809.  
**City, State, Zip code**

Orlando, Florida, 32809.  
**City, State, Zip code**

(407)223-2109  
**Phone number (include area code)**

(786)379-8983  
**Phone number (include area code)**

alejandro@adanordonezp.com  
**E-mail address**

luismoises@adanordonezp.com  
**E-mail address**

  
\_\_\_\_\_  
**Signature**

  
\_\_\_\_\_  
**Signature**

**PLEASE NOTE:** A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or denied. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

<b>STAFF/OFFICE USE ONLY</b>				
<b>Project No.:</b>	<b>Code Case No.:</b>	<b>Application No.:</b>		
<b>Rcvd by:</b>	<b>Rcvd Date:</b> / /	<b>FLUM:</b>	<b>Zoning Map No.:</b>	<b>Rev: 07/1/2019</b>

**SPECIAL USE PERMIT – REGULAR APPLICATION**  
**APPLICANT'S SUBMISSION CHECKLIST & GENERAL INFORMATION**

**APPLICATION FINDINGS OF FACTS REQUIREMENTS**

The application must include a written description addressing the following findings, either on the Concept Plan or in a separate written description. The P&Z may make further written findings that the specific requirements, if any, governing the individual SUP, excluding towers, have been made concerning the following matters, where applicable:

- 1) Provision for ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe

**Ingress and Egress**

The primary ingress and egress to the property will be located on SW 103rd Road. A regular driveway will provide direct access to the newly constructed shed storage. The property can also be accessed through an existing rear gate located at 10320 SW 42nd Avenue. Given the low-traffic nature of this use, the proposed access points are designed to ensure safety for both automotive and pedestrian traffic, minimizing any potential impact on traffic flow. Access for emergency vehicles will be clear and unobstructed to both the residence and the storage shed.

- 2) Provision for off-street parking and loading areas, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.

There will be no designated off-street parking for this storage facility. All vehicles associated with the property will be parked within the existing residential driveway. The use of the shed for material storage will not require vehicles to park on the street. Therefore, no economic, noise, glare, or odor effects on adjoining properties are anticipated. The operation of this facility will be minimal and will not generate any external disturbances.

- 3) Provisions for refuse and service area, with particular reference to the items in (1) and (2) above.

**Refuse and Service Area**

Waste removal will be handled from the main house. Any waste generated from the storage and organization of materials will be collected and disposed of in a single, properly contained trash receptacle on the main residential property. This process will have no impact on public streets or neighboring properties, ensuring a clean and orderly appearance at all times.

- 4) Provision for utilities, with reference to locations, availability and compatibility.

**Utilities**

This storage structure will not require a connection to water or sewer utilities. It will operate without these services. If any electrical work is needed in the future, it will be completed in accordance with all applicable county codes and permits.

- 5) Provision for screening and buffering of dissimilar uses and of adjacent properties where necessary.

**Screening and Buffering**

The entire property, including the shed, is enclosed by an attractive white vinyl fence. This provides an effective and aesthetically pleasing screen from adjacent properties, ensuring the storage shed is not visually intrusive and maintains the overall harmony of the neighborhood. The fence serves as a substantial buffer for the shed and its contents.

- 6) Provision for signs, if any, and exterior lighting with consideration given to glare, traffic safety, economic effects and compatibility and harmony with properties in the surrounding area.

#### **Signs and Exterior Lighting**

No signage or exterior lighting is proposed for the storage shed. This ensures there will be no glare, light pollution, or other visual impacts on surrounding properties, preserving the residential character of the area.

- 7) Provision for required yards and other green space.

#### **Yards and Other Green Space**

The total lot size is approximately 17,860 sq. ft., of which 11,761 sq. ft. (or 66%) will remain undeveloped. The project, including the house and the storage shed, fully complies with all setback requirements as per county regulations. This large, undeveloped area will maintain a significant amount of green space on the property.

- 8) Provision for general compatibility with adjacent properties and other property in the surrounding area.

#### **General Compatibility**

This special use permit will allow for the improved organization of our materials and equipment within a new, dedicated storage structure. The shed is aesthetically shielded from view by a pre-existing white vinyl fence, ensuring that the property remains visually compatible with the surrounding neighborhood. All materials will be stored inside the shed, maintaining a neat and orderly appearance. The shed has already been constructed, and this permit will finalize its proper use.

- 9) Provision for meeting any special requirements required by the site analysis for the particular use involved.

#### **Special Requirements**

We are fully committed to meeting any and all special conditions necessary to obtain this Special Use Permit. We will work closely with Marion County officials to ensure our project meets all standards and regulations.

#### **ADVISORIES:**

- 1) If approved, the Special Use Permit will NOT become effective until 14 days AFTER the final decision is made by the Marion County Board of County Commissioners.
- 2) A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present and additional information is required, the request may be postponed or denied.



Marion County Florida - Interactive Map



8/18/2025, 4:58:52 PM

- Marion County
- Parcels
- Green: Band\_2
- Blue: Band\_3
- Red: Band\_1
- Streets
- Aerial 2024

Marion County Utilities Department, Marion County, Florida, Marion County IT GIS Team, Marion County Property Appraiser, Marion County BOCC

Marion County Board of County Commissioners  
This map is provided "as is" without any warranty or representation of accuracy, timeliness, completeness, merchantability, or fitness. The user is responsible for verifying any information and assumes all risk for reliance on any information herein.

VIN Numbers

Model	VIN Number
JOHN DEERE 333P	1T0333PALSFE06213
JOHN DEERE 325	1T0325GKTNJ432788
VERMEER CHOP SAW	1URD11AC0R1055732
HYDRAULIC EXCAVATOR 17P-TIER	1FF017PAJRK001217

Attachments









---

RE: About Case No. 251103SU

---

From Luis Moises <luisMoises@adanordonezp.com>

Date Thu 10/2/2025 6:02 PM

To Rivera, Jared <Jared.Rivera@marionfl.org>

📎 3 attachments (3 MB)

signed application use permit.pdf; WhatsApp Image 2025-10-02 at 5.52.02 PM (1).jpeg; WhatsApp Image 2025-10-02 at 5.52.02 PM.jpeg;

You don't often get email from luismoises@adanordonezp.com. [Learn why this is important](#)

**CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER**

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

see attached signed application and flat bed trailer, as you can see at the picture, we have it parked in other location

this is the vin number :

16V3F3322P6270465

2023 / Flat bed Trailer

Thank you

Best regards, Luis Moises

contact number: (786)-379-8983

email : luismoises@adanordonezp.com

from Adan Investments

Project Manager



---

De: Rivera, Jared <Jared.Rivera@marionfl.org>

Enviado: miércoles, 1 de octubre de 2025 11:58

# ATTACHMENT A

**Para:** Luis Moises <luisMoises@adanordonezp.com>

**Asunto:** About Case No. 251103SU

Good afternoon,

Per our discussion by phone, please submit an updated application form with Mairielys Ordonez/Ocala Freedom Investments LLC as the property owner and Luis Moises as the applicant. Please ensure both signatures are included.

In addition, please include some photos of the flatbed trailer and the VIN number.

If you have any other questions, please reach out to me. My contact information is below.

Best,



**Jared Rivera**  
*Planner*  
Growth Services

---

Marion County Board of County Commissioners  
2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Main: 352-438-2600 | Direct: 352-438-2687

*[Empowering Marion for Success!](#)*

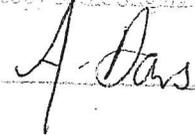
Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

**Prepared by and Return To:**  
Angelique Davis  
Fidelity National Title of Florida, Inc.  
1460 E. Red Bug Rd., Suite 1050  
Oviedo, FL 32765

**Order No.:** 20-24-0165

THIS IS A TRANSFER OF PROPERTY BETWEEN A GRANTOR AND ITS CONDUIT ENTITY AS GRANTEE. THE TRANSFER IS ABSENT ANY EXCHANGE OF VALUE, IS WITHOUT CONSIDERATION OR A PURCHASER AND THUS IS NOT SUBJECT TO THE DOCUMENTARY STAMP TAX IN SECTION 201.02(A), FLORIDA STATUTES.

Notary Public in and for the State of Florida  
to certify a copy of the original document.



APN/Parcel ID(s): R3578-017-030

**WARRANTY DEED**

THIS WARRANTY DEED made and executed April 30, 2024, by Acristo Investments LLC, a Florida limited liability company, and having its principal place of business at 1911 Morning Dr, Orlando, FL 32809, hereinafter called the grantor, to Ocala Freedom Investments, LLC, a Florida Limited Liability Company whose post office address is 1911 Morning Dr, Orlando, FL 32809, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to the instrument and the heirs, legal representative and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situated in the County of Marion, State of Florida, to wit:

Lot 30, Block 17, Ocala Waterway Estates, according to the map or plat thereof, as recorded in Plat Book K, Page(s) 52, 52A through 52K, inclusive, of the Public Records of Marion County, Florida.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023.

WARRANTY DEED  
(continued)

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Signed, Sealed and Delivered in the presence of:

[Signature]  
Witness Signature

Diego Molinares  
Print Name

Address: PO. Box 771438  
Orlando, FL 32872

[Signature]  
Witness Signature

Angeliqne Davis  
Print Name

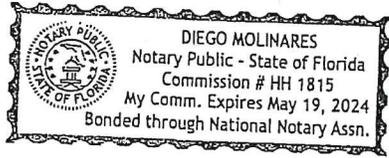
Address: 1460 E Red Bug Rd #1050  
Orlando FL 32765

State of FL  
County of Orange

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 30 day of April, 2024, by Jonathan Trillos, to me known to be the person(s) described in or who has/have produced FL DL as identification and who executed the foregoing instrument and he/she/they acknowledged that he/she/they executed the same.

[Signature]  
NOTARY PUBLIC  
My Commission Expires: 05/19/24

[Signature]  
Acristo Investments LLC, a Florida limited liability company  
Jonathan Trillos Authorized Signatory  
Address: 1911 Morning Dr  
Orlando, FL 32809



8/18/25, 5:25 PM

Detail by Entity Name

DIVISION OF CORPORATIONS



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
OCALA FREEDOM INVESTMENTS LLC

### Filing Information

**Document Number** L22000498212  
**FEI/EIN Number** 92-1377368  
**Date Filed** 11/22/2022  
**Effective Date** 11/23/2022  
**State** FL  
**Status** ACTIVE

### Principal Address

1911 MORNING DR  
ORLANDO, FL 32809

### Mailing Address

13546 tetherline trail  
ORLANDO, FL 32837

Changed: 04/10/2023

### Registered Agent Name & Address

ORDONEZ, MAIRIELYS

1911 MORNING DR  
ORLANDO, FL 32809

### Authorized Person(s) Detail

#### **Name & Address**

Title AMBR

Freedom USA Holdings, LLC  
1718 CAPITOL AVE  
CHEYENNE,, WY 82001

### Annual Reports

Report Year	Filed Date
2023	04/10/2023
2024	05/10/2024
2025	03/31/2025

8/18/25, 5:25 PM

Detail by Entity Name

**Document Images**

[03/31/2025 -- ANNUAL REPORT](#)

View image in PDF format

[05/10/2024 -- ANNUAL REPORT](#)

View image in PDF format

[04/10/2023 -- ANNUAL REPORT](#)

View image in PDF format

[11/22/2022 -- Florida Limited Liability](#)

View image in PDF format

Florida Department of State, Division of Corporations

Jimmy H. Cowan, Jr., CFA  
**Marion County Property Appraiser**



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

**2025 Property Record Card**

**3578-017-030**

[GOOGLE Street View](#)

Prime Key: 894940

[MAP IT+](#)

Current as of 8/18/2025

Property Information

OCALA FREEDOM INVESTMENTS  
 LLC  
 1911 MORNING DR  
 ORLANDO FL 32809-7936

Taxes / Assessments:

Map ID: 150

Millage: 9002 - UNINCORPORATED

M.S.T.U.

PC: 01

Acres: .41

Situs: 10320 SW 42ND AVE OCALA

2024 Certified Value

Land Just Value	\$42,500		
Buildings	\$0		
Miscellaneous	\$0		
Total Just Value	\$42,500		
Total Assessed Value	\$34,727	Impact	
Exemptions	\$0	<u>Ex Codes:</u>	(\$7,773)
Total Taxable	\$34,727		
School Taxable	\$42,500		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$42,500	\$0	\$0	\$42,500	\$34,727	\$0	\$34,727
2023	\$42,500	\$0	\$0	\$42,500	\$31,570	\$0	\$31,570
2022	\$28,700	\$0	\$0	\$28,700	\$28,700	\$0	\$28,700

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8315/1269</a>	04/2024	07 WARRANTY	9 UNVERIFIED	U	V	\$100
<a href="#">7684/0796</a>	12/2021	05 QUIT CLAIM	0	U	V	\$100
<a href="#">7556/1047</a>	08/2021	07 WARRANTY	4 V-APPRAISERS OPINION	Q	V	\$40,000
<a href="#">4866/0318</a>	08/2007	08 CORRECTIVE	7 PORTIONUND INT	U	V	\$100
<a href="#">4069/1071</a>	06/2005	70 OTHER	0	U	V	\$100
<a href="#">4069/1068</a>	06/2005	08 CORRECTIVE	7 PORTIONUND INT	U	V	\$100
<a href="#">3946/0651</a>	02/2005	02 DEED NC	7 PORTIONUND INT	U	V	\$100
<a href="#">3060/1608</a>	11/2001	02 DEED NC	7 PORTIONUND INT	U	V	\$100
<a href="#">2974/1273</a>	08/2000	05 QUIT CLAIM	2 V-SALES VERIFICATION	U	V	\$900
<a href="#">1266/1616</a>	11/1984	02 DEED NC	7 PORTIONUND INT	U	V	\$100
<a href="#">1051/1499</a>	01/1981	07 WARRANTY	0	U	V	\$3,500

Property Description

SEC 27 TWP 16 RGE 21  
 PLAT BOOK K PAGE 052  
 OCALA WATERWAY ESTATES  
 BLK 17 LOT 30

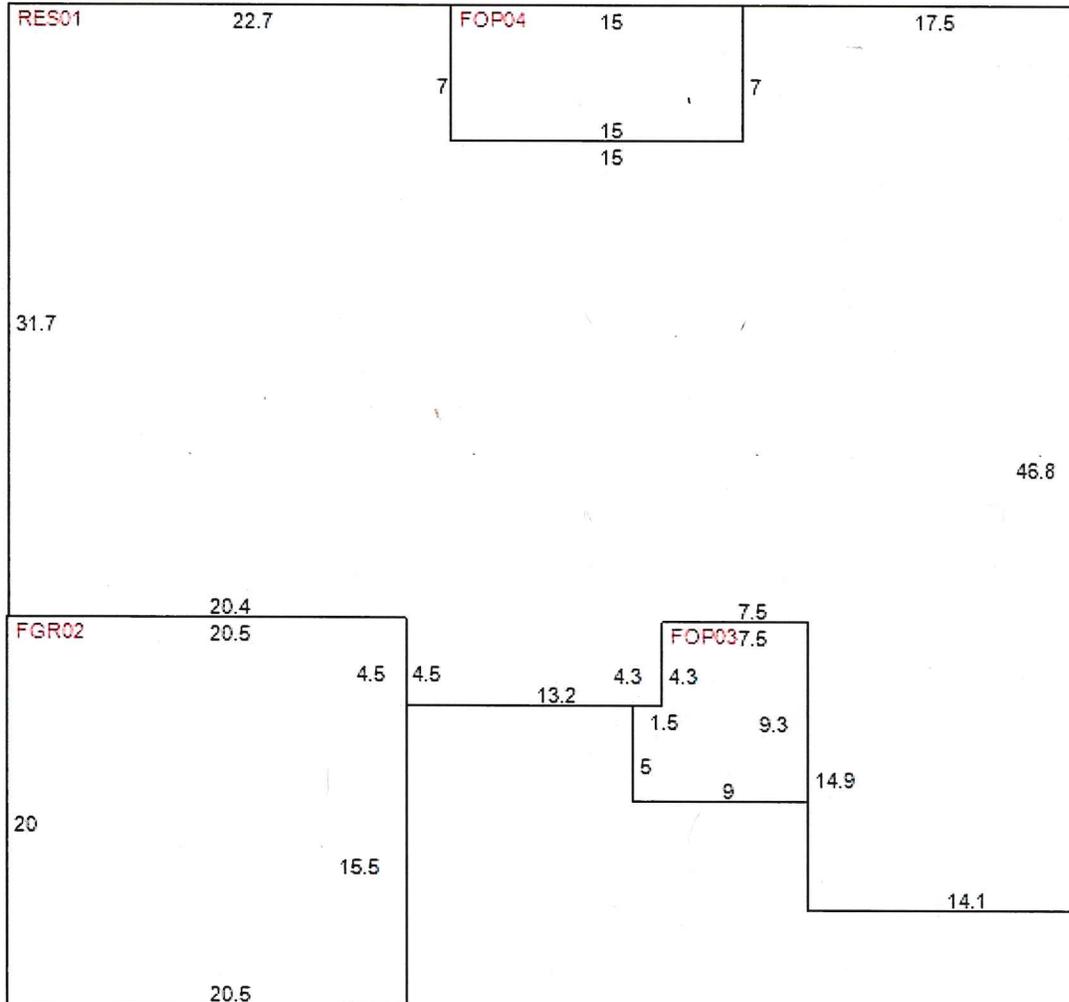
Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		90.0	200.0	R1	1.00	LT						
Neighborhood 8048												
Mkt: 9 70												

Traverse

**Building 1 of 1**

RES01=R13,2U4,3R7,5D14,9R14,1U46,8L17,5D7L15U7L22,7D31,7R20,4D4,5.  
 FGR02=U4,5L20,5D20R20,5U15,5.R13,2  
 FOP03=U4,3R7,5D9,3L9U5R1,5.U36,2L10,9  
 FOP04=D7R15U7L15.



Building Characteristics

8/18/25, 5:22 PM

MCPA Property Record Card

**Improvement** 1F - SFR- 01 FAMILY RESID  
**Effective Age** 1 - 00-04 YRS  
**Condition** 4  
**Quality Grade** 600 - AVERAGE  
**Inspected on** 5/9/2024 by 181

**Year Built** 2024  
**Physical Deterioration** 0%  
**Obsolescence: Functional** 0%  
**Obsolescence: Locational** 0%  
**Architecture** 0 - STANDARD SFR  
**Base Perimeter** 227

Type	ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES	0132	- CONC BLK-STUCO	1.00	2024	N	0 %	0 %	1,919	1,919
FGR	0232	- CONC BLK-STUCO	1.00	2024	N	0 %	0 %	410	410
FOP	0301	- NO EXTERIOR	1.00	2024	N	0 %	0 %	77	77
FOP	0401	- NO EXTERIOR	1.00	2024	N	0 %	0 %	105	105

**Section: 1**

<b>Roof Style:</b> 12 HIP	<b>Floor Finish:</b> 23 VINYL PLANK	<b>Bedrooms:</b> 3	<b>Blt-In Kitchen:</b> Y
<b>Roof Cover:</b> 08 FBRGLASS SHNGL	<b>Wall Finish:</b> 16 DRYWALL-PAINT	<b>4 Fixture Baths:</b> 1	<b>Dishwasher:</b> Y
<b>Heat Meth 1:</b> 20 HEAT PUMP	<b>Heat Fuel 1:</b> 10 ELECTRIC	<b>3 Fixture Baths:</b> 1	<b>Garbage Disposal:</b> N
<b>Heat Meth 2:</b> 00	<b>Heat Fuel 2:</b> 00	<b>2 Fixture Baths:</b> 0	<b>Garbage Compactor:</b> N
<b>Foundation:</b> 6 MONOLITC SLAB	<b>Fireplaces:</b> 0	<b>Extra Fixtures:</b> 2	<b>Intercom:</b> N
<b>A/C:</b> Y			<b>Vacuum:</b> N

Miscellaneous Improvements

Type	Nbr	Units	Type	Life	Year In	Grade	Length	Width
159 PAV CONCRETE	255.00		SF	20	2024	3	15.0	17.0
156 PAVING BRICK	442.00		SF	20	2024	3	26.0	17.0
156 PAVING BRICK	99.00		SF	20	2024	3	33.0	3.0
190 SEPTIC 1-5 BTH	1.00		UT	99	2024	2	0.0	0.0

Appraiser Notes

MODEL=1903-L

Planning and Building

**\*\* Permit Search \*\***

Permit Number	Date Issued	Date Completed	Description
2022060108	-	-	SINGLE FAMILY RESIDENCE MODEL 1903
2024064201	-	-	PRE-MANUFACTURE METAL BUILDING. NO SUB TRADES. (40X50 PER S

ORIGINAL APPLICATION



Marion County Board of County Commissioners

Growth Services ♦ Planning & Zoning

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2600 Fax: 352-438-2601

www.marioncountyfl.org

APPLICATION COMPLETE DATE COMPLETED 8/21/25 INITIALS EM TENTATIVE MEETING DATES P&Z PH 10/27/25 5/27/25 BCC/P&Z PH 11/17 or 11/18/25

SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000.00

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: We will use this facility to store materials and equipment (such as appliances, kitchen cabinets, and light-to medium-duty construction and maintenance tools) needed for the development and upkeep of properties we build or manage.

Legal Description: (Please attach a copy of the deed and location map.) Parcel Zoning: SFR-01.

Parcel account number(s): 3578-017-030.

Property dimensions: 201x90 total 17860 sqft Total Acreage: 0.41

Directions: 10320 SW 42ND AVE, OCALA, FL 34476.

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. Please print all information, except for the Owner and Applicant/Agent signature.

Ocala Freedom Investments LLC Property Owner name (please print)

Mairielys Ordonez Applicant or agent name (please print)

1911 Morning Drive Mailing Address

1911 Morning Drive Mailing Address

Orlando, Florida, 32809. City, State, Zip code

Orlando, Florida, 32809. City, State, Zip code

(407)223-2109 Phone number (include area code)

(786)379-8983 Phone number (include area code)

alejandro@adanordonezp.com E-mail address

luismoises@adanordonezp.com E-mail address

Signature

Signature

PLEASE NOTE: A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or denied. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

Table with 4 columns: Project No., Code Case No., Application No., and Rev. Date. Includes handwritten notes like 'R1 ZONING', 'Catherine MARTINEZ', and '8/20 - waiting ON VIN #'s

# Development Review Comments Letter

10/6/2025 9:03:07 AM

## OCALA FREEDOM INVESTMENTS LLC ZO SUP #33230

ID	DESCRIPTION	REMARK	STATUS	DEPT
1	Special Use Permit	N/A	INFO	911
2	Special Use Permit	N/A	INFO	DOH
3	Special Use Permit	Stormwater is not opposed to the special use permit. The applicant is requesting a SUP for the purpose of storing materials & equipment. Parcel # 3578-017-030 is currently zoned R-1 and is 0.41 acres in size. There are no FEMA Flood Zones or County Flood Prone Areas on this site. Per the MCPA, this site currently has 3,307 SF of impervious coverage. This site will be subject to a Major Site Plan or waiver when its existing and proposed impervious coverage exceeds 35% impervious coverage (6,250 sf).	INFO	ENGDRN
4	Special Use Permit	It is unclear how much traffic will be generated with this commercial use. However, it appears it will be more than 10 trips per day which is typical for a single-family home. Additionally, the applicant shows multiple pieces of equipment that will be stored on the site, but they don't list any equipment required to move the listed equipment like trucks and long trailers. Standard residential driveways are not well designed for frequent use by trucks and long trailers towing equipment. If this application is approved the following conditions are recommended: 1. A site plan shall be submitted for approval through the Development Review process. 2. A driveway meeting commercial driveway standards shall be constructed for the storage area and shed unless otherwise approved by the Office of the County Engineer.	INFO	ENGTRF
5	Special Use Permit	Approved	INFO	FRMSH
6	Special Use Permit	Screening of the storage area needed	INFO	LSCAPE
7	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	LUCURR
8	Special Use Permit	APPROVED — Parcel 3578-017-030 is within the Marion County Utilities (MCU) service area and is currently served by MCU water. During permitting, MCU may recalculate capacity charges if the additional building includes plumbing fixtures or	INFO	UTIL

ATTACHMENT B

		otherwise increases flows.  Parcel is outside the Urban Growth Boundary and the Primary Springs Protection Zone.		
9	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	ZONE

## SITE PHOTOS

Planning staff, in conjunction with Code Enforcement Division staff, conducted a site visit on October 6, 2025. A later site visit was conducted on October 17. Consistent with LDC Section 2.7.3.B, two (2) signs were posted and the below photos were taken.

**Figure 1.**  
**Sign posted along SW 103<sup>rd</sup> Street**



**Figure 2.**  
**Sign posted at SW 42<sup>nd</sup> Avenue**



**Figure 3.**  
**Facing west along SW 103<sup>rd</sup> Street from subject property**



**Figure 4.**  
**Facing east along SW 103<sup>rd</sup> Street from subject property**



**Figure 5.**  
**View of storage facility from SW 103<sup>rd</sup> Street**



**Figure 6.**  
**View of storage facility from subject property**



**Figure 6.**  
**View of storage container on subject property**



**Figure 7.**  
**View of construction debris on subject property**



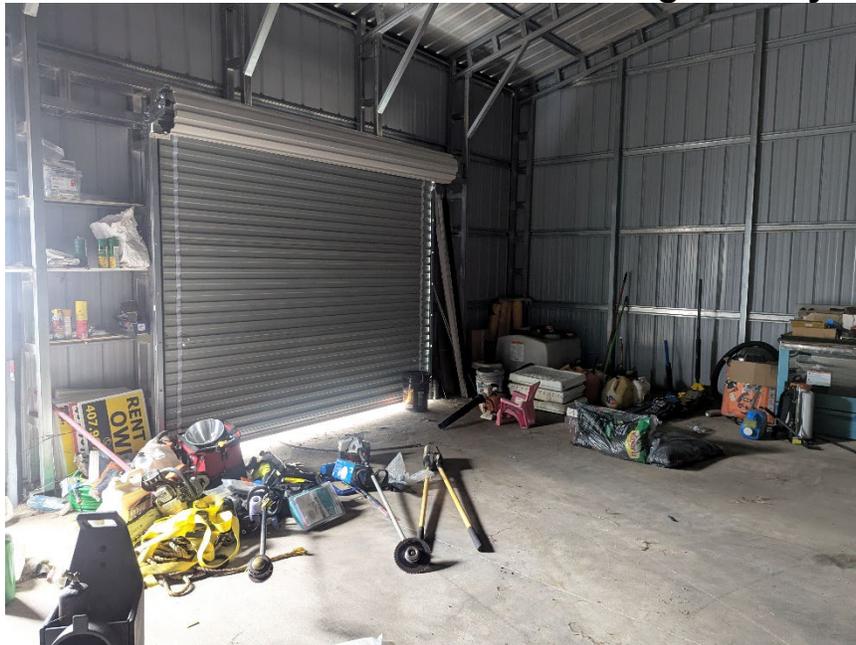
**Figure 8.**  
**View of equipment within storage facility**



**Figure 9.**  
**View of furnishings within storage facility**



**Figure 10.**  
**View of overhead door within storage facility**



**Figure 11.**  
**View of flatbed trailer and work vehicle on SW 42<sup>nd</sup> Avenue**



**Figure 12.**  
**Facing north of subject property along SW 42<sup>nd</sup> Avenue**



**Figure 13.  
Facing south of subject property along SW 42<sup>nd</sup> Avenue**



**Figure 14.  
View of PID 4202-010-001, 010-004, 4202-010-059, and 4202-010-062  
(Google Maps, 2023)**



**Figure 15.**  
**View of material and equipment storage (Code Case No. 934739, 934740, 934741, and 934742)**



**Figure 16.**  
**View of material and equipment storage (Code Case No. 934739, 934740, 934741, and 934742)**



**Figure 17.**  
**View of material and equipment storage (Code Case No. 934739,**  
**934740, 934741, and 934742)**





## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 986026-CM

June 16, 2025

MAIRIELYS ORDONEZ, REGISTERED AGENT  
OCALA FREEDOM INVESTMENTS LLC  
1911 MORNING DR  
ORLANDO, FL 32809-7936

PARCEL #: 3578-017-030

### NOTICE OF VIOLATION

On June 16, 2025, at 10:55 a.m., an inspection was made of your property located at 10320 SW 42ND AVE, OCALA WATERWAY ESTATES, OCALA, in Marion County. This inspection revealed a violation of the Marion County Land Development Code, Article 4. Specifically noted: storing and parking of commercial/business equipment, vehicles, inventory supplies and debris; large shipping container, private utilization of the right-of-way.

Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.

Ø Marion County Land Development Code, Article 2, Division 22, Section 2.22.1, Right-of-way utilization. A *Right-of-Way Utilization Permit* is required for all construction, herbicide/pesticide spraying, tree clearing, and all temporary private use of public right-of-way. Cease the unpermitted activity immediately and contact me to discuss the matter in detail. You may contact the Zoning Division to apply for a Special Use Permit at: 352-438-2675.

Ø Marion County Code, Chapter 2, Article V, Sections 2-205(c) and 2-207(a); Repeat Violation - Reference Case #934742, 934741, 934740, 934739 presented June 12, 2024 and July 10, 2024. NOTICE: This case will be presented to the Code Enforcement Board even if the violation has been corrected prior to the Code Enforcement Board Hearing.

This property will be re-inspected after June 30, 2025, and hopefully, this matter will be cleared at that time. Please contact me to discuss the matter and/or to request a re-inspection. Failure to clear a violation will result in the issuance of a citation or a notice to appear before the Marion County Code Enforcement Board, which could result in a lien against any real or personal property owned by you. In the event a fine is levied against you by the Code Enforcement Board, a collection agency fee and administrative costs will also be added to the total payoff amount and the lien will be reported to credit bureaus.

Respectfully,

C.Martinez

Code Enforcement Officer  
352-671-8914  
Catherine.Martinez@MarionFL.org





## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934739-DG

April 19, 2024

OCALA FREEDOM INVESTMENTS LLC  
% MAIRIELYS ORDONEZ R/A  
1911 MORNING DR  
ORLANDO, FL 32809

PARCEL #: 4202-010-062

### NOTICE OF VIOLATION

On October 24, 2023, at 11:20 a.m., an inspection was made of your property located at 3611 SE 138TH PL SUMMERFIELD, in Marion County. This inspection revealed a violation of the Marion County Land Development Code, Article 4. Specifically noted: Utilizing R-1 zoning for the storage and operation of construction materials/vehicles. Removing all construction business related items including the storage container would clear the violation. Utilizing the Right of Way along SE 36th Ave for entering and exiting the properties without a proper driveway.

Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper R-1 zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.

Ø Marion County Land Development Code, Article 2, Division 22, Section 2.22.1, Right-of-way utilization. A *Right-of-Way Utilization Permit* is required for all construction, and all temporary private use of public right-of-way. Cease the unpermitted activity immediately and contact me to discuss the matter in detail.

Ø Marion County Code, Chapter 16, Article III, Section 16-92: (e) Accumulation of junk; unserviceable vehicles. Please remove all junk from the property. "Junk" means any litter, debris, waste materials of any kind, dead or decaying vegetation or vegetative refuse, dead animals, used or unserviceable automobile and machinery parts, used and nonfunctional furniture and appliances, and used and nonfunctional tools, equipment, and implements, but shall not include compost piles for personal, noncommercial use. Additionally (e) It shall be unlawful for the owner, contractor, or other person in charge of a construction, demolition, or development site to: (1) cause or permit the accumulation of junk, litter or solid waste on the site, except in enclosed litter receptacles or appropriate collection containers; (b) fail to furnish on-site litter receptacles and collection containers; or (c) leave construction and demolition debris on the site for more than seven (7) days after the completion of the construction, demolition, or development project or the expiration of the permit therefor.

This property will be re-inspected after May 10, 2023, and hopefully, this matter will be cleared at that time. Please contact me to discuss the matter and/or to request a re-inspection. Failure to clear a violation will result in the issuance of a citation or a notice to appear before the Marion County Code Enforcement Board, which could result in a lien against any real or personal property owned by you. In the event a fine is levied against you by the Code Enforcement Board, a collection agency fee and administrative costs will also be added to the total payoff amount and the lien will be reported to credit bureaus.

SEE REVERSE SIDE

Respectfully,

Danny Garrels

Code Enforcement Officer

352-671-8915

danny.garrels@MarionFL.org



**Marion County  
Board of County Commissioners**

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934739-DG

August 06, 2024

OCALA FREEDOM INVESTMENTS LLC  
% MAIRIELYS ORDONEZ R/A  
1911 MORNING DR  
ORLANDO, FL 32809

MTG: TVC FUNDING III LLC  
7550 WISCONSIN AVE, 10TH FL  
BETHESDA, MD 20814

Parcel # 4202-010-062 / 3611 SE 138TH PL, SUMMERFIELD

This is to formally notify you that Marion County no longer considers you to be in violation of:

Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper R-1 zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.

Ø Marion County Land Development Code, Article 2, Division 22, Section 2.22.1, Right-of-way utilization. A *Right-of-Way Utilization Permit* is required for all construction, and all temporary private use of public right-of-way. Cease the unpermitted activity immediately and contact me to discuss the matter in detail.

Ø Marion County Code, Chapter 16, Article III, Section 16-92; (e) Accumulation of junk; unserviceable vehicles.

We thank you for your cooperation in resolving this matter.

Respectfully,

Danny Garrels

Code Enforcement Officer  
352-671-8915  
danny.garrels@MarionFL.org



## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934740-DG

November 02, 2023

OCALA FREEDOM INVESTMENTS LLC  
R/A MAIRIELYS ORDONEZ  
1911 MORNING DR  
ORLANDO, FL 32809

PARCEL #: 4202-010-001

### NOTICE OF VIOLATION

On October 24, 2023, at 11:20 a.m., an inspection was made of your property located at 3612 SE 138TH ST SUMMERFIELD, in Marion County. This inspection revealed a violation of the Marion County Land Development Code, Article 4. Specifically noted: Utilizing R-1 zoning for the storage and operation of construction materials/vehicles. Removing all construction business related items including the storage container would clear the violation. Utilizing the Right of Way along SE 36th Ave for entering and exiting the properties without a proper driveway.

Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper R-1 zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.

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This property will be re-inspected after December 01, 2023, and hopefully, this matter will be cleared at that time. Please contact me to discuss the matter and/or to request a re-inspection. Failure to clear a violation will result in the issuance of a citation or a notice to appear before the Marion County Code Enforcement Board, which could result in a lien against any real or personal property owned by you. In the event a fine is levied against you by the Code Enforcement Board, a collection agency fee and administrative costs will also be added to the total payoff amount and the lien will be reported to credit bureaus.

Respectfully,

Danny Garrels

Code Enforcement Officer

352-671-8915

danny.garrels@MarionFL.org



**Marion County  
Board of County Commissioners**

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934740-DG

August 06, 2024

OCALA FREEDOM INVESTMENTS LLC  
% MAIRIELYS ORDONEZ R/A  
1911 MORNING DR  
ORLANDO, FL 32809

Parcel # 4202-010-001 / 3612 SE 138TH ST, SUMMERFIELD

This is to formally notify you that Marion County no longer considers you to be in violation of:

Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper R-1 zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.

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Ø Marion County Code, Chapter 16, Article III, Section 16-92; (e) Accumulation of junk; unserviceable vehicles.

We thank you for your cooperation in resolving this matter.

Respectfully,

Danny Garrels

Code Enforcement Officer  
352-671-8915  
danny.garrels@MarionFL.org



## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934741-DG

April 19, 2024

OCALA FREEDOM INVESTMENTS LLC  
% MAIRIELYS ORDONEZ R/A  
1911 MORNING DR  
ORLANDO, FL 32809

PARCEL #: 4202-010-059

### NOTICE OF VIOLATION

On October 24, 2023, at 11:20 a.m., an inspection was made of your property located at 3633 SE 138TH PL SUMMERFIELD, in Marion County. This inspection revealed a violation of the Marion County Land Development Code, Article 4. Specifically noted: Utilizing R-1 zoning for the storage and operation of construction materials/vehicles. Removing all construction business related items including the storage container would clear the violation. Utilizing the Right of Way along SE 36th Ave for entering and exiting the properties without a proper driveway.

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SEE REVERSE SIDE

This property will be re-inspected after May 10, 2024, and hopefully, this matter will be cleared at that time. Please contact me to discuss the matter and/or to request a re-inspection. Failure to clear a violation will result in the issuance of a citation or a notice to appear before the Marion County Code Enforcement Board, which could result in a lien against any real or personal property owned by you. In the event a fine is levied against you by the Code Enforcement Board, a collection agency fee and administrative costs will also be added to the total payoff amount and the lien will be reported to credit bureaus.

Respectfully,

Danny Garrels

Code Enforcement Officer

352-671-8915

danny.garrels@MarionFL.org



**Marion County  
Board of County Commissioners**

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934741-DG

August 06, 2024

OCALA FREEDOM INVESTMENTS LLC  
% MAIRIELYS ORDONEZ R/A  
1911 MORNING DR  
ORLANDO, FL 32809

MTG: TVC FUNDING III LLC  
7550 WISCONSIN AVE, 10TH FL  
BETHESDA, MD 20814

Parcel # 4202-010-059 / 3633 SE 138TH PL, SUMMERFIELD

This is to formally notify you that Marion County no longer considers you to be in violation of:

Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper R-1 zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.

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Respectfully,

Danny Garrels

Code Enforcement Officer  
352-671-8915  
danny.garrels@MarionFL.org



## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934742-DG

November 02, 2023

OCALA FREEDOM INVESTMENTS LLC  
R/A MAIRIELYS ORDONEZ  
1911 MORNING DR  
ORLANDO, FL

PARCEL #: 4202-010-004

### NOTICE OF VIOLATION

On October 24, 2023, at 11:20 a.m., an inspection was made of your property located at 3636 SE 138TH ST SUMMERFIELD, in Marion County. This inspection revealed a violation of the Marion County Land Development Code, Article 4. Specifically noted: Utilizing R-1 zoning for the storage and operation of construction materials/vehicles. Removing all construction business related items including the storage container would clear the violation. Utilizing the Right of Way along SE 36th Ave for entering and exiting the properties without a proper driveway.

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Respectfully,

*Empowering Marion for Success*

[www.marionfl.org](http://www.marionfl.org)

Danny Garrels

Code Enforcement Officer

352-671-8915

danny.garrels@MarionFL.org



**Marion County  
Board of County Commissioners**

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 934742-DG

August 06, 2024

OCALA FREEDOM INVESTMENTS LLC  
% MAIRIELYS ORDONEZ R/A  
1911 MORNING DR  
ORLANDO, FL 32809

Parcel # 4202-010-004 / 3636 SE 138TH ST, SUMMERFIELD

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- Ø Marion County Land Development Code, Article 4, Division 2, Section 4.2.6, Residential Zoning Classifications, by operating a business in an improper R-1 zone. Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.
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We thank you for your cooperation in resolving this matter.

Respectfully,

Danny Garrels

Code Enforcement Officer  
352-671-8915  
danny.garrels@MarionFL.org

PRINT

CLEAR



Marion County Board of County Commissioners

Building Safety

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2400

EMERGENCY PERMIT

Requires Building Official's Approval Tue 6/25/2024 2:49 PM

PERMIT #

2024-06-4201

Date 6/27/24 Code FBC 8th ED ARN 131614 Rep JCVICIO Residential Commercial

Parcel ID 3578-017-030 Project # / Related Permit / Code Case

Project Address 10320 Sw 42nd Ave, Ocala

30 17 27 16 21 Ocala Waterway Estate Lot Blk Unit Sec Twp Rge Subdivision / MH Park

Property Owner Ocala Freedom Investments LLC

Address 1911 Morning Dr, Orlando FL 32837

Phone 407-223-2109 E-mail: ordonezconstruction@adanordonezp.com

- Accessory Structure, Aluminum, Above Ground Pool, Commercial (New), Commercial (Add. / Alt.), Concrete, Demolition, DCA - Modular Building, Electric, Fence / Wall, Exterior Door / Window, Fire, Mechanical / Gas / HVAC, Mobile Home, Plumbing, Residential (New), Residential (Add. / Alt.), Re- Roof, Solar, Swimming Pool / Spa, Tent / Temp Use, Waterfront Structure, Window /Exterior Door, Other

Description of Work PRE- MANUFACTURED METAL BUILDING

Cost of Construction \$ 16,000

Product Approval Numbers Approved Master File

Was This Building Damaged by Fire, Flood, or Other? No Damage Assessment Report #

BUILDING: New sqft Added sqft Alteration/Renovation sqft Temp Power Pole? Yes No

Stories N/A Bedrooms N/A Bathrooms N/A Under A/C sqft No A/C sqft

Water: Existing Well New Well Replacement Well Central Water Irrigation: Yes No Existing

CONTRACTOR'S Business Name BEST BETAL BUILDING LLC

Contractor's Name Tommy Belton State Lic CBC1265438 County Cert

Address 484 Nw Turner Ave, Lake City FL 32055

Contact Phone 386-7542177 E-mail contact@bestmetalbldgs.com

Table with columns: SUBCONTRACTORS: Qualifier Name, County Cert #, State License #, E-mail. Rows include MECHANICAL, ELECTRIC, PLUMBING, GAS, ROOFING, IRRIGATION, OTHER.

**PLEASE SIGN BELOW**

Application is hereby made to obtain a permit to do the work and installations as indicated. All work will be performed in accordance with the standards of all laws and ordinances regulating construction in Marion County, Florida, whether specified herein or not. I understand that subcontractors may be required to perform certain work under this permit. I further certify that I have read and examined this application and know the same to be correct, that all work shall be in compliance with all applicable laws regulating construction and zoning, and that the building permit may be revoked in the case of a false statement or misrepresentation in the application and/or plans on which the permit was approved.

It shall also be agreed that the owner has been advised of and understands the applicability of the Construction Lien Law (FSS 713.135) and that Impact Fees shall be determined with the application for a building permit and shall be due before Final Inspection. Permit Fees shall be payable at issuance of a building permit.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.**

**IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Owner's Signature [Signature]

Print Name ADAN ORDONEZ

Date: \_\_\_\_\_

Contractor's Signature [Signature]

Print Name Tommy Belton

OR

Authorized Agent's Signature \_\_\_\_\_

Print Name \_\_\_\_\_

Date: \_\_\_\_\_

**STATE OF FLORIDA, COUNTY OF MARION**

Sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization,

this 25 day of June 2024

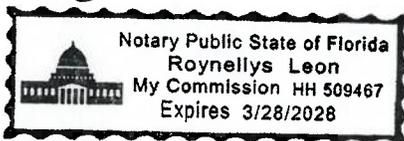
By Adan Ordonez

Personally Known or  Produced Identification

ID: FDL

Notary Signature: [Signature]

Notary Stamp:



**STATE OF FLORIDA, COUNTY OF MARION**

Sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization, this 25<sup>th</sup> day of June 2024

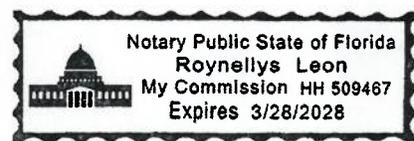
By Tommy Belton

Personally Known or  Produced Identification

ID: FDL

Notary Signature [Signature]

Notary Stamp:



Pursuant to Florida Statute 713.135(7) all signatures must be notarized



**Marion County  
Board of County Commissioners**

**Building Safety**

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2400

**Construction Lien Law Affidavit**

I/We will make all necessary attempts to provide a copy of the Construction Lien Law, Florida Statute Chapter 713, to the property owners(s) of the real property to which improvements are to be constructed.

Parcel ID: 3578-017-030

10320 Sw 42nd Ave, Ocala

**Project Address**

<u>30</u>	<u>17</u>	<u>27</u>	<u>16</u>	<u>21</u>	<u>Ocala Waterway Estate</u>
Lot	Blk	Unit	Sec	Twp	Rge
					<u>Subdivision / MH Park</u>

Property Owner Ocala Freedom Investments LLC

**Form shall be signed by only ONE of the following individuals:**

Owner's Signature: [Signature]

Contractor's Signature: [Signature]

Print Name: ADAN ORDONEZ

Print Name: Tommy Belton

DATE: 06/25/24

DATE: 06/25/24

or

Authorized Agent's Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

DATE: \_\_\_\_\_

**PRINT**

**APPLICABLE CODES**  
1. 2023 FLORIDA BUILDING CODE

- APPLICABLE STANDARDS**
- ASCE 7-22: MINIMUM DESIGN LOADS ON BUILDINGS AND OTHER STRUCTURES
  - AISC STEEL CONSTRUCTION MANUAL (17TH EDITION)
  - ACI 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
  - TMS 402-16: BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES
  - AWS D1.1: STRUCTURAL WELDING

- DESIGN LOADS**
- DEAD LOAD = 1.5 PSF
  - ROOF LIVE LOAD = 12 PSF
  - WIND LOAD
    - RISK CATEGORY = II
    - WIND EXPOSURE CATEGORY = C
    - ULTIMATE WIND SPEED = 130 MPH  
NOMINAL WIND SPEED = 102 MPH

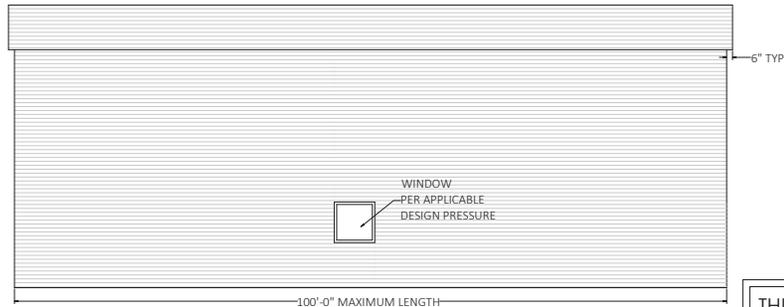
**INSTALLATION NOTES AND SPECIFICATIONS**

- THESE PLANS BELONG EXCLUSIVELY TO THE STRUCTURE, INCLUDING MAIN WIND FORCE RESISTING SYSTEM (MWFRS), COMPONENTS AND CLADDING (C&C), AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING BUT NOT LIMITED TO PROPERTY SET-BACKS, ELECTRICAL, PLUMBING, INGRESS/EGRESS, FINISH FLOOR SLOPES AND ELEVATIONS, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE LIABILITY OF OTHERS.
- THESE STRUCTURES ARE ENGINEERED AS CAPABLE OF SUPPORTING DEAD LOAD OF THE STRUCTURE AND LIVE AND WIND LOADS. UPGRADES NOT SPECIFICALLY ADDRESSED HEREIN, SUCH AS WINDOWS, DOORS, OR ANOTHER COMPONENT NOT LISTED IN THE BUILDING CODE APPROVED PRODUCT LIST, AND NOT PROVIDED AND INSTALLED BY THE CONTRACTOR, WHICH CAUSE ADDITIONAL LOADS ON THE STRUCTURE SHALL BE AT THE OWNER'S RISK. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR FAILURE OR STRUCTURAL DAMAGE DUE TO THE EXTRA LOAD.
- ALL STEEL TUBING SHALL BE 50 KSI GALVANIZED STEEL WITH MINIMUM YIELD STRENGTH OF 54 KSI. ALL FASTENERS SHALL BE ZINC COATED HARDWARE.
- END WALL COLUMNS (POST) AND SIDE WALL COLUMNS ARE EQUIVALENT IN SIZE AND SPACING U.N.O.
- SPECIFICATIONS APPLICABLE TO 29 GA METAL PANELS FASTENED DIRECTLY TO 2.5"x2.5"x14 GA/2.5"x2.5"x12GA TUBE STEEL (TS) FRAMING MEMBERS FOR VERTICAL PANELS. 29 GA METAL PANELS SHALL BE FASTENED DIRECTLY TO 18 GA HAT CHANNELS U.N.O.
- AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" AND END = 6" MAX.
- FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING SCREWS (SDS), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20'-0" OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
- ANCHORS SHALL BE INSTALLED THROUGH THE BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES AND ENDS.
- STANDARD GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBARS WITH WELDED NUT X 36" LONG AND MAY BE USED IN SUITABLE SOILS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED. SOIL NAILS MAY BE USED FOR WIND SPEEDS LESS THAN OR EQUAL TO 145 MPH.
- MAXIMUM RAFTER SPACING IS 5'-0"
  - FOR WIND SPEEDS BETWEEN 110 MPH AND 140 MPH
  - FOR BUILDING SPAN LESS THAN 50'-0"
- MAXIMUM RAFTER SPACING IS 4'-0"
  - FOR WIND SPEEDS BETWEEN 141 MPH AND 170 MPH
  - FOR BUILDING SPAN GREATER THAN OR EQUAL TO 50'-0"
- WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:  
SOIL SITE CLASS = D  
RISK CATEGORY II  
R = 3.25    Ie = 1.0    Sds = 0.075 g    V = CsW    Sd1 = 0.051 g

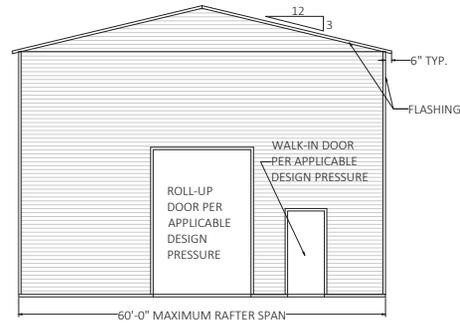
**DRAWING INDEX**

PAGE NO.	DESCRIPTION
1	TITLE PAGE WITH INDEX
2	TRUSS DESIGN FOR RAFTER SPAN
3	CONNECTION DETAILS (1-2)
4	BASE RAIL AND FOUNDATION ANCHORAGE
5	RAFTER END WALL, SIDE WALL AND OPENING FRAMING
6	CONNECTION DETAILS (4-16)
7	BOX EAVE RAFTER LEAN-TO OPTIONS
8	CONNECTION DETAILS (18-20)
9	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
10	OPTIONAL HELICAL ANCHORING ON GRADE DETAIL

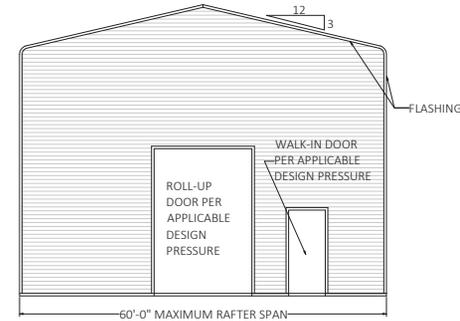
ENCLOSED METAL BUILDING DESIGN  
MAXIMUM 60'-0" WIDE X 100'-0" LONG X 20'-0" HIGH (EAVE)  
BOX EAVE FRAME / BOW EAVE FRAME



TYPICAL SIDE ELEVATION - HORIZONTAL ROOF



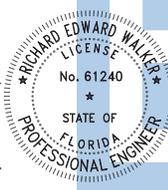
TYPICAL END ELEVATION - BOX EAVE



TYPICAL END ELEVATION - BOW EAVE

THE ENGINEERING ON THESE PLANS IS SITE SPECIFIC FOR (1) STRUCTURE ONLY AT THE PROVIDED ADDRESS(ES).

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FLORIDA ENGINEERING LLC  
4161 TAMiami TRAIL, UNIT 101  
PORT CHARLOTTE, FLORIDA 33952  
(941) 391-5980  
FLEng.com  
Orders@FLEng.com



LICENSE #30782

PROJECT NO. 2416352-2

2024-06-4201

**STRUCTURAL APPROVAL**  
**BY REX D. BROWN**  
**PX4054**  
**MARION COUNTY PLANS EXAMINER**  
**( SEAL VERIFIED BY OTHERS )**

CONTRACTOR:  
BEST METAL BUILDINGS LLC  
484 NW TURNER AVE  
LAKE CITY FL 32055

PROJECT ADDRESS:  
OCALA FREEDOM INVESTMENTS LLC  
10320 SW 42ND ST  
OCALA FL 34476

DESIGN DATE: 06/12/2024

REVISION 1: DATE 06/13/2024

REVISION 2: DATE

DRAWN BY: JS

SCALE: NTS

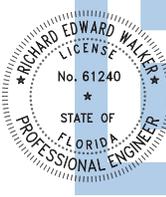
SHEET: 1 OF 10

MEMBER LEGEND:

1. TS COLUMN = 2.5X2.5X14 GA U.N.O.
2. TRUSS MEMBERS = 2.5X2.5X14 GA U.N.O.
3. KNEE-BRACE = 2.5"X2"X18GA CHANNEL
4. PURLIN = 1.125"X18GA HAT CHANNEL
5. TS BRACE = 2.5"X2.5"X14GA TUBE
6. END WALL COLUMN = (2)2.5X2.5X14GA U.N.O.

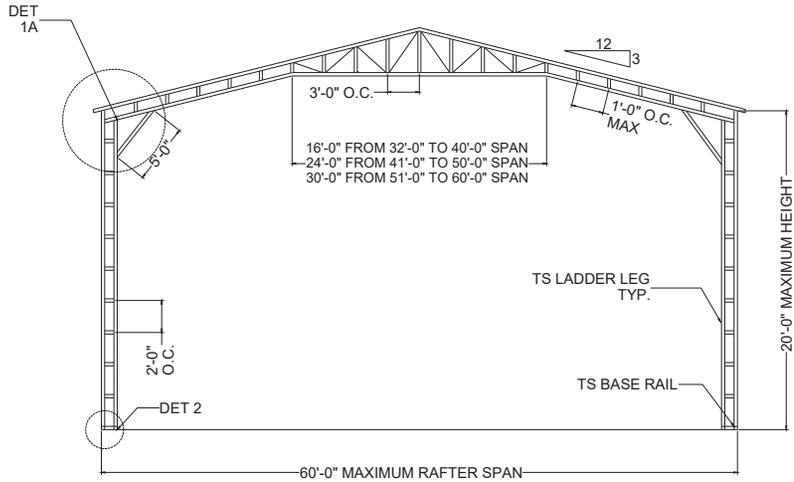
**STRUCTURAL APPROVAL**  
**BY REX D. BROWN**  
**PX4054**  
**MARION COUNTY PLANS EXAMINER**  
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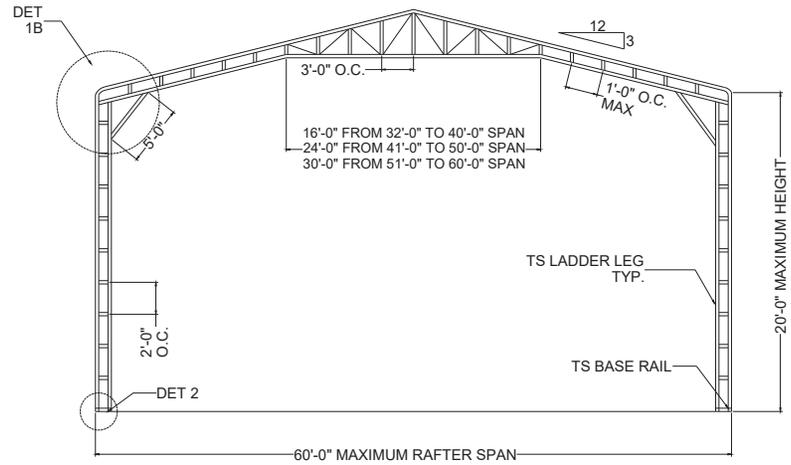


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TRUSS LAYOUT- BOX EAVE



TRUSS LAYOUT- BOW EAVE



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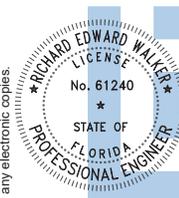
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DRAWN BY: JS

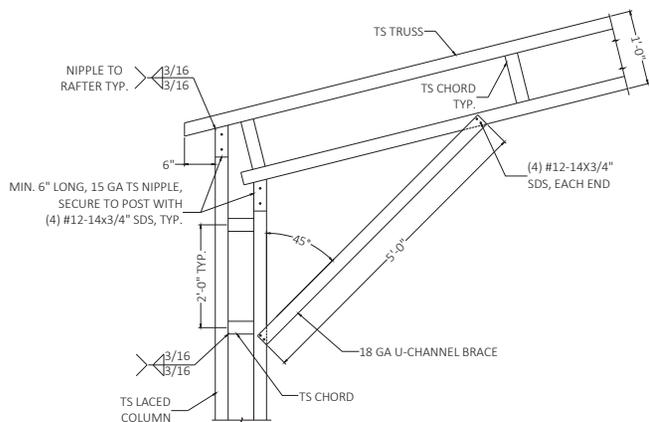
SCALE: NTS 2 OF 10

**STRUCTURAL APPROVAL**  
**BY REX D. BROWN**  
**PX4054**  
**MARION COUNTY PLANS EXAMINER**  
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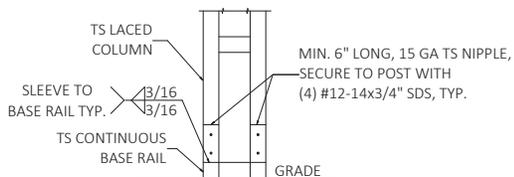
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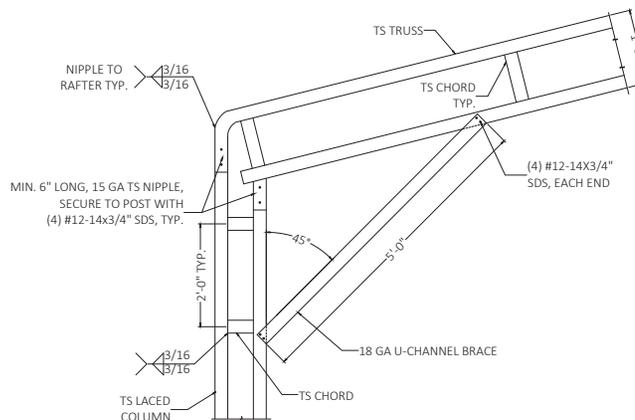
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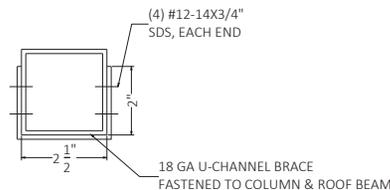
DETAIL 1A  
 BOX EAVE RAFTER/CORNER POST CONNECTION  
 60'(MAX.)W X 20'H(MAX.)



DETAIL 2  
 POST/BASE RAIL CONNECTION



DETAIL 1B  
 BOW EAVE RAFTER/CORNER POST CONNECTION  
 60'(MAX.)W X 20'H(MAX.)



BRACE SECTION

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 10320 SW 42ND ST  
 OCALA FL 34476

DESIGN DATE: 06/12/2024  
 REVISION 1: 06/13/2024  
 REVISION 2: DATE SHEET:  
 DRAWN BY: JS 3 OF 10  
 SCALE: NTS

**STRUCTURAL APPROVAL  
BY REX D. BROWN**

**PX4054  
MARION COUNTY PLANS EXAMINER  
( SEAL VERIFIED BY OTHERS )**

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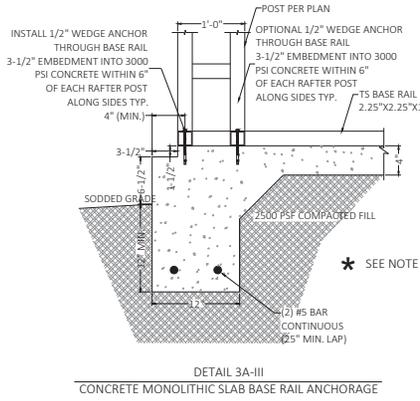
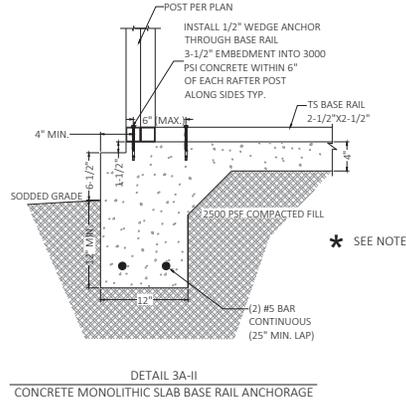
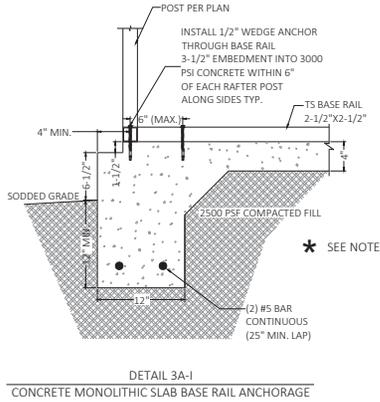
**GENERAL NOTES**  
CONCRETE MONOLITHIC SLAB DESIGN IS BASED ON A MINIMUM SOIL BEARING CAPACITY OF 2500 PSF.

**CONCRETE**  
MINIMUM 28-DAY SPECIFIED COMPRESSIVE STRENGTH = 3000 PSI

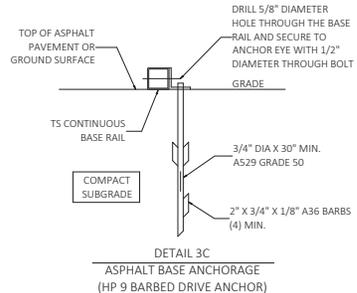
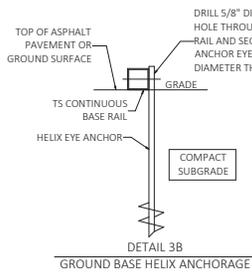
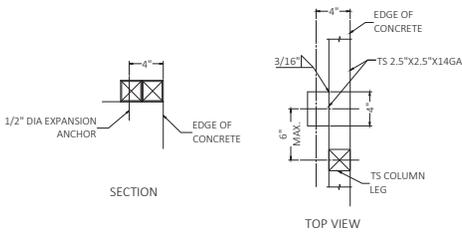
- REINFORCING STEEL**
1. TURNDOWN REINFORCING STEEL = ASTM A615 GRADE 60
  2. SLAB REINFORCEMENT = WELDED WIRE FABRIC PER ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT
  3. REINFORCING STEEL COVER = 3" WHERE CASE AGAINST AND PERMANENTLY EXPOSED TO SOIL OR WATER, 1.5" EVERYWHERE ELSE.
  4. REINFORCEMENT IS BENT COLD.
  5. MINIMUM INSIDE DIAMETER OF BEND = (6) BAR DIAMETERS
  6. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

- HELIX ANCHOR NOTES**
1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, CORALS, MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT EVERY 10'.
  2. FOR MEDIUM TO VERY LOOSE DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT EVERY 5' OR EVERY POST (LEG).
  3. THE UPLIFT/BEARING CAPACITY OF EACH ANCHOR MUST BE EQUAL TO OR GREATER THAN 8.5 KIPS.

- HP 9 BARBED DRIVE ANCHOR NOTES**
1. ANCHOR TO BE 3/4" DIA (A529 GRADE 50) WITH 30" MIN. EMBEDMENT & (4) MIN. BARBS AS SHOWN IN DETAIL 3C.
  2. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, CORALS, MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS AND CLAYS, MAXIMUM SPACING TO BE 10'.
  3. THE UPLIFT/BEARING CAPACITY OF EACH ANCHOR MUST BE EQUAL TO OR GREATER THAN 8.5 KIPS.



\* = COORDINATE WITH LOCAL BUILDING CODE AND/OR BUILDING OFFICIAL REGARDING REQUIRED FOOTING DEPTH BASED ON FROST LINE DEPTH.



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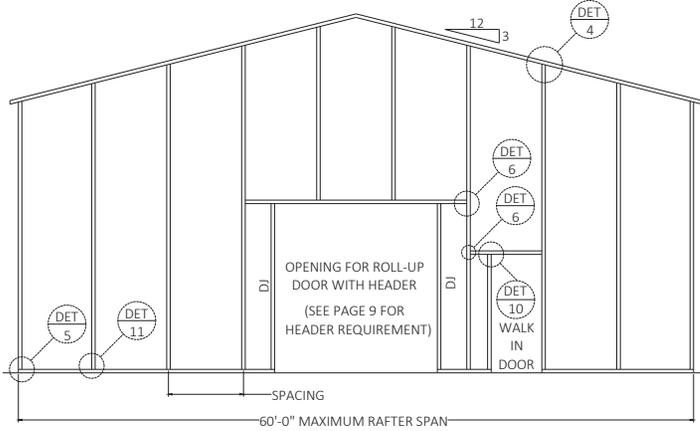
LICENSE #30782

**BEST METAL BUILDINGS LLC**  
484 NW TURNER AVE  
LAKE CITY FL 32055

**OCALA FREEDOM INVESTMENTS LLC**  
10320 SW 42ND ST  
OCALA FL 34476

DESIGN DATE:	06/12/2024
REVISION 1:	06/13/2024
REVISION 2:	DATE
DRAWN BY:	JS
SCALE:	NTS

SHEET: 4 OF 10



TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION

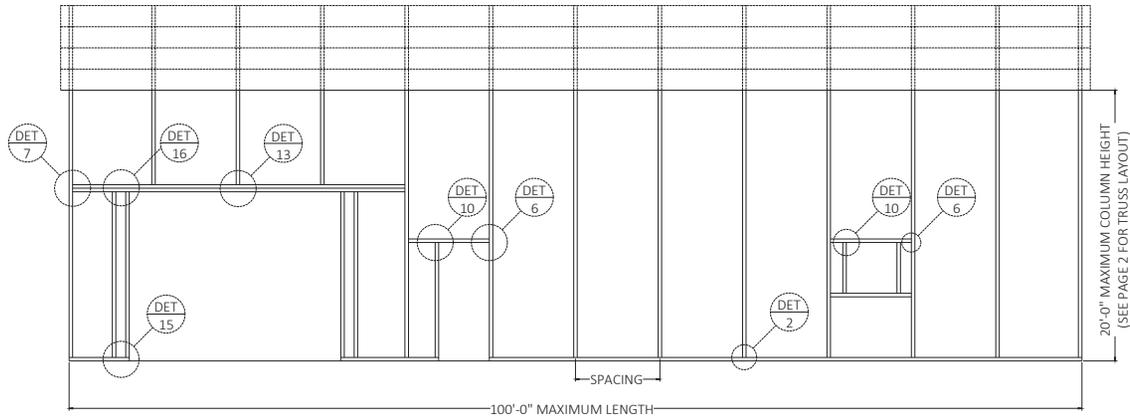
**STRUCTURAL APPROVAL**  
**BY REX D. BROWN**  
**PX4054**  
**MARION COUNTY PLANS EXAMINER**  
**( SEAL VERIFIED BY OTHERS )**

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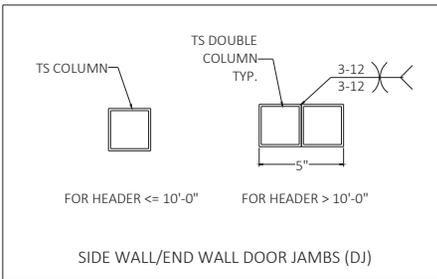
Digitally signed by Richard E Walker  
 Date: 2024.06.13 14:46:54-04'00'

SPACING = 5'-0"	I) FOR WIND SPEEDS BETWEEN 110 MPH AND 140 MPH II) FOR BUILDING SPAN LESS THAN 50'-0"
SPACING = 4'-0"	I) FOR WIND SPEEDS BETWEEN 141 MPH AND 170 MPH II) FOR BUILDING SPAN GREATER THAN 50'-0"



TYPICAL BOX EAVE RAFTER SIDE WALL FRAMING SECTION

SPACING = 5'-0"	I) FOR WIND SPEEDS BETWEEN 110 MPH AND 140 MPH II) FOR BUILDING SPAN LESS THAN 50'-0"
SPACING = 4'-0"	I) FOR WIND SPEEDS BETWEEN 141 MPH AND 170 MPH II) FOR BUILDING SPAN GREATER THAN 50'-0"



**FLORIDA ENGINEERING LLC**  
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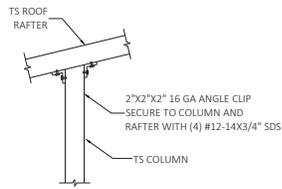
**BEST METAL BUILDINGS LLC**  
 484 NW TURNER AVE  
 LAKE CITY FL 32055

**OCALA FREEDOM INVESTMENTS LLC**  
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 OCALA FL 34476

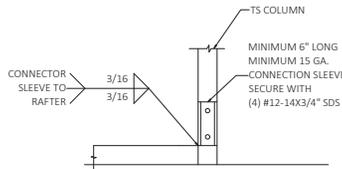
CONTRACTOR: BEST METAL BUILDINGS LLC  
 DESIGN DATE: 06/12/2024  
 REVISION 1: DATE 06/13/2024  
 REVISION 2: DATE  
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 SCALE: NTS

SHEET: 5 OF 10

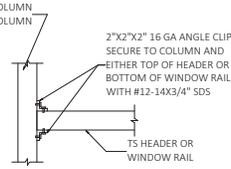
CONNECTION DETAILS



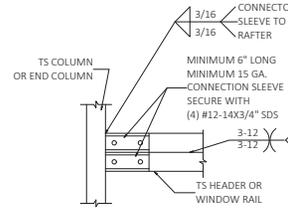
DETAIL 4  
END COLUMN/RAFTER CONNECTION



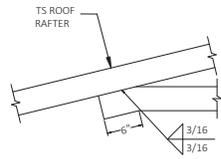
DETAIL 5  
END POST/BASE RAIL CONNECTION



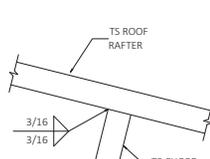
DETAIL 6  
HEADER TO COLUMN CONNECTION



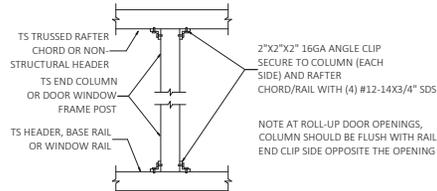
DETAIL 7  
DOUBLE HEADER TO COLUMN CONNECTION



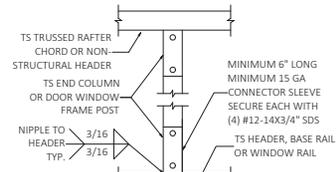
DETAIL 8  
COLLAR TIE CONNECTION



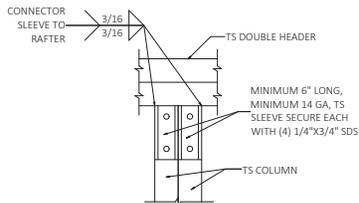
DETAIL 9  
RAFTER TO CHORD CONNECTION



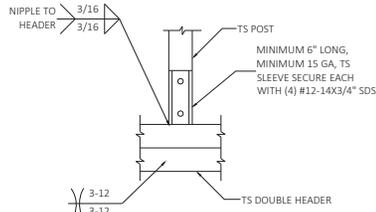
DETAIL 10  
POST TO HEADER, BASE RAIL OR WINDOW RAIL CONNECTION  
(OPTION-1)



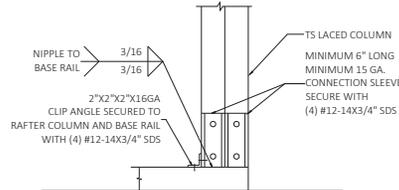
DETAIL 11  
POST TO HEADER, BASE RAIL CONNECTION  
(OPTION-2)



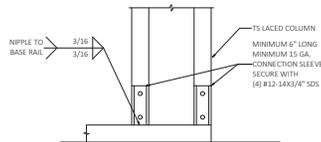
DETAIL 12  
DOUBLE HEADER TO COLUMN CONNECTION



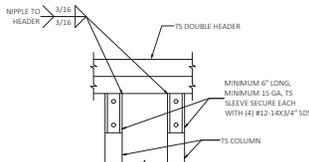
DETAIL 13  
POST/DOUBLE HEADER CONNECTION



DETAIL 14  
POST/BASE RAIL CONNECTION

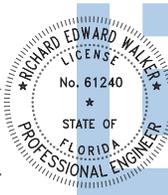


DETAIL 15  
POST/BASE RAIL CONNECTION



DETAIL 16  
POST/BASE RAIL CONNECTION

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PROJECT NO. 2416352-2  
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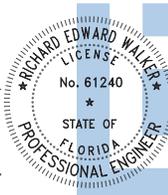
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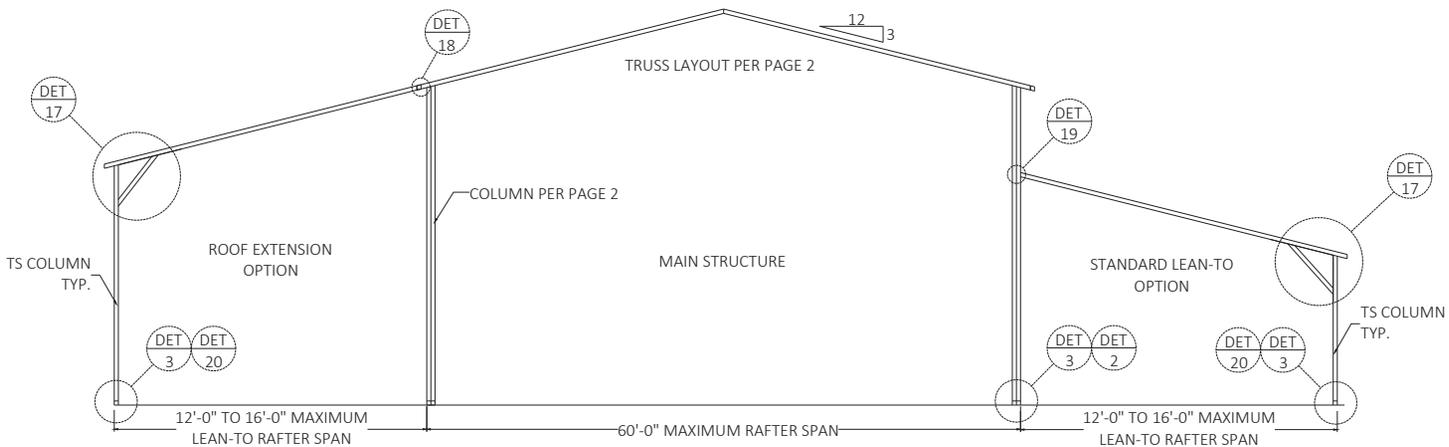
SCALE: NTS 6 OF 10

**STRUCTURAL APPROVAL**  
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**PX4054**  
**MARION COUNTY PLANS EXAMINER**  
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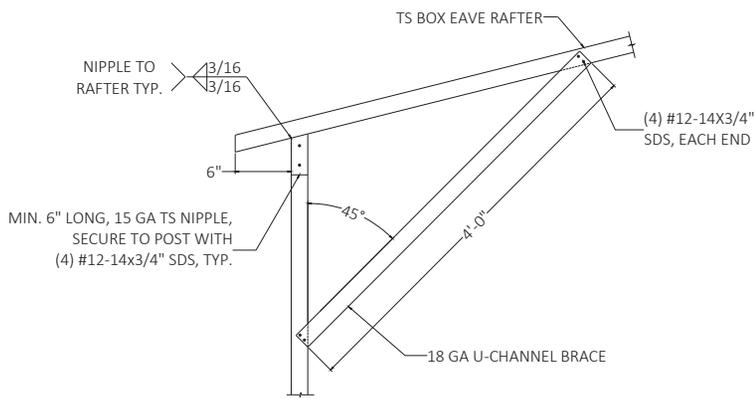
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TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION



DETAIL 17  
 LEAN-TO RAFTER/CORNER POST CONNECTION

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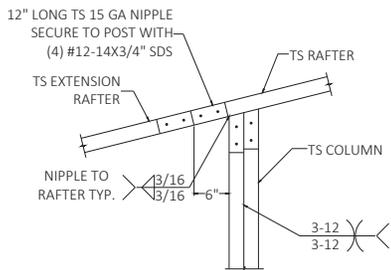
PROJECT NO. 2416352-2

CONTRACTOR:	BEST METAL BUILDINGS LLC	
DESIGN DATE:	06/12/2024	
REVISION 1:	DATE 06/13/2024	
REVISION 2:	DATE	SHEET:
DRAWN BY:	JS	7
SCALE:	NTS	OF 10

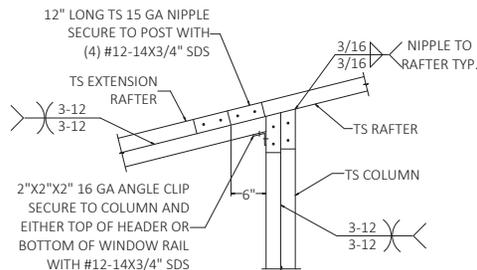
**STRUCTURAL APPROVAL  
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**PX4054  
MARION COUNTY PLANS EXAMINER  
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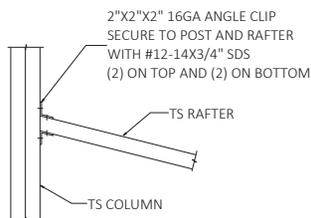
CONNECTION DETAILS



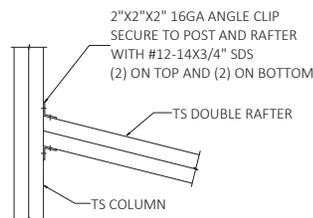
DETAIL 18A  
SIDE EXTENSION RAFTER/COLUMN CONNECTION  
FOR RAFTER SPANS LESS THAN 12'-0"



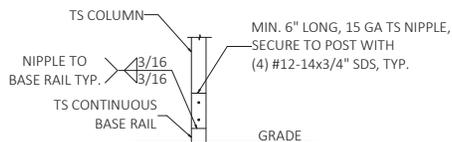
DETAIL 18B  
SIDE EXTENSION RAFTER/COLUMN CONNECTION  
FOR RAFTER SPANS BETWEEN 12'-0" AND 16'-0"



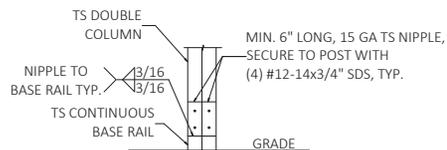
DETAIL 19A  
LEAN TO RAFTER/COLUMN CONNECTION  
FOR RAFTER SPANS LESS THAN 12'-0"



DETAIL 19B  
LEAN TO RAFTER/COLUMN CONNECTION  
FOR RAFTER SPANS BETWEEN 12'-0" AND 16'-0"



DETAIL 20A  
LEAN-TO POST CONNECTION



DETAIL 20B  
LEAN-TO DOUBLE POST CONNECTION

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**FLORIDA ENGINEERING LLC**  
4161 TAMiami TRAIL, UNIT 101  
PORT CHARLOTTE, FLORIDA 33952  
(941) 391-5980  
FLEng.com  
Orders@FLEng.com  
PROJECT NO. 2416352-2  
LICENSE #30782

**BEST METAL BUILDINGS LLC**  
484 NW TURNER AVE  
LAKE CITY FL 32055  
PROJECT ADDRESS:  
**OCALA FREEDOM INVESTMENTS LLC**  
10320 SW 42ND ST  
OCALA FL 34476

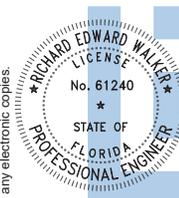
DESIGN DATE:	06/12/2024
REVISION 1:	DATE: 06/13/2024
REVISION 2:	DATE:
DRAWN BY:	JS
SCALE:	NTS

SHEET: 8 OF 10

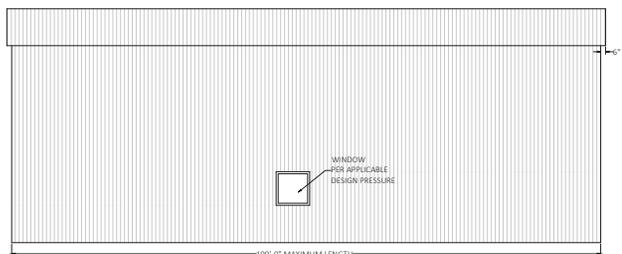
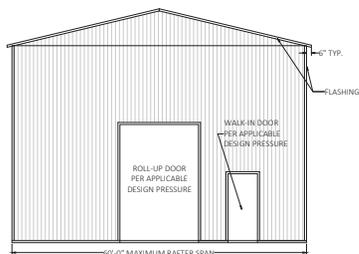
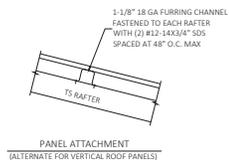
**STRUCTURAL APPROVAL  
BY REX D. BROWN**

**PX4054  
MARION COUNTY PLANS EXAMINER  
( SEAL VERIFIED BY OTHERS )**

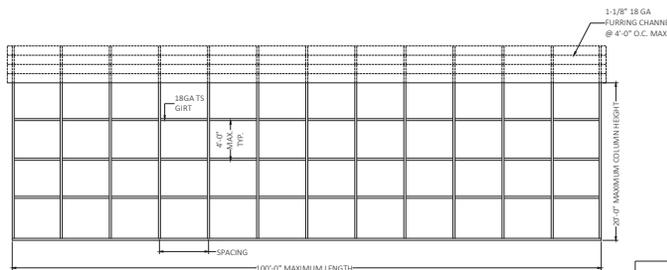
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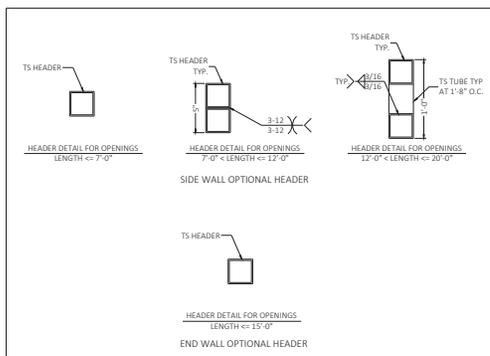
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Date: 2024.06.13 14:46:43-04'00'



BOX EAVE FRAME RAFTER ENCLOSED BUILDING



SPACING = 5'-0"	I) FOR WIND SPEEDS BETWEEN 110 MPH AND 140 MPH II) FOR BUILDING SPAN LESS THAN 50'-0"
SPACING = 4'-0"	I) FOR WIND SPEEDS BETWEEN 84 MPH AND 130 MPH II) FOR BUILDING SPAN GREATER THAN 50'-0"



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10320 SW 42ND ST  
OCALA FL 34476

PROJECT NO. 2416352-2

CONTRACTOR:	BEST METAL BUILDINGS LLC		
DESIGN DATE:	06/12/2024	DATE	06/13/2024
REVISION 1:	06/13/2024	DATE	
REVISION 2:		DATE	
DRAWN BY:	JS	SHEET:	9 OF 10
SCALE:	NTS		

**ATTACHMENT F  
STRUCTURAL APPROVAL  
BY REX D. BROWN  
PX4054**

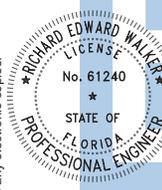
**MARION COUNTY PLANS EXAMINER  
( SEAL VERIFIED BY OTHERS )**

OPTIONAL HELICAL ANCHORING ON GRADE DETAIL

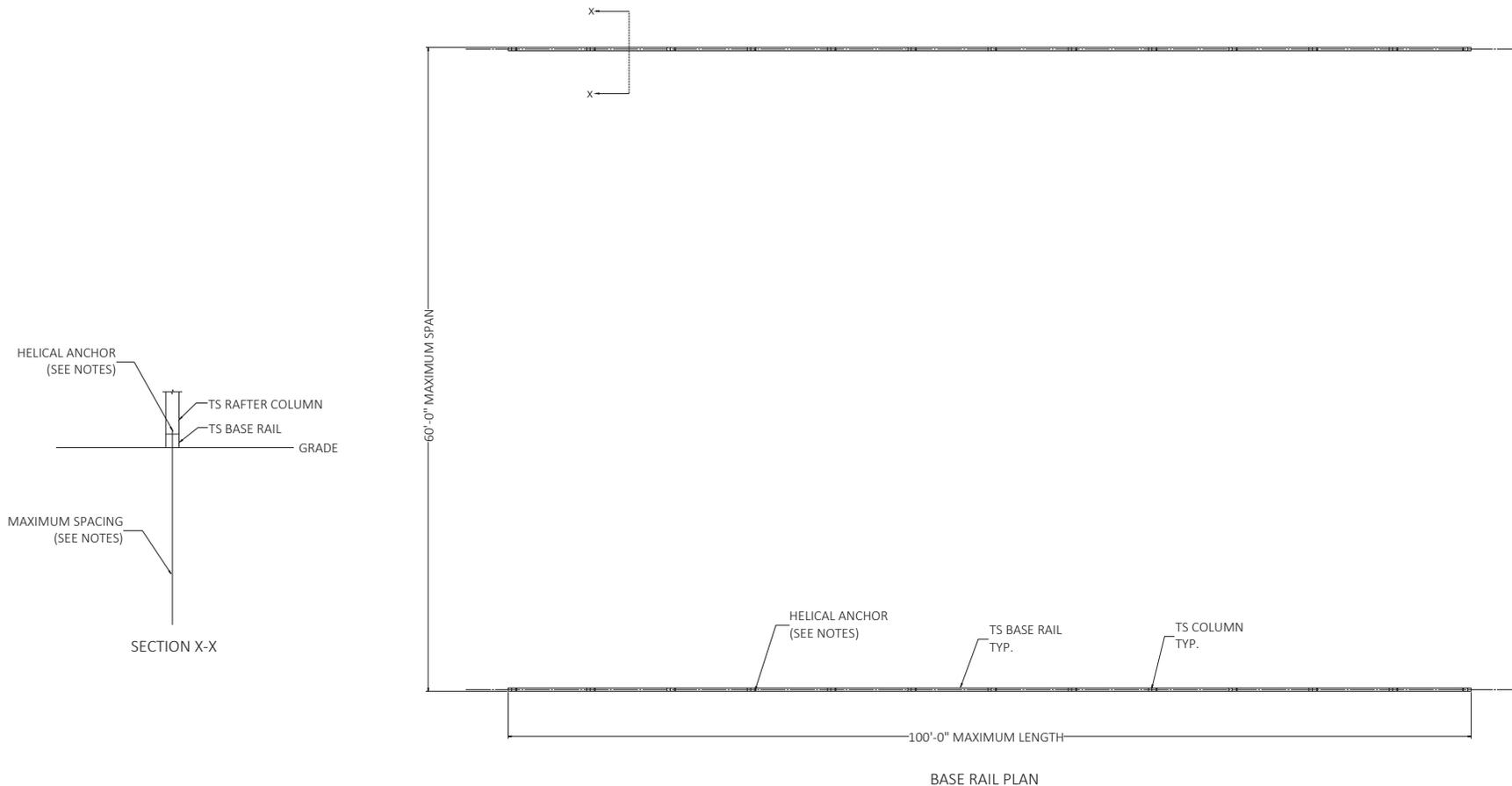
**HELIX ANCHOR NOTES**

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, CORALS, MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT EVERY 10'.
2. FOR MEDIUM TO VERY LOOSE DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT EVERY 5' OR EVERY POST (LEG).
3. THE UPLIFT/BEARING CAPACITY OF EACH ANCHOR MUST BE EQUAL TO OR GREATER THAN 8.5 KIPS.

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DESIGN DATE:	06/12/2024
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SHEET: 10 OF 10

# Best Metal Buildings

Product Approval Form Rev 3/24

**STRUCTURAL APPROVAL**

**BY REX D. BROWN**

**PX4054**

**MARION COUNTY PLANS EXAMINER**

**( SEAL VERIFIED BY OTHERS )**

<b>Type</b>	<b>Manufacturer</b>	<b>Model #/Series</b>	<b>Florida Approval #</b>
Swinging Doors	Elixir	100 DD	FL12903_R8
Overhead Doors	DBCI	402	FL17996_R3
Single Hung	PAC	100 VS	FL_12940_R9
Metal Roof	Steel Buildings	3/4 Hi Rib	FL22561_R4
Metal Wall	Steel Buildings	3/4 Hi Rib	FL22562_R4



# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21226

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.2.3.

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**SUBJECT:**

**251104SU - Roberto Solares Alvera, Special Use Permit to Allow for Commercial Parking of Two (2) Semi-Trucks, Two (2) Trailers, and Work Equipment in a General Agricultural (A-1) Zone, 1.0 Acre Parcel, Parcel Account Number 41869-012-01, Site Address 2255 SE 150<sup>th</sup> Street, Summerfield FL 34491**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

Roberto Solares Alvera has filed an application for a Special Use Permit (SUP) to allow parking of two (2) commercial semi-trucks, two (2) trailers, and work equipment on a 1-acre parcel, located approximately 0.75 miles south from the intersection of S HWY 475 and SE 150<sup>th</sup> St, in General Agriculture (A-1), pursuant to the provisions of Land Development Code (LDC) Division 2.8 - Special Use Permit and LDC Section 4.2.3 - General Agriculture (A-1) zoning classification. The subject property is situated outside the Urban Growth Boundary and Farmland Preservation Area and is located within the County's Secondary Springs Protection Overlay Zone. Staff recommends **denial**.

**BUDGET/IMPACT:**

None

**RECOMMENDED ACTION:**

Staff recommends denial. Planning and Zoning Commission recommends denial.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

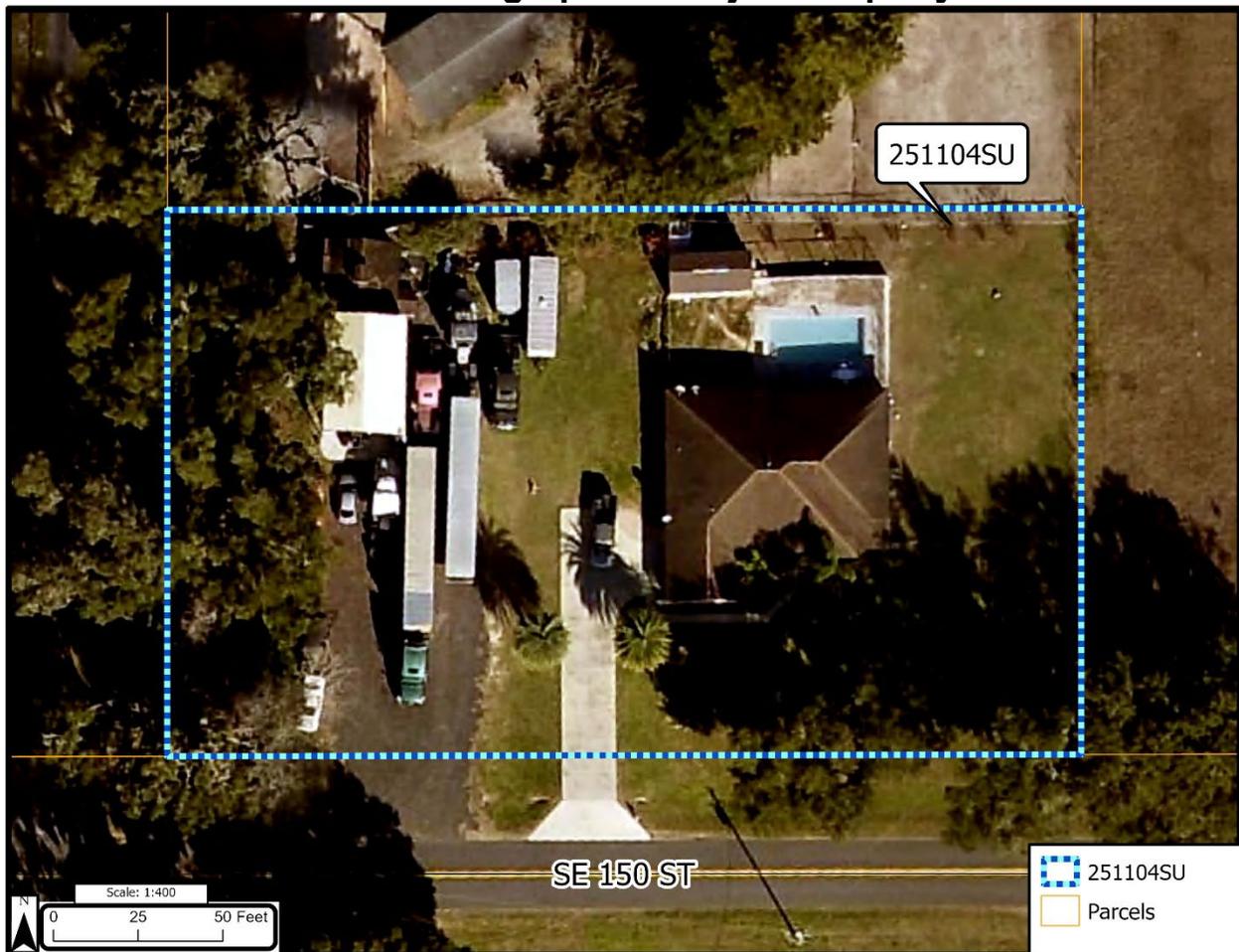
**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>Hearing Dates</b>	<b>P&amp;Z: 10/27/2025</b>	<b>BCC: 11/17/2025</b>
<b>Case Number:</b>	251104SU	
<b>CDP-AR:</b>	33321	
<b>Type of Case:</b>	<b>Special Use Permit:</b> Parking two (2) semi-trucks and two (2) trailers and work equipment on 1-acre with A-1 zoning	
<b>Owner</b>	Roberto Solares Alvera	
<b>Applicant</b>	Same as owner	
<b>Street Address</b>	2255 SE 150 <sup>th</sup> St Summerfield, FL 34491	
<b>Parcel Number</b>	41869-012-01	
<b>Property Size</b>	±1-acre	
<b>Future Land Use</b>	Rural Land (RL)	
<b>Zoning Classification</b>	General Agriculture (A-1)	
<b>Overlay Zone/Scenic Area</b>	Secondary Springs Protection Zone	
<b>Staff Recommendation</b>	<b>Denial</b>	
<b>P&amp;ZC Recommendation</b>	<b>Denial</b>	
<b>Project Planner</b>	Erik Kramer	
<b>Related Case(s)</b>	August 19, 2025   CE 992655   Open   Unauthorized Commercial Vehicles Operations in an Agricultural Zone	

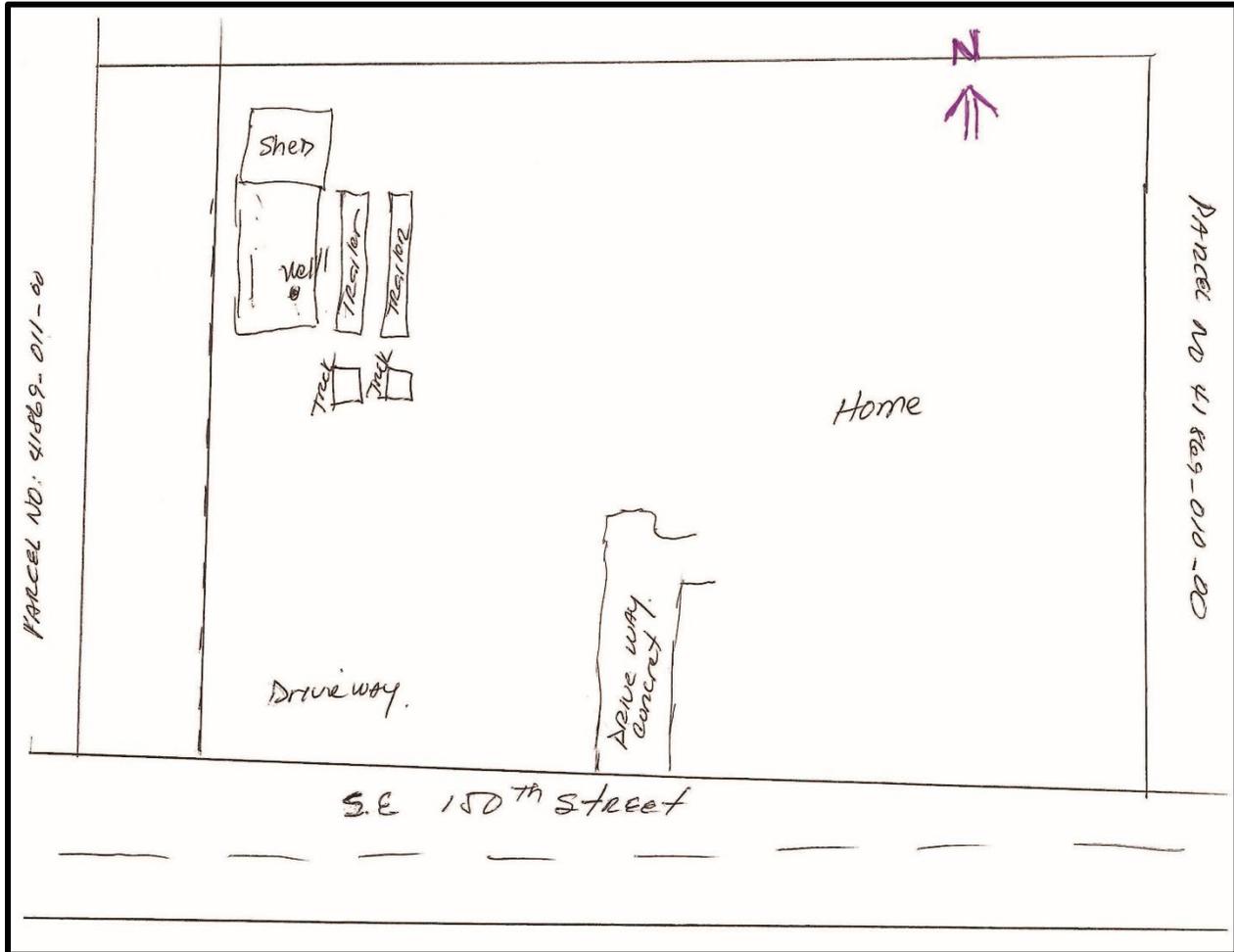
## I. ITEM SUMMARY

Roberto Solares Alvera, owner of the subject property, filed for an application for a Special Use Permit (SUP) to allow for the parking of two (2) commercial truck/tractors and two (2) trailers on a 1-acre property with General Agriculture (A-1) zoning. Figure 1 is an aerial photograph showing the subject property and Figure 2 shows the proposed concept plan. The Parcel Identification Number associated with the property is 41869-012-01 and the street address is 2255 SE 150<sup>th</sup> St., Summerfield, FL 34491. The legal description is included in Attachment A, page A-11. The property is located within the Secondary Springs Protection Zone. The property is located outside of the Urban Growth Boundary and Farmland Preservation Area. Land Development Code (LDC) Sec. 4.3.21 - Parking of Commercial Vehicles, only allows for one (1) vehicle on agriculturally zoned properties less than five (5) acres with a special use permit when the associated the vehicle is used for a register non-agricultural commercial use. This request exceeds the number of vehicles allowed under LDC Sec 4.3.21. Staff recommends **DENIAL**; however, should the Board of County Commissioners consider approval, staff provides alternative conditions of approval.

**Figure 1**  
**Aerial Photograph of Subject Property**



**Figure 2**  
**Conceptual Site Plan**



## II. STAFF SUMMARY RECOMMENDATION

Staff recommends **DENIAL** due to the analysis provided within this staff report. If approved, staff recommends the conditions specified in Section VII.B. of this Staff Report. The recommended conditions are being imposed to address compliance with the requirements in Land Development Code (LDC) Sections 2.8.2.D and 2.8.3.B, and 4.3.21.

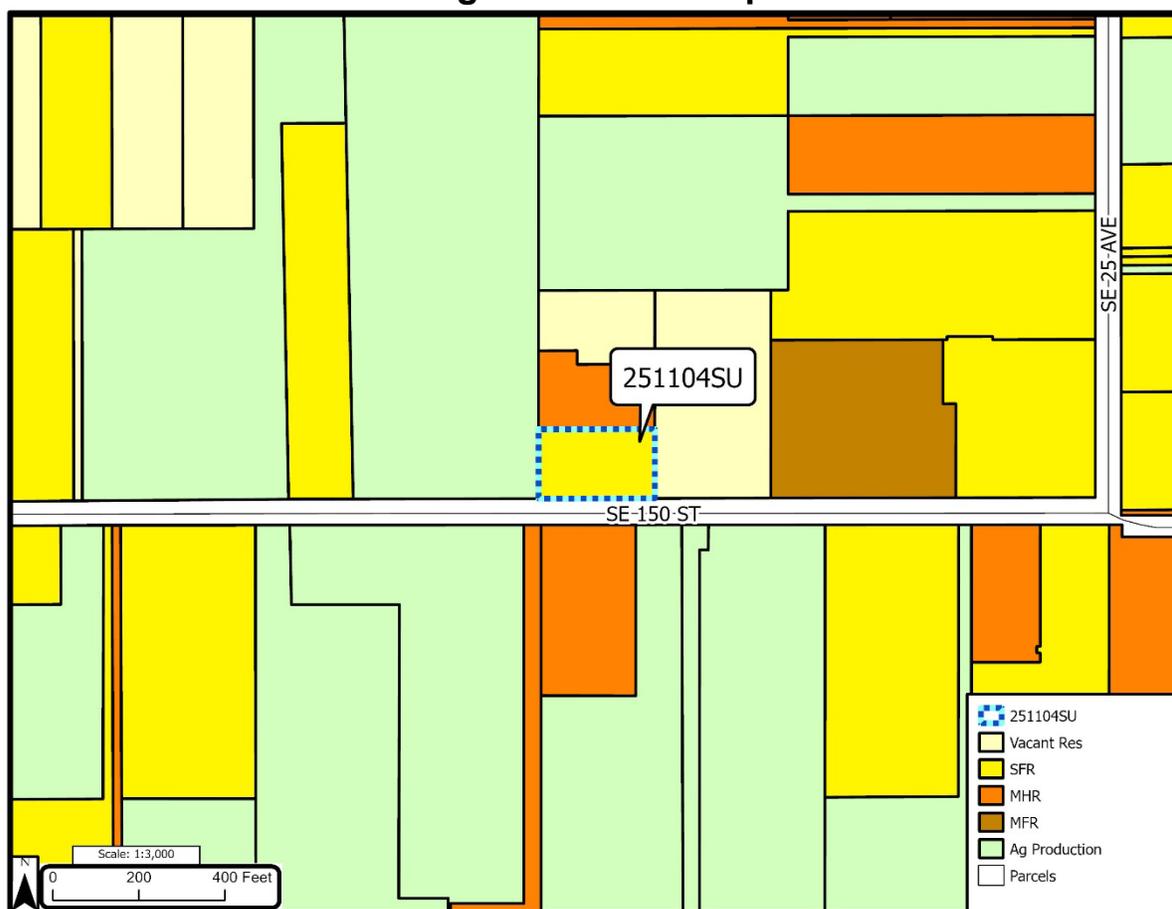
## III. NOTICE OF PUBLIC HEARING

Consistent with LDC Section 2.7.3.C, notice of public hearing was mailed to all property owners (16 property owners) within 300 feet of the subject property on October 10<sup>th</sup>, 2025. Consistent with LDC Section 2.7.3.B, public notice was posted on the subject property on October 16<sup>th</sup>, 2025, where site photos were also collected (Attachment C) and, consistent with LDC Section 2.7.3.E, due public notice was published in the Ocala Star-Banner on October 13<sup>th</sup>, 2025. As of the date of the initial distribution of this staff report, no letters of support or opposition have been received. Evidence of the above-described public notices is on file with the Growth Services Department and is incorporated herein by reference.

#### IV. BACKGROUND/CHARACTER OF THE AREA

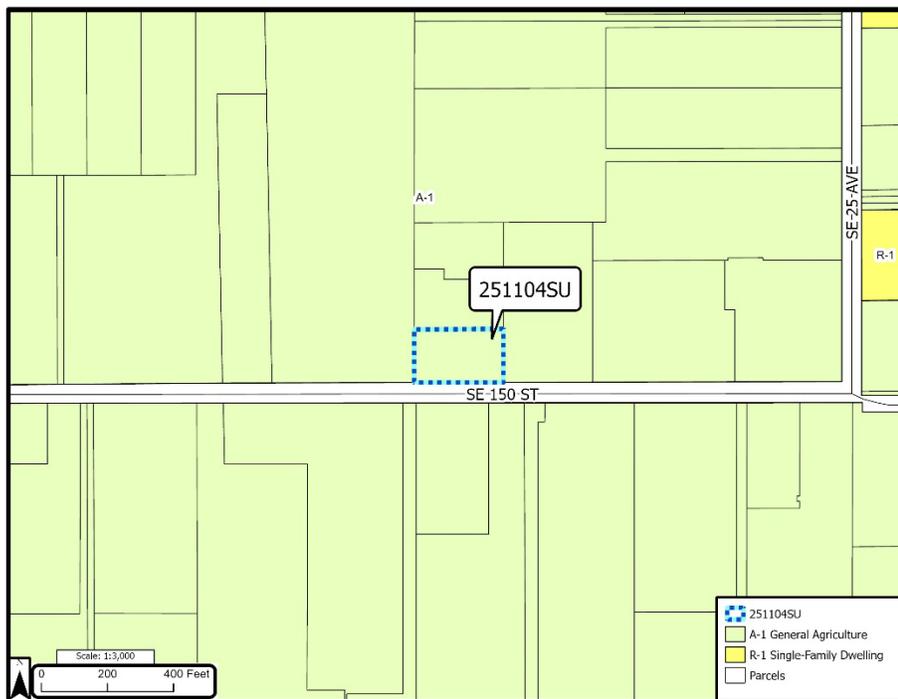
A. *Existing site conditions.* PID 41869-012-01 contains one site-built residence on a 1-acre lot fronting SE 150<sup>th</sup> St in Summerfield. The surrounding area is rural in character with the predominant existing uses being agricultural production, single family residential, and manufactured housing residential on large properties 1-acre or more in size. There are a few vacant residential properties and one multi-family residential property.

**Figure 3**  
**Existing Conditions Map**



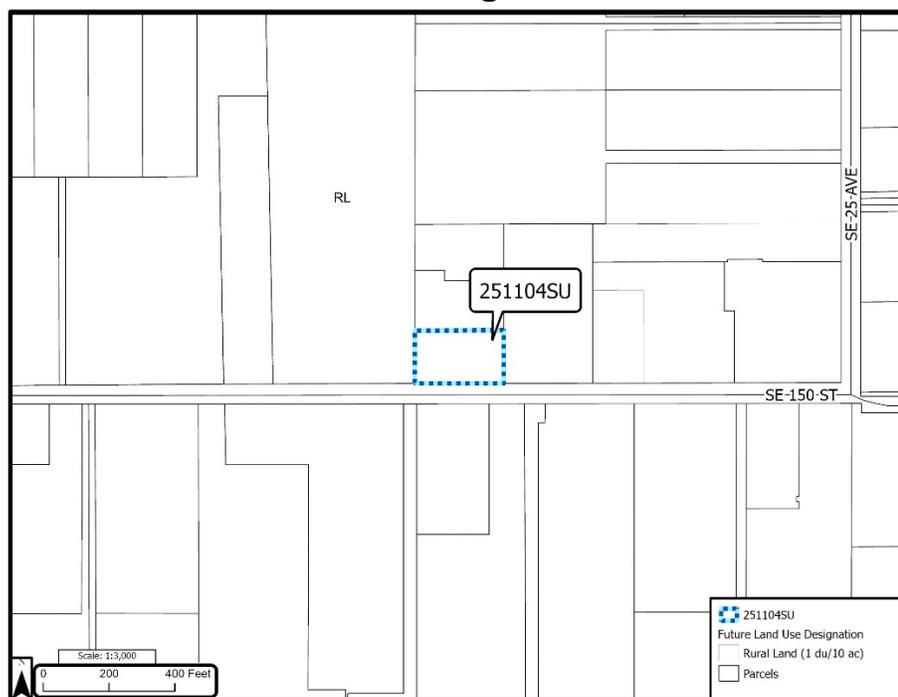
- B. *Zoning district map.* Figure 4 shows the subject property is classified as General Agriculture (A-1).

**Figure 4**  
**Zoning Classification**



- C. *FLUMS designation.* Figure 5 is the FLUMS, showing the subject property is designated Rural Land (RL). RL allows a maximum development of one dwelling unit per 10 acres.

**Figure 5**  
**FLUMS Designations**



## V. ANALYSIS

LDC Section 2.8.2.D provides that in making a recommendation to the Board, the Planning and Zoning Commission shall make a written finding the SUP addresses nine (9) specific requirements. LDC Section 2.8.3.B requires consistency with the Comprehensive Plan. Staff's analysis of compliance with these ten (10) requirements are addressed below.

### A. *Consistency with the Comprehensive Plan.*

1. Policy 2.1.5: **Permitted & Special Uses** – The county shall identify permitted and special uses for each land use designation and zoning classification, as further defined in the Comprehensive Plan, Zoning, and LDC.

**Analysis:** The subject property is zoned A-1. Under LDC Section 4.2.3, which provides use and development standards for A-1 zoning, parking of commercial vehicles is permitted with a valid special use permit. For A-1 properties smaller than 5 acres, LDC Section 4.2.31 establishes additional criteria for such permits, including a limit of one commercial vehicle over 16,000 pounds—provided all other conditions are met.

This application proposes parking two (2) commercial trucks/tractors and two (2) trailers, exceeding the allowable limit. The Office of the County Engineer's (OCE) traffic reviewer recommends conditional approval, contingent upon downsizing the allowable commercial vehicles to one (1) truck-trailer combination and other conditions, citing concerns that SE 150<sup>th</sup> Street is a county maintained subdivision street and as such it is not designed for frequent/intense truck traffic. See Attachment C for the full development review staff comments.

In addition to exceeding the acceptable number of trucks and trailers, this request does not comply with other Sec. 4.3.21 requirements, which are discussed in greater detail in Section V.B.-J. of this staff report.

Based on these findings, the requested special use permit is inconsistent with the Comprehensive Plan because it does not comply with applicable requirements outlined by the County in LDC Sec. 4.3.21.

### B. *Provision for **ingress and egress** to property and proposed structures thereon with reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

**Analysis:** Private vehicular access to the site is currently provided via a driveway connecting to SE 150<sup>th</sup> St. The commercial vehicles proposed under this SUP would access the site from the location of the existing secondary driveway, closest to the western property line. This driveway was created without obtaining the appropriate permits from OCE. As such there are two issues that will need to be addressed. First, the unpermitted driveway is made of millings, it is not currently paved. Second, OCE notes there is a need to amend the culvert design to ensure

stormwater is contained on site. The owner has initiated a driveway permit application (permit #2025093959) to amend these concerns; however, following a conversation between Growth Services and OCE staff, OCE staff put a hold on the driveway permit until the BCC makes a final decision for this SUP.

As such, if the SUP is approved, staff recommend the following conditions:

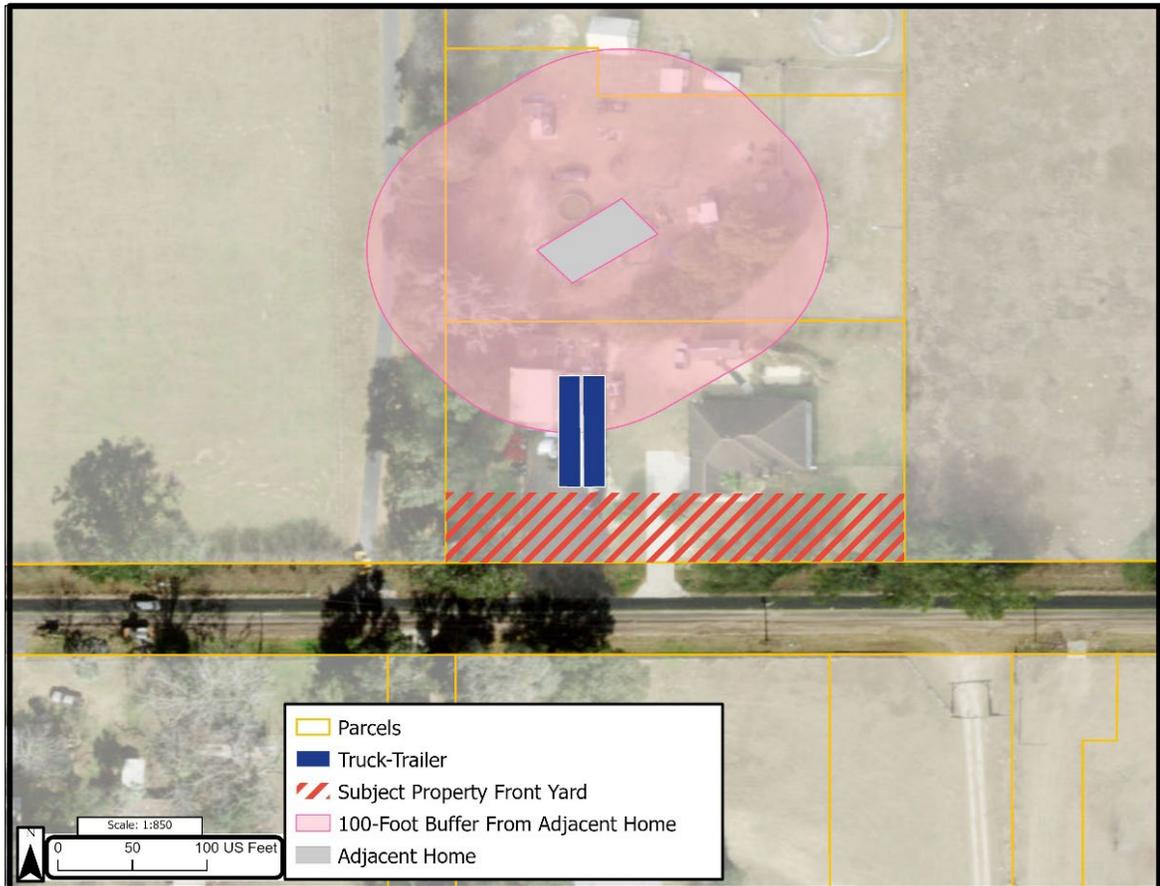
- *Commercial vehicle ingress/egress shall only use an access point on SE 150<sup>th</sup> Street that is approved by the Office of County Engineer.*
- *Mr. Alvera shall pave and upgrade the existing driveway with sufficient radii accommodate the proposed commercial usage. The physical characteristics shall be dictated by the Office of the County Engineer. Mr. Alvero shall be required to apply for appropriate permits within thirty days of approval of this SUP. The driveway shall be upgraded within sixty days of receiving approved permits from the Office of County Engineer.*

- C. *Provision for **off-street parking and loading areas**, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.*

**Analysis:** The applicant currently parks two (2) semi-trucks and two (2) trailers on site – one freight trailer and one flatbed trailer. The parking location shown on the submitted site plan is the unpermitted driveway, on the west portion of the site. The applicant proposes to continue parking in this location under this SUP.

Land Development Code Section 4.3.21 provides several regulations that regulate the location of parking areas for commercial vehicles in A-1 and R-1 zoned property. Specifically, under LDC Sec. 4.3.21.A.(1)(b), parking areas must be located in the side or rear yard. The commercial vehicles cannot be parked in the front yard, which includes the approximately 270' wide area from western property line to eastern property line and the approximately 45' deep area between the house and SE 150<sup>th</sup> St right of way. Additionally, the truck must be parked at least 100 feet away from neighboring residences. Due to the size of the commercial vehicles, the applicant would not be able to park a truck-trailer combination without encroaching into the 100 feet buffer area, the front yard area, or both at the same time (see Figure 6). In Figure 6, truck-trailer combinations are assumed to have a 24' truck with a 53' trailer.

**Figure 6**  
**Parking Area Restrictions**



As such, staff recommend the following condition(s):

- *All truck-trailer parking will be contained on parcel 41869-012-01.*
- *Truck-trailers are prohibited from parking in the front yard of the property.*
- *The parcel located directly north of Mr. Alvera’s property has a residence within 100 feet of the proposed parking area. If Michael Schaffer, the current property owner of parcel 41869-007-00 provides a written letter of support consenting to commercial vehicle parking within 100 feet of their residence, Mr. Alvera is permitted to park one truck-trailer combination, within that 100-foot buffer zone consistent with other conditions of this SUP. Should the parcel 41869-007-00 undergo change of ownership, a written letter of support from the new owner(s) must be provided to Growth Services in order to maintain this SUP. If the current or future property owner(s) of parcel 41869-007-00 do not consent to commercial vehicle parking within the 100-foot buffer, only a truck/tractor (without trailer) may be parked on-site and must be parked outside of the 100-foot buffer.*

- D. *Provisions for refuse and service area, with particular reference to the items in (1) and (2) above.*

**Analysis:** The Applicant states that the parking area has a garbage area for removal of trash.

As such, staff does not recommend any conditions relating to refuse and service area.

- E. *Provision for utilities, with reference to locations, availability, and compatibility.*

**Analysis:** The property currently is connected to well & septic. The property is within the Marion County Utility service area, but not within connection distance to central utilities. Marion County Utilities notes this special use permit request does not impact utilities or connection distance. See attachment B for DRC comments pertaining to DRC.

As such, staff does not recommend any conditions relating to utilities.

- F. *Provision for screening and buffering of dissimilar uses and of adjacent properties where necessary.*

**Analysis:** The applicant does not provide written findings of facts pertaining to screening and buffering. LDC Sec. 4.3.21.A.(1)(c) requires adequate screening of the commercial vehicles.

As such, staff recommend the following conditions:

- *Mr. Alvera will provide and maintain a solid opaque privacy fence, a minimum of 8' in height along the east, west, and south side of the vehicle parking area, consistent with other conditions of this SUP. Along the southern portion of the parking area, Mr. Alvera will provide and maintain an 8' tall opaque gate. The fence and gate must not encroach into County maintained right of way. Mr. Alvero shall be required to apply for appropriate permit(s) for screening with Building Safety within thirty days of approval of this SUP. All screening shall be installed within 30 days of receiving approved permit(s).*

- G. *Provision for signs, if any, and exterior lighting with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.*

**Analysis:** The applicant's written findings of fact state there are no signs, but there is currently on-site lighting.

Regarding signs, under LDC Sec. 4.4.4.G, signage on agriculturally zoned properties is limited to farms, home occupations, and agriculturally related non-

residential or community facility uses with an approved Special Use Permit. A logistics business does not qualify under these categories.

Regarding exterior lighting, the applicant states there is on-site lighting. During the site visit, staff observed that there is a cut-off light fixture attached to the carport where the semi-truck is stored. The height of the light fixture does not exceed the height of the carport and is directed downward to cast light onto the unpermitted driveway.

As such, staff recommend the following conditions:

- *There shall be no advertising signs on the subject property relating to the trucking operations on the subject property.*
- *Exterior lighting related to the parked commercial vehicles shall be installed in a manner that is non-obtrusive and not directed toward adjacent properties or the adjacent roadway.*

H. *Provision for **required yards and other green space.***

**Analysis:** The requested special use permit does not propose buildings that would encroach into required setbacks/yards. Commercial vehicle parking as proposed may conflict with yard requirements under LDC Sec. 4.3.21., but staff proposes conditions to address the potential conflict in section V.C. of this report, which covers off-street parking.

As such, staff does not recommend any conditions relating to required yards and other green space.

I. *Provision for general **compatibility** with adjacent properties and other properties in the surrounding area.*

**Analysis:** Compatibility is defined as a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition. Figure 3 shows the existing uses on the surrounding properties. At this time, there are several large lot agricultural/residential large lot agricultural/residential properties, both vacant and improved. The application proposes to park two (2) truck-trailer commercial vehicles exceeding 16,000 pounds used for a business that does not conduct operations on-site (e.g., manufacturing, packaging, loading). If approved, staff recommends allowing one truck (no trailer) or one truck-trailer combination if an appropriate letter of support is provided from the adjacent property owner to the north. However, this trailer shall not be loaded upon entering and exiting from this property to reduce the potential for wear-and-tear on a local subdivision road that is not designed for heavy truck traffic.

Under a valid SUP the property owner could continue to operate his logistics company – Solares Transport, LLC – from this property. This use would only be permitted by right in Regional Business (B-4) and Heavy Business (B-5) zoning districts. A regional/heavy business use that is not associated with bona-fide

agricultural uses in the middle of a Rural Area without a special use permit would be inconsistent with Future Land Use Element (FLUE) policy 2.1.16 of the Marion County Comprehensive Plan, which covers the Rural Lands future land use designation.

Staff find that this use is incompatible with the surrounding area unless the County imposes and enforces conditions to mitigate negative externalities such as noise, dust, light, traffic, roadway maintenance, and visual impact. Several conditions in previous sections of this report address these compatibility concerns, such as parking setback requirements from neighboring residences, driveway design and paving requirements, opaque screening requirements, and others. There are other requirements from the LDC that relate to compatibility and provided as conditions under this section of analysis.

If approved, staff recommend the following conditions:

- *Loaded vehicles and storage of commercial freight is not permitted on the subject property at any time. The commercial vehicles must be unloaded upon entering the property.*
- *No mechanical repairs or maintenance on the commercial vehicle(s) shall take place on-site.*
- *Vehicles of any size with actively operating (running) cab or that have refrigerating cooling units are prohibited.*

J. *Provision for meeting any **special requirements** required by the site analysis for the particular use involved.*

**Analysis:** Staff notes that unlike a variance which runs with the land and is recorded in the public records, a special use permit is not recorded. As a result, a subsequent owner will not have notice of the requirements. Staff has recommended a condition that will void the SUP if the property is sold or changes ownership.

Furthermore, a second asphalt millings driveway was constructed to provide commercial vehicle parking. As a result, the site exceeds the threshold for stormwater compliance review due to the amount of impervious surfaces. The driveway was not permitted and as such did not receive a stormwater compliance review. The owner will need to work with OCE Stormwater to ensure no adverse stormwater impacts impact adjacent property owners or County right-of-way.

As such, staff recommends the following conditions:

- *Mr. Alvera shall work with the Marion County Stormwater to bring the subject property into compliance with impervious coverage requirements of the Land Development Code.*
- *This SUP runs with the property owner (Roberto Solares Alvera) and not with the subject property. Any sale of the property, or change of ownership, will void this SUP.*

- *The operator of the commercial vehicles (Roberto Solares Alvera) shall reside on site.*
- *Two trucks and two trailers may be parked on site for the first active 30 days of the SUP. The number will be reduced to one truck by the end of the 30 days. Alternatively, the number will be reduced to one truck-trailer combination if an adequate letter of support written by the property owner of parcel 41869-007-00 is provided to Growth Services within the first active 30 days of the Special Use Permit. By the end of the 30-day period, the property owner will submit the vehicle identification number (VIN) of the truck, and if applicable the trailer, that will be parked on site by the end of the 30-day period. The VIN(s) will be submitted in writing or email to Growth Services. The property owner may only select from the following selection of VINs:*

<b>Semi-Truck/Tractors</b>	<b>Trailers</b>
2006 Freightliner VIN #1FUJAPAV26DW29600	2020 Utility VIN #1UYVS2532L3918304
1999 Peterbilt VIN #1XP5DB9X4XD464500	1998 Wabash VIN #1JJF48ZW4WS470776

- *The SUP shall expire on November 17, 2030; however, this SUP may be eligible for administrative renewal three (3) times for up to five (5) years by filing a SUP administrative renewal form with Growth Services. If an administrative renewal is approved, the Growth Services Director (or position equivalent to Growth Services Director at that time) shall issue a written instrument signed and issued by said director. Under the following circumstances, the SUP will not be eligible for administrative renewal and may be subject to revocation:*
  - *There are unresolved violations of the Land Development Code, the County Code of Ordinances, and/or the conditions of this SUP.*
  - *Property owners within 300 feet of the subject property have submitted complaints to Growth Services or other relevant departments regarding activities conducted under this SUP.*
  - *The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).*

Based on the above findings, Staff concludes the requested SUP is **not consistent** with FLUE Policy 2.1.5 or LDC Sections 2.8.2.D and 2.8.3.B and staff recommends **DENIAL**. However, should the Board of County Commissioners or the Planning & Zoning Commission disagree with recommendation by staff, the following conditions in **Section VII. STAFF RECOMMENDATION** has been provided to address the nine (9) requirements outlined in LDC Section 2.8.2.D. Staff recommend that the conditions be imposed to mitigate impacts to the surrounding properties.

## VI. ALTERNATIVE RECOMMENDATIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to the Board of County Commissioners to **APPROVE WITH CONDITIONS** the special use permit amendment.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, amend the findings and conclusions contained herein so as to support the approval of the Ordinance with amended conditions and make a recommendation to the Board of County Commissioners to adopt a proposed Ordinance to **APPROVE WITH AMENDED CONDITIONS** the special use permit.
- C. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance, and make a recommendation to the Board of County Commissioners to **TABLE** the application for up to two months in order to provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.

## VII. STAFF RECOMMENDATION

- A. Staff recommends the Planning and Zoning Commission enter into the record the Staff Report and all other competent substantial evidence presented at the hearing and make a recommendation to the Board of County Commissioners to recommend **DENIAL** of the special use permit.
- B. In the event that the Commission disagrees with staff recommendation, to address compliance with LDC Sections 2.8.2.D and 2.8.3.B, staff recommends that the following conditions are imposed:
  - 1. *Commercial vehicle ingress/egress shall only use an access point on SE 150<sup>th</sup> Street that is approved by the Office of County Engineer.*
  - 2. *Mr. Alvera shall pave and upgrade the existing driveway with sufficient radii accommodate the proposed commercial usage. The physical characteristics shall be dictated by the Office of the County Engineer. Mr. Alvero shall be required to apply for appropriate permits within thirty days of approval of this SUP. The driveway shall be upgraded within sixty days of receiving approved permits from the Office of County Engineer.*
  - 3. *Mr. Alvera shall work with the Marion County Stormwater to bring the subject property into compliance with impervious coverage requirements of the Land Development Code.*
  - 4. *All truck-trailer parking will be contained on parcel 41869-012-01.*
  - 5. *Truck-trailers are prohibited from parking in the front yard of the property.*
  - 6. *The parcel located directly north of Mr. Alvera's property has a residence within 100 feet of the proposed parking area. If Michael Schaffer, the current property owner of parcel 41869-007-00 provides a written letter of support consenting to commercial vehicle parking within 100 feet of their residence, Mr. Alvera is permitted to park one truck-trailer combination, within that 100-foot buffer zone consistent with other conditions of this SUP.*

*Should the parcel 41869-007-00 undergo change of ownership, a written letter of support from the new owner(s) must be provided to Growth Services in order to maintain this SUP. If the current or future property owner(s) of parcel 41869-007-00 do not consent to commercial vehicle parking within the 100-foot buffer, only a truck/tractor (without trailer) may be parked on-site and must be parked outside of the 100-foot buffer.*

7. *Mr. Alvera will provide and maintain a solid opaque privacy fence, a minimum of 8' in height along the east, west, and south side of the vehicle parking area, consistent with other conditions of this SUP. Along the southern portion of the parking area, Mr. Alvera will provide and maintain an 8' tall opaque gate. The fence and gate must not encroach into County maintained right of way. Mr. Alvero shall be required to apply for appropriate permit(s) for screening with Building Safety within thirty days of approval of this SUP. All screening shall be installed within 30 days of receiving approved permit(s).*
8. *There shall be no advertising signs on the subject property relating to the trucking operations on the subject property.*
9. *Exterior lighting related to the parked commercial vehicles shall be installed in a manner that is non-obtrusive and not directed toward adjacent properties or the adjacent roadway.*
10. *Loaded vehicles and storage of commercial freight is not permitted on the subject property at any time. The commercial vehicles must be unloaded upon entering the property.*
11. *No mechanical repairs or maintenance on the commercial vehicle(s) shall take place on-site.*
12. *Vehicles of any size with actively operating (running) cab or that have refrigerating cooling units are prohibited.*
13. *This SUP runs with the property owner (Roberto Solares Alvera) and not with the subject property. Any sale of the property, or change of ownership, will void this SUP.*
14. *The operator of the commercial vehicles (Roberto Solares Alvera) shall reside on site.*
15. *Two trucks and two trailers may be parked on site for the first active 30 days of the SUP. The number will be reduced to one truck by the end of the 30 days. Alternatively, the number will be reduced to one truck-trailer combination if an adequate letter of support written by the property owner of parcel 41869-007-00 is provided to Growth Services within the first active 30 days of the Special Use Permit. By the end of the 30-day period, the property owner will submit the vehicle identification number (VIN) of the truck, and if applicable the trailer, that will be parked on site by the end of the 30-day period. The VIN(s) will be submitted in writing or email to Growth Services. The property owner may only select from the following selection of VINs:*

**Semi-Truck/Tractors**

2006 Freightliner VIN #1FUJAPAV26DW29600

1999 Peterbilt VIN #1XP5DB9X4XD464500

**Trailers**

2020 Utility VIN #1UYVS2532L3918304

1998 Wabash VIN #1JJF48ZW4WS470776

16. *The SUP shall expire on November 17, 2030; however, this SUP may be eligible for administrative renewal three (3) times for up to five (5) years by filing a SUP administrative renewal form with Growth Services. If an administrative renewal is approved, the Growth Services Director (or position equivalent to Growth Services Director at that time) shall*

*issue a written instrument signed and issued by said director. Under the following circumstances, the SUP will not be eligible for administrative renewal and may be subject to revocation:*

- *There are unresolved violations of the Land Development Code, the County Code of Ordinances, and/or the conditions of this SUP.*
- *Property owners within 300 feet of the subject property have submitted complaints to Growth Services or other relevant departments regarding activities conducted under this SUP.*
- *The Growth Services Manager determines that renewal should be considered directly by the Board of County Commissioners through the Special Use Permit review process (or review process equivalent at that time).*

## **VIII. PLANNING AND ZONING COMMISSION RECOMMENDATION**

Denial (4-0).

## **IX. BOARD OF COUNTY COMMISSIONERS' ACTION**

TBD.

## **X. LIST OF ATTACHMENTS**

- A. SUP Application
- B. DRC Comments
- C. Site Photos
- D. Code Enforcement Report



Marion County Board of County Commissioners

Growth Services 2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2600 Fax: 352-438-2601

APPLICATION COMPLETE DATE COMPLETED 8/28/25 INITIALS EM TENTATIVE MEETING DATES P&Z PH 10/27/25 BCC/P&Z PH 11/17 or 11/18/25

SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000.00

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: I need to park my work equipment, 2 trucks and two Trailer, on my property

Legal Description: (Please attach a copy of the deed and location map.) Parcel Zoning: R1

Parcel account number(s): 41869-012-01

Property dimensions: Total acreage: 1.0

Directions:

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. Please print all information, except for the Owner and Applicant/Agent signature.

Roberto Solars Alvarez

Property Owner name (please print) 2255 SE 150th St

Mailing Address Summerfield FL 34491

City, State, Zip code 352-571-0477

Phone number (include area code) solarstransport@yahoo.com

E-mail address

Signature

Applicant or agent name (please print)

Mailing Address

City, State, Zip code

Phone number (include area code)

E-mail address

Signature

PLEASE NOTE: A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or denied. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

Table with 5 columns: Project No., Code Case No., Application No., Rcvd by, Rcvd Date, FLUM, Zoning Map No., Rev. Includes handwritten entries like 2006050029, 992655, 33321, EM, 8/27/25, 1:30pm, Kural, 202, 07/1/2019.

## FINDING OF FACTS

(1) Provisions for ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

**ANSWER: The area has access and egress to the entire facility, there is no obstruction for vehicles or pedestrians, the flow and control of traffic is safe, it has good access in case of fire and disaster.**

(2) Provision for off-street parking and loading areas, where required, with particular attention to the items in 1.a. above and the economic, noise, glare, or odor effects of the Special Use Permit on adjoining properties and properties generally in the surrounding area.

**ANSWER: This area is for truck parking only. There are no noises or odors that could disturb adjacent properties. It has lighting and security cameras.**

(3) Provision for refuse and service areas, with particular reference to the items in 1.a. and 1.b. above.

**ANSWER: It has a garbage area, is kept clean, and does not affect traffic or adjacent properties in any way.**

(4) Provision for utilities, with reference to locations, availability, and compatibility.

**ANSWER: No public services are provided.**

(5) Provision for screening and buffering of dissimilar uses and of adjacent properties where necessary.

**ANSWER: It is not used for storage, only for parking.**

(6) Provision for signs, if any, and exterior lighting with consideration given to glare, traffic safety, economic effects, and compatibility and harmony with properties in the surrounding area.

**ANSWER: There are no signs, only lighting and security cameras. This does not affect traffic safety or the compatibility and harmony of the properties in the area.**

(7) Provision for required yards and other green space.

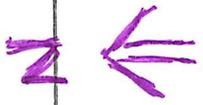
**ANSWER: It does not affect any other yards or green spaces.**

(8) Provision for general compatibility with adjacent properties and other property in the surrounding area.

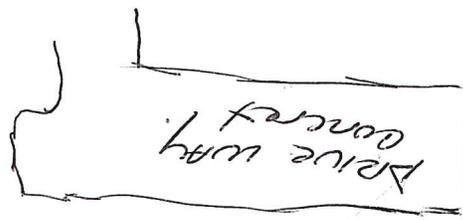
**ANSWER: It is generally compatible with all other properties; there is respect for the use of the property.**

(9) Provision for meeting any special requirements required by the site analysis for the particular use involved.

**ANSWER: This is not a meeting place; it is a parking lot for the property owner's work vehicles.**



Home



SE 150th Street



Drive way.



**LIST OF VIN NUMBERS OF TRUCKS AND TRAILERS TO BE  
PARKED ON THE PROPERTY**

**2255 SE 150TH ST**

**SUMMERFIELD FL 34491**

1FUJAPAV26DW29600	2006 FRHT	TAIDAMES SOCA (OWNER)	FL
1XP5DB9X4XD464500	1999 PTRB	TAIDAMES SOCA (OWNER)	FL
1UYVS2532L3918304	2020 UTIL	SOLARES TRANSPORT LLC (OWNER )	UT
1JJF48ZW4WS470776	1998 WABA	RENT	FL



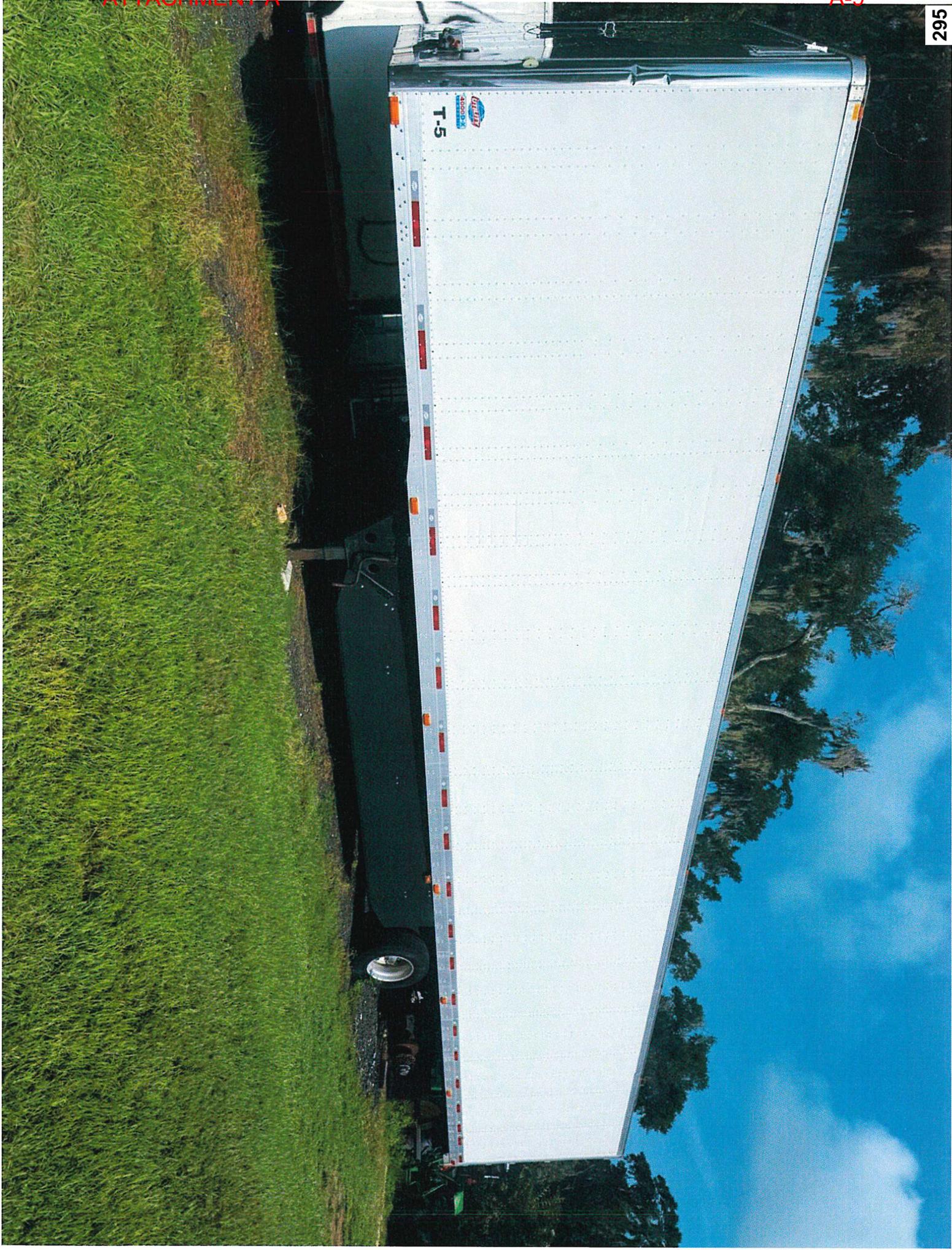
MC 935323  
USDOT 2453728  
GVW 80,000  
VIN 6DW29600

Salvo's  
TRANSPORT LLC  
Est. 87



MC 935323  
USDOT 2453728  
GVW 80,000  
VIN XD464500

*Spartan*  
TRANSPORT, LLC





437  
10.00  
1750.00

Prepared by and return to:  
Pam Kruger  
All American Land Title Insurance Agency, LTD  
2226 East Silver Springs Boulevard  
Suite B  
Ocala, FL 34470  
File No: 18-351

Parcel Identification No: 41869-012-01

GENERAL WARRANTY DEED

This indenture made the 19<sup>th</sup> day of September, 2018 between Michael K. Smothers, a single person, and Mitchell Smothers, whose post office address is 4444 NW 82 Road, Gainesville, FL 32653 Grantor, and Roberto Solares, whose post office address is 2255 SE 150 Street, Summerfield, FL 34491, Alvera Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Marion, Florida, to-wit:

Commence at the Southeast corner of Section 16, Township 17 South, Range 22 East, MARION County, Florida; thence North a distance of 30.00 feet, thence S89°53'00"W, along the Northerly right-of-way line of S.E. 150th Street a distance of 1054.24 feet to the Point of Beginning; thence continue S89°53'00"W, along said Northerly right-of-way line a distance of 269.90 feet; thence N00°01'24"E, a distance of 161.35 feet; thence N89°53'00"E, a distance of 269.90 feet; thence S00°01'24"W, a distance of 161.35 feet to the Point of Beginning.

Said property is not the homestead of the Grantor, Mitchell Smothers under the laws and constitution of the State of Florida in that neither Grantor, Mitchell Smothers or any members of the household of Grantor, Mitchell Smothers reside thereon.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants title to said land and will defend same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2018.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Sign: [Signature]

Print: Pamela Kruger

MK Smothers (Seal)  
Michael K. Smothers

Sign: [Signature]

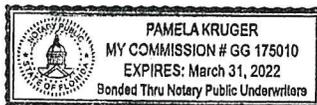
Print: [Signature]

Mitchell Smothers by MK Smothers POA (Seal)  
Mitchell Smothers by Michael K. Smothers,  
Attorney-in-Fact

STATE OF FLORIDA  
COUNTY OF MARION

The foregoing instrument was acknowledged before me this 13 day of September, 2018, by Michael K. Smothers, who has produced a drivers license as identification.

[Signature]  
Signature of Notary Public: Pamela Kruger  
Printed Name:  
My commission expires: \_\_\_\_\_



Jimmy H. Cowan, Jr., CFA

## Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Property Record Card

41869-012-01

[GOOGLE Street View](#)

Prime Key: 3507011

[MAP IT+](#)

Current as of 8/26/2025

Property Information

ALVERA ROBERTO SOLARES  
2255 SE 150TH ST  
SUMMERFIELD FL 34491-3827

Taxes / Assessments:

Map ID: 202

Millage: 9001 - UNINCORPORATEDM.S.T.U.PC: 01

Acres: 1.00

Situs: 2255 SE 150TH ST  
SUMMERFIELD

Current Value

Land Just Value	\$34,510		
Buildings	\$304,874		
Miscellaneous	\$30,125		
Total Just Value	\$369,509		
Total Assessed Value	\$273,249	Impact	(\$96,260)
Exemptions	(\$50,722)	<u>Ex Codes:</u> 01 38	
Total Taxable	\$222,527		
School Taxable	\$248,249		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$31,110	\$300,750	\$31,190	\$363,050	\$265,548	\$50,000	\$215,548
2023	\$31,110	\$283,910	\$2,552	\$317,572	\$229,785	\$50,000	\$179,785
2022	\$22,950	\$252,634	\$2,573	\$278,157	\$223,092	\$50,000	\$173,092

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">6837/0685</a>	09/2018	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$250,000
<a href="#">5918/1607</a>	08/2013	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$249,900
<a href="#">4426/1656</a>	04/2006	07 WARRANTY	0	U	V	\$100
<a href="#">4422/0413</a>	04/2006	07 WARRANTY	0	U	V	\$100

Property Description

SEC 16 TWP 17 RGE 22  
COM AT THE SE COR OF SEC 16 TH N 30 FT TH S 89-53-00 W  
ALONG THE NLY ROW LINE OF SE 150TH ST A DISTANCE OF 1054.24  
FT TO THE POB TH CONT S 89-53-00 W 269.90 FT TH N 00-01-24  
E 161.35 FT TH N 89-53-00 E 269.90 FT TH S 00-01-24 W

161.35 FT TO THE POB

Parent Parcel: 41869-007-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		.0	.0	A1	1.00	AC	20,300.0000	1.00	1.70	1.00	34,510	34,510
Neighborhood 9470											Total Land - Class \$34,510	
Mkt: 10 70											Total Land - Just \$34,510	

Traverse

**Building 1 of 1**

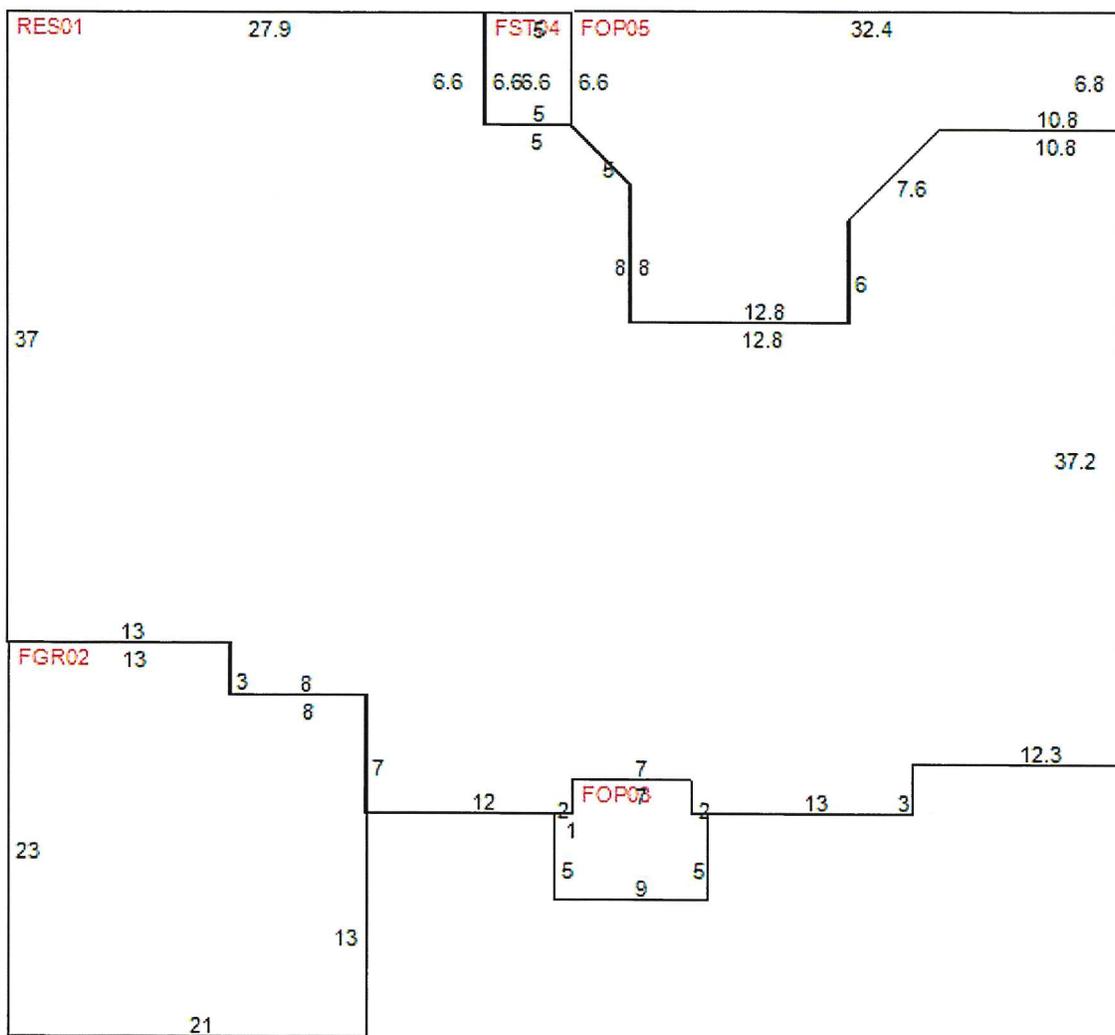
RES01=U7L8U3L13U37R27,9D6,6R5A135|5D8R12,8U6A45|7,6R10,8D37,2L12,3D3L13U2L7D2L12.

FGR02=U7L8U3L13D23R21U13.R12

FOP03=U2R7D2R1D5L9U5R1.L12U7L8U3L13U37R27,9

FST04=D6,6R5U6,6L5.R5

FOP05=D6,6A135|5D8R12,8U6A45|7,6R10,8U6,8L32,4.



Building Characteristics

**Improvement** 1F - SFR- 01 FAMILY RESID  
**Effective Age** 3 - 10-14 YRS  
**Condition** 1  
**Quality Grade** 700 - GOOD  
**Inspected on** 11/27/2023 by 210

**Year Built** 2007  
**Physical Deterioration** 0%  
**Obsolescence: Functional** 0%  
**Obsolescence: Locational** 0%  
**Architecture** 0 - STANDARD SFR  
**Base Perimeter** 246

Type	ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES	0132	- CONC BLK-STUCO	1.00	2007	N	0 %	0 %	2,417	2,417
FGR	0232	- CONC BLK-STUCO	1.00	2007	N	0 %	0 %	459	459
FOP	0301	- NO EXTERIOR	1.00	2007	N	0 %	0 %	59	59
FST	0434	- WD FRAME-STUCO	1.00	2007	N	0 %	0 %	33	33
FOP	0501	- NO EXTERIOR	1.00	2007	N	0 %	0 %	386	386

**Section: 1**

<b>Roof Style:</b> 12 HIP	<b>Floor Finish:</b> 24 CARPET	<b>Bedrooms:</b> 3	<b>Blt-In Kitchen:</b> Y
<b>Roof Cover:</b> 08 FBRGLASS SHNGL	<b>Wall Finish:</b> 16 DRYWALL-PAINT	<b>4 Fixture Baths:</b> 1	<b>Dishwasher:</b> Y
<b>Heat Meth 1:</b> 20 HEAT PUMP	<b>Heat Fuel 1:</b> 10 ELECTRIC	<b>3 Fixture Baths:</b> 1	<b>Garbage Disposal:</b> N
<b>Heat Meth 2:</b> 00	<b>Heat Fuel 2:</b> 00	<b>2 Fixture Baths:</b> 0	<b>Garbage Compactor:</b> N
<b>Foundation:</b> 6 MONOLITC SLAB	<b>Fireplaces:</b> 0	<b>Extra Fixtures:</b> 2	<b>Intercom:</b> N
<b>A/C:</b> Y			<b>Vacuum:</b> N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width	
190 SEPTIC 1-5 BTH	1.00	UT	99	2007	2	0.0	0.0	
256 WELL 1-5 BTH	1.00	UT	99	2007	2	0.0	0.0	
159 PAV CONCRETE	1,950.00	SF	20	2007	3	0.0	0.0	
156 PAVING BRICK	84.00	SF	20	2008	1	0.0	0.0	
226 RES SWIM POOL	364.00	SF	20	2023	5	13.0	28.0	
099 DECK	608.00	SF	50	2023	3	0.0	0.0	
UDU UTILITY-UNFINS	288.00	SF	40	2023	1	12.0	24.0	
UDC CARPORT-UNFIN	884.00	SF	40	2023	3	26.0	34.0	
UDG GARAGE-UNFINSH	500.00	SF	40	2023	3	20.0	25.0	
Total Value - \$30,125								

Appraiser NotesPlanning and Building\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
2022062363	6/23/2022	9/20/2023	INSTALLATION OF INGROUND GUNITE POOL 13.1 X 26.3 W 4.6 DEEP
2017041019	4/10/2017	7/13/2017	12X25 OPEN CARPORT
M050470	5/1/2006	3/1/2007	SFR

Cost Summary

Buildings R.C.N.	\$332,014	1/17/2024			
Total Depreciation	(\$79,682)				
Bldg - Just Value	\$252,332		<b>Bldg Nbr</b>	<b>RCN</b>	<b>Depreciation</b>
Misc - Just Value	\$30,125	1/17/2024	1	\$332,014	(\$79,682)
Land - Just Value	\$34,510	5/22/2025			<b>Depreciated</b>
Total Just Value	\$316,967				\$252,332

# Development Review Comments Letter

9/26/2025 1:27:45 PM

**ROBERTO SOLARES ALVERA**  
**ZO SUP #33321**

ID	DESCRIPTION	REMARK	STATUS	DEPT
1	Special Use Permit	N/A	INFO	911
2	Special Use Permit	Stormwater is not opposed to the special use permit. The applicant is requesting a SUP for the purpose of parking work truck and a trailer. Parcel # 41869-012-01 is currently zoned A-1 and is 1 acre in size. There are no FEMA Flood Zones or County Flood Prone Areas on this site. Per the MCPA, this site currently has 7,668 SF of impervious coverage. This site will be subject to a Major Site Plan or waiver when its existing and proposed impervious coverage exceeds 9,000 SF.	INFO	ENGDRN
3	Special Use Permit	<p>CONDITIONAL APPROVAL - Subject to allowing only one truck to park on the site, prohibiting any other commercial activity, removal of all stored materials, and the paving of the existing unpaved driveway.</p> <p>SE 150th Street is a paved County maintained subdivision street. The parcel has two driveway connections. One is a paved driveway which appears to be the one used for the commercial vehicle traffic and the other is unpaved which appears to be used for residential traffic. The request is to park two trucks overnight. However, it is observed from aerial imagery and from the street that there is an area used for the stockpile of significant amounts of materials including onsite equipment like tractors to load and unload materials. It appears this address isn't just being used to park the trucks but to store material that might be hauled throughout the day. SE 150th Street is a subdivision street that is not designed for routine heavy truck traffic. Allowing one truck to park overnight only creates two truck trips per day on this road. If the location is also used to store and haul construction material, a significantly higher amount of truck traffic will be generated.</p>	INFO	ENGTRF
4	Special Use Permit	Approved	INFO	FRMSH
5	Special Use Permit	no comment	INFO	LSCAPE
6	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	LUCURR

7	Special Use Permit	Parcel 41869-012-01 is within the Marion County Utility service area; however, it is outside of connection distance. The requested Special Use Permit will not impact utilities or connection distance. Marion County Utilities has no comments.  The parcel is located outside the Urban Growth Boundary and the Primary Springs Protection Zone.	INFO	UTIL
8	Special Use Permit	The review will be conducted at the time of the reporting process.	INFO	ZONE

### 251104SU Site and Area Photographs

Sign was posted and photos were taken on October 16<sup>th</sup>, 2025.

Figure 1

Sign Posted at Subject Site (Close Up), Facing N



# ZONING

## Notice of Public Hearing Marion County

Application is being made to:

- Change zoning from: \_\_\_\_\_  
to: \_\_\_\_\_
- Special Use Permit** to allow for parking  
of two(2) commercial semi-trucks and trailers, and
- Variance to** Work equipment in A-1 Zoning.

On this property which is owned by:

Robert Solares Alvera

All hearings to be held at:

601 SE 25<sup>th</sup> Avenue

In the Board of County Commissioners Auditorium

Hearing dates & times:

Zoning Commission: date 10/27/25 time 5:30 PM

Board of Adjustment: date \_\_\_\_\_ time \_\_\_\_\_

Board of County Commissioners: date 11/17/25 time 1:30 PM

For further information call 438-2675

It is unlawful to remove this notice until the above described  
Public Hearing has been held.

ID # 251104SU

Zoning Director: Chuck Varadin

Figure 2

Sign Posted at Subject Site (Backed Up), Facing N



*Figure 3*  
*SE 150<sup>th</sup> St, Facing W*



*Figure 4*  
*Neighboring Residence, Facing S*



*Figure 5*  
*SE 150<sup>th</sup> St, Facing E*



*Figure 6*  
*Culvert #1 Under Unpermitted Driveway, Facing W*



Figure 7

Culvert #2 Under Unpermitted Driveway, Facing E



Figure 8

Unpermitted Driveway w/ Parking Area (Far), Facing N



Figure 9

Unpermitted Driveway w/ Parking Area (Close), Facing N



Figure 10

40' Access Easement Along West Boundary, Facing N



Figure 11

40' Access Easement & Property Line Vegetation (1/2), Facing NW

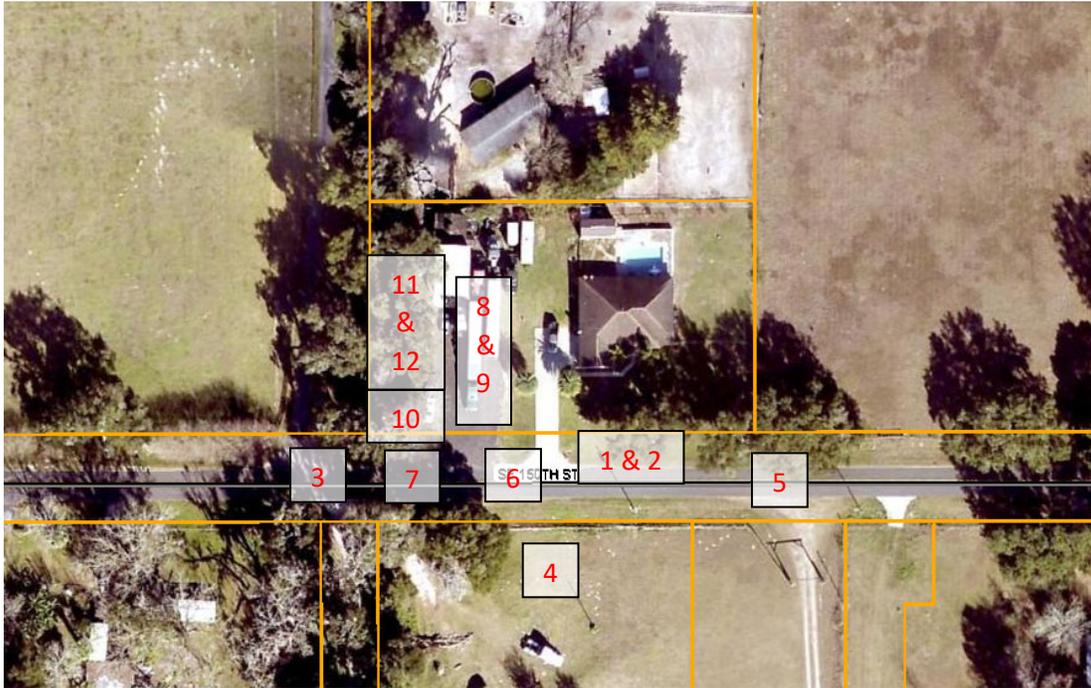


Figure 12

40' Access Easement & Property Line Vegetation (2/2), Facing SW



Figure 13  
Location of Photos from Aerial View





## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 992655-SA

August 19, 2025

ROBERTO SOLARES ALVERA  
SOLARES TRANSPORT LLC  
R/A SOCA TAIDAMES  
2255 SE 150TH ST  
SUMMERFIELD, FL 34491

PARCEL #: 41869-012-01

### NOTICE OF VIOLATION

On August 15, 2025, at 10:22 a.m., an inspection was made of your property located at 2255 SE 150TH ST, SUMMERFIELD, in Marion County. This inspection revealed a violation of the **Marion County Land Development Code, Article 4**. Specifically noted: All semis and trailers needs to be removed. Permit required for connection of driveway.

- **Marion County Land Development Code, Article 4, Division 3, Section 4.2.1, Agricultural Zoning Classifications, by operating a business in an improper zone.** Cease operating the business in an improper zone and remove all business related equipment, vehicles, inventory, supplies and debris.
- **Marion County Land Development Code, Article 4, Division 3, Section 4.3.21, Parking of commercial vehicles, prohibits parking or storing a commercial vehicle in excess of 16,000 lbs. (GVW) in any public or private right-of-way, or any residentially or agriculturally zoned classifications (including mobile home and RV parks).** Cease parking/storing the commercial vehicle(s) in violation of the ordinance until you have acquired an approved temporary use permit or special use permit from the Marion County Zoning Division.
- **Marion County Land Development Code, Article 2, Division 22, Section 2.22.2 Driveway Connection, Applicability.** A Driveway Connection Permit is required for any development or construction activity accessing County right-of-way. If the applicant is submitting through the Building Permit process, a separate application is not required.
- **Marion County Code, Chapter 16, Article III, Section 16-92, Accumulation of junk; unserviceable vehicles. Possible unserviceable vehicle(s).** *Definition of "Unserviceable Vehicle" means any vehicle which is required to be licensed by the state if used on public streets and which remains for a period of seven (7) days in such condition that it cannot be started or moved under its own power or in its normal and usual manner, without repair or the addition of parts, or would be in violation of section 316.215, Florida Statutes, if used on public streets. This term does not include an automobile that is more than twenty (20) years old and undergoing repair or restoration inside a completely enclosed building.*

This property will be re-inspected after **September 4, 2025**, and hopefully, this matter will be cleared at that time. Please contact me to discuss the matter and/or to request a re-inspection. Failure to clear a violation **will** result in the issuance of a citation or a notice to appear before the Marion County Code Enforcement Board, which could result in a lien against any real or personal property owned by you. In the event a fine is levied against you by the Code Enforcement Board, a collection agency fee and administrative costs will also be added to the total payoff amount and the lien will be reported to credit bureaus.

Respectfully,

Scott Anderson

Code Enforcement Officer

**352-671-8913**

Scott.Anderson@MarionFL.org



## Marion County Board of County Commissioners

Growth Services ▪ Code Enforcement

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-671-8900  
Fax: 352-671-8903

Case No.: 992655-SA

September 16, 2025

ROBERTO SOLARES ALVERA  
SOLARES TRANSPORT LLC  
R/A SOCA TAIDAMES  
2255 SE 150TH ST  
SUMMERFIELD, FL 34491

Parcel No.:41869-012-01

### STILL IN VIOLATION NOTICE

This is to formally notify you that your property located at 2255 SE 150TH ST, SUMMERFIELD, was reinspected on September 9, 2025, and you are considered to still be in violation of Marion County Codes and Ordinances pertaining to: All semis and trailers needs to be removed. Permit required for connection of driveway.

- **Marion County Land Development Code, Article 4, Division 3, Section 4.2.1, Agricultural Zoning Classifications, by operating a business in an improper zone.**
- **Marion County Land Development Code, Article 4, Division 3, Section 4.3.21, Parking of commercial vehicles**
- **Marion County Land Development Code, Article 2, Division 22, Section 2.22.2 Driveway Connection**
- **Marion County Code, Chapter 16, Article III, Section 16-92, Accumulation of junk; unserviceable vehicles**

If the violation(s) is(are) not corrected on or before **September 30, 2025**, a citation or a notice to appear before the Marion County Code Enforcement Board **will** be issued, which could result in a lien against any real or personal property owned by you. In the event a fine is levied against you by the Code Enforcement Board, a collection agency fee and administrative costs will also be added to the total payoff amount and the lien will be reported to credit bureaus. Please contact me to discuss the matter and/or to request a re-inspection. I am hopeful you can be of assistance in getting the violation corrected.

Respectfully,

*Scott Anderson*

Code Enforcement Officer  
352-671-8913

Scott.Anderson@MarionFL.org



# Marion County

## Board of County Commissioners Planning and Zoning

### Agenda Item

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**File No.:** 2025-21240

**Agenda Date:** 11/17/2025

**Agenda No.:** 1.2.4.

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**SUBJECT:**

**251108ZC - Agri-Source, Inc, Zoning Change from General Agriculture (A-1) to Heavy Industrial (M-2) Zone, on an Approximate 1.6 Acre Portion of a 36.77 Acre Parcel, Parcel Account Number 15861-000-00, Address 4001 NE 35<sup>th</sup> Street, Ocala, FL, 34479**

**INITIATOR:**

**Kenneth Weyrauch, Deputy Director**

**DEPARTMENT:**

**Growth Services**

**DESCRIPTION/BACKGROUND:**

3855 35<sup>th</sup> Street LLC., on behalf of the owner, Agri-Source, LLC., filed a rezoning application to change a ±1.6-acre portion of an overall ±36.77-acre parcel from General Agriculture (A-1) to Heavy Industrial (M-2). The subject parcel is located at 4001 NE 35<sup>th</sup> St., Ocala, FL. The intent is to rezone this non-conforming portion of land to match the rest of the parcel. The subject property is situated inside the Urban Growth Boundary (UGB) and is located within the Primary Spring's Protection Overlay Zone (P-SPOZ) as well as the Silver Springs Community Redevelopment Area (SSCRA). Planning staff is recommending denial as the subject property is along a minor gateway road within the Silver Springs CRA and a new or expanding use of this type is prohibited in the P-SPOZ without additional information. Concerning the CRA, Staff finds that M-2 zoning allows for outdoor uses that are unsightly and not compatible with the goals and the overall master plan of the CRA.

**BUDGET/IMPACT:**

None

**RECOMMENDED ACTION:**

Staff recommends denial. Planning & Zoning Commission recommends approval.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>P&amp;Z Date: 10/27/2025</b>	<b>BCC Date: 11/17/2025</b>
<b>Case Number</b>	251108ZC
<b>CDP-AR</b>	33197
<b>Type of Case</b>	<b>Rezoning</b> from General Agriculture (A-1) to Heavy Industrial (M-2) for a 1.6-acre portion of an overall 36.77-acre parcel.
<b>Owner</b>	Agri-Source LLC.
<b>Applicant</b>	3855 35 <sup>th</sup> Street LLC.
<b>Street Address/Site Location</b>	4001 NE 35 <sup>th</sup> St., Ocala, FL 34479
<b>Parcel Number(s)</b>	15861-000-00
<b>Property Size</b>	±1.6-acre portion of an overall ±36.77-acres
<b>Future Land Use</b>	Commerce District (CD)
<b>Existing Zoning Classification</b>	General Agriculture (A-1), the remaining property is currently zoned Heavy Industrial (M-2)
<b>Overlays Zones/Special Areas</b>	Urban Growth Boundary (UGB), Primary Springs Protection Overlay Zone (P-SPOZ), Silver Springs Community Redevelopment Area (SSCRA)
<b>Staff Recommendation</b>	<b>DENIAL</b>
<b>P&amp;Z Recommendation</b>	<b>Approval (3-1)</b>
<b>Project Planner</b>	Kathleen Brugnoli
<b>Related Cases</b>	None

## I. ITEM SUMMARY

3855 35<sup>th</sup> St. LLC., on behalf of the owner, Agri-Source LLC., filed a rezoning application to change a ±1.6-acre portion of an overall ±36.77-acre parcel from General Agriculture (A-1) to Heavy Industrial (M-2). The Parcel Identification Number for the property is 15861-000-00; the site is addressed as 4001 NE 35<sup>th</sup> St., Ocala, FL (see Attachment A). The intent with this rezoning is to address the A-1 portion that's currently non-conforming with the existing land use. The site is located within the Urban Growth Boundary (UGB), Primary Springs Protection Overlay Zone (P-SPOZ), and the Silver Springs Community Redevelopment Area (SSCRA).

**Figure 1**  
**General Location Map**



## II. STAFF SUMMARY RECOMMENDATION

Staff recommends **DENIAL** of the rezoning application because it is inconsistent with LDC Section 2.7.3.E.2, which requires that granting a rezoning will not adversely affect the public interest, that the rezoning is consistent with the Marion County Comprehensive Plan (MCCP), and that the rezoning is compatible with land uses in the surrounding area, and with LDC Section 4.2.28 - Heavy Industrial (M-2) zoning. The proposed rezoning may introduce issues of incompatibility based upon the intensity of use, consistency with the Comprehensive Plan, and uses within the surrounding area.

Staff's concerns with compatibility and the potential for adverse impacts to the public interest are focused mainly on the parcel's location within the SSCRA and in close proximity to Coehadjoe Park, a county owned and maintained Recreational Area, the Silver Springs Sandhill Conservation Area, and Indian Lake State Forest. The site is also within the Primary Springs Protection Zone and new and expanding permitted and special uses allowed exclusively in B-5, I-C, or M-2 zoning categories are prohibited within the Primary Springs Protection Zone, unless the owner demonstrates to the Planning/Zoning Manager, based on credible scientific data and information, that the proposed use will not pose a potential threat to groundwater quality.

**As an alternative, staff would be willing to support Light Industrial (M-1) zoning.** M-1 uses are more restrictive than M-2 and must be done indoors. Additionally, M-1 zoning would act as a transition between the NE 35<sup>th</sup> St. ROW and the existing M-2 to the "rear" (north) of the subject property.

### III. NOTICE OF PUBLIC HEARING

Notice of public hearing was mailed to 17 property owners within 300 feet of the subject property on October 10, 2025. A public hearing notice sign was also posted on the property on October 8, 2025, and was published in the Star Banner on October 13, 2025. As of the date of the initial distribution of this Staff Report, no correspondence in support or opposition to the rezoning has been received. Evidence of the public hearing notices are on file with the Growth Services Department and are incorporated herein by reference.

### IV. ANALYSIS

LDC Section 2.7.3.E.(2) provides that in making a recommendation to the Board, the Planning and Zoning Commission shall make a written finding that granting the rezoning will not adversely affect the public interest, that the proposed zoning change is consistent with the current Comprehensive Plan, and that it is compatible with land uses in the surrounding area. Staff's analysis of compliance with these three criteria are addressed below.

#### A. *How is the request compatible with surrounding uses?*

Compatibility is defined as a condition in which land uses, or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition. Figure 1 is a general location aerial displaying existing and surrounding site conditions.

Figure 2 shows the future land use designation for the overall subject property, as well as, properties to the north and east that are designated as Commerce District (CD). Other surrounding properties include Commercial (COM) land use to the west and south, while parcels within the limits of the city of Ocala indicated by

Municipality, and Public (P) land use. The properties in the area are inside the Urban Growth Boundary (UGB) and within the Primary Springs Protection Overlay Zone (P-SPOZ) as well as the Silver Springs Community Redevelopment Area (SSCRA).

**Figure 2  
FLUMS Designation**

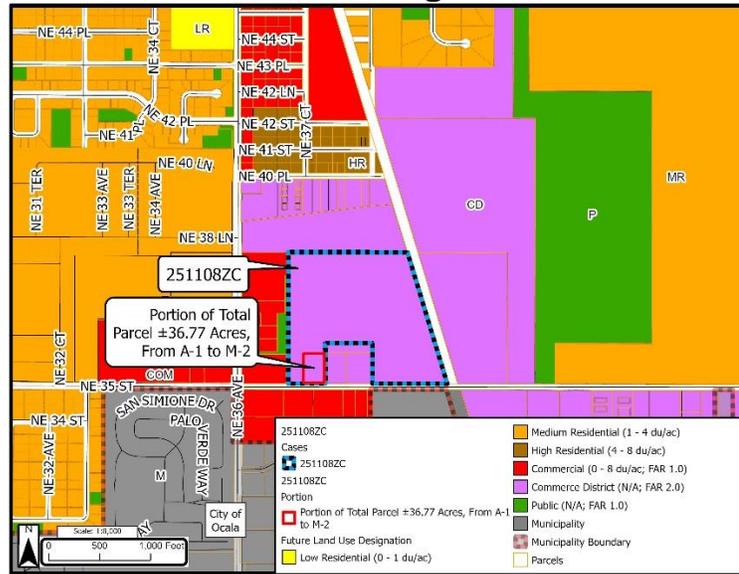


Figure 3 displays the existing zoning for the overall subject property and surrounding properties, and Figure 4 shows the proposed zoning. Staff notes the remainder of the overall subject property is currently zoned Heavy Industrial (M-2). However, the adjoining properties to the east, also fronting on NE 35<sup>th</sup> St. are zoned Light Industrial (M-1). South, across NE 35<sup>th</sup> St., the properties are zoned Heavy Business (B-5).

**Figure 3  
Zoning Classification**

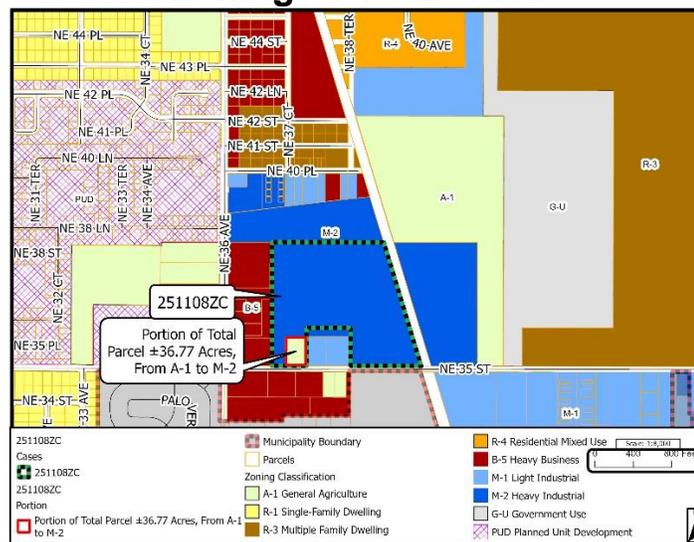
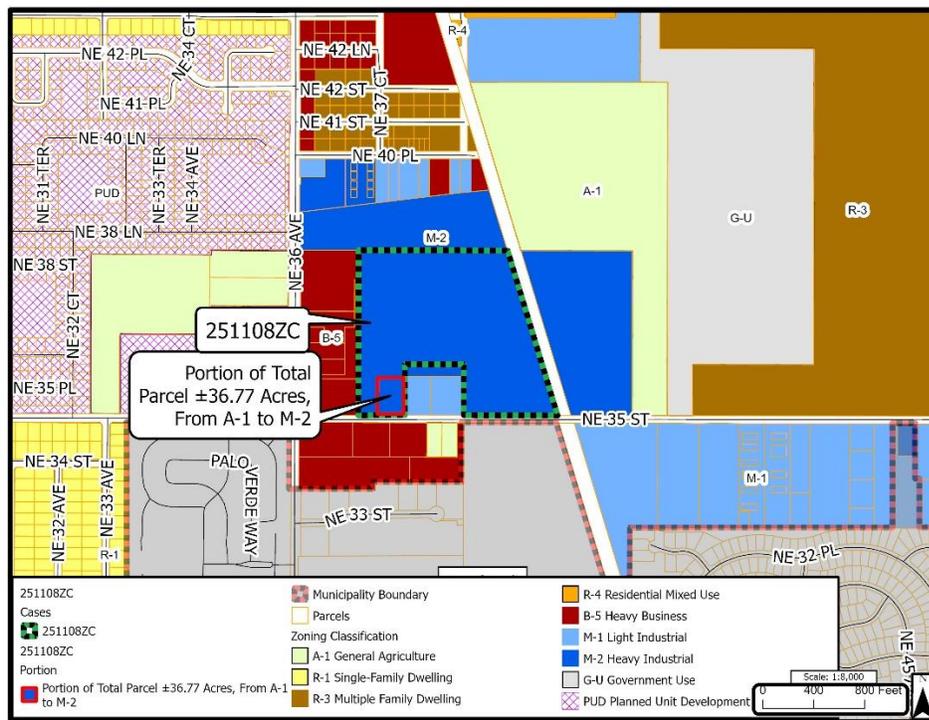


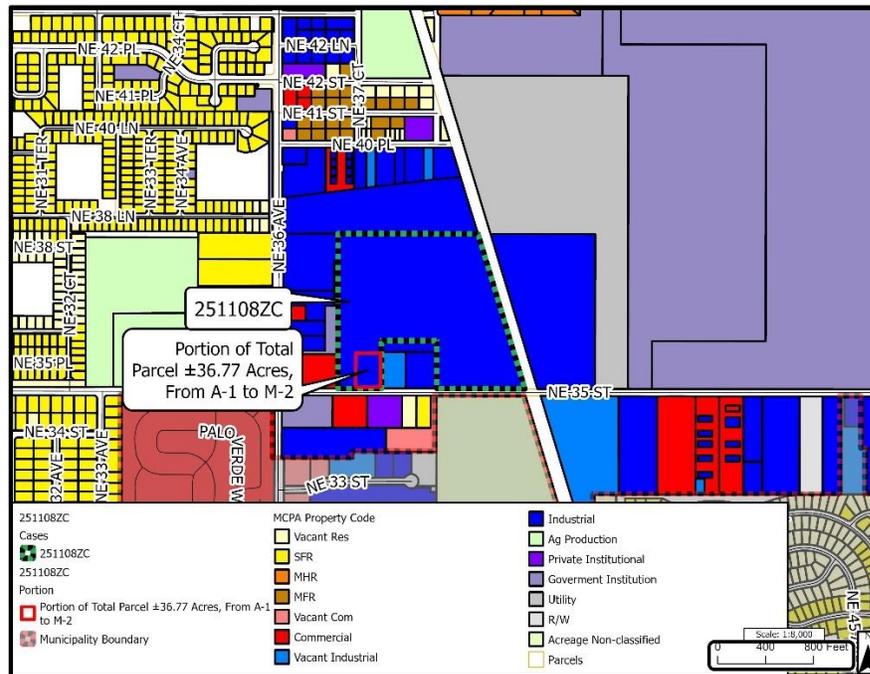
Figure 5 displays the subject and surrounding properties' existing uses as established by the Marion County Property Appraiser Office's Property Code (PC). The subject property is currently used for Industrial, with surrounding parcels primarily used for Industrial and Commercial uses.

Table A displays the information of Figures 2, 3, and 5 in tabular form. Consistent with LDC Section 2.7.3.D, staff conducted a site visit (Attachment B) and found that to the north and east of the proposed zoning change are similar uses to that being requested. To the south, across NE 35<sup>th</sup> St., are a landscaping/gardening material provider and a church, with the property to their west, at the corner of NE 35<sup>th</sup> St. and NE 36<sup>th</sup> Avenue being a Marion County owned property acquired in June 2022. West of the site is a convenience store/gas station site wherein its eastern portion is currently vacant and heavily treed. The portion of land proposed for rezoning is also currently undeveloped and heavily treed.

**Figure 4.  
Proposed Zoning Classification**



**Figure 5.  
Existing Use per Property Appraiser Property Code**



unique nature of the Silver Springs community, wherein NE 35<sup>th</sup> Street is one of the western gateways to the Silver Springs CRA, along with the access to Coehadjoe Park and its adjoining state conservation lands.

Based on the above findings, the proposed rezoning application is **not compatible** with the surrounding area's future land uses and zoning classifications.

B. *How does the request affect the public interest?*

1. Transportation impacts. These include roadways, public transit, and other mobility features.
  - a. Roadways. South of the parcel is NE 35<sup>th</sup> St., a county-maintained Collector roadway, which intersects to the west with NE 36<sup>th</sup> Ave., also a county-maintained Collector roadway. DRC Comments (Attachment C) provided by Traffic state the following, "No traffic information was provided with this zoning request as required by the County's Traffic Impact Analysis Guidelines. However, manufacturing uses typically generate a low volume of traffic compared to commercial uses.... Both NE 35<sup>th</sup> St. and NE 36<sup>th</sup> Ave. are collector roadways designed to handle a certain amount of truck traffic that would come from an industrial site. Both of these roadways operate at Level of Service D, which is within their adopted Level of Service Standard. There are concerns with the existing access this site has to NE 35<sup>th</sup> St. It appears there are multiple closely spaced driveways at the eastern half to the property near the railroad crossing. These driveways are in disrepair and do not meet spacing requirements. These driveways will require modification to meet existing code requirements and bring in to good condition." Following requirements as provided by Traffic during development review, staff concludes that the proposal would be **consistent** with the TE Policy 2.1.4.
  - b. Public transit. One mile west of the subject parcel is a Suntran stop on the yellow route. The stop is located at the Pearl Britain Plaza also located on NE 35<sup>th</sup> St. The plaza hosts several businesses and restaurants with the anchor store being the Pearl Britain Publix location.
  - c. Other mobility features. No sidewalks currently exist along any of the roadways listed as contiguous to this parcel. Upon development, sidewalks may be required, or the developer may elect to provide a fee-in-lieu for construction, as permitted by the LDC. Therefore, the application would not adversely affect the public interest.

Based on the above findings, the rezoning roadway **impacts would not adversely affect the public interest.**

2. Potable water impacts. Potable Water Element Policy 1.1.1 adopts a level of service (LOS) standard of 150 gallons per person per day for residential demand and approximately 2,750 gallons per acre per day for nonresidential demand. Based on the nonresidential calculation for 1.6 acres, the proposed rezoning would result in a potential increase in demand of 4,400 gallons per day.

The property is within Marion County Utilities' Service Area but has immediate access to City of Ocala water infrastructure as explained in DRC Comments from Utilities (Attachment C Page 2). Based on the above findings, the rezoning's **potable water impacts would not adversely affect the public interest.**

3. Sanitary sewer impacts. Sanitary Sewer Element Policy 1.1.1 adopts a LOS standard of 110 gallons per person per day for residential demand and approximately 2,000 gallons per acre per day for commercial and industrial demand. Based on the industrial calculation, the proposed rezoning would result in a potential demand of 3,200 gallons per day.

The property is within Marion County Utilities service area with immediate access to a MCU sewer force main. Based on the above findings, the rezoning's **sanitary sewer impacts would not adversely affect the public interest.**

4. Solid waste impacts. Solid Waste Element Policy 1.1.1 adopts a LOS standard of 6.2 pounds of solid waste generation per person per day for residential demand. A commercial/industrial level of service standard is not currently in place for Marion County as such operations are required to provide for individual commercial collection wherein disposal within Marion County is alternatively addressed. Based on the above, the rezoning **solid waste impacts would not adversely affect the public interest.**

5. Recreation. Recreation Element Policy 1.1.1. adopts a level of service standard of two (2) acres per 1,000 persons. A commercial/industrial level of service standard is not currently in place for Marion County. The intent is to rezone the A-1 portion of the parcel to M-2, an industrial zoning classification with no level of service standard for recreation. Based on the proposed zoning, the rezoning **recreation impacts would not adversely affect the public interest.**

6. Stormwater/drainage. Stormwater Element Policy 1.1.1 adopts varying levels of service standards based on the characteristics of the development site. The site includes a flood area in the southeast corner of the property which is also listed as a freshwater pond under the wetland inventory. Another flood prone area runs through a portion of the southern and southwestern areas of the property. Development of the site will be required to comply with a 100-year frequency 24-hour duration design storm as the site development proceeds through Marion County's site development

review processes. Based on the above, the rezoning **stormwater/drainage impacts would not adversely affect the public interest.**

7. Fire rescue/emergency services. Anthony Fire Station #1, located at 3199 NE 70<sup>th</sup> St. is located roughly 2.4 miles north of the proposed development. The Comprehensive Plan does not establish a level of service standard for fire rescue/emergency services. Still, Marion County has established a 5-mile drive time from the subject property as evidence of the availability of such services. Based on the above, the application's **fire rescue/emergency services impacts would not adversely affect the public interest.**
8. Law enforcement. The nearest Sherriff substation is located approximately 7.25 miles northwest of the subject property at 8311 N Hwy 441, Ocala, FL 34475. The Comprehensive Plan does not establish a level of service standard for law enforcement services but staff has established a 5-mile radius from the subject property as evidence of the availability of such services. Based on the above, the application's **law enforcement impacts may adversely affect the public interest based on distance from the site.**
9. Public schools. The proposed development does not propose a residential use that would potentially increase the number of students to be enrolled in a Marion County school and would not adversely affect public interest. Therefore, it is concluded that the application is **not applicable** with this section.

In summation, when weighing the totality of the circumstances, **the public interest would not be adversely affected.**

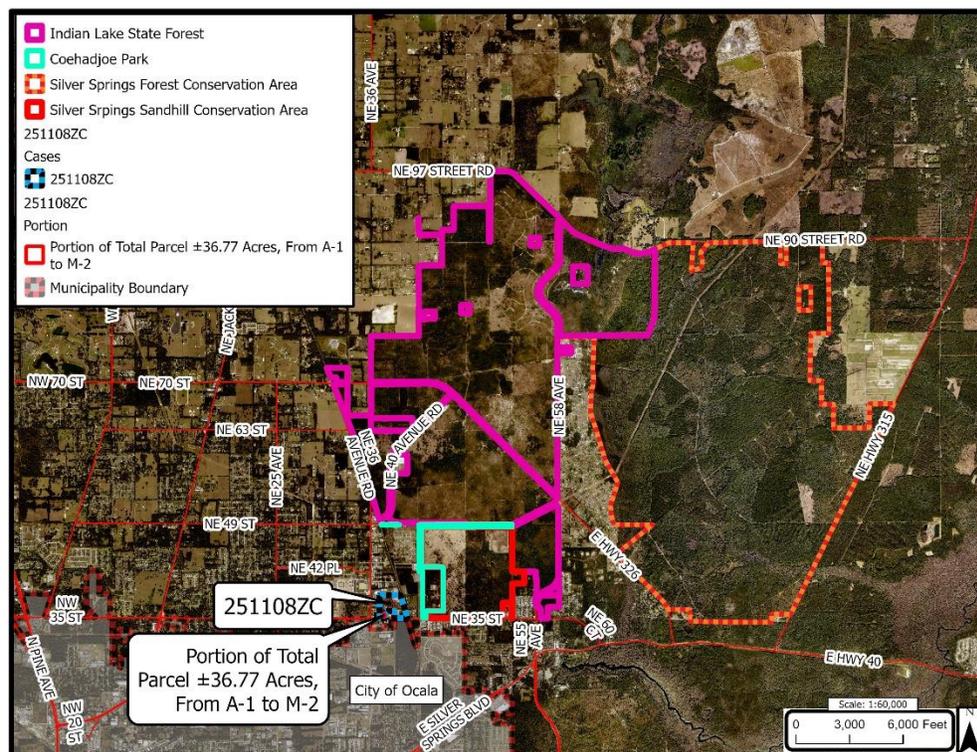
C. *How is this request consistent with the Comprehensive Plan?*

1. FLUE 1.1.1: Marion County Planning Principles - The County shall rely upon the following principles to guide the overall planning framework and vision for the County:
  - 1.) Preserve, protect and manage the County's valuable natural resources.
  - 2.) Recognize and protect the rural equestrian and agricultural character as an asset of the County's character and economy while providing clear, fair and consistent standards for the review and evaluation of any appropriate future development proposals.
  - 3.) Support the livability of the existing cities and towns in the County by planning for the logical extension of development in a manner that enhances the scale, intensity and form of these areas through the introduction of sustainable smart growth principles and joint planning activities.
  - 4.) Support economic development through government practices that place a priority on public infrastructure necessary to attract such activities

and that foster a local economic development environment that is conducive to the creation and growth of new businesses, the expansion of existing businesses, and is welcoming to private entrepreneur activities.

**Analysis:** Under FLUE Policy 1.1.1, the County is required to designate appropriate areas for growth while balancing residential, agricultural, and environmental needs. The subject location, while located within the Urban Growth Boundary, is also located within the Silver Springs Community Redevelopment Area (SSCRA). Not only is the parcel within the CRA, it is also at the very boundary, at the southwest corner near the intersection of NE 36<sup>th</sup> Ave. and NE 35<sup>th</sup> St.; an area acting as a “gateway” in to the CRA. Within this area, development goals are to create an attractive and aesthetically pleasing area that will attract both citizens and visitors to explore the CRA and reinvest in the area to better assist in its redevelopment. By granting of the M-2 zoning, the goals of supporting development in the CRA in a way to make the area more attractive to visitors would be undermined. Thus, this application is **inconsistent** with Policy 1.1.1.

**Figure 6**  
**Parks & Conservation Areas**



- FLUE Policy 1.1.6 on Buffering of Uses provides, “The County shall require new development or substantial redevelopment to provide buffering to address compatibility concerns and reduce potential adverse impacts to surrounding properties, as further defined in the LDC.”

**Analysis:** The proposed zoning change intends to develop a currently vacant portion of A-1 land to M-2, the County's most intense industrial zoning classifications which allows both indoor and outdoor activities. In doing so, staff has concerns due to proximity (Figure 6) to County owned and maintained Coehadjoe Park which is 0.4 miles east of the requested change as well as Silver Springs Sandhill Conservation Area, directly east of Coehadjoe Park and contiguous to Indian Lake State Forest, as well as Silver Springs Forest Conservation Area further to the east. Based on the potential for adverse impacts and incompatibility from increasing the acreage with such an intense zoning classification, staff finds the application is **inconsistent** with Policy 1.1.6.

As mentioned previously in staff's recommendation, M-1 would be a staff supported change in zoning. M-1 for the subject portion of property would act as a buffer towards the existing more intense M-2 zoning already assigned to the rest of this property and would be the same zoning as the two parcels contiguous to the east.

3. FLUE Policy 4.1.2 on Conflicts between Comprehensive Plan, Zoning, and LDC - The Comprehensive Plan shall be the governing document. In the event of conflict between the Comprehensive Plan, Zoning, and LDC, the more stringent regulation shall apply, unless the County has developed a process to allow a variance or waiver of the regulation where a conflict in regulations occurs in accordance to the Comprehensive Plan, Zoning, or LDC.

**Analysis:** While the Comprehensive Plan and the Zoning requested are compatible, the subject location being within the P-SPOZ and LDC Sec. 5.4.4-Uses within the SPOZ have a more stringent regulation to consider in analysis of the request, "The expansion of existing or new uses and activities, as listed below, shall be prohibited within the primary zone: Heavy industrial and commercial uses, including new and expanding permitted and special uses allowed exclusively in B-5, I-C, or M-2 zoning categories, unless the owner demonstrates to the Planning/Zoning Manager, based on credible scientific data and information, that the proposed use will not pose a potential threat to groundwater quality." At this point, staff has not received data regarding the proposed use and if it poses a threat to groundwater quality. At the Planning and Zoning hearing it was shared that the intent is not for Agri-Source to use this property, but that Marion Masonry Materials of Ocala intends to expand their operations to this portion of the overall property. As such, the application is currently **inconsistent** with FLUE Policy 4.1.2.

4. FLUE Policy 5.1.2 on Review Criteria – Changes to the Comprehensive Plan and Zoning Provides, "Before approval of a Comprehensive Plan Amendment (CPA), Zoning Change (ZC), or Special Use Permit (SUP), the applicant shall demonstrate that the proposed modification is suitable. The County shall review, and make a determination that the proposed

modification is compatible with existing and planned development on the site and in the immediate vicinity, and shall evaluate its overall consistency with the Comprehensive Plan, Zoning, and LDC and potential impacts on, but not limited to the following:

1. Market demand and necessity for the change;
2. Availability and potential need for improvements to public or private facilities and services;
3. Allocation and distribution of land uses and the creation of mixed-use areas;
4. Environmentally sensitive areas, natural and historic resources, and other resources in the County;
5. Agricultural activities and rural character of the area;
6. Prevention of urban sprawl, as defined by Ch. 163, F.S.;
7. Consistency with the UGB;
8. Consistency with planning principles and regulations in the Comprehensive Plan, Zoning, and LDC;
9. Compatibility with current uses and land uses in the surrounding area;
10. Water Supply and Alternative Water Supply needs; and 12. Concurrency requirements.

**Analysis:** Staff's determination focused on developing, and redeveloping, the Silver Springs CRA into an area welcoming to citizens and visitors. Expansion of heavy industrial type uses and the subsequent storage of items related to the use have the potential to create visually adverse impacts with industrial uses also having the potential to increase dust, noise, glare, etc. related impacts along a roadway that will function as a gateway in to the CRA. For these reasons, staff finds the application to be **inconsistent** with Policy 1.1.6.

5. FLUE Policy 5.1.3 on Planning and Zoning Commission provides, "The County shall enable applications for CPA, ZC, and SUP requests to be reviewed by the Planning & Zoning Commission, which will act as the County's Local Planning Agency. The purpose of the advisory board is to make recommendations on CPA, ZC, and SUP requests to the County Commissioners. The County shall implement and maintain standards to allow for a mix of representatives from the community and set standards for the operation and procedures for this advisory board.

**Analysis:** The proposed zoning change is scheduled for the October 27, 2025, Planning and Zoning Commission and, therefore, the application is **consistent** with this FLUE Policy 5.1.3.

6. FLUE Policy 5.1.4 on Notice of Hearing provides, "The County shall provide notice consistent with Florida Statutes and as further defined in the LDC."

**Analysis:** Public notice has been provided as required by the LDC and Florida Statutes and, therefore, the application is being processed **consistent** with FLUE Policy 5.1.4.

7. FLUE Policy 10.2.1 on Special Area Planning provides, “The County shall consider use of various planning strategies, such as, corridor studies, sector plans, neighborhood plans, redevelopment plans, etc., as necessary for infill and redevelopment opportunities.”

**Analysis:** Marion County established the Silver Springs Community Redevelopment Area (CRA) including the Community Redevelopment Plan (CRP) and the recent Silver Springs CRA Master Plan Update, that seeks to support and encourage redevelopment of the Silver Springs community as a functional eco-tourism “hub” related the historic nature of the community and the abundance of publicly held conservation lands within and surrounding the CRA. The M-2 zoning is the most intense industrial zoning classification, and it enables outdoor uses that may create adverse impacts to the surrounding. While buffers are generally required, the potential uses may not be conducive or compatible with the goals of the Silver Springs CRA given the outdoor focus of its existing and continued recreational opportunities. Given the designation and presence of the Silver Springs CRA and NE 35<sup>th</sup> St.’s location to provide gateway access to the CRA, staff recommends the application is **not consistent** with FLUE Policy 10.2.1.

Based on the above findings, the proposed rezoning **is not consistent with the Comprehensive Plan.**

## V. ALTERNATIVE ACTIONS

- A. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to **APPROVE** the rezoning amendment.
- B. Enter into the record the Staff Report and all other competent substantial evidence presented at the hearing, identify any additional data and analysis needed to support a recommendation on the proposed Ordinance, and make a recommendation to **TABLE** the application for up to two months in order to provide the identified data and analysis needed to make an informed recommendation on the proposed Ordinance.

## VI. STAFF RECOMMENDATION

Staff recommends the Board enter into the record the Staff Report, and all other competent substantial evidence presented at the hearing, adopt the findings and conclusions contained herein, and make a recommendation to **DENY** the proposed rezoning, **and instead recommend approval of Light Industrial (M-1)**, because the application, M-1 is permitted within the land use designation and permitted within the Primary Springs Protection Zone:

A. Will not adversely affect the public interest.

However, the application:

B. Is not consistent with the Comprehensive Plan provisions because it is not in conformance with:

1. FLUE Policies 1.1.1, 1.1.6, 4.1.2, 5.1.2, & 10.2.1;

C. Is not compatible with the surrounding uses because of increased intensity of the zoning change and the proximity to the Community Redevelopment Area (CRA) and recreation areas within the county;

## **VII. PLANNING & ZONING COMMISSION RECOMMENDATION**

Approval (3-1).

## **VIII. BOARD OF COUNTY COMMISSIONERS ACTION**

To be determined.

## **IX. LIST OF ATTACHMENTS**

- A. Agri-Source LLC- AR 33197-Application Package.
- B. Agri-Source LLC- AR 33197-Site and Area Photographs.
- C. Agri-Source LLC- AR 33197-DRC Comments.
- D. Agri-Source LLC- AR 33197-Surrounding Property Notification.



Marion County Board of County Commissioners

Growth Services ■ Planning & Zoning

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2675 Fax: 352-438-2676

APPLICATION COMPLETE DATE COMPLETED 8/14/25 INITIALS EM TENTATIVE MEETING DATES P&Z PH 10/27/2025 BCC/P&Z PH 11/17 or 11/18/2025

APPLICATION FOR REZONING

Application No.: \_\_\_\_\_

The undersigned hereby requests a zoning change of the Marion County Land Development Code, Article 4, Zoning, on the below described property and area, from A-1 to M-2, for the intended use of:

The parcel has CD FLU designation and split zoning A-1 & M-2. A-1 is not compatible, and M-2 would eliminate the split zoning.

Legal description: (please attach a copy of the deed and location map)

Parcel account number(s): A portion of 15861-000-00

Property dimensions: ~306' x ~225' Total acreage: ~1.6 acres

Directions: On north side of NE 35th St. east of NE 36th Ave

The property owner must sign this application unless he has attached written authorization naming an agent to act on his/her behalf.

AGRI-SOURCE LLC (converted from AGRI-SOURCE INC) Property owner name (please print) 4001 NE 35TH STREET Mailing address OCALA, FL 34479 City, state, zip code 615-479-1355 Phone number (please include area code)

Signed by: Kris Creden Signature

3855 35TH STREET LLC Applicant or agent name (please print) 7202 ALOMA AVE, STE 100 Mailing address WINTER PARK, FL 32792 City, state, zip code 321-231-8992 Phone number (please include area code)

Signed by: Kevin Decker Signature

Please note: the zoning change will not become effective until 14 days after a final decision is made by the Marion County Board of County Commissioners. The owner, applicant or agent is encouraged to attend the public hearing where this application will be discussed. If no representative is present and the board requires additional information, the request may be postponed or denied. Notice of said hearing will be mailed to the above-listed address(es). All information given by the applicant or agent must be correct and legible to be processed. The filing fee is \$1,000.00, and is non-refundable. For more information, please contact the Zoning Division at 352-438-2675.

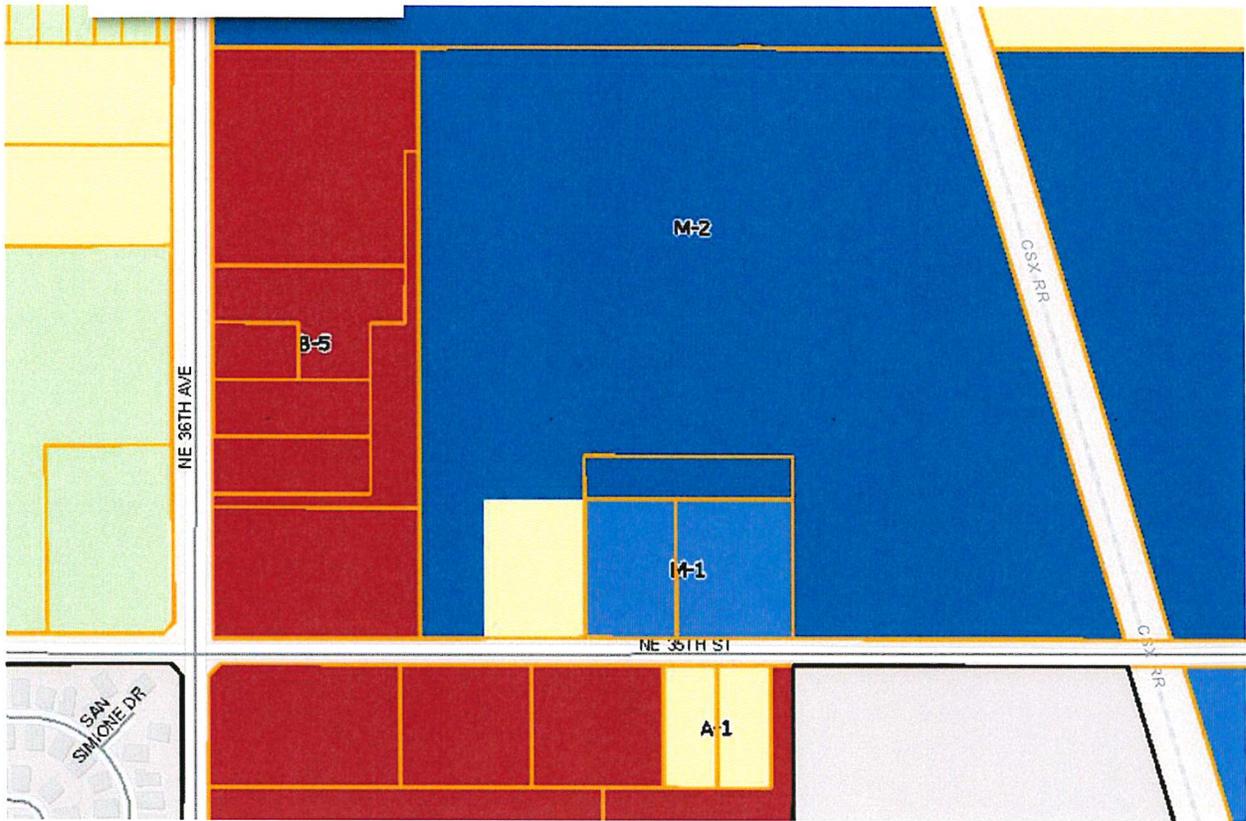
\*\*\*\*\*

FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE: 8/17/25 ZONING MAP NO.: 211 [Signature] EM 8/14/25 AR 33197

Rev. 01/11/2021





10.501  
4,480.00 DS

PREPARED BY AND RETURN TO:

G. Edward Clement, Esquire  
Potter Clement Lowry & Duncan  
308 East Fifth Avenue  
Mount Dora, FL 32757

DAVID R. ELLSPERMANN, CLERK OF COURT MARION COUNTY  
DATE: 07/11/2003 07:40:42 AM  
FILE #: 2003086538 OR BK/PG 03462/0103

RECORDING FEES 10.50

Parcel Identification Numbers:  
R15861-000-00

DEED DOC TAX 4,480.00 *oc*

**SPECIAL WARRANTY DEED**

**THIS SPECIAL WARRANTY DEED** made this 27th day of June, 2003, by JEFFERSON SMURFIT CORPORATION (U.S.), a Delaware corporation, whose post office address is 8182 Maryland Avenue, St. Louis, MO 63105, hereinafter referred to as "Grantor", and AGRI-SOURCE INC., a Florida corporation, whose post office address is P.O. Box 879, Fruitland Park, FL 34731, hereinafter referred to as "Grantee":

*(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)*

**WITNESSETH:** That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land, situate in Marion County, State of Florida, viz:

The SE 1/4 of the SW 1/4 lying West of the railroad, except the South 30 feet for a road; the North 3/4 of the East 1/2 of the SW 1/4 of the SW 1/4; the East 2.5 chains of the West 1/2 of the SW 1/4 of the SW 1/4, except the South 30 feet for a road; the West 200 feet of the South 1/2 of the SE 1/4 of the SW 1/4 of the SW 1/4, except the South 30 feet thereof for road right of way and excluding the South 94.70 feet of the East 460 feet of the North 1/2 of the SE 1/4 of the SW 1/4 of the SW 1/4; all in Section 35, Township 14 South, Range 22 East, Marion County, Florida.

**TOGETHER,** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD,** the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through, or under Grantor, but against none other; and that said land is free of all encumbrances except as follows:

FILE: 2003086538  
OR BOOK/PAGE 03462/011

1. Taxes for the year 2003, which are not yet due and payable.
2. Easement(s) in favor of City of Ocala set forth in instrument(s) recorded in Official Records Book 670, Page 184, Public Records of Marion County, Florida.
3. Agreement for Powerline Right-of-Way recorded in Official Records Book 1865, Page 2088, Public Records of Marion County, Florida.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

GRANTOR:

JEFFERSON SMURFIT CORPORATION (U.S.),  
a Delaware corporation

By: [Signature]  
Leslie T. Lederer, Vice President

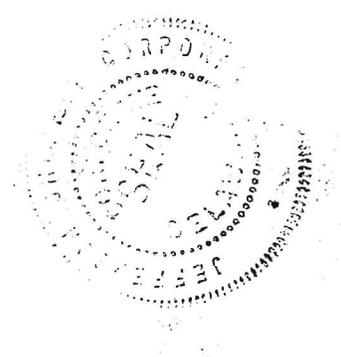
[Signature]  
Witness Signature

LINDA C. MCKENZIE  
Printed Name

(Corporate Seal)

[Signature]  
Witness Signature

TIMOTHY P. DAVISSON  
Printed Name



STATE OF ILLINOIS  
COUNTY OF COOK

The foregoing instrument was acknowledged before me this 27th day of June, 2003, by Leslie T. Lederer, as Vice President of Jefferson Smurfit Corporation (U.S.), a Delaware corporation, and on behalf of the corporation,

- who is personally known to me and did not take an oath.
- who has produced \_\_\_\_\_ as identification and did take an oath stating he was indeed the person set forth herein.

Karen Hewitt

NOTARY PUBLIC:  
STATE OF ILLINOIS  
My commission expires: 06/30/04





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company

AGRI-SOURCE, LLC

### Filing Information

<b>Document Number</b>	L23000094392
<b>FEI/EIN Number</b>	59-3255025
<b>Date Filed</b>	03/01/2023
<b>Effective Date</b>	07/12/1994
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	LC AMENDMENT
<b>Event Date Filed</b>	09/14/2023
<b>Event Effective Date</b>	NONE

### Principal Address

4001 NE 35TH STREET  
OCALA, FL 34479

### Mailing Address

130 S Main Street  
Winter Garden, FL 34787

Changed: 04/30/2025

### Registered Agent Name & Address

INCORPORATING SERVICES, LTD.  
1540 GLENWAY DRIVE  
TALLAHASSEE, FL 32301

Name Changed: 08/14/2023

Address Changed: 08/14/2023

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR, MEMBER

ORGANICS MANAGEMENT HOLDINGS, LLC  
130 S Main Street  
Winter Garden, FL 34787

Title Manager

**CREEDEN, KRIS**  
130 S Main Street  
Winter Garden, FL 34787

Title Manager

Biegler, Matthew  
130 S Main Street  
Winter Garden, FL 34787

**Annual Reports**

Report Year	Filed Date
2024	03/29/2024
2025	04/30/2025

**Document Images**

<a href="#">04/30/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/29/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">09/14/2023 -- LC Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">08/14/2023 -- LC Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">03/01/2023 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>

L23000094392

(Requestor's Name)

(Address)

(Address)

(City/State/Zip/Phone #)

PICK-UP     WAIT     MAIL

(Business Entity Name)

(Document Number)

Certified Copies \_\_\_\_\_ Certificates of Status \_\_\_\_\_

Special Instructions to Filing Officer:

Office Use Only



300403172703

S CHATHAM  
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2023 MAR - 1 PM 2:18  
SECRETARY OF STATE  
TALLAHASSEE, FL

RECEIVED  
2023 MAR - 1 PM 1:12  
TALLAHASSEE, FL

**CT CORP**

**3458 Lakeshore Drive, Tallahassee, FL 32312  
850-656-4724**

**Date:** 03/01/2023

Acc#|20160000072

*W: C DW*

Name:	AGRI - SOURCE, LLC
Document #:	
Order #:	14808772

Certified Copy of Arts & Amend:	<input type="checkbox"/>	
Plain Copy:	<input type="checkbox"/>	
Certificate of Good Standing:	<input type="checkbox"/>	
Certified Copy of	<input type="checkbox"/>	
Apostille/Notarial Certification:	<input type="checkbox"/>	Country of Destination:
		Number of Certs:

Filing: <input checked="" type="checkbox"/>	Certified: <input checked="" type="checkbox"/>
	Plain: <input type="checkbox"/>
	COGS: <input checked="" type="checkbox"/>

Email Address for Annual Report Notifications:

agrisource1@aol.com

Availability	_____
Document	_____
Examiner	_____
Updater	_____
Verifier	_____
W.P. Verifier	_____
Ref#	_____

Amount: \$ **185.00**

Thank you!

COVER LETTER

TO: New Filing Section  
Division of Corporations

SUBJECT: Agri-Source, LLC  
\_\_\_\_\_  
(Name of Resulting Florida Limited Company)

The enclosed Articles of Conversion, Articles of Organization, and fees are submitted to convert an "Other Business Entity" into a "Florida Limited Liability Company" in accordance with s. 605.1045, F.S.

Please return all correspondence concerning this matter to:

Kathryn P. Jones, Esq.  
\_\_\_\_\_  
(Contact Person)

Baker & Hostetler, LLP  
\_\_\_\_\_  
(Firm/Company)

200 S. Orange Ave., Suite 2300  
\_\_\_\_\_  
(Address)

Orlando, Florida 32801  
\_\_\_\_\_  
(City, State and Zip Code)

agrisource1@aol.com  
\_\_\_\_\_  
E-mail Address: (to be used for future annual report notifications)

For further information concerning this matter, please call:

Kathryn P. Jones, Esq. at (407) 649-4029  
\_\_\_\_\_  
(Name of Contact Person) (Area Code) (Daytime Telephone Number)

Enclosed is a check for the following amount: (All checks processed by this office must be payable in US dollars and drawn on a bank located in the United States)

- \$150.00 Filing Fees (\$25 for Conversion & \$125 for Articles of Organization)
- \$155.00 Filing Fees and Certificate of Status
- \$180.00 Filing Fees and Certified Copy
- \$185.00 Filing Fees, Certified Copy, and Certificate of Status

**Mailing Address:**  
New Filing Section  
Division of Corporations  
P.O. Box 6327  
Tallahassee, FL 32314

**Street Address:**  
New Filing Section  
Division of Corporations  
The Centre of Tallahassee  
2415 N. Monroe Street, Suite 810  
Tallahassee, FL 32303

FILED  
2023 MAR - 1 PM 2:18  
SECRETARY OF STATE  
TALLAHASSEE, FL

Articles of Conversion  
For  
"Other Business Entity"  
Into  
Florida Limited Liability Company

The Articles of Conversion and attached Articles of Organization are submitted to convert the following "Other Business Entity" into a Florida Limited Liability Company in accordance with s.605.1045, Florida Statutes.

1. The name of the "Other Business Entity" immediately prior to the filing of the Articles of Conversion is:  
Agri-Source Inc.  
(Enter Name of Other Business Entity)

2. The "Other Business Entity" is a corporation  
(Enter entity type. Example: corporation, limited partnership, general partnership, common law or business trust, etc.)

First organized, formed or incorporated under the laws of Florida  
(Enter state, or if a non-U.S. entity, the name of the country)

on July 12, 1994  
(date of organization, formation or incorporation)

3. The name of the Florida Limited Liability Company as set forth in the attached Articles of Organization:  
Agri-Source, LLC  
(Enter Name of Florida Limited Liability Company)

4. If not effective on the date of filing, enter the effective date: \_\_\_\_\_  
(The effective date: Cannot be prior to date of receipt or filed date nor more than 90 calendar days after the date this document is filed by the Florida Department of State.)  
Note: If the date inserted in this block does not meet the applicable statutory filing requirements, this date will not be listed as the document's effective date on the Department of State's records.

5. The plan of conversion has been approved in accordance with all applicable statutes.

6. The "Converted or Other Business Entity" has agreed to pay any members having appraisal rights the amount to which such members are entitled under ss. 605.1006 and 605.1061-605.1072, F.S.

Signed this 26th day of February 2023

**Signature of Authorized Representative of Limited Liability Company:**

Signature of Authorized Representative   
Printed Name Mark C. Brown Title Chief Executive Officer

**Signature(s) on behalf of Other Business Entity: [See below for required signature(s)]**

Signature   
Printed Name Mark C. Brown Title Director

Signature \_\_\_\_\_  
Printed Name Ralph T. Spencer Title Director  
Executed by Christie Spencer, as Guardian

Signature \_\_\_\_\_  
Printed Name \_\_\_\_\_ Title \_\_\_\_\_

**If Florida Corporation:**

Signature of Chairman, Vice Chairman, Director, or Officer  
If Directors or Officers have not been selected, an Incorporator must sign

**If Florida General Partnership or Limited Liability Partnership:**

Signature of one General Partner

**If Florida Limited Partnership or Limited Liability Limited Partnership:**

Signatures of ALL General Partners

**All others:**

Signature of an authorized person

**Fees**

Articles of Conversion	\$25.00
Fees for Florida Articles of Organization	\$125.00
Certified Copy	\$30.00 (Optional)
Certificate of Status	\$5.00 (Optional)

2023 MAR -1 PM 2:18  
SECRETARY OF STATE  
TALLAHASSEE, FL.

FILED

Attachment A

Signed this 26th day of February 2023

Signature of Authorized Representative of Limited Liability Company:

Signature of Authorized Representative:
Printed Name: Mark C. Browne Title: Chief Executive Officer

Signature(s) on behalf of Other Business Entity: [See below for required signature(s)]

Signature:
Printed Name: Mark C. Browne Title: Director

Signature: [Handwritten Signature]
Printed Name: Ralph T. Spence Title: Director
Executed by Christie Spencer, as Guardian

Signature:
Printed Name: Title:

Signature:
Printed Name: Title:

Signature:
Printed Name: Title:

Signature:
Printed Name: Title:

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SECRETARY OF STATE
TALLAHASSEE, FL

If Florida Corporation:

Signature of Chairman, Vice Chairman, Director, or Officer.
If Directors or Officers have not been selected, an Incorporator must sign.

If Florida General Partnership or Limited Liability Partnership:

Signature of one General Partner.

If Florida Limited Partnership or Limited Liability Limited Partnership:

Signatures of ALL General Partners.

All others:

Signature of an authorized person.

Fees:

Table with 2 columns: Fee Description and Amount. Rows include Articles of Conversion (\$25.00), Fees for Florida Articles of Organization (\$125.00), Certified Copy (\$30.00 Optional), and Certificate of Status (\$5.00 Optional).

ARTICLES OF ORGANIZATION FOR FLORIDA LIMITED LIABILITY COMPANY

ARTICLE I - Name:

The name of the Limited Liability Company is

Agri-Source, LLC

(Must contain the words "Limited Liability Company," "L.L.C.," or "LLC.")

ARTICLE II - Address:

The mailing address and street address of the principal office of the Limited Liability Company is

Principal Office Address:

Mailing Address:

4001 NE 35th Street

P.O. Box 879

Ocala, Florida 34479

Fruitland Park, Florida 34731-0879

ARTICLE III - Registered Agent, Registered Office, & Registered Agent's Signature:

(The Limited Liability Company cannot serve as its own Registered Agent. You must designate an individual or another business entity with an active Florida registration.)

The name and the Florida street address of the registered agent are

Mark C. Brown

Name

1051 Boylston Street

Florida street address (P.O. Box NOT acceptable)

Leesburg

Fl. 34748

City

Zip

*Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent as provided for in Chapter 605, F.S.*

  
Registered Agent's Signature (REQUIRED)

(CONTINUED)

2023 MAR - 1 PM 2:18  
SECRETARY OF STATE  
TALLAHASSEE, FL

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ARTICLE IV-

The name and address of each person authorized to manage and control the Limited Liability Company.

<u>Title:</u>	<u>Name and Address:</u>
"AMBR" = Authorized Member	Browne Spence Holdings, LLC
"MGR" = Manager	1051 Boylston Street
MGR	Lansburg, FL 34748
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

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SECRETARY OF STATE  
TALLAHASSEE, FL

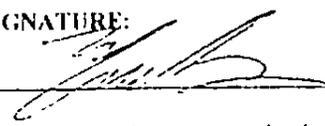
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(Use attachment if necessary)

ARTICLE V: Other provisions, if any.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REQUIRED SIGNATURE:



Signature of a member or an authorized representative of a member

This document is executed in accordance with section 605.020(1)(b), Florida Statutes. I am aware that any false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s 817.155, F.S.

Mark C. Browne, Authorized Representative

Typed or printed name of signee

Filing Fees

\$125.00 Filing Fee for Articles of Organization and Designation of Registered Agent  
\$ 30.00 Certified Copy (Optional)      \$ 5.00 Certificate of Status (Optional)

Jimmy H. Cowan, Jr., CFA  
**Marion County Property Appraiser**



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

**2025 Property Record Card**

**15861-000-00**

[GOOGLE Street View](#)

Prime Key: 302465

[MAP IT+](#)

Current as of 8/12/2025

Property Information

AGRI-SOURCE INC  
 4001 NE 35TH ST  
 OCALA FL 34479-3128

Taxes / Assessments:

Map ID: 211

Millage: 9001 - UNINCORPORATED

M.S.T.U.

PC: 43

Acres: 36.77

Situs: 4001 NE 35TH ST OCALA

2024 Certified Value

Land Just Value	\$1,121,191		
Buildings	\$257,980		
Miscellaneous	\$70,673		
Total Just Value	\$1,449,844	Impact	
Total Assessed Value	\$1,148,348	<u>Ex Codes:</u>	(\$301,496)
Exemptions	\$0		
Total Taxable	\$1,148,348		
School Taxable	\$1,449,844		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$1,121,191	\$257,980	\$70,673	\$1,449,844	\$1,148,348	\$0	\$1,148,348
2023	\$1,121,191	\$272,756	\$70,800	\$1,464,747	\$1,043,953	\$0	\$1,043,953
2022	\$720,765	\$250,017	\$70,926	\$1,041,708	\$949,048	\$0	\$949,048

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">3462/0103</a>	06/2003	06 SPECIAL WARRANTY	4 V-APPRAISERS OPINION	U	I	\$640,000
<a href="#">2111/1429</a>	02/1995	60 CRT ORD	0	U	V	\$100
<a href="#">0937/0298</a>	01/1975	60 CRT ORD	0	U	V	\$100
<a href="#">0639/0386</a>	06/1974	02 DEED NC	0	U	V	\$288,000

Property Description

SEC 35 TWP 14 RGE 22  
 SE1/4 OF SW1/4 LYING W OF RR EX S 30 FT FOR RD &  
 N 3/4 OF E 1/2 OF SW 1/4 OF SW 1/4 & E 2 1/2 CHS OF  
 W1/2 OF SW1/4 OF SW1/4 EX S 30 FT FOR RD  
 & W 200 FT OF S 1/2 OF SE 1/4 OF SW 1/4 OF SW 1/4 EX RD R/W  
 EXC S 94.70 FT OF E 460 FT OF N 1/2 OF SE 1/4 OF SW 1/4

OF SW 1/4

Land Data - Warning: Verify Zoning

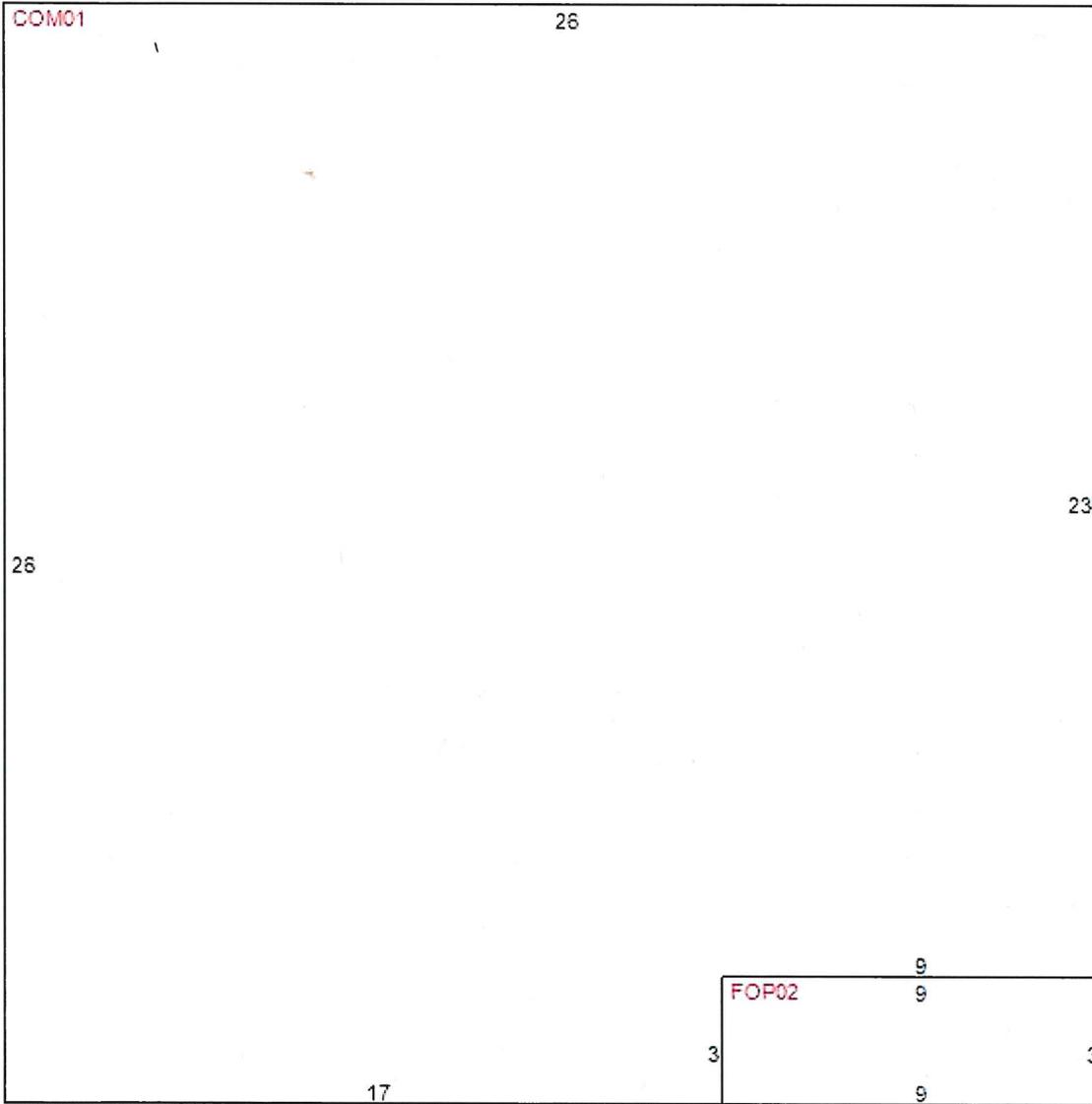
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
GISF	4300	.0	.0	M2	1,601,701.00	SF						
Neighborhood 9983												
Mkt: 2 70												

Traverse

**Building 1 of 3**

COM01=L26D26R17U3R9U23.D23

FOP02=L9D3R9U3.



Building Characteristics

Structure 4 - MASONRY NO PILAST  
 Effective Age 5 - 20-24 YRS  
 Condition 2

Year Built 1975  
 Physical Deterioration 0%  
 Obsolescence: Functional 0%

A-17

**Quality Grade** 300 - LOW  
**Inspected on** 6/10/2020 by 117

**Obsolescence: Locational** 0%  
**Base Perimeter** 104

**Exterior Wall** 54 OCALA BLOCK

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler	A/C
1	8.0	1.00	1975	0	649	M17 OFFICE	100 %	N Y
2	8.0	1.00	1975	0	27	FOP PORCH-OPEN-FIN	100 %	N N

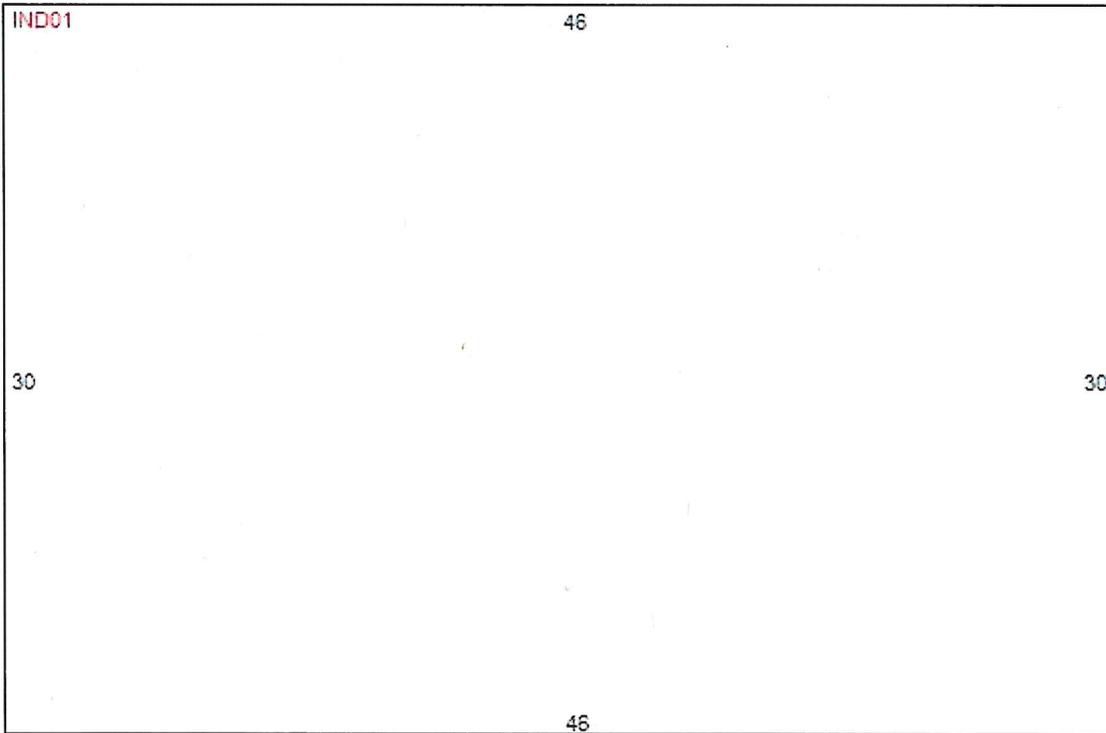
**Section: 1**

<b>Elevator Shafts:</b> 0	<b>Aprtments:</b> 0	<b>Kitchens:</b> 1	<b>4 Fixture Baths:</b> 0	<b>2 Fixture Baths:</b> 2
<b>Elevator Landings:</b> 0	<b>Escalators:</b> 0	<b>Fireplaces:</b> 0	<b>3 Fixture Baths:</b> 1	<b>Extra Fixtures:</b> 0

Traverse

**Building 2 of 3**

IND01=R46U30L46D30.



Building Characteristics

**Structure** 1 - WH STL FR  
**Effective Age** 4 - 15-19 YRS

**Year Built** 1998  
**Physical Deterioration** 0%

A-18

Condition 2  
Quality Grade 300 - LOW  
Inspected on 6/10/2020 by 117

Obsolescence: Functional 0%  
Obsolescence: Locational 0%  
Base Perimeter 152

Exterior Wall 18 PREFINISHED MTL

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler A/C		
1	18.0	1.00	1998	0	1,380	F17 OFFICE	7 %	N	N
						F48 WAREHOUSE/DISTRIBUTE	29 %	N	N
						G27 AUTO REPAIR	64 %	N	N

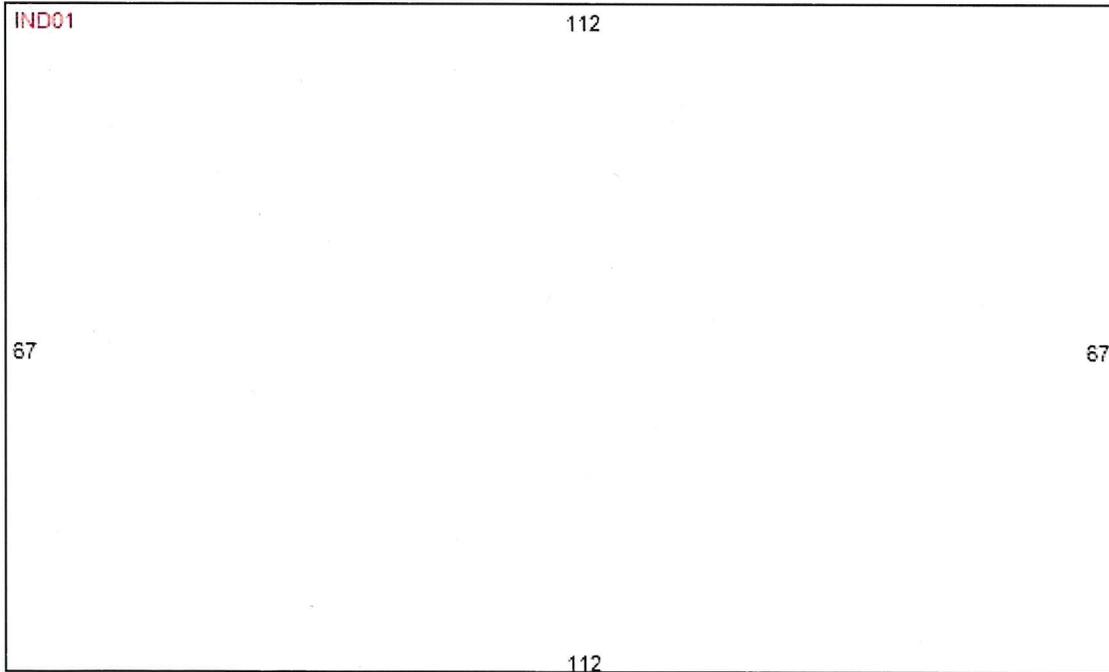
Section: 1

Elevator Shafts: 0      Aprtments: 0      Kitchens: 0      4 Fixture Baths: 0      2 Fixture Baths: 1  
Elevator Landings: 0      Escalators: 0      Fireplaces: 0      3 Fixture Baths: 0      Extra Fixtures: 0

Traverse

Building 3 of 3

IND01=U67R112D67L112.



<b>Structure</b>	1 - WH STL FR	<b>Year Built</b>	2006
<b>Effective Age</b>	3 - 10-14 YRS	<b>Physical Deterioration</b>	0%
<b>Condition</b>	2	<b>Obsolescence: Functional</b>	0%
<b>Quality Grade</b>	300 - LOW	<b>Obsolescence: Locational</b>	0%
<b>Inspected on</b>	6/10/2020 by 117	<b>Base Perimeter</b>	358

**Exterior Wall** 18 PREFINISHED MTL

<b>Section</b>	<b>Wall Height</b>	<b>Stories</b>	<b>Year Built</b>	<b>Basement %</b>	<b>Ground Flr Area</b>	<b>Interior Finish</b>	<b>Sprinkler</b>	<b>A/C</b>
1	25.0	1.00	2006	0	7,504	F41 LIGHT MANUFACTURING	100 %	N N

**Section: 1**

<b>Elevator Shafts:</b> 0	<b>Aprtments:</b> 0	<b>Kitchens:</b> 0	<b>4 Fixture Baths:</b> 0	<b>2 Fixture Baths:</b> 0
<b>Elevator Landings:</b> 0	<b>Escalators:</b> 0	<b>Fireplaces:</b> 0	<b>3 Fixture Baths:</b> 0	<b>Extra Fixtures:</b> 0

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
105 FENCE CHAIN LK	753.00	LF	20	1977	3	0.0	0.0
144 PAVING ASPHALT	97,174.00	SF	5	1977	3	0.0	0.0
190 SEPTIC 1-5 BTH	1.00	UT	99	1966	1	0.0	0.0
256 WELL 1-5 BTH	1.00	UT	99	1966	1	0.0	0.0
159 PAV CONCRETE	134.00	SF	20	1998	3	0.0	0.0
184 RETAIN WALL	608.00	SF	50	1998	5	0.0	0.0
159 PAV CONCRETE	1,457.00	SF	20	1998	3	0.0	0.0
045 LEAN TO	198.00	SF	15	2008	1	18.0	11.0

Appraiser Notes

AGRI SOURCE INC

Planning and Building

**\*\* Permit Search \*\***

Permit Number	Date Issued	Date Completed	Description
M091168	9/1/2005	4/1/2006	COMM BUILDING
M070425	7/1/2003	12/1/2003	RECONNECT



Sign Posting.



Looking west on NE 35<sup>th</sup> St. towards intersection with NE 36<sup>th</sup> Ave.

## Attachment B



Looking southwest towards The Dirt Pile, a landscape & garden material business.



Looking directly south across NE 35<sup>th</sup> St. towards Kingdom Hall of Jehovah's Witnesses.



Marion Masonry Materials of Ocala  
(east and contiguous to subject parcel).



Marion Masonry Materials of Ocala  
(east and contiguous to subject parcel).

Attachment B



Marion Masonry Materials of Ocala  
(east and contiguous to subject parcel).



Marion Masonry Materials of Ocala  
(east and contiguous to subject parcel).



Entrance to existing Agri-Source business.



Looking in to Agri-Source property.

**Development Review Comments Letter**

10/3/2025 3:16:56 PM

**AGRI-SOURCE LLC  
ZO ZONING CHANGE #33197**

ID	DESCRIPTION	REMARK	STATUS	DEPT	APPLICANT RESPONSE
1	Rezoning (non-PUD)	N/A	INFO	911	
2	Rezoning (non-PUD)	N/A	INFO	DOH	
3	Rezoning (non-PUD)	No traffic information was provided with this zoning request as required by the County's Traffic Impact Analysis Guidelines. However, manufacturing uses typically generate a low volume of traffic compared to commercial uses. There are also existing industrial uses along NE 35th Street. Both NE 35th Street and NE 36th Avenue are collector roadways designed to handle a certain amount of truck traffic that would come from an industrial site. Both of these roadways are operating at Level of Service D which is within their adopted Level of Service Standard. There are concerns with the existing access this site has to NE 35th Avenue. It appears there are multiple closely spaced driveways at the eastern half of the property near the railroad crossing. These driveways are in disrepair and do not meet spacing requirements. These driveways will require modification to meet existing code requirements and bring into good condition.	INFO	ENGTRF	
4	Rezoning (non-PUD)	APPROVED	INFO	FRMSH	
5	Rezoning (non-PUD)	no comments	INFO	LSCAPE	
6	Rezoning (non-PUD)	The review will be conducted at the time of the reporting process.	INFO	LUCURR	
7	FUTURE LAND USE DESIGNATION CORRECT	The review will be conducted at the time of the reporting process.	INFO	LUCURR	

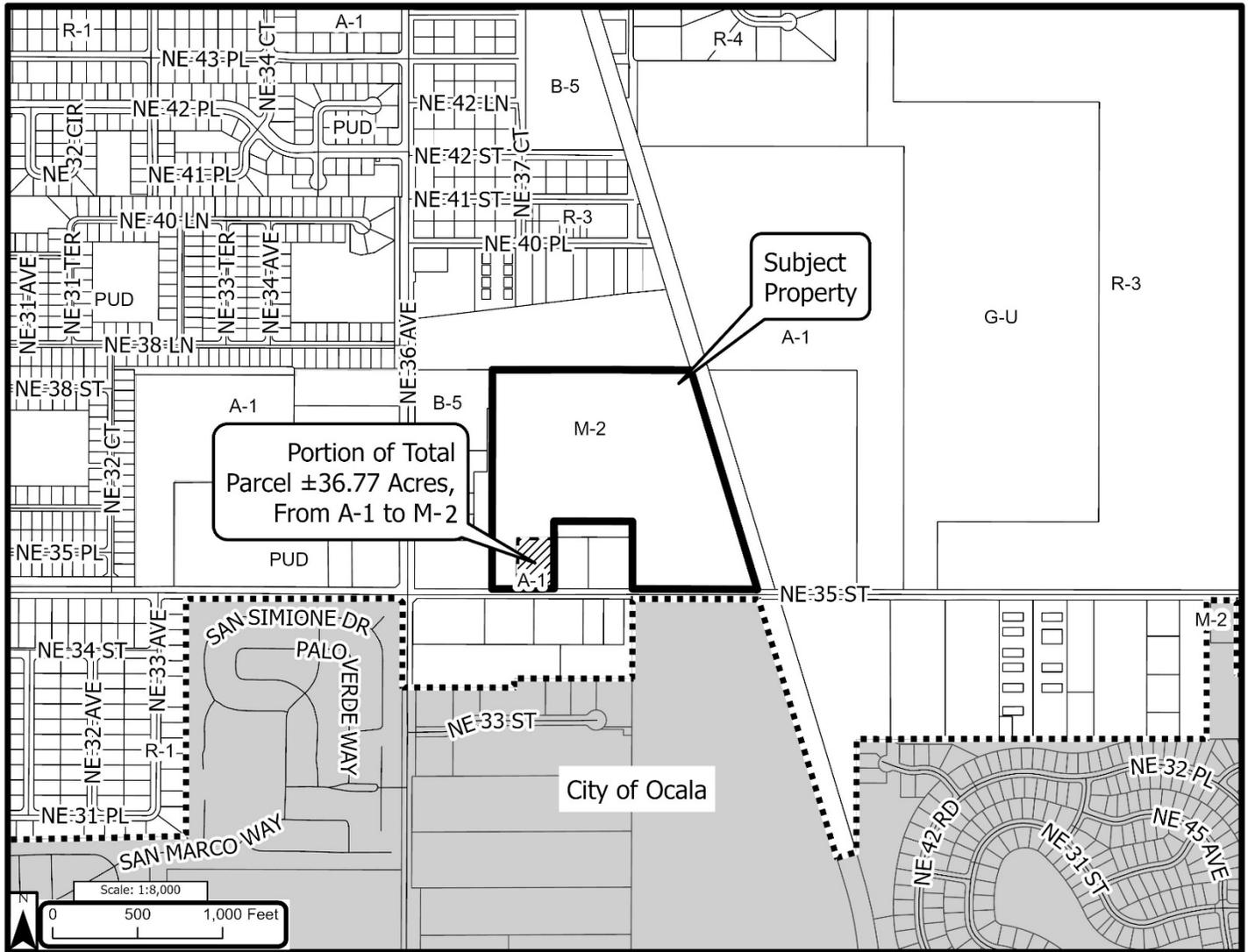
## Attachment C

ID	DESCRIPTION	REMARK	STATUS	DEPT	APPLICANT RESPONSE
8	IS CONSISTENT WITH COMP PLAN	The review will be conducted at the time of the reporting process.	INFO	LUCURR	
9	IS COMPATIBLE WITH SURROUNDING USES	The review will be conducted at the time of the reporting process.	INFO	LUCURR	
10	WILL NOT BE ADVERSE TO THE PUBLIC INTEREST	The review will be conducted at the time of the reporting process.	INFO	LUCURR	
11	Rezoning (non-PUD)	Parcel 15861-000-00 is within the Marion County Utilities service area but has immediate access to City of Ocala water infrastructure and an MCU sewer force main. MCU would review utility connections during site plan review through Development Review. MCU has no comments on the proposed zoning change.  The parcel is located within the Urban Growth Boundary and the Springs Protection Zone.	INFO	UTIL	
12	Rezoning (non-PUD)	The review will be conducted at the time of the reporting process.	INFO	ZONE	

Public Notification for: ZONING CHANGE

Marion County Growth Services Planning & Zoning (352) 438-2675

251108ZC



<b>First Public Hearing:</b> Planning & Zoning Commission <b>10/27/2025 @ 5:30 p.m.</b>	<b>Owner(s):</b> Agri-Source, Inc.
	<b>Agent(s):</b> 3855 35 <sup>th</sup> Street, LLC
	<b>Location:</b> 4001 NE 35 <sup>th</sup> St, Ocala, FL 34479
<b>Second Public Hearing:</b> Board of County Commissioners <b>11/17/2025 @ 1:30 p.m.</b>	<b>Parcel(s):</b> 15861-000-00
	<b>Zone(s):</b> M-2 (Heavy Industrial) & A-1 (General Agriculture)
	<b>Acre(s):</b> ±1.6-acre portion of a ±36.77-acre parcel
<b>Public Hearing Location:</b> 601 SE 25 <sup>th</sup> Avenue, Ocala, FL 34471 - McPherson Governmental Campus Auditorium	
<b>Request Description:</b> Requesting a zoning change from General Agriculture (A-1) to Heavy Industrial (M-2) for all permitted uses.	
You are receiving this notification because you own property that is located within 300' of the subject parcel(s) <b>If you have any questions, please call (352) 438-2675</b>	
All provided GIS data is to be considered a generalized spatial representation, which is subject to revisions. The feature boundaries are not to be used to establish legal boundaries. For specific visual information, contact the appropriate county department or agency. The information is provided in a visual representation only and is not intended to be used as a legal or official representation of legal boundaries.	

