

March 6, 2025

PROJECT NAME: PUBLIX DIAMOND A SHOPPING CENTER IMPROVEMENT PLAN

PROJECT NUMBER: 2024080096

APPLICATION: IMPROVEMENT PLAN #31954

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements  
STATUS OF REVIEW: INFO  
REMARKS: Easements required for discharge will need to be in place prior to the final plat approval for this project.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing  
STATUS OF REVIEW: INFO  
REMARKS: Stormwater improvements must be in place to support each phase of development at time of phase completion.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency  
STATUS OF REVIEW: INFO  
REMARKS: This criteria to be reviewed with resubmittal.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or [kevin.vickers@marionfl.org](mailto:kevin.vickers@marionfl.org).
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet  
STATUS OF REVIEW: INFO  
REMARKS: 2/18/25-Phone number added  
1/13/25- STILL Missing phone number; Signature due prior to final approval  
10/15/24- Missing phone number; Signature due prior to final approval
- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet  
STATUS OF REVIEW: INFO  
REMARKS: 10/15/24-Signature due prior to final approval

- 9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets prior to plan approval  
STATUS OF REVIEW: INFO  
REMARKS: 10/15/24-Signature due prior to final approval
- 10 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 1/13/25-add waivers if requested in future  
10/15/24-Signature due prior to final approval (incorrect direction)
- 11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.2.C.2(e) - Grease Trap, FOG Worksheet  
STATUS OF REVIEW: INFO  
REMARKS: 2.18.25 - 1250 MAX GPD as discussed. Previous comment: See changemarks
- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified  
STATUS OF REVIEW: INFO  
REMARKS: 2.18.25 Current utility sheet 9.03 shows an irrigation well. After plan approval, if the well is changed to MCU irrigation, a revised utility sheet will be required to be submitted through Development Review, and subjected to additional review fees. Irrigation meters require calculation of total irrigated square footage of landscaped area for capacity charges prior to any irrigation meter request through MCU customer service.
- 14 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: INFO  
REMARKS: 2.18.25 - Review Fee(s) for this revision/ review \$130.00. Utilities Plan Review Fee: Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 31954
- 15 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: INFO  
REMARKS: 2.18.25 - Previous Comment: 6.14.4 - Water/Sewer Capital Charges - all cap fees will be invoiced & due before any building permits will be released by MCU Permitting.
- 16 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Central Sewer/Central Water

17 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: Need PUD approval number on cover sheet (#20191107Z)

18 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 2/25/25 - 1) Insufficient right-of-way dedication shown. A minimum dedication of 9' is required the entire length of the property boundaries adjoining SW HWY 484. 2) Public sidewalk must be included within the right-of-way dedication. Sidewalks may only be routed beyond the right-of-way through easement and only if approved by DRC.

1/14/25 - Ensure the right of way dedication includes the curb ramps and the full width of the sidewalk leading up to those ramps.

10/18/24 - Right of Way dedication is required for sidewalks at right turn lanes along CR484.

20 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat

STATUS OF REVIEW: NO

REMARKS: Pre-plat (AR 31953) is under review and not approved. This item will remain as NO until the pre-plat is approved.

21 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.22 - All lots identified

STATUS OF REVIEW: NO

REMARKS: Sheet 07.01 has Lot 1 incorrectly labeled as Tract A.

22 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: It was decided on the McGinley North Commercial Phase 1 Prelim to assign a quadrant designation to the road running north/south on the west side of this project. Labeled that road as SW 53rd Avenue on Sheets 05.01, 06.01 & 06.02.

23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: 1. Provide approval letter to allow required trees to be planted with future improvements on Lots 2,3,4,5,6,7,8 &9 as shown on sheets L4.01 & L4.02

24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments

STATUS OF REVIEW: NO

REMARKS: Provide Landscape Area calculations showing minimum 20% of the developed area is landscaped

25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1. Sheets L4.02 & L4.03 appear to be missing plant labels for some material.

26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.8 - Building landscaping

STATUS OF REVIEW: NO

REMARKS: Landscape plantings shall be provided along the public view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building. B.Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building. C.Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the façade to the innermost plants. Waiver required to not provide building landscape

27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.3 - Irrigation design standards

STATUS OF REVIEW: NO

REMARKS: Valve labels are not clear on what is indicated, please adjust arrows or location

28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: NO

REMARKS: Landscape sheet for the Northwest corner is missing - Sheet index shows Sheet number 5 twice. Please submit missing plan sheet.



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**AR 31954**

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 2/25/2025 Parcel Number(s): 41200-056-04; 41200-056-12 and portion Permit Number: AR# 31954 (Imp plan)

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Publix Diamond "A" Shopping Center Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): AAW, LLC, 484 ROAD RUNNER RESOURCES LLC, & JOHN ALVAREZ INVESTMENTGROUP LLC  
Signature: \_\_\_\_\_  
Mailing Address: PO BOX 772169 City: Ocala  
State: FL Zip Code: 34471 Phone # 352-875-6519  
Email address: mattpfabian@gmail.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman and Associates Engineering LL (Contact Name: Jeffrey McPherson)  
Mailing Address: 1720 SE 16th Ave Bldg 100 City: Ocala  
State: FL Zip Code: 34471 Phone # 352-387-4540  
Email address: Permits@tillmaneng.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.8.8- Building Landscape  
Reason/Justification for Request (be specific): Applicant request waiver to not provide building landscape adjacent to the buildings. Architectural features including decorative parapets with breaks in elevation and store front canopies to be more visually appealing and not obstruct the views of the retail buisnesses. Landscape screening has been provided on the project boundaries and internal landscaping is provided within the parking and opened area.

**DEVELOPMENT REVIEW USE:**

Received By: Email Date Processed: 3/6/25 BM Project # 2024080096 AR # 31954  
3/4/25

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code (be specific) 6.12.2 Right of Way  
Reason/Justification for Request (be specific): applicant is requesting public Right of Way easement instead of public Right of Way dedication for the 8' sidewalk adjacent to the proposed turn lanes. A 6' right of way dedication is proposed along the right turn lanes to keep all roadway improvements within the Right of Way and the 8' sidewalk will run adjacent to the 20' wide 475A buffer easement that has provisions to allow that required walkway within the 475A buffer easment.

Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_  
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Section & Title of Code (be specific) \_\_\_\_\_  
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Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_  
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Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**WAIVERS:**

**612.4 - PLAN AND PROFILE**  
 APPLICANT REQUESTS WAIVER, PER MARION COUNTY LDC, SEC 612.4 PLAN AND PROFILES ARE REQUIRED FOR ROADWAYS. THE PROPOSED ACCESS POINTS IN QUESTION ARE DRIVEWAYS, WHICH DO NOT REQUIRE PLAN AND PROFILES. AS DEMONSTRATED ON OUR GRADING PLANS, WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC.

**2.18.4.C - COMMENCE CONSTRUCTION PRIOR TO IMPROVEMENT PLAN APPROVAL**  
 WAIVER REQUESTED TO COMMENCE WORK PRIOR TO IMPROVEMENT PLAN APPROVAL AT THE DEVELOPER'S RISK. WE WOULD LIKE TO START SITE GRADING AND THE UTILITY CONCEIT PERMITS ARE OBTAINED.

**LDC 21.1 - ORDER OF PLAN APPROVAL**  
 APPLICANT REQUESTS WAIVER FOR THE APPROVAL OF PUBLIX DIAMOND "A" SHOPPING CENTER PRELIMINARY PLAN AND IMPROVEMENT PLAN APPROVAL PRIOR TO THE MASTER PLAN APPROVAL.

**612.5A - CROSS SECTIONS**  
 APPLICANT REQUESTS EXEMPTION OF THE REQUIREMENT FOR PROVIDING CROSS SECTIONS. AS DEMONSTRATED ON OUR GRADING PLANS, WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC. APPLICANT REQUESTS THE APPROVAL OF A DEVIATION LETTER.

# PUBLIX DIAMOND A SHOPPING CENTER IMPROVEMENT PLAN

## SECTION 9, TOWNSHIP 17 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA



Marion County Approval Stamp

**Marion & Associates ENGINEERING, LLC**  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34477  
 Office: (352) 387-4540 Fax: (352) 387-4545

**BASIS OF BEARINGS:**

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

**STATE PLANE COORDINATES:**

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

**VERTICAL DATUM:**

VERTICAL DATUM BASED ON BOUNDARY & TOPOGRAPHIC SURVEY COMPLETED BY R.M. BARRINEAU & ASSOCIATES, JOB NO. 05223, DATED 09/12/2013 AND WAS BASED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0628 ELEVATION 78.77 (NAVD 88). THERE IS A DIFFERENCE OF 0.46 WHEN COMPARED BETWEEN CITY OF OCALA ENGINEERING CONTROL POINT 0629 AND BENCHMARK "D" AS REFERENCED ON SURVEY PREPARED BY R.M. BARRINEAU & ASSOCIATES.

**BENCHMARKS:**

TEMPORARY BENCHMARK (#108) FOUND 4" x 4" CONCRETE MONUMENT LB (108)  
 ELEVATION = 86.48 (NAVD 1988) NORTHING = 178393.3250 EASTING = 612038.9750

TEMPORARY BENCHMARK (#122) NAIL & DISC (LB 509)  
 ELEVATION = 102.92 (NAVD 1988) NORTHING = 176251.5000 EASTING = 612790.7050

**NOTES:**

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE MARION COUNTY UTILITY MANUAL AS APPLICABLE.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12080301SD, EFFECTIVE DATE OF AUGUST 22d, 2008. THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- DESIGN SPEED = 25 M.P.H. TO BE POSTED AT 20 M.P.H. EXCEPT FOR CURVES WITH RADIUS LESS THAN 100'.
- SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY REQUIREMENTS.
- THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
- THERE ARE NO SUBDIVISION SIGNS PROPOSED FOR THIS DEVELOPMENT AT THIS TIME. ANY FUTURE SIGNS WILL REQUIRE SEPARATE PERMIT.
- DRIVEWAY MEETS FDOT SIGHT DISTANCE REQUIREMENTS.

**OWNER/DEVELOPER:**  
 AWW, LLC, JOHN ALVAREZ INVESTMENT GROUP LLC & ROAD RUNNER RESOURCES LLC  
 CONTACT: JOHN ALVAREZ  
 PO BOX 772169  
 OCALA, FLORIDA 34477  
 PHONE: 352-804-4006

**SURVEYOR:**  
 ROGERS ENGINEERING, LLC.  
 RODNEY K. ROGERS, P.S.M.  
 1105 S.E. 3RD AVENUE  
 OCALA, FLORIDA 34471  
 PHONE (352) 622-9244

**CIVIL ENGINEER:**  
 TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.  
 JEFFREY MCPHERSON, P.E.  
 1720 SE 16TH AVE. BLDG. 100  
 OCALA, FLORIDA 34471  
 PHONE (352) 387-4540

**GEOTECHNICAL CONSULTANT:**  
 GEO-TECH, INC.  
 CONTACT: JONNY HEATH  
 1016 S.E. 3RD AVENUE  
 OCALA, FLORIDA 34471  
 PHONE (352) 694-7711

**Utility Companies**  
 WATER/SEWER  
 ELECTRIC  
 CABLE/PHONE/INTERNET

MARION COUNTY UTILITIES CUSTOMER SERVICE 353-307-6000  
 SUMNER ELECTRIC COOPERATIVE HULLARY BREWER 352-351-6620  
 CHARTER COMM. DISPATCH 800-778-9140  
 CENTURYLINK DISPATCH 877-368-8144/3  
 COMCAST COMMUNICATIONS DISPATCH 800-778-9140

THIS SITE CONTAINS:  
 TOTAL PROJECT AREA = 30.50 AC  
 EXISTING IMPERVIOUS = 0 AC / 0 SF / 0%  
 PROPOSED IMPERVIOUS = 8.04 AC / 350,134 SF / 26.35%  
 FUTURE IMPERVIOUS = 13.96 AC / 607,885 SF / 45.75%  
 TOTAL IMPERVIOUS = 21.99 AC / 958,019 SF / 72.11%  
 MARION COUNTY PARCEL # 41200-056-04, 41200-056-12, AND A PORTION OF 41200-056-00  
 LAND USE: EMPLOYMENT CENTER  
 ZONING: PUD



**VICINITY MAP**  
 SCALE: 1" = 500'

**INDEX OF SHEETS**

01.01	COVER SHEET
02.01	GENERAL NOTES
03.01	EXISTING CONDITIONS
04.01	TEMPORARY SITE ACCESS AND STAGING PLAN
05.01	OVERALL SITE PLAN
06.01-06.03	SITE PLAN
07.01-07.03	PAVING & GRADING
08.01-08.03	DRAINAGE PLAN
09.01-09.03	UTILITY PLAN
10.01-10.02	STORMWATER POLLUTION PREVENTION PLAN
11.01	STORMWATER POLLUTION PREVENTION PLAN
12.01	STORMWATER POLLUTION PREVENTION CONSTRUCTION DETAILS
13.01-13.02	CONSTRUCTION DETAILS
14.01	UTILITY DETAILS
15.01-15.02	LIFT STATION & SANITARY DETAILS
16.01	TRUCK ROUTE PLAN
17.01	ADA ACCESS PLAN
BL.01-BL.02	SOIL BORING

1-1 BOUNDARY AND TOPOGRAPHIC SURVEY (PREPARED BY ROGER ENGINEERING, LLC)

L01.01	LANDSCAPE INDEX
L02.01	PLANTING SPECIFICATIONS
L03.01	PLANT SCHEDULE & NOTES
L04.01-L04.05	PLANTING PLAN
L05.01	PLANTING DETAILS
L1R03.01	IRRIGATION SCHEDULE & NOTES
L1R04.01-L1R04.05	IRRIGATION PLAN
L1R05.01-L1R05.02	IRRIGATION DETAILS

1-6 PHOTOMETRICS & ELECTRICAL PLAN

**OWNER'S CERTIFICATION**

I CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

JOHN ALVAREZ  
 DIAMOND A SHOPPING CENTER

**ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

JEFFREY MCPHERSON, P.E.  
 Registered Engineer No. 69905  
 STATE OF FLORIDA

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THIS DOCUMENT IS BEING ELECTRONICALLY SIGNED AND SEALED AND A MANIFEST PROVIDED.

RODNEY K. ROGERS, P.S.M.  
 ROGERS ENGINEERING, L.L.C.  
 Registered Land Surveyor No. 6553  
 STATE OF FLORIDA

REVISIONS	
DATE	

IMPROVEMENT PLAN  
 PUBLIX DIAMOND A SHOPPING CENTER  
 MARION COUNTY, FLORIDA  
 COVER SHEET

DATE 02-13-25  
 DRAWN BY JAL  
 CHECK BY JMM  
 JOB NO. 23-8231

shr. 01.01







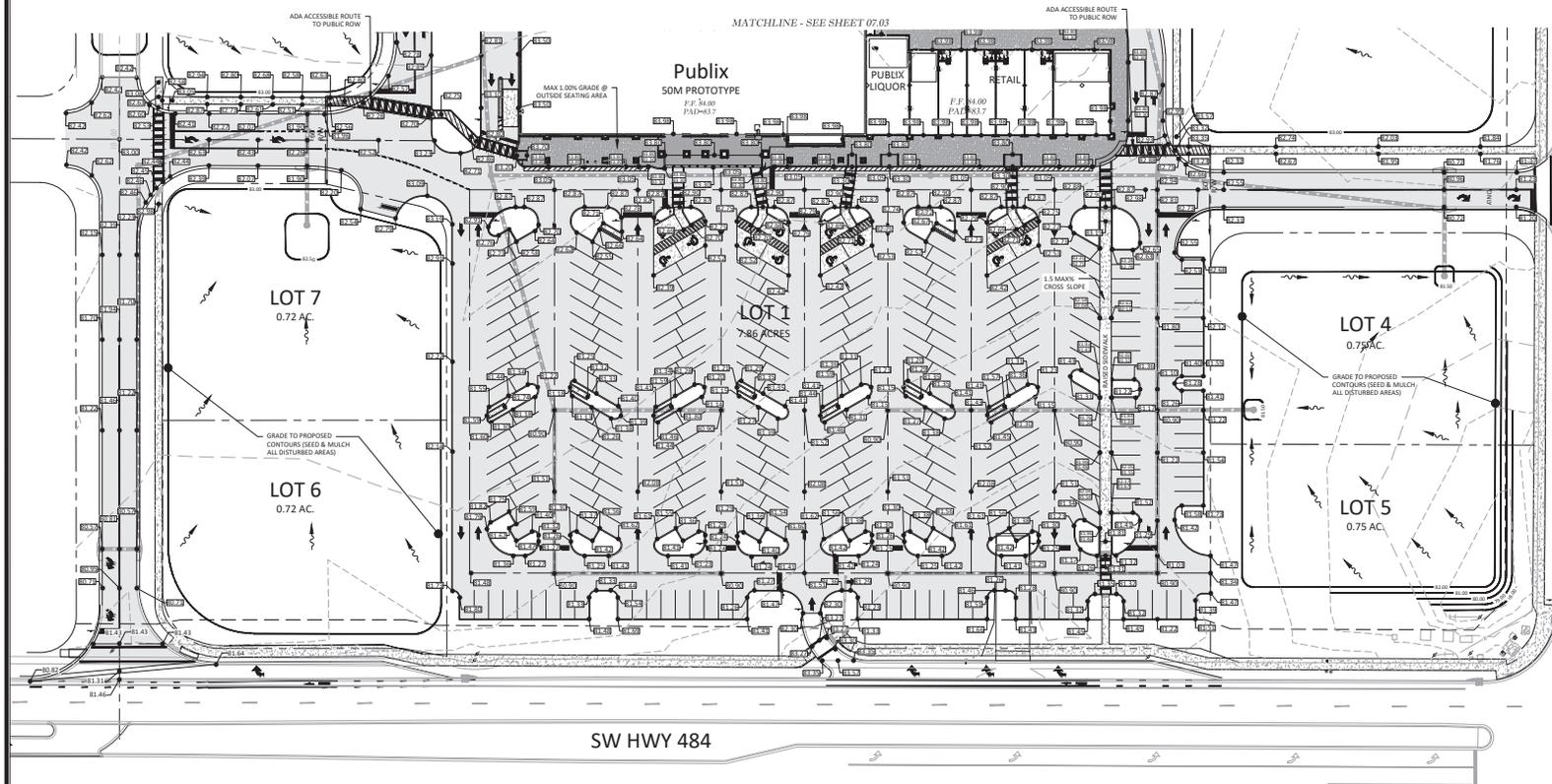
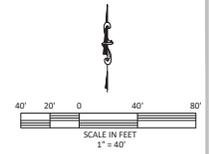












Marion County Approval Stamp

**LEGEND**  
 ADA ACCESSIBLE ROUTE TO PUBLIC ROW

DATE	REVISIONS

**IMPROVEMENT PLAN**  
**PUBLIX DIAMOND A SHOPPING CENTER**  
 MARION COUNTY, FLORIDA

**PAVING & GRADING SOUTH**

DATE: 02-13-25  
 DRAWN BY: JLA  
 CHECKED BY: JMM  
 JOB NO.: 23-5231

**LEGEND**

- EXISTING CONTOURS
- PROPOSED/DESIGNED FLOW DIRECTION
- PROPOSED SPOT ELEVATION PAVEMENT ELEV.
- PROPOSED SWALE BOTTOM
- PROPOSED YARD DRAIN
- SOIL BORING LOCATION/ID

SHW. 07.02











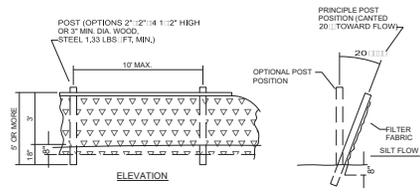








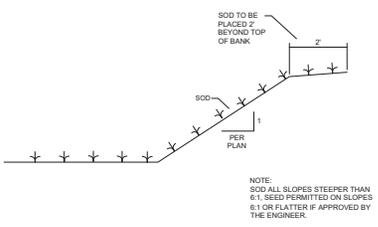




TYPICAL SILT FENCE  
N.T.S.

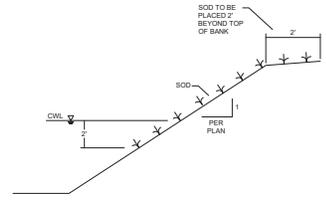
FILTER FABRIC  
(IN CONFORMANCE  
WITH SEC. 385 FDOT  
SPECIFICATIONS)

FIGURE 1



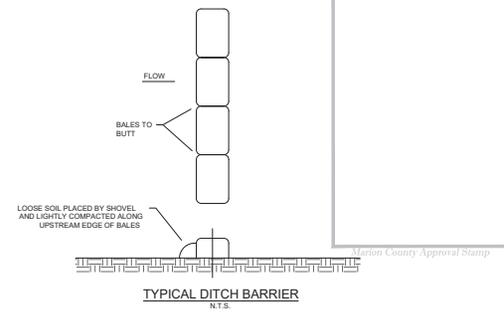
TYPICAL DRY DRAINAGE RETENTION AREA SECTION  
N.T.S.

FIGURE 2



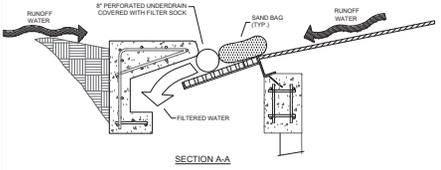
TYPICAL RETENTION/DETENTION POND SECTION  
N.T.S.

FIGURE 3

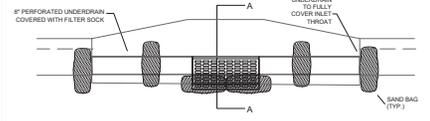


TYPICAL DITCH BARRIER  
N.T.S.

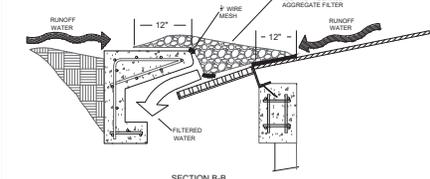
FIGURE 4



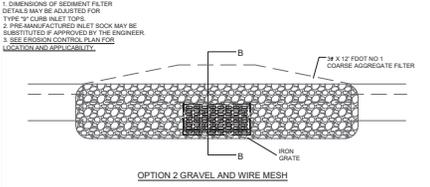
SECTION A-A



OPTION 1 UNDERDRAIN FILTER



SECTION B-B

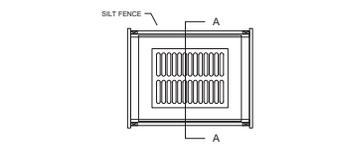


OPTION 2 GRAVEL AND WIRE MESH

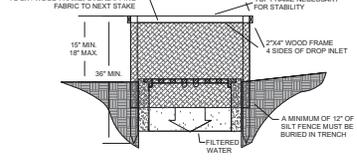
CURB INLET SEDIMENT FILTER DETAIL  
N.T.S.

FIGURE 5

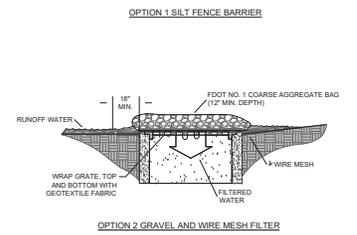
- NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE AREAS, LESS THAN 50'.  
2. USE 2\"/>



SECTION A-A



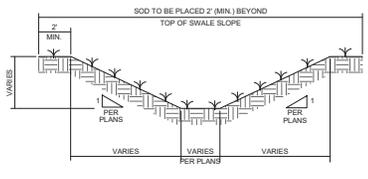
SECTION A-A



OPTION 2 GRAVEL AND WIRE MESH FILTER

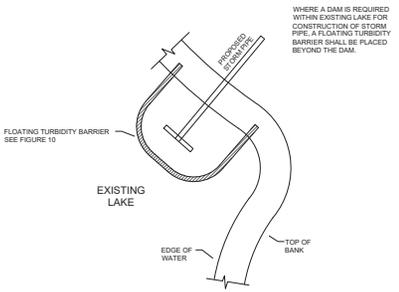
DROP INLET SEDIMENT FILTER DETAIL  
N.T.S.

FIGURE 6



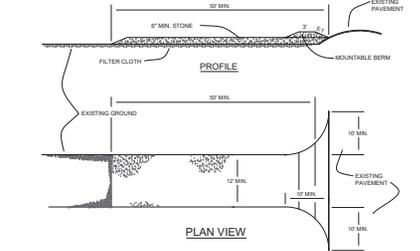
TYPICAL SWALE SECTION  
N.T.S.

FIGURE 7



FLOATING TURBIDITY BARRIER AT CONNECTION OF STORM PIPE TO EXISTING LAKE  
N.T.S.

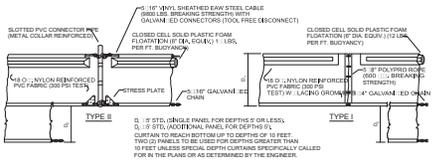
FIGURE 8



STABILIZED CONSTRUCTION ENTRANCE  
1. STONE SHALL BE 2\"/>

STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

FIGURE 9



FLOATING TURBIDITY BARRIERS  
N.T.S.

FIGURE 10

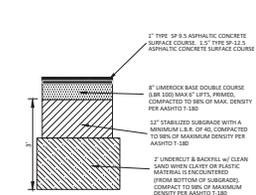
**Miller & Associates**  
ENGINEERS, LLC  
CIVIL ENGINEERING - SURVEYING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34477  
Office: (352) 367-4540 Fax: (352) 367-4545

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DATE	

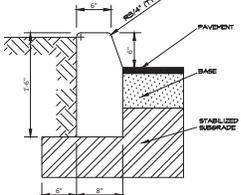
IMPROVEMENT PLAN  
PUBLIK DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA  
**STORMWATER POLLUTION PREVENTION DETAILS**

DATE: 02-13-25  
DRAWN BY: JAL  
CHECKED BY: JMM  
JOB NO.: 23-8231

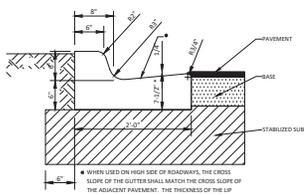
SHR. 12.01



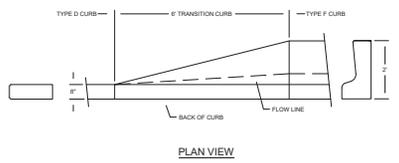
**HEAVY PAVEMENT SECTION**  
N.T.S.



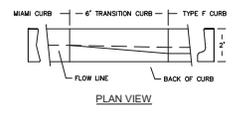
**TYPE D CURB**  
N.T.S.



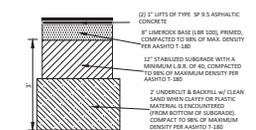
**TYPE F CURB**  
N.T.S.



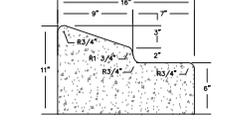
**TRANSITION TYPE "D" CURB TO TYPE "F" CURB**  
N.T.S.



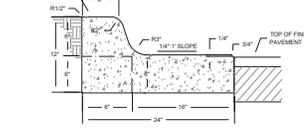
**TRANSITION MIAMI CURB TO TYPE "F" CURB CURB**  
N.T.S.



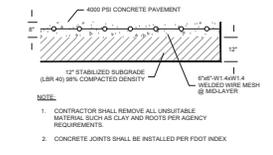
**TYPICAL PAVEMENT SECTION**  
N.T.S.



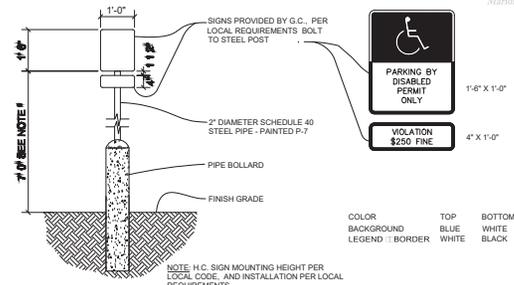
**TYPE "A" CURB**  
N.T.S.



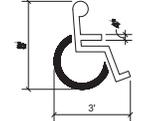
**TYPE "F" CURB**  
N.T.S.



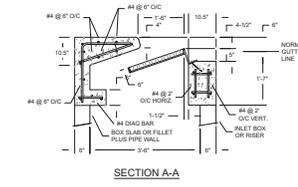
**TYPICAL HEAVY DUTY PAVEMENT SECTION**  
N.T.S.



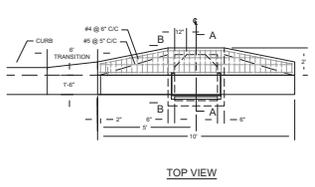
**HANDICAP SIGN DETAIL**  
N.T.S.



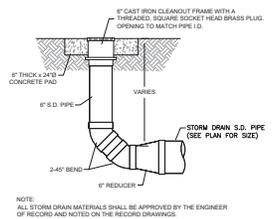
**HANDICAP SYMBOL**  
N.T.S.



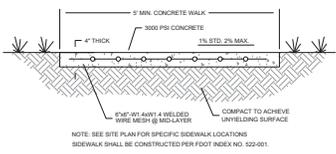
**SECTION A-A**



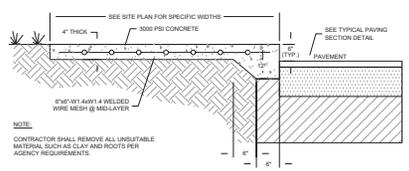
**TOP VIEW**



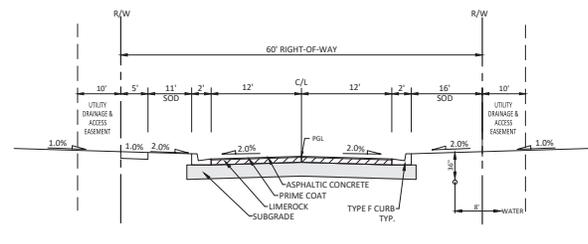
**STORM DRAIN CLEAN-OUT**



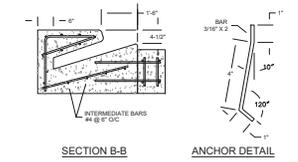
**TYPICAL SIDEWALK SECTION**



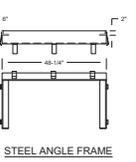
**RAISED SIDEWALK AND PAVEMENT SECTION**  
N.T.S.



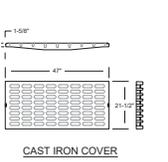
**60' PRIVATE RIGHT-OF-WAY ROADWAY SECTION**  
N.T.S.



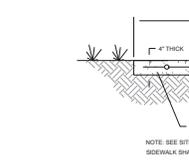
**SECTION B-B**



**ANCHOR DETAIL**



**STEEL ANGLE FRAME**



**CAST IRON COVER**

ALL STRUCTURAL SPECIFICATIONS SHALL MEET OR EXCEED F.D.D. INDEX NO. 211

**GENERAL NOTES**

1. THE FINISHED GRADE AND SLOPE OF THE INLET TOPS ARE TO CONFORM WITH THE PROPOSED CROSS SLOPE AND GRADE OF THE PROPOSED SIDEWALK AND/OR ROADWAY.
2. WHEN UNITS ARE TO BE CONSTRUCTED ON A CURVE, REFER TO THE PLANS TO DETERMINE THE INSIDE AND, WHERE NECESSARY, MODIFY THE INLET DETAILS ACCORDINGLY. BEND STEEL WHEN NECESSARY.
3. ALL REINFORCING STEEL SHALL HAVE 1/4" MINIMUM COVER UNLESS OTHERWISE SHOWN. INLET TOPS SHALL BE CAST IN PLACE OR PRECAST CONCRETE.
4. PRECASTING OF THIS INLET TOP WILL BE PERMITTED. PRECAST UNITS SHALL CONFORM TO THE DIMENSIONS SHOWN.
5. CONCRETE MEETING THE REQUIREMENTS OF A.S.T.M. C-478 (A-909 P. 1) MAY BE USED IN LIEU OF CLASS "C" CONCRETE FOR PRECAST UNITS. MANUFACTURED IN PLANTS WHICH ARE UNDER STANDARD OPERATING PROCEDURES FOR THE INSPECTION OF PRECAST CONCRETE PRODUCTS.
6. THE CORNER FLEETS SHOWN FOR RECTANGULAR THROATS ARE NECESSARY ONLY WHEN THROATS ARE TO BE USED IN CONJUNCTION WITH CIRCULAR INLET BOTTOMS OR WHEN USED ON SLOPE WITH RECTANGULAR INLET BODIES.
7. FOR INLET BODIES SEE FOOT INDEX NO. 425-010.
8. THESE FLEETS TOPS ARE DESIGNED FOR USE WITH STANDARD CURB AND GUTTER TYPE F OR MIAMI. LOCATE OUTSIDE OF PEDESTRIAN CROSSWALK WHERE PRACTICAL.
9. ALL STEEL USED FOR THE GRATING FRAME SHALL MEET THE REQUIREMENTS OF A.S.T.M. A-36.
10. CAST IRON COVERS SHALL BE USED. IRON COVERS SHALL BE CLASS NO. 30 CASTINGS IN ACCORDANCE WITH A.S.T.M. A-158.
11. CURB INLET FRAME AND GRATE SHALL BE US FOUNDRY # 5100 OR EQUAL.
12. COVERS ARE TO BE GROUTED IN ACCORDANCE WITH THE GROUTING DETAIL IN LIEU OF TACK WELDING.

**TYPE 6M INLET CURB TOP**  
N.T.S.

**Winters & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 367-4540 Fax: (352) 367-4545

REVISIONS	
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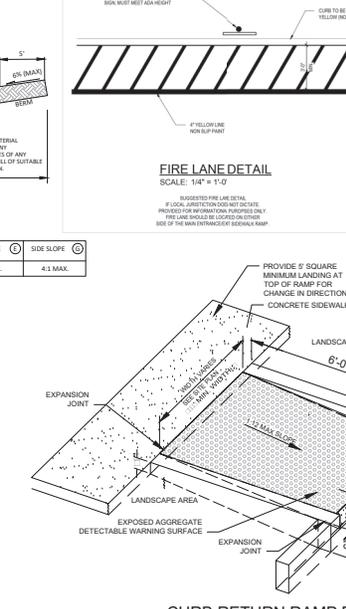
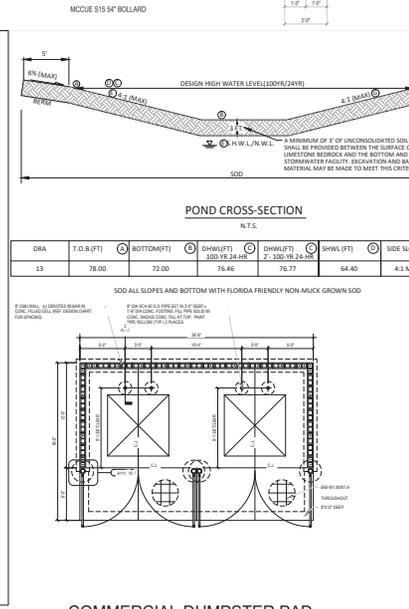
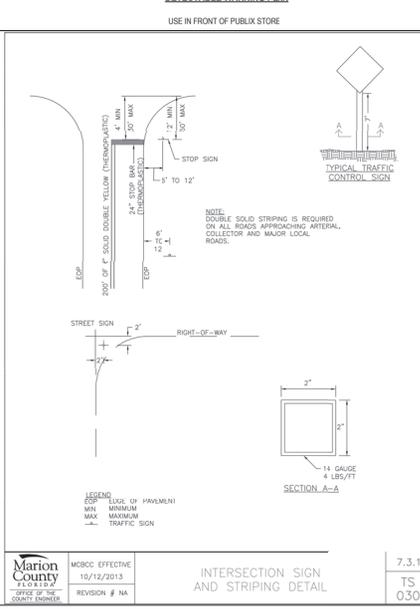
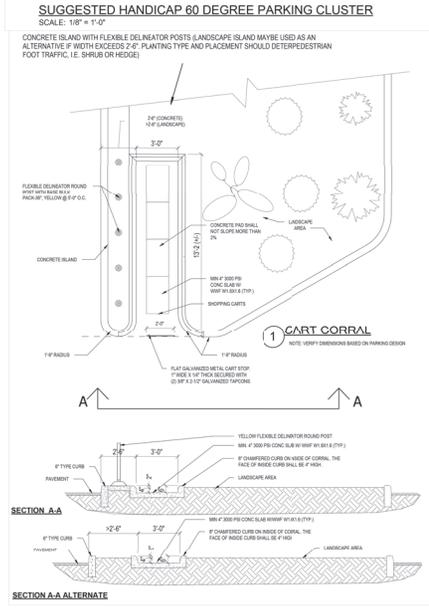
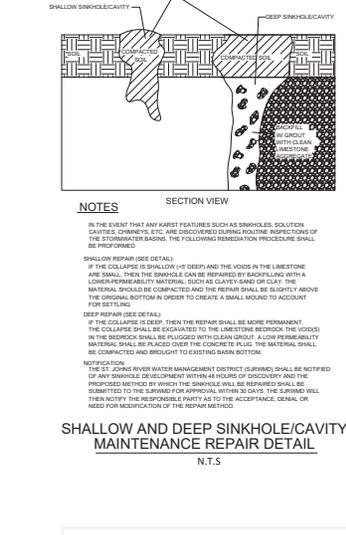
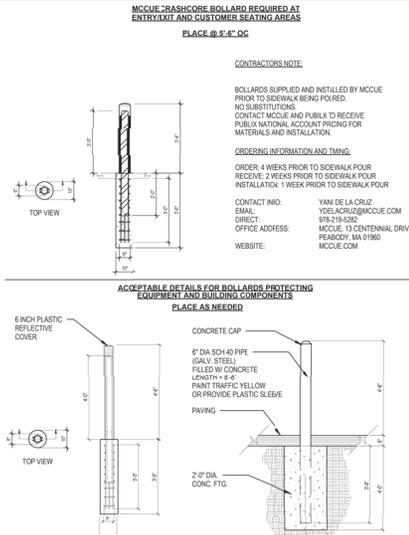
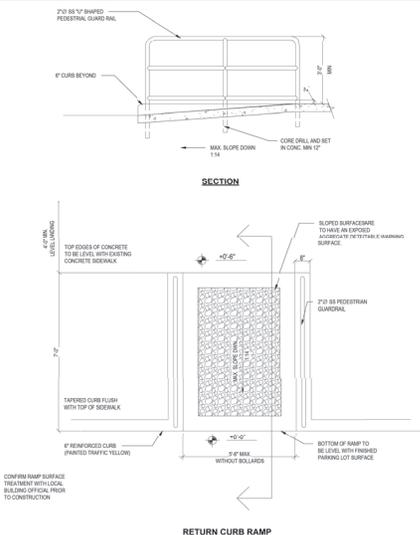
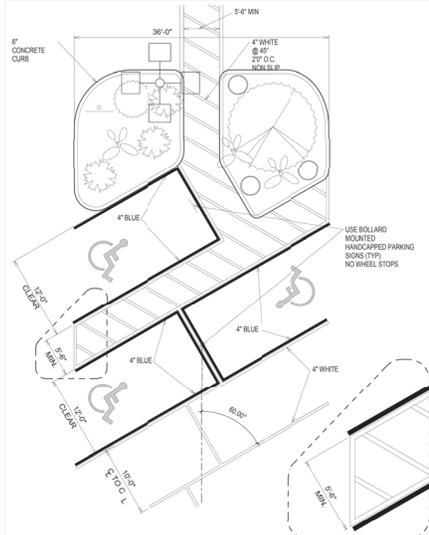
IMPROVEMENT PLAN  
PUBLIK DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA

DATE: 02-13-25  
DRAWN BY: JAL  
CHECKED BY: JMM  
JOB NO.: 23-5231

CONSTRUCTION DETAILS

SHR. 13.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Marion County Approval Stamp

REVISIONS

DATE

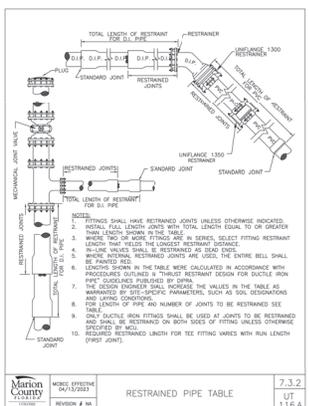
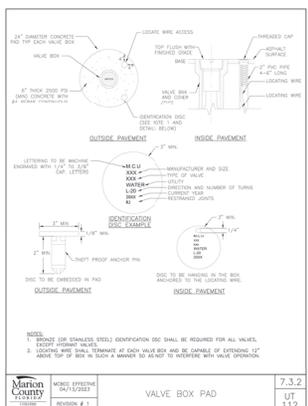
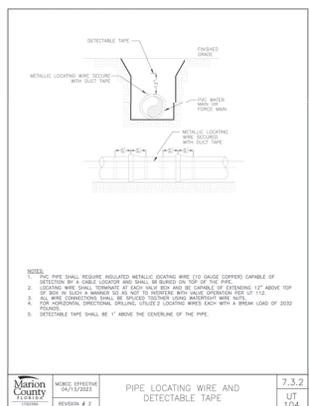
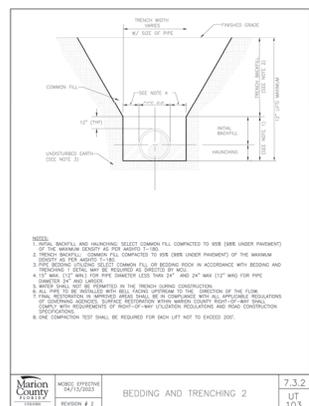
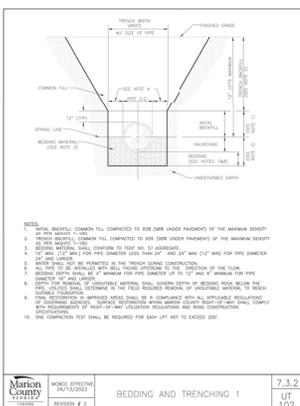
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Office: (352) 387-4540 Fax: (352) 387-4545



**7.3.2 RESTRAINED PIPE TABLE**

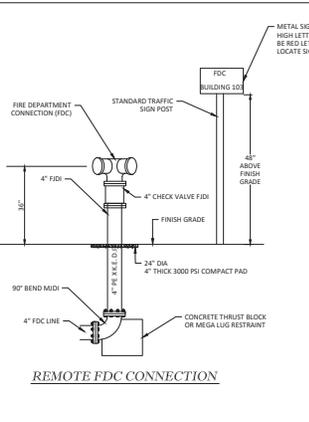
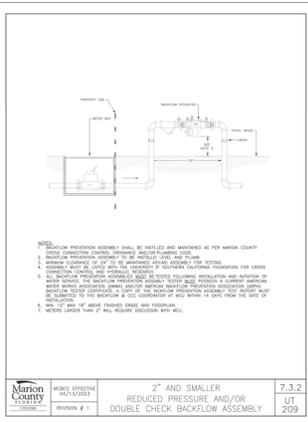
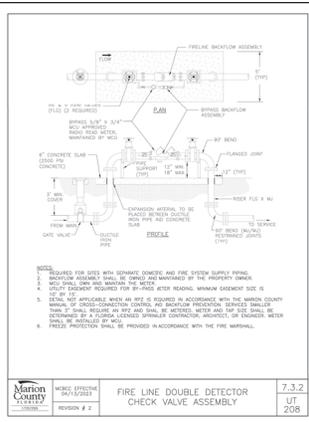
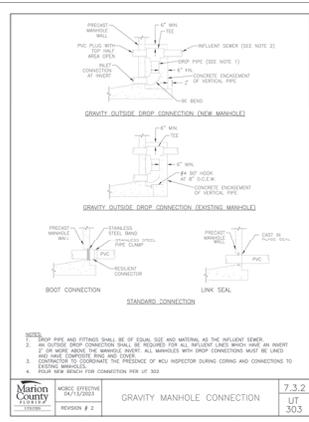
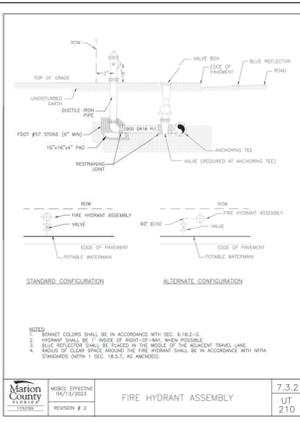
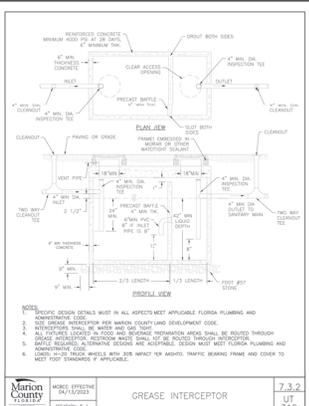
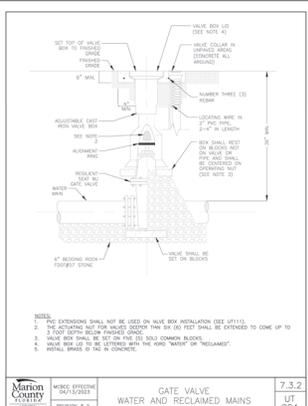
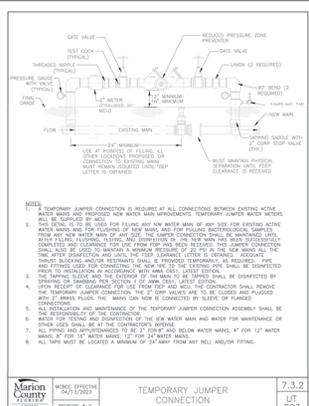
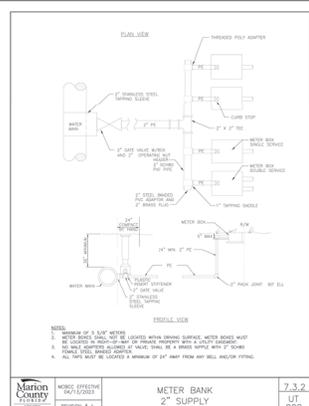
UT 116B

WORKSHEET NO. 04/15/2023

REVISION # 04

MINIMUM RESTRAINED LENGTH (FT) FOR EACH SIDE OF FITTING AND VALVE FOR DIP, ENCASED DIP OR BARE PIPE, VERTICAL-DOWN

RESTRAINED LENGTH IN FEET	RESTRAINED LENGTH IN INCHES
1	12
2	24
3	36
4	48
5	60
6	72
7	84
8	96
9	108
10	120
11	132
12	144
13	156
14	168
15	180
16	192
17	204
18	216
19	228
20	240
21	252
22	264
23	276
24	288
25	300
26	312
27	324
28	336
29	348
30	360
31	372
32	384
33	396
34	408
35	420
36	432
37	444
38	456
39	468
40	480
41	492
42	504
43	516
44	528
45	540
46	552
47	564
48	576
49	588
50	600
51	612
52	624
53	636
54	648
55	660
56	672
57	684
58	696
59	708
60	720
61	732
62	744
63	756
64	768
65	780
66	792
67	804
68	816
69	828
70	840
71	852
72	864
73	876
74	888
75	900
76	912
77	924
78	936
79	948
80	960
81	972
82	984
83	996
84	1008
85	1020
86	1032
87	1044
88	1056
89	1068
90	1080
91	1092
92	1104
93	1116
94	1128
95	1140
96	1152
97	1164
98	1176
99	1188
100	1200



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**Williams & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLUMBING - MECHANICAL - ELECTRICAL - ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34477  
Office: (352) 387-4540 Fax: (352) 387-4545

IMPROVEMENT PLAN  
PUBLIX DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA

UTILITY DETAILS

DATE: 02-13-25  
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CHECK BY: JMM  
JOB NO.: 23-5231

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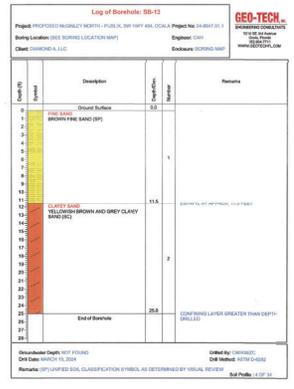
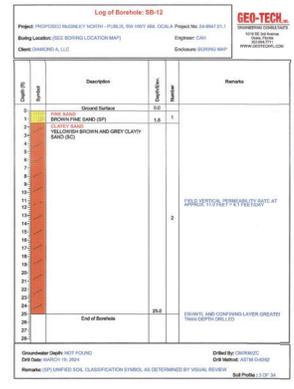
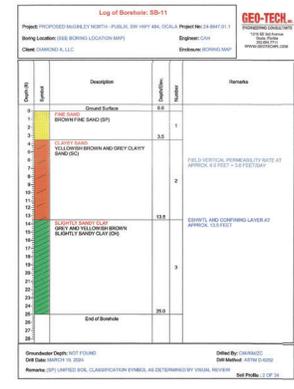
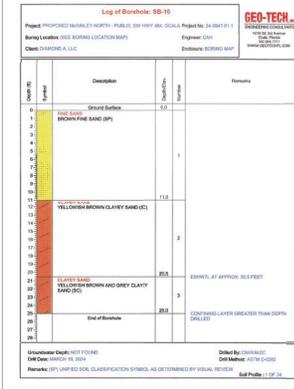
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**PLANTING SPECIFICATIONS**

**1.0 PART 1 GENERAL**

**1.01 WORK INCLUDE**

A. LANDSCAPING: Provide all labor, materials, plant materials, soil additives, soil preparation, methods and site grading, irrigation materials, planting, staking, sodding, cleaning, equipment, services, and maintaining plantings until Substantial Completion of all landscaping work indicated on the Drawings and as specified, and as required by the Warranty Final Acceptance.

**1.02 RELATE WORK SPECIFICATIONS ELSEWHERE**

A. Refer to irrigation drawings and requirements.

**1.03 WARRANTY**

A. The Contractor shall guarantee all trees and shrubs / groundcover plantings for a period of twelve (12) months, and all soil / seed for (6) months after the date of Substantial Completion. During this period, the Contractor shall continue the observation of plants and guarantee work. The Contractor shall submit monthly observation reports to the Owner with a copy to the Landscape Architect during the guarantee period. The purpose of these reports is to ensure any resistance / deterioration observed is: A. The Contractor's responsibility to report those to protect the guarantee. Failure to submit reports eliminates any claims that may be made. This is not valid due to improper maintenance by the Owner.

B. Any dead plants, or plants showing indication of probable non survival or lack of health and vigor, or which do not exhibit the characteristics that meet Specifications, shall be replaced within two (2) weeks. All replacement plants shall be furnished and installed at no additional cost to the Owner. All replacements shall meet the original Specifications and shall be guaranteed for an additional period equal to the original.

C. The Contractor shall notify the Owner in writing ten (10) days prior to the start of the guarantee period. The guarantee period shall extend until verification is received.

**1.04 PROTECTIONS**

A. The Contractor shall provide and maintain the necessary safeguards to protect the work, adjacent property, and the public, and shall be responsible for any damage or injury due to the Contractor's negligence.

**1.05 VERIFICATION OF PLANS, DIMENSIONS, AND QUANTITIES**

A. The Contractor is responsible for obtaining the current and latest approved plan set.  
B. Before proceeding with any work, carefully check and verify all dimensions and quantities. All correct dimensions and quantities shall be noted on the drawings.  
C. Immediately notify the Landscape Architect of any inaccuracies or omissions.

**1.06 SUBMITTALS**

A. Submit documentation to Owner's Representative within fourteen (14) days after award of Contract, including quantities of plant material, availability, and source of plant material.  
B. The Contractor shall verify that all material listed on the Plant List meets original criteria.  
C. All material shall be subject to inspection and approval by Owner's Representative.  
D. The Contractor shall coordinate a material tagging trip with the Landscape Architect for tree, specimen, and annual quantities indicated on the pre-acceptance drawing.

**1.07 QUALITY ASSURANCE**

A. REFERENCED SPECIFICATIONS AND STANDARDS:  
1. Standards as established by the Florida Nursery Growers Association (FNGA).  
B. TESTS AND INSPECTIONS:  
1. Plants shall be subject to inspection and approval of the Owner's Representative at all stages of production and delivery for conformity to specifications. Such approval shall not impair the right of inspection and rejection during progress of work. Inspection and delivery of plant material by Owner's Representative is not approval of the material with respect to health and vigor. The health and vigor of the plant material is the sole responsibility of the Contractor.

2. The Contractor shall be responsible for proper plant labeling on existing on-site soils. Prior to commitment of plant specimens, the Contractor shall examine the soils at all areas of work by conducting soil tests and field soil tests with water to determine if soil chemistry and drainage is satisfactory. Any unsatisfactory conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action or plant material substitution. The Owner's Representative reserves the right to make changes or substitutions in plant type or quantities for the purpose of ensuring proper plant growth.

3. Owner's Representative reserves the right to take and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request of the Owner's Representative. Requested materials shall be immediately removed from the site at the Contractor's expense. The Contractor shall pay cost of shipping of materials not meeting specifications.

**CHANGES IN WORK**

A. The Owner's Representative may order changes in the work, and the corresponding adjustments to the same shall be made to the Contract. All such orders and adjustments shall be made by the Contractor for extra compensation. All changes in the work, notifications, and the Contractor's request for information shall conform to the conditions of the Contract.

**CONSTRUCTION OF WORK**

A. The Contractor shall conform to all the requirements of the work that fails to conform to the requirements of the Contract and shall remedy defects due to faulty materials or workmanship.

**EFFICIENCY**

1. All planting shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.  
2. All work shall comply with applicable codes and regulations.  
3. The work shall be coordinated with other trades to prevent conflicts.

**1.08 POOR CONDITIONS**

A. Sequencing: Do not commence planting until site grading, soil import, and preparation has been completed.  
B. Inspect and approve all concrete work and fresh grading prior to start of shrub and groundcover planting as specified. Trees may be planted in advance of irrigation system installation provided adequate provision is made for interim watering at the Contractor's expense.

C. The Contractor shall inform the Landscape Architect of any discrepancy between the Drawings, Specifications, and actual field conditions. Immediately inform the

Owner's Representative and do not do work in any area where there is a significant discrepancy until approval to proceed has been received from the Owner's Representative.

**1.09 SITE CONDITIONS**

A. Existing Conditions:  
1. Exercise care in digging and other work so as not to damage existing work including, but not limited to, plant material, irrigation materials, underground pipes and cables, and the pipes and hydrants of water systems. Should the Contractor be notified of any underground work, the Contractor shall be consulted and will adjust the location of plants to clear such obstructions. The Contractor shall be responsible for the immediate repair of any damage caused by the work at their own expense.

2. Should any objectionable materials such as old concrete, bricks or other debris be encountered during planting operations, the Contractor shall bring this to the attention of the Owner's Representative. Substantial Completion has been reached from this site.

3. Unsatisfactory conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action.  
4. The Contractor shall be responsible for the immediate attention of all amendments.

**1.10 PROJECT HANDLING**

A. Delivery:  
1. Plant transportation shall comply with all Federal and State regulations.  
2. Deliver fertilizer to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trademark and composition in a certified analytical report, same as furnished to the State Dept. of Agriculture.  
3. The Contractor shall furnish Owner's Representative receipts for all amendments.

4. Deliver all plants with legible identification labels.  
A. Label trees, evergreens, bundles of containers of shrubs or groundcover plants.  
B. State correct plant name and size indicated on plant list.  
C. Use durable waterproof labels with water-resistant ink, which will remain legible for at least 60 days.  
D. Protect plant material during delivery to prevent damage to root ball or desiccation of leaves.

5. The Contractor shall notify the Owner's Representative three (3) days in advance of delivery of all plant material and submit an itemized list of the plants in each delivery.  
6. Storage: Store plant material in shade and protect from weather.

7. Handling: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing of plant materials. Plant materials have been damaged in any way shall be discarded. If they have been installed, they shall be replaced with undamaged materials at the Contractor's expense.

8. Tagged Materials: The Contractor shall label all tags on materials previously tagged by the Owner's Representative until Substantial Completion.

**2.01 MATERIALS**

**A. GENERAL**

1. Nomenclature: All trees, shrubs and plants shall be true to name as established by the American Horticultural Society publication "Standard Plant Names". The designated authority for the identification of all materials shall be the American Horticultural Society, "The Horus List" and "Manual of Cultivated Plants", and all specimens shall be true to type, name, and, as described therein.

2. Grade Standards and Quality: All grades shall be nursery grade and shall comply with all required inspections, grading standards and plant regulations as set forth in all editions of the Florida Department of Agriculture, Florida Grades and Standards for Nursery Plants' latest edition.  
3. The minimum grade for all trees and shrubs shall be Florida No. 1 unless otherwise indicated. All plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall have healthy, well developed root systems free of defects, and they shall be disease and insect free, except for larvae.

4. Measurements:  
a. The minimum acceptable size of all plants, measured after pruning, with branches in normal position, shall conform to the specified size as shown on the plans. Size specified are minimum standards. Plants shall be equal to or larger than the following: (Height, spread, caliper, container) or (size specification). Substantial deviations from these measurements shall be brought to the immediate attention of the Owner's Representative for possible remedial action or plant material substitution. All plants shall be approved by Landscape Architect. Caliper of all plants shall be measured on (1) foot above root ball for trees or (6) inches in caliper.

5. Clear trunk of all types of palms shall be measured from the finished grade to the beginning of the fronds. The lowest portion of the trunk of the palm shall be in proportion to the overall height of the palm.  
6. Plant Protection: Plants shall be protected upon arrival at the site, by being thoroughly watered, kept moist, and properly mulched until well established.

B. PLANT MATERIALS: In reference to method of cultivation, root system status, etc., plants for landscaping shall be classified under the following designations:  
1. Container Grown Plants:  
a. Container grown plants shall have been grown in a container large enough to allow sufficient time for root system development. Plants shall be well to full of soil together if and whole, no plant shall be loose in the container. All plants shall have been consistently watered, and shall be in the planting process for removal of growing or shipping roots.

b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
c. Plants which have become root bound, girdled, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or stems which are heavily encased in soil and characterized by the following:  
i. The Contractor shall provide rejectable material, or provide corrective measures prior to accepting material at best industry practices.

2. Balled and Burlapped (B & B) Trees:  
a. Plants or shrubs that are dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project site, and sufficient burlap covering to protect the root system, shall be acceptable. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.

3. Field Grown Plants:  
a. Plants which have become root bound, girdled, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or stems which are heavily encased in soil and characterized by the following:  
i. The Contractor shall provide rejectable material, or provide corrective measures prior to accepting material at best industry practices.

4. Balled and Burlapped (B & B) Trees:  
a. Plants or shrubs that are dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project site, and sufficient burlap covering to protect the root system, shall be acceptable. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.

5. Field Grown Plants:  
a. Plants which have become root bound, girdled, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or stems which are heavily encased in soil and characterized by the following:  
i. The Contractor shall provide rejectable material, or provide corrective measures prior to accepting material at best industry practices.

6. Balled and Burlapped (B & B) Trees:  
a. Plants or shrubs that are dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project site, and sufficient burlap covering to protect the root system, shall be acceptable. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.

7. Field Grown Plants:  
a. Plants which have become root bound, girdled, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or stems which are heavily encased in soil and characterized by the following:  
i. The Contractor shall provide rejectable material, or provide corrective measures prior to accepting material at best industry practices.

8. Balled and Burlapped (B & B) Trees:  
a. Plants or shrubs that are dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project site, and sufficient burlap covering to protect the root system, shall be acceptable. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.

9. Field Grown Plants:  
a. Plants which have become root bound, girdled, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or stems which are heavily encased in soil and characterized by the following:  
i. The Contractor shall provide rejectable material, or provide corrective measures prior to accepting material at best industry practices.

10. Balled and Burlapped (B & B) Trees:  
a. Plants or shrubs that are dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project site, and sufficient burlap covering to protect the root system, shall be acceptable. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.

11. Field Grown Plants:  
a. Plants which have become root bound, girdled, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or stems which are heavily encased in soil and characterized by the following:  
i. The Contractor shall provide rejectable material, or provide corrective measures prior to accepting material at best industry practices.

12. Balled and Burlapped (B & B) Trees:  
a. Plants or shrubs that are dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project site, and sufficient burlap covering to protect the root system, shall be acceptable. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.  
b. All containers shall be cut and opened fully in a manner such as not to damage the root system. Containers shall be inspected and approved by the Contractor prior to immediately before planting, and when care shall be taken to prevent damage to the root system.

C. B & B trees shall have been routinely pruned during field production and dug at root four (4) weeks prior to planting.  
4. Root Plugs: All trees classified as B & B shall be tagged as a Root Plug product and the tag shall be attached to the plant material. Substantial Completion has been achieved. Any material previously tagged at a nursery by the tag shall have the nursery's marking ink clearly visible.

5. Bare Root Plants: Bare root plants shall be used unless otherwise specified.  
6. Grow Bag/Plastic Container Plants: The grow bag plants shall be used.

7. Soil: Soil shall be established, well-rooted Argentine Bahia, St. Augustine, or other as specified. Much grow soil shall not be used. Soil shall be free of weeds and undesirable native plants.  
8. Seed:  
a. All seed shall have 95% pure seed content with a verified 85% minimum germination rate.  
b. Unless specified otherwise, grass seed shall consist of a 80/20 mixture of Argentine Bahia and annual ryegrass (or Argentine Bahia and ryegrass millet as specified for the area, see Installation).

C. OTHER MATERIALS:  
1. Soil:  
a. Topsoil shall be a fibrous loam, typical of cultivated topsoils locally containing at least 5 percent of decayed organic matter (humus). It shall be taken from a well-drained, arable site. It shall be reasonably free of weeds, sticks, stones, cobs, rocks, roots, or other objectionable extraneous matter or debris. It shall not contain toxic materials and shall have an acidity range of from 6.5 to 7.5. Topsoil from a grass infested area shall not be acceptable.  
b. Soil testing shall be performed and analyzed by a laboratory registered in the State. Testing shall include fertility and available nutrients and written recommendations for fertilizer or amendments, which shall take precedence over reports or analyses prepared in this section. Soil testing shall be the Contractor's responsibility. Submit test results to the Landscape Architect for review.  
c. Soil Preparation: Prior to placing mix and backfill, and commencing with planting, notify any of all areas that have been previously compacted over 90 percent for other construction projects.  
2. Fertilizer:  
a. Fertilizer, part of which the elements shall be derived from organic sources, shall be a complete blend formula, balanced as suitable for the plant type. It shall contain nitrogen, phosphorus, and potassium, as well as recommended micronutrients such as magnesium, iron, copper, zinc, boron, and manganese in sufficient quantities to meet the needs of all turf, shrubs, and tree plants corresponding to plant list, at the lowest necessary rate. Total nitrogen shall not exceed a rate of 1 pound per 1,000 square feet.

3. Agriform 20-20-25 Tablets Plus Minor, or approved equal, shall be provided in each planting hole in the quantities and locations specified in a complete fertilizer analysis that is approved by the Landscape Architect.  
4. Weed Control: All planting beds shall be treated with the pre-emergent Sulfonilic 2.5 TFS prior to multiple per manufacturer's instructions.

5. Mulch: All mulch shall be grade #1, clean, bright, and free of weeds, moss, sticks and other debris. Fine straw shall be used unless specified otherwise. Cypress mulch shall not be used.  
6. Water: Suitable water for the irrigation plants during the progress of construction shall be provided and provided paid for by the Contractor. Water shall also furnish adequate watering equipment.

7. The Stake and Tie: Stakes and ties shall be provided in accordance with the plan details and the staking and tying requirements. Substitutions require written approval by the Owner.  
8. Antibiotics: Daptin (Phenoxymethyl penicillin), Penicillin G, and Phosphenic antibiotics shall not be used for treating bacterial blight or other diseases caused by oxytetracycline (OTC-HC) antibiotics three (3) months after installation, and thereafter every three (3) months as often until the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF IFAS Extension Publication EN198).

9. Root Barriers / Geotextiles: Protection of adjacent infrastructure shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.  
10. INSPECTION:  
A. Ensure that all grades plus three (3) inches have been established prior to commencing planting operations. Provide for inclusion of all amendments, setting, etc. The Contractor shall be responsible for the first grade of all planting areas, unless otherwise indicated on Civil Engineer's plans and as directed by the Owner's Representative.  
B. Inspect trees, shrubs and liner stock plant material for injury, insect infestation and trees and shrubs for improper planting.  
C. Do not begin planting of trees until deficiencies are corrected or plants replaced.

11. THE SOIL PREPARATION:  
A. All planted areas to be planted shall be loosened to 12" except 2:1 or steeper slopes.  
B. Soil to be used for planting shall be free of rocks over 1/2" in diameter, and shall be free of any organic debris, petroleum products, insecticides, herbicides, petroleum products, concrete, base rock, or other deleterious or objectionable material. Soil shall be the original subsoil and capable of sustaining healthy plant life. Materials not meeting these specifications shall be removed.  
C. Areas shall be loosened to a minimum of 25 percent mulch.

D. Areas shall be gently rolled and gasolitic with uniform levels or slopes with no more than 4:1 maximum slope.  
E. The Contractor shall contact the Landscape Architect for approval of all aesthetic grading to any planting.

F. Final Grades:  
1. Final grading modifications may be required to establish the final grade.  
2. Final grading shall include grading of all areas as determined by the Civil Engineer's grading plans and the Owner's Representative.  
3. All areas shall be graded such that final grade will be 7" below adjacent paved areas, sidewalks, walkways, heards, curbs, drains, manholes, etc., or as indicated on Drawings.

4. Surface drainage shall away from all structure foundations at a minimum of 1/4" per foot and to a water runoff.  
5. Remove or redistribute excess soil before application of fertilizer. Make allowances when establishing fresh grades and earth grading out from planting jobs and mulch.  
6. Weeding: Before and during preliminary and fresh grading, dig out weeds and grasses by the roots and dispose of in the site. Grasses not of the perennial type less than 1/2" high and growing in the soil, may be turned under. Perennial weeds and grasses to be removed include, but are not limited to the following: Crabgrass, Quailgrass, Annual Ryegrass, Morning Glory, and Johnson Grass. Whenever encountered on the site within the planting areas, thoroughly remove roots and foliage and dispose of as required by municipalities and according to the drawings.

7. Trrenches: If sprinkler system has been installed after grading and finishing has been completed, wet the trench, backfill, and finish to the depth specified for the area to conform to specified requirements.  
8. Eliminate all erosion scars prior to commencing maintenance planting.  
D. Disposal of excess soil: Dispose of any unacceptable or excess soil of an off-site location approved by Owner's Representative.

12. DIMENSIONS: The height and spread of all plants shall be measured with branches in a normal position. Where dimensions of plant materials are omitted from the Plant List, plants shall be normal stock for their type and conditions are suitable and in accord with locally accepted practice.  
13. Actual planting shall be performed during those periods when weather and soil conditions are suitable and in accord with locally accepted practice.  
14. Only as many plants as can be planted and watered on that same day shall be distributed in a planting area.  
15. Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the root and branches and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall be opened prior to placing the plants in the planting area.  
16. Do not do any planting, other than specimen trees, until operations involved with the installation of the sprinkler system have been completed. Final grades have been established, the planting areas have been properly graded and prepared as herein specified, and the work approved by the Owner's Representative.

17. The relative position of each tree and plant is subject to approval by the Owner's Representative, and shall, if necessary, be altered to accommodate irregularities, as relocated as directed.  
18. Remove each plant in its container and plant in such manner that when lined, it will bear the same relation to the constructed finished grade as the plant in the container before being transplanted. Place each plant in the center of the pit and backfill, unless otherwise specified, with prepared soil. Filling will not be permitted around roots or stems. Properly cover all soil around the plant root ball.  
19. Layout of planting materials: Locations for plants and outlines of areas to be planted shall be marked on the ground before any planting take place. At each location the Contractor shall provide and provide paid for by the Contractor:  
1. Layout shall be accompanied with flagged grade stakes indicating plant names and underground container size on each site or alternate approved method.  
2. Sub and underground container size line is encountered in the excavation of planting areas, other locations for planting may be selected by the Owner's Representative or Landscape Architect, as required.  
3. It shall be the Contractor's responsibility to confirm with the Owner and governing agencies the location and depth of underground utilities and obstructions.  
4. Center plants in pit or trench.  
5. Face plants with flagging toward the best public views.  
6. Set plant materials and hold rigidly in position until soil has been tamped firmly around ball or roots.  
7. All excavated holes shall be vertical sides with roughened surfaces and shall be of a size that is twice the diameter and one-half times the depth of the setting. It will bear the same relation to the constructed finished grade as the root ball for all shrubs. Trees 1/2 gallon and smaller to be planted as above, trees 2" box or larger to be excavated to the depth of the root ball (allow 1-2" for setting) and to allow space, 2" clear of the root ball on all sides.  
8. Layout areas and set stakes for trees at locations indicated on Drawings. Secure approval from the Owner's Representative before excavating jobs. Make necessary adjustments as directed.  
9. Specimens trees to be planted prior to construction of fresh grades shall be located by the same grid and high-gauge relationship to top of root ball.  
10. When hardpan or other compacted, high-gauge topsoil is to be broken and replaced with topsoil, the Contractor shall use a backhoe loader at sides and bottoms by jetting or other approved method. Set free the ground and fill the pit with prepared soil, properly setting the soil about the root ball and water and footing to improve moisture.

11. Prepare watering beds same with as tree plant table. Water thoroughly immediately following planting. Backfill all voids which develop with additional prepared planting soil to bring to fresh grade. Remove all debris in lawn areas, and smooth to finish grade prior to laying soil.  
12. Monitor tree and shrub root balls for adequate moisture content. Deep water and/or provide water before trees are in moisture status.  
13. All plants which settle deeper than the surrounding grade shall be raised to the correct level. After the plant has been placed, additional backfill soil shall be added to the hole to cover approximately one-half the height of the root ball. At this stage, water shall be added to the top of the party filled hole to thoroughly saturate the root ball and adjacent soil.

14. Can removal:  
a. Cut on trees on sides with an acceptable can cutter.  
b. Do not injure root ball.  
c. Do not cut across with spade or axe.  
15. Burlap and wire removal:  
a. After the root ball is positioned and backfilled, remove all wire and cut burlap from the top of the burlap. Do not dig down into the soil.  
b. Remove the top 6 - 8 inches of the basket wires prior to final backfilling. Fold back sharp wire ends.  
16. Root removal:  
a. Remove bottom of plant leaves before watering. Remove sides of bow without damage to root ball after pre-planting plant and partially backfill.  
17. Plant tables:  
a. During installation, Agriform 20-20-25 Tablets Plus Minor, or approved equal, shall be provided in each planting hole in the quantities and locations specified in the manufacturer's specifications.  
b. Planting tables shall be set with each plant on the top of the root ball while the plants are still in their containers to the required number of tablets to be used in each hole can be fully verified by the Owner's Representative.  
c. Tablets shall be located in the upper 1/2 to 3/4 of the plant pit, 1-2" from roots.  
18. Backfill:  
a. The remainder of the hole shall then be backfilled and tamped firm.  
b. Then, an earthen basin shall be constructed around each plant. Each basin shall be of a depth sufficient to hold at least three (3) inches of water. The basin shall be constructed of amended backfill material. Remove basin in full areas after initial watering.  
19. Pruning: Pruning of new plantings shall be limited to the minimum necessary to remove injured buds and branches. Pruning may not be done prior to delivery of plants.  
20. Staking and Guying: The Contractor shall be responsible to maintain trees in a straight and plumb position throughout the guarantee period. Tree staking shall include wire bracing and guying. Stakes shall be installed diagonally and in the distance. Stakes and guys shall not create tripping hazards. Remove the staking and guying materials once trees are established.

21. D. Planting of flowering annuals:  
1. Flowering annuals shall be grown in 4" pots indicated on the plans. Annuals shall remain in their retail wrapping. The first soil shall contain sufficient moisture so that it will not rot apart when lifting the plants.  
2. The annuals shall be planted in straight rows and evenly spaced, unless otherwise noted on the drawings. Transplant spacing shall be used unless otherwise noted on the drawings.  
3. Each rooted plant shall be planted with appropriate amount of soil. Plants shall be immediately inspected after planting and the final grade is sealed to the full depth of each hole.  
4. The annuals planted shall be mulched with appropriate flag bedding mulch. Each annual bed shall be sealed so that the ground is thoroughly covered, and the annuals are not burnt.  
5. Care shall be exercised at all times to protect the plants after planting. Any damage to plants by trampling or other causes during the course of this Contract shall be repaired immediately.  
E. Soil planting:  
1. Preparing soil: Remove roots, weeds, and debris from area to be seeded. If dirt is compacted, work up soil to a depth of 6 inches and break up soil. Test soil and prep all areas as noted elsewhere in specifications.  
2. Grading and rolling: Carefully smooth all surfaces to be seeded. Roll areas to remove soil depressions or surface irregularities. Repgrade as required.  
3. Laying soil: Lay first strip of sod along a straight line (use a string in irregular areas). But joints tightly, do not overlap joints. On second strip, stagger joints much as in laying bricks. On slopes, begin at the bottom and run up slope along the bottom of the slope. The second and third strip will be in higher elevation. Use a sharp knife to cut soil to fit curves, edges and sprinkler heads. Soil shall be laid within 72 hours of harvesting and 2 hours from end of delivery.  
4. Anchoring: On slopes steeper than 4:1, soil shall be anchored with one-inch wide by six-inch long U-shaped #11 non-galvanized steel wire staples. Use a minimum of four (4) staples along the length of the sod in every other row. Along waterways, use (2) additional staples that be placed in the upper and lower end of each strip and the facing line. Staples shall be driven flush with the top of the soil. Provide additional staples as necessary to occur and in place.  
5. Watering: Do not water lightly before watering. When a considerable large area has been seeded, water while preventing drying. Continue to water, and to compact until installation is complete.  
6. Rolling soil: After laying all sod, roll lightly to eliminate irregularities and to form good contact between the sod and soil. Avoid a very heavy roller or excessive initial watering which may cause rutting.  
7. Irrigation: Water thoroughly the complete lawn surface. Soil should be moisture at least 6 inches deep. Irrigation with regular intervals to keep soil moist at all times until, after soil is established, decrease frequency and increase amount of water per application as required to occur and in place.  
F. MULCHING:  
1. Mulch shall be 2" thick minimum following application, and 3" away from plant trunk.  
2. On beds and slopes deeper than 4:1, install plants through narrow foot erosion control blanket Rollins C1589 or approved equal. Along planted sods and waterways, provide Eriamul or approved equal. Install and finish landscaping per manufacturer's specifications.  
G. SEEDING:  
1. Prepare soil: Remove roots, weeds, and debris from area to be seeded. If dirt is compacted, work up soil to a depth of 6 inches and break up soil. Test soil and prep all areas as noted elsewhere in the Specifications.  
2. Time seeding as appropriate for the type of plant, generally as: bahia with seed and fertilizer applied to bring to fresh grade. Annual ryegrass with seed and fertilizer applied to bring to fresh grade. Bahiagrass with seed and fertilizer applied to bring to fresh grade.  
3. Apply seed according to the application rates and instructions specified by the seed company.  
4. Uniformly spread seed over the seeding area and incorporate into the soil at a depth of 1/4 to 1/2 inch.  
5. Cover the seed with a solid layer of straw mulch that is dry, and free of weed and insects.

etc., or as indicated on Drawings.  
5. Surface drainage shall away from all structure foundations at a minimum of 1/4" per foot and to a water runoff.  
6. Remove or redistribute excess soil before application of fertilizer. Make allowances when establishing fresh grades and earth grading out from planting jobs and mulch.  
7. Weeding: Before and during preliminary and fresh grading, dig out weeds and grasses by the roots and dispose of in the site. Grasses not of the perennial type less than 1/2" high and growing in the soil, may be turned under. Perennial weeds and grasses to be removed include, but are not limited to the following: Crabgrass, Quailgrass, Annual Ryegrass, Morning Glory, and Johnson Grass. Whenever encountered on the site within the planting areas, thoroughly remove roots and foliage and dispose of as required by municipalities and according to the drawings.  
8. Trrenches: If sprinkler system has been installed after grading and finishing has been completed, wet the trench, backfill, and finish to the depth specified for the area to conform to specified requirements.  
9. Eliminate all erosion scars prior to commencing maintenance planting.  
D. Disposal of excess soil: Dispose of any unacceptable or excess soil of an off-site location approved by Owner's Representative.

12. DIMENSIONS: The height and spread of all plants shall be measured with branches in a normal position. Where dimensions of plant materials are omitted from the Plant List, plants shall be normal stock for their type and conditions are suitable and in accord with locally accepted practice.  
13. Actual planting shall be performed during those periods when weather and soil conditions are suitable and in accord with locally accepted practice.  
14. Only as many plants as can be planted and watered on that same day shall be distributed in a planting area.  
15. Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the root and branches and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall be opened prior to placing the plants in the planting area.  
16. Do not do any planting, other than specimen trees, until operations involved with the installation of the sprinkler system have been completed. Final grades have been established, the planting areas have been properly graded and prepared as herein specified, and the work approved by the Owner's Representative.

17. The relative position of each tree and plant is subject to approval by the Owner's Representative, and shall, if necessary, be altered to accommodate irregularities, as relocated as directed.  
18. Remove each plant in its container and plant in such manner that when lined, it will bear the same relation to the constructed finished grade as the plant in the container before being transplanted. Place each plant in the center of the pit and backfill, unless otherwise specified, with prepared soil. Filling will not be permitted around roots or stems. Properly cover all soil around the plant root ball.  
19. Layout of planting materials: Locations for plants and outlines of areas to be planted shall be marked on the ground before any planting take place. At each location the Contractor shall provide and provide paid for by the Contractor:  
1. Layout shall be accompanied with flagged grade stakes indicating plant names and underground container size on each site or alternate approved method.  
2. Sub and underground container size line is encountered in the excavation of planting areas, other locations for planting may be selected by the Owner's Representative or Landscape Architect, as required.  
3. It shall be the Contractor's responsibility to confirm with the Owner and governing agencies the location and depth of underground utilities and obstructions.  
4. Center plants in pit or trench.  
5. Face plants with flagging toward the best public views.  
6. Set plant materials and hold rigidly in position until soil has been tamped firmly around ball or roots.  
7. All excavated holes shall be vertical sides with roughened surfaces and shall be of a size that is twice the diameter and one-half times the depth of the setting. It will bear the same relation to the constructed finished grade as the root ball for all shrubs. Trees 1/2 gallon and smaller to be planted as above, trees 2" box or larger to be excavated to the depth of the root ball (allow 1-2" for setting) and to allow space, 2" clear of the root ball on all sides.  
8. Layout areas and set stakes for trees at locations indicated on Drawings. Secure approval from the Owner's Representative before excavating jobs. Make necessary adjustments as directed.  
9. Specimens trees to be planted prior to construction of fresh grades shall be located by the same grid and high-gauge relationship to top of root ball.  
10. When hardpan or other compacted, high-gauge topsoil is to be broken and replaced with topsoil, the Contractor shall use a backhoe loader at sides and bottoms by jetting or other approved method. Set free the ground and fill the pit with prepared soil, properly setting the soil about the root ball and water and footing to improve moisture.  
11. Prepare watering beds same with as tree plant table. Water thoroughly immediately following planting. Backfill all voids which develop with additional prepared planting soil to bring to fresh grade. Remove all debris in lawn areas, and smooth to finish grade prior to laying soil.  
12. Monitor tree and shrub root balls for adequate moisture content. Deep water and/or provide water before trees are in moisture status.  
13. All plants which settle deeper than the surrounding grade shall be raised to the correct level. After the plant has been placed, additional backfill soil shall be added to the hole to cover approximately one-half the height of the root ball. At this stage, water shall be added to the top of the party filled hole to thoroughly saturate the root ball and adjacent soil.

14. Can removal:  
a. Cut on trees on sides with an acceptable can cutter.  
b. Do not injure root ball.  
c. Do not cut across with spade or axe.  
15. Burlap and wire removal:  
a. After the root ball is positioned and backfilled, remove all wire and cut burlap from the top of the burlap. Do not dig down into the soil.  
b. Remove the top 6 - 8 inches of the basket wires prior to final backfilling. Fold back sharp wire ends.  
16. Root removal:  
a. Remove bottom of plant leaves before watering. Remove sides of bow without damage to root ball after pre-planting plant and partially backfill.  
17. Plant tables:  
a. During installation, Agriform 20-20-25 Tablets Plus Minor, or approved equal, shall be provided in each planting hole in the quantities and locations specified in the manufacturer's specifications.  
b. Planting tables shall be set with each plant on the top of the root ball while the plants are still in their containers to the required number of tablets to be used in each hole can be fully verified by the Owner's Representative.  
c. Tablets shall be located in the upper 1/2 to 3/4 of the plant pit, 1-2" from roots.  
18. Backfill:  
a. The remainder of the hole shall then be backfilled and tamped firm.  
b. Then, an earthen basin shall be constructed around each plant. Each basin shall be of a depth sufficient to hold at least three (3) inches of water. The basin shall be constructed of amended backfill material. Remove basin in full areas after initial watering.  
19. Pruning: Pruning of new plantings shall be limited to the minimum necessary to remove injured buds and branches. Pruning may not be done prior to delivery of plants.  
20. Staking and Guying: The Contractor shall be responsible to maintain trees in a straight and plumb position throughout the guarantee period. Tree staking shall include wire bracing and guying. Stakes shall be installed diagonally and in the distance. Stakes and guys shall not create tripping hazards. Remove the

**LANDSCAPE NOTES: (SEE PLANTING SPECIFICATIONS FOR COMPLETE REQUIREMENTS)**

1. ALL PLANT MATERIAL SHALL BE FLORIDA SPECIES NO. 1 OR BETTER AS SPECIFIED IN GRADING AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
4. ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
5. THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROPERLY REPORT ALL DISCREPANCIES AND INSTANTANEOUS CONCERNS (POLES, HOLES, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BEGIND. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL INQUIRE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
6. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL (FLORIDA RESOLVE BILL) AND AREA UTILITIES NOT LISTED ON THE LOCUS TO-DAY. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT AND PRESENT INTERRUPTION OR DAMAGE TO EXISTING STRUCTURES AND UTILITIES SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER. SEE TREE PRESERVATION PLANS.
8. CONTRACTOR SHALL PROVIDE TREE ROOT BARRIERS AND / OR OVERHANGING AREA IMPROVEMENTS AND UTILITIES WHEN ROOT BARRIERS ARE SHOWN ON THE PLANS AND / OR DETAILS.
9. ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
10. SOIL PROTECTING SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER OBSTRUCTIONS.
11. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOFTOP MULCH) DEGRADED AFTER MULCH HAS SETTLED.
12. ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECTS OWNER INSPECTION.
13. MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK: <http://fl.fda.usf.edu>
14. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.1.1.
15. FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.1.4.
16. ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC 6.8.1.5 AND SEC. 6.8.1.6.
17. ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.1.5 AND SEC. 6.8.1.6.

**LANDSCAPE COMPLETION REQUIREMENTS**

1. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, CERTIFICATION THAT THE INSTALLATION MEETS REQUIREMENTS SHALL BE SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY IN ACCORDANCE WITH LDC SEC. 6.8.1.2 AND 6.8.1.3.
2. UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE AS-BUILT PLAN AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
3. WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE QUANTITIES.
4. THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AS OUTLINED BELOW.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE LANDSCAPE ARCHITECT A CLEAR AND LEGIBLE DIAGRAM WITH THE FOLLOWING AS-BUILT INFORMATION:

- CHANGES TO LAYOUT OR MATERIALS
- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION
- IRRIGATION "AS BUILT" INFORMATION (SEE BRIGRATION)
- WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE

NOTE: PRE-APPROVAL BY THE LANDSCAPE ARCHITECT IS REQUIRED FOR ANY DESIGN CHANGE, INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, OR MATERIALS - SEE SPECIFICATIONS)

**OWNER RESPONSIBILITY**  
THE OWNER IS RESPONSIBLE FOR CONTINUED SURVIVAL OF THE PLANTS  
THE OWNER SHALL PROVIDE THE FOLLOWING INFORMATION:

- SECTION 6.8.1.1 - LANDSCAPE INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS, SOIL AND ON-DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.**
- SECTION 6.8.1.2 - ALL IRRIGATION SYSTEMS SHOULD BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES ON THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM.**
1. PROVIDE SOG IN ALL AREAS AS NOTED ON THE PLANS.
  2. PROVIDE A 3" MINIMUM SOG OVER ALL BEDS, WALKWAYS, FENCE, AND WALLS.
  3. SOG SWALES AND DRA SLOPE RATES PER GRADING AND DRAINAGE PLANS.
  4. SOG MULCH MUST BE MAINTAINED IN OPEN SPACE AND AS CALLED FOR IN THE GRADING AND DRAINAGE PLANS.
  5. SOG DISTURBED AREAS MUST BE REPAIRED OUTSIDE OF THE PROJECT BOUNDARY.
  6. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

**PLANT LIST**

Key	Qty	Botanical Name	Common Name	Size and Spacing	Native
<b>Public Diamond A Shopping Center</b>					
<b>Trees</b>					
ARF	4	Acacia robusta 'Florida Flame'	Flame Tree Maple	Cont/BBB, 1 1/2" H x 5" Spacing, 2 1/2' cal min	Yes
BRS	15	Callalumba 'Red Cluster'	Redbush, standard	#30; 7' H x 4" Spacing; 3' CT; 1 1/2' cal min	
BC	1	Buta capitata	Pink Palm	BR; 14' CT; Full head; heavy trunk, specimen	
ILE	8	Ilex x attenuata 'Eagleston'	Eagleston Holly	Cont/BBB; 10-12" H x 4" Spacing; 3 1/2' cal min; straight leader	
ILN	3	Ilex x Nellie R. Stevens'	Nellie Stevens Holly	#30; 5'6" H x 3 1/2' - 4" Spacing	
JVP	2	Jlex vomitoria 'Pendula'	Weeping Yapon Holly	#30; 8' H x 4" Spacing; HT	Yes
LHM	10	Lagerstroemia indica 'Muskegon'	Crape Myrtle, white	#30 Cont/BBB; 7' H x 4" Spacing; HT	
LHS	4	Lagerstroemia indica 'Natchez'	Crape Myrtle, lavender standard	#30; 9-10' H x 4-5" Spacing; min 5' CT standard	
LIN	4	Lagerstroemia indica 'Natchez'	Crape Myrtle, white	#30 Cont/BBB; 9' H x 5" Spacing; HT	
LINS	5	Lagerstroemia indica 'Natchez'	Crape Myrtle, white standard	#30; 9-10' H x 4-5" Spacing; min 5' CT standard	
LIT	16	Liquidum japonicum	Liquidum, tree-form	BBB; 6' H x 5" Spacing; HT; 2' min open below	
MGB	4	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia	Cont/BBB; 13-15" H x 6-8" Spacing; 3 1/2' cal min	Yes
MID	6	Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Magnolia	Cont/BBB; 13-15" H x 6-8" Spacing; 3 1/2' cal min	Yes
ME	20	Myrica aspera	Salt Pine	Cont/BBB; 14-16" H x 4" Spacing; 3 1/2' cal min	Yes
PF	28	Pinus palustris	Longleaf Pine	Cont/BBB; 14-16" H x 4" Spacing; 3 1/2' cal min	Yes
QS	9	Quercus shumardii	Shumard Oak	Cont/BBB; 13-15" H x 6-8" Spacing; 3 1/2' cal min	Yes
QV	27	Quercus virginiana	Live Oak	Cont/BBB; 13-15" H x 6-8" Spacing; 3 1/2' cal min	Yes
SP	29	Sabal palmetto	Sabal Palm	BR; hurricane cut; see plan for CT heights	Yes
TD	8	Taxodium distichum	Bald Cypress	Cont/BBB; 12" H x 5" Spacing; 3 1/2' cal min	Yes
UAW	5	Ulmus spalis 'Vermorel'	Winged Elm	Cont/BBB; 12-14" H x 6-8" Spacing; 3 1/2' cal; straight trunk	Yes
<b>Shrubs, Grasses &amp; Groundcovers</b>					
AA	41	Aspermatia africana	Lily-of-the-Nile	#1; 6A; 3-6 pop min; 18" oc	
BBD	30	Callalumba 'Little Jodie'	Dwarf Redbush	#3; 18" H x 18" Spacing; full; 30" oc	
Ch	3	Chamaecyparis humilis	European Fan Palm	#7; 2'-3' GA; MT	
CLR	7	Croton augustum 'Queen Emma'	Croton Lily red	#7; 3' GA; specimen	
DIV	312	Dianella bartramica 'Variegata'	Variegated Flax Lily	#3; full; 30" oc	
DV	307	Dalmanella repens	Arizon Fan Palm	#3; full; 5-6 pop min; 3' oc	
GS	7	Galphimia gracilis	Thymifolia	#3; full; 3' oc	
JCB	157	Jlex cornuta 'Barford Nane'	Dwarf Burford Holly	#7; 24-30" H x 18-22" Spacing; 30" oc	
JCP	40	Juniperus chinensis 'Parsoni'	Parson's Juniper	#3; 8-10" H x 18" Spacing; 3' oc	
LAS	178	Lantana camara 'New Gold'	Lantana, cream yellow	#1; full; 12" Spacing; 2' oc	
LCF	102	Longotarium chinensis 'Flum Delight'	Chinese Fringe Bush	#3; 18" H x 18" Spacing; 3' oc	
LM	64	Lycopodium obscurum 'Emerald Goddess'	Emerald Goddess Liriope	#1; full; 5-7 pop min; 18" oc	
LSE	17	Liquidum stenoata 'Starburst'	Starburst Liquidum	#3; 12-15" H x 12-18" Spacing	
MC	176	Muhlenbergia capillaris	Muhly Grass	#3; full; 3' oc	
NDS	39	Nandina domestica 'Salem'	Obsession Nandina	#3; full; 18" Spacing; 2' oc	
OC	132	Ornithogalum auriculata	Cape Plumbeago 'Impatiol Blue'	#7; 3' H x 2' Spacing; full; 2' oc	
PH	48	Podocarpus macrophyllus	Japanese Yew	#3; 10-12" H x 12-18" Spacing; 2' oc	
PHF	107	Podocarpus macrophyllus 'Tringitai'	Tringitai Japanese Yew	#3; 10-12" H x 12-18" Spacing; 2' oc	
PTV	88	Pittosporum tobira 'Variegata'	Variegated Pittosporum	#3; 12" H x 15" Spacing; 2' oc	
SB	133	Sambucus albastrum	Cornspice	#3; full; 3' oc	Yes
TAM	904	Tachypodium pinnatum 'Memento'	Dwarf Confederate Jasmine	#1; full; 5-7 pop min; 15" spacing; 18" oc	
TV	62	Tubiglossa violacea	Sweet Gartic	#1; full; 6-8 pop min; 3' oc	
VO	123	Viburnum odoratissimum	Swallow Viburnum	#3; 18-24" H x 18-24" Spacing; 3' oc	
VS	29	Viburnum sargentianum	Sandbarrel Viburnum	#3; 18-24" H x 18-24" Spacing; 3' oc	
WVS	229	Viburnum coccineum 'Mrs. Shillers Delight'	Dwarf Walnuts Viburnum	#3; 16-18" H x 18-18" Spacing; 2' oc	Yes
ZP	123	Zamia floridana	Cornice	#2; full; 18" Spacing; 30" oc	Yes
<b>Sod &amp; Miscellaneous Items</b>					
SOD		Paspalum notatum 'Argentine'	Argentine Bahia		
SOD 'A'		Stenotaphrum secundatum 'Floratan'	St. Augustine 'Floratan'		
MULCH		Pine Straw	Pine Straw	3" depth	

- OWNER RESOURCES:**
1. PROVIDER SOG IN ALL AREAS AS NOTED ON THE PLANS.
  2. PROVIDE A 3" MINIMUM SOG OVER ALL BEDS, WALKWAYS, FENCE, AND WALLS.
  3. SOG SWALES AND DRA SLOPE RATES PER GRADING AND DRAINAGE PLANS.
  4. SOG MULCH MUST BE MAINTAINED IN OPEN SPACE AND AS CALLED FOR IN THE GRADING AND DRAINAGE PLANS.
  5. SOG DISTURBED AREAS MUST BE REPAIRED OUTSIDE OF THE PROJECT BOUNDARY.
  6. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

FUTURE SHADE TREES: 47 FUTURE SHADE TREES SHALL BE PROVIDED ALONG WITH THE IMPROVEMENT OF EACH LOT; SEE PLANTING PLAN AND SHADE TREE NOTES.

**CONSTRUCTION NOTES:**

THESE PLANS ADDRESS PHASE 1 (LOTS 1 TO 9 AND TRACTS 'A' TO 'F'). BUFFERS SHALL BE INSTALLED SEPARATELY ALONG WITH THE IMPROVEMENT OF EACH LOT, AND CONTRACTOR SHALL BID PLANTING AND IRRIGATION ACCORDINGLY.

CONTRACTOR MAY REQUEST ADDITIONAL PLANS AS NEEDED TO ACCOMMODATE PHASED CONSTRUCTION.

LOT 1 (GROCERY) AND TRACT 'A' (DRA) SHALL BE INSTALLED CONCURRENTLY.

**PUBLIC LANDSCAPE REQUIREMENTS**

- 3 types of canopy trees
- 3-5 types of shrubs (minimum of 18" in height and 15" in spread at time of installation, to be listed as such on plans)
- 3 types of groundcovers (including sod)
- Select a tree that has a thinner profile to avoid blocking signage or visibility of street
- Select a retention zone if that has a 50% evergreen material
- Plant site at maturity shall be considered in plant selection. Maximum anticipated height and diameter are to be listed in landscape plan, consistent with planting landscape design.
- Drought tolerant and/or native plants shall be used whenever possible.
- Avoid the use of exotic or invasive species
- Foundation and/or other trees that are prohibited unless required by Code or ordinance. A copy of ordinance must be provided with the submitted materials.
- Foundation plantings or landscape areas adjacent to building are required to be 3'-6" wide of 10' or 27' plus plus gravel shall be maintained between the building exterior and foundation plantings.
- Trees shall be at least 4' away from the building at maturity.

- Each landscape island shall contain 3 different plant materials with a variety of height, color and texture.
- Island shall include different irrigation and plant material to keep the island varied in the parking field.
- If in the interior the landscape islands to full of plant material. Look at plant density versus island size and provide maximum plant coverage.
- Canopy trees shall only be placed in islands that are large enough to accommodate the tree's needs at maturity.
- Canopy trees shall not obscure view of the Public thoroughfare.
- Landscaping shall not obstruct the path of pedestrian travel. Vertical clearance to be a minimum of 8'6".
- Shrubs and ground cover shall not exceed 30" in height at maturity and must maintain the pedestrian sight triangle.
- Maintain a 17" to 18" plant material set back from the curb line adjacent to all vehicular and pedestrian areas.
- Where street parking stands separate parking aisles, curb cuts must be provided at intervals of 100' or less.

- Trees placed as main road buffer shall be grouped/clustered to allow sight lines.
- Landscaping shall not obscure visibility of building, monument or sign signs. Consider perforated or monogram sign material selection.
- Landscaping shall not obstruct the truck delivery path. Truck height may go up to 13'-6" and the swing of the trailer when turning may damage landscaping.
- Landscape plan shall supersede the truck routing.

- The Developer shall provide an automatic irrigation system with 30% coverage for all landscaped areas.
- Use the lowest quality water feasible for irrigation. Use reclaim or well water whenever possible. If potable water is the only available source, a separate irrigation meter shall be installed for water usage tracking.
- Rain sensors or other devices such as soil moisture sensors shall be used with automatic controls.
- Irrigation shall be designed after landscaping design and plant material have been chosen. Consider mature height of plant material to optimize irrigation coverage and reduce cost of clogging during plant growth.
- Spray heads and rotor heads shall not exist on the same zone.
- Use of drip irrigation or micro-sprinklers is allowed. If micro-irrigation is used it must be pinned down correctly and completely covered by mulch.

- Plant materials with nuts, seeds, full season flowers or fruits should be avoided near the building or along pedestrian paths.
- Plants, shrubs and trees that are known to attract certain insect species should be avoided. See Landscape Material Preference in Exhibits for more information.
- Landscaping should be planned in such a way that it grows away from the building to avoid pests/rodents gaining access to the building.
- Plant must be specified to be 2" - 3" in landscape beds.
- Small pebbles, rocks, gravel or gravel mulch is not permitted.
- Use mulch as cover in the 12" - 18" plant material set back areas in all islands and at pedestrian walkways.
- Mulch color and texture shall be consistent in all planter beds.
- Landscaping located in islands with site lighting shall be of varieties that will not obstruct light distribution at maturity.
- Parking lot lights parallel to the main drive aisle shall be contained in landscape islands. Parking lot signs in other locations are not required to be in landscape islands, although it is preferred.

PLEASE SEE TRUCK ROUTE PLAN WITH TREE ROUTING

**MARION COUNTY REQUIREMENTS**

ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LAND DEVELOPMENT CODE, ARTICLE 6, DIVISION 6, LANDSCAPING.

PROJECT AREA - 19,526 AC  
COMMERCIAL TRACTS - 13,778 AC  
<http://www.marioncountyfl.com/marion-county>

REFER TO APPROVED P.U.D.  
SEE CIVIL PLANS FOR PROJECT DATA  
OUTSIDE SPRINGS PROTECTED ZONES  
OUTSIDE URBAN GROWTH AREA

LANDSCAPE TREE REPLACEMENT (SEC 6.7-7)  
REPLACEMENT TREE - 1.1 SHADE TREE PER 3,000 SF COMMERCIAL TRACTS - 13,778 AC  
(MIN. LVS. ORA TRACTS) AND LOT 10 (OUTPARCEL EXCLUDED FROM ASSESSMENT):  
LOT 1 (GROCERY TRACT) - 14  
LOT 11 - 12  
LOT 11 - 11  
LOT 11 - 11  
LOT 11 - 11  
LOT 9 - 10

REQUIRED - 202 (TOTAL)  
PROVIDED - 202 TREES (INCLUDES ACCENT TREES SUBSTITUTED FOR SHADE TREES DUE TO UTILITIES IN BUFFER)  
PROVIDED AS FOLLOWS:  
40 - 16" CT (GROCERY) (17 - 3 BUFFER SUBSTITUTIONS)  
76 - IN TRACT (DRA) (20 ACCOMMODATE TREES REQUIRED IN GROCERY)  
86 - IN LOTS 2 TO 9 (14 - 7 BUFFER SUBSTITUTIONS + 47 FUTURE)

MATERIALS TREE REPLACEMENT (SEC 6.7-7)  
N/A; NO EXISTING TREES IN PROJECT AREA  
N/A; NO EXISTING TREES IN PROJECT AREA  
COMPLY WITH CURRENT OR 475A OVERLAY BUFFER PER LDC SUB-SECTION 6.6 (A)(2) (1" BUFFER)

30' WIDE BUFFER WITH 7' HT BEM (OPTIONAL 3-BRAND WOOD FENCE) AND SIDEWALK (TWO (2) SHADE TREES AND THREE (3) DIAMETRICAL TREES PER 100 SF SHRUBS AND GROUNDCOVERS SHALL COMPRISE 50% OF THE REQUIRED BUFFER  
REQUIRED = 30 SHADES & 45 ACENT (1,493 LF)  
PROVIDED = 30 SHADES & 45 ACENT (1,493 LF)  
GENERAL PLANTING REQUIREMENTS (SEC 6.8.10)

NATIVE PLANTS  
OUTSIDE THE URBAN GROWTH BOUNDARY, 30% MINIMUM OF ALL PROPOSED REQUIRED PLANTS SHALL BE NATIVE  
REQUIRED = 86 (2.94 X 0.33) (EXCLUDES SHRUBS IN PARKING PER 4.7.A)(2)  
PROVIDED = 86 (2.94 X 0.33)

SHADE TREE LIMITS  
PROPOSED SHADE TREES ARE LIMITED TO 50% MAX OF ANY ONE SPECIES MAX - 43 (124 X 0.35)  
PROVIDED = 38 PP  
PAVEMENT TREE LIMITS  
NOT MORE THAN 25% OF ALL REQUIRED TREES SHALL BE PALMS  
MAX = 46 PALMS (133 X 0.35)  
PROVIDED = 30 PALMS

**William & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave, Bldg. 100, Ocala, FL 34471  
Office: (352) 387-4640 Fax: (352) 387-4945

REVISIONS	
DATE	

MAJOR SITE PLAN  
PUBLIX DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA  
**PLANT SCHEDULE & NOTES**

DATE: 2/4/2025  
DRAWN BY: JBP  
JOB NO.: 24-9940

SUBMITTAL #3

L3.01















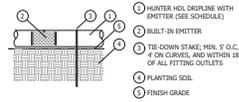




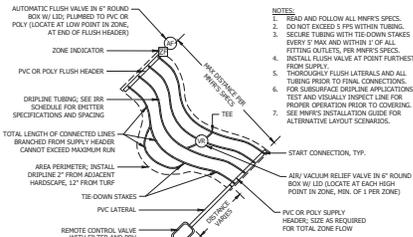




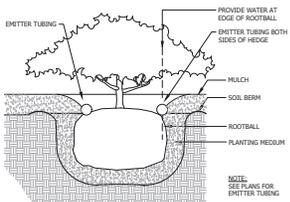




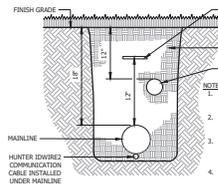
**EMITTER TUBING ON GRADE**  
NOT TO SCALE



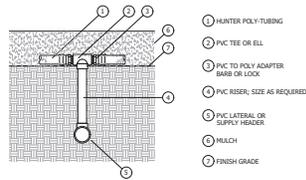
**DRIPLINE LAYOUT**  
NOT TO SCALE



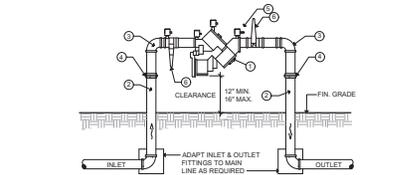
**EMITTER TUBING ALONG HEDGE**  
NOT TO SCALE



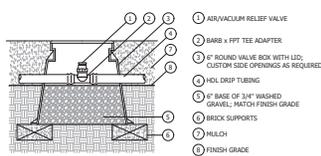
**IRIGATION TRENCH**  
NOT TO SCALE



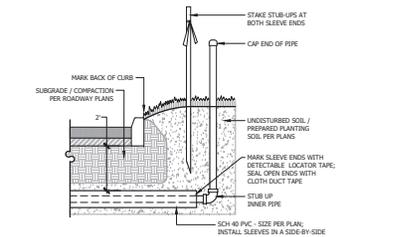
**AT-GRADE START CONNECTION**  
NOT TO SCALE



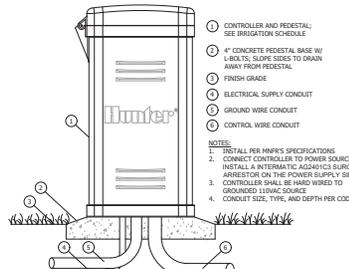
**REDUCED PRESSURE BACKFLOW PREVENTER**  
NOT TO SCALE



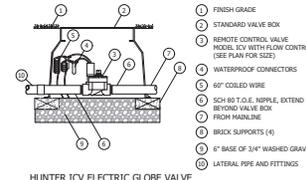
**AIR / VACUUM RELIEF VALVE ON GRADE**  
NOT TO SCALE



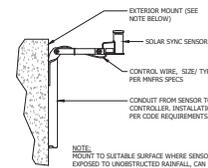
**IRIGATION SLEEVING DETAIL**  
NOT TO SCALE



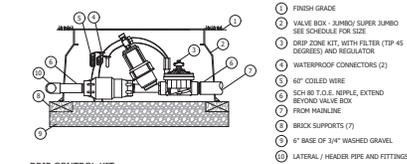
**HUNTER ACC2 DECODER CONTROLLER ON PLASTIC PEDESTAL**  
NOT TO SCALE



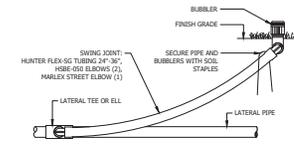
**HUNTER ICV ELECTRIC GLOBE VALVE**  
COMMERCIAL / MUNICIPAL  
NOT TO SCALE



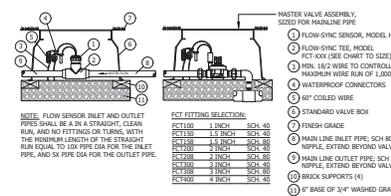
**HUNTER SOLAR SYNC SENSOR (ET, FREEZE, RAIN)**  
NOT TO SCALE



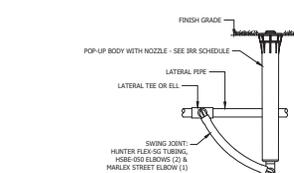
**D RIP CONTROL KIT**  
NOT TO SCALE



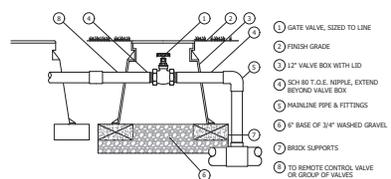
**BUBBLER ASSEMBLY**  
NOT TO SCALE



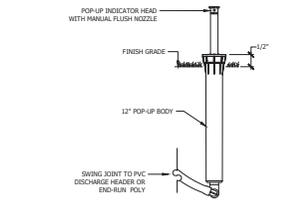
**HUNTER FLOW-SYNC FLOW SENSOR AND MASTER VALVE ASSEMBLY**  
NOT TO SCALE



**POP-UP NOZZLE ASSEMBLY**  
NOT TO SCALE



**ZONE ISOLATION VALVE**  
NOT TO SCALE



**D RIP ZONE INDICATOR MANUAL FLUSH VALVE ASSEMBLY**  
NOT TO SCALE

SUBMITTAL #3

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1720 SE 16th Ave, Bldg. 100, Ocala, FL 34471  
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REVISIONS	
DATE	

MAJOR SITE PLAN  
PUBLIX DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA  
**IRRIGATION DETAILS**

DATE: 2/4/2025  
DRAWN BY: JBP  
JOB NO.: 24-9940

LIR5.01

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

©Marion County/Grady Alexander PARKLANDSCAPE ARCHITECTURE/CONSTRUCTION 04/06/00 01 Irrigation Details.dwg LIR5.01 2/4/2025 1:15:52 PM









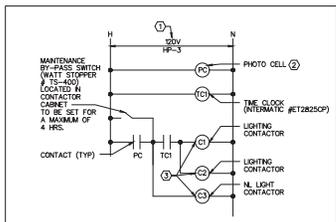


PANEL 1P 1200VOLT, 3 PHASE, 4 WIRE 100A MCB				SURFACE MOUNTED NEMA 3R REFER TO ASHTRAY CURRENT STUDY (BUS AF-C) FOR MIN. AC REQUIREMENT PROVIDE WITH GROUND BAR			
CMT	DESCRIPTION	BREAKER	LOAD	BREAKER	LOAD	BREAKER	LOAD
1	SPRINKLER MONITOR PANEL (1)	20	1 120 0.7 1.2	2	LIGHTING	20	1 120 0.1 1
3	CONTACTORS/PC	30	1 100 0.7 7 4	4	CULINARY-1	15	2 208 2.5 7
5	EXTERIOR LIGHTING	20	1 100 0.3 1 8				
7	EXTERIOR LIGHTING	20	1 100 0.3 1 8				
9	SPRINKLER REER ROOM	30	1 100 0.4 2 10	SPARE	20	1 100	
11	SPRINKLER CONTROL PANEL	20	1 100 0.5 7 12	SPARE	20	1 100	
13	ISLN	20	1 100 1.2 1 14	SPARE	20	1 100	
15	ISLN	20	1 100 1.2 1 16	SPACE			
17	RECEPTACLE	20	1 100 0.2 5 18	SPACE			
19	ISLN	20	1 100 1.2 1 20	SITE LIGHTING	30	3 208 2.1 1	
21	ISLN	20	1 100 1.2 1 22				
23	RECEPTACLE	20	1 100 0.2 5 24				
25	SPACE			SITE LIGHTING	30	3 208 2.3 1	
27	SPACE						
29	SPACE						
31	SITE LIGHTING	30	3 208 3.5 1 32	SITE LIGHTING	30	3 208 3.5 1	
33							
35							
37	SITE LIGHTING	30	3 208 2.5 1 38	SITE LIGHTING	30	3 208 4.0 1	
39							
41							

LOAD CODES		CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD
1	LIGHTING	0	1.00	0.0
2	HEAT	0	1.00	0.0
3	AIRC-CONDITIONING	0	1.00	0.0
4	MOTORS	0	25% OF LARGEST MOTOR	0.0
5	RECEPTACLES	0	NEC 210.44	0.4
6	MISC CONTINUOUS LOADS	0	1.25	0.0
7	MISC NON-CONTINUOUS LOADS	0	1.00	0.0
8	KITCHEN EQUIPMENT @ PRECES	0	0.65	0.0
9	HOTEL ROOM LOADS	0	NEC 210.42	0.0

NOTES:  
 (1) PROVIDE LOCK ON DEVICE.  
 (2) PROVIDE 0.5" RECEPTACLE ADJACENT TO PANEL.  
 (3) PROVIDE METAL IN-BUILDING COVER EQUIPMENT FOR REFRIGERATION CONTROLLER USE.

GENERAL NOTES:  
 (1) PROVIDE A BREAKER FOR ALL BRANCH CIRCUITS THAT ARE PART OF A MULTIPLE BRANCH CIRCUIT FEEDER.



**LIGHTING CONTROL DIAGRAM**  
SCALE: NONE

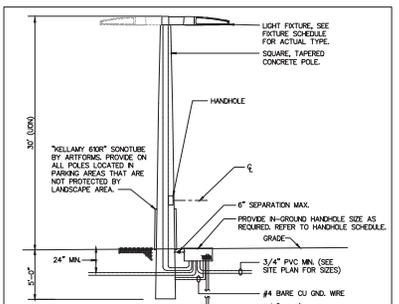
CONTRACTOR SCHEDULE	CONTRACTOR DESIGNATION	# OF POLES	CIRCUITS CONTROLLED	CONTROLLED BY
LCC	C1	12	1P-20, 31, 32, 34, 36, 37, 38, 41	PC ON / TC OFF
	C2	12	1P-6, 7	PC ON / TC OFF
	C3	12	1P-20, 22, 24, 26, 28, 30	PC ON / TC OFF

GENERAL NOTE:  
 1. WIRE TO TERMINALS FOR UNCONTROLLED CIRCUIT REQUIREMENTS. SOME CIRCUITS MAY BE PARTIALLY CONTROLLED.

- NOTES:
- 120V TO BE DERIVED FROM LOCAL 120/208V PANEL. REFER TO CONTRACTOR SCHEDULE THIS SHEET.
  - PHOTOCELL IS INTERMATIC #EK4236S. LOCATED ABOVE ROOF LINE FACING NORTH.
  - CO'S TO BE SQUARE D CLASS 8003 MULTIPLE. ELECTRICALLY HELD LIGHTING CONTACTORS WITH 30A CONTACTS. OPEN TYPE. REFER TO CONTRACTOR SCHEDULE THIS SHEET FOR CONTACTOR DESIGNATIONS.

- GENERAL NOTES:
- LOCATE CONTACTORS AND BYPASS SWITCH IN N-1 LIGHTING CONTROL CABINET (LCC). LCC TO BE LOCKABLE WITH HINGED DOOR. MINIMUM DIMENSIONS ARE 24"X24" MIN. EG TO PROVIDE SKETCH INDICATING LAYOUT OF COMPONENTS WITH SUBMITTALS.
  - REFER TO CONTRACTOR SCHEDULE THIS SHEET AND PLAN VIEWS FOR LOCATIONS.

- NOTES:
- EXISTING UTILITY COMPANY PAD MOUNTED TRANSFORMER WITH 120/208 VOLT SECONDARY.
  - EXISTING SERVICE LATERAL CONSISTING OF (3) PARALLEL RUNS OF 4" C WITH 4 #400 KCMIL COPPER EACH.
  - EXISTING 1200 AMP HEAVY-DUTY, 3 POLE, NEMA 3R, 250 VOLT, SERVICE ENTRANCE RATED, DISCONNECT WITH SOLID NEUTRAL, FUSED AT 1000 AMPS WITH CLASS L CURRENT LIMITING FUSES.
  - EXISTING 1200 AMP HEAVY-DUTY, 3 POLE, NEMA 3R, 250 VOLT, SERVICE ENTRANCE RATED, DISCONNECT WITH SOLID NEUTRAL, FUSED AT 1000 AMPS WITH CLASS L CURRENT LIMITING FUSES.
  - EXISTING GROUNDING ELECTRODE CONDUCTOR TO CONSIST OF #3/0 FROM N-G BOND IN MAIN.
  - EXISTING #6 COPPER CONDUCTOR TO TELEPHONE BOARD AND PROVIDE 6' OF BLACK CONDUCTOR IN TELEPHONE CABINET.
  - EXISTING 3 PARALLEL 4" C WITH 4 #400 KCMIL, 1 #2/0 EG EACH.
  - EXISTING 16"x16" 912" NEMA 3R WIREWAY WITH LOCKABLE COVER. BOND WIREWAY TO EG.
  - EXISTING 200AMP SELF-CONTAINED METER SOCKET.
  - EXISTING 200 AMP HEAVY-DUTY, NEMA 3R, 3 POLE, 250 VOLT, DISCONNECT, FUSED AT 200 AMPS WITH CLASS RK1 CURRENT LIMITING FUSES.
  - EXISTING (1) 2-1/2" EMPTY CONDUIT FROM DISCONNECT TO PUBLIC ELECTRICAL ROOM.
  - EXISTING 16"x16" 912" DEEP, NEMA 3R, HINGED COVER BOX WITH CONTACTORS IN ACCORDANCE WITH SCHEDULED AND 24-HR, 7-DAY, TIME CLOCK.
  - EXISTING 120 VOLT PHOTO CELL MOUNTED ON WEATHERPROOF BOX ON ROOF FACING NORTH.
  - EXISTING TYPE 1 SURGE PROTECTIVE DEVICE (SPD).
  - EXISTING (1) 4" C WITH 4 #3/0, 1 #6 EG.
  - EXISTING (1) 4" C CONDUIT TO TENANT SPACE FOR SERVICE.
  - EXISTING 2" C WITH 4 #3/0, 1 #2/0 EG.
  - EXISTING 4" C WITH 4 #3/0, 1 #6 EG, EXTENDED TO DISCONNECT.
  - EXISTING 1" EMPTY CONDUIT WITH PULL-STRING TO BELOW EMS BOARD IN PUBLIC ELECTRICAL ROOM.
  - EXISTING 200/5/AF/NEMA 3R DOUBLE THROW DISCONNECT.
  - EXISTING 16"x16" 912" NEMA 3R WIREWAY WITH LOCKABLE COVER. BOND WIREWAY TO EG.
  - EXISTING 1-1/2" C WITH 4 #1, 1 #1 EG.
  - EXISTING 100AMP SELF-CONTAINED METER SOCKET.

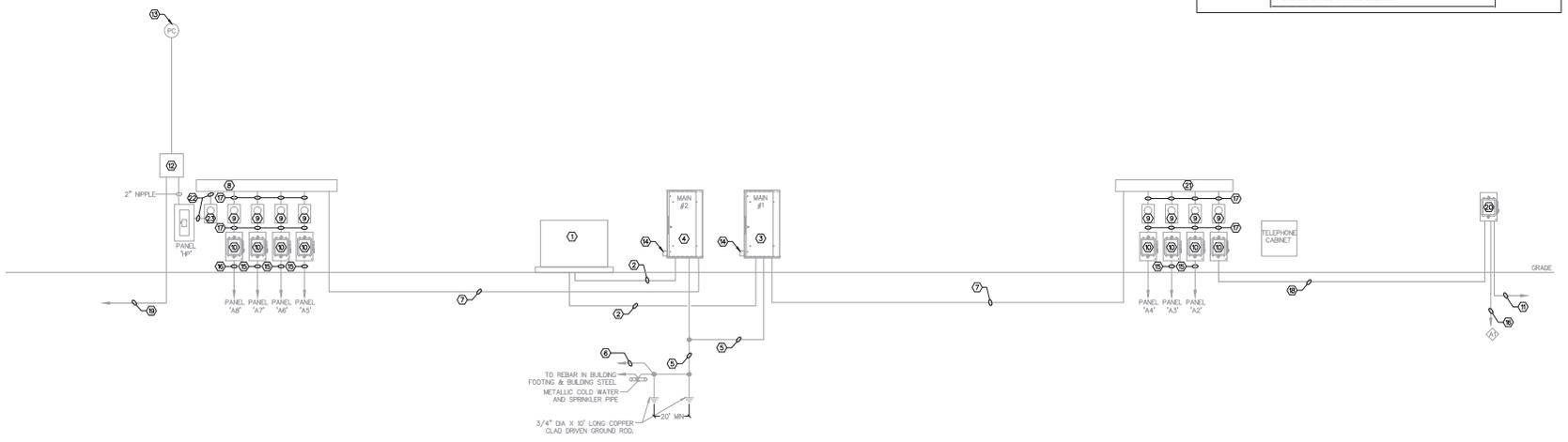


**PARKING LOT CONCRETE POLE DETAIL**  
SCALE: NONE

- GENERAL NOTES:
- AT EACH POLE LOCATION, THE CONTRACTOR SHALL PROVIDE A 3/4"x10" COPPER CLAD GROUND ROD CONNECTED TO A #6 BARE COPPER CONDUCTOR, EXTENDED TO TENON SLIP FITTER. EQUIPMENT GROUNDING CONDUCTORS SHALL ALSO BE BONDED TO THE GROUND ROD. ALL CONNECTIONS TO THE GROUND ROD SHALL BE BY EXOTHERMIC WELD CONNECTION.
  - ALL POLES ARE TO BE PROVIDED WITH HAND HOLES (MINIMUM 3"x5").
  - PROVIDE ALL HARDWARE NECESSARY TO COMPLETE THE INTENDED INSTALLATION.
  - CONTRACTOR SHALL BE REQUIRED TO SUBMIT CALCULATIONS FOR THE POLE MANUFACTURER, SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF FLORIDA, TO CERTIFY COMPLIANCE OF EACH ENTIRE POLE AND FIXTURE ASSEMBLY TO THE FOLLOWING STANDARDS:
    - 90 MPH IN ACCORDANCE WITH AASHTO SPECIFICATIONS.
    - 150 MPH IN ACCORDANCE WITH CALCULATIONS DICTATED IN THE FLORIDA BUILDING CODE.
  - CONTRACTOR IS TO FURNISH AND INSTALL IN-LINE RALLAST FUSES IN BUSBARS FROM WEATHERPROOF FUSE HOLDERS #HEB-SERIES WITH KIT FUSES (SIZE AS REQUIRED). FUSE EACH LUMINAIRIE SEPARATELY. LOCATE FUSES IN HANDHOLE OF POLE.
  - AN IN-GROUND HANDHOLE SHALL BE INSTALLED AT EVERY POLE LOCATION WHETHER OR NOT INDICATED ON THE DRAWINGS. THE HANDHOLE SHALL BE SIZED TO CONTAIN ALL CONNECTOR KITS, AND GROUND RODS. ALL CONNECTIONS IN HANDHOLE SHALL BE MADE WITH WATERPROOF, NCI POLYMER BULB NUTS (SUBMERSIBLE) OF EQUIVALENT AND KING "DRY-CONN" WIRE NUTS FOR FUSE TO FIXTURE CONNECTION.

IN-GROUND HANDHOLE SCHEDULE	DESCRIPTION
SMALL	POLYMER CONCRETE, UL LISTED, HANDHOLE WITH BELLY BOWL COVER AND OPEN BOTTOM. COVER TO BE LIFT OUT, LOCKING TIRE WITH (2) HELD KEY BOLTS. COVER TO WEATHER, TELESCOPIC. MINIMUM BOX SIZE 17" X 17" X 24" QUALITY: POLYMER/PA66/FR-17. UNCOULDED AREAS - UL TIER 15 QUALITY: POLYMER/PA66/FR-17. PAVED PARKING AREAS - UL TIER 15
MEDIUM	POLYMER CONCRETE, UL LISTED, HANDHOLE WITH BELLY BOWL COVER AND OPEN BOTTOM. COVER TO BE LIFT OUT, LOCKING TIRE WITH (2) HELD KEY BOLTS. COVER TO WEATHER, TELESCOPIC. MINIMUM BOX SIZE 17" X 17" X 24" QUALITY: POLYMER/PA66/FR-17. UNCOULDED AREAS - UL TIER 15 QUALITY: POLYMER/PA66/FR-17. PAVED PARKING AREAS - UL TIER 15
LARGE	POLYMER CONCRETE, UL LISTED, HANDHOLE WITH BELLY BOWL COVER AND OPEN BOTTOM. COVER TO BE LIFT OUT, LOCKING TIRE WITH (2) HELD KEY BOLTS. COVER TO WEATHER, TELESCOPIC. MINIMUM BOX SIZE 17" X 17" X 24" QUALITY: POLYMER/PA66/FR-17. UNCOULDED AREAS - UL TIER 15 QUALITY: POLYMER/PA66/FR-17. PAVED PARKING AREAS - UL TIER 15

NOTES:  
 1. CONCRETS TO BE STRENGTH A MINIMUM OF 4" ABOVE GROUND.  
 2. FURNISH AND INSTALL GRATE, IN BOTTOM OF HANDHOLE FOR DRAINAGE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 3. ALL CONNECTIONS IN HANDHOLE SHALL BE MADE WITH WATERPROOF, NCI POLYMER BULB NUTS (SUBMERSIBLE) OF EQUIVALENT AND KING "DRY-CONN" WIRE NUTS FOR FUSE TO FIXTURE CONNECTION.



**EXISTING POWER RISER DIAGRAM**  
SCALE: NONE



2600 Mallard Center Parkway  
 Suite #200  
 Maitland, FL 32751  
 P (407) 861-9100  
 F (407) 861-9101  
 c-p.com  
 Project: Ocala - Publix Super Markets

ARCHITECT/ENGINEER SEAL

COLWILL ENTERPRISES  
 A NIKELI COMPANY  
 Consulting Engineers, Inc.  
 Engineering Business No. 9021

4750 East Adamo Drive  
 Tampa, Florida 33605  
 Tel: 813-241-2525  
 www.colwillenterprises.com  
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 Job Number: 51253

REVISION / ISSUE HISTORY		
REV	DATE	REVISION / ISSUE NAME
1	06/23/2024	50% Public Submittal

PROJECT NO: 20240016  
 PERMIT SUB DATE:  
 PROJECT: Ocala - Publix Canopy  
 DRAWN BY: AS  
 CHECKED BY: DAS

CLIENT: Publix Super Markets, Inc.  
 3300 Publix Corporate Pkwy  
 Lakeland, FL

SHEET TITLE: ELECTRICAL SITE DETAILS

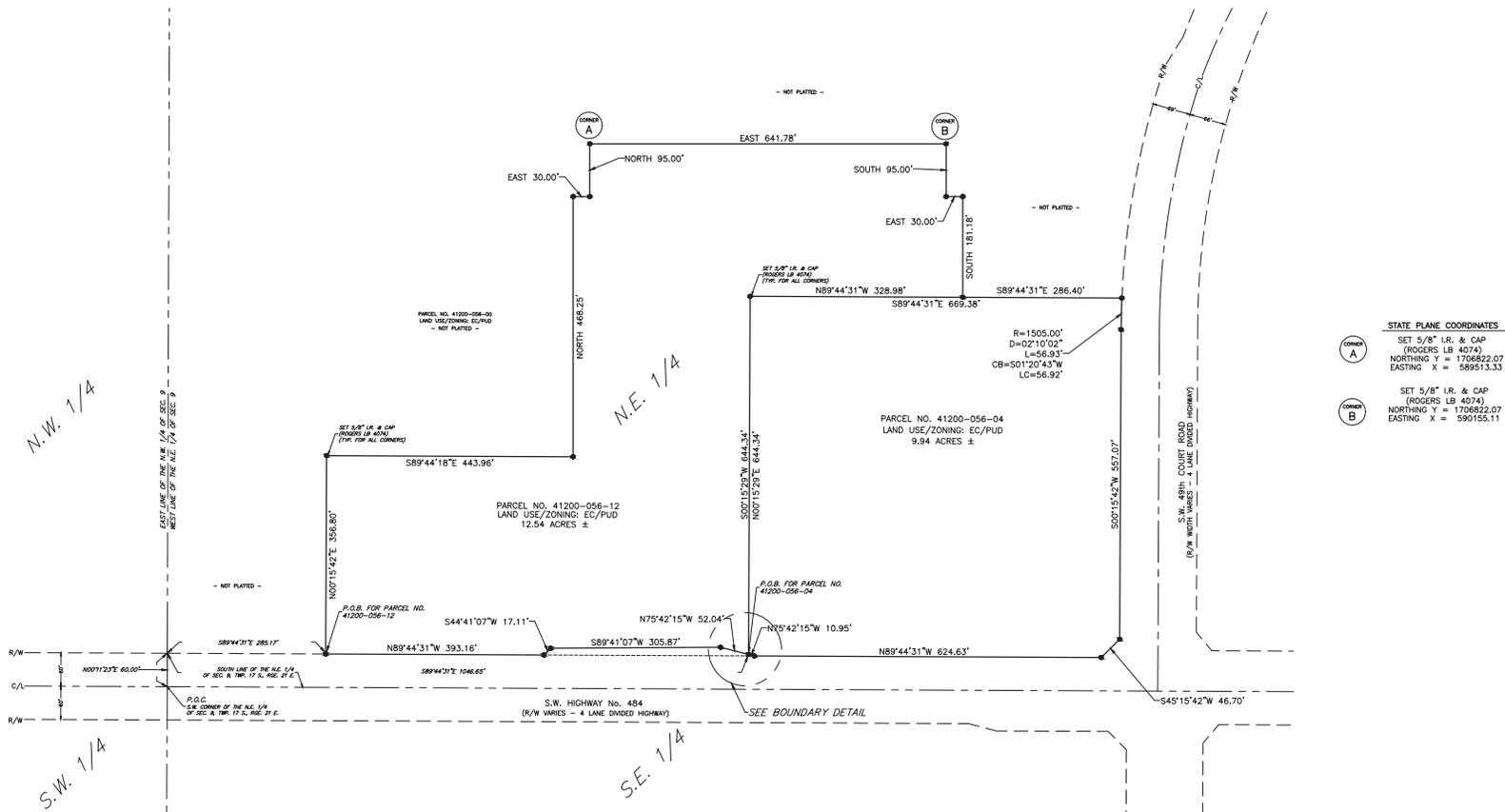
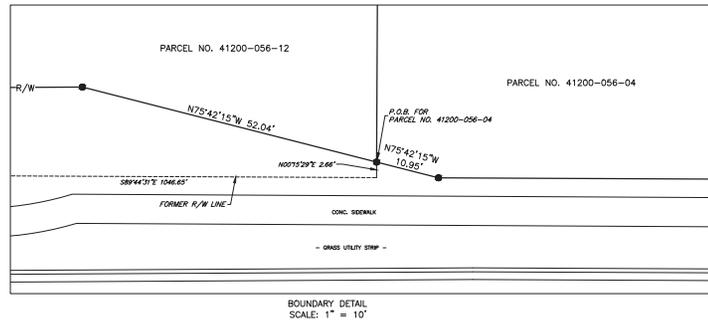
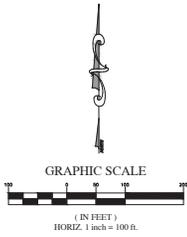
SHEET NO: EP2.0











DATE	REVISION

RODNEY K. ROGERS, P.E.  
REGISTERED PROFESSIONAL SURVEYOR  
RODNEY K. ROGERS, P.E.  
REGISTERED PROFESSIONAL SURVEYOR  
MADISON M. BOYD, P.S.M.  
REGISTERED PROFESSIONAL SURVEYOR

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying

1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY FOR JOHN ALVAREZ INVESTMENT GROUP, LLC.

JOB No. 24-41200-056-04	DATE 3-18-2024
PROFESSIONAL SURVEYOR & MAPPER REGISTRATION NO. 5274	SCALE 1" = 100'
STATE OF FLORIDA	SHEET 2 OF 3

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

