



SUBMITTAL SUMMARY REPORT MajorSite-000087-2025

PLAN NAME: Ocala Spec Building #2 (OFL9)	LOCATION: 3171 NW 44TH AVE OCALA,
APPLICATION DATE: 12/01/2025	PARCEL: 13708-000-05
DESCRIPTION: Amended plans to currently approved Minor Site Plan ASR #31672.	

CONTACTS	NAME	COMPANY
Applicant	Andrew Rakowski	Langan Engineering and Environmental Services LLC
Applicant	David Trimble	Amazon
Engineer of Record	JOSEPH YANNUCCI	LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES LLC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.				Not Received
OCE: Plan Review (DR) v.	12/11/2025	12/29/2025	01/09/2026	Requires Re-submit

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	12/29/2025	12/24/2025	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	12/29/2025	01/08/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	12/29/2025	12/11/2025	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	12/29/2025	12/29/2025	Informational
<i>Comments</i>	For any questions about planning/zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding improvements based on any required traffic impact analysis.			
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - [INFO] Building was approved with building height indicating >50'. If less than 50', please update in future submittals. No further action required.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [INFO] (1) FEMA Flood Zone X; (2) Primary & Secondary Springs Protection Zone; (3) No ESOZ			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [INFO] Types and timing of buffer plantings shall be consistent with site plan and as conditioned through previously-approved waivers.			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation (Resolved) - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - [INFO] Adjacent Future Land Use (FLU) designations were included on site plan sheets of the most recently approved major site plan but seem to have been removed in this site plan submittal (see sheets CS100, CS101, etc.). No further action required.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [INFO] Cover sheet indicates 520 parking spaces while site plan sheet CS100 shows 460. Staff understands 460 spaces are provided.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [INFO] Signs indicated on site plan. Please note all signs will require separate permitting.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided? (Resolved) - [INFO] EALS exemption request received and transmitted to FWC.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	12/29/2025	12/12/2025	Informational
<i>Comments</i>	Transplanted trees require additional irrigation and care until established. Pines generally do not transplant well, and may need replacement			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	12/29/2025	12/29/2025	Requires Re-submit
<i>Corrections</i>	2.12.3 - Title block (Not Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Not Resolved) - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			

SUBMITTAL SUMMARY REPORT (MajorSite-000087-2025)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	12/29/2025	01/06/2026	Requires Re-submit
<i>Comments</i>	<p>Please revise to add owner's certification including the name of the individual with authority to sign. -EMW 01.06.26 IF APPLICABLE: Sec. 2.18.1.1 - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	12/29/2025	12/29/2025	Requires Re-submit
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.2.B(5) - Hydraulic Analysis (Not Resolved) - 6.13.2.B(5) - Hydraulic Analysis: Hydraulic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. Provide a sub-basin map for each sub-basin; label each sub-basin and provide total area as well as area of impervious coverage within each sub-basin.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations (Not Resolved) - 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations: Calculations shall minimally include: Runoff analysis that reflects the project basin soil type, area, and ground cover based on pre-conditions and post-conditions for ultimate development. Time of concentration and travel time analysis for hydrology and hydraulic systems.			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	2.12.38 - Stormwater Maintenance Entity (Not Resolved) - 2.12.38 - Stormwater Maintenance Entity: Statement identifying legal body responsible for operation and maintenance of stormwater management system and associated elements. Following statement provided on the cover sheet: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan". Show property owner's name below the signature line. If the property owner is a company, provide documentation of authorized representative with legal signing authority.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			

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OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	12/29/2025	12/29/2025	Requires Re-submit
<i>Recommendations</i>	Copy of District Permit (County Interest) - Please provide a copy of the District permit prior to construction.			
<i>Recommendations</i>	6.13.2.B(8) <input type="checkbox"/> Calculation & Plan Consistency - This criteria to be reviewed with resubmittal.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
<i>Recommendations</i>	Additional Stormwater comments - If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
<i>Recommendations</i>	Signed & sealed paper copies - After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	12/29/2025	12/17/2025	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	12/29/2025	12/12/2025	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	12/29/2025	01/06/2026	Requires Re-submit
<i>Comments</i>	See corrections.			
<i>Corrections</i>	6.14.5.B - FDEP PWS and/or WW permits (Not Resolved) - 6.14.5.B - FDEP PWS Permits			
<i>Corrections</i>	6.14.9.B - Transfer of Assets to MCU - PLAN NOTE: (Not Resolved) - 6.14.9.B - Transfer of Assets to MCU - PLAN NOTE:			
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Not Resolved) - 6.14.7 - Construction Inspection - PLAN NOTE:			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Not Resolved) - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown (Not Resolved) - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Corrections</i>	6.14.2.C(2) - Industrial Pretreatment/FOG (Not Resolved) - 6.14.2.C(2) - Industrial Pretreatment/FOG:			
<i>Corrections</i>	6.15.6.A - Potable Water Metering - loc/bank/size (Resolved) - 6.15.6.A - Potable Water Metering - loc/bank/size:			
<i>Corrections</i>	6.14.2 - Connection Requirements (Resolved) - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	6.14.5.B - Submit permits to MCU (DOT, ROW etc) (Not Resolved) - 6.14.5.B - Submit permits to MCU (DOT, ROW etc): A copy of any permit issued to the contractor shall also be submitted to MCU's Construction Manager, or designee.			
<i>Corrections</i>	Additional Utilities Comments (Not Resolved) - For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2846.			
<i>Corrections</i>	7.1.3 - UT DETAILS - current LDC version (Not Resolved) - 7.1.3 - UT DETAILS - current LDC version: UT details shall be current version based on latest edition of approved LDC			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Not Resolved) - 6.14.5.A(2) - Proposed mains & connections shown: Proposed mains shall be marked as private or public (MCU); points of demarcation shall be called out as necessary to identify changes in ownership. Shall include profile views unless otherwise noted.			
<i>Corrections</i>	6.14.6 - Utilities design to be owned by MCU (Not Resolved) - 6.14.6 - Utilities design to be owned by MCU:			
<i>Corrections</i>	6.14.8.A - Completion & Closeout - PLAN NOTE: (Not Resolved) - 6.14.8.A - Completion & Closeout - PLAN NOTE:: Assets to be conveyed to MCU require as-builts reflecting survey points in state plane coordinates NAD83W. Refer to Code for additional guidance on which features apply, and formatting of data.			
<i>Corrections</i>	6.14.5.C - Hydraulic Analysis (Not Resolved) - 6.14.5.C - Hydraulic Analysis: The hydraulic analysis is required to analyze the water or wastewater pressures in this area.			
<i>Corrections</i>	6.15.3 - Fire Protection/Fire Flow Capacity (Not Resolved) - 6.15.3 - Fire Protection/Fire Flow Capacity:			
<i>Corrections</i>	6.15.6.D - Meter Location (Resolved) - 6.15.6.D - Meter Location:			
<i>Corrections</i>	6.14.4 - Capacity charges - domestic water/sewer (Not Resolved) - 6.14.4 - Capacity charges - domestic water/sewer: Capacity charges to be invoiced and collected by MCU Permitting at time of building permit review - Cap Fee Worksheet and interior floor plan may be required.			
<i>Corrections</i>	6.14.5.A(3) - LS layout, elevations, schedules (Resolved) - 6.14.5.A(3) - LS layout, elevations, schedules: Lift station details shall be included on a separate page showing general location of LS with details, working elevations & schedules.			
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Resolved) - MCU Contact Info on Project Cover Sheet: Marion County Utilities, 11800 S US Hwy 441, Belleview FL 34420 - Customer Service 24/7/365 352-307-6000			



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 2/1/2026 Parcel Number(s): 13708-000-05 Permit Number: 000087-2025

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Ocala Spec Building #2 (OFL9) Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Amazon.com Services, LLC; Contact: David Trimble, Sr Pre-Construction Manager
Signature: _____ datrim 
Mailing Address: 410 Terry Avenue North City: Seattle
State: WA Zip Code: 98109 Phone # 316-393-3472
Email address: datrim@amazon.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Langan Engineering Contact Name: Andrew Rakowski
Mailing Address: 13485 Veteran's Way Suite 120 City: Orlando
State: FL Zip Code: 32827 Phone # 267-629-9987
Email address: arakowski@langan.com

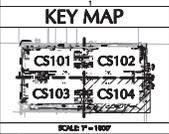
D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ LDC 2.21.3.C Review and approval procedures.
Reason/Justification for Request (be specific): Code states upon approval by DRC, a Building Permit may be issued and such approval is authority for applicant to proceed with the site improvements shown on the Major Site Plan. Owner requests a waiver to proceed with building permit and construction within the existing shell building prior to issuance of the Major Site Plan.

DEVELOPMENT REVIEW USE:

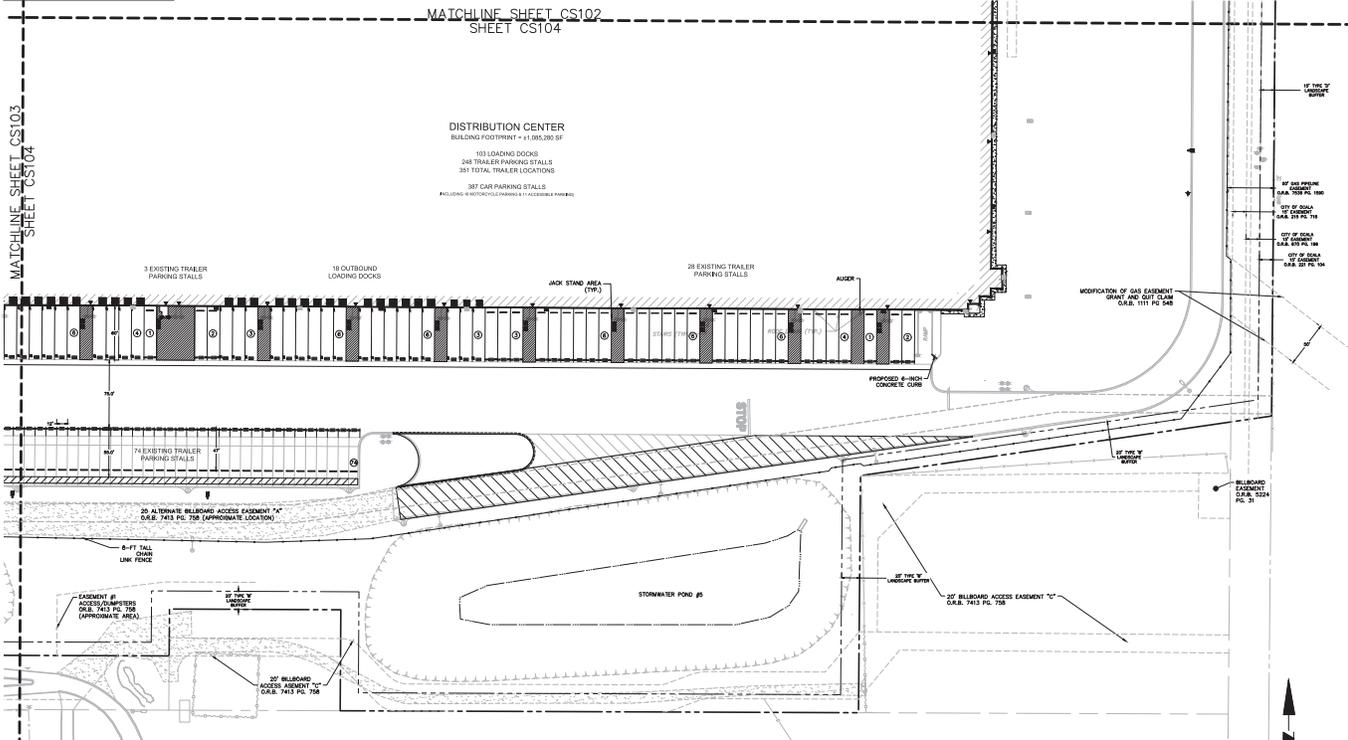
Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



MATCHLINE SHEET CS102
SHEET CS104

DISTRIBUTION CENTER
BUILDING FOOTPRINT = 11,085,000 SF
103 LOADING DOCKS
348 TRAILER PARKING STALLS
351 TOTAL TRAILER LOCATIONS
387 CAR PARKING STALLS
(INCLUDING 4 BI-CYCLO-PARKING & 17 ACCESSIBLE PARKING)



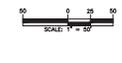
- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING MAJOR SITE PLAN" PREPARED BY "BURNS GROUP, INC." DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA SHALL HAVE NO RESPONSIBILITY, DUTY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THE SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.
 5. ALL AUTOMATIC GATES SHALL BE SERVED ACTIVATED PER MARION COUNTY LOC AND NFPA.

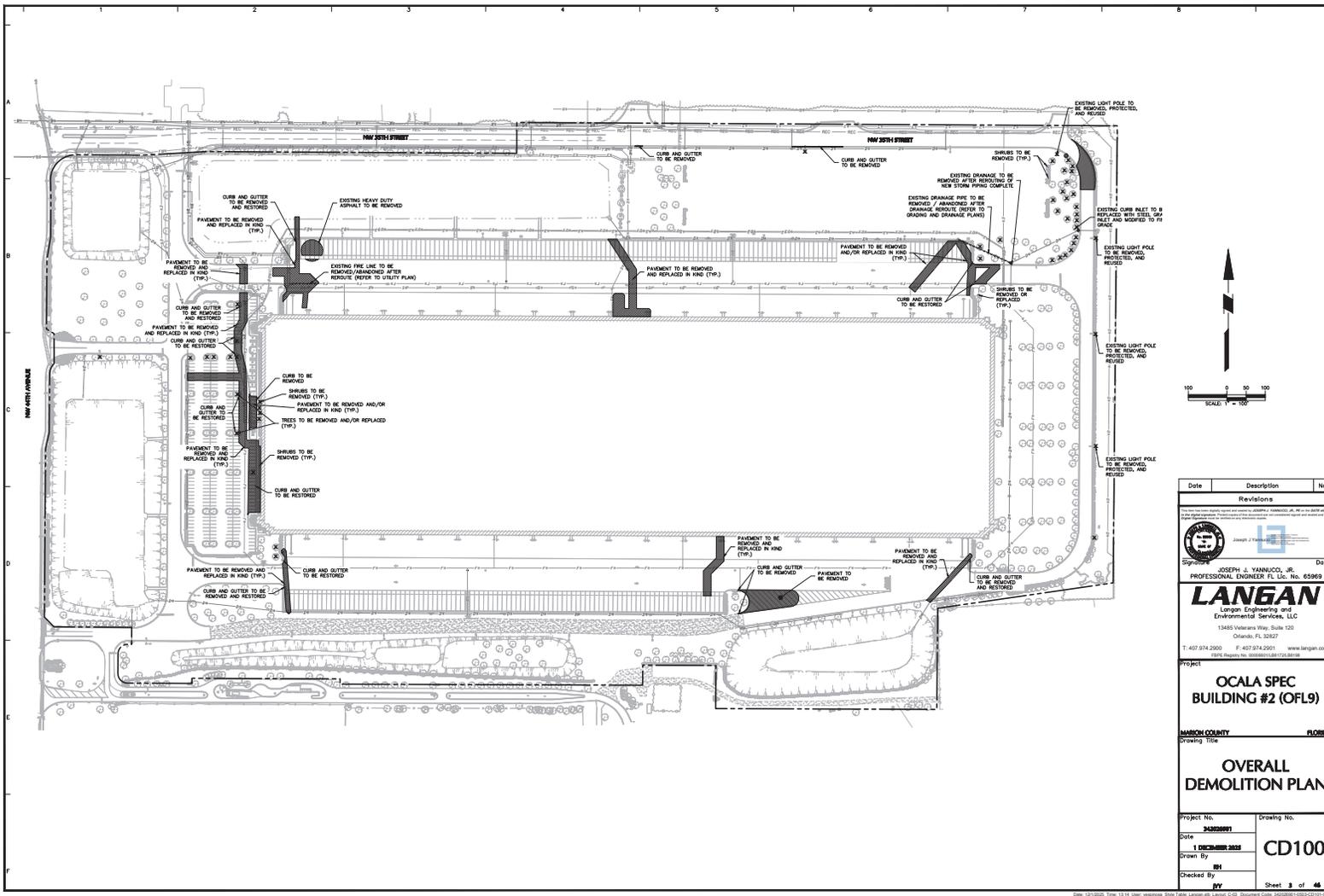
DATE	REVISED PER COUNTY COMMENTS	NO.

LANGAN
Langan Engineering and Environmental Services, LLC
13480 Veterans Way, Suite 120
Orlando, FL 32827
T: 407.974.2900 F: 407.974.2901 www.langan.com
FBI# Project No. 2023001-008 (07/20/24)

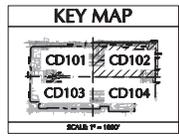
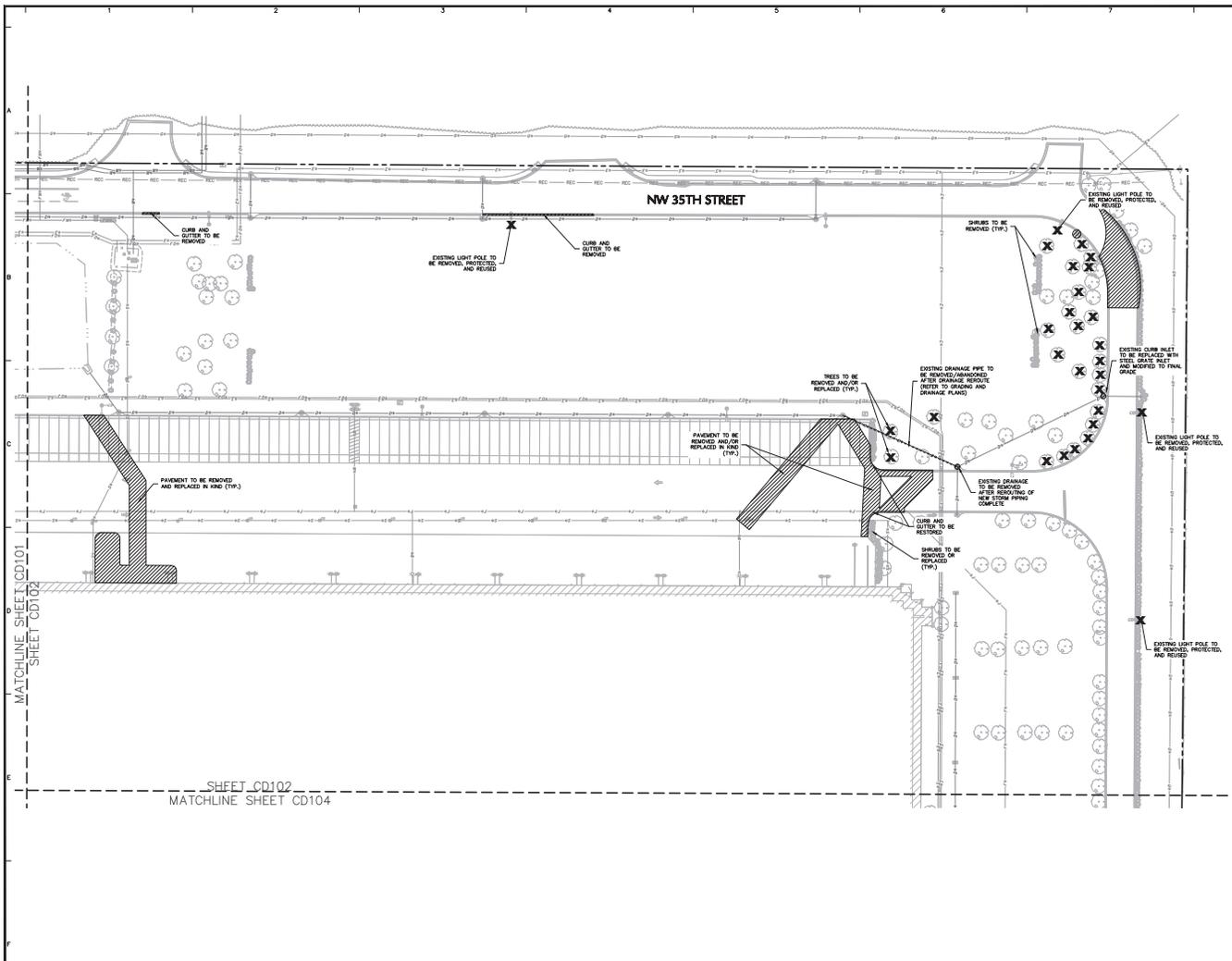
OCALA SPEC BUILDING #2 (OFL9) MAJOR SITE PLAN
MARION COUNTY FLORIDA
PARTIAL SITE PLAN 4

Project No. 2023001	Drawing No. CS104
Date 1 DECEMBER 2024	Sheet 12 of 46
Drawn By SM	
Checked By PV	

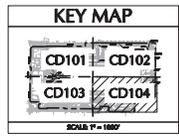
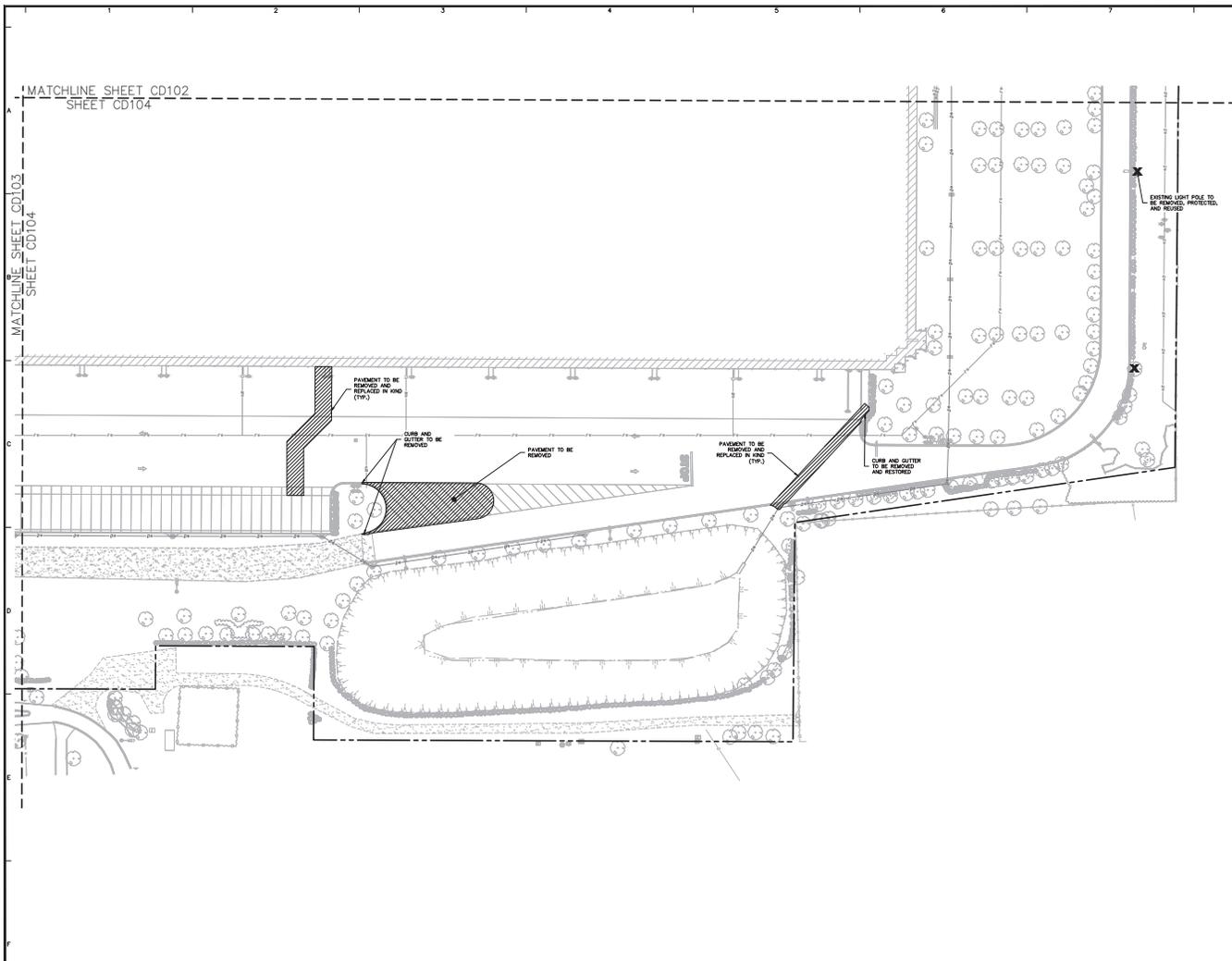




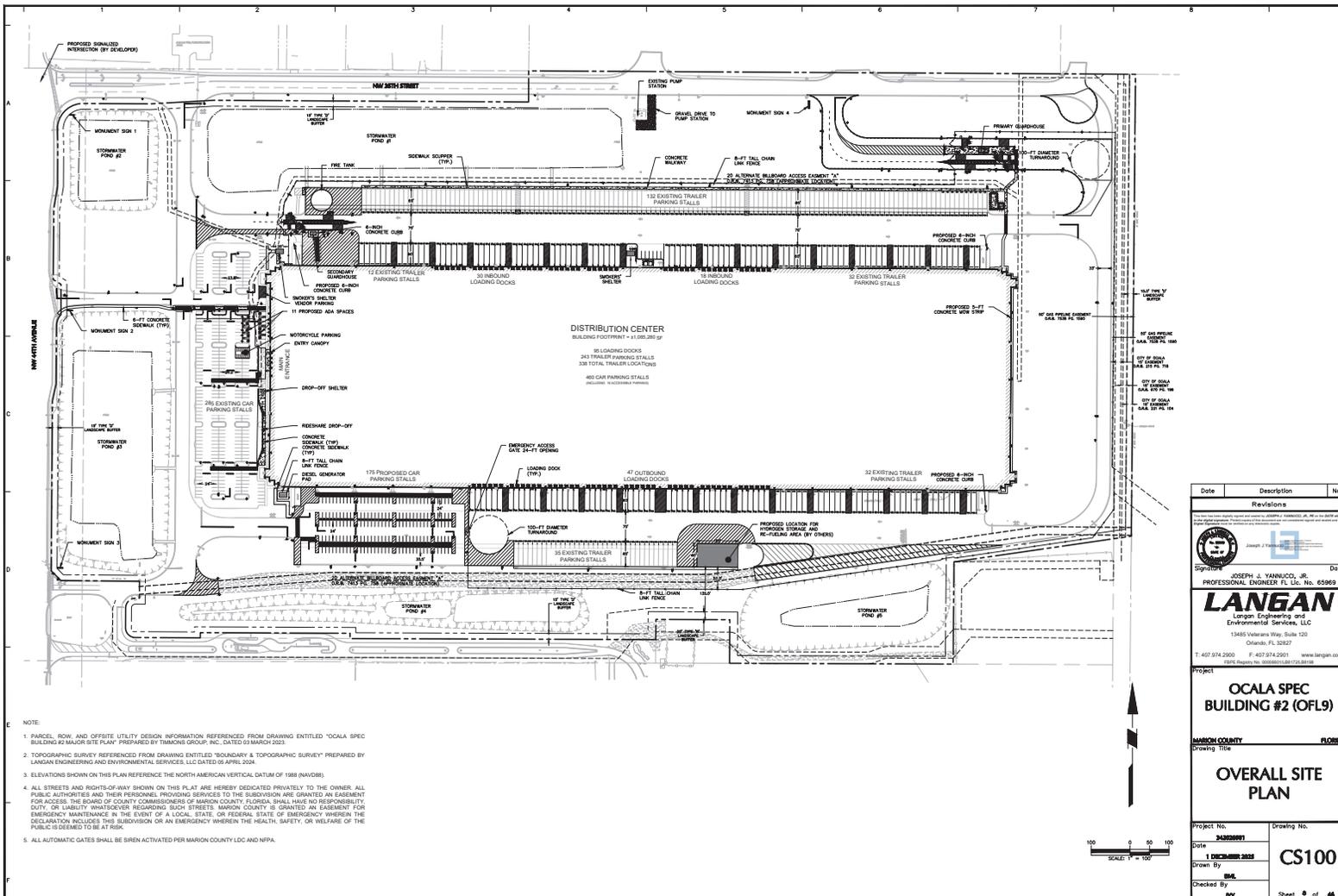
Date	Description	No.
	Revisions	
Signature	Joseph J. Yannucco, Jr.	Date
LANGAN Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com ©2016 Langan Inc. 00000000000000000000		
Project Ocala Spec Building #2 (OFL9)		
HARRISON COUNTY FLORIDA Drawing Title OVERALL DEMOLITION PLAN		
Project No.	Drawing No.	
1 DECEMBER 2016	CD100	
Drawn By BH	Checked By PY	Sheet 3 of 46



Date	Description	No.
Revisions		
Signature: JOSEPH J. YANNUCCO, JR. Date: _____ PROFESSIONAL ENGINEER FL Lic. No. 65969		
Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com 8876 Empire Ave. 32809-4207 (FL)		
Project OCALA SPEC BUILDING #2 (OFL9)		
MARION COUNTY FLORIDA		
PARTIAL DEMOLITION PLAN 2		
Project No. 2009091		Drawing No. CD102
Date 1 DECEMBER 2009		Sheet # of 46
Drawn By BT		
Checked By PY		



Date	Description	No.
	Revisions	
Signature: JOSEPH J. YANNICCO, JR. PROFESSIONAL ENGINEER, FL. Lic. No. 65969		Date:
Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2000 F: 407.974.2001 www.langan.com PEFL No. 1633000-0001723-0001		
Project OCALA SPEC BUILDING #2 (OFL9) HIGHLAND COUNTY FLORIDA Drawing Title:		
Project No. 1633000-0001723-0001		Drawing No. CD104
Date 1 DECEMBER 2022		Sheet 7 of 46
Drawn By BT		
Checked By PV		



- NOTE:
1. PARCEL, BOUNDARY AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "SECONDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, CITY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.
 5. ALL AUTOMATIC GATES SHALL BE SIREN ACTIVATED PER MARION COUNTY LDC AND NPFA.

Date	Description	No.
	Revisions	

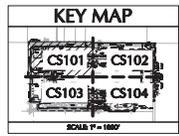
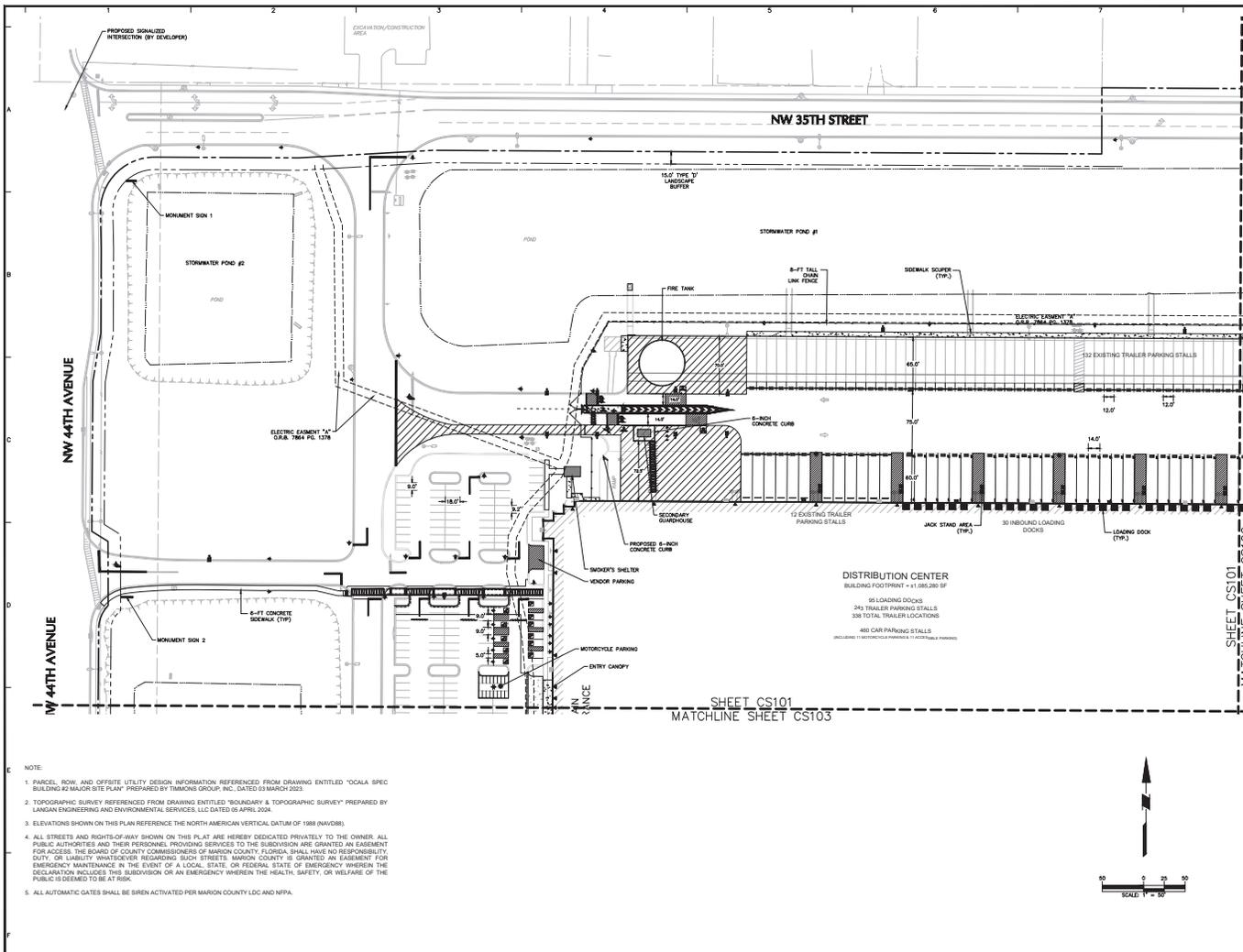


 Signature: JOSEPH J. YANNUCCO, JR.
 PROFESSIONAL ENGINEER FL Lic. No. 65969
LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2500 F: 407.974.2501 www.langan.com
 1926 Empire Ave. 32809-4207 (327) 251-8811

OCALA SPEC BUILDING #2 (OFL9)
 MARION COUNTY FLORIDA
 Drawing Title: **OVERALL SITE PLAN**

Project No. 24000001	Drawing No. CS100
Date 1 DECEMBER 2024	Sheet 6 of 46
Drawn By SMK	
Checked By PV	





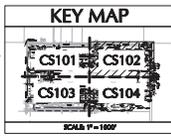
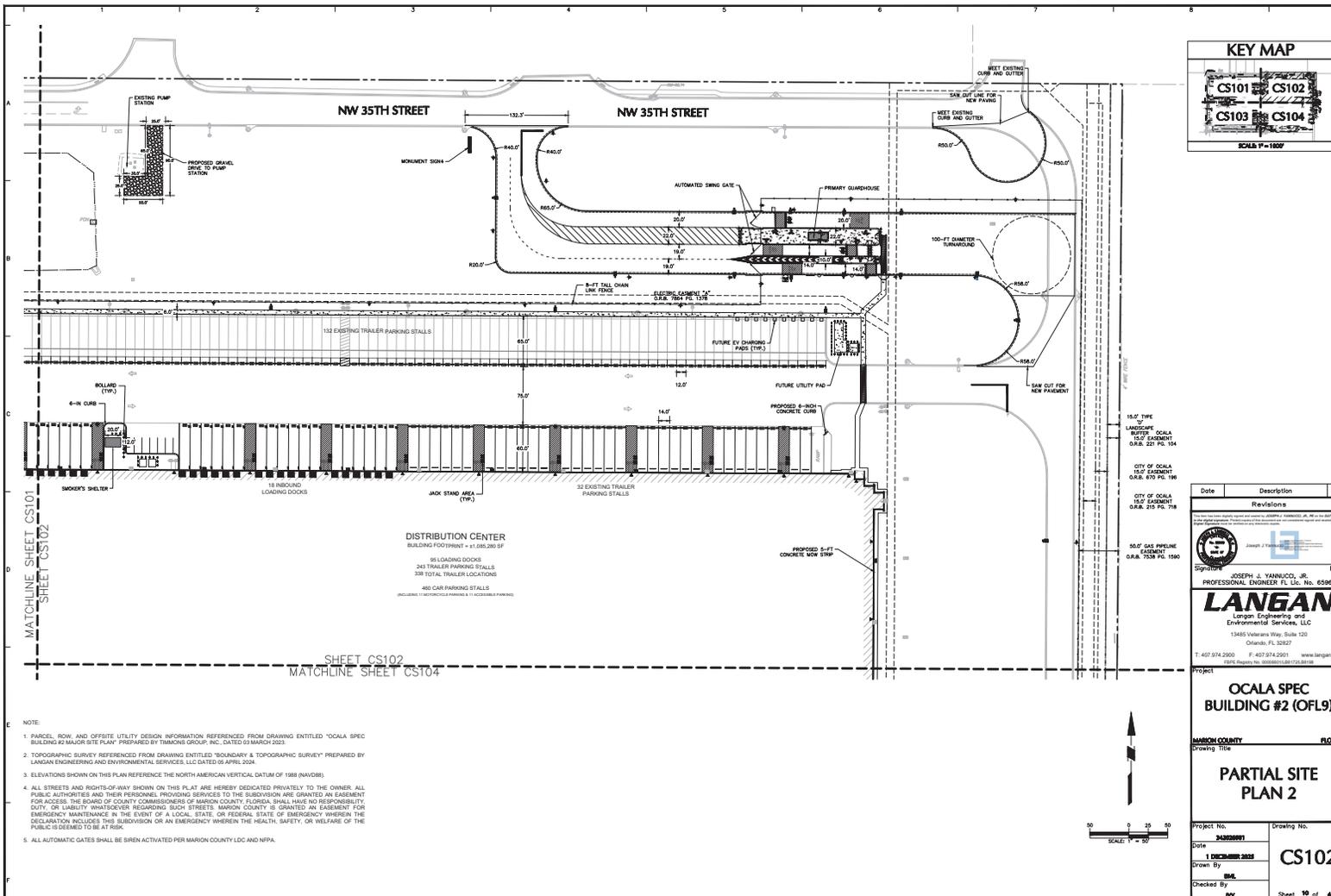
- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "SECONDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, CITY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.
 5. ALL AUTOMATIC GATES SHALL BE SIREN ACTIVATED PER MARION COUNTY LDC AND NFPA.



Date	Description	No.
	Revisions	


 Signature: JOSEPH J. YANNICKO, JR. Date: _____
 PROFESSIONAL ENGINEER FL Lic. No. 65969
LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 8876 Property No. 16280004-001721-0010

Project	
OCALA SPEC BUILDING #2 (OFL9)	
Marion County	FLORIDA
Drawing Title	
PARTIAL SITE PLAN 1	
Project No.	Drawing No.
16280004-001721-0010	CS101
Date	1 DECEMBER 2024
Drawn By	SMK
Checked By	PV
Sheet 9 of 46	



Date	Description	No.
	Revisions	

15.0' TIME
 LANDSCAPE BUFFER TO OCALA
 15.0' EASEMENT
 O.R.S. 221 PG. 104

 CITY OF OCALA
 15.0' EASEMENT
 O.R.S. 215 PG. 196

 CITY OF OCALA
 15.0' EASEMENT
 O.R.S. 228 PG. 150

 50.0' GAS PIPELINE
 EASEMENT
 O.R.S. 228 PG. 150

Signature: JOSEPH J. YANNUCCI, JR.
 PROFESSIONAL ENGINEER FL Lic. No. 65969
LANGAN
 Langan Engineering and
 Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 8876 Property No. 16283004-001723-001-00

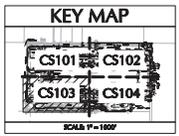
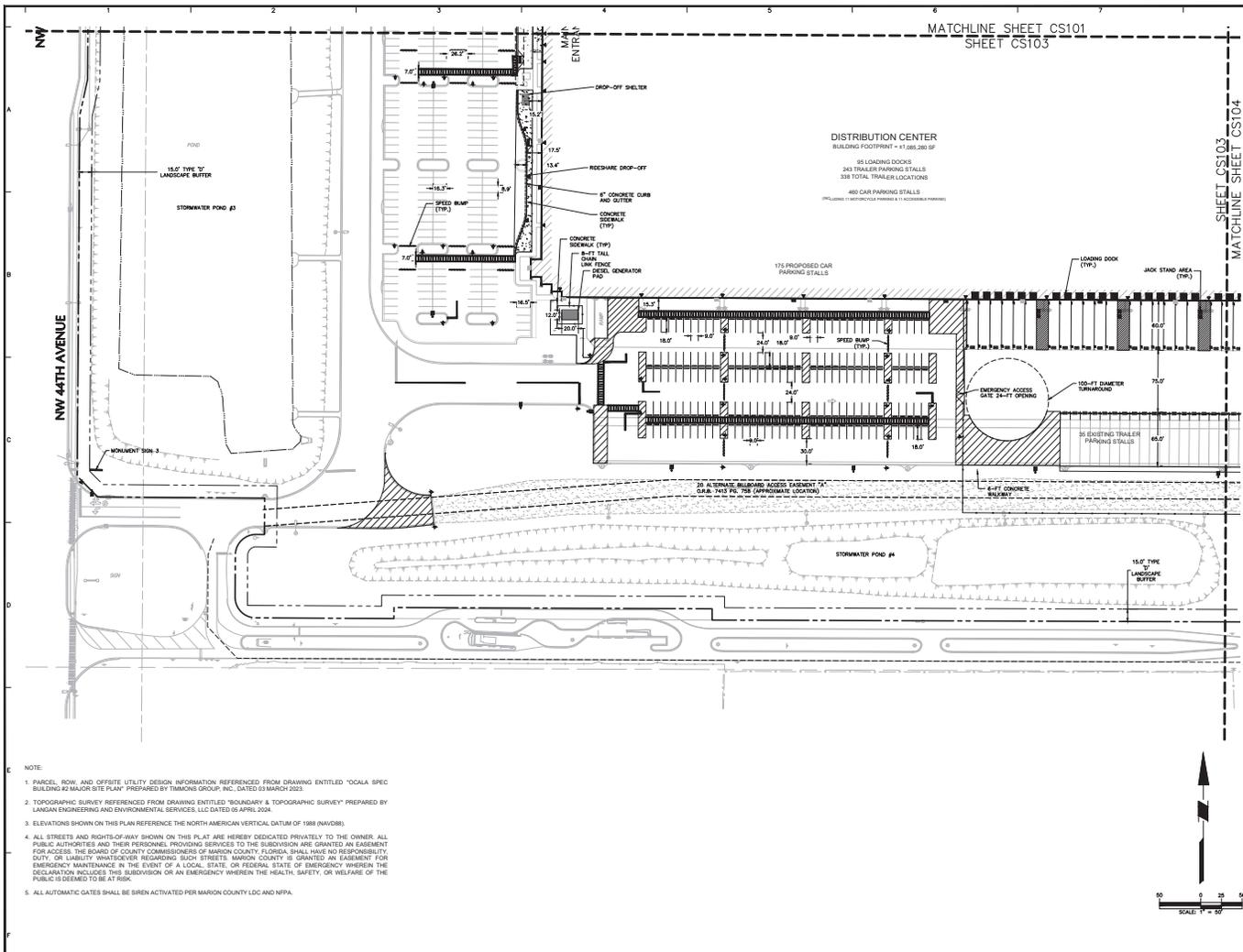
Project: **OCALA SPEC BUILDING #2 (OFL9)**
 MARION COUNTY FLORIDA
 Drawing Title:

PARTIAL SITE PLAN 2

Project No.	Drawing No.
16283004-001723-001-00	CS102
Date	1 DECEMBER 2023
Drawn By	SMK
Checked By	PJY
	Sheet 10 of 46

- NOTE:
1. PARCEL, BOUNDARY AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "SECONDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, LIABILITY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.
 5. ALL AUTOMATIC GATES SHALL BE SIREN ACTIVATED PER MARION COUNTY LDC AND NPFA.





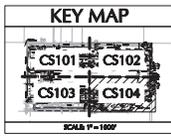
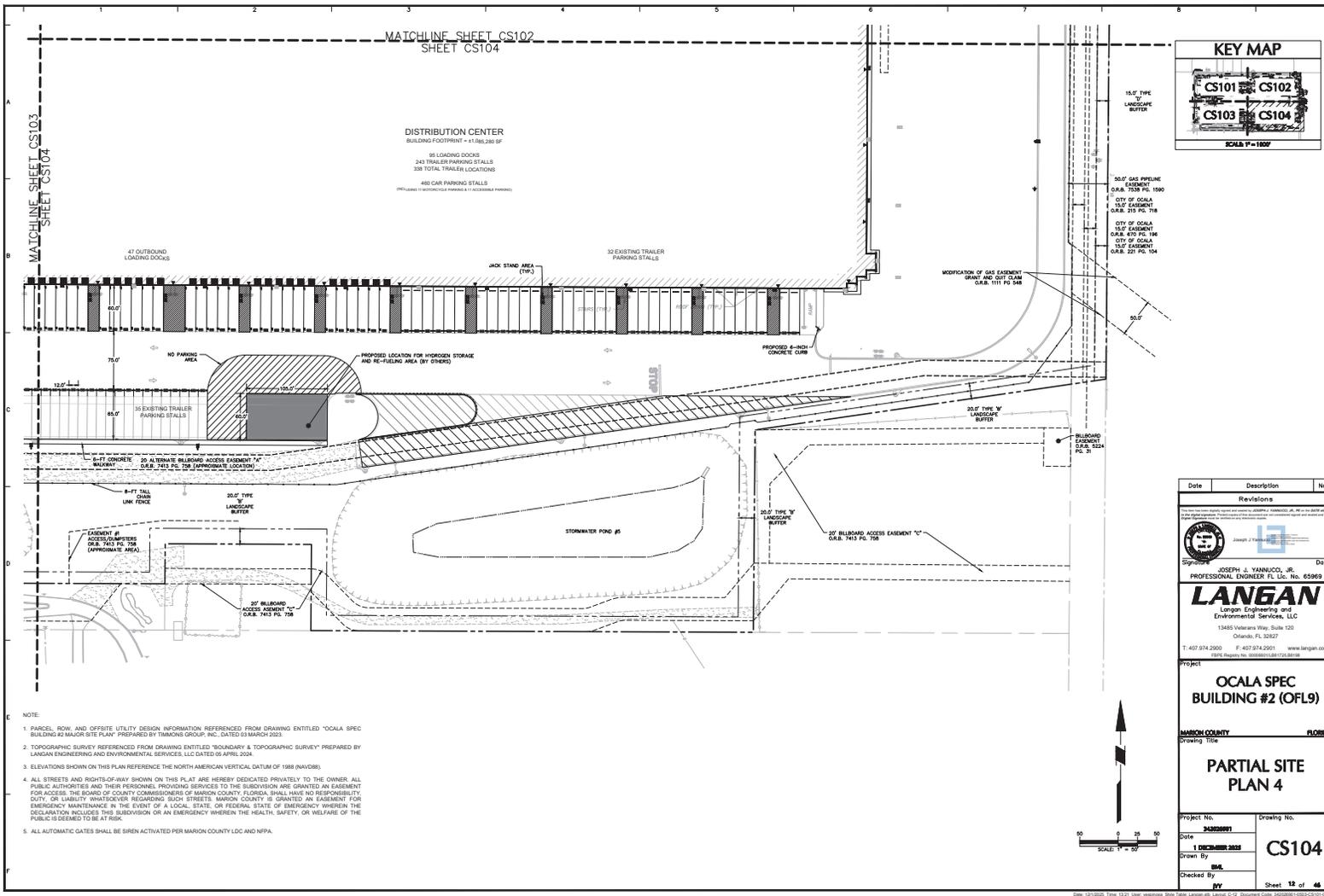
Date	Description	No.
Revisions		
LANGAN Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com 8876 Empire Ave. 32819-0872 (FL)		Date

Project: **OCALA SPEC BUILDING #2 (OFL9)**
 MARION COUNTY FLORIDA
 Drawing Title

PARTIAL SITE PLAN 3	
Project No. 134850001	Drawing No. CS103
Date 1 DECEMBER 2023	Sheet 11 of 46
Drawn By SMK	
Checked By PV	

- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
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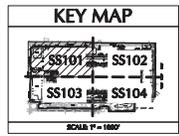
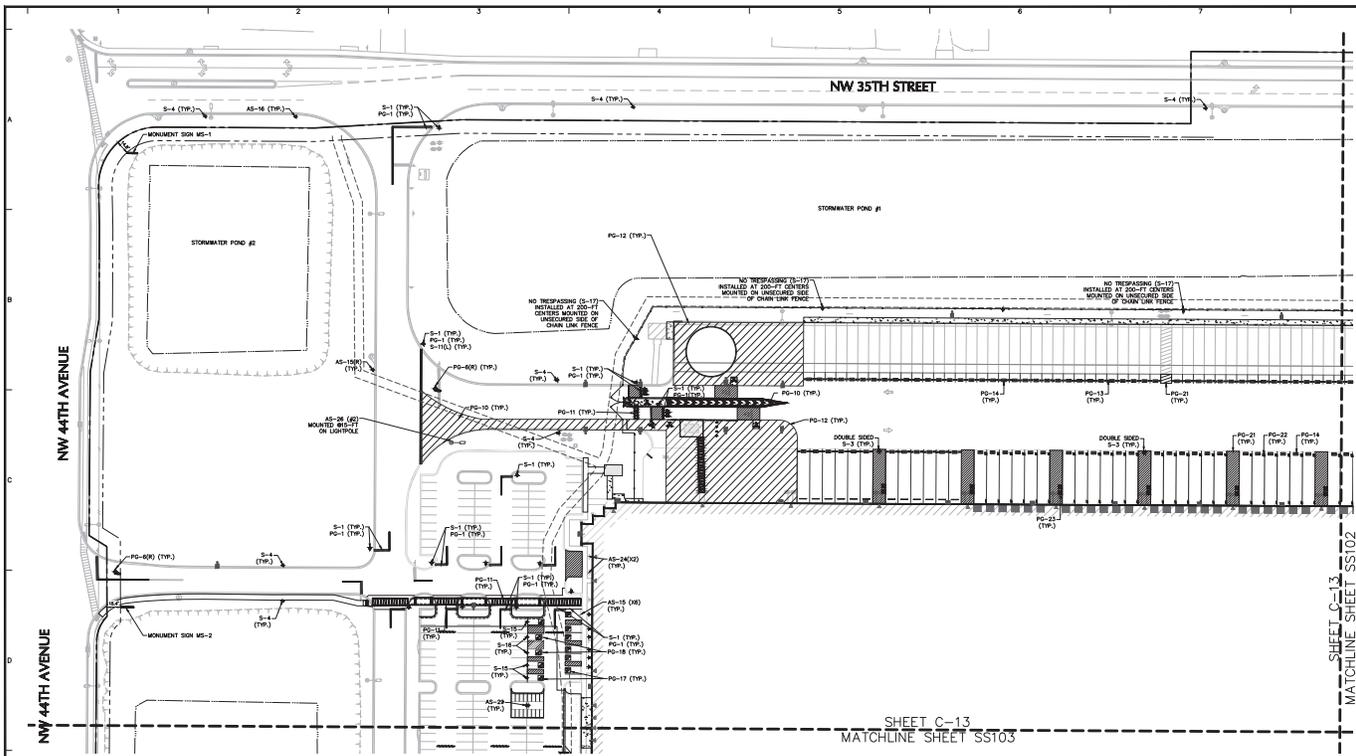
Date	Description	No.
	Revisions	

Signature: JOSEPH J. YANNUCCO, JR.
 PROFESSIONAL ENGINEER FL Lic. No. 65969
LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 8876 Murphy Ln. 32835 (407) 231-8818

OCALA SPEC BUILDING #2 (OFL9)
 MARION COUNTY FLORIDA
 Drawing Title: **PARTIAL SITE PLAN 4**
 Project No.: **13485VET** Drawing No.: **CS104**
 Date: **1 DECEMBER 2022**
 Drawn By: **SM**
 Checked By: **PV**
 Sheet **12** of **46**

- NOTE:
1. PARCEL, BOW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
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 5. ALL AUTOMATIC GATES SHALL BE SIREN ACTIVATED PER MARION COUNTY LDC AND NPFA.





Date	Description	No.
	Revisions	

Signature: Date: _____
LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 PE# 58999 FL# 12345678

OCALA SPEC BUILDING #2 (OFL9)
 HAWK COUNTY FLORIDA
PARTIAL SIGNAGE & STRIPING PLAN 1
 Project No. **2009001** Drawing No. _____
 Date **1 DECEMBER 2009**
 Drawn By **PHL**
 Checked By **PY**
SS101
 Sheet 13 of 46

Sign Face Legend

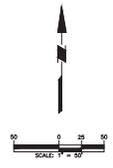
SYMBOL	SIGN TYPE
S-1	Stop Sign, 30" Single Lane
S-1b	Stop Sign, 36" Multiple Lanes
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH, 30" Single Lane
S-3(mod)	Speed Bump Sign w/ 5 MPH Placard
S-4	Speed Limit, 10 MPH, 30" Single Lane
S-4b	Speed Limit, 10 MPH, 36" Multiple Lane
S-4(mod)	Speed Limit Sign w/ 10 MPH Placard
S-5(L)	Pedestrian Crossing, Left Arrow (S-5(R) Right Arrow)
S-14	No Parking
S-15	Accessible Car Parking
S-16	Accessible Van Parking
S-17	No Trespassing
S-97	Inspection Warning

Tenant Sign Face Legend

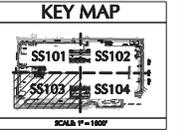
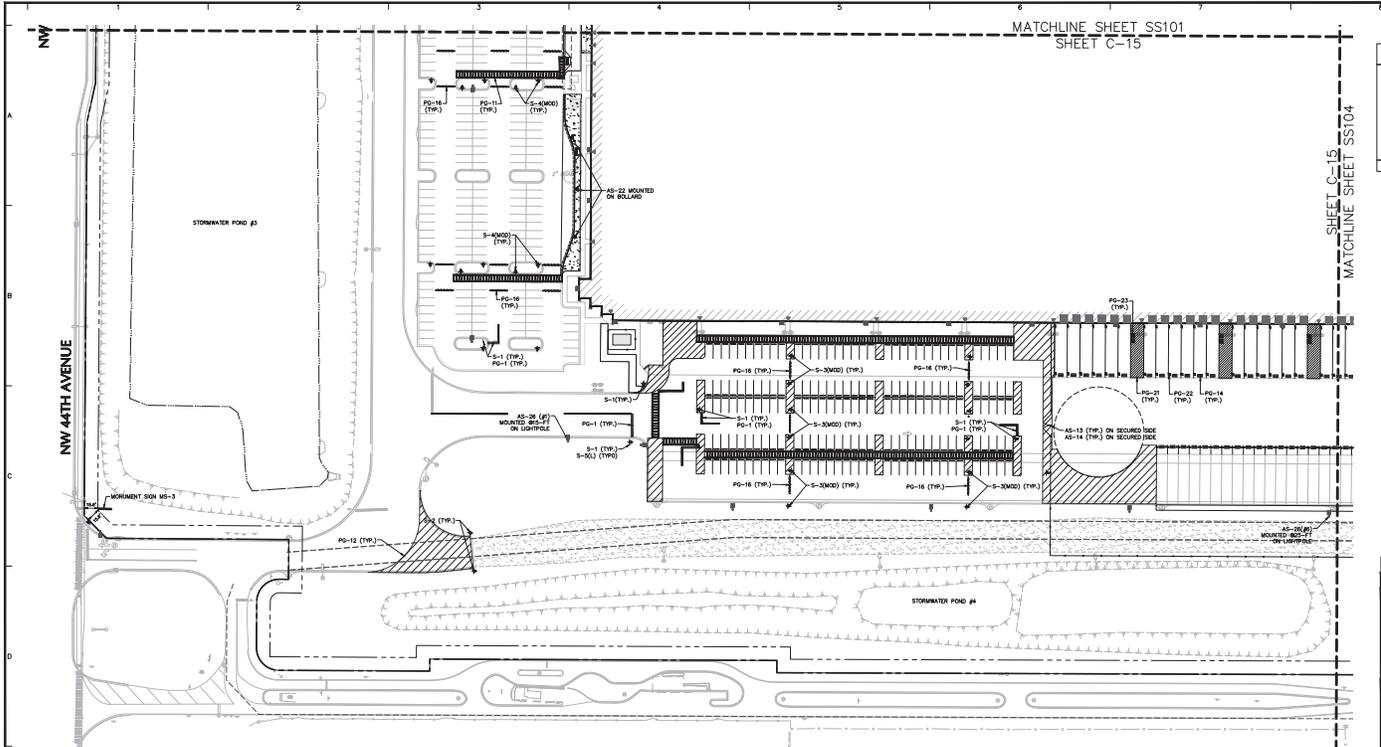
SYMBOL	SIGN TYPE
AS-1	Building Address
AS-4	Trailer Inspections
AS-5	Yard Rules
AS-6	Truck Entrance
AS-7	Truckers Lounge
AS-13	No Entrance
AS-14	No Exit
AS-15(L)	EXIT (AS-15(R) Right Arrow) (AS-15(S) Straight Arrow)
AS-20(A)	Trailer Parking Numbers
AS-22	Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-28	Motorcycle Parking
AS-32(L)	Pick-Up/Drop-Off Area, Left Arrow (AS-32(R) Right Arrow) (AS-32(S) Straight Arrow)
AS-55	Truck Stall W/wayfinding (AS-55(L) Left Arrow) (AS-55(R) Right Arrow)
AS-58	Land on Blue-Logo Sign

Pavement Graphic Legend

SYMBOL	GRAPHIC TYPE
PG-1	Stop Bar
PG-6(L)	Left Turn Arrow (PG-6(R) Right Arrow)
PG-10	18" Striping Outline and Fill at 45 Degree
PG-11	12" Striping Outline and Hatch @ 36" O.C. (White)
PG-12	12" Striping Outline and Hatch @ 36" O.C. (Yellow)
PG-13	Lane on Blue Strip
PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	Accessible Car Parking
PG-18	Accessible Van Parking
PG-20	Pedestrian Table
PG-21	Empty Trailer Slip
PG-22	Tractor Dock Parking
PG-23	Jack Stand Area
PG-24	Warning Line
PG-28	Traffic Island - Do Not Block the Box



Drawn: 12/02/09 Rev: 12/27/09 (see approved Sign Face Legend) Project: 010 - Ocala Spec Building #2 (OFL9) Date: 12/02/09



Date	Description	No.
Revisions		

Signature: JOSEPH J. YANKOVIC, JR. Date:

 PROFESSIONAL ENGINEER FL Lic. No. 65969

LANGAN

 Langan Engineering and Environmental Services, LLC

 13485 Veterans Way, Suite 100

 Orlando, FL 32827

 T: 407.974.2900 F: 407.974.2901 www.langan.com

 8876 Murphy Ave. #2000 Orlando, FL 32819

OCALA SPEC BUILDING #2 (OFL9)

HAWK COUNTY FLORIDA

PARTIAL SIGNAGE & STRIPING PLAN 3

Project No. **AD00001** Drawing No.

Date **1 DECEMBER 2022** **SS103**

Drawn By **PKL**

Checked By **PV** Sheet 15 of 46

Sign Face Legend

SYMBOL	SIGN TYPE
S-1	Stop Sign, 30" Single Lane
S-1b	Stop Sign, 36" Multiple Lanes
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH, 30" Single Lane
S-3(mod)	Speed Bump Sign w/ 5 MPH Placard
S-4	Speed Limit, 10 MPH, 30" Single Lane
S-4b	Speed Limit, 10 MPH, 36" Multiple Lane
S-4(mod)	Speed Hump Sign w/ 10 MPH Placard
S-5(L)	Pedestrian Crossing, Left Arrow (S-5(R) Right Arrow)
S-14	No Parking
S-15	Accessible Car Parking
S-16	Accessible Van Parking
S-17	No Trespassing
S-97	Inspection Warning

Tenant Sign Face Legend

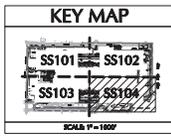
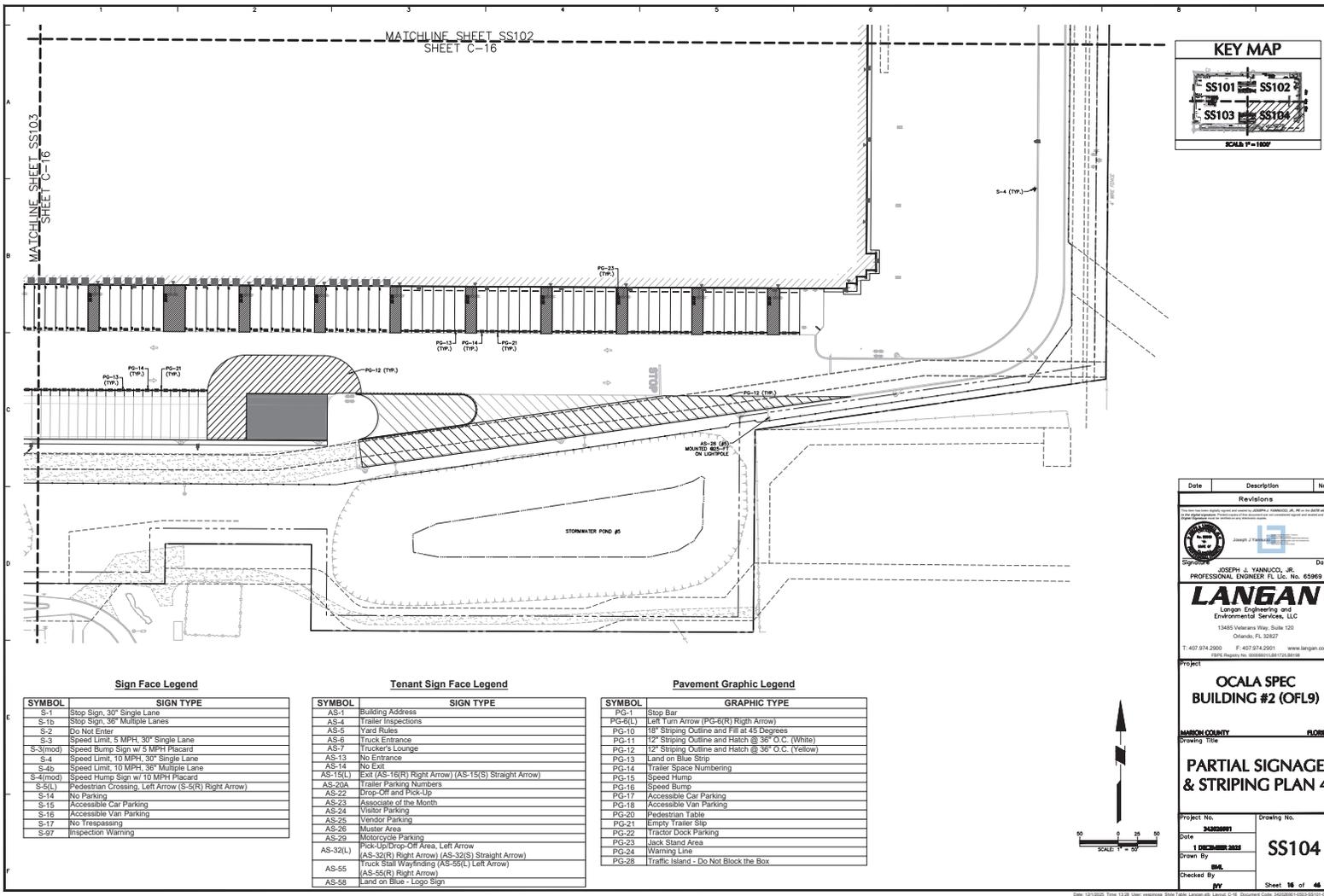
SYMBOL	SIGN TYPE
AS-1	Building Address
AS-4	Trailer Inspections
AS-5	Yard Rules
AS-6	Truck Entrance
AS-7	Truckers Lounge
AS-13	No Entrance
AS-14	No Exit
AS-15(L)	EXIT (AS-15(R) Right Arrow) (AS-15(S) Straight Arrow)
AS-20A	Trailer Parking Numbers
AS-22	Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-28	Motorcycle Parking
AS-32(L)	Pick-Up/Drop-Off Area, Left Arrow (AS-32(R) Right Arrow) (AS-32(S) Straight Arrow)
AS-55	Truck Stall W/wayfinding (AS-55(L) Left Arrow) (AS-55(R) Right Arrow)
AS-58	Land on Blue-Logo Sign

Pavement Graphic Legend

SYMBOL	GRAPHIC TYPE
PG-1	Stop Bar
PG-6(L)	Left Turn Arrow (PG-6(R) Right Arrow)
PG-10	18" Striping Outline and Fill at 45 Degree
PG-11	12" Striping Outline and Hatch @ 36" O.C. (White)
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PG-13	Lane on Blue Strip
PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	Accessible Car Parking
PG-18	Accessible Van Parking
PG-20	Pedestrian Table
PG-21	Empty Trailer Slip
PG-22	Tractor Dock Parking
PG-23	Jack Stand Area
PG-24	Warning Line
PG-28	Traffic Island - Do Not Block the Box



Date: 12/01/2022 Time: 12:52 User: jay@lsg.com Scale: 1" = 50' Drawing Code: 00000000000000000000



Date	Description	No.
Revisions		



 Signature: JOSEPH J. YANNUCCO, JR. Date:

LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 PE# 92499 FL# 12038

Project: **OCALA SPEC BUILDING #2 (OFL9)**
 Drawing Title: **PARTIAL SIGNAGE & STRIPING PLAN 4**

Project No.: **14000001** Drawing No.: **SS104**
 Date: **1 DECEMBER 2022**
 Drawn By: **PKL**
 Checked By: **PV**

Sheet **16** of **46**

Sign Face Legend

Tenant Sign Face Legend

Pavement Graphic Legend

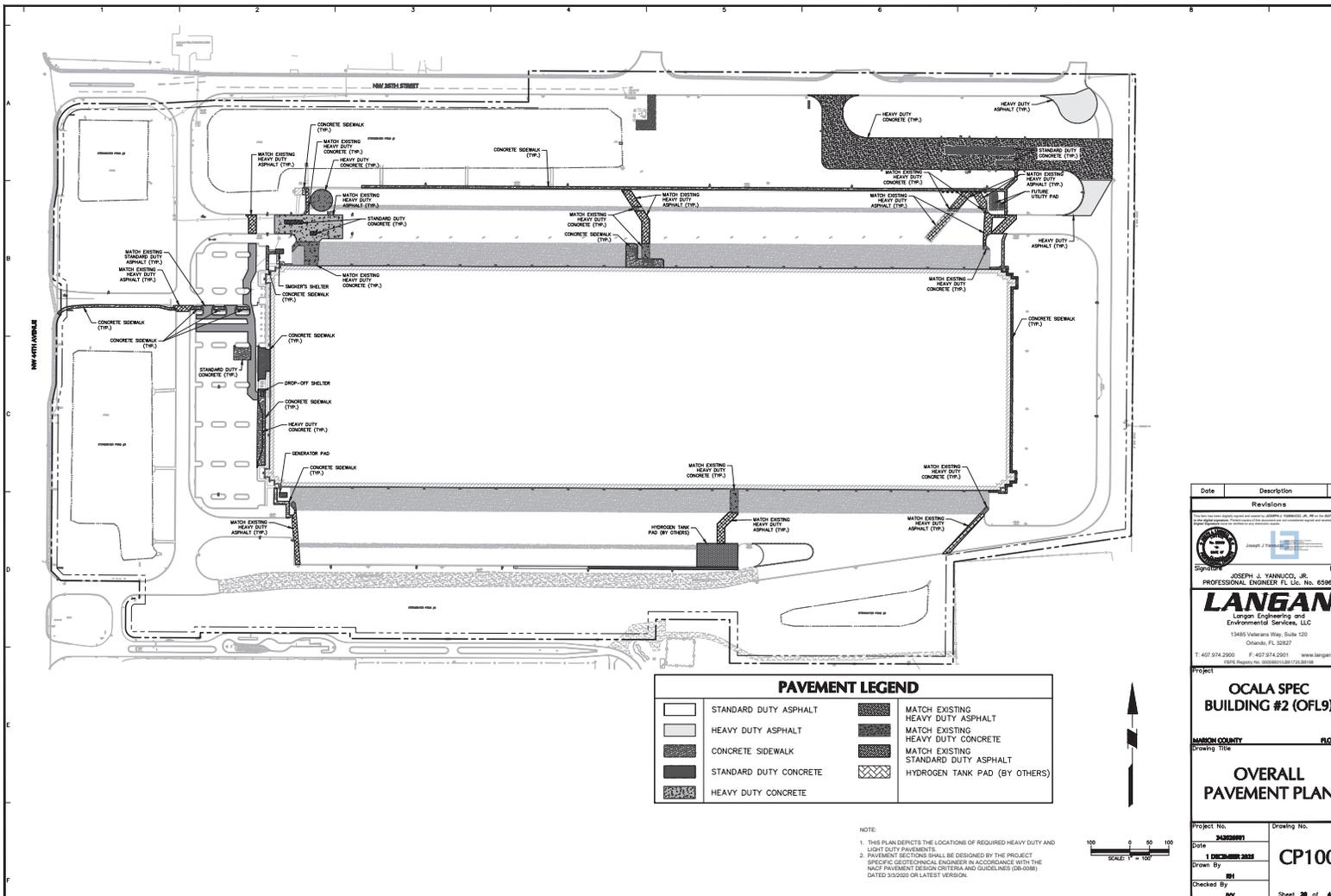
SYMBOL	SIGN TYPE
S-1	Stop Sign, 30" Single Lane
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S-2	Do Not Enter
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S-4	Speed Limit, 10 MPH, 30" Single Lane
S-4b	Speed Limit, 10 MPH, 36" Multiple Lane
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AS-1	Building Address
AS-4	Trailer Inspections
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AS-7	Truckers Lounge
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AS-15(L)	EXIT (AS-15(R) Right Arrow) (AS-15(S) Straight Arrow)
AS-20A	Trailer Parking Numbers
AS-22	Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-28	Motorcycle Parking
AS-32(L)	Pick-Up/Drop-Off Area, Left Arrow (AS-32(R) Right Arrow) (AS-32(S) Straight Arrow)
AS-55	Truck Sign W/ Wayfinding (AS-55(L) Left Arrow) (AS-55(R) Right Arrow)
AS-58	Land on Blue - Logo Sign

SYMBOL	GRAPHIC TYPE
PG-1	Stop Bar
PG-6(L)	Left Turn Arrow (PG-6(R) Right Arrow)
PG-10	18" Striping Outline and Hatch @ 45 Degree
PG-11	12" Striping Outline and Hatch @ 36° O.C. (White)
PG-12	12" Striping Outline and Hatch @ 36° O.C. (Yellow)
PG-13	Lane on Blue Strip
PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	Accessible Car Parking
PG-18	Accessible Van Parking
PG-20	Pedestrian Table
PG-21	Empty Trailer Slip
PG-22	Tractor Dock Parking
PG-23	Jack Stand Area
PG-24	Warning Line
PG-28	Traffic Island - Do Not Block the Box



DATE: 12-02-22 TIME: 12:28 USER: jay@langan.com FILE: 14000001.dwg PLOT: 016 - Ocala Spec Building #2 (OFL9) - Partial Signage & Striping Plan 4



PAVEMENT LEGEND			
[White Box]	STANDARD DUTY ASPHALT	[Diagonal Lines Box]	MATCH EXISTING HEAVY DUTY ASPHALT
[Light Gray Box]	HEAVY DUTY ASPHALT	[Horizontal Lines Box]	MATCH EXISTING HEAVY DUTY CONCRETE
[Medium Gray Box]	CONCRETE SIDEWALK	[Vertical Lines Box]	MATCH EXISTING STANDARD DUTY ASPHALT
[Dark Gray Box]	STANDARD DUTY CONCRETE	[Cross-hatch Box]	HYDROGEN TANK PAD (BY OTHERS)
[Cross-hatch Box]	HEAVY DUTY CONCRETE		

NOTE:
 1. THIS PLAN DEPICTS THE LOCATIONS OF REQUIRED HEAVY DUTY AND LIGHT DUTY PAVEMENTS.
 2. PAVEMENT SECTIONS SHALL BE DESIGNED BY THE PROJECT SPECIFIC GEOTECHNICAL ENGINEERS IN ACCORDANCE WITH THE NACF PAVEMENT DESIGN CRITERIA AND GUIDELINES (08-0088) DATED 3/30/20 OR LATEST VERSION.

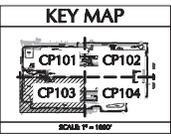
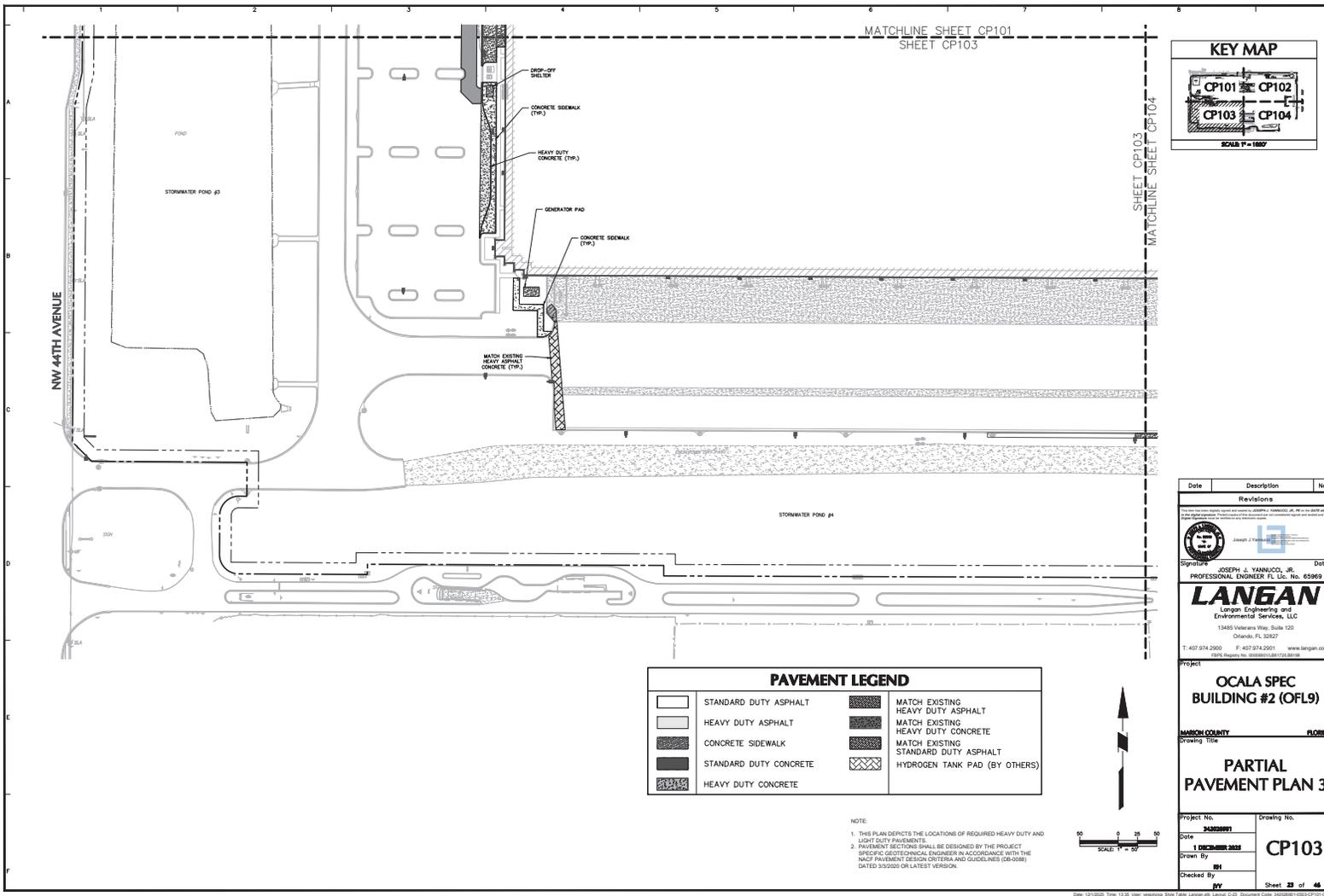
Date	Description	No.
	Revisions	


 Signature: **JOSEPH J. YANNUCCO, JR.**
 PROFESSIONAL ENGINEER FL Lic. No. 65969
LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 ESN# Registry No. 16339300-0001723-0001

Project: Ocala Spec Building #2 (OFL9)
Location: MARION COUNTY, FLORIDA
Drawing Title: OVERALL PAVEMENT PLAN

Project No. 16339300	Drawing No. CP100
Date 1 DECEMBER 2022	Sheet 28 of 46
Drawn By BT	
Checked By PY	





Date	Description	No.
Revisions		



 Signature: **JOSEPH J. YANNICCO, JR.** Date:

 PROFESSIONAL ENGINEER FL Lic. No. 65969

LANGAN

 Langan Engineering and Environmental Services, LLC

 13485 Veterans Way, Suite 100

 Orlando, FL 32827

 T: 407.974.2900 F: 407.974.2901 www.langan.com

 8876 Empire Ave. 32819-4207 (FL)

PAVEMENT LEGEND			
	STANDARD DUTY ASPHALT		MATCH EXISTING HEAVY DUTY ASPHALT
	HEAVY DUTY ASPHALT		MATCH EXISTING HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK		MATCH EXISTING STANDARD DUTY ASPHALT
	STANDARD DUTY CONCRETE		HYDROGEN TANK PAD (BY OTHERS)
	HEAVY DUTY CONCRETE		

NOTE:

- THIS PLAN DEPICTS THE LOCATIONS OF REQUIRED HEAVY DUTY AND LIGHT DUTY PAVEMENTS.
- PAVEMENT SECTIONS SHALL BE DESIGNED BY THE PROJECT SPECIFIC GEOTECHNICAL ENGINEERS IN ACCORDANCE WITH THE NACF PAVEMENT DESIGN CRITERIA AND GUIDELINES (08-0088) DATED 3/3/2000 OR LATEST VERSION.

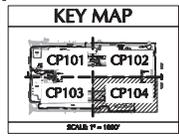
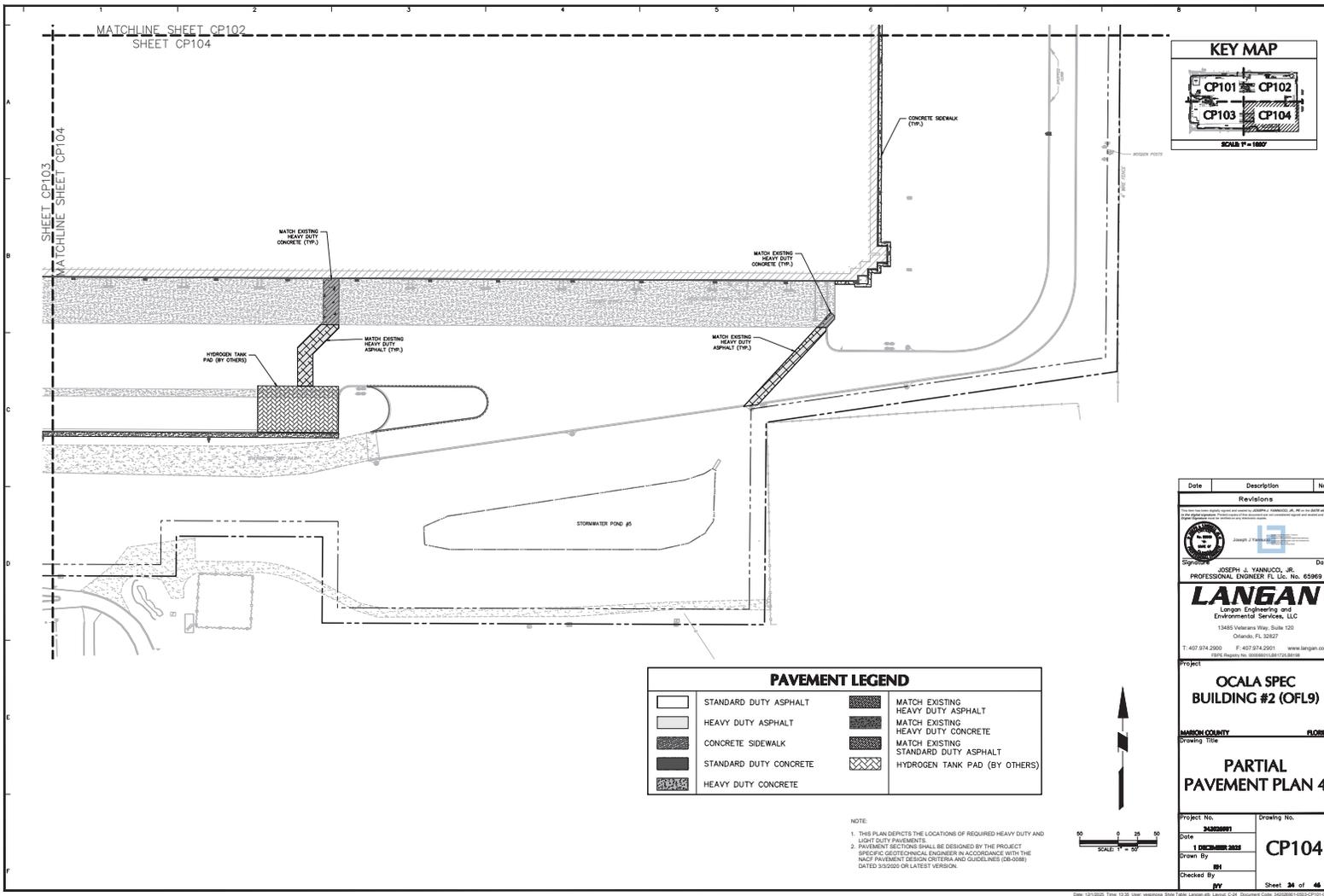


OCALA SPEC BUILDING #2 (OFL9)

HAMILTON COUNTY FLORIDA

PARTIAL PAVEMENT PLAN 3

Project No.	Drawing No.
134850001	CP103
Date	Sheet 23 of 46
1 DECEMBER 2022	
Drawn By	
RY	
Checked By	

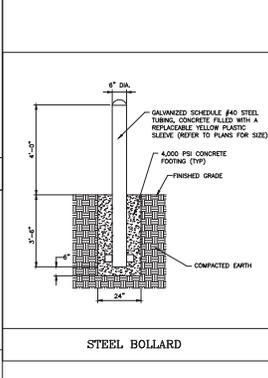
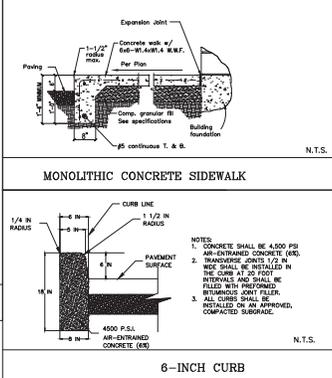
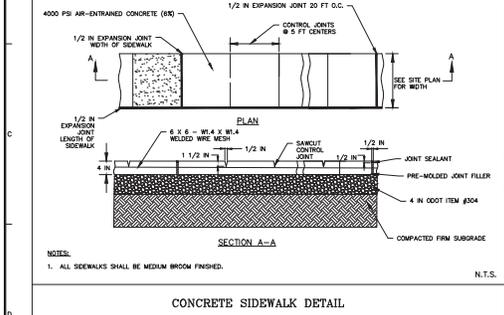
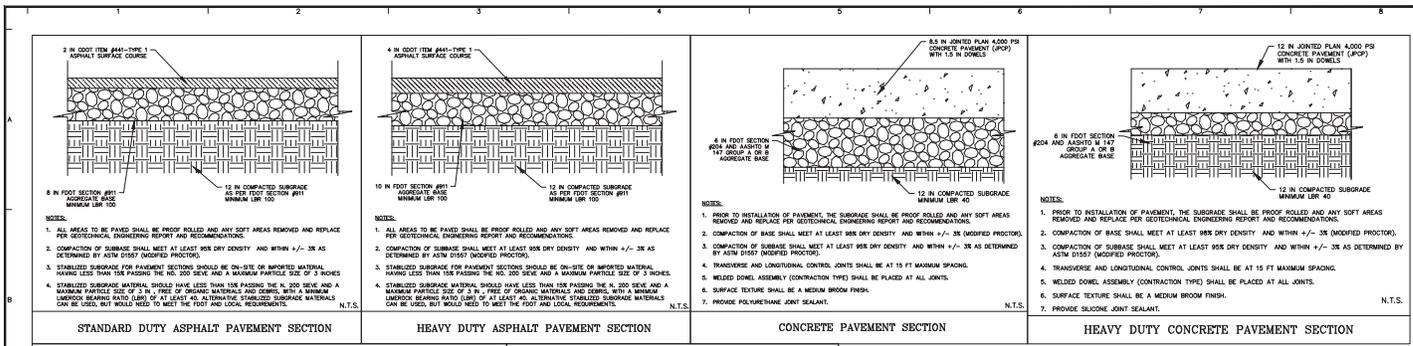


PAVEMENT LEGEND			
[Pattern]	STANDARD DUTY ASPHALT	[Pattern]	MATCH EXISTING HEAVY DUTY ASPHALT
[Pattern]	HEAVY DUTY ASPHALT	[Pattern]	MATCH EXISTING HEAVY DUTY CONCRETE
[Pattern]	CONCRETE SIDEWALK	[Pattern]	MATCH EXISTING STANDARD DUTY ASPHALT
[Pattern]	STANDARD DUTY CONCRETE	[Pattern]	HYDROGEN TANK PAD (BY OTHERS)
[Pattern]	HEAVY DUTY CONCRETE		

NOTE:
 1. THIS PLAN DEPICTS THE LOCATIONS OF REQUIRED HEAVY DUTY AND LIGHT DUTY PAVEMENTS.
 2. PAVEMENT SECTIONS SHALL BE DESIGNED BY THE PROJECT SPECIFIC GEOTECHNICAL ENGINEERS IN ACCORDANCE WITH THE NACF PAVEMENT DESIGN CRITERIA AND GUIDELINES (08-0088) DATED 3/30/00 OR LATEST VERSION.



Date	Description	No.
Revisions		
Signature	Joseph J. Yannucco, Jr.	Date
LANGAN Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com PE# 8295 Ins# 96388000-0001723-0000		
Project OCALA SPEC BUILDING #2 (OFL9) HAMILTON COUNTY FLORIDA Drawing Title		
Project No. 24000091		Drawing No. CP104
Date 1 DECEMBER 2009		Sheet 24 of 46
Drawn By BT		
Checked By RY		



PAVEMENT LEGEND

[Pattern]	STANDARD DUTY ASPHALT	[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	HEAVY DUTY ASPHALT	[Pattern]	HYDROGEN TANK PAD (BY OTHERS)
[Pattern]	CONCRETE SIDEWALK		
[Pattern]	STANDARD DUTY CONCRETE		

Date	Description	No.
	Revisions	

Signature: JOSEPH J. YANNACCO, JR.
PROFESSIONAL ENGINEER FL Lic. No. 65969

LANGAN
Langan Engineering and Environmental Services, LLC
13485 Veterans Way, Suite 100
Orlando, FL 32827
T: 407.974.2900 F: 407.974.2901 www.langan.com
8876 Flapors Ln., 32809-0877, FL, USA

Project: **OCALA SPEC BUILDING #2 (OFL9)**

FLORIDA

PAVEMENT DETAIL

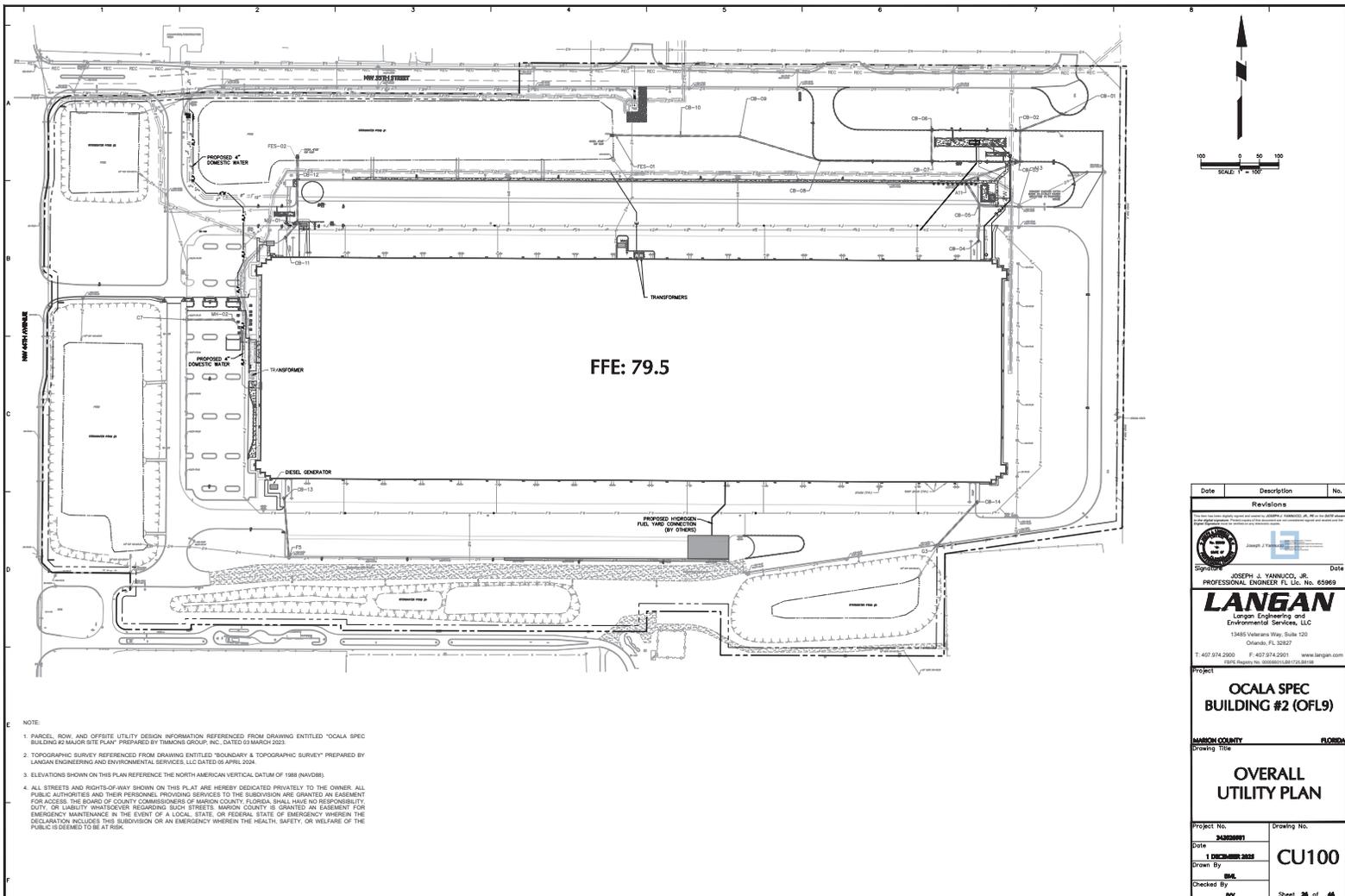
Project No. **PAV00001** Drawing No. **CS501**

Date: **1 DECEMBER 2009**

Drawn By: **BT**

Checked By: **PY**

Sheet **25** of **46**



FFE: 79.5

- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "SCENICARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, CITY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

Date	Description	No.
	Revisions	



 Signature: **JOSEPH J. YANNUCCO, JR.** Date:

 PROFESSIONAL ENGINEER FL Lic. No. 65969

LANGAN

 Langan Engineering and Environmental Services, LLC

 13485 Veterans Way, Suite 100

 Orlando, FL 32837

 T: 407.974.2900 F: 407.974.2901 www.langan.com

 8876 Empire Ave. 32819-0872 (FL)

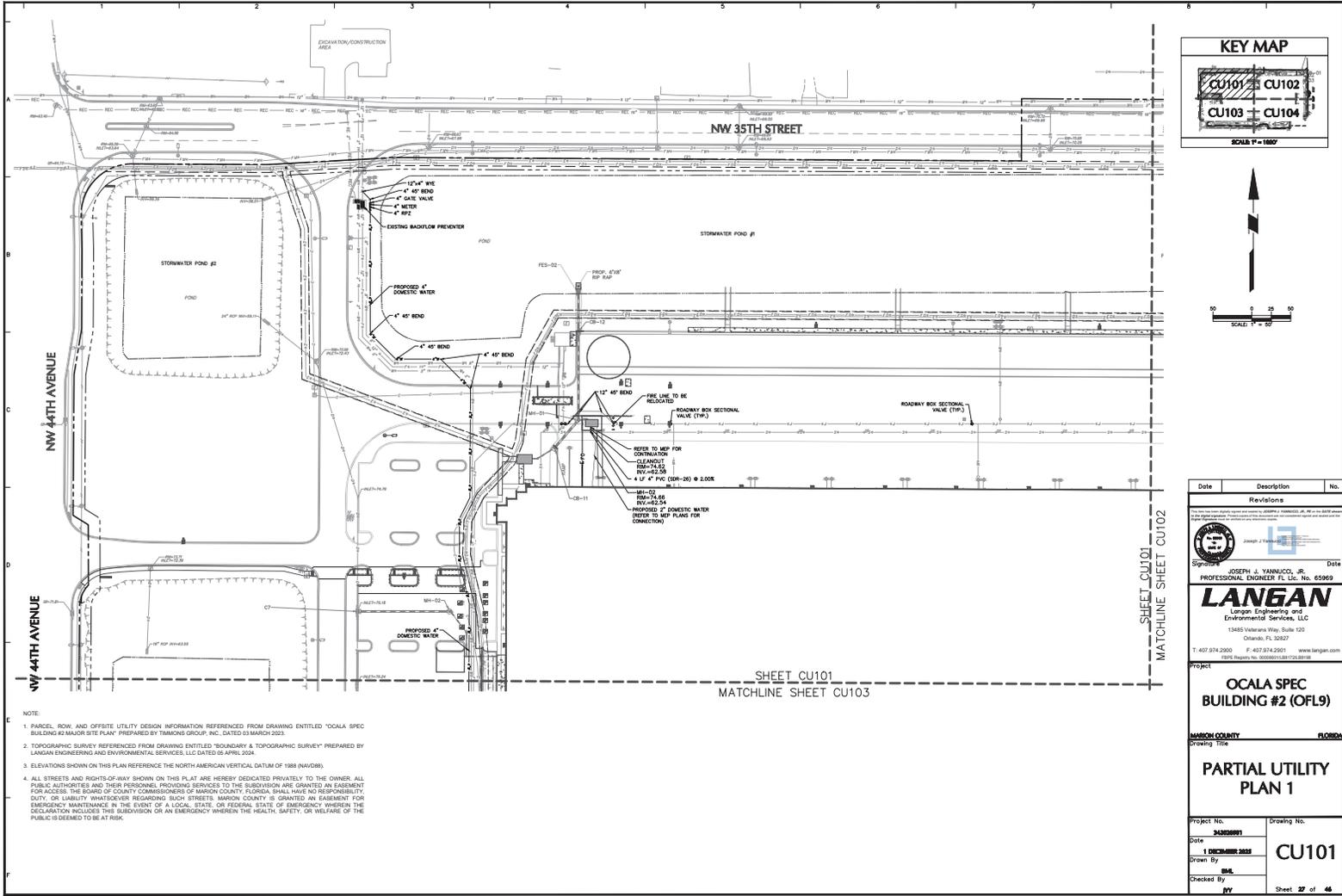
Project: **OCALA SPEC BUILDING #2 (OFL9)**

MARION COUNTY FLORIDA

OVERALL UTILITY PLAN

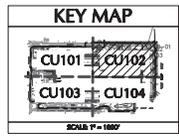
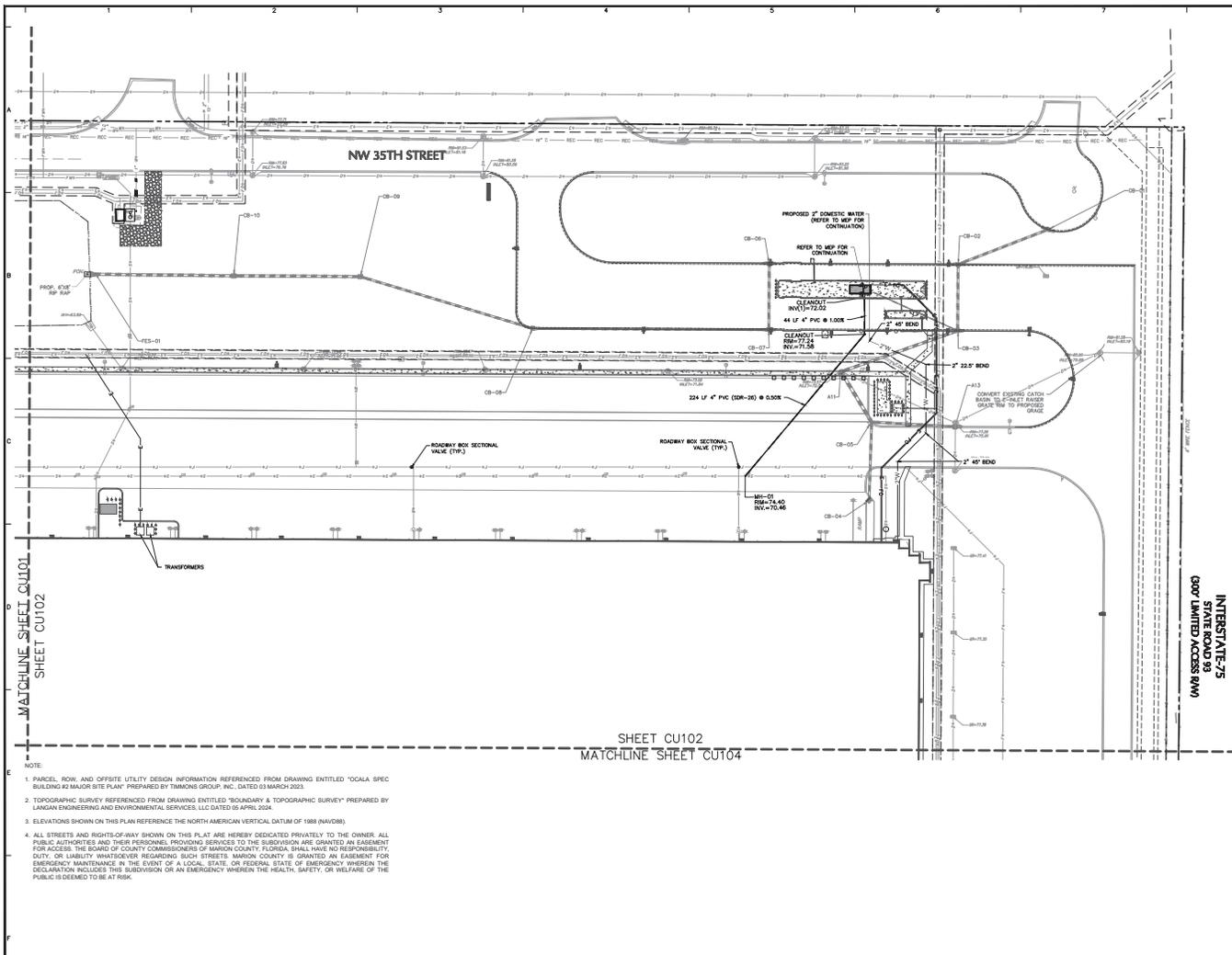
Project No.	Drawing No.
134850001	CU100
Date	1 DECEMBER 2023
Drawn By	SM
Checked By	PY

Sheet 28 of 46



NOTE:

1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TRIMONIS GROUP, INC. DATED 03 MARCH 2023.
2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD85).
4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA SHALL HAVE NO RESPONSIBILITY, DUTY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.



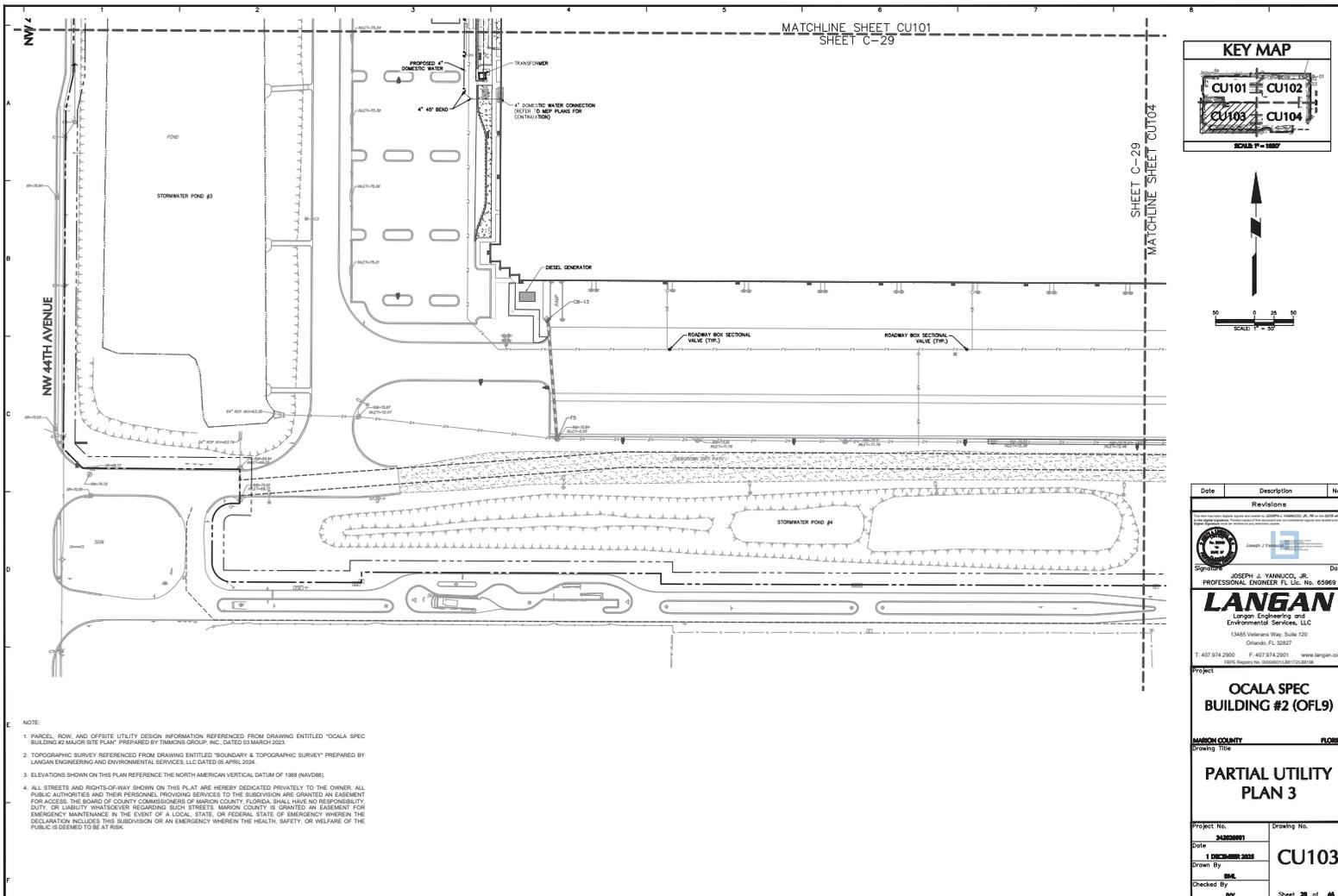
Date	Description	No.
Revisions		

Signature:  **JOSEPH J. YANNICCO, JR.**
 PROFESSIONAL ENGINEER FL Lic. No. 65969
LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 8875 Murphy Ave. 32816-0872 FL USA

OCALA SPEC BUILDING #2 (OFL9)
 MARION COUNTY FLORIDA
 Drawing Title: **PARTIAL UTILITY PLAN 2**

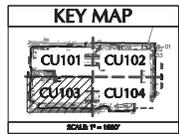
Project No.	Drawing No.
1 DECEMBER 2009	CU102
Date	
Drawn By	SMK
Checked By	PV

- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2009.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2004.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA SHALL HAVE RESPONSIBILITY, DUTY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.



MATCHLINE SHEET CU101
SHEET C-29

MATCHLINE SHEET CU104



Date	Description	No.
Revisions		


 Signature: **JOSEPH J. YANKUSKO, JR.**
 PROFESSIONAL ENGINEER FL Lic. No. 65969
 Date:

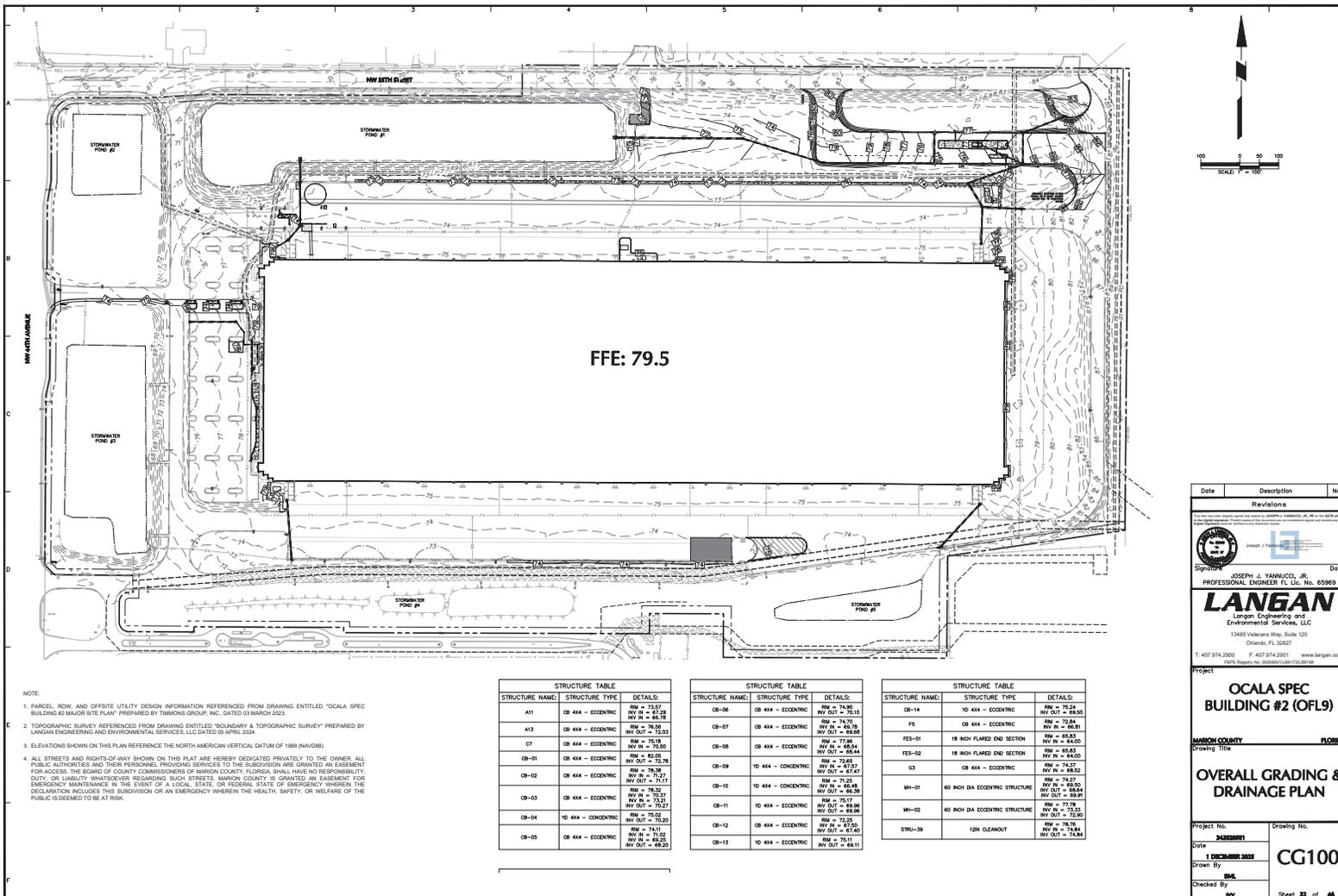

LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 8876 Empire Ave. 32809-4207 (FL)

Project
OCALA SPEC BUILDING #2 (OFL9)
MARION COUNTY FLORIDA
 Drawing Title:

PARTIAL UTILITY PLAN 3

Project No.	Drawing No.
1 DECEMBER 2022	CU103
Date	
Drawn By: SM	
Checked By: PY	
	Sheet 29 of 46

- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2022.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
 3. ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 4. ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAN ARE HEREBY DEDICATED PRIVATELY TO THE OWNER. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, CITY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.



FFE: 79.5

- NOTE:
1. PARCEL, ROW, AND OFFSITE UTILITY DESIGN INFORMATION REFERENCED FROM DRAWING ENTITLED "OCALA SPEC BUILDING #2 MAJOR SITE PLAN" PREPARED BY TIMMONS GROUP, INC. DATED 03 MARCH 2023.
 2. TOPOGRAPHIC SURVEY REFERENCED FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC DATED 05 APRIL 2024.
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STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE TYPE	DETAILS:
A11	CB 404 - ECCENTRIC	RM = 73.07 INV IN = 67.78 INV OUT = 66.78
A13	CB 404 - ECCENTRIC	RM = 78.58 INV IN = 72.03
C7	CB 404 - ECCENTRIC	RM = 78.58 INV IN = 70.50
CB-01	CB 404 - ECCENTRIC	RM = 80.00 INV IN = 72.78
CB-02	CB 404 - ECCENTRIC	RM = 78.38 INV IN = 71.27 INV OUT = 71.17
CB-03	CB 404 - ECCENTRIC	RM = 78.32 INV IN = 73.21 INV OUT = 70.27
CB-04	10 404 - CONCENTRIC	RM = 75.02 INV IN = 70.33
CB-05	CB 404 - ECCENTRIC	RM = 74.11 INV IN = 68.23 INV OUT = 68.23

STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE TYPE	DETAILS:
CB-06	CB 404 - ECCENTRIC	RM = 74.90 INV IN = 70.16
CB-07	CB 404 - ECCENTRIC	RM = 74.70 INV IN = 69.78 INV OUT = 68.68
CB-08	CB 404 - ECCENTRIC	RM = 75.06 INV IN = 68.84 INV OUT = 68.4
CB-09	10 404 - CONCENTRIC	RM = 75.65 INV IN = 67.47
CB-10	10 404 - CONCENTRIC	RM = 75.25 INV IN = 66.48 INV OUT = 65.38
CB-11	10 404 - ECCENTRIC	RM = 75.17 INV IN = 68.88
CB-12	CB 404 - ECCENTRIC	RM = 75.25 INV IN = 67.40
CB-13	10 404 - ECCENTRIC	RM = 76.11 INV IN = 68.11

STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE TYPE	DETAILS:
CB-14	10 404 - ECCENTRIC	RM = 75.24 INV IN = 68.90
F5	CB 404 - ECCENTRIC	RM = 72.64 INV IN = 66.8
FES-01	18 INCH FLARED END SECTION	RM = 65.83 INV IN = 64.00
FES-02	18 INCH FLARED END SECTION	RM = 65.83 INV IN = 64.00
G3	CB 404 - ECCENTRIC	RM = 74.37 INV IN = 68.52
MH-01	60 INCH DIA ECCENTRIC STRUCTURE	RM = 74.57 INV IN = 68.54 INV OUT = 68.54
MH-02	60 INCH DIA ECCENTRIC STRUCTURE	RM = 77.78 INV IN = 72.53 INV OUT = 72.50
STRU-38	12IN CLEANOUT	RM = 76.78 INV IN = 72.84 INV OUT = 72.84

Date	Description	No.
	Revisions	

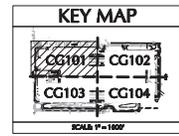
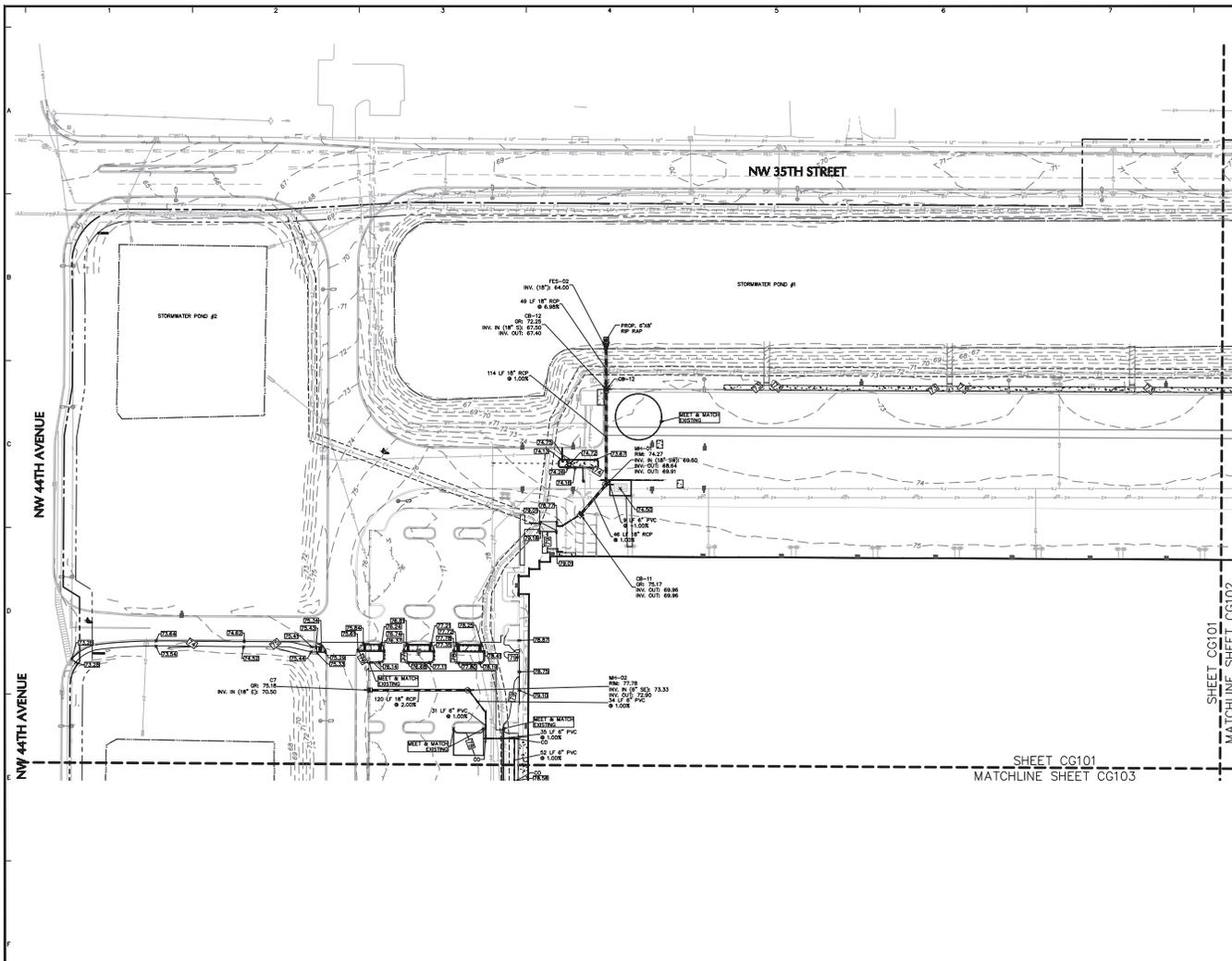

 Signature: JOSEPH J. YANNUCCO, JR.
 PROFESSIONAL ENGINEER FL Lic. No. 65969

LANGAN
 Langan Engineering and Environmental Services, LLC
 13485 Veterans Way, Suite 100
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com
 8876 Property No. 00000000000000000000

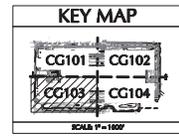
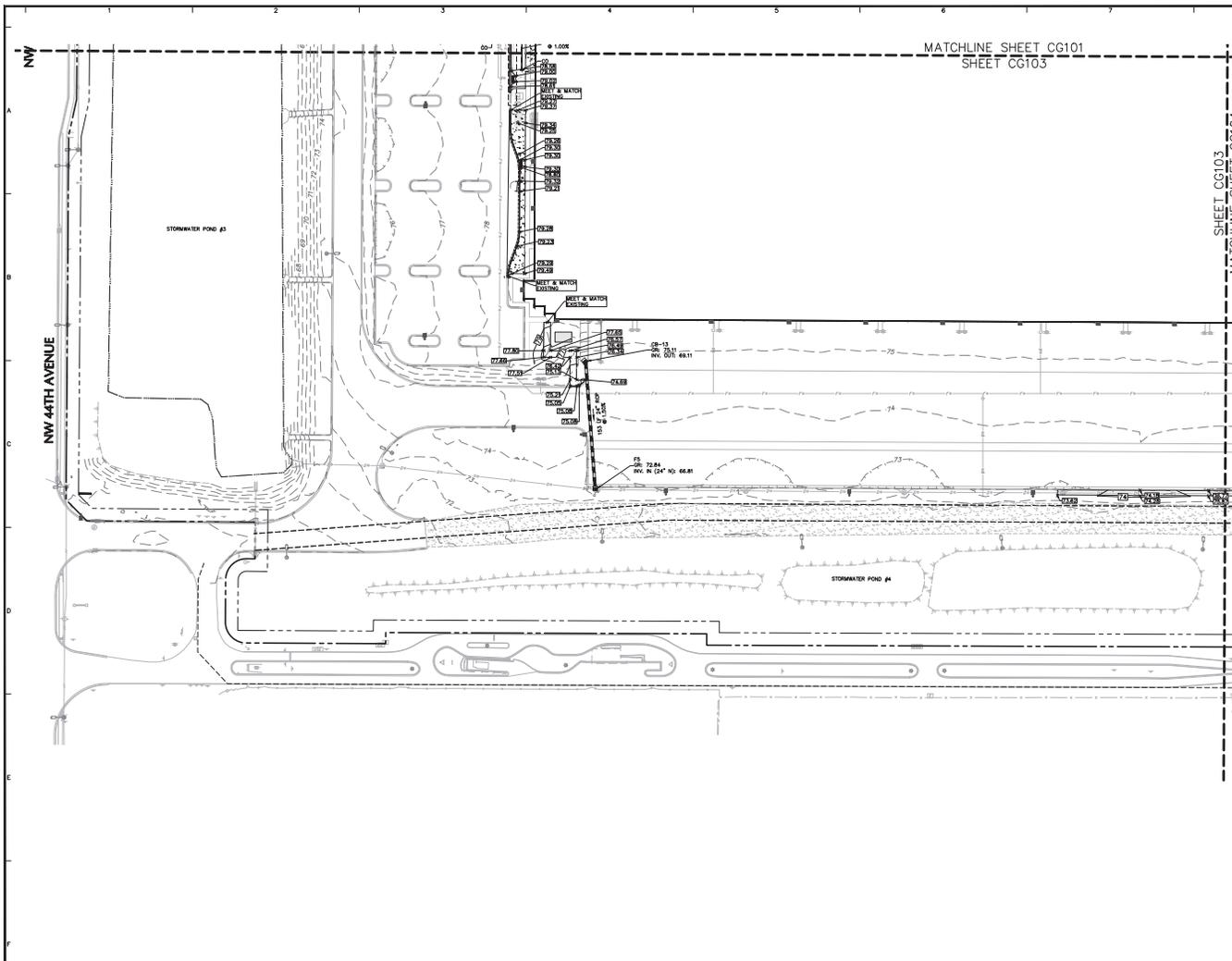
Project: **OCALA SPEC BUILDING #2 (OFL9)**
 MARION COUNTY, FLORIDA
 Drawing Title: **OVERALL GRADING & DRAINAGE PLAN**

Project No.: **24000001** Drawing No.: **CG100**
 Date: **1 DECEMBER 2024**
 Drawn By: **SMK**
 Checked By: **PV**

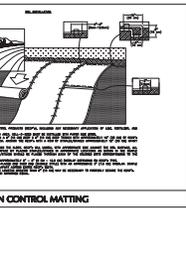
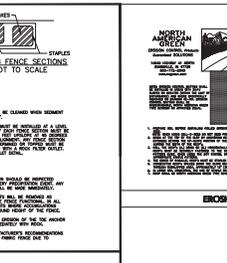
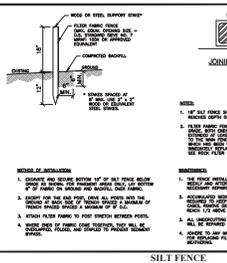
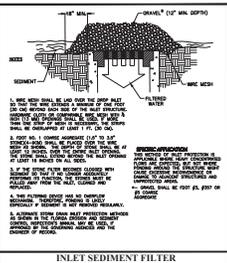
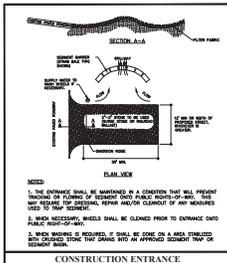
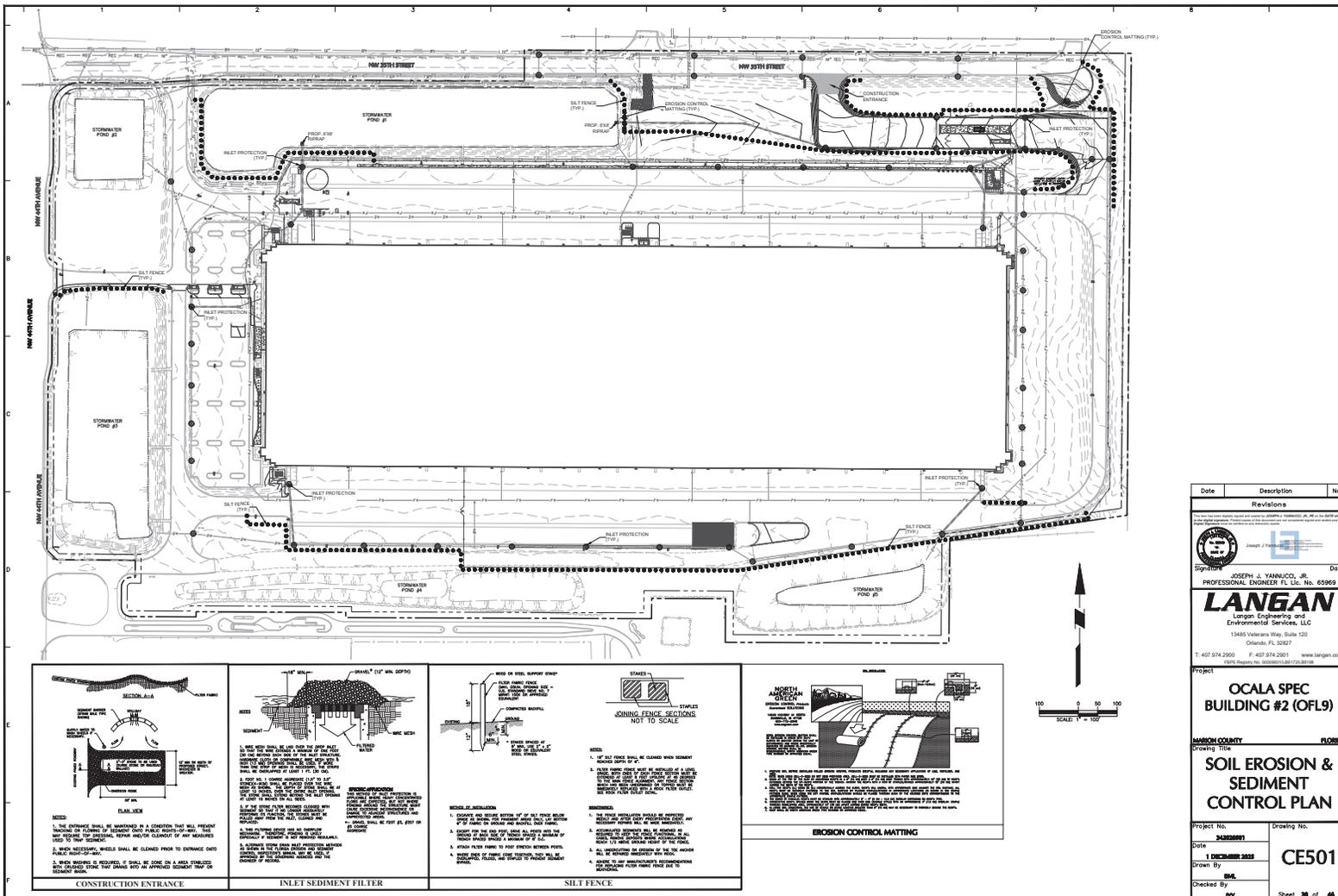
Sheet **32** of **46**



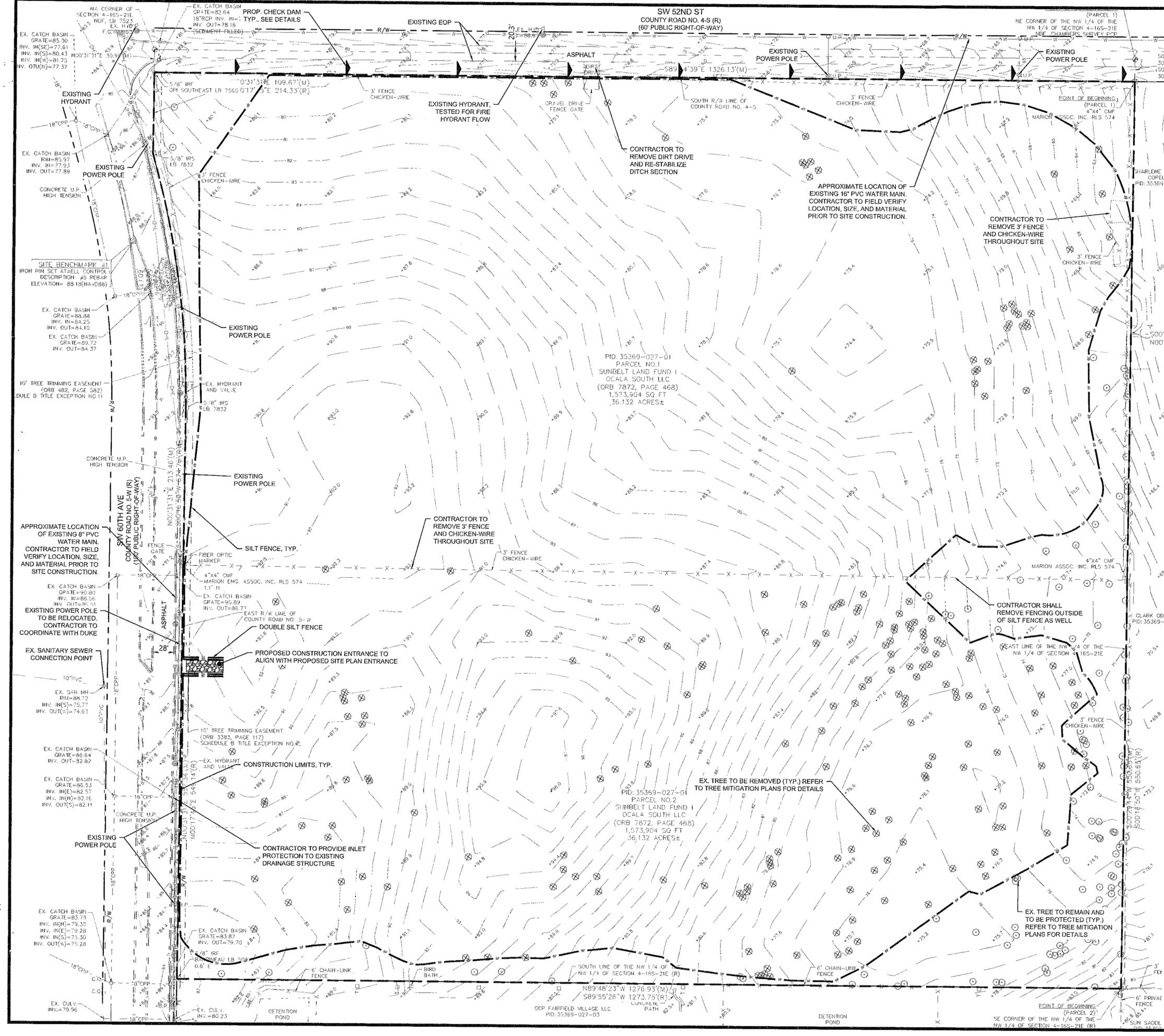
Date	Description	No.
Revisions		
Signature: JOSEPH J. YANNUCCO, JR. PROFESSIONAL ENGINEER FL Lic. No. 65969		Date:
LANGAN Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com 8876 Murphy Ave. #2000 Orlando, FL 32819		
Project: OCALA SPEC BUILDING #2 (OFL9)		
HARRISON COUNTY		FLORIDA
PARTIAL GRADING & DRAINAGE PLAN 1		
Project No.: 14000091		Drawing No.: CG101
Date: 1 DECEMBER 2010		Sheet 29 of 46
Drawn By: SM		
Checked By: PY		



Date	Description	No.
Revisions		
LANGAN Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com 8876 Murphy Ave. #2000 Orlando, FL 32819		Date
Project OCALA SPEC BUILDING #2 (OFL9)		
FLORIDA MARION COUNTY		
Drawing Title PARTIAL GRADING & DRAINAGE PLAN 3		
Project No. 24000091		Drawing No. CG103
Date 1 DECEMBER 2022		Sheet 35 of 46
Drawn By RML		
Checked By RY		



Date	Description	No.
	Revisions	
LANGAN Langan Engineering and Environmental Services, LLC 13485 Veterans Way, Suite 100 Orlando, FL 32827 T: 407.974.2900 F: 407.974.2901 www.langan.com PE# 92999 FL 00000000000000000000		
OCALA SPEC BUILDING #2 (OFL9)		
HARRISON COUNTY FLORIDA SOIL EROSION & SEDIMENT CONTROL PLAN		
Project No.	Drawing No.	
1 DECEMBER 2009	CE501	
Drawn By: EMK	Checked By: PV	
Sheet 28 of 46		



PLAN LEGEND

- ROAD RIGHT-OF-WAY
- EXISTING FEATURES
- LIMITS OF CONSTRUCTION
- TYPE III SILT FENCE
- CONSTRUCTION LIMITS
- TREE TO BE REMOVED
- TREE TO REMAIN

DEVELOPMENT REVIEW
MARION COUNTY, FLORIDA

APPLICATION #: 30034
EXPIRATION DATE: 10/10/25

LEGAL DESCRIPTION PER ALTA SURVEY

PARCEL NO. 1: (35369-027-01)
FOR A POINT OF REFERENCE, COMMENCE AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 00°16'50" WEST, 30.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 4-S (60 FEET WIDE); THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, CONTINUE SOUTH 00°16'50" WEST, 674.76 FEET; THENCE SOUTH 89°51'22" WEST, 1273.61 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 5-W (100 FEET WIDE); THENCE ALONG AND WITH SAID EAST RIGHT-OF-WAY LINE, NORTH 00°17'45" EAST, 214.33 FEET TO THE POINT OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A CENTRAL ANGLE OF 17°08'00" AND A RADIUS OF 1196.28 FEET; THENCE ALONG AND WITH SAID ARC OF CURVE, A DISTANCE OF 347.08 FEET TO THE POINT OF TANGENCY; THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, NORTH 00°17'45" EAST, 107.80 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF THE AFOREMENTIONED COUNTY ROAD NO. 4-S; THENCE ALONG AND WITH THE SAID SOUTH RIGHT-OF-WAY LINE, NORTH 89°51'22" EAST, 1326.52 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2: (35369-027-02)
A PORTION OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, BEING MORE FULLY DESCRIBED AS FOLLOWS:
FOR A POINT OF BEGINNING, COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 4; THENCE SOUTH 89°55'28" WEST, ALONG THE SOUTH BOUNDARY OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, 1273.75 FEET TO THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 5-W (100 FEET WIDE); THENCE NORTH 00°17'45" EAST, 549.14 FEET ALONG SAID RIGHT-OF-WAY LINE; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, NORTH 89°51'22" EAST, 1273.61 FEET TO THE EAST BOUNDARY OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°16'50" WEST, ALONG SAID EAST BOUNDARY, 550.65 FEET TO THE POINT OF BEGINNING.

NOTICE
The approval of these plans is limited to the construction of the proposed stormwater management system and does not constitute a warranty or representation of any kind. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary easements and rights-of-way from the appropriate owners. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.

NOTICE
The approval of these plans is limited to the construction of the proposed stormwater management system and does not constitute a warranty or representation of any kind. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary easements and rights-of-way from the appropriate owners. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.

- DEMOLITION AND UTILITY ADJUSTMENT NOTES:**
1. DEMO LIMITS REPRESENT EXPECTED AREA OF DEMOLITION. ANY ROADWAYS, GUTTERS, CURBS, DRIVEWAYS, OR SIDEWALKS LOCATED WITHIN THESE LIMITS MAY NEED TO BE REMOVED DURING THE INSTALLATION OF THE STORM SEWER SYSTEM. THE CONTRACTOR SHOULD ATTEMPT TO REDUCE THE REQUIRED DEMO AREA AND AVOID REMOVAL OF CURBS, SIDEWALKS, AND DRIVEWAYS WHEN POSSIBLE.
 2. ALL EXISTING UTILITIES ARE TO BE PROTECTED AND REMAIN IN SERVICE UNLESS SPECIFICALLY INDICATED IN THE CONSTRUCTION DOCUMENTS.
 3. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY PLAN DISCREPANCIES OR FIELD CONFLICTS AND NOTIFYING THE ENGINEER OF RECORD PRIOR TO DEVIATING FROM THE CONSTRUCTION DOCUMENTS.
 4. SEE GENERAL NOTES SHEET C001 FOR UTILITY PROVIDER CONTACT INFORMATION. CONTRACTOR MUST COORDINATE ALL UTILITY RELOCATIONS, ADJUSTMENTS, OR REMOVALS WITH UTILITY COMPANY.
 5. ALL DISTURBED SURFACE AREAS TO BE RESTORED TO EXISTING OR IMPROVED CONDITIONS. THE ACTUAL DEPTH AND LOCATION OF EXISTING UTILITIES ARE SHOWN PER THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE CROSSINGS OF EXISTING UTILITIES WITH THE OWNER OF UTILITIES.
 6. CONTRACTOR MUST PROVIDE ADVANCE NOTIFICATION TO RESPECTIVE UTILITY COMPANY AND COORDINATE ACTIVITIES WITHIN THE PROJECT SITE. NO UTILITY ADJUSTMENTS OR RELOCATIONS ARE TO OCCUR WITHOUT THE CONTRACTOR RECEIVING APPROVAL FROM THE UTILITY OWNER.
 7. NO UTILITY ADJUSTMENTS, RELOCATIONS, OR MODIFICATIONS SHOULD BE PERFORMED OUTSIDE THE RIGHT OF WAY WITHOUT WRITTEN APPROVAL FROM THE RESPECTIVE PROPERTY OWNER. ALL INDIVIDUAL SERVICES SHOULD BE MAINTAINED AT ALL TIMES.
 8. EXISTING UTILITY SERVICES TO BE MAINTAINED AT ALL TIMES. EMPLOY TEMPORARY FACILITIES AND CONTROLS AS LONG AS NEEDED FOR THE SAFE AND PROPER COMPLETION OF THE WORK. REMOVE ALL SUCH TEMPORARY FACILITIES AND CONTROLS AS RAPIDLY AS PROGRESS OF THE WORK WILL PERMIT, OR AS DIRECTED BY THE OWNER.
 9. REFER TO THE SITE PLAN SHEETS FOR ADDITIONAL INFORMATION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT SURVEY INFORMATION DURING CONSTRUCTION OF ALL UTILITY ADJUSTMENTS, RELOCATIONS, REMOVALS, AND INSTALLATIONS. THE CONTRACTOR MUST PROVIDE A DETAILED AS-BUILT CERTIFIED BY A PROFESSIONAL SURVEYOR TO THE CITY'S ENGINEER PRIOR TO PROJECT CLOSEOUT.
 11. CONTRACTOR TO FIELD VERIFY THAT EXISTING STORMWATER INLETS CONNECT TO THE EXISTING EXFILTRATION SYSTEM, ALL STORM INLETS AND PIPING TO BE REMOVED.
 12. ALL EXISTING SANITARY LATERALS ARE TO BE REMOVED AND CAPPED AT THE ROW LINE. THE ABANDONED SANITARY LATERAL SHALL BE AS-BUILT.

DEFINITIONS:

1. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE SALVAGED OR RECYCLED. COORDINATE WITH THE UTILITY REPRESENTATIVES THE DISPOSITION OF ITEMS OWNED BY THE UTILITY COMPANIES. OFF-SITE DISPOSAL IS BY THE CONTRACTOR.
2. SALVAGE: DETACH ITEM FROM EXISTING CONSTRUCTION, PROTECT FROM DAMAGE AND DELIVER THEM TO OWNER READY FOR REUSE. COORDINATE DELIVERY LOCATION WITH OWNER AND PROVIDE DELIVERY.
3. REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE RAZED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED OR SALVAGED. PROVIDE TEMPORARY PROTECTION DURING THE CONSTRUCTION PERIOD. PROVIDE ADJUSTMENTS AS REQUIRED BY PLANS.
4. REFURBISH: RENOVATE EXISTING STRUCTURE/APPERTENANCE TO CURRENT SPECIFICATIONS. PROTECT DURING CONSTRUCTION.
5. TO BE TAKEN OUT OF SERVICE: ABANDONMENT IN PLACE OF UTILITY LINES ALONG UNEXCAVATED AREAS PER RESPECTIVE UTILITY COMPANY REQUIREMENTS. SEE "GROUT FILLING OF EXISTING LINES DETAIL" ON DETAIL SHEET.
6. REPLACE: STRUCTURE OR PIPE TO BE REMOVED AND SIMILAR PRODUCT TO BE INSTALLED AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
7. ADJUST: EXISTING ITEM OF CONSTRUCTION TO BE MOVED OR REPLACED AS NEEDED TO AVOID CONFLICT WITH PROPOSED CONSTRUCTION. COORDINATE WITH THE OWNER OF UTILITIES.

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Know what's below. Call before you dig.
THE LOCATION OF EXISTING UNRECORDED UTILITIES IS SHOWN BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

24 HOUR EMERGENCY CONTACT

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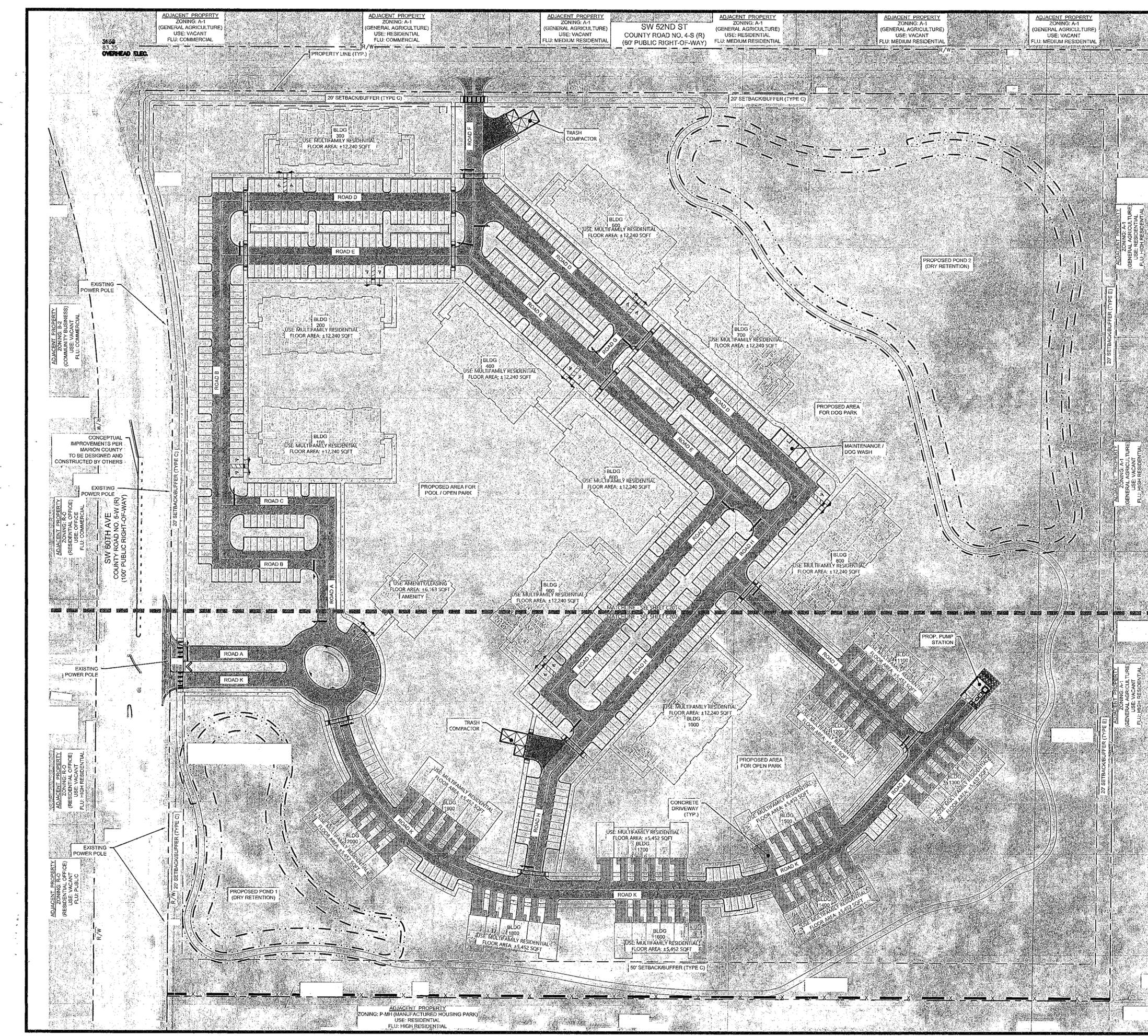
SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
EROSION CONTROL AND DEMOLITION PLAN

DATE: MAY 2, 2023
 4/14/23 MARION COUNTY
 4/20/23 SWFWMD
 4/8/23 MARION COUNTY
 4/18/23 MARION COUNTY

REVISIONS
 1/1/23
 1/1/23

DRAWN BY: MC
 CHECKED BY: DGG
 PROJECT MANAGER: KL
 JOB #: 22005199
 FILE CODE: #
 SHEET NO. C100



PLAN LEGEND	
	PROPERTY LINE
	PROPOSED IMPROVEMENTS
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED LIGHT DUTY CONCRETE
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	TRAIL

NOTES:

- PROPOSED USE: MULTIFAMILY (TOWNHOME/APARTMENT FOR RENT).
- MFLA: MFLA WILL BE INCLUDED IN FUTURE SUBMITTALS.
- MAINTENANCE/MANAGEMENT STATEMENT: OWNER INTENDS ON CONTRACTING AN EXPERIENCED CONSTRUCTION MANAGEMENT FIRM TO COORDINATE ALL ASPECTS OF DEVELOPMENT, INCLUDING THE CONSTRUCTION OF ALL PRIVATE ROADS, PARKING AREAS, DETENTION AREAS, COMMON AREAS, ETC. AN EXPERIENCED PROPERTY MANAGER WILL BE ONBOARDED DURING THE CONSTRUCTION PHASE TO BE WELL PREPARED FOR THE LEASE UP PHASE OF THE PROJECT AND WILL CONTINUE TO BE CONTRACTED OVER THE LIFE OF THE COMMUNITY TO COORDINATE ALL ASPECTS OF RESIDENTIAL LIVING, INCLUDING MAINTENANCE OF ALL PRIVATE ROADS, PARKING AREAS, DETENTION AREAS, COMMON AREAS, ETC. PERPETUALLY AFTER THE SITE IS COMPLETE. AMONG THESE TWO GROUPS, THE AFORESAID SITE FEATURES WILL BE UNDER CONSTANT PROFESSIONAL MANAGEMENT.
- NO SITE CLEARING SHALL BE PERFORMED UNTIL TREE MITIGATION HAS BEEN APPROVED BY MARION COUNTY.
- MONUMENT SIGN TO BE PERMIT SEPARATELY.
- OPEN SPACE WITHIN THE PROJECT SHALL CONSTITUTE AT LEAST TWENTY PERCENT OF THE TOTAL AREA OF THE SUBJECT PARCELS. AMENITIES AND PARTIAL PERCENTAGES FOR DRA INCLUSION ARE ADMISSIBLE.

SITE DATA NOTES	
PARCEL ID:	35369-027-01
TOTAL PROPERTY AREA:	36.13± AC
MULTIFAMILY:	36.13± AC
NUMBER OF UNITS:	360 UNITS
RESIDENTIAL DENSITY (DW/A):	9.96 UNITS / ACRE
UNIT TYPES:	1, 2 AND 3 BEDROOMS
OPEN SPACE:	MINIMUM: 7.23± AC (20% MIN. OF SITE) (INCLUDES ALL GREEN SPACE AREAS) (MAXIMUM 25% OF DRY POND AREAS CAN BE COUNTED)
BUILDING HEIGHT:	49 FT MAX.
UTILITY CAPACITY NEEDS FOR WATER & WASTEWATER (RESIDENTIAL ONLY):	WATER - 360 UNITS X 0.85 = 306 ERU, 91,800 GPD (1 ERU = 300 GPD) WASTEWATER - 360 UNITS X 0.85 = 306 ERU, 76,500 GPD (1 ERU = 250 GPD)
ON-SITE SOILS:	PER USDA NRCS SOIL SURVEY OF MARION COUNTY, MAPPED AS 22 CANDLER SAND
ROAD RIGHT-OF-WAY & POSTED SPEED LIMITS:	SW 60TH AVE (± 100' ROW) - 45 MPH SW 52ND ST (165' ROW) - 25 MPH
ZONING CLASSIFICATION	
JURISDICTION:	MARION COUNTY
ZONING:	PUD, PLANNED UNIT DEVELOPMENT
ADJACENT ZONING:	A-1, GENERAL AGRICULTURE (EAST)
FEMA FLOOD MAP:	9-PM, MANUFACTURED HOUSING PARK (SOUTH)
FUTURE LAND USE DESIGNATION:	HR, HIGH RESIDENTIAL; MIN: 4 DU/AC, MAX: 8 DU/AC TDR, TRANSFERABLE DEVELOPMENT RIGHTS: 2 DU/AC TOTAL MAX: 10 DU/AC
BUILDING SETBACKS AND BUFFERS	
SW 60TH AVE:	20 FT MIN.
SW 52ND ST:	20 FT MIN.
SOUTH:	50 FT MIN.
EAST:	20 FT MIN.
BUILDING FACE TO FACE SEPARATION:	20 FT MIN.
PARKING SUMMARY	
REQUIRED VEHICLE PARKING SPACES:	660
MULTI-FAMILY AND MANUFACTURED HOME:	1.5 SPACES PER 1 BED (100 UNITS X 1.5 SPACES/UNIT = 180 SPACES)
2 SPACES PER 2/3 BED:	(240 UNITS X 2 SPACES/UNIT = 480 SPACES)
PROVIDED VEHICLE PARKING SPACES:	715
595 (PARKING LOT SPACES):	
120 (GARAGES/DRIVEWAYS):	
REQUIRED ADA PARKING SPACES:	15
PROVIDED ADA PARKING SPACES:	15
REQUIRED BICYCLE PARKING SPACES:	NO MINIMUM REQUIREMENT PER MARION COUNTY LDC
SERVICES / UTILITY PROVISION	
WATER:	CITY OF OCALA WATER RESOURCES
SANITARY SEWER:	CITY OF OCALA WATER RESOURCES
ELECTRIC:	SUMNER ELECTRIC COOPERATIVE INC.
STORMWATER MANAGEMENT:	SWFWMD

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NOV 21 2023

Marion County
Office of County Engineer

Know what's below.
Call before you dig.
THE SERVICE OF LOCATING UNDERGROUND UTILITIES AND SERVICES IN AN APPROXIMATE 100' DIA AND 10' DEEP HOLE RESPONSIBLY VERIFIED BY THE COVER OR LID REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES USING SURVEYING, COMMERCIAL WORK, AND AGILES TO BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXCAVATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXCAVATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SEC 04 TOWNSHIP 16S RANGE 21E	SW 60TH AVE AND SW 52ND ST	OCALA	MARION COUNTY, FLORIDA
OCALA SOUTH	MERRIMAC SWC OCALA, LLC	MAJOR SITE PLAN	SITE PLAN

DATE: MAY 2, 2023

▲ 4/14/23 MARION COUNTY
 ▲ 4/20/23 SWFWMD
 ▲ 8/9/23 MARION COUNTY
 ▲ 9/18/23 MARION COUNTY

REVISIONS

11/20/23

0 30' 60'

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: ##
SHEET NO. C200

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30084
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

NOTICE:
All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

DISCLAIMER:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

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Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN RECONCILED TO THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR. FAILURE TO EXACTLY LOCATE AND PRESERVE ANY PUBLIC UTILITIES IS AT THE CONTRACTOR'S RISK.

24 HOUR EMERGENCY CONTACT

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NOV 21 2023
Marion County
Office of County Engineer

SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
GRADING & DRAINAGE OVERALL

DATE: MAY 2, 2023

- 4/14/23 MARION COUNTY
- 4/20/23 SWFWMD
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- 9/18/23 MARION COUNTY

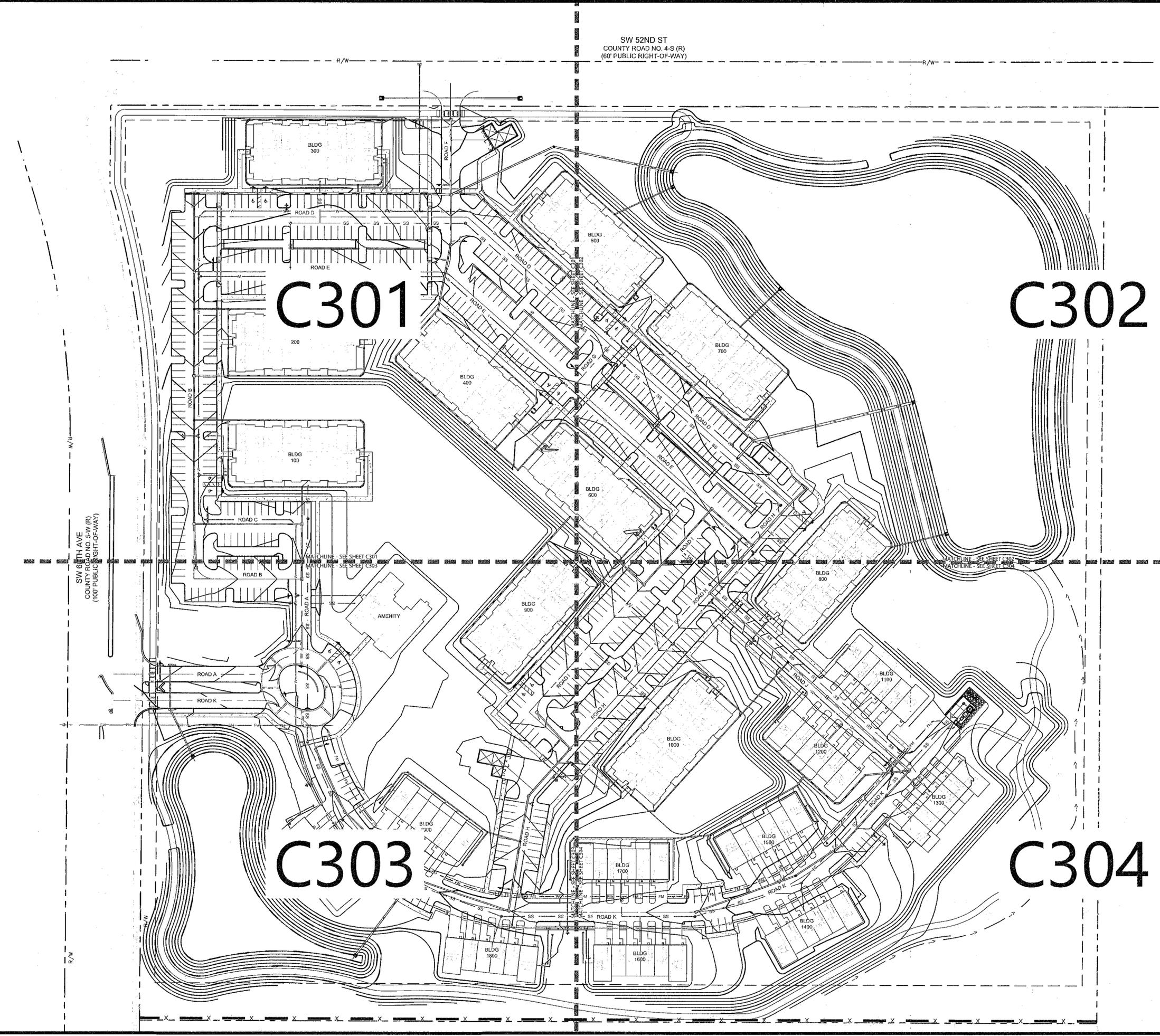
REVISIONS

KAIWEN WANG
Professional Engineer
No. 11101
11/20/17

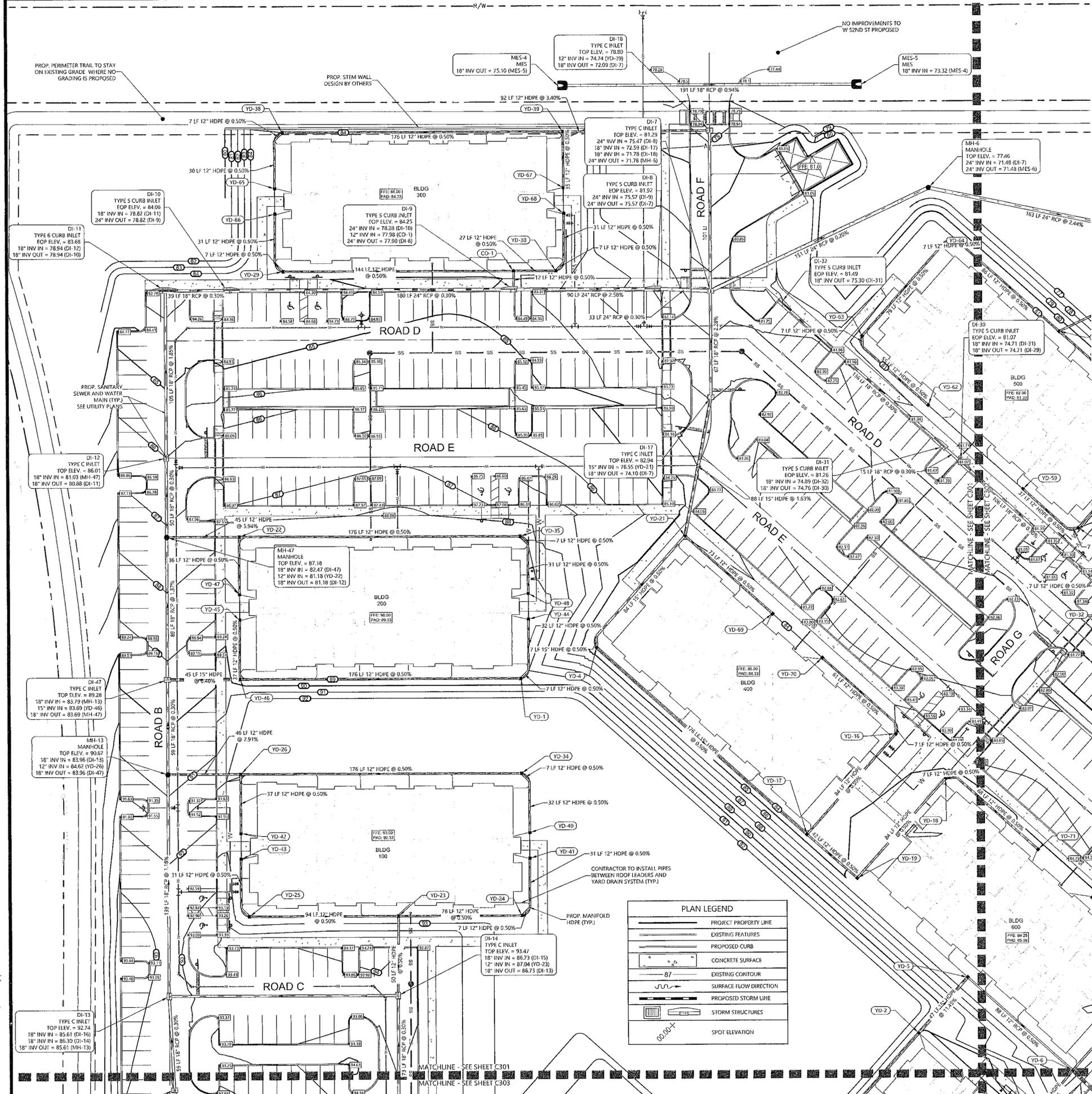
0 30' 60'

NOTE:
1. VERTICAL DATUM IS BASED ON NAVD1988

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: ##
SHEET NO. C300



FILE NAME: G:\22005199-01-000\DWG\plan_majorsite.dwg
DATE PLOTTED: 5/2/2023 10:44 AM
PLOTTER: HP DesignJet 2400
PLOT SCALE: 1/8"=1'-0"
PLOT SHEETS: 1-10
PLOT SHEET: 3
PLOT AREA: 11.50000000
PLOT AREA UNIT: SQ FT
PLOT AREA VALUE: 11.50000000
PLOT AREA UNIT: SQ FT
PLOT AREA VALUE: 11.50000000



STORM SEWER STRUCTURES TABLE			
ID	TYPE	RIM/TOP ELEV.	INV. ELEV.
YD-1	YARD DRAIN	89.00	12" NE INV. IN: 84.75 (Structure - 461) 12" W INV. OUT: 84.75 (YD-46)
YD-2	YARD DRAIN	90.00	15" SW INV. IN: 84.90 (YD-3) 15" NE INV. OUT: 84.90 (YD-5)
YD-4	YARD DRAIN	84.00	15" SE INV. IN: 79.72 (Structure - 456) 15" N INV. OUT: 79.72 (Structure - 456)
YD-5	YARD DRAIN	85.38	15" SW INV. IN: 79.56 (YD-6) 12" SE INV. OUT: 79.56 (YD-6)
YD-16	YARD DRAIN	84.00	12" N INV. IN: 79.61 (Structure - 461) 12" SW INV. OUT: 79.61 (YD-16)
YD-17	YARD DRAIN	84.09	12" NW INV. IN: 78.84 (YD-17) 12" NE INV. IN: 79.19 (YD-16) 12" SE INV. IN: 78.95 (YD-19)
YD-18	YARD DRAIN	85.25	12" E INV. IN: 79.58 (Structure - 461) 12" SW INV. OUT: 79.58 (YD-19)
YD-19	YARD DRAIN	85.25	12" NE INV. IN: 79.16 (YD-18) 12" W INV. OUT: 79.16 (YD-17)
YD-21	YARD DRAIN	84.12	15" SW INV. IN: 79.27 (Structure - 456) 12" SE INV. IN: 79.58 (YD-69) 15" N INV. OUT: 77.99 (YD-17)
YD-22	YARD DRAIN	88.88	12" E INV. IN: 83.88 (YD-35) 12" S INV. IN: 84.77 (YD-47) 12" W INV. OUT: 83.88 (MH-47)
YD-23	YARD DRAIN	92.03	12" E INV. IN: 87.37 (YD-24) 12" W INV. IN: 87.29 (YD-25) 12" S INV. OUT: 87.29 (YD-14)
YD-24	YARD DRAIN	92.00	12" NE INV. IN: 87.76 (Structure - 396) 12" W INV. OUT: 87.76 (YD-23)
YD-25	YARD DRAIN	92.00	12" NW INV. IN: 87.76 (Structure - 400) 12" E INV. OUT: 87.76 (YD-23)
YD-26	YARD DRAIN	92.00	12" E INV. IN: 86.87 (YD-34) 12" S INV. IN: 87.76 (YD-42) 12" W INV. OUT: 85.95 (MH-13)
YD-28	YARD DRAIN	84.00	12" NW INV. IN: 78.76 (Structure - 449) 12" E INV. OUT: 78.76 (CO-1)
YD-30	YARD DRAIN	84.00	12" NE INV. IN: 78.76 (Structure - 453) 12" W INV. OUT: 78.76 (CO-1)
YD-34	YARD DRAIN	92.00	12" SE INV. IN: 87.75 (Structure - 394) 12" W INV. OUT: 87.75 (YD-26)
YD-35	YARD DRAIN	89.00	12" SE INV. IN: 84.76 (Structure - 409) 12" W INV. OUT: 84.76 (YD-22)
YD-38	YARD DRAIN	84.00	12" SW INV. IN: 78.76 (Structure - 446) 12" E INV. OUT: 78.76 (YD-39)
YD-39	YARD DRAIN	83.87	12" W INV. IN: 77.88 (YD-38) 12" S INV. IN: 78.77 (YD-67) 12" E INV. OUT: 77.88 (DI-18)
YD-40	YARD DRAIN	92.00	12" N INV. OUT: 87.95 (Structure - 394)
YD-41	YARD DRAIN	92.00	12" S INV. OUT: 87.95 (Structure - 396)
YD-42	YARD DRAIN	92.00	12" N INV. OUT: 87.95 (Structure - 400)
YD-44	YARD DRAIN	89.00	12" S INV. OUT: 84.95 (Structure - 402)
YD-45	YARD DRAIN	89.00	12" S INV. OUT: 84.95 (YD-46)
YD-46	YARD DRAIN	89.36	12" E INV. IN: 83.87 (YD-1) 12" W INV. IN: 84.76 (YD-45) 15" W INV. OUT: 83.87 (DI-47)
YD-47	YARD DRAIN	89.00	12" N INV. OUT: 84.95 (YD-22)
YD-48	YARD DRAIN	89.00	12" N INV. OUT: 84.95 (Structure - 409)
YD-82	YARD DRAIN	81.00	12" NW INV. OUT: 76.95 (Structure - 440)
YD-63	YARD DRAIN	81.00	12" S INV. IN: 76.64 (Structure - 440) 12" NE INV. OUT: 76.64 (Structure - 442)
YD-64	YARD DRAIN	81.00	12" W INV. IN: 76.21 (Structure - 442) 12" SE INV. OUT: 76.21 (YD-81)
YD-65	YARD DRAIN	84.00	12" N INV. OUT: 78.95 (Structure - 446)
YD-66	YARD DRAIN	84.00	12" S INV. OUT: 78.95 (Structure - 449)
YD-67	YARD DRAIN	84.00	12" N INV. OUT: 78.95 (YD-39)
YD-68	YARD DRAIN	84.00	12" S INV. OUT: 78.95 (Structure - 453)
YD-69	YARD DRAIN	84.00	12" NW INV. OUT: 79.95 (YD-21)
YD-70	YARD DRAIN	84.00	12" SE INV. OUT: 79.95 (Structure - 458)

NOTE:
1. VERTICAL DATUM IS BASED ON NAVD1988

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064

DATE: 10/30/23

REVISION DATE: 10/30/25

NOTICE: The approval of these plans is limited to the jurisdiction of Marion County and does not constitute nor waive the requirements of other agencies for additional approvals, as applicable, by state and/or federal agencies.

24 HOUR EMERGENCY CONTACT

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MAJOR SITE PLAN
GRADING & DRAINAGE NORTH WEST

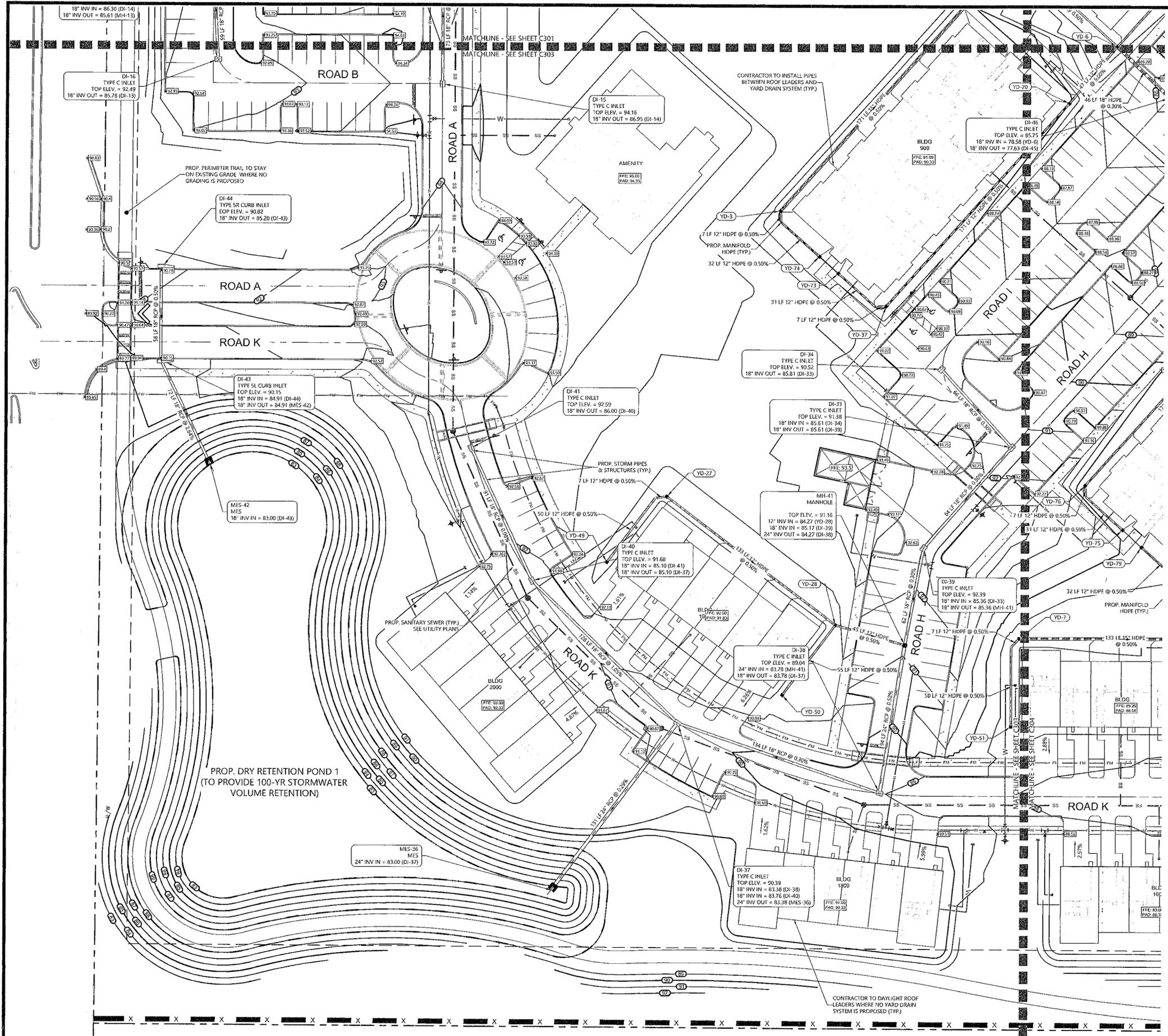
DATE: MAY 2, 2023

4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS

PROFESSIONAL ENGINEER
11/20/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #P
SHEET NO. C301



DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and sodded. Seed and mulch must be used if approved by the County Engineer or designer.

The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute an approval of the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

STORM SEWER STRUCTURES TABLE

ID	TYPE	RIM/TOP ELEV.	INV. ELEV.
YD-3	YARD DRAIN	90.00	12" S INV. IN: 85.75 (Structure - 468) 15" NE INV. OUT: 85.75 (YD-2)
YD-7	YARD DRAIN	88.25	12" SW INV. IN: 81.91 (Structure - 415) 15" E INV. OUT: 81.91 (YD-8)
YD-27	YARD DRAIN	91.50	12" W INV. IN: 85.16 (Structure - 411) 12" SE INV. OUT: 85.16 (YD-28)
YD-28	YARD DRAIN	91.69	12" NW INV. IN: 84.50 (YD-27) 12" SW INV. IN: 85.17 (YD-50) 12" E INV. OUT: 84.50 (MH-41)
YD-37	YARD DRAIN	90.00	12" W INV. IN: 83.76 (Structure - 466) 12" NE INV. OUT: 83.76 (YD-20)
YD-49	YARD DRAIN	91.50	12" NE INV. OUT: 85.45 (Structure - 411)
YD-50	YARD DRAIN	91.50	12" NE INV. OUT: 85.45 (YD-28)
YD-51	YARD DRAIN	88.25	12" N INV. OUT: 82.20 (Structure - 415)
YD-73	YARD DRAIN	90.00	12" SE INV. OUT: 83.95 (Structure - 466)
YD-74	YARD DRAIN	90.00	12" NW INV. OUT: 85.95 (Structure - 468)

PLAN LEGEND

	PROJECT PROPERTY LINE
	EXISTING FEATURES
	PROPOSED CURB
	CONCRETE SURFACE
	EXISTING CONTOUR
	SURFACE FLOW DIRECTION
	PROPOSED STORM LINE
	STORM STRUCTURES
	SPOT ELEVATION

NOTE:
1. VERTICAL DATUM IS BASED ON NAVD1988

811 Know what's below. Call before you dig. THE LOCATIONS OF BURIED UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES WHICH MAY OCCUR DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES DAMAGED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.

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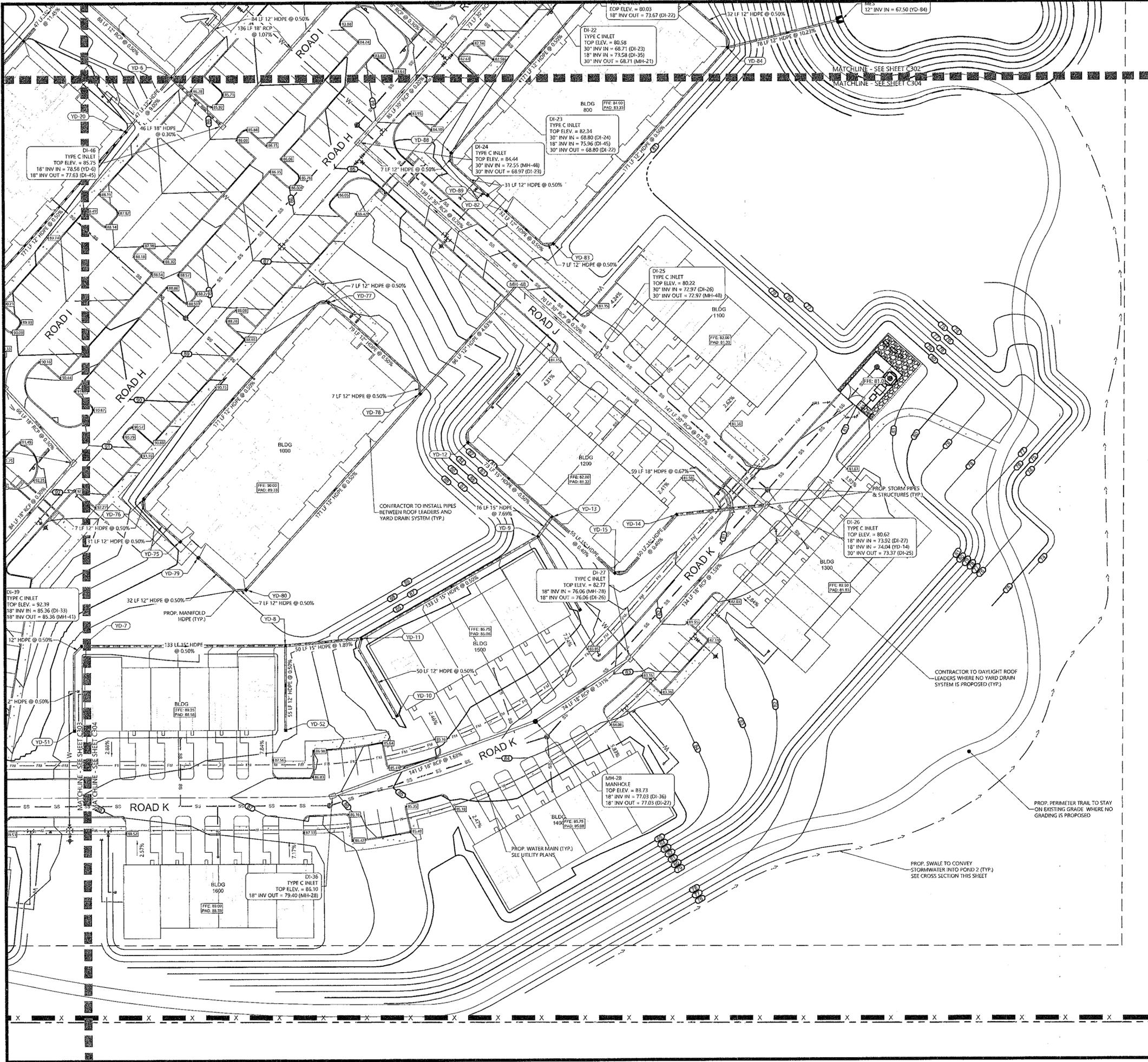
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SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
GRADING & DRAINAGE SOUTH WEST

DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SHHHND
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS
1/20/23
1/20/23

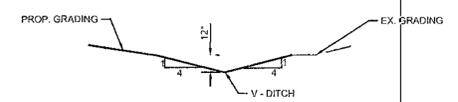
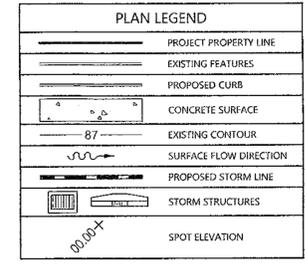
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. C303



DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 200024
DATE: 10/30/23
STRUCTURE TABLE: 10/30/25

ID	TYPE	RIM/TOP ELEV.	CONSTRUCTION NOTES
YD-8	YARD DRAIN	88.40	
YD-9	YARD DRAIN	84.54	
YD-10	YARD DRAIN	84.75	
YD-11	YARD DRAIN	84.75	15" W INV. IN: 80.31 (YD-8) 12" S INV. IN: 80.41 (Structure - 418) 15" NE INV. OUT: 80.31 (YD-9)
YD-12	YARD DRAIN	81.00	15" SE INV. IN: 76.66 (YD-13) 12" N INV. IN: 76.66 (Structure - 422)
YD-13	YARD DRAIN	81.00	15" SW INV. IN: 76.56 (YD-9) 15" SE INV. OUT: 76.30 (YD-15)
YD-14	YARD DRAIN	81.00	15" SW INV. IN: 75.84 (Structure - 423) 18" E INV. OUT: 74.43 (DI-26)
YD-15	YARD DRAIN	81.00	15" NW INV. IN: 76.08 (YD-13) 15" E INV. OUT: 76.08 (Structure - 423)
YD-20	YARD DRAIN	90.00	12" SW INV. IN: 82.90 (YD-37) 12" NE INV. OUT: 82.90 (YD-6)
YD-52	YARD DRAIN	88.25	12" N INV. OUT: 84.20 (YD-8)
YD-53	YARD DRAIN	84.75	12" NW INV. OUT: 80.70 (YD-9)
YD-54	YARD DRAIN	81.00	12" SW INV. OUT: 76.95 (Structure - 422)
YD-75	YARD DRAIN	89.00	12" NW INV. OUT: 82.95 (Structure - 478)
YD-76	YARD DRAIN	89.00	12" S INV. IN: 82.76 (Structure - 478) 12" NE INV. OUT: 82.76 (Structure - 480)
YD-77	YARD DRAIN	89.00	12" W INV. IN: 81.87 (Structure - 480) 12" SE INV. OUT: 81.87 (Structure - 482)
YD-78	YARD DRAIN	89.00	12" N INV. IN: 81.44 (Structure - 482) 12" NE INV. OUT: 81.44 (MH-48)
YD-79	YARD DRAIN	89.00	12" SE INV. OUT: 84.95 (Structure - 485)
YD-80	YARD DRAIN	89.00	12" W INV. IN: 84.75 (Structure - 485) 12" NE INV. OUT: 84.75 (YD-78)
YD-82	YARD DRAIN	83.00	12" SE INV. OUT: 78.95 (Structure - 495)
YD-83	YARD DRAIN	83.00	12" W INV. IN: 78.75 (Structure - 495) 12" NE INV. OUT: 78.75 (YD-84)
YD-84	YARD DRAIN	83.00	12" SW INV. IN: 77.90 (YD-83) 12" N INV. IN: 75.44 (Structure - 498) 12" E INV. OUT: 75.44 (NES-3)
YD-85	YARD DRAIN	83.00	12" NW INV. IN: 75.63 (YD-86) 12" SE INV. OUT: 75.63 (Structure - 498)
YD-86	YARD DRAIN	83.00	12" NW INV. IN: 75.71 (Structure - 492) 12" SE INV. OUT: 75.71 (YD-85)
YD-87	YARD DRAIN	83.00	12" SW INV. IN: 75.91 (YD-88) 12" E INV. OUT: 75.91 (Structure - 492)
YD-88	YARD DRAIN	83.00	12" S INV. IN: 76.76 (Structure - 489) 12" NE INV. OUT: 76.76 (YD-87)
YD-89	YARD DRAIN	83.00	12" NW INV. OUT: 76.95 (Structure - 489)



NOTE:
1. VERTICAL DATUM IS BASED ON NAVD1988



Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY AGENTS TO BE CALLED BY THE CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES SHALL BE CALLED AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK. EXCAVATION SHALL BE STOPPED IMMEDIATELY IF ANY UTILITIES ARE LOCATED AT A DEPTH GREATER THAN THAT SHOWN ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL AFFECTED AGENCIES.

NOTICE:
CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL AFFECTED AGENCIES.

24 HOUR EMERGENCY CONTACT

ATWELL
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SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
GRADING & DRAINAGE SOUTH EAST

DATE: MAY 2, 2023

4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

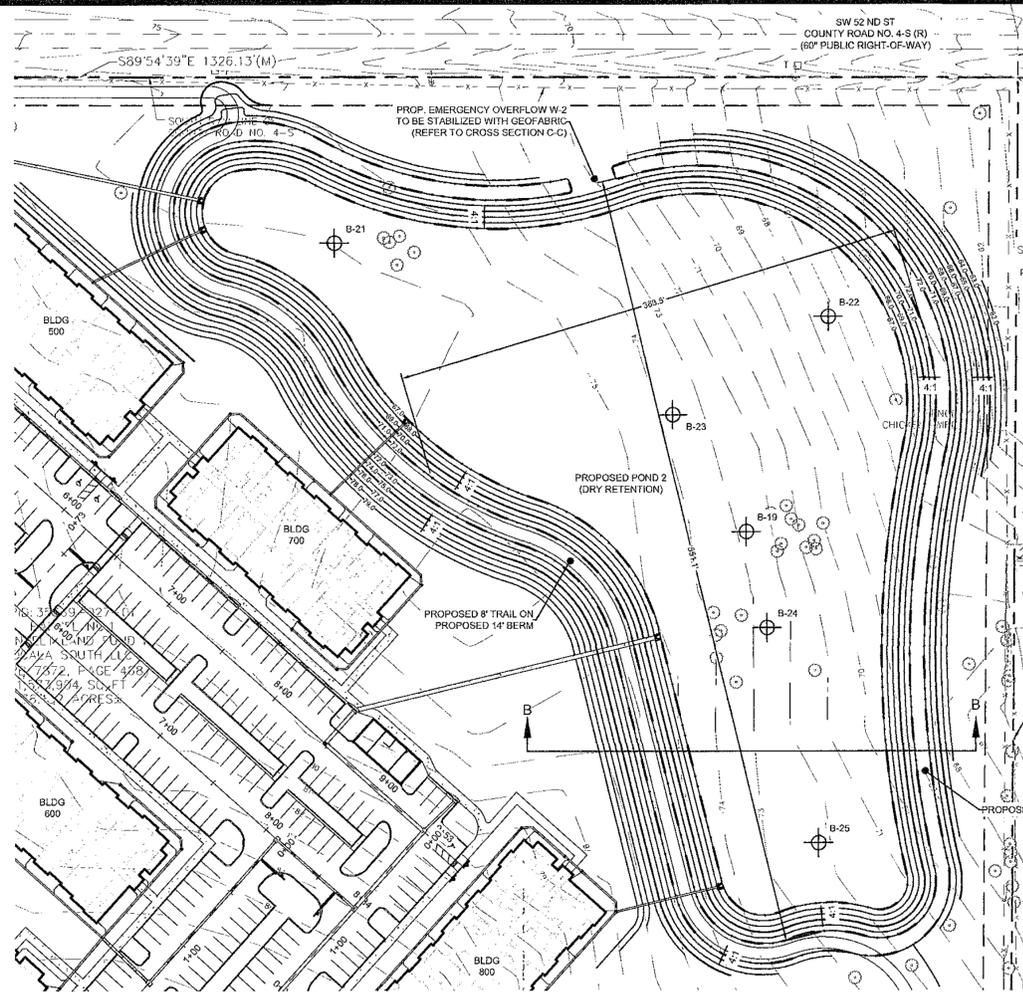
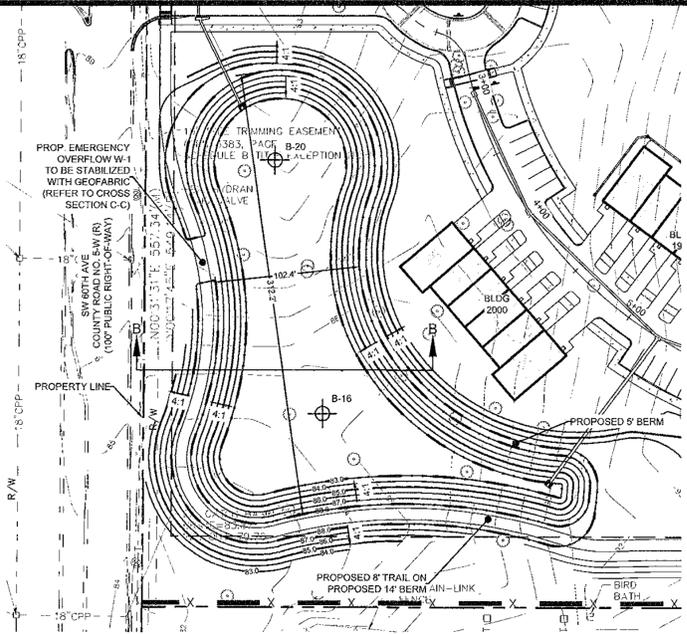
NOV 21 2023
Marion County
City of Ocala Engineer

REVISIONS



11/20/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO: C304



500'29'14" W
30.00'(M)
589'54'39" E 1326.13'(M)
SW 52 ND ST
COUNTY ROAD NO. 4-S (R)
(60' PUBLIC RIGHT-OF-WAY)
30.00'(R)

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Any of the standards may be waived during construction if approved by the County Engineer or designee.

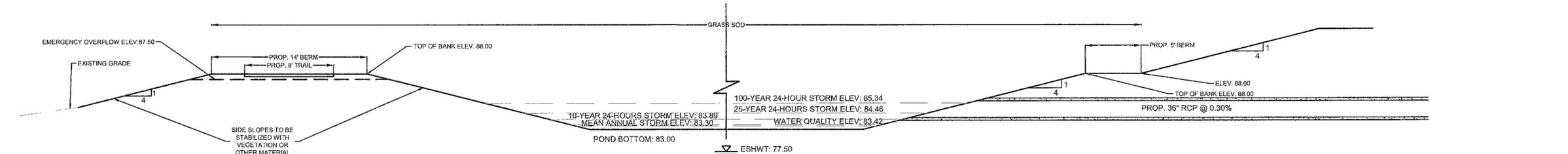
NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

SHARLENE
PID: 3536

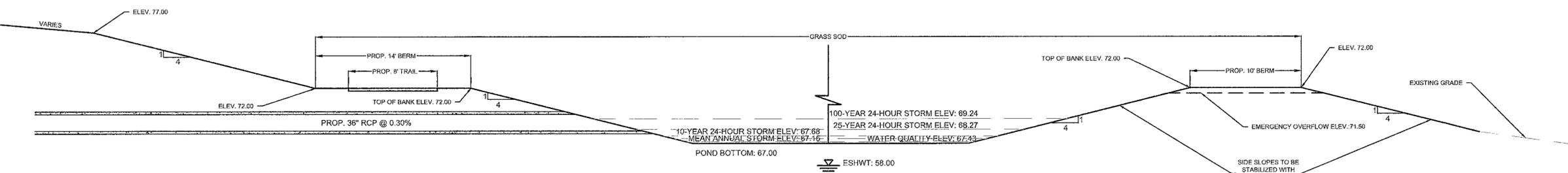
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RECEIVED
10V 21 2023

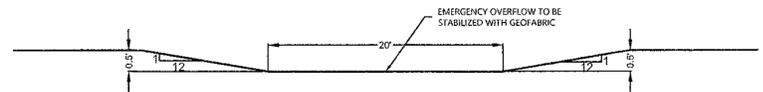
Marion County
Office of County Engineer



SECTION A-A DRY POND 1
NOT TO SCALE



SECTION B-B DRY POND 2
NOT TO SCALE



SECTION C-C EMERGENCY OVERFLOW
NOT TO SCALE

NOTE:

- VERTICAL DATUM IS BASED ON NAVD1988
- A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY Limestone BEDROCK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY. EXCAVATION AND BACKFILL OF SUITABLE MATERIAL MAY BE MADE TO MEET THIS CRITERION.

811
Know what's below.
Call before you dig.
THE LOCALS OF EXISTING UNDEGROUND UTILITIES ARE SHOWN WITH PERFORMANCE NOT ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDEGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR ANY ACCIDENTS OR INJURIES TO PERSONS OR PROPERTY OR DAMAGE TO UTILITIES OR OTHER PERSONS.

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24 HOUR EMERGENCY CONTACT

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SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
POND SECTION A & B

DATE: MAY 2, 2023

4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS

KAWEN
Professional Engineer
FLORIDA
11/22/17
1809-AS-0107

0 30' 60'

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: ##
SHEET NO. **C306**

CAD FILE: 318-CROSS SECTIONS

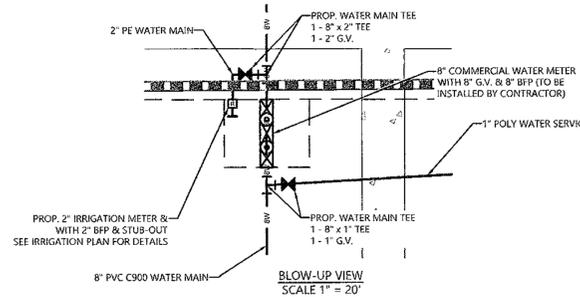
PLAN LEGEND	
	PROJECT PROPERTY LINE
	SURFACE / EXISTING FEATURE
	PROPOSED FIRE LINE
	PROPOSED DOMESTIC WATER LINE
	PROPOSED IRRIGATION WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED STORM LINE
	WATER STRUCTURES
	STORM STRUCTURES
	SANITARY STRUCTURE
	SANITARY CLEANOUT (C.O.)

MARION COUNTY FIRE MARSHAL NOTES:

1. ANY COMMERCIAL BUILDING WHICH CONTAINS A FIRE SPRINKLER SYSTEM AND/OR FIRE ALARM SYSTEM MUST INSTALL AN ACCESS CONTROL BOX. THE ACCESS CONTROL BOX MUST BE ORDERED ON A SPECIFIC FORM SIGNED BY MCFR TO ENSURE THE CORRECT BOX IS ORDERED FOR THE JURISDICTION.
2. ALL FIRE HYDRANTS ON SITE ARE TO BE PRIVATE.
3. ALL FIRE HYDRANTS ON PRIVATE WATER MAINS SHALL HAVE THE BODY PAINTED YELLOW. ALL FLOW TESTS SHALL BE TESTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY LANE CLOSEST TO THE HYDRANT.

CITY OF OCALA NOTES:

1. LIFT STATION AND FORCE MAIN ON SITE ARE TO BE PRIVATE.
2. ALL EXISTING OR PROPOSED WATER, SEWER, OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.O.
3. ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT WATER AND SEWER CONSTRUCTION MANUAL (PER WSCM 485.2.5/495.2.8.1)
4. ALL FDEP PERMITS NEED TO BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN FDEP CLEARANCE IS REQUIRED PRIOR TO C.O.
5. ASBUILT, MEETING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O. (WSCM 485.2.5/495.2.8.5)
6. CONTRACTOR TO INSTALL ALL WATER SERVICE.
7. ALL NEW BACKFLOW PREVENTERS ARE TO BE INSTALLED BY CONTRACTOR AND MAINTAINED BY OWNER. THE BACKFLOW PREVENTER IS TO BE INSTALLED ON THE CUSTOMER SIDE OF THE WATER METER BOX AT A MINIMUM OF 18 INCHES FROM FINAL GRADE TO BOTTOM OF THE BACKFLOW.
8. ANY MAIN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE THE SHEET SUPPLIED WITH THE ASBUILT.
9. FIC 7TH ED. 1.14.4 REVIEW AND APPROVAL BY THE AHI SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.



DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25

NOV 21 2023
 Marion County
 Office of County Engineer

NOTICE:
 All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Good and true may be used if approved by the County Engineer or designee.

NOTICE:
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

24 HOUR EMERGENCY CONTACT

ATWELL
 866.850.4200 www.atwell-group.com

SEC 04 | TOWNSHIP 16S | RANGE 21E
 SW 60TH AVE AND SW 52ND ST
 OCALA
 MARION COUNTY, FLORIDA

OCALA SOUTH
 MERRIMAC SWC OCALA, LLC
 MAJOR SITE PLAN
 UTILITY PLAN NORTH

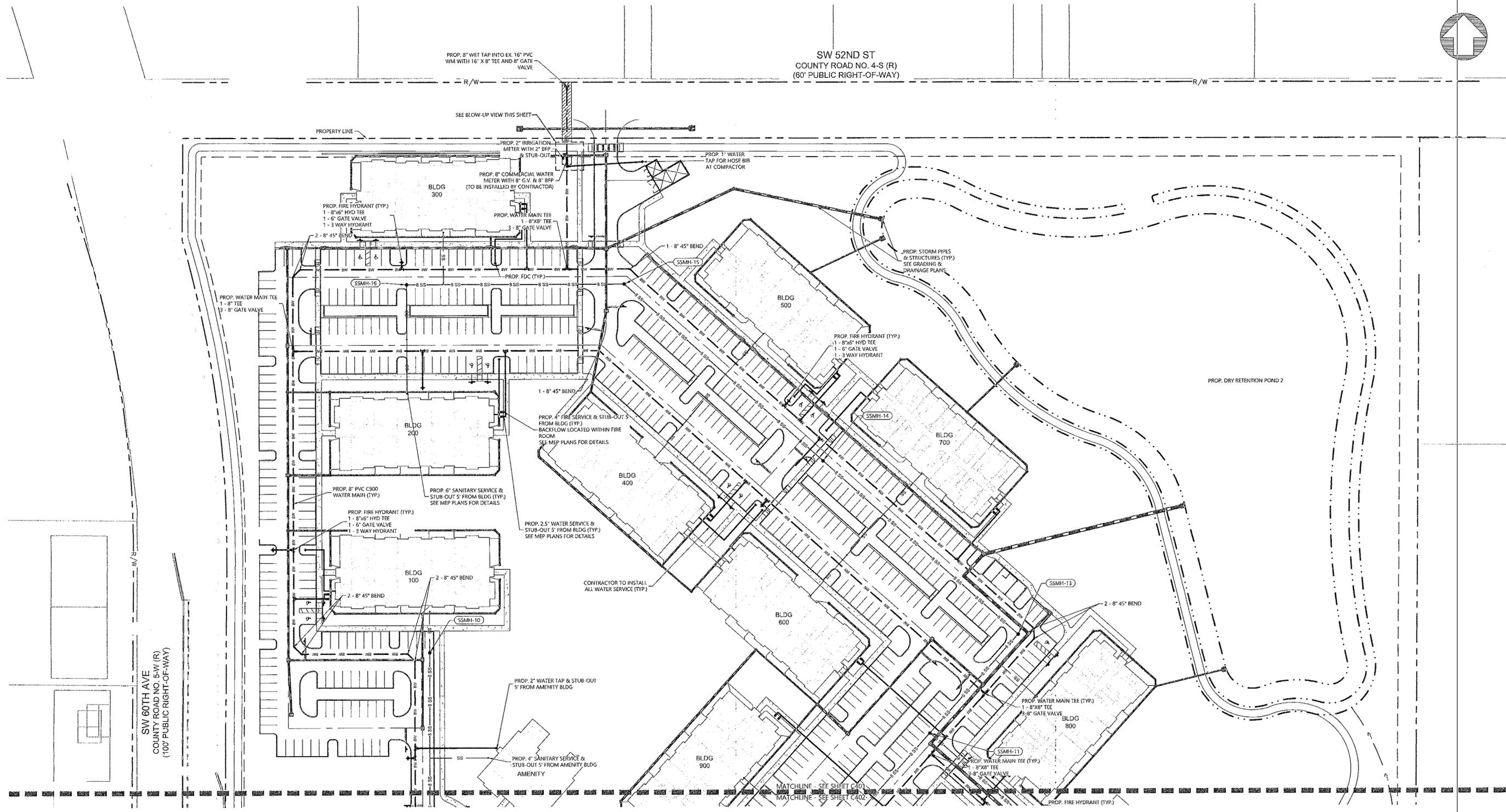
DATE: MAY 2, 2023

REVISIONS

11/20/23

DRAWN BY: MC
 CHECKED BY: DGG
 PROJECT MANAGER: KL
 JOB #: 22005199
 FILE CODE: ##
 SHEET NO. C401

FILE NAME: C:\22005199-000\Drawings\Utility\Plan\Utility Plan\Major Site Plan - Utility Plan North.dwg
 PLOT DATE: 11/20/23 10:17 PM
 PLOTTED BY: Admin 11/20/23 10:17 PM
 PLOT SCALE: 1" = 20'



**DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA**

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and sodded. Signs and marks may be used if approved by the County Engineer or designee.

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Know what's below.

Call before you dig.
THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHALL BE DETERMINED BY AN APPROPRIATE METHOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

NOTICE
CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

24 HOUR
EMERGENCY CONTACT



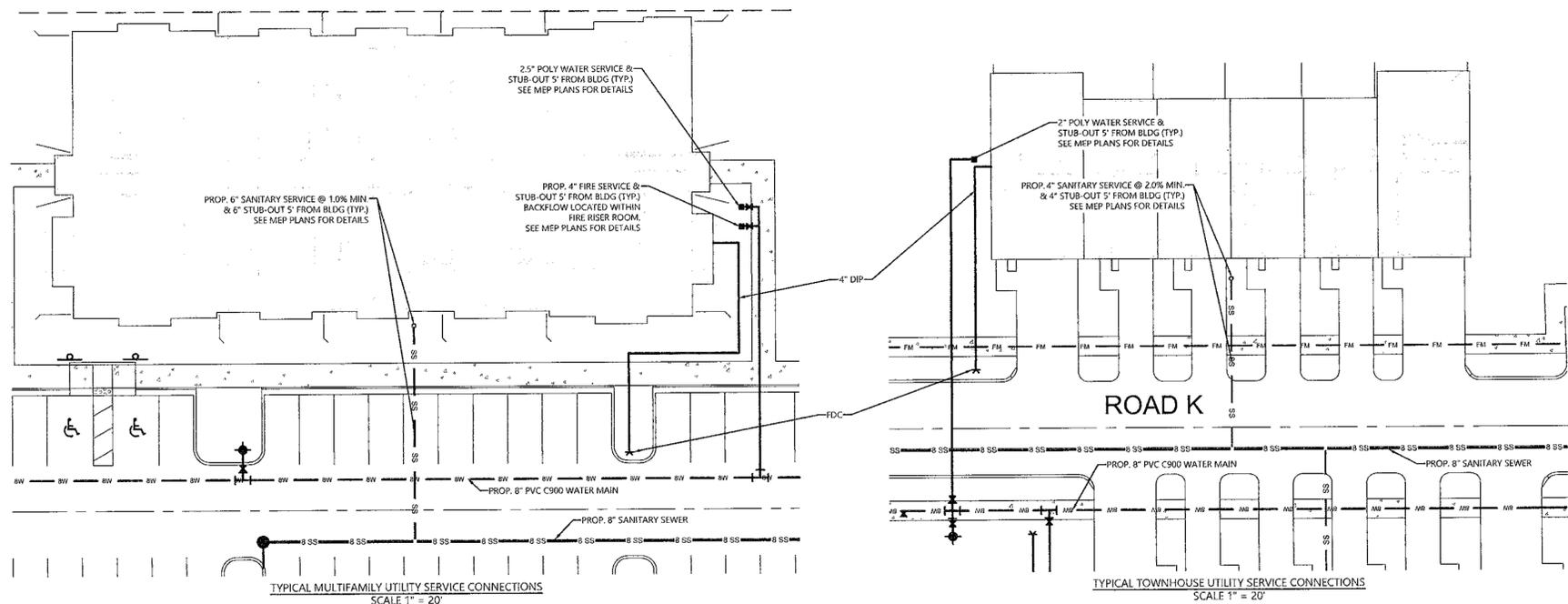
SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
UTILITY PLAN SOUTH

DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY



REVISIONS
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #P
SHEET NO. C402

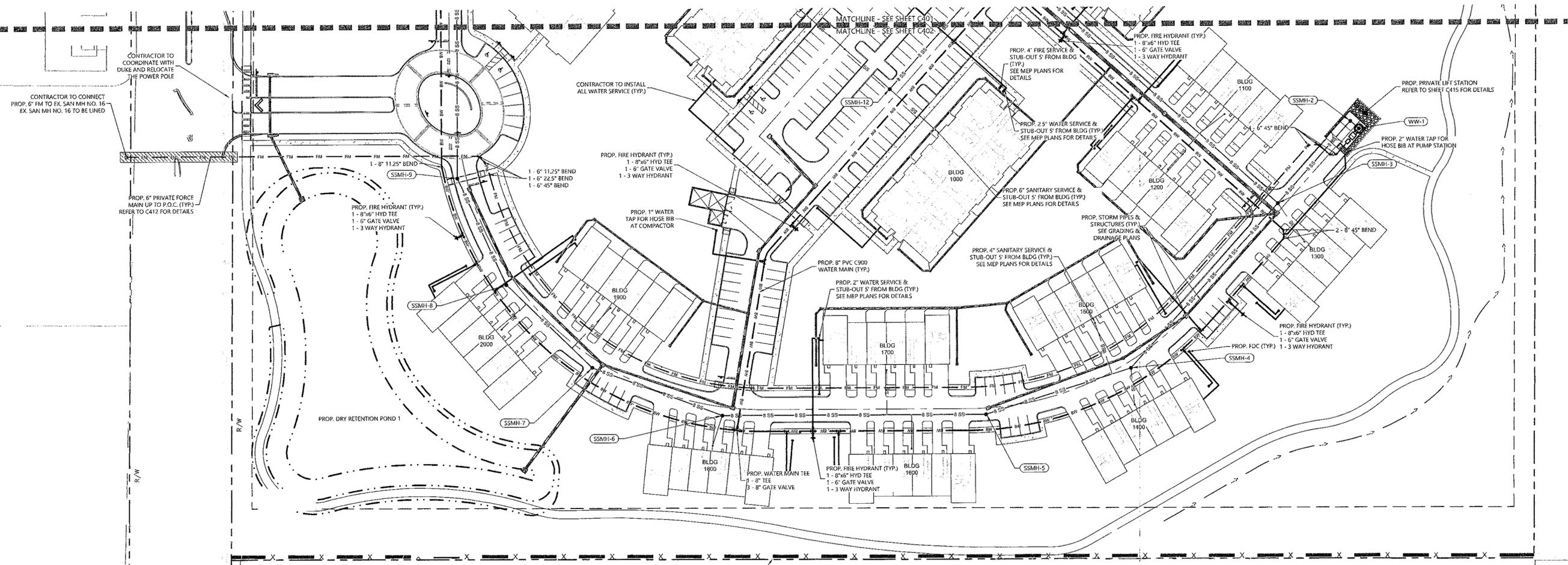


- MARION COUNTY FIRE MARSHAL NOTES:**
- ANY COMMERCIAL BUILDING WHICH CONTAINS A FIRE SPRINKLER SYSTEM AND OR FIRE ALARM SYSTEM MUST INSTALL AN ACCESS CONTROL BOX. THE ACCESS CONTROL BOX MUST BE ORDERED ON A SPECIFIC FORM SIGNED BY MCFR TO ENSURE THE CORRECT BOX IS ORDERED FOR THE JURISDICTION.
 - ALL FIRE HYDRANTS ON SITE ARE TO BE PRIVATE.
 - ALL FIRE HYDRANTS ON PRIVATE WATER MAINS SHALL HAVE THE BODY PAINTED YELLOW. ALL FLOW TESTS SHALL BE TESTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY LANE CLOSEST TO THE HYDRANT.

PLAN LEGEND

---	PROJECT PROPERTY LINE
---	SURFACE/EXISTING FEATURE
---	PROPOSED FIRE LINE
---	PROPOSED DOMESTIC WATER LINE
---	PROPOSED IRRIGATION WATER LINE
---	PROPOSED SANITARY LINE
---	PROPOSED STORM LINE
---	WATER STRUCTURES
---	STORM STRUCTURES
---	SANITARY STRUCTURE
---	SANITARY CLEANOUT (C.O.)

- CITY OF OCALA NOTES:**
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 - ALL EXISTING OR PROPOSED WATER, SEWER, OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.O.
 - ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT WATER AND SEWER CONSTRUCTION MANUAL (PER WSCM 485.2.5/495.2.8.1).
 - ALL FDP PERMITS NEED TO BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN FDP CLEARANCE IS REQUIRED PRIOR TO C.O.
 - AS-BUILT, MEETING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O. (WSCM 485.2.5/495.2.8.5).
 - CONTRACTOR TO INSTALL ALL WATER SERVICE.
 - ALL NEW BACKFLOW PREVENTERS ARE TO BE INSTALLED BY CONTRACTOR AND MAINTAINED BY OWNER. THE BACKFLOW PREVENTER IS TO BE INSTALLED ON THE CUSTOMER SIDE OF THE WATER METER BOX AT A MINIMUM OF 18 INCHES FROM FINAL GRADE TO BOTTOM OF THE BACKFLOW.
 - ANY MAIN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE AS-BUILT.
 - FFC 7TH ED. 1.144 REVIEW AND APPROVAL BY THE AHS SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.



FILE NAME: C:\22005199-01-ocala\dwg\plan\utility\utility_plan_south.dwg PLOT DATE: 11/20/23 10:17 PM PLOTTER: HP DesignJet 5000 PLOTTER: HP DesignJet 5000 PLOTTER: HP DesignJet 5000

**DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA**

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
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Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN RECONSTRUCTED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL EXTENSIVE THE USE OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE OWNER AND THE ENGINEER SHALL BE EXCLUDED FROM ANY LIABILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY READY TO BE UTILIZED OR ANY OTHER PERSONS.

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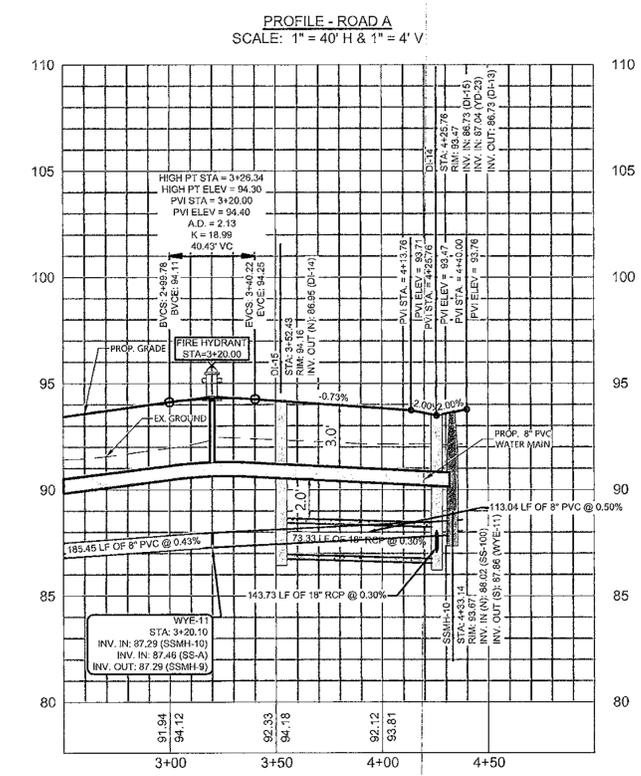
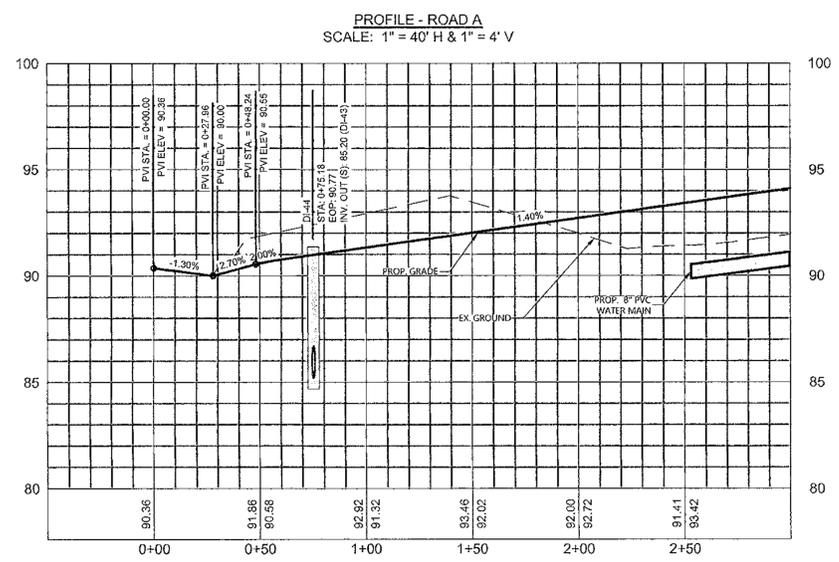
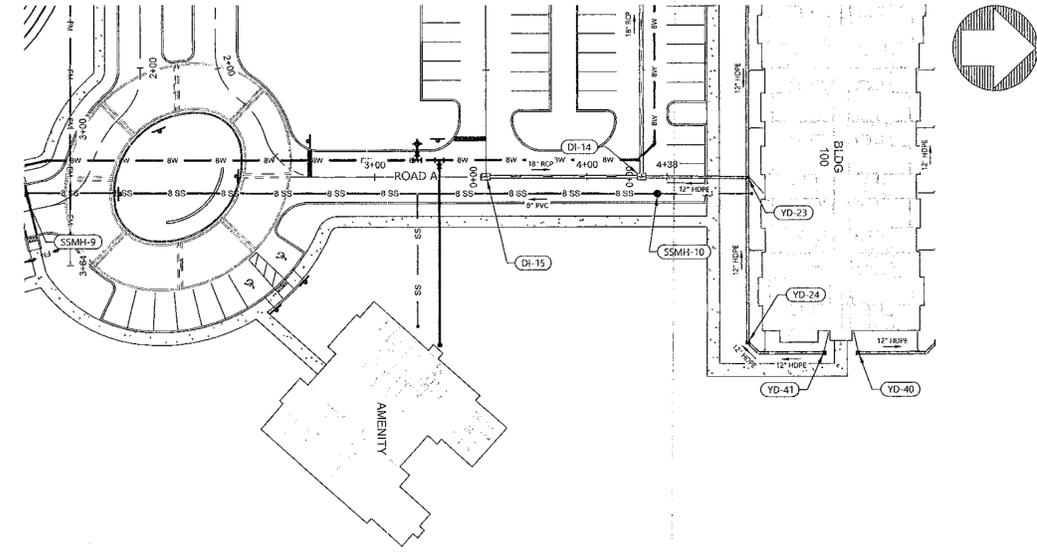
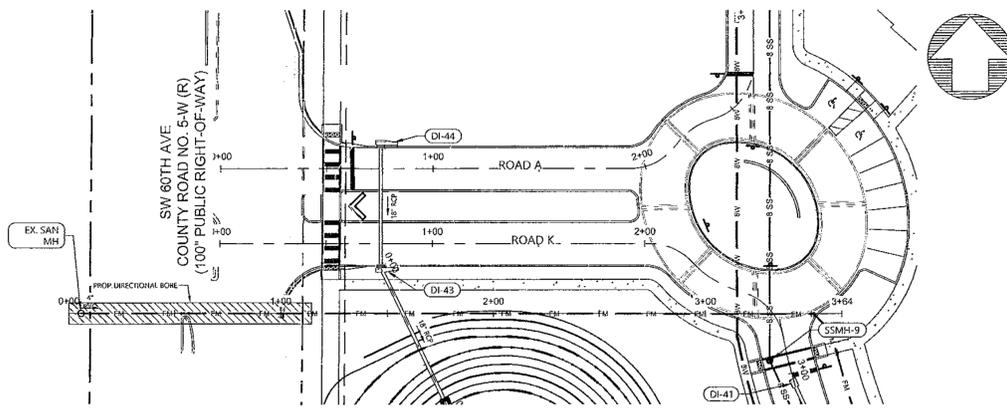
24 HOUR
EMERGENCY CONTACT

ATWELL
866.850.4200 www.atwell-group.com



10/21/2023
Marion County
Office of County Engineer

PROPOSED



SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

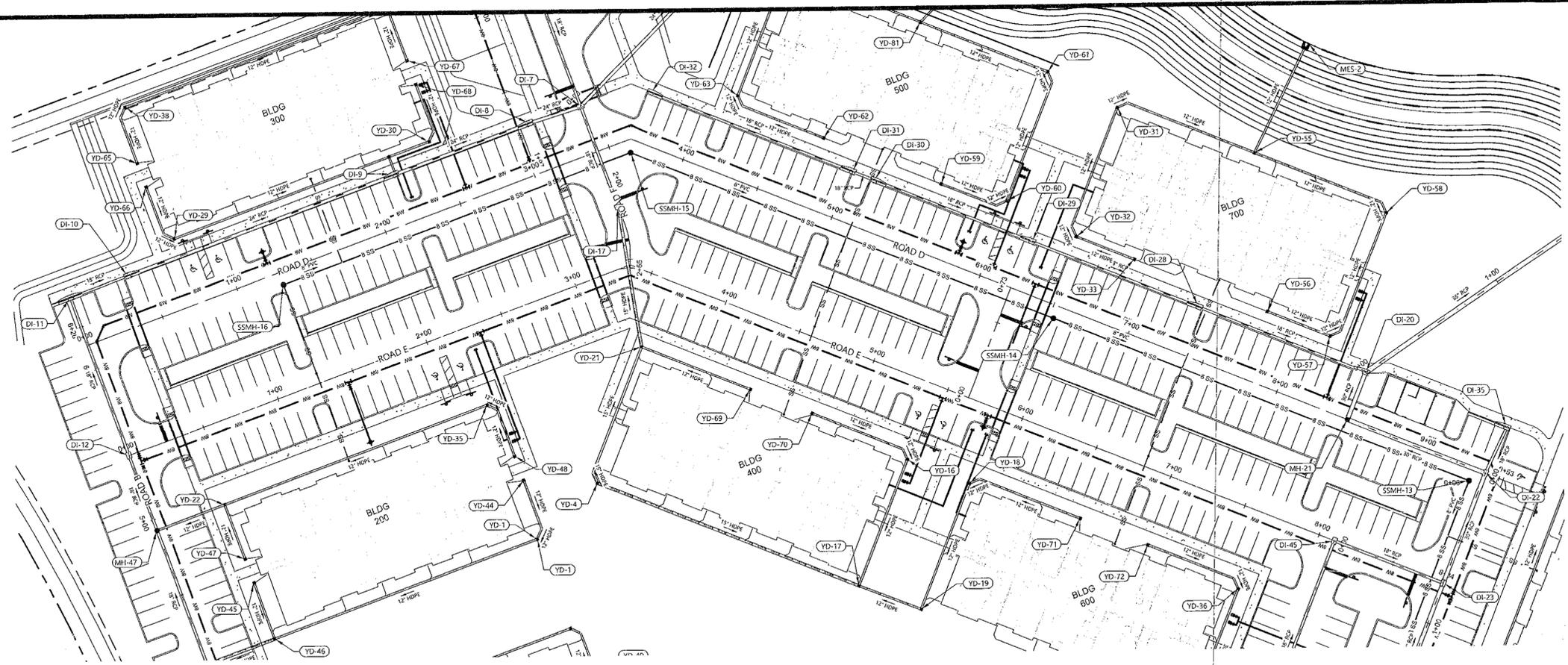
OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
PRIVATE ROAD A - PLAN AND PROFILE

DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS
11/2/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: ##
SHEET NO. C403

FILE NAME: \\N:\22005199-000\Utility\Profile\Profile.dwg
DATE: 11/2/2023 10:00 AM
USER: dgg
PLOT DATE: 11/2/2023 10:00 AM
PLOT SCALE: 1/4" = 1' H & 1/8" = 1' V
PLOT SHEET: 1 OF 1
PLOT STATUS: PLOTTED



DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

NOTICE
All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Any of the right-of-way established during construction shall be dressed and sodded. Sewer and water may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor satisfy the requirements of other agencies for additional permits, as applicable, by state and/or Federal laws.

RECORDED
NOV 01 2023
Marion County
Office of County Engineer

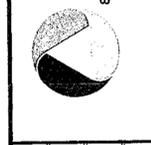


Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES ARE SHOWN ON AN APPROXIMATE BASIS ONLY AND HAVE NOT BEEN VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE CONSIDERING ANY WORK. ANY DAMAGE TO UTILITIES OR PROPERTY OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY UTILITIES UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION OF THESE PLANS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE SAFETY OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, STRUCTURES, OR ANY OTHER FEATURES.

24 HOUR
EMERGENCY CONTACT

ATWELL
866.850.4200 www.atwell-group.com



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SOUTH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

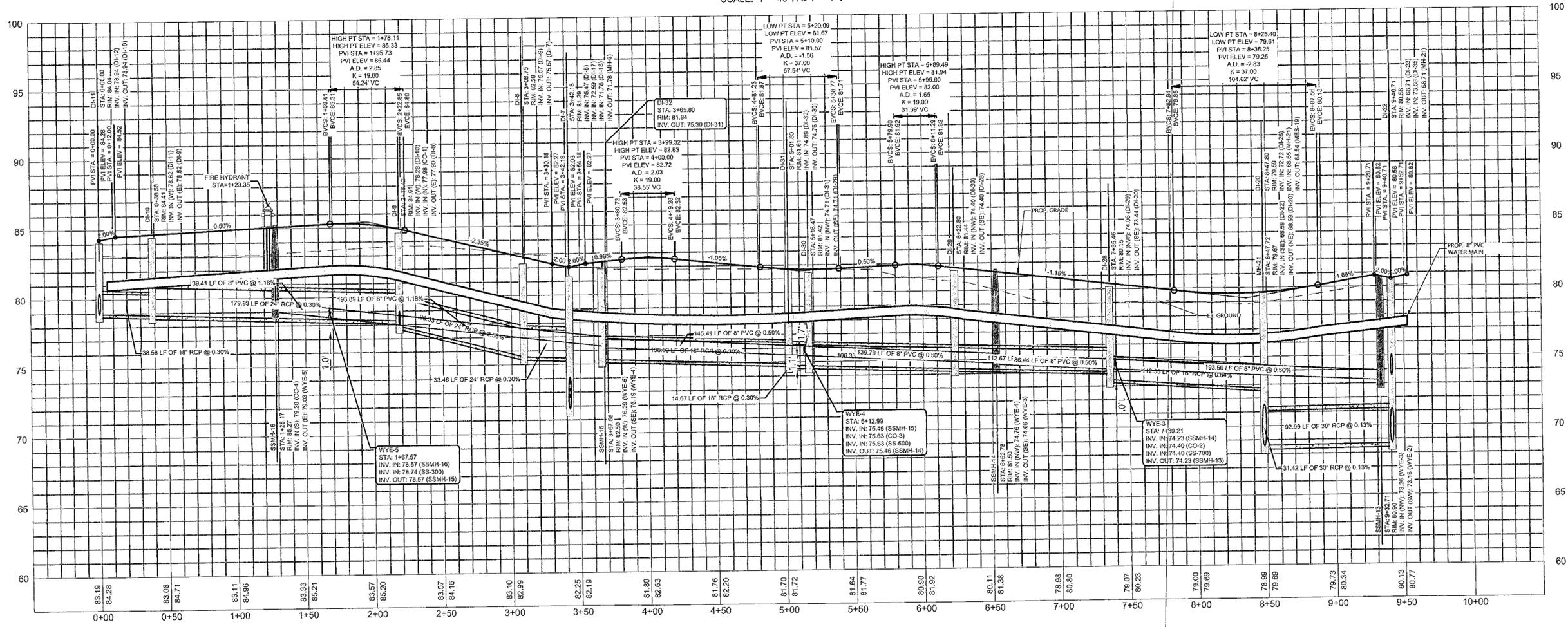
OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
PRIVATE ROAD D - PLAN AND PROFILE

DATE: MAY 2, 2023
4/11/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS
1/2013

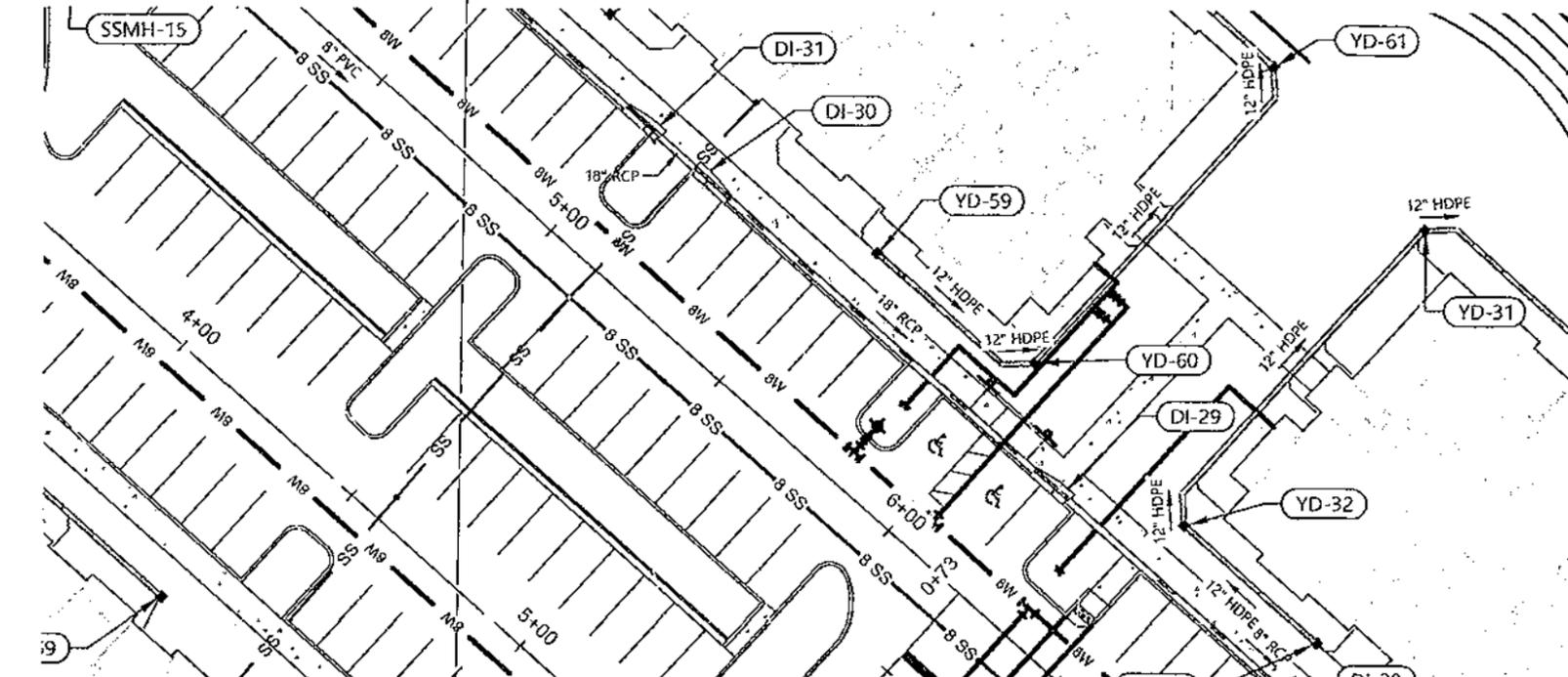
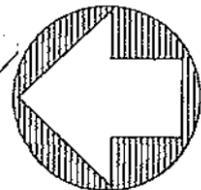
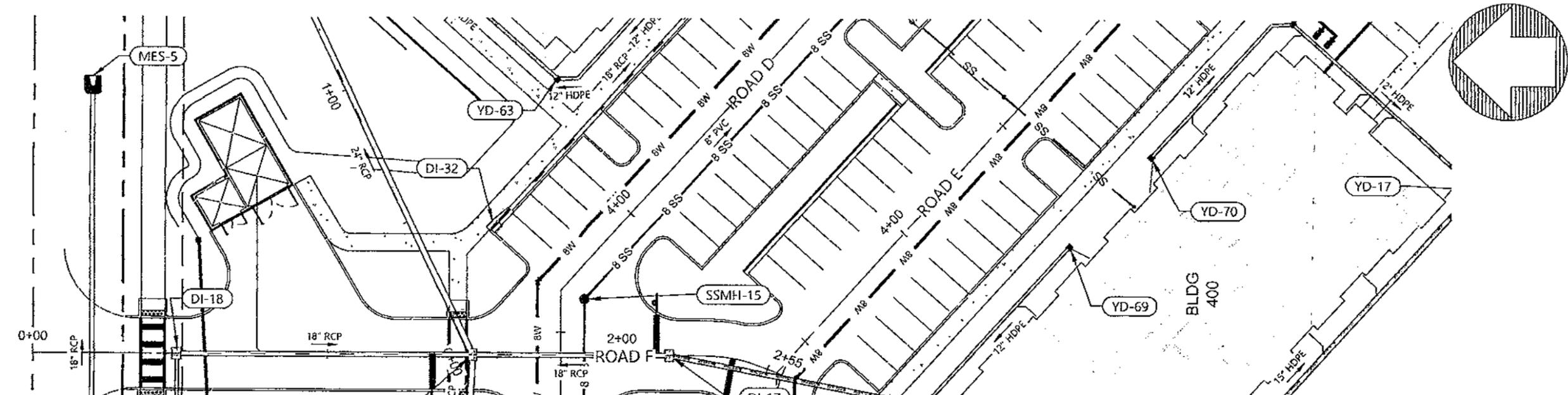
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. C405

PROFILE - ROAD D
SCALE: 1" = 40' H & 1" = 4' V



PROFILE - ROAD E
SCALE: 1" = 40' H & 1" = 4' V

FILE NAME: K:\2023\18-30-ocla\18-30-ocla.dwg DATE: 10/30/23 10:00:00 AM PLOT DATE: 10/30/23 10:00:00 AM PLOT BY: KJW



**DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA**

APPLICATION # 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25

NOTICE:
 All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



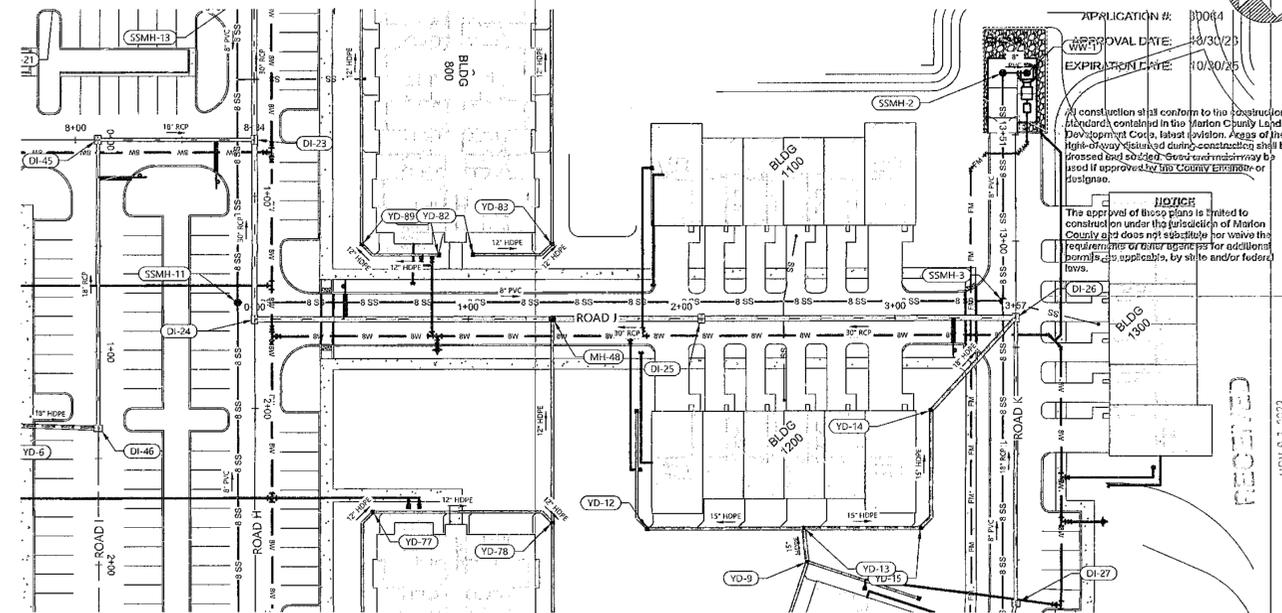
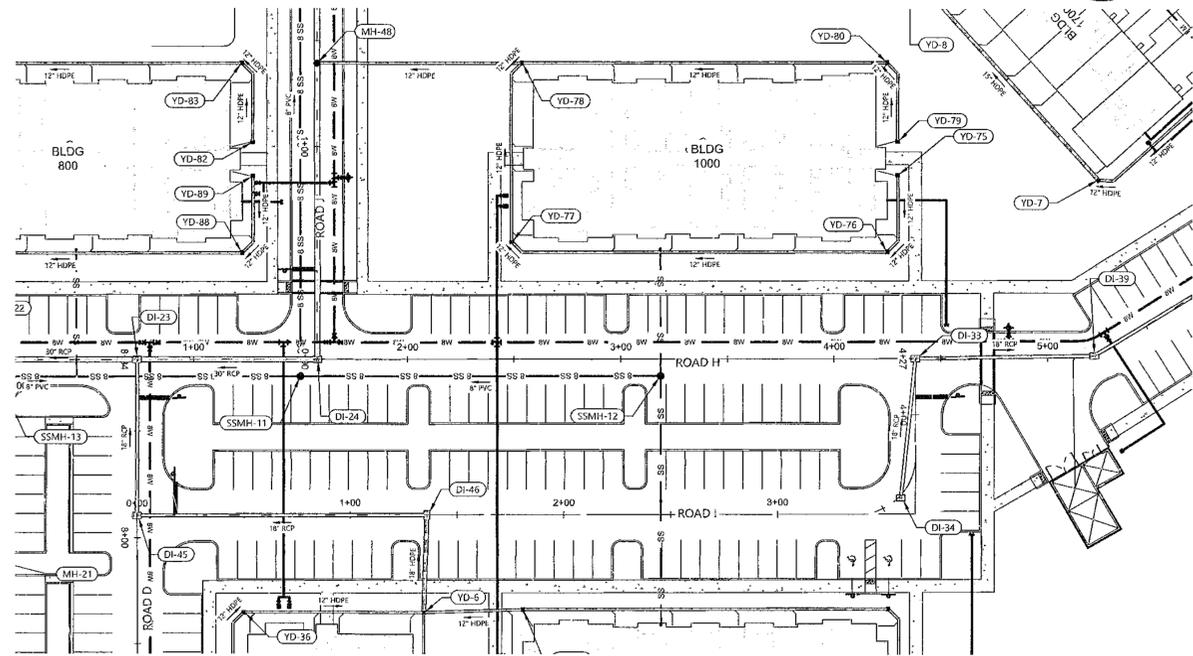
**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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**24 HOUR
EMERGENCY CONTACT**

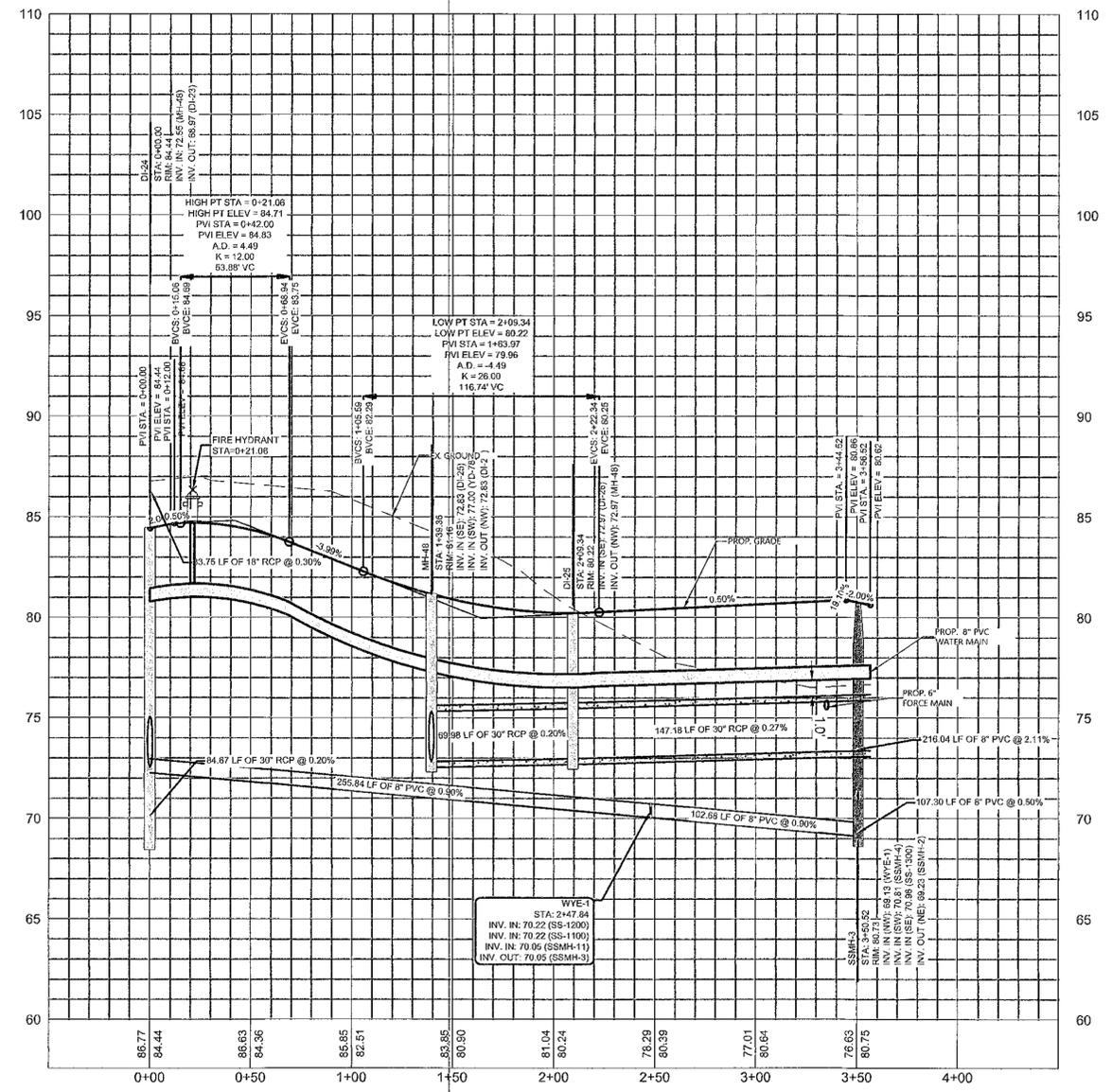


DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

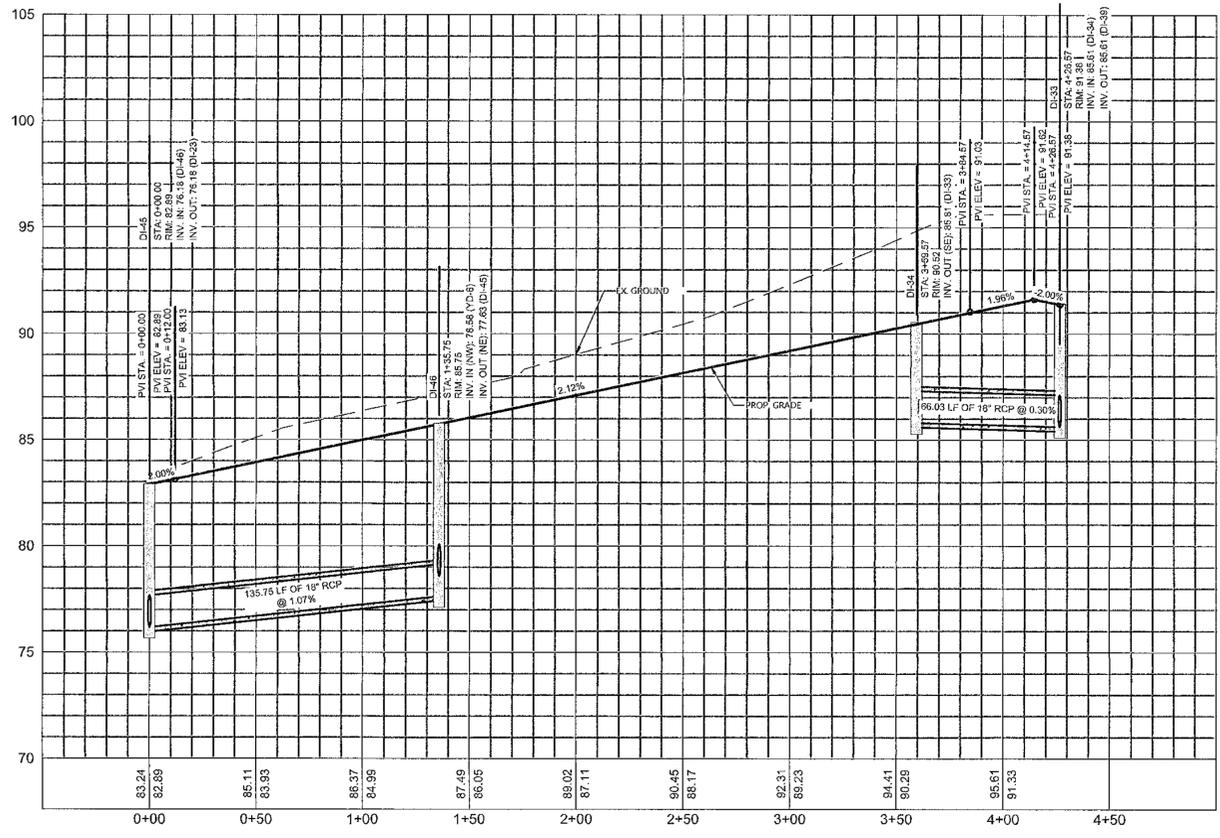
APPLICATION # 20064
APPROVAL DATE: 03/30/23
EXPIRATION DATE: 10/30/25

NOTICE
The approval of this plan is limited to construction under the jurisdiction of Marion County and does not substitute for any other permits or approvals that may be required by state or federal laws.

PROFILE - ROAD J
SCALE: 1" = 40' H & 1" = 4' V



PROFILE - ROAD I
SCALE: 1" = 40' H & 1" = 4' V



811
Know what's below.
Call before you dig.
THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

ATWELL
866.850.4200 www.atwell-group.com

SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

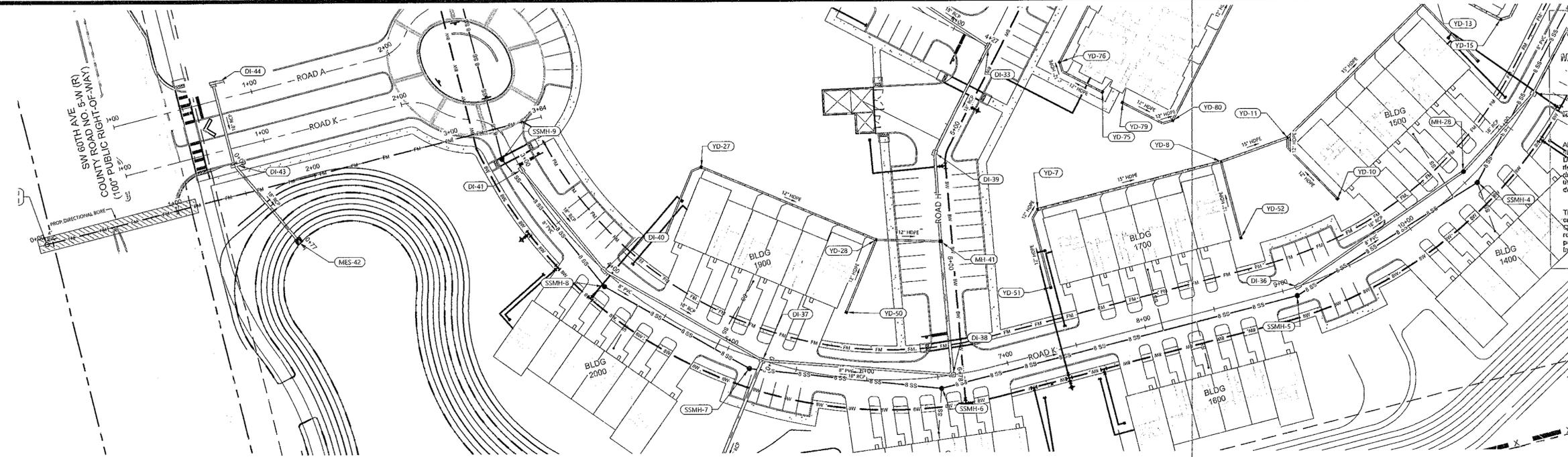
OCALA SOUTH
MERRIMAC SMC OCALA, LLC
MAJOR SITE PLAN
PRIVATE ROAD I & J - PLAN AND PROFILE

DATE: MAY 2, 2023

REVISIONS

11/10/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. C409



DEVELOPMENT REVIEW
MARION COUNTY, FLORIDA

APPLICATION #: 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way altered during construction shall be graded and sodded. Sand and trash may be used if approved by the County Engineer or designee.

NOTICE
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

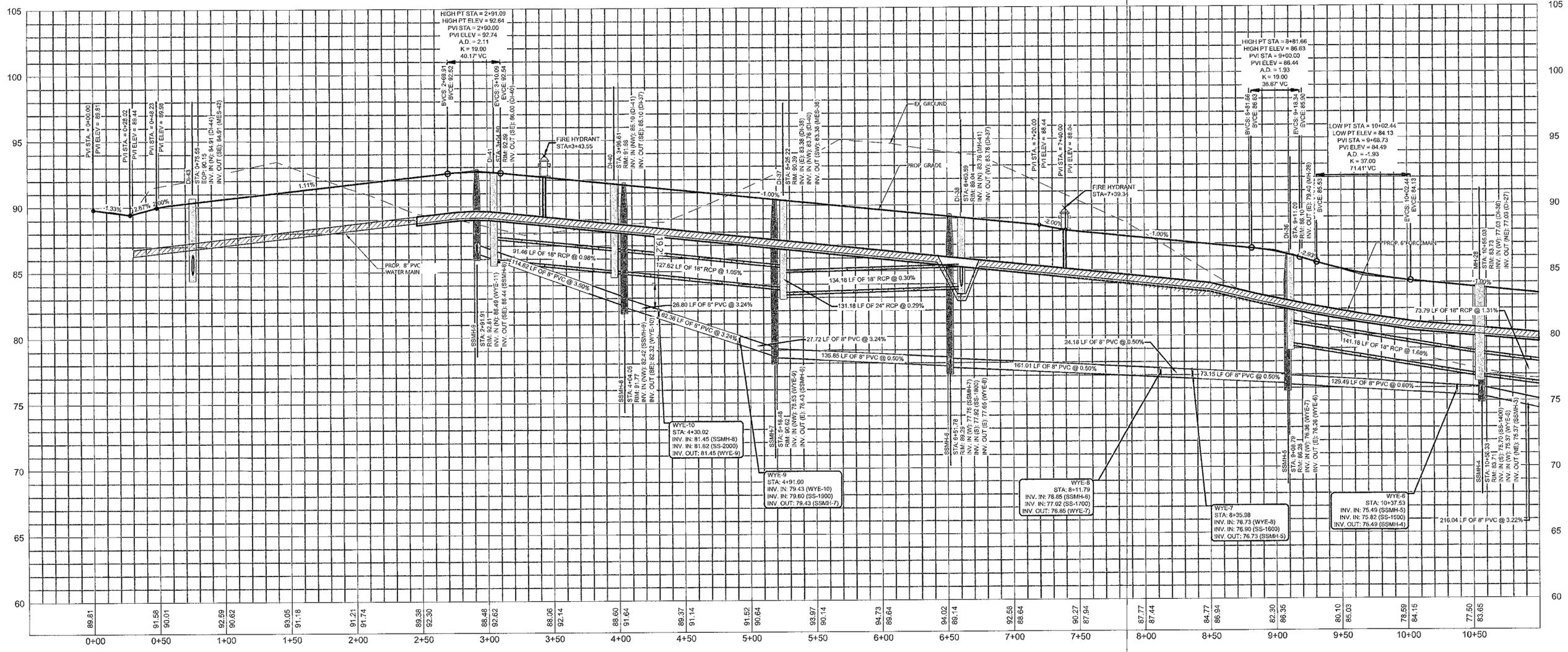
811
 Know what's below.
 Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE REPRESENTATION. THE CONTRACTOR SHALL ESTABLISH THE EXACT LOCATION OF ALL EXISTING UTILITIES BY CONDUCTING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXERCISE DUE CARE AND PREPARE AND ADAPT ALL UNDERGROUND UTILITIES.

NOTICE
 CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE COUNTY ENGINEER NOR ANY OTHER OFFICIAL IS EXPECTED TO ASSUME ANY RESPONSIBILITY FOR THE WORK OR THE RESULTS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXERCISE DUE CARE AND PREPARE AND ADAPT ALL UNDERGROUND UTILITIES.

CONTRACTOR
 (C)2023 ATWELL LLC NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

24 HOUR EMERGENCY CONTACT
 ...
 ...

PROFILE - ROAD K
 SCALE: 1" = 40' H & 1" = 4' V



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NOV 9 2023
 Marion County
 Office of County Engineer

SEC 04 | TOWNSHIP 16S | RANGE 21E
 SW 60TH AVE AND SW 52ND ST
 Ocala

OCALA SOUTH
 MERRIMAC SWC Ocala, LLC
 MAJOR SITE PLAN
 PRIVATE ROAD K - PLAN AND PROFILE

DATE: MAY 2, 2023

▲ 4/14/23 MARION COUNTY
 ▲ 4/20/23 SWFWMD
 ▲ 8/8/23 MARION COUNTY
 ▲ 9/18/23 MARION COUNTY

REVISIONS

11/19/23

DRAWN BY: MC
 CHECKED BY: DGG
 PROJECT MANAGER: KL
 JOB #: 22005199
 FILE CODE: #
 SHEET NO. C410

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

NOTICE:
The construction shall conform to the construction standards contained in the Marion County Land Development Ordinance, latest revision. Any part of the right-of-way during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or Designer.

DISCLAIMER:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING (UNDERGROUND) UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. ANY DAMAGES TO EXISTING UTILITIES OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

24 HOUR EMERGENCY CONTACT

ATWELL
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SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
ACROSS 60TH AVE & 52ND ST - PLAN AND PROFILE

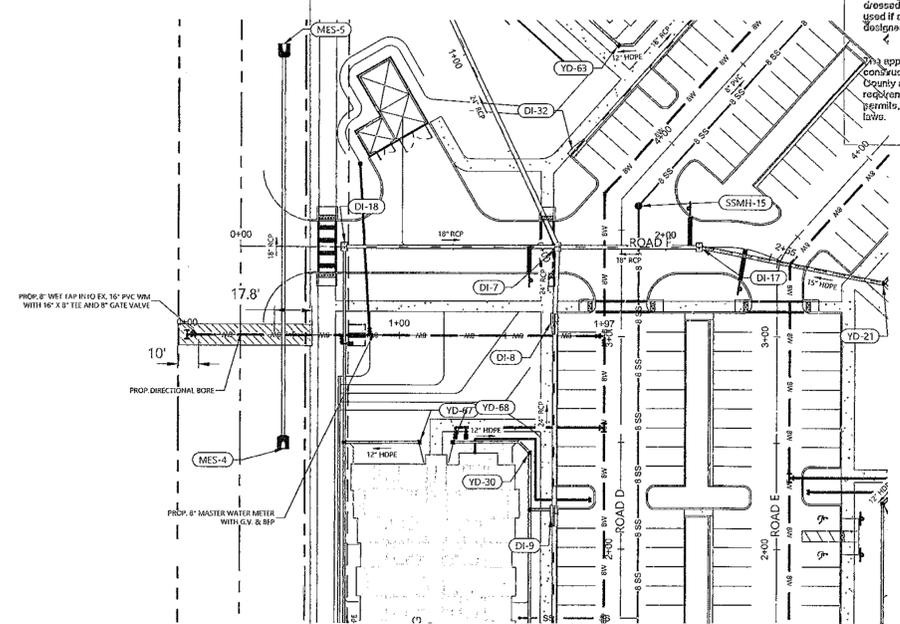
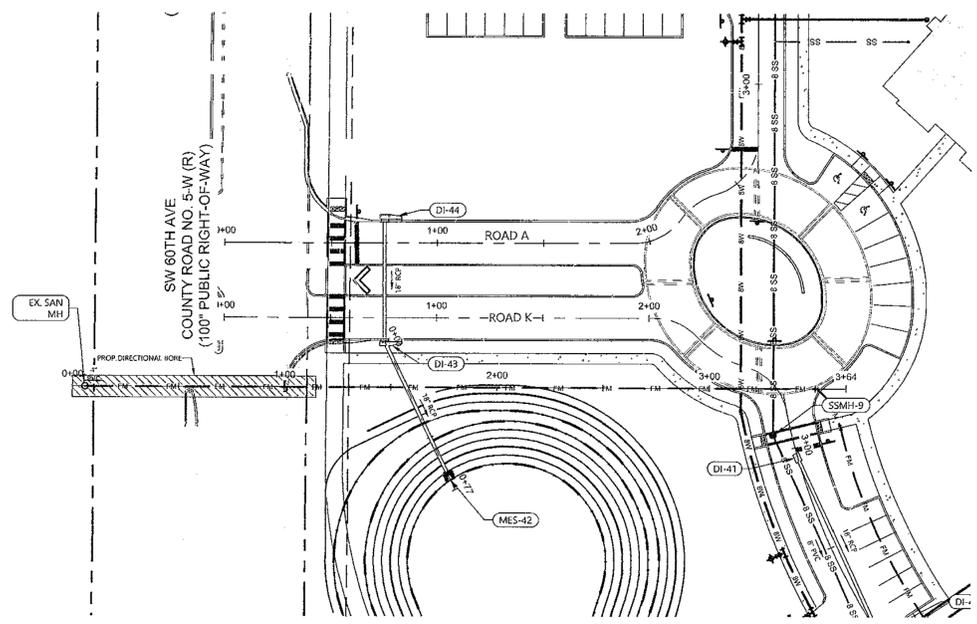
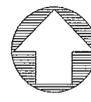
DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS

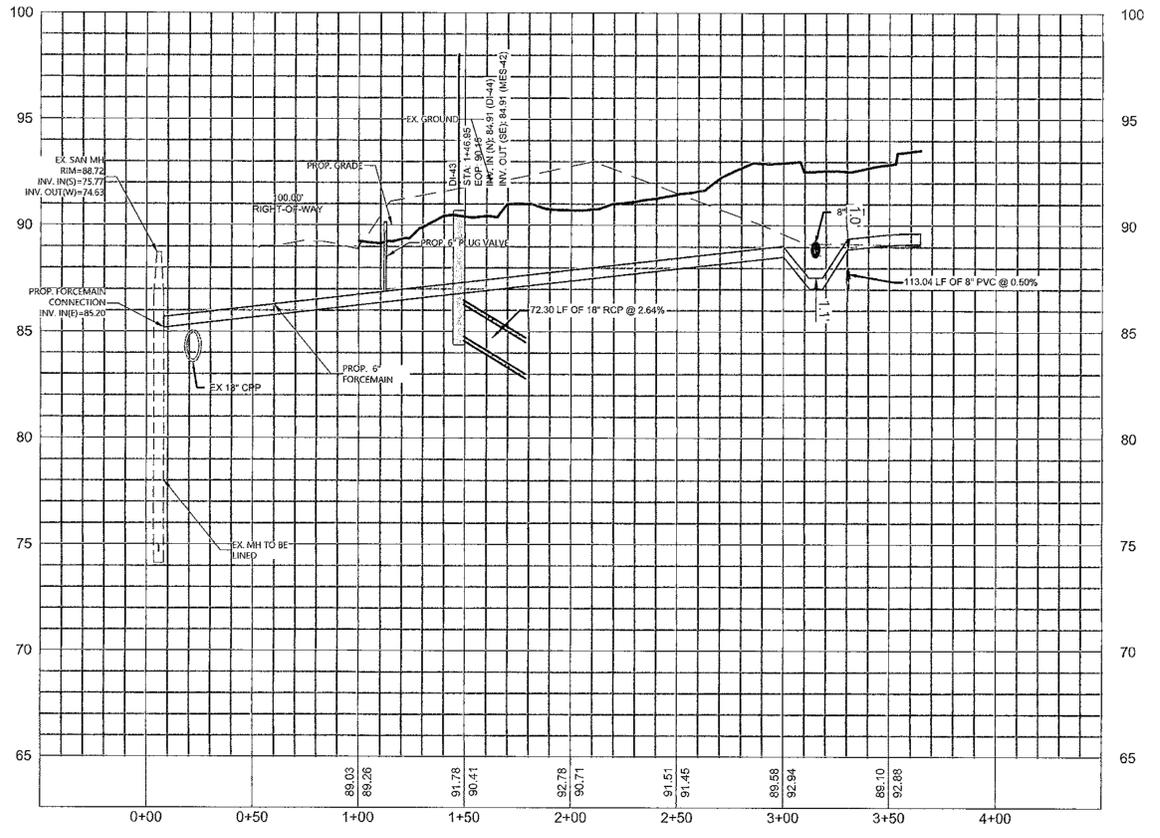
KAWEN
Professional Engineer
No. 112073
11/20/23

0 20' 40'

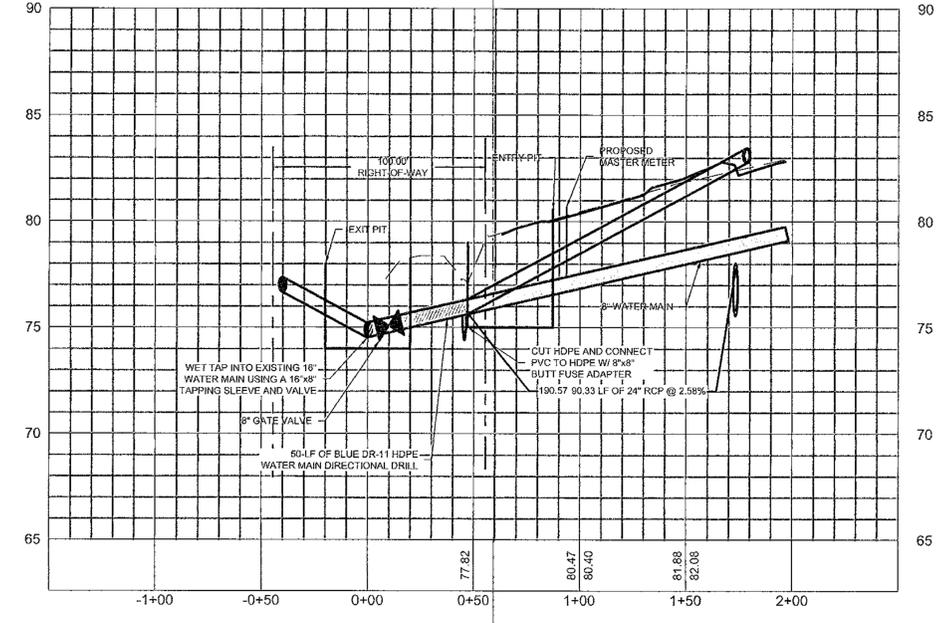
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. **C412**



PROFILE - ACROSS SW 60TH AVE
SCALE: 1" = 40' H & 1" = 4' V



PROFILE - ACROSS SW 52ND ST
SCALE: 1" = 40' H & 1" = 4' V



DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

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811
Know what's below.
Call before you dig.
THE LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK OF PERSONS EMPLOYED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK OF PERSONS EMPLOYED BY THE CONTRACTOR.

24 HOUR EMERGENCY CONTACT

ATWELL
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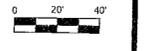
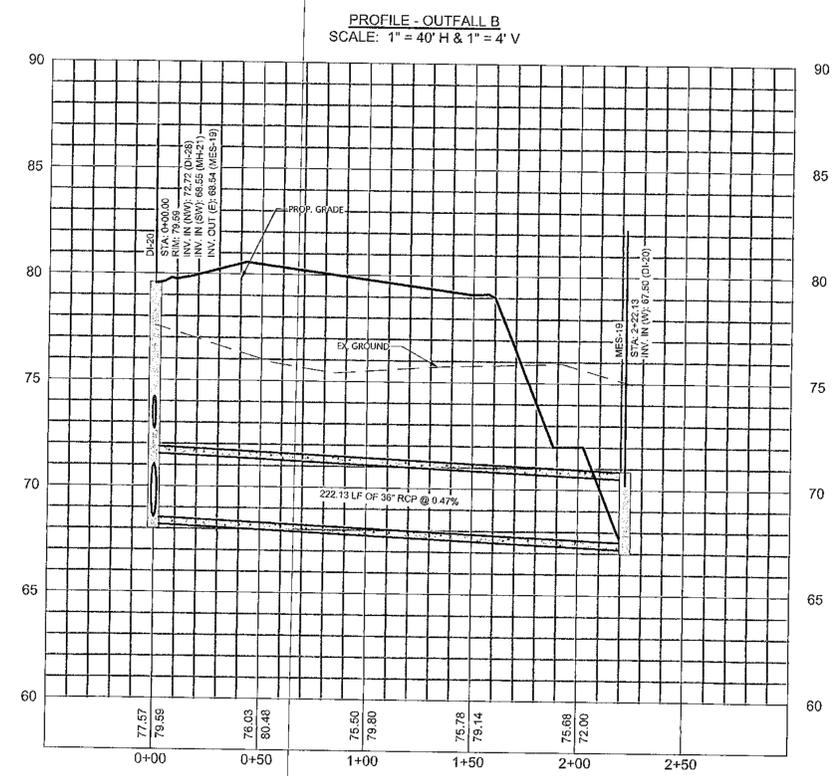
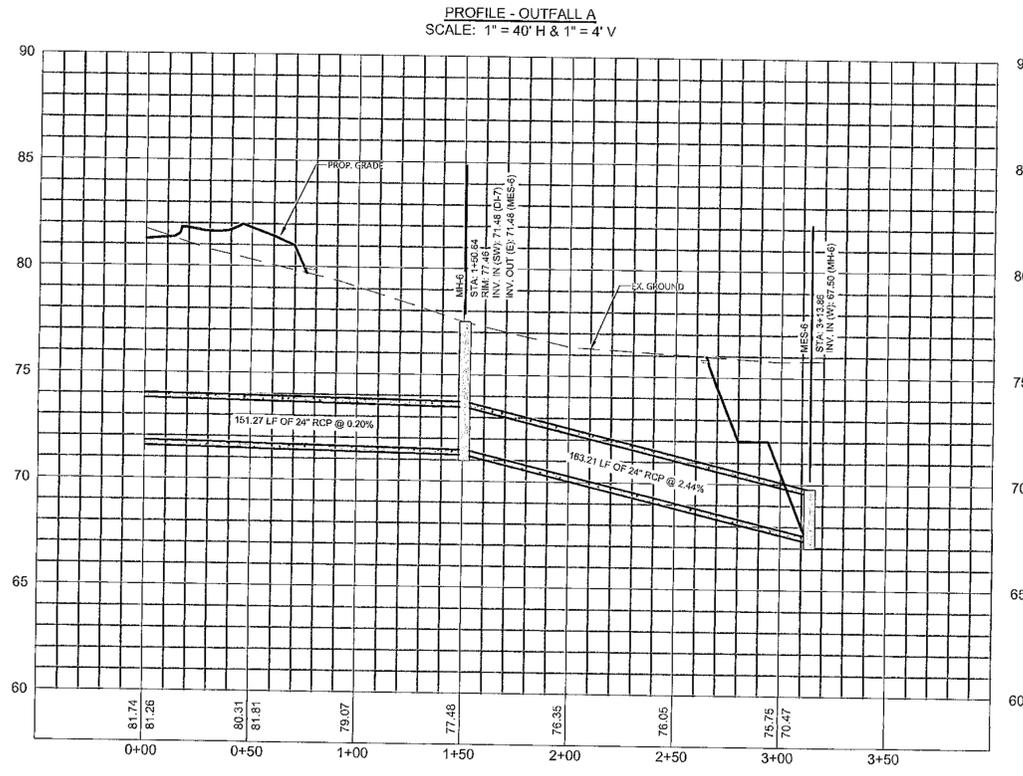
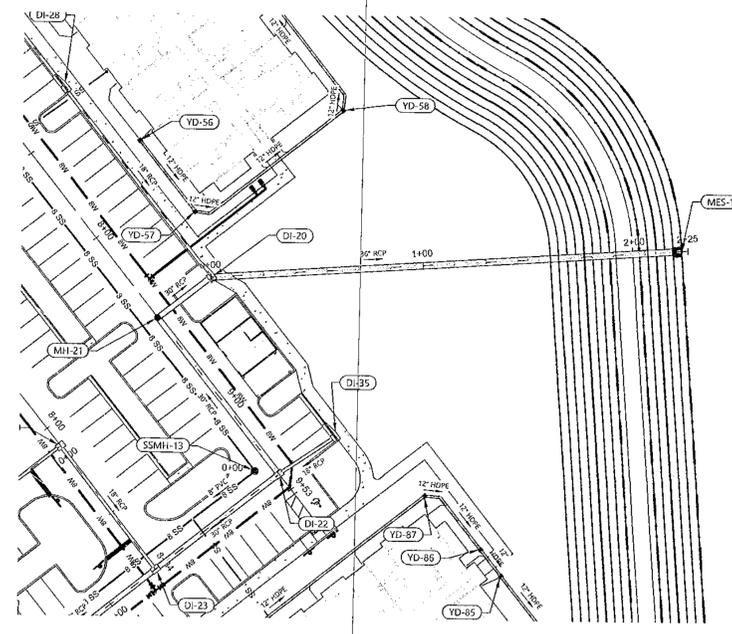
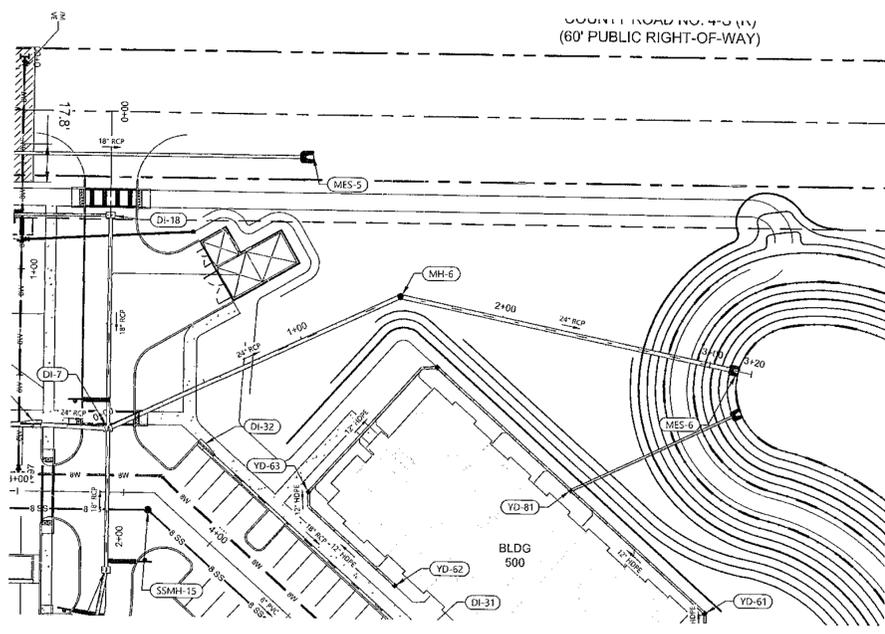
SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

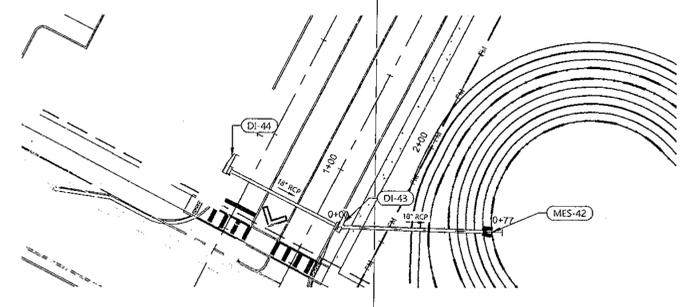
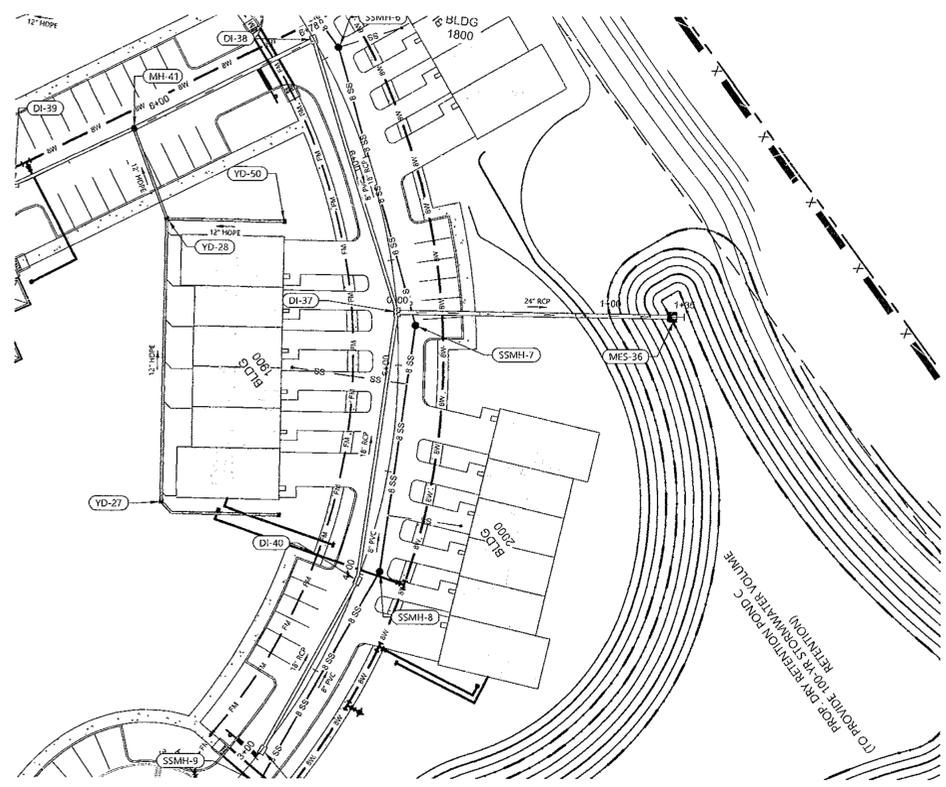
OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
OUTFALL POND 1

DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
8/18/23 MARION COUNTY

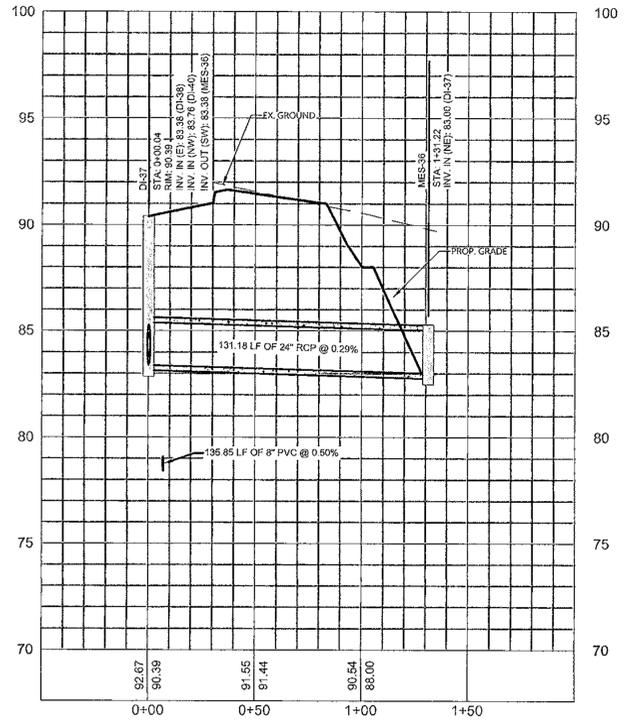
REVISIONS
KAREN L. ...
PROFESSIONAL ENGINEER
11/20/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: XL
JOB #: 22005199
FILE CODE: #P
SHEET NO. C413

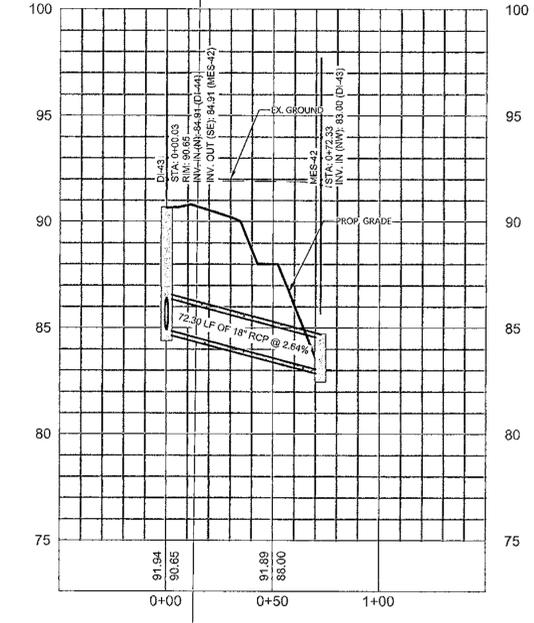




PROFILE - OUTFALL C
SCALE: 1" = 40' H & 1" = 4' V



PROFILE - OUTFALL D
SCALE: 1" = 40' H & 1" = 4' V



DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

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RECORDED
NOV 9 1 2023



Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE LOCATION OF ANY UTILITIES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHO IS EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK, OR ANY INJURY TO PERSONS OR PROPERTY OF ANY KIND.

24 HOUR
EMERGENCY CONTACT

ATWELL
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SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
OUTFALL POND 2

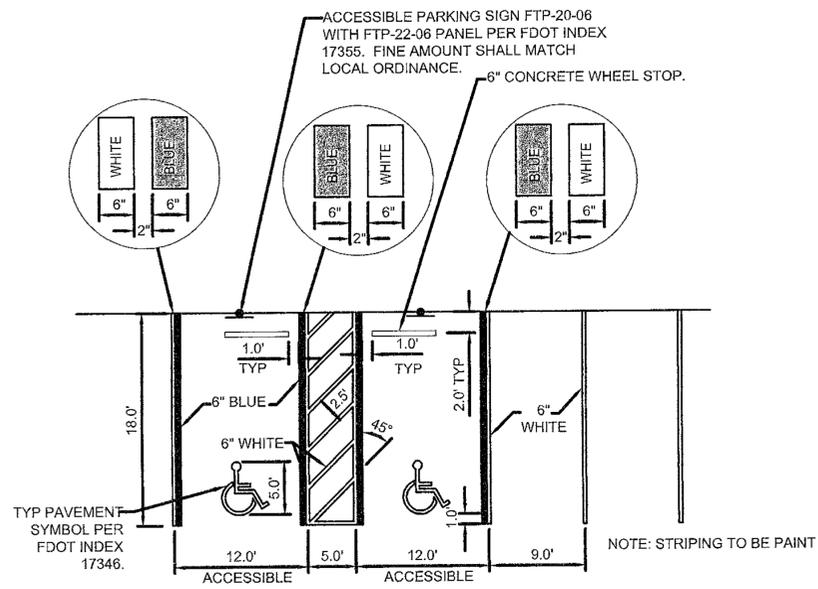
DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SHPMHD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS

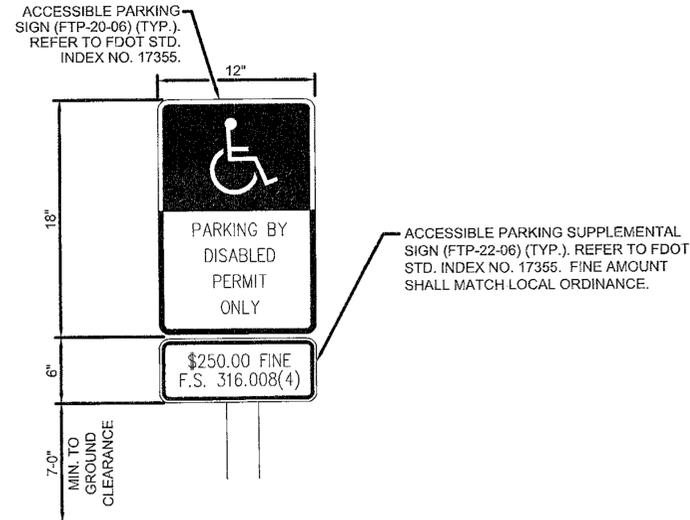
NO. 1	DATE	DESCRIPTION
1	5/2/23	ISSUED FOR PERMIT

Professional Engineer Seal: LAWRENCE J. ... PROFESSIONAL ENGINEER ... STATE OF FLORIDA ... 11/21

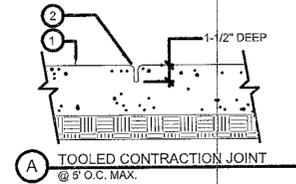
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: RL
JOB #: 22005199
FILE CODE: ##
SHEET NO. C414



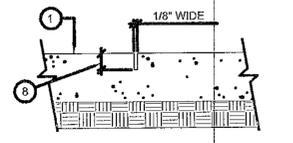
1 ACCESSIBLE PARKING STRIPING AND SIGNAGE DETAIL
NTS



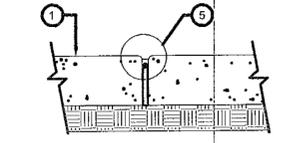
ACCESSIBLE PARKING STALL SIGN DETAIL



A TOOLED CONTRACTION JOINT @ 5' O.C. MAX.



B SAWCUT CONTRACTION JOINT @ 5' O.C. MAX.



C ISOLATION JOINT @ 20' O.C. MAX.

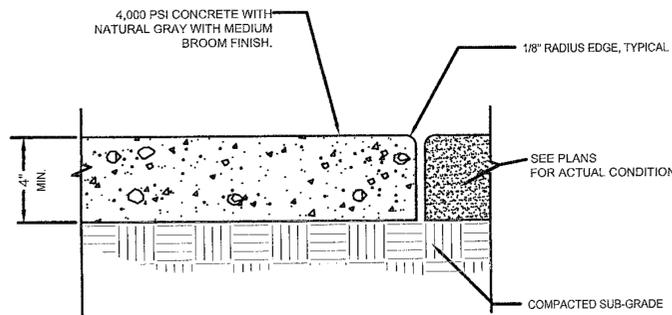
ENLARGEMENT OF TYPICAL SEALED JOINT

NOTE: WIDTH TO DEPTH RATIO OF MASTIC TO BE PER MFG'S. RECOMMENDATIONS.

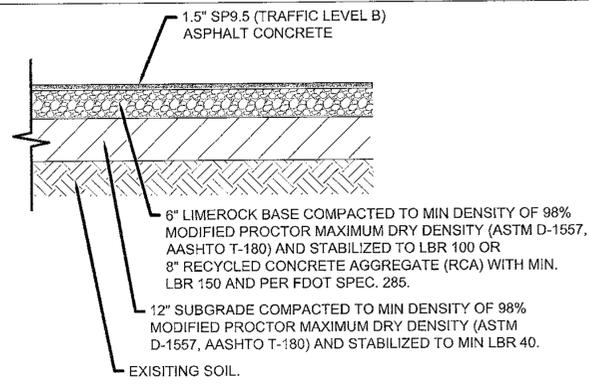
LEGEND

1. FINISH SURFACE
2. 1/8" TOOLED RADIUS EDGE, TYPICAL
3. PRE-MOLDED EXPANSION JOINT FILLER
4. MASTIC SEALANT, COLOR TO SELECTED BY OWNER. FOR PAVEMENT THAT IS THEMED CONCRETE AS DIRT, CRUSH COLORED CONCRETE INTO GRANULES AND APPLY ON TOP OF WET CAULK.
5. SEALED JOINT, SEE DETAIL ENLARGEMENT ABOVE
6. FOAM BACKER ROD
7. VERTICAL EXPANSION JOINT AT 20' O.C. MAX., ALIGN WITH ADJACENT HORIZONTAL EXPANSION JOINTS WHERE POSSIBLE.
8. DEPTH OF CUT TO BE 1/4 THE DEPTH OF SLAB PLUS 1/4". * MAKE ALL SAW CUTS WITHIN 12 HR. OF CONCRETE POUR.

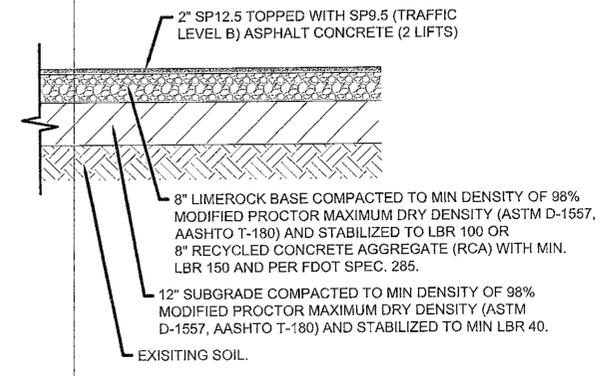
2 CONCRETE PAVEMENT DETAILS
NTS



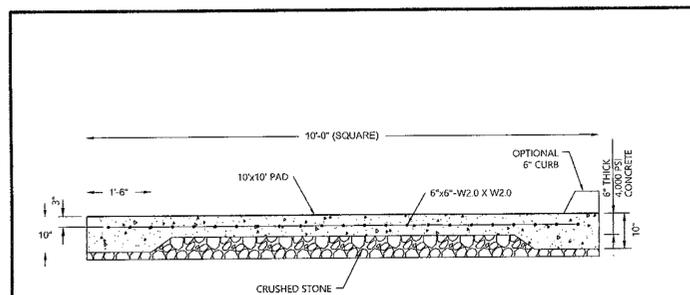
3 SIDEWALK CONCRETE PAVEMENT SECTION
NTS



4 LIGHT DUTY ASPHALT PAVEMENT SECTION
PARKING SPACES AND GREENWAY TRAIL ONLY
NTS

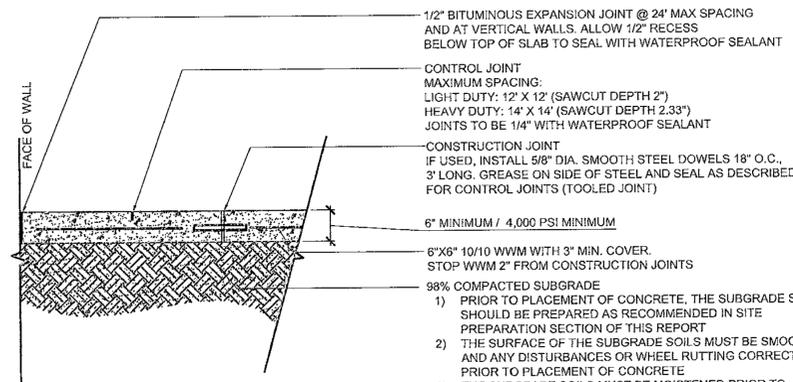


5 HEAVY DUTY ASPHALT PAVEMENT SECTION
NTS



NOTE
1. SEE SITE WORK SPECIFICATIONS FOR CONCRETE MATERIAL AND FINISH. IF NOT SPECIFIED USE 4,000 PSI CONCRETE WITH A BROOM FINISH.
2. REFER TO GEOTECHNICAL RECOMMENDATIONS FOR THICKNESS OR FOR APPLICABILITY OF STONE BASE

6 DUMPSTER PAD DETAIL
NTS



7 CONCRETE PAVEMENT SECTION
NTS

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

NOTICE: ALL CONSTRUCTION SHALL CONFORM TO THE CONSTRUCTION STANDARDS CONTAINED IN THE MARION COUNTY LIND DEVELOPMENT CODE, LATEST EDITION. AREAS OF THE DEVELOPMENT NOT COVERED BY THE CODE SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO OBTAIN NECESSARY PERMITS AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: THE APPROVAL OF THESE PLANS IS LIMITED TO CONSTRUCTION UNDER THE JURISDICTION OF MARION COUNTY AND DOES NOT CONSTITUTE AN ENDORSEMENT OF ANY PRODUCTS OR SERVICES, OR A GUARANTEE OF ANY KIND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AS APPLICABLE, BY STATE AND/OR FEDERAL LAWS.

NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

24 HOUR EMERGENCY CONTACT

RECEIVED
OCT 31 2023
Marion County Engineer
Office of County Engineer



Know what's below.
Call before you dig.
THE LOCATION OF BURIED UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

24 HOUR EMERGENCY CONTACT

ATWELL
866.850.4200 www.atwell-group.com



SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

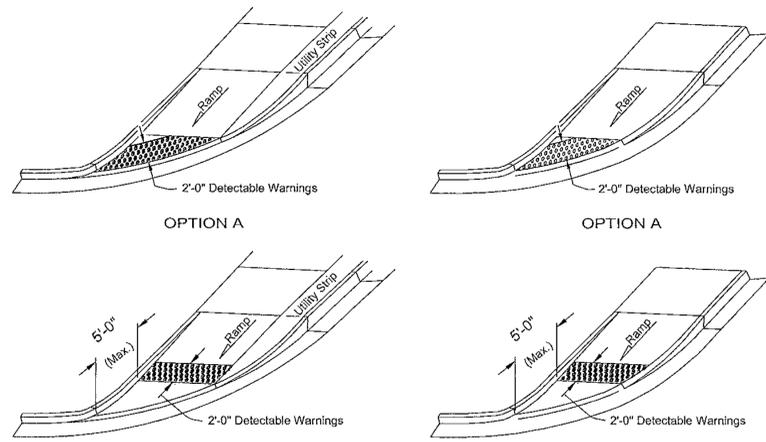
OCALA SOUTH
MERRIMAC SWC Ocala, LLC
MAJOR SITE PLAN
SITE DETAILS

DATE: MAY 2, 2023

4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

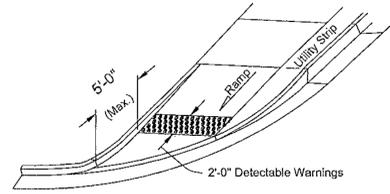
REVISIONS
1. 11/20/23
2. 11/20/23
3. 11/20/23
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DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. C500



OPTION A

OPTION A

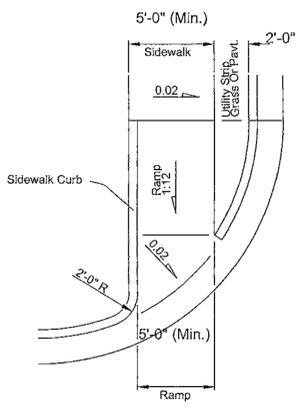


OPTION B

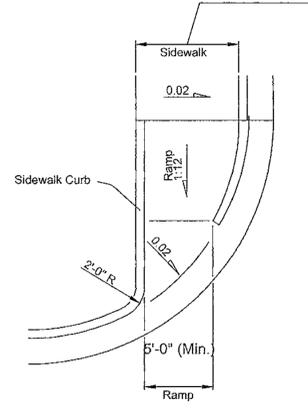
OPTION B

ISOMETRIC VIEW

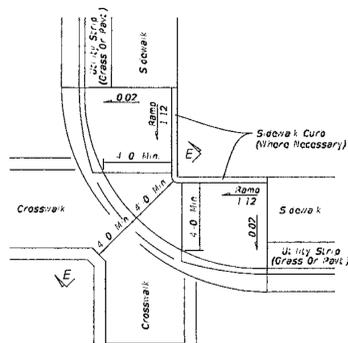
ISOMETRIC VIEW 6'-0" (Min.)



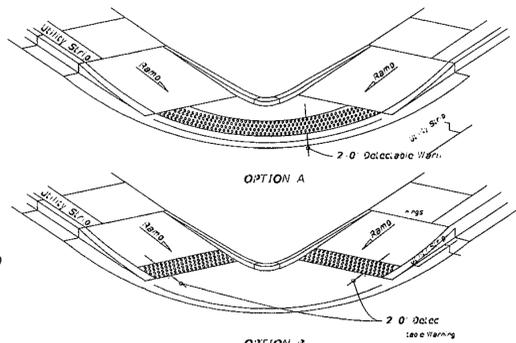
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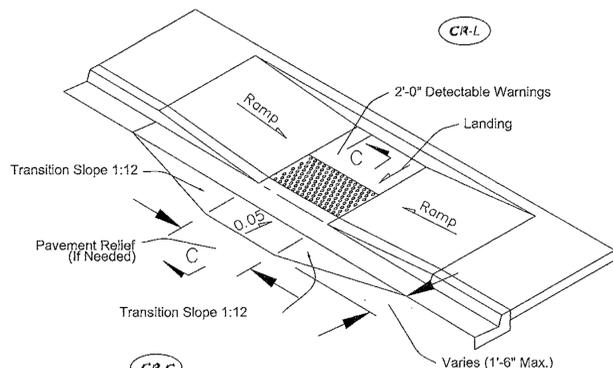
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PLAN VIEW

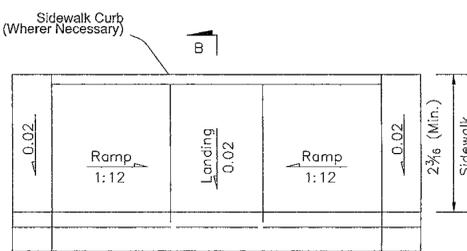


ISOMETRIC VIEW



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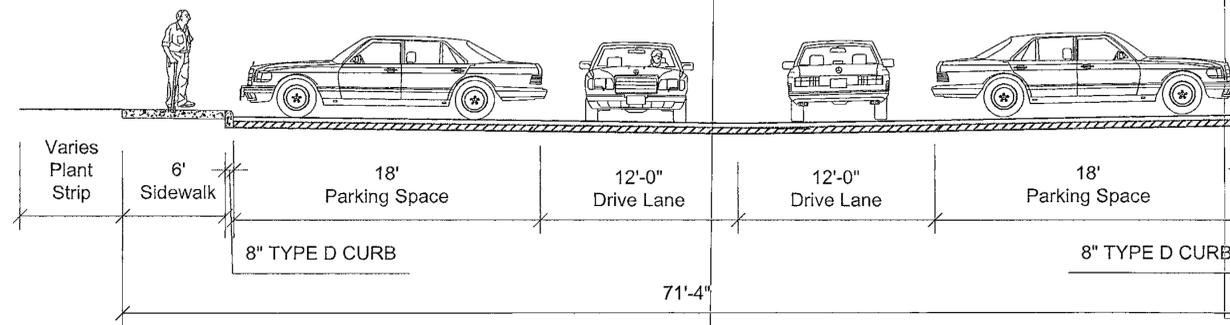
ISOMETRIC VIEW



PLAN VIEW

1 CURB RAMP DETAILS

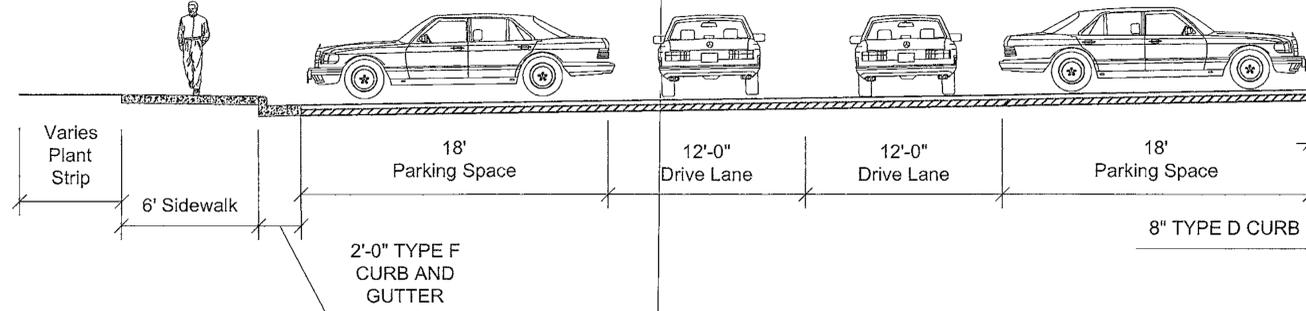
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SECTION A - PARKING TYPICAL SECTION

1 ROAD TYPICAL SECTIONS

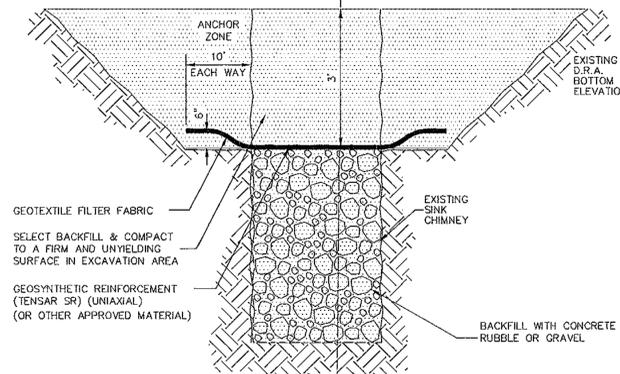
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SECTION B - PARKING TYPICAL SECTION

2 ROAD TYPICAL SECTIONS

NTS



TYPICAL SINK CHIMNEY REPAIR DETAIL

NTS

NOTE: THIS DETAIL IS FOR REFERENCE ONLY. CONTRACTOR TO CONSULT INSPECTOR AND GEOTECH ENGINEER WHEN ENCOUNTERED DURING CONSTRUCTION.

- IF LIMESTONE IS ENCOUNTERED OR A SINKHOLE OR SOLUTION PIPE FORMS DURING CONSTRUCTION, CONSTRUCTION OF THE BASIN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
- THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
- THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURANCE OF SINKHOLES OR SOLUTION PIPES.

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

NOTICE: All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the 2024-of-way disturbed during construction shall be restored and sodded. Erod and mulch may be used if approved by the County Engineer or his/her designee.
NOTICE: The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

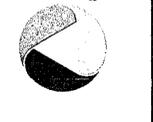


Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ENGAGED IN THE WORK OF ANY PUBLIC STRUCTURE, OR OF ANY OTHER PERSONS.

24 HOUR EMERGENCY CONTACT

ATWELL
866.850.4200
www.atwell-group.com



SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
SITE DETAILS

DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS
KIMWEN LIU
PROFESSIONAL ENGINEER
FLORIDA
11/27/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #9
SHEET NO. C501

CONSTRUCTION ACTIVITIES AND CONTRACTOR RESPONSIBILITIES:

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ABIDE BY ALL PERMIT CONDITIONS, INSPECTIONS, SCHEDULES, AND OTHER RELEVANT REGULATORY AGENCY RULES AND REGULATIONS.
- BMPs:** SYNTHETIC BALES OR SEDIMENT FILTER LOGS.
- INLET PROTECTION:** PERFORATED PIPE WRAPPED IN FILTER FABRIC (FILTER LOGS).
- TEMPORARY SLOPE STABILIZATION:** CONTRACTOR SHALL PROVIDE FOR THE SAFETY OF TEMPORARY SOIL EMBANKMENT AND SHORING REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
- POTENTIAL POLLUTANTS DURING CONSTRUCTION:** DELETERIOUS, TOXIC, OR CONTAMINATED MATERIAL, IF ENCOUNTERED, IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER AND DISPOSED OF IN APPROVED LANDFILL. CONTACT LOCAL EMERGENCY OFFICIALS REPRESENTATIVES IN CASE OF ANY SPILLS OR CONTAMINATION OF A CHEMICAL NATURE (CALL FDEP 407-894-7555) PRIOR TO ANY OTHER ACTION.
- INSPECTIONS:** CONTRACTOR TO INSPECT CONSTRUCTION SITE FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES WITHIN 24 HRS. CONTRACTOR TO PROVIDE AND MONITOR A RAIN GAUGE ON SITE AND RECORD DAILY RAINFALL AMOUNTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED IMMEDIATELY.
- PERMANENT STORMWATER MANAGEMENT CONTROLS:** RETENTION AND DETENTION/EXFILTRATION SYSTEMS, STORMWATER SEWER SYSTEM, PLUS STORMWATER CONTROL STRUCTURE IS TO PREVENT TRASH FROM GOING TO COUNTY'S DRAINAGE SYSTEM.
- DEWATERING:** IN GENERAL, WATER FROM CONTAMINATED AREAS ARE TO BE DISCHARGED TO SANITARY SEWER SYSTEM AND WATER FROM NON-CONTAMINATED AREAS ARE TO BE DISCHARGED INTO STORM SEWER SYSTEM. THE DEWATERING OPERATION SHALL COMPLY WITH THE REQUIREMENTS OF F.D.E.P., THE NPDES PERMIT, AND THE GEOTECHNICAL REPORT.
- DEWATERING:** DEWATERING ACTIVITIES SHALL NOT RESULT IN THE DISCHARGE OF ANY WATER WITH TURBIDITY GREATER THAN 29 NTUS FROM THE SITE PER SECTION 6.14.01 (H) OF THE ESM.
- CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE THE AREA OF DISTURBANCE AND WILL BE RESPONSIBLE FOR ALL DAMAGES. ALL EXISTING SODDED AREAS DISTURBED DURING THE CONSTRUCTION SHALL BE REPLACED WITH THE SAME TYPE OF SOD IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS WITHIN 7 DAYS OF FINAL GRADING.
- SURFACE DRAINAGE SHALL BE DIVERTED FROM EXCAVATIONS AND STOCKPILE AREAS SUCH THAT PROPER SITE CONDITIONS ARE MAINTAINED AND EROSION DUE TO RAIN RUN-OFF OR SEEPAGE IS PREVENTED OR MINIMIZED.
- INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS. EROSION CONTROL AT ALL INLET DRAINAGE STRUCTURES DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTORS HANDBOOK.
- NO FERTILIZERS, HERBICIDES, OR PESTICIDES ARE TO BE USED ON-SITE WITHOUT PRIOR APPROVAL OF CITY OR COUNTY STAFF.
- AFTER ALL CONSTRUCTION IS COMPLETE, ALL STRUCTURES AND STORM SEWER PIPES IN THE SYSTEM SHALL BE CLEANED AND TEMPORARY PLUGS IN STRUCTURES SHALL BE REMOVED.
- ADDITIONAL NOTES: IF NECESSARY, CONTRACTOR SHALL INSTALL TURBIDITY BARRIER, AND USE STREET SWEEPER TO CLEAN ANY OFF-SITE TRACKING OF SOIL. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS AND TO COMPLY WITH THIS PLAN.
- WASTE DISPOSAL:** ALL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTE SHALL BE PROPERLY CONTROLLED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. THERE SHOULD BE NO DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO SURFACE WATERS OF THE STATE OR AN MSA.

GENERAL CONSTRUCTION NOTES:

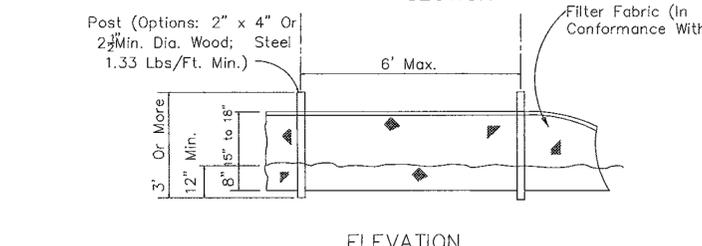
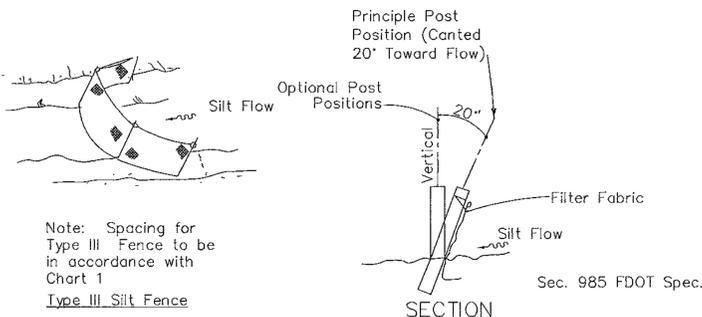
- ALL CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PERFORM A "SUNSHINE ONE-CALL" PRIOR TO EXCAVATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO CONSTRUCTION AND MAINTAIN COPIES AT THE JOBSITE.
- THE LOCATION OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS IS APPROXIMATE AND HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, FIELD DETERMINE THE EXACT LOCATION OF UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY IF CONFLICTS EXIST. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING UNDERGROUND UTILITY AND ALL EXISTING UTILITIES SHALL BE PROTECTED.
- THE CONTRACTOR SHALL COORDINATE ALL TREE REMOVALS REQUIRED BY CONSTRUCTION WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL STRIVE TO PROTECT AS MANY TREES AS POSSIBLE DURING CONSTRUCTION OPERATIONS. COORDINATE EFFORTS WITH AREA DEVELOPMENT PLANS.
- THE CONTRACTOR IS ADVISED TO BRING ANY LAYOUT DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST M.U.T.C.D. AND F.D.O.T. SPECIFICATIONS.
- COORDINATE WITH LOCAL EMERGENCY SERVICES AND PROVIDE EMERGENCY ACCESS CORRIDOR THROUGHOUT CONSTRUCTION.
- CONTACT LOCAL ENVIRONMENTAL COMPLIANCE OFFICIAL FOR APPROVAL OF EROSION CONTROL MEASURES 24 HOURS PRIOR TO BEGINNING GRADE WORK.
- MATERIALS INTERFERING WITH CONSTRUCTION SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER.
- ALL EXCESS DIRT, CLEARING DEBRIS, UNSUITABLE MATERIALS AND EXISTING ROADWAY MATERIAL RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE HAULED OFF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL PROVIDE A LEVEL GROUND SURFACE AREA ACCESSIBLE TO THE HAUL ROADS AND CONSTRUCTION ENTRANCE FOR MATERIAL LAY-DOWN AND CONSTRUCTION STAGING. THE AREA SHALL BE DELINEATED WITH SAFETY FENCING AND SILT FENCE SHALL BE INSTALLED ALONG THE DOWNHILL BOUNDARY.
- EXISTING TOPOGRAPHY AND ROADWAY DATA SHOWN ARE BASED UPON TOPOGRAPHIC SURVEYS BY:

ATWELL, LLC
2600 MAITLAND CENTER PKWY, SUITE #262
MAITLAND, FL
(407) 775-6500

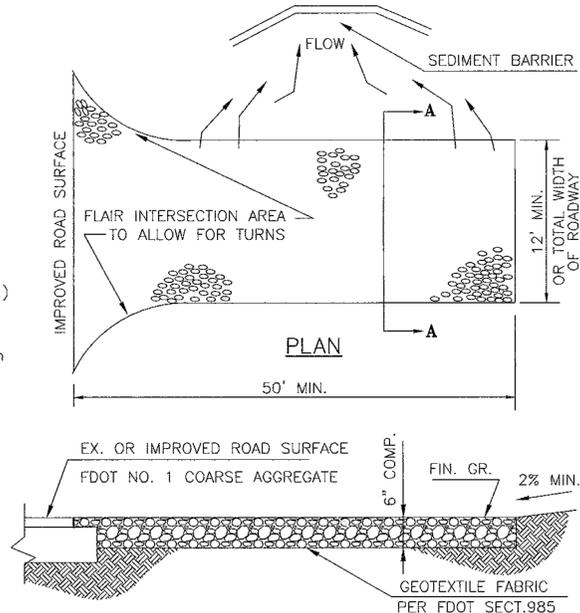
EROSION AND SEDIMENTATION CONTROL NOTES:

- THE CONTRACTOR MUST IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF THE WATER QUALITY CRITERIA AND STANDARDS IN CHAPTERS 62-4, 62-302, F.A.C. ALL EROSION/SEDIMENT CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN SECTION 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION 1988), AS WELL AS THE MARION COUNTY WATER QUALITY CODE AND THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTORS HANDBOOK, UNLESS A PROJECT-SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED BY THE WATER MANAGEMENT DISTRICT IN WHICH CASE THE PRACTICES MUST BE IN ACCORDANCE WITH THE PLAN. IF SITE SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, THE CONTRACTOR MUST IMPLEMENT THE NECESSARY ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.
- STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14-DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- THE LOCATION AND TYPE OF THE EROSION CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE PROVIDED FOR GENERAL GUIDANCE TO THE CONTRACTOR. THE METHODS AND SEQUENCING OF CONSTRUCTION EMPLOYED BY THE CONTRACTOR MAY REQUIRE MORE OR LESS EROSION CONTROL MEASURES THAN THAT DEPICTED TO MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION ACTIVITIES.
- EROSION/TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENT OR SUSPENDED SOLIDS TO ADJACENT PROPERTIES, JURISDICTIONAL WETLANDS AND/OR RECEIVING WATER BODIES EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS. THE CONTRACTOR SHALL MAINTAIN THE EROSION/TURBIDITY CONTROL BARRIERS DAILY. THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR PROVIDING THE NECESSARY EROSION/TURBIDITY CONTROL FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY PENALTIES IMPOSED BY THE PERMITTING AGENCIES FOR ANY EROSION, SHOALING, OR WATER QUALITY PROBLEMS RESULTANT TO CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION, SEDIMENTATION, SHOALING OR WATER QUALITY PROBLEMS THAT RESULT FROM THE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS DESCRIBED IN THE FLORIDA LAND DEVELOPMENT MANUAL, A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DEP, 1988) AND/OR ACCORDING TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS FOR EROSION CONTROL APPLICATIONS AND ACCORDING TO THE MARION COUNTY WATER QUALITY CODE AND THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTORS HANDBOOK.
- MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO INSURE THAT SEDIMENTATION AND/OR TURBIDITY PROBLEMS ARE NOT CREATED IN THE RECEIVING WATER.
- PRIOR TO BEGINNING THE CLEARING AND GRUBBING OF THE SITE, SYNTHETIC BALES SHALL BE STAKED TO THE GROUND ALONG THE PROPERTY LINE AT LOW AREAS IN ADDITION TO THE PERIMETER SILT FENCE TO PREVENT STORMWATER FROM WASHING ERODED SOIL FROM THE SITE.
- THE SITE SHALL BE GRADED SUCH THAT ALL STORMWATER WILL BE DIRECTED INTO THE ON-SITE STORMWATER SYSTEM. SYNTHETIC BALES SHALL BE STAKED IN LOCATIONS WHERE WATER ENTERS THE SYSTEM TO FILTER OUT THE ERODED SOILS AND CONSTRUCTION FINES. CONTRACTOR SHALL MAKE PROVISIONS TO AVOID TRACKING DIRT AND CONSTRUCTION DEBRIS TO THE ROADWAY VIA TRUCK AND EQUIPMENT TIRES.
- SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY OF ORLANDO, AND FDOT STANDARDS AND SPECIFICATIONS, AND THE CONTRACT DRAWINGS.
- CONTRACTOR SHALL REPLACE CLOGGED SECTIONS OF SILT FENCES AND PERFORATED PIPE WITH FABRIC SOCK AS NECESSARY TO MAINTAIN WATER PASSAGE.
- CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL DURING INSTALLATION OF NEW CURBING AND DRIVEWAYS AS APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL TAKE CARE TO KEEP EXPOSED AREAS TO A MINIMUM POSSIBLE TIME DURING CONSTRUCTION.
- ON-SITE CONTROL MEASURES SHALL BE APPLIED TO REDUCE EROSION AS SHOWN ON THE PLANS, DETAIL SHEETS AND IN ACCORDANCE WITH FDOT, FDEP AND THE MARION COUNTY REGULATIONS FOR EROSION CONTROL MEASURES. STOCKPILING AND STORAGE OF MATERIALS SHOULD NOT BE LOCATED IN A MANNER TO IMPEDE FLOW OR CAUSE MATERIALS TO BE ERODED BY STORMWATER RUNOFF.
- ALL TEMPORARY SEDIMENTATION CONTROL STRUCTURES AND MEASURES TO BE USED DURING CONSTRUCTION SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL BE MAINTAINED IN AN EFFECTIVE CONDITION UNTIL SUCH TIME AS THE COMPLETION OF THE PERMANENT SYSTEM OR OTHER EROSION CONTROL MEASURES CAN ASSURE ADEQUATE EROSION AND SEDIMENT CONTROL.
- CONTRACTOR TO INSPECT EROSION/SEDIMENT CONTROL DEVICES DAILY AND WITHIN 24 HOURS OF EACH 0.5 INCH OR GREATER RAINFALL EVENT FOR EFFECTIVENESS. ANY NECESSARY REMEDIES SHALL BE PERFORMED IMMEDIATELY.
- NO EXCAVATING MATERIAL SHALL BE STOCKPILED IN A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
- ALL EXCESS FILL MATERIAL WILL BE HAULED OFFSITE.

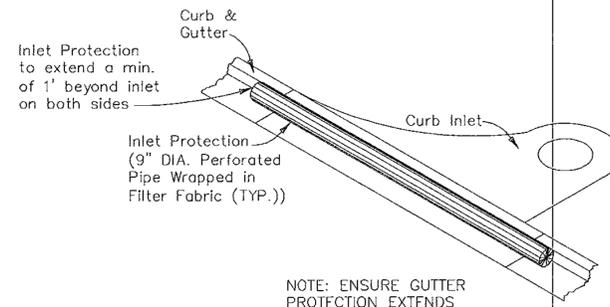
DEVELOPER CONTACT INFORMATION
MERRIMAC SWC OCALA, LLC
17 NE 4TH ST
FORT LAUDERDALE, FL 33301
PH: (321) 368-0103
CONTACT: DEV MOTWANI



TYPE III SILT FENCE
NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



INLET PROTECTION
NOT TO SCALE

STORMWATER POLLUTION PREVENTION PLAN NOTES:

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

LOCATION: THE 36.13± ACRE SITE IS LOCATED IN THE CITY OF OCALA, MARION COUNTY, FLORIDA

LIMITS OF CONSTRUCTION: 36.13± ACRES WILL BE DISTURBED DURING CONSTRUCTION.

CONSTRUCTION ACTIVITIES: CLEARING AND GRUBBING OF EXISTING SITE; GRADING OPERATIONS; CONSTRUCTION OF PARKING LOT AND ASSOCIATED SITE WORK.

SOIL TYPES: REFER TO THE GEOTECHNICAL REPORT FOR THE ON-SITE SOIL CLASSIFICATIONS.

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

GENERAL CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AROUND PERIMETER OF SITE. PROVIDE MINIMUM SITE DEMOLITION REQUIRED TO INSTALL SILT FENCE. INSTALL TEMP INLET PROTECTION.
- GENERAL SITE CLEARING AND GRUBBING, AND DEMOLITION.
- ROUGH GRADE SITE
- INSTALL UNDERGROUND UTILITIES.
- CONSTRUCT PROPOSED ABOVE GROUND INFRASTRUCTURE PER THE SITE PLAN.
- INSTALL LANDSCAPING.
- REMOVE TEMP. PROTECTION SYSTEMS.

STORMWATER DISCHARGE: STORMWATER WILL DISCHARGE TO MARION COUNTY STORMWATER SYSTEM.

CONTRACTOR CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH THE INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION."

SIGNATURE _____ DATE _____

PROJECT MANAGER _____

NAME AND TITLE _____

COMPANY _____

ADDRESS (CONTRACTING FIRM) _____

ADDRESS (CONSTRUCTION SITE) _____

TELEPHONE: _____

AREA CODE _____ NUMBER _____

ABBREVIATIONS:

FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION

A.D.A. - AMERICAN DISABILITY ACT

HDPE - HIGH DENSITY POLYETHYLENE PIPE

FDEP - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

FOR STANDARD ABBREVIATIONS REFER TO THE FDOT STANDARD INDEX ABBREVIATION SHEET, UNLESS OTHERWISE NOTED ON PLANS.

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Any of the City of Ocala ordinances during construction shall be as amended and shall be subject to the approval of the County Engineer or designee.

NOTICE: The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute for the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY APPROXIMATE LOCATION ONLY. YOU MAY NOT BE ABLE TO IDENTIFY ALL UTILITIES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR OR ANY OTHER PERSONS EXACTLY LOCATE AND PRESERVE ANY AND ALL UNRECORDED UTILITIES.

NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE CONSTRUCTION SITE.

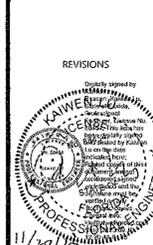
24 HOUR EMERGENCY CONTACT



NOV 21 2023
Marion County
City of Ocala Engineer

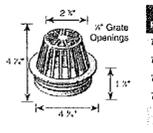
OCALA SOUTH
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MAJOR SITE PLAN
SWPPP NOTES DETAILS

DATE MAY 2, 2023
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8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

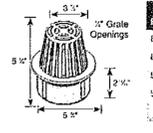


REVISIONS

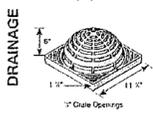
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: ##
SHEET NO. C503



Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
75	4" Aluminum Grate	Green	20	0.21	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 13.50 square inches. 32.01 GPM.
76	4" Aluminum Grate	Gray	20	0.21	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 13.50 square inches. 32.01 GPM.
76S	4" Aluminum Grate	Black	20	0.21	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 13.50 square inches. 32.01 GPM.



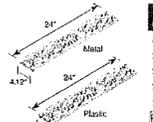
Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
80	6" Aluminum Grate	Green	10	0.62	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 24.34 square inches. 66.88 GPM.
81	6" Aluminum Grate	Gray	10	0.62	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 24.34 square inches. 66.88 GPM.
90	6" Aluminum Grate	Black	10	0.62	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 24.34 square inches. 66.88 GPM.



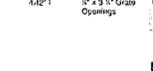
Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
1260	12" x 12" Aluminum Grate	Green	4	1.74	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 144.00 square inches. 151.79 GPM.
1260S	12" x 12" Aluminum Grate	Black	4	1.74	109D	Flat-Top Structural Foam Polyethylene Aluminum Grate with UV Inhibitor. Open surface area 144.00 square inches. 151.79 GPM.



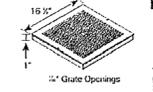
Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
12300	12" x 12" Square Botanical Cast Iron Grate	Black/Gray	1	12.67	109D	12" Square Cast Iron Botanical Grate. Open surface area 24.34 square inches. 74.77 GPM. Close D load rated.
829	Stainless Steel Screws, #10 x 1-1/2"	Metal	40	n/a	109D	See page 18, ADA Compliant.



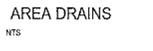
Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
2523	2" Channel Botanical Grate	Sand	24	1.74	109D	2" Channel Botanical Grate with UV Inhibitor. Open surface area 7.75 square inches per foot. 23.89 GPM per foot.
2526R	2" Channel Botanical Grate	Green	24	1.74	109D	2" Channel Botanical Grate with UV Inhibitor. Open surface area 7.75 square inches per foot. 23.89 GPM per foot.
2526G	2" Channel Botanical Grate	Gray	24	1.74	109D	2" Channel Botanical Grate with UV Inhibitor. Open surface area 7.75 square inches per foot. 23.89 GPM per foot.
252	2" Channel Botanical Grate	Black	24	1.74	109D	2" Channel Botanical Grate with UV Inhibitor. Open surface area 7.75 square inches per foot. 23.89 GPM per foot.



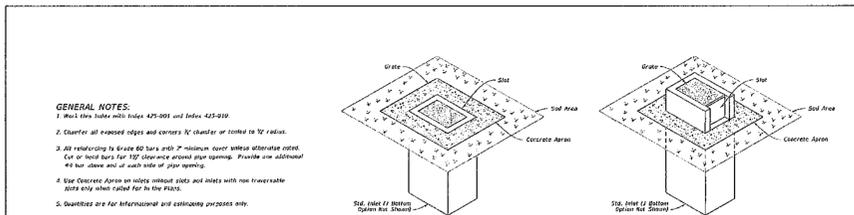
Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
1810	18" x 18" Square Grate	Gray	4	7.72	109D	18" Square Structural Foam Polyethylene Grate with UV Inhibitor. Open surface area 65.41 square inches. 264.03 GPM.
1811	18" x 18" Square Grate	Black	4	7.72	109D	18" Square Structural Foam Polyethylene Grate with UV Inhibitor. Open surface area 65.41 square inches. 264.03 GPM.
1812	18" x 18" Square Grate	Green	4	7.72	109D	18" Square Structural Foam Polyethylene Grate with UV Inhibitor. Open surface area 65.41 square inches. 264.03 GPM.



Part No.	Description	Color	Pkg Qty	Vol. Ea. (cu ft)	Product Class	Specifications
629	Stainless Steel Screws, #10 x 1-1/2"	Metal	40	n/a	109D	See page 18, ADA Compliant.



AREA DRAINS
NOTES

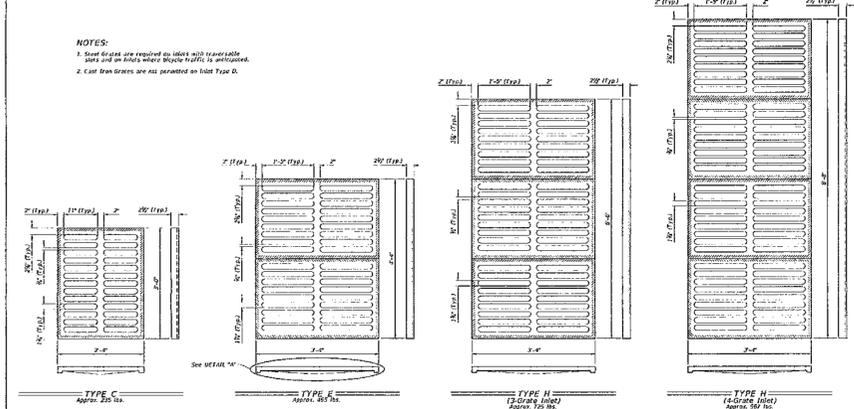


GENERAL NOTES:
 1. Mark this table with index 425-001 and Index 425-010.
 2. Clearer all exposed edges and corners 1/4" chamfer or round to 1/4" radius.
 3. All reinforcing to Grade 60 bars with 7" minimum clear spacing alternative noted.
 4. Cut or bend bars for 1/2" clearance around pipe opening. Provide one additional #4 bar above and one below of pipe opening.
 5. Use Concrete Apron on inlet without slots and inlet with non-traversable slots only when noted for in the Plans.
 6. Quantities are for informational and estimating purposes only.

TABLE OF CONTENTS:

Sheet	Description
1	General Notes and Contents
2	Type C - Dimensional, Reinforcing, and Grate Details
3	Type D - Dimensional, Reinforcing, and Grate Details
4	Type E - Dimensional, Reinforcing, and Grate Details
5	Type H (E & F) - Dimensional, Reinforcing, and Steel Grate Details
6	Type H (E & F) - Dimensional, Reinforcing, and Steel Grate Details
7	Cast Iron Grate Details
8	Non-Traversable Inlet Details
9	Traversable Inlet Without Slot Details
10	Traversable Inlet With Slot Details
11	Case 1 - Add Traversable Slots to Existing Inlets
12	Case 2 - Add Traversable Slots to Existing Inlets
13	Case 3 - Add Traversable Slots to Existing Inlets and Ditch Block
14	Alternative A Structure Bottom - Top Stop Details

LAST REVISION: 11/01/20
 DESCRIPTION: FY 2022-23 STANDARD PLANS
 INDEX: 425-052
 SHEET: 1 of 14

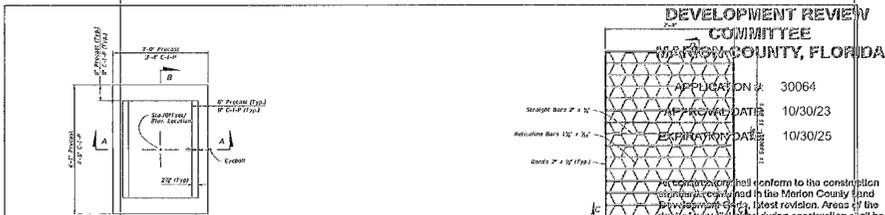


NOTES:
 1. Steel Grates are required on inlet with 1/2" Traversable Slot and 3/4" minimum clear spacing to 1/4" radius.
 2. Cast Iron Grates are not permitted on inlet Type D.

CAST IRON GRATE DETAILS

Sheet	Description
1	Type C - Approx. 300 sq. ft.
2	Type E - Approx. 300 sq. ft.
3	Type H (E & F) - Approx. 300 sq. ft.
4	Type H (E & F) - Approx. 300 sq. ft.

LAST REVISION: 11/01/20
 DESCRIPTION: FY 2022-23 STANDARD PLANS
 INDEX: 425-052
 SHEET: 7 of 14



DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA
 APPLICATION #: 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25

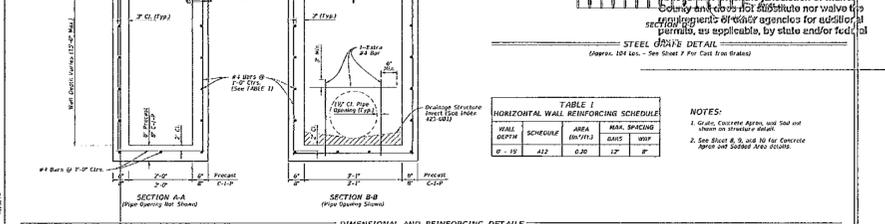


TABLE 1: HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	MAX. SPACING	MAX. W/TH
0 - 12"	#4 @ 24"	24"	12"
12" - 18"	#4 @ 24"	24"	12"
18" - 24"	#4 @ 24"	24"	12"

LAST REVISION: 11/01/20
 DESCRIPTION: FY 2022-23 STANDARD PLANS
 INDEX: 425-052
 SHEET: 2 of 14

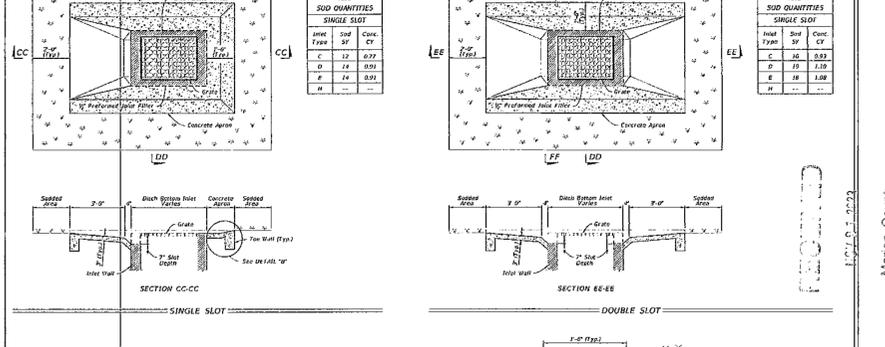
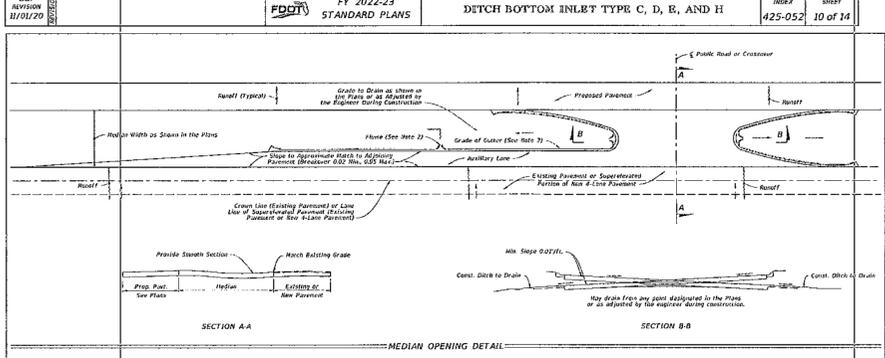


TABLE 9: CONCRETE AREAS AND SOQ QUANTITIES - SINGLE SLOT

Inlet Type	Soq	Conc. CY
C	12	0.97
D	14	0.91
E	18	1.08
H	---	---

LAST REVISION: 11/01/20
 DESCRIPTION: FY 2022-23 STANDARD PLANS
 INDEX: 425-052
 SHEET: 10 of 14



NOTES:
 1. These details are to apply to projects which provide for the construction of 3 lane sections or Lane divided highway sections and for super-elevated sections of two lane highway sections. Layout shown is illustrative only.
 2. See Plans for Inlet Length and location and grade of inlets. These locations may be adjusted by the Engineer during construction. If necessary to provide minimum gutter grades, inlet surface and the median parent within limits of the median curb or curb and gutter.

LAST REVISION: 11/01/21
 DESCRIPTION: FY 2023-24 STANDARD PLANS
 INDEX: 520-010
 SHEET: 1 of 1

811
 Know what's below. Call before you dig.
 THE LOCATIONS OF EXISTING UNRECORDED UTILITIES ARE SHOWN ON THIS INFORMATIONAL MAP. YOU ARE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXERCISE DUE CARE AND PRECAUTION IN THE WORK OF ANY NEARBY UTILITIES, OR ANY OTHER PERSONS.
 NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE OWNER FOR THE PROJECT SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY UTILITIES, OR ANY OTHER PERSONS.
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 SW 60TH AVE AND SW 52ND ST
 OCALA
 MARION COUNTY, FLORIDA
 MAJOR SITE PLAN
 STORMWATER DETAILS
 DATE: MAY 2, 2023
 4/14/23 MARION COUNTY
 4/20/23 SWFWMD
 8/8/23 MARION COUNTY
 9/18/23 MARION COUNTY
 REVISIONS
 KAWEN
 PROFESSIONAL ENGINEER
 11/29/25
 DRAWN BY: MC
 CHECKED BY: DGG
 PROJECT MANAGER: RL
 JOB #: 22005199
 FILE CODE: #
 SHEET NO. C504

GENERAL NOTES:

1. Use the index with index 425-021 and index 425-022.
2. Confirm the finished grade and slope of the inlet with the precast curb stop and grade of the proposed sidewalk and/or gutter.
3. The inlet shall be constructed on a curve, refer to the plans to determine the radius. Bend steel when necessary.
4. Use Class 65 reinforcing bars with 135 degree cover unless otherwise shown, and Shop B per submittal area and/or reinforcement details.
5. Steel laps may be either cast in place or precast concrete. Confirm precast units to the contractor when in accordance with approved shop drawings.
6. Concrete finishes are required on inlet opening for precast units or C.I.P. units used in conjunction with concrete curb bottom or concrete rectangular base bases. Finish top of fabric face with clean finish texture and match stain.
7. For Type E curb and gutter, transition the shape of the curb over the gutter transition depth to match the face of the curb (Type E).
8. Meet the requirements of ASTM A618 with steel used for frames and grates.
9. Use either cast iron pipe or steel grates.

TABLE OF CONTENTS:

Sheet	Description
1	General Notes and Contents
2	Type 5 and 6 Dimensional Details
3	Type 5 and 6 Reinforcing and Bar Bending Details
4	Precast Dimensional and Reinforcing Details
5	Cast-in-Place Dimensional and Reinforcing Details
6	Alternate Welded Wire Reinforcing Details
7	Grate, Anchor, and Grouting Details

INDEX SHEET

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TYPE 5 DIMENSIONAL DETAILS

TYPE 5 AND 6 DIMENSIONAL DETAILS

INDEX SHEET

LAST REVISION	DESCRIPTION	DATE	BY	INDEX	SHEET
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DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 30064
APPROVAL DATE: 11/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, 1st/2nd revision. Areas of the right-of-way established during construction shall be graded and sodded. Seed and mulch may be used if approved by the County Engineer or designated staff.

NOTICE: The user of this document is limited to the project and location of Marion County and does not constitute a warranty or representation of any kind. The user shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities. The user shall be responsible for obtaining all necessary insurance and bonding. The user shall be responsible for obtaining all necessary approvals from the appropriate authorities. The user shall be responsible for obtaining all necessary approvals from the appropriate authorities.

TYPE 5 REINFORCING DETAILS

TYPE 6 REINFORCING DETAILS

TYPE 5 AND 6 REINFORCING AND BAR BENDING DETAILS

INDEX SHEET

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PRECAST DIMENSIONAL AND REINFORCING DETAILS

INDEX SHEET

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CAST-IN-PLACE DIMENSIONAL AND REINFORCING DETAILS

INDEX SHEET

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ALTERNATE WELDED WIRE REINFORCING (WWR) DETAILS

INDEX SHEET

LAST REVISION	DESCRIPTION	DATE	BY	INDEX	SHEET
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GRATE, ANCHOR, AND GROUTING DETAILS

INDEX SHEET

LAST REVISION	DESCRIPTION	DATE	BY	INDEX	SHEET
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OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
STORMWATER DETAILS

DATE: MAY 2, 2023

REVISIONS

PROFESSIONAL SEAL

NOV 01 2023

DATE: MAY 2, 2023

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. C506

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THIS DRAWING. YOU ARE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE YOU DIG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE YOU DIG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE YOU DIG.

NOTICE:
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE YOU DIG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE YOU DIG.

24 HOUR
EMERGENCY CONTACT

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City of Marion County Engineer

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SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
MAJOR SITE PLAN
UTILITY DETAILS

DATE: MAY 2, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY
9/18/23 MARION COUNTY

REVISIONS
11/20/23

DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: XL
JOB #: 22005199
FILE CODE: #
SHEET NO. C507

**WATER, SEWER, AND REUSE SYSTEM
CONSTRUCTION, INSPECTION, AND OWNERSHIP NOTES:**
UNDERGROUND WATER, SEWER, REUSE, AND TRIGGERED SYSTEMS CONSTRUCTED ON THIS SITE SHALL BE CONSTRUCTED, TESTED, INSPECTED, OWNED, AND MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:

SEWER SYSTEM:
CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE.
CONSTRUCT ALL GRAVITY SEWERS 6" AND ABOVE, INCLUDING MANHOLES AND ALL SEWER SERVICES 6" OR LESS TO THE FIRST CLEANOUT UPSTREAM FROM THE 6" OR ABOVE SEWER MAIN WITHIN THE RIGHT-OF-WAY TO CITY STANDARDS. THESE ELEMENTS SHALL BE OWNED, MAINTAINED, AND INSPECTED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT.
ALL GRAVITY SEWER SERVICES 6" OR MORE, INCLUDING MANHOLES, LOCATED ON PRIVATE PROPERTY SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER AND SHALL BE BUILT IN ACCORDANCE WITH THESE STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CITY OF OCALA WATER RESOURCES DEPARTMENT WILL INSPECT ALL SUCH SERVICES TO WITHIN 5 FEET OF THE BUILDING.
STATE OF FLORIDA STANDARD PLUMBING CODE.
ALL GRAVITY SEWER SERVICES 6" OR LESS LOCATED ON THE PROPERTY SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER. THE CITY OF OCALA BUILDING DEPARTMENT WILL INSPECT ALL SUCH SERVICES ON PRIVATE PROPERTY.

WATER SYSTEM:
CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE.
CONSTRUCT ALL POTABLE WATER MAINS AND SERVICES IN THE RIGHT-OF-WAY UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.
ALL FIRE MAINS AND HYDRANTS, FROM THE CITY WATER MAIN TO WITHIN FIVE FEET (5') OF THE BUILDING, SHALL BE CONSTRUCTED TO CITY STANDARDS OR PER 24 AS REQUIRED. FIRE MAINS LOCATED WITHIN PUBLIC RIGHT-OF-WAY WILL BE OWNED AND MAINTAINED BY THE CITY, AND ALL FIRE MAINS LOCATED ON PRIVATE PROPERTY WILL BE OWNED AND MAINTAINED BY THE DEVELOPER. INSPECTION AND TESTING OF ALL FIRE MAINS UP TO THE DOUBLE DETECTOR CHECK VALVE WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT.
STATE OF FLORIDA STANDARD PLUMBING CODE.
ALL WATER SERVICES ON PRIVATE PROPERTY DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE, LATEST EDITION. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER.

REUSE SYSTEM:
CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE.
CONSTRUCT ALL REUSE MAINS AND SERVICES IN THE RIGHT-OF-WAY UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.
STATE OF FLORIDA STANDARD PLUMBING CODE.
ALL REUSE SERVICES ON PRIVATE PROPERTY DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE, LATEST EDITION. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER.

IRRIGATION SYSTEM:
CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE.
CONSTRUCT ALL IRRIGATION MAINS AND SERVICES IN THE RIGHT-OF-WAY UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.
STATE OF FLORIDA STANDARD PLUMBING CODE.
ALL IRRIGATION SERVICES ON PRIVATE PROPERTY DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE, LATEST EDITION. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER.

PRE-CONSTRUCTION MEETING REQUIREMENT:
PRIOR TO ANY UNDERGROUND WATER, SEWER, REUSE, OR IRRIGATION CONSTRUCTION ON THIS SITE THE CONTRACTOR SHALL SET AN ON-SITE MEETING WITH THE CITY OF OCALA PROJECT INSPECTORS (352) 351-6933 OR (352) 351-6712 TO DISCUSS SHOP DRAWINGS, INSTALLATION, INSPECTION, TESTING AND AS-BUILT REQUIREMENTS.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	SITE OWNERSHIP AND INSPECTION GENERAL NOTES	SECTION WATER W-7
---	---	-------------------

FIRE HYDRANT ASSEMBLY
PERPENDICULAR TO MAIN

NOTES:
1. NO MORE THAN ONE BARREL SECTION SHALL BE ALLOWED WHEN ADJUSTING HYDRANT TO FINISHED GRADE. HYDRANT EXTERNSIONS ARE TO BE SAME MANUFACTURER AS HYDRANT. MAXIMUM LENGTH OF EXTENSION SHALL BE 2'.
2. NEW HYDRANTS TO BE INSTALLED WITH "OUT OF SERVICE" MARKER. INSTALL ON HYDRANT UNTIL HYDRANT IS CLEARED AND ACCEPTED BY FIRE DEPARTMENT.
3. NEW FIRE HYDRANTS TO BE FACTORY PAINTED RED. EXISTING HYDRANTS THAT REQUIRE REPAINTING TO BE PRESSURE WASHED (3000 PSI) TO REMOVE ALL LOOSE DEBRIS, PAINT OR OTHER FOREIGN MATERIALS. REPAINT HYDRANT TO IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. FINISH PAINT TO BE POLYURETHANE, "SAFETY RED".
4. PROVIDE ONE BLUE REFLECTIVE PAVEMENT MARKER (RPM) IN THE CENTER OF THE CLOSEST VEHICLE TRAVEL LANE AND DIRECTLY OPPOSITE THE HYDRANT LOCATION.
5. ALL HYDRANT ASSEMBLIES INCLUDE A HYDRANT TO GRADE.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	FIRE HYDRANT ASSEMBLY	SECTION WATER W-3
---	------------------------------	-------------------

FIRE LINE DOUBLE DETECTOR CHECK ASSEMBLY
4" OR GREATER

NOTES:
1. ALL ABOVE-GROUND PARTS OF THE BACKFLOW PREVENTER ASSEMBLY, INCLUDING PIPING, SHALL BE PAINTED RED. PAINT SHALL BE POLYURETHANE, "SAFETY RED" OR EQUIVALENT.
2. ISOLATION VALVES SHALL BE CHAINED LOCKED IN THE OPEN POSITION.
3. BACKFLOW PREVENTER ASSEMBLY SHALL BE PROTECTED WITH TAMPER SWITCHES AND TIES INTO THE FIRE ALARM SYSTEM.
4. NO LANDSCAPING OR OBSTRUCTIONS ARE PERMITTED WITHIN THE CLEAR ZONE. CLEAR ZONE TO BE 1' EACH SIDE OF CENTERLINE AND 12' EACH END. ANY LANDSCAPING INSTALLED AROUND THE UCDA SHALL BE INSTALLED SO AS TO PROVIDE MINIMUM CLEARANCES AS NEEDED FOR THE PLANTING.
5. UNLESS OTHERWISE NOTED, ALL EXPOSED FITTINGS SHALL BE FLANGED AND ALL BURIED FITTINGS SHALL BE MECHANICAL JOINT.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	FIRE LINE DOUBLE DETECTOR CHECK ASSEMBLY	SECTION WATER W-7
---	---	-------------------

FIRE DEPARTMENT CONNECTION (FDC)
F.D.C. 4" OR GREATER

NOTES:
1. ALL ABOVE-GROUND PARTS OF THE FDC ASSEMBLY, INCLUDING PIPING, SHALL BE PAINTED RED. PAINT SHALL BE POLYURETHANE, "SAFETY RED" OR EQUIVALENT.
2. PROVIDE AN INLINE CHECK VALVE ONLY WHERE FDC CONNECTIONS ARE INSTALLED AND FIRE HYDRANTS ARE CONNECTED UPSTREAM.
3. FDC MAY BE MOUNTED ON DOUBLE CHECK DETECTOR ASSEMBLIES (UCDA). SEE DETAIL W-8.
4. WHERE CHECK VALVES ARE INSTALLED BELOW GRADE PROVIDE A PRECAST UTILITY BOX SIZED TO ADEQUATELY MAINTAIN THE CHECK VALVE ASSEMBLY.
5. PROVIDE A SIGN INDICATING WHAT BUILDING(S) OR UNIT(S) THE FDC CONNECTION SUPPLIES WATER TO.
6. PROVIDE UNOBSTRUCTED CLEAR ZONE AROUND FDC CONNECTION OF 4' TO THE REAR AND 3'-1/2' TO SIDES AND FRONT. NO BUILDINGS, FENCES, TREES OR LARGE SHRUBBERY SHALL BE LOCATED IN CLEAR ZONE.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	FIRE DEPARTMENT CONNECTION	SECTION WATER W-10
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COMMERCIAL WATER SERVICE
4" PIPE AND ABOVE WITH TRAFFIC LID

NOTES:
1. METERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
2. ALUMINUM MATCH SHALL BE NOT 4" FOR METERS 1/2" AND 3/4". MATCH FOR METERS 1" AND ABOVE SHALL BE 1/2" 1/4".
3. UNLESS OTHERWISE NOTED, ALL EXPOSED FITTINGS SHALL BE FLANGED AND ALL BURIED FITTINGS SHALL BE MECHANICAL JOINT.
4. MINIMUM PIPE QUANTITY IS 5'.
5. VALVE DIMENSIONS TO BE 6"x2".
6. USE HIRMAK COUPLINGS.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	COMMERCIAL WATER SERVICE	SECTION WATER W-21
---	---------------------------------	--------------------

MULTI-FAMILY WATER SERVICE

NOTES:
1. WATER SERVICE TO BE INSTALLED WITH A SOLID COPPER LOCATING WIRE. SEE STANDARD DETAIL (6-15) FOR LOCATING WIRE INSTALLATION.
2. MAXIMUM NUMBER OF METERS ON ONE 1/2" INCH (12') SERVICE TO BE FOUR (4).
3. LONG SERVICES UNDER PAVEMENT REQUIRE 4" CASING OF PVC, HDPE OR STEEL.
4. ABOVE-GROUND PIPING MUST BE INSULATED FOR FREEZE PROTECTION.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	MULTI-FAMILY WATER SERVICE	SECTION WATER W-23
---	-----------------------------------	--------------------

2" BLOWOFF ASSEMBLY

NOTES:
1. ALL ABOVE-GROUND PARTS OF THE BLOWOFF ASSEMBLY, INCLUDING PIPING, SHALL BE PAINTED RED. PAINT SHALL BE POLYURETHANE, "SAFETY RED" OR EQUIVALENT.
2. ISOLATION VALVES SHALL BE CHAINED LOCKED IN THE OPEN POSITION.
3. BLOWOFF PREVENTER ASSEMBLY SHALL BE PROTECTED WITH TAMPER SWITCHES AND TIES INTO THE FIRE ALARM SYSTEM.
4. NO LANDSCAPING OR OBSTRUCTIONS ARE PERMITTED WITHIN THE CLEAR ZONE. CLEAR ZONE TO BE 1' EACH SIDE OF CENTERLINE AND 12' EACH END. ANY LANDSCAPING INSTALLED AROUND THE UCDA SHALL BE INSTALLED SO AS TO PROVIDE MINIMUM CLEARANCES AS NEEDED FOR THE PLANTING.
5. UNLESS OTHERWISE NOTED, ALL EXPOSED FITTINGS SHALL BE FLANGED AND ALL BURIED FITTINGS SHALL BE MECHANICAL JOINT.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	2" BLOWOFF ASSEMBLY	SECTION WATER W-28
---	----------------------------	--------------------

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

811
Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTORS SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR OR ANY OTHER PERSONS DURING THE COURSE OF ANY NEARBY UTILITIES OR OF EXISTING UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE SAFETY OF THE WORKER OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY UTILITIES OR OF EXISTING UTILITIES.
COMMENTS: ©2023 ATWELL LLC NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.
24 HOUR EMERGENCY CONTACT

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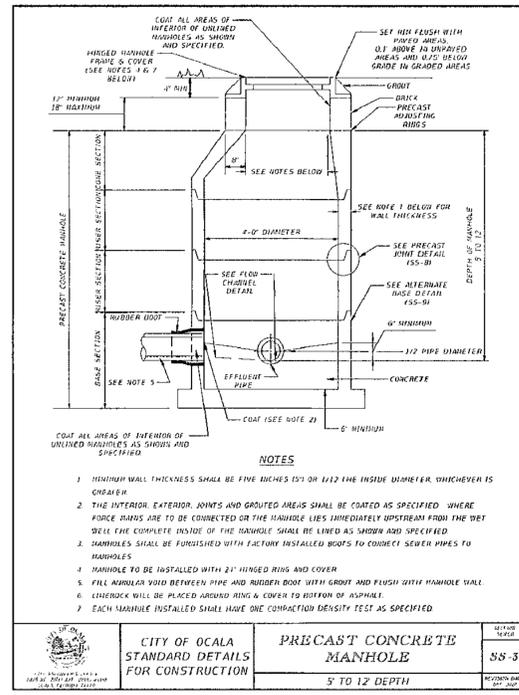
SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SMC OCALA, LLC
MAJOR SITE PLAN
UTILITY DETAILS

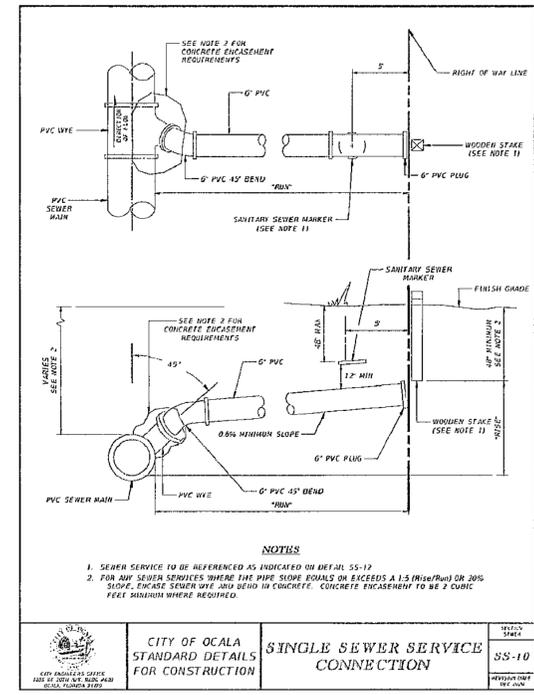
DATE: MAY 2, 2023
A1/14/23 MARION COUNTY
A1/20/23 SWFWMD
A8/18/23 MARION COUNTY
A9/18/23 MARION COUNTY

REVISIONS
LAWRENCE
11/20/23

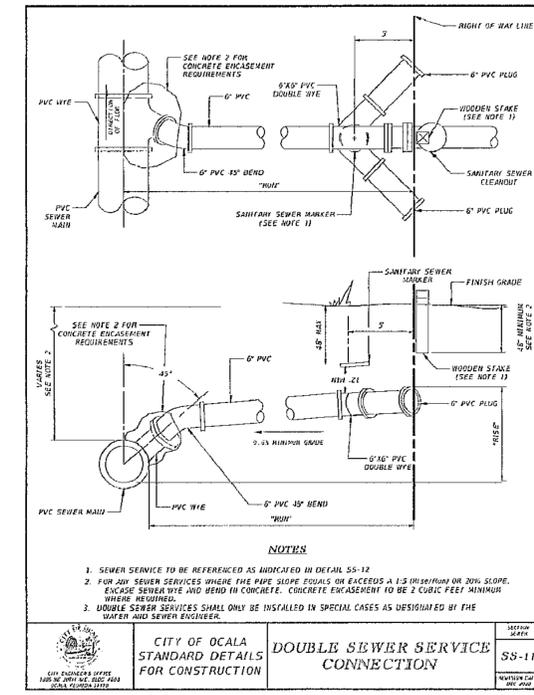
DRAWN BY: MC
CHECKED BY: DGG
PROJECT MANAGER: KL
JOB #: 22005199
FILE CODE: #
SHEET NO. C508



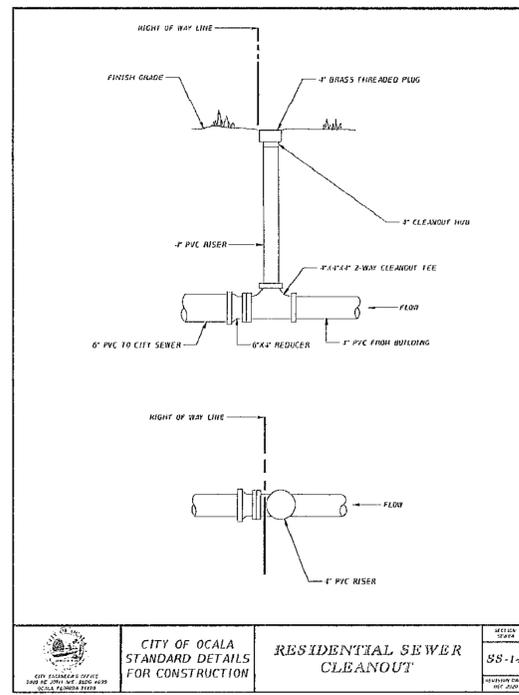
CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION
**PRECAST CONCRETE
MANHOLE**
5' TO 12' DEPTH
SS-3



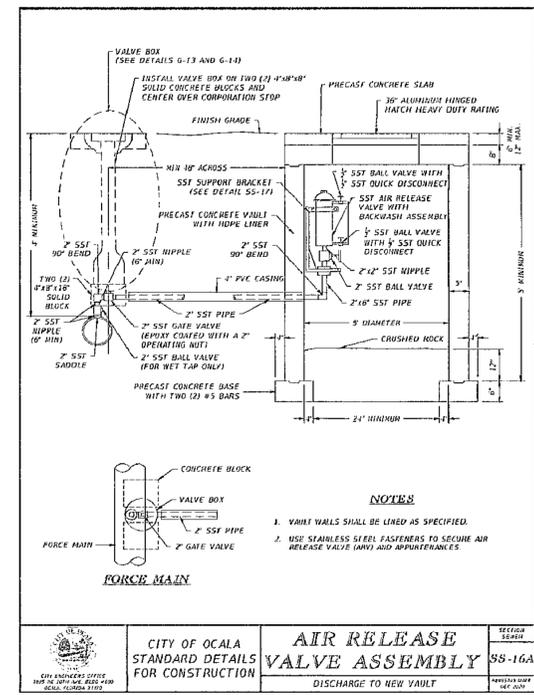
CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION
**SINGLE SEWER SERVICE
CONNECTION**
SS-10



CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION
**DOUBLE SEWER SERVICE
CONNECTION**
SS-11



CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION
**RESIDENTIAL SEWER
CLEANOUT**
SS-14



CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION
**AIR RELEASE
VALVE ASSEMBLY**
DISCHARGE TO NEW VAULT
SS-16A

SW 52ND ST
COUNTY ROAD NO. 4-S (R)
(60' PUBLIC RIGHT-OF-WAY)

PRE OUTFALL 2

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION NO. 2023-0004
APPROVAL DATE: 10/30/23
XX XX ACRES
DRAINAGE BASIN ID: A CEEAGE
EXPIRATION DATE: 10/30/25

EXISTING SURFACE FLOW DIRECTION

All construction shall conform to the construction standards contained in the Marion County Land Development Regulations. The contractor shall be responsible for obtaining the exact location of all existing utilities before commencing work, and shall be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all existing utilities.

NOTICE
The approval of these plans is limited to the PRE-DEVELOPMENT WEIGHTED CN

BASIN NAME	LAND USE	ACRES	COEFFICIENT	WEIGHTED CN
PRE BASIN 1	IMPERVIOUS	98	A	0.00
	WOOD-GRASS, GOOD	32	A	6.67
WEIGHTED CN				6.67
PRE BASIN 2	IMPERVIOUS	98	A	0.00
	WOOD-GRASS, GOOD	32	A	29.46
WEIGHTED CN				29.46
TOTAL		32		36.13

- STORMWATER DESIGN CRITERIA:**
- THE PROJECT IS WITHIN THE OCKLAWAHA RIVER BASIN AND IS DISCHARGING INTO SILVER RIVER DRAIN (WBD 27728) WHICH IS NOT AN IMPAIRED WATER BODY.
 - THE POST-DEVELOPMENT PEAK RATE OF DISCHARGE IS LIMITED TO THE PRE-DEVELOPMENT PEAK RATE OF DISCHARGE FOR THE MEAN ANNUAL 24-HOUR, 10-YEAR 24-HOUR, 25-YEAR 24-HOUR, AND 100-YEAR 24-HOUR DESIGN STORM EVENTS.
 - DUE TO THE DOWNSTREAM CLOSED BASIN CONDITION, THE SITE SHALL RETAIN THE DIFFERENCE BETWEEN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT RUNOFF VOLUME FROM THE 100-YEAR 24-HOUR STORM EVENT.
 - PER SWFWMD AND MARION COUNTY REQUIREMENTS, THE PROJECT IS REQUIRED TO PROVIDE THE WATER QUALITY TREATMENT VOLUME FROM THE FIRST ONE-HALF INCH OF RUNOFF (FOR PROJECTS WITH DRAINAGE AREAS LESS THAN 100 ACRES), THE RUN-OFF FROM THE DCCA (DIRECTLY CONNECTED IMPERVIOUS AND SEMI-IMPERVIOUS AREAS) NEEDS TO BE SEPARATED FROM ANY OTHER CONTRIBUTING AREAS.

811
Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROPRIATE WAY ONLY AND HAVE NOT BEEN REPRESENTED BY THE CONTRACTOR'S REPRESENTATIVE. THE CONTRACTOR SHALL ESTABLISH THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

NOTICE
CONSTRUCTION FOR THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE CITY OF OCALA NOR MARION COUNTY IS EXPECTED TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF ANY PERSONS OR PROPERTY IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

24 HOUR EMERGENCY CONTACT

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SFC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
CITY OF OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
PUD MASTER PLAN
PRE-DEVELOPMENT DRAINAGE MAP

DATE: FEB 21, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY

REVISIONS

11/20/23

DRAWN BY: KL
CHECKED BY: DGG
PROJECT MANAGER: DGG
JOB #: 22005199
FILE CODE: ##
SHEET NO. MAP-1



SW 60TH AVE
COUNTY ROAD NO. SW (R)
(100' PUBLIC RIGHT-OF-WAY)

EXISTING TIME OF CONCENTRATION
30 MINUTES

PRE BASIN 1
6.67 AC

EXISTING TIME OF CONCENTRATION
31 MINUTES

PRE BASIN 2
29.46 AC

PRE OUTFALL 1

NOT ISSUED FOR CONSTRUCTION
CAD FILE: 5185-PRF & POST DRAINAGE MAP

SW 52ND ST
COUNTY ROAD NO. 4-3 (R)
(60' PUBLIC RIGHT-OF-WAY)

POST OUTFALL 2

DEVELOPMENT REVIEW COMMITTEE
LEGISLATION COUNTY, FLORIDA

APPLICATION # 30064
DRAINAGE BASIN BOUNDARY
APPROVAL DATE: 10/30/23
XX XX ACRES
DRAINAGE BASIN AREA
EXPIRATION DATE: 10/30/25

POST-DEVELOPMENT DCIA AREA
All construction shall conform to the construction standards contained in the Marion County Land Use Ordinance. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer of Marion County.

POST-DEVELOPMENT WEIGHTED CN				
BASIN NAME	LAND USE	SOIL TYPE	WEIGHTING	ACRES
POST BASIN 1	IMPERVIOUS	A	10.53	2.67
	OPEN SPACE, GOOD	-	-	3.60
				6.27
POST BASIN 2	IMPERVIOUS	A	10.53	29.86
	OPEN SPACE, GOOD	-	-	19.33
				29.86
TOTAL				38.13

- STORMWATER DESIGN CRITERIA:**
- THE PROJECT IS WITHIN THE OCKAWAHA RIVER BASIN AND IS DISCHARGING INTO SILVER RIVER DRAIN (WBD 27728) WHICH IS NOT AN IMPAIRED WATER BODY.
 - THE POST-DEVELOPMENT PEAK RATE OF DISCHARGE IS LIMITED TO THE PRE-DEVELOPMENT PEAK RATE OF DISCHARGE FOR THE MEAN ANNUAL 24-HOUR, 10-YEAR 24-HOUR, 25-YEAR 24-HOUR, AND 100-YEAR 24-HOUR DESIGN STORM EVENTS.
 - DUE TO THE DOWNSTREAM CLOSED BASIN CONDITION, THE SITE SHALL MAINTAIN THE DIFFERENCE BETWEEN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT RUNOFF VOLUME FROM THE 100-YEAR 24-HOUR STORM EVENT.
 - PER SWFWMD AND MARION COUNTY REQUIREMENTS, THE PROJECT IS REQUIRED TO PROVIDE THE WATER QUALITY TREATMENT VOLUME FROM THE FIRST ONE-HALF INCH OF RUNOFF (FOR PROJECTS WITH DRAINAGE AREAS LESS THAN 100 ACRES), THE RUN-OFF FROM THE DCIA (DIRECTLY CONNECTED IMPERVIOUS AND SEMI-IMPERVIOUS AREAS) NEEDS TO BE SEPARATED FROM ANY OTHER CONTRIBUTING AREAS.

811
Know what's below.
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THE LOCATION OF EXISTING UTILITIES ARE SHOWN BY AN APPROXIMATE LINE AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO UTILITIES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR EMERGENCY CONTACT

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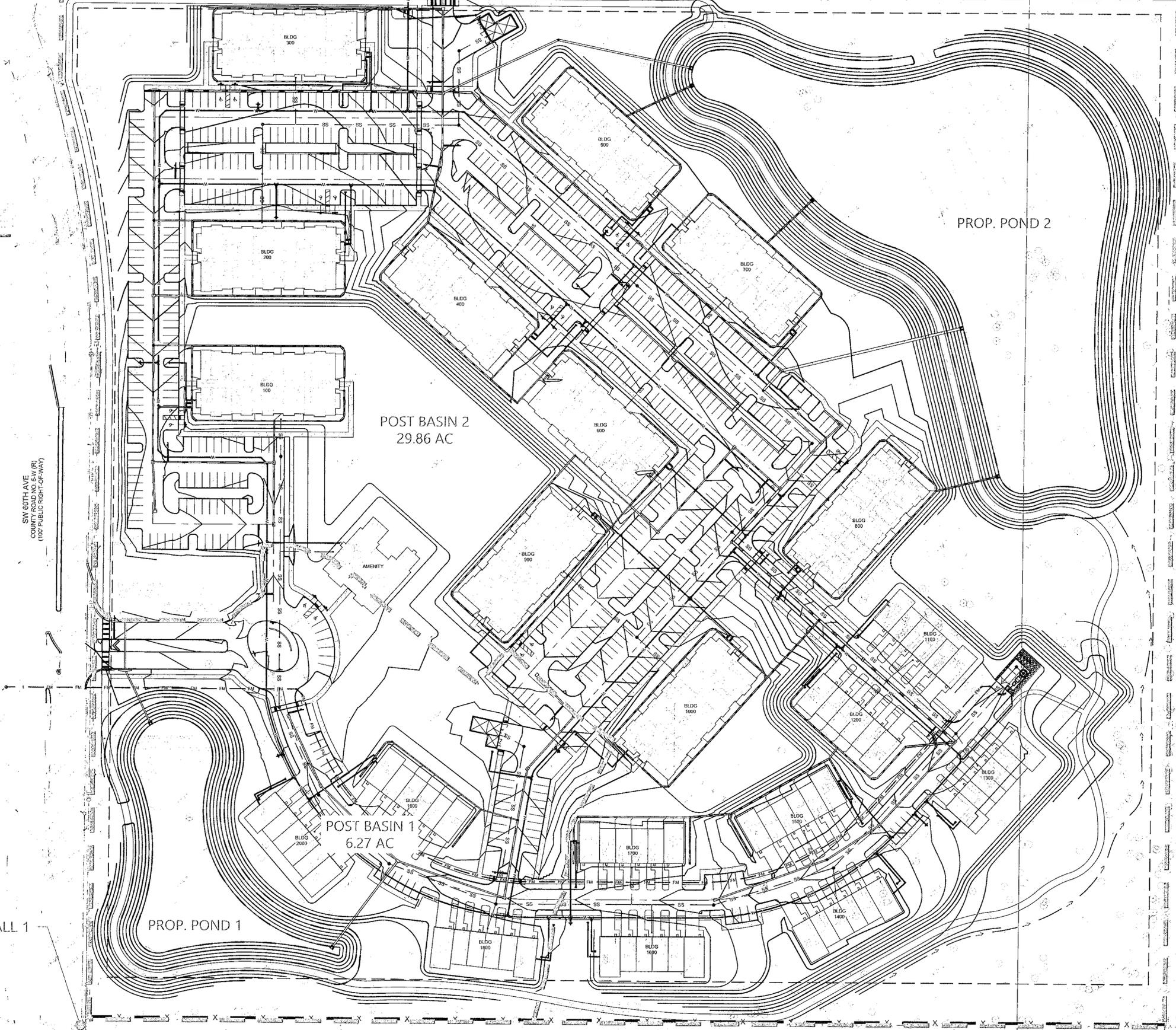
SEC 04 | TOWNSHIP 16S | RANGE 21E
SW 60TH AVE AND SW 52ND ST
CITY OF OCALA
MARION COUNTY, FLORIDA

OCALA SOUTH
MERRIMAC SWC OCALA, LLC
PUD MASTER PLAN
POST-DEVELOPMENT DRAINAGE MAP

DATE FEB 21, 2023
4/14/23 MARION COUNTY
4/20/23 SWFWMD
8/8/23 MARION COUNTY

REVISIONS

Drawn by: KL
Checked by: DGG
Project Manager: DGG
Job #: 22005199
File Code: ##
Sheet No. MAP-2



SW 60TH AVE
COUNTY ROAD NO. 5-W (R)
(100' PUBLIC RIGHT-OF-WAY)

POST OUTFALL 1

PROP. POND 1

POST BASIN 2
29.86 AC

POST BASIN 1
6.27 AC

PROP. POND 2

RECEIVED
10/31/23
Marion County
City of Ocala Engineer

CAD FILE: 5199-PR & POST DRAINAGE MAP
NOT ISSUED FOR CONSTRUCTION

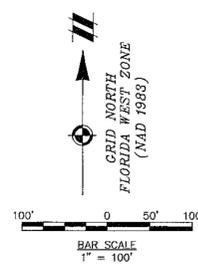
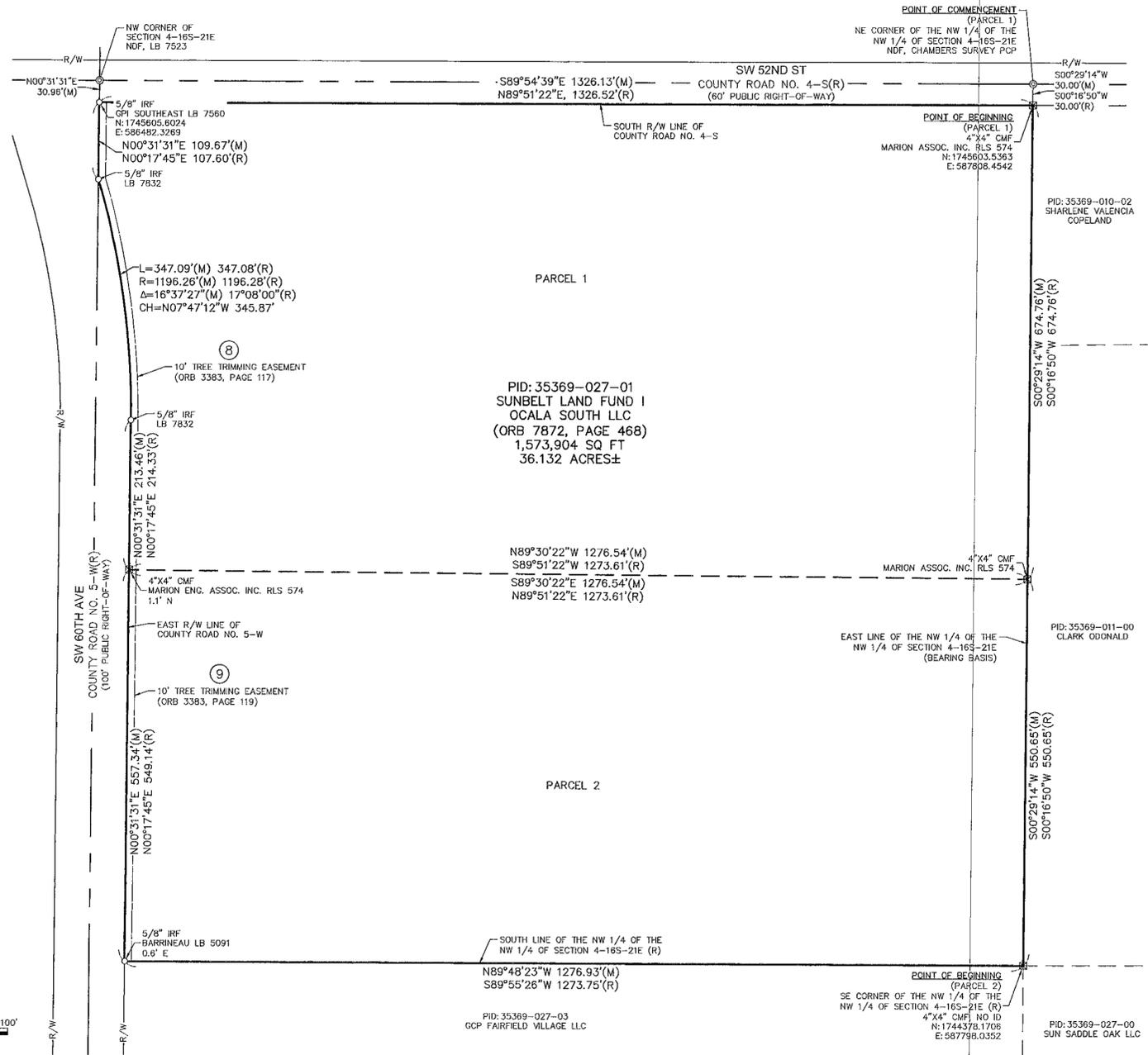
EXHIBIT "A" TITLE LEGAL DESCRIPTION

PARCEL NO. 1: (35369-027-01)
 FOR A POINT OF REFERENCE, COMMENCE AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 00°16'50" WEST, 30.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 4-S (60 FEET WIDE); THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, CONTINUE SOUTH 00°16'50" WEST, 674.76 FEET; THENCE SOUTH 89°51'22" WEST, 1273.61 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 5-W (100 FEET WIDE); THENCE ALONG AND WITH SAID EAST RIGHT-OF-WAY LINE, NORTH 00°17'45" EAST, 214.33 FEET TO THE POINT OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A CENTRAL ANGLE OF 17°08'00" AND A RADIUS OF 1196.28 FEET; THENCE ALONG AND WITH SAID ARC OF CURVE, A DISTANCE OF 347.08 FEET TO THE POINT OF TANGENCY; THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, NORTH 00°17'45" EAST, 107.60 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF THE AFOREMENTIONED COUNTY ROAD NO. 4-S; THENCE ALONG AND WITH SAID SOUTH RIGHT-OF-WAY LINE, NORTH 89°51'22" EAST, 1326.52 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2: (35369-027-02)
 A PORTION OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, BEING MORE FULLY DESCRIBED AS FOLLOWS:
 FOR A POINT OF BEGINNING, COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 4, THENCE SOUTH 89°55'26" WEST, ALONG THE SOUTH BOUNDARY OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, 1273.75 FEET TO THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 5-W (100 FEET WIDE); THENCE NORTH 00°17'45" EAST, 549.14 FEET ALONG SAID RIGHT-OF-WAY LINE; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, NORTH 89°51'22" EAST, 1273.81 FEET TO THE EAST BOUNDARY OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°16'50" WEST, ALONG SAID EAST BOUNDARY, 550.65 FEET TO THE POINT OF BEGINNING.

TITLE COMMITMENT

- FIDELITY NATIONAL TITLE INSURANCE COMPANY
 COMMITMENT ORDER NO. 057723
 EFFECTIVE DATE: 09/06/2022 AT 10:30AM
 SCHEDULE B SECTION II - EXCEPTIONS
- TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
 - TERMS, CONDITIONS AND RESTRICTIONS AS SHOWN ON THAT CERTAIN DEED RECORDED IN OFFICIAL RECORDS BOOK 987, PAGE 1893, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
 - TERMS AND CONDITIONS AS SHOWN ON THAT CERTAIN AGREEMENT RECORDED BY 19/ 1979 IN OFFICIAL RECORDS BOOK 987, PAGE 1897, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
 - TERMS, CONDITIONS AND RESTRICTIONS AS SHOWN ON THAT CERTAIN DEED RECORDED IN OFFICIAL RECORDS BOOK 1013, PAGE 1603, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
 - TERMS AND CONDITIONS AS SHOWN ON THAT CERTAIN AGREEMENT RECORDED 3/20/1980 IN OFFICIAL RECORDS BOOK 1013, PAGE 1607, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
 - RIGHT OF WAY EASEMENT GIVEN TO SUMNER ELECTRIC COOPERATIVE, INC. RECORDED 5/03/ 1986 IN OFFICIAL RECORDS BOOK 271, PAGE 1, AS MODIFIED BY THAT CERTAIN INSTRUMENT RECORDED 12/03/ 1974 IN OFFICIAL RECORDS BOOK 663, PAGE 382, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
 - RIGHT-OF-WAY DEED GIVEN TO MARION COUNTY, FLORIDA, RECORDED 10/08/ 1971 IN OFFICIAL RECORDS BOOK 482, PAGE 582, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -DOES NOT AFFECT PROPERTY (SOUTHWEST 60TH STREET RIGHT-OF-WAY)
 - TREE TRIMMING EASEMENT GIVEN TO FLORIDA POWER CORPORATION, RECORDED 4/02/2003 IN OFFICIAL RECORDS BOOK 3383, PAGE 117, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, AS SHOWN ON SURVEY
 - TREE TRIMMING EASEMENT GIVEN TO FLORIDA POWER CORPORATION, RECORDED 4/02/ 2003 IN OFFICIAL RECORDS BOOK 3383, PAGE 119, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, AS SHOWN ON SURVEY
 - NO PART OF THE SUBJECT PROPERTY LYING WITHIN THE BOUNDARIES OF COUNTY ROAD NO. CR4-S IS INSURED.
 - NO PART OF THE SUBJECT PROPERTY LYING WITHIN THE BOUNDARIES OF COUNTY ROAD NO. CR5-W IS INSURED.
 - TERMS AND CONDITIONS OF THAT CERTAIN DEVELOPERS AGREEMENT BETWEEN CITY OF OCALA, FLORIDA, LONGGREEN FARMS, INC., AND SWC MANAGEMENT, LLC, RECORDED 02/24/2022 IN OFFICIAL RECORDS BOOK 7815, PAGE 753, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
 - MATTERS SET FORTH ON THAT CERTAIN SURVEY PREPARED BY ATWELL DATED OCTOBER 20, 2021 WITH AN UPDATED DATE OF APRIL 14, 2022, BEARING JOB NUMBER #21002752 -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)

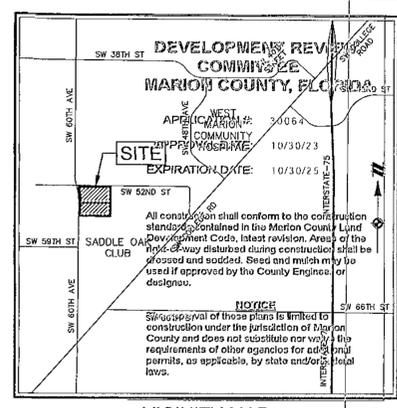


ABBREVIATIONS

BM	=	BENCHMARK
CMF	=	CONCRETE MONUMENT FOUND
CMP	=	CORRUGATED METAL PIPE
CNC	=	CONCRETE
CPP	=	CORRUGATED PLASTIC PIPE
CULV.	=	CULVERT
EX	=	EXISTING
HYD	=	HYDRANT
INV.	=	INVERT
IRCF	=	IRON ROD & CAP FOUND
IRF	=	IRON ROD FOUND
LB	=	LICENSED BUSINESS
(M)	=	MEASURED
MH	=	MANHOLE
NAD	=	NORTH AMERICAN DATUM
NAVd	=	NORTH AMERICAN VERTICAL DATUM
NDF	=	NAIL & DISK FOUND
ORS	=	OFFICIAL RECORD BOOK
PID	=	PARCEL IDENTIFICATION NUMBER
PVC	=	POLYVINYL CHLORIDE
(R)	=	RECORD
RCP	=	REINFORCED CONCRETE PIPE
RS	=	REGISTERED LAND SURVEYOR
RTK	=	REAL-TIME KINEMATIC
R/W	=	RIGHT-OF-WAY
SAN	=	SANITARY
SQ FT	=	SQUARE FEET
VRS	=	VIRTUAL REFERENCE STATION

LEGEND

⊕	BENCHMARK	□	CATCH BASIN
⊙	NAIL & DISK FOUND	⌒	CULVERT
⊙	IRON ROD FOUND	⊕	TITLE EXCEPTION NUMBER
⊗	CONCRETE MONUMENT FOUND	▭	ASPHALT PAVEMENT
○	SANITARY MANHOLE	---	SUBJECT BOUNDARY LINE
○ C.O.	SANITARY CLEAN OUT	---	ADJACENT BOUNDARY LINE
⊙	SIGN	---	R/W RIGHT OF WAY LINE
⊙	UTILITY POLE	---	SECTION LINE
⊙	GUY ANCHOR	---	EASEMENT
⊙	UTILITY HANDHOLE	X X	FENCE
□	TELECOM RISER	—O—O—	OVERHEAD UTILITY
□	ELECTRIC RISER	—T—T—	UNDERGROUND TELECOM
⊙	WARNING POST FIBER	—D—D—	SANITARY SEWER
⊙	WATER VALVE	—S—S—	STORM SEWER
⊙	HYDRANT	—40—	GROUND CONTOUR



DATUMS

Horizontal: Grid North, NAD83, Florida State Plane, West Zone
 (North American Datum of 1983) (2011)
 US Survey Foot, Marion County, Florida
 Vertical: NAVD88 (North American Vertical Datum of 1988)
 Geoid: Geoid18 (Conus)

SURVEY NOTES

- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT EXPRESS WRITTEN CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
- BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), DERIVING A BEARING OF S00°29'14"W ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST.
- THE PROPERTY SHOWN AND DESCRIBED HEREIN HAS AN AREA OF 1,573,904 SQUARE FEET OR 36.132 ACRES, MORE OR LESS.
- THE PROPERTY IS DESIGNATED BY MARION COUNTY AS TAX MAP PARCEL ID NUMBER 35369-027-01. OTHER THAN THE SUBJECT PROPERTY, NO OTHER PROPERTIES ARE INCLUDED WITHIN SAID TAX MAP PARCEL.
- THERE ARE NO BUILDINGS ON THIS SITE.
- NORTH ARROW, BEARINGS, AND HORIZONTAL ACCURACY ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM RTK OBSERVATIONS USING A FLORIDA PERMANENT REFERENCE NETWORK SINGLE BASE LINE SOLUTION, COMBINED WITH A TRIMBLE VRS NOW REAL TIME NETWORK SOLUTION, AND AVERAGED FOR REDUNDANCY.
- ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE COMBINED NETWORK SOLUTION OBTAINED ABOVE WAS CHECKED AGAINST AND CONFORMS TO RECOVERED LOCAL NGS BENCHMARK K 593 (PUBLISHED ELEVATION: 85.74').
- WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION NOR WAS ANY EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS ON THE SUBJECT PROPERTY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THE PROPERTY HAS ACCESS VIA SOUTHWEST 62ND STREET, WHICH IS A PUBLIC RIGHT-OF-WAY.
- EQUIPMENT USED FOR MEASUREMENT:
 ANGULAR: TRIMBLE R12/S5 ROBOTIC TOTAL STATION
 LINEAR: TRIMBLE R12/S5 ROBOTIC TOTAL STATION
 GPS: TRIMBLE R12 GPS RECEIVER
- STATE, COUNTY, & LOCAL BUFFERS AND SETBACKS MIGHT EXIST ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12083C0514E, WHICH BEARS AN EFFECTIVE DATE OF 04/19/2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S ALTA CERTIFICATION

TO: SUNBELT LAND FUND I - OCALA SOUTH, LLC, A FLORIDA LIMITED LIABILITY COMPANY; FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A)(B), 7(A)(B), 8, 9, 11(A), 13, 14, 16 & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 02/08/2023.

DATE OF MAP OR PLAT: 02/14/2023
 Digitally signed by Clyde Eldredge
 Date: 2023.08.08 19:35:32 -04'00'
 August 4, 2023

Clyde R. Eldredge DATE
 FLORIDA PROFESSIONAL LAND SURVEYOR AND MAPPER #7076

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE APPLICABLE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE SJ-17-030 - 052, FLORIDA ADMINISTRATIVE CODE.

August 4, 2023
 Clyde R. Eldredge DATE
 FLORIDA LICENSED SURVEYOR AND MAPPER #7076
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.



811
 Know what's below.
 Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROPRIATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ATWELL
 866.850.4200 www.atwell-group.com
 1800 PARKWAY PLACE, SUITE 700
 MARIETTA, GA 30067
 FLORIDA SURVEYING LICENSE #LS 7832

LOCATED IN SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

MERRIMAC SWC OCALA, LLC.
 ALTA/NSPS LAND TITLE SURVEY
 SW 60TH AVE OCALA, FL

DATE 02/14/2023

08/04/23 ADD TOPOGRAPHIC DATA

REVISIONS

DWG. DLG	CH. KMK
P.M. CRE	
CODE AS	
JOB 22005199	
SHEET NO. 1 OF 3	



Know what's below. Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDICATED BY ANY REPRESENTATIVE OF THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES FOR ANY COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
FLORIDA SURVEY CO.# LB 7832



LOCATED IN SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

CLIENT: MERRIMAC SWC OCALA, LLC.
ALTA/NSPS LAND TITLE SURVEY
SW 60TH AVE OCALA, FL

DATE: 02/14/2023

08/04/23 ADD TOPOGRAPHIC DATA

REVISIONS

DWG. D.L.G. CH. K.M.K.
P.M. CRE
CODE AS
JOB 22005199
SHEET NO. 2 OF 3

POINT OF CORRECTION REVIEW (PANEL 1)
NE CORNER OF THE NW 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA
NDF, CHAMBERS SURVEY PCP

APPLICATION # 30064
APPROVAL DATE 7/19/2023
EXPIRATION DATE 10/30/28 50.00' (M)
30.00' (R)

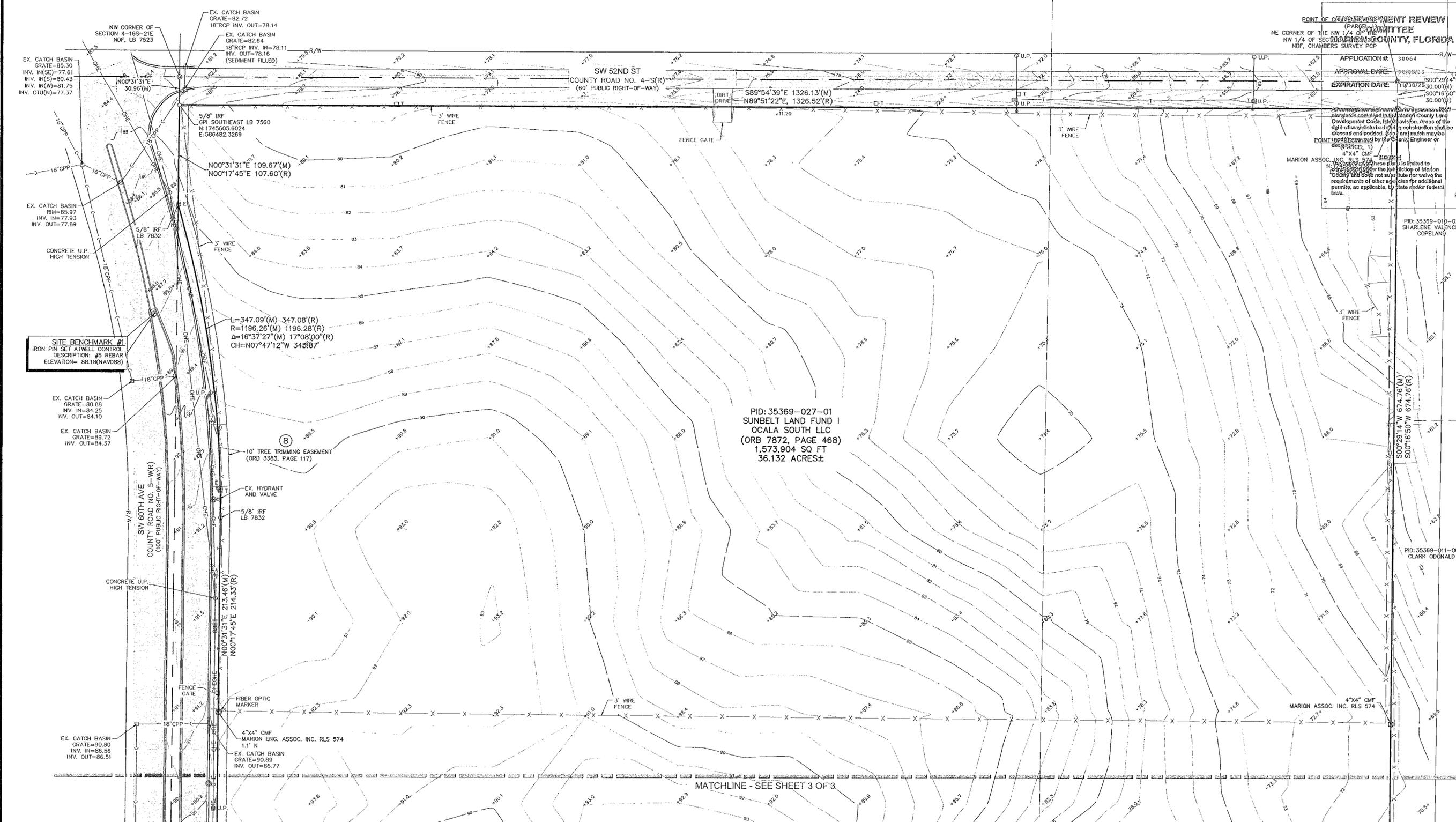
POINT OF BEGINNING by Marion County Land Development Code for the jurisdiction of Marion County and does not substitute for or waive the requirements of other acts for additional permits, as applicable, by state and/or federal laws.

PID: 35369-01-02
SHARLENE VALENCIA
COPELAND

PID: 35369-011-00
CLARK OGDONALD

PID: 35369-027-01
SUNBELT LAND FUND I
OCALA SOUTH LLC
(ORB 7872, PAGE 468)
1,573,904 SQ FT
36.132 ACRES±

MATCHLINE - SEE SHEET 3 OF 3

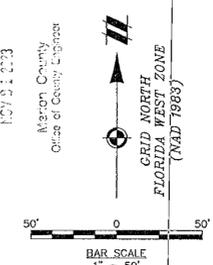


ABBREVIATIONS

BM	=	BENCHMARK
CMF	=	CONCRETE MONUMENT FOUND
CMP	=	CORRUGATED METAL PIPE
CONC	=	CONCRETE
CPP	=	CORRUGATED PLASTIC PIPE
CULV.	=	CULVERT
EX.	=	EXISTING
HYD	=	HYDRANT
INV.	=	INVERT
IRCP	=	IRON ROD & CAP FOUND
IRF	=	IRON ROD FOUND
LB	=	LICENSED BUSINESS
(M)	=	MEASURED
MANHOLE	=	MANHOLE
NAD	=	NORTH AMERICAN DATUM
NAVD	=	NORTH AMERICAN VERTICAL DATUM
NDF	=	NAIL & DISK FOUND
ORB	=	OFFICIAL RECORD BOOK
PID	=	PARCEL IDENTIFICATION NUMBER
PVC	=	POLYVINYL CHLORIDE
(R)	=	RECORD
RCP	=	REINFORCED CONCRETE PIPE
RLS	=	REGISTERED LAND SURVEYOR
RTK	=	REAL-TIME KINEMATIC
R/W	=	RIGHT-OF-WAY
SAN	=	SANITARY
SQ FT	=	SQUARE FEET
VRS	=	VIRTUAL REFERENCE STATION

LEGEND

⊕	BENCHMARK	□	CATCH BASIN
⊙	NAIL & DISK FOUND	⊔	CULVERT
⊖	IRON ROD FOUND	①	TITLE EXCEPTION NUMBER
⊗	CONCRETE MONUMENT FOUND	▨	ASPHALT PAVEMENT
○	SANITARY MANHOLE	---	SUBJECT BOUNDARY LINE
○ C.O.	SANITARY CLEAN OUT	---	ADJACENT BOUNDARY LINE
⊙	SIGN	---	RIGHT OF WAY LINE
⊙	UTILITY POLE	---	SECTION LINE
⊙	GUY ANCHOR	---	EASEMENT
⊙	UTILITY HANDHOLE	X-X	FENCE
⊙	CATV TELECOM RISER	OHE	OVERHEAD UTILITY
⊙	CATV ELECTRIC RISER	---	UNDERGROUND TELECOM
⊙	WARNING POST FIBER	---	SANITARY SEWER
⊙	SANITARY	---	STORM SEWER
⊙	HYDRANT	---	GROUND CONTOUR



OCALA SOUTH

CODE MINIMUM LANDSCAPE PLANS (CMLA)

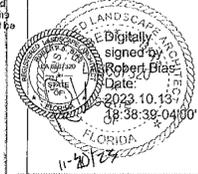
OCALA, MARION COUNTY, FLORIDA
SWC MANAGAGEMENT, LLC

**DEVELOPMENT REVIEW
COMMITTEE**
MARION COUNTY, FLORIDA



APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.



NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute for any other requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



SUBMITTAL HISTORY

DATE	DESCRIPTION / COMMENTS
05/02/2023	CMLA SUBMITTAL
08/09/2023	REVISIONS PER COMMENTS
09/22/2023	REVISIONS PER COMMENTS

PROJECT TEAM

DISCIPLINE	CONTACT INFORMATION
CLIENT	MERRIMAC SWC OCALA, LLC 17 NE 4TH STREET FORT LAUDERDALE, FLORIDA 33301 954.822.6556
LANDSCAPE ARCHITECT	RVI PLANNING + LANDSCAPE ARCHITECTURE ROBERT BIAS, P.L.A. 111 NORTH MAGNOLIA AVENUE SUITE 1350 ORLANDO, FLORIDA 32801 407.680.0650
CIVIL ENGINEER	ATWELL, LLC 111 NORTH MAGNOLIA AVENUE SUITE 1350 ORLANDO, FLORIDA, 32801 407.743.3524

Sheet List Table	
Sheet Number	Sheet Title
L000	COVER
L001	DRAFTING LEGEND & NOTES
LD100	OVERALL TREE MITIGATION PLAN
LD101	TREE MITIGATION PLAN
LD102	TREE MITIGATION PLAN
LD103	TREE MITIGATION PLAN
LD104	TREE MITIGATION PLAN
LD105	TREE MITIGATION PLAN
LD106	TREE MITIGATION PLAN
LD107	TREE MITIGATION PLAN
LD108	TREE MITIGATION PLAN
LD109	TREE MITIGATION PLAN
LD600	TREE MITIGATION NOTES
LD601	TREE MITIGATION CALCULATIONS
LD602	TREE MITIGATION CALCULATIONS
LD603	TREE MITIGATION CALCULATIONS
LS100	OVERALL LANDSCAPE PLAN
LS101	LANDSCAPE PLAN
LS102	LANDSCAPE PLAN
LS103	LANDSCAPE PLAN
LS104	LANDSCAPE PLAN
LS105	LANDSCAPE PLAN
LS106	LANDSCAPE PLAN
LS107	LANDSCAPE PLAN
LS108	LANDSCAPE PLAN
LS109	LANDSCAPE PLAN
LS500	LANDSCAPE DETAILS
LS600	LANDSCAPE SCHEDULE & NOTES
LG100	LIGHTING PLAN
LI100	IRRIGATION PLAN
LI501	IRRIGATION PLAN
LI502	IRRIGATION PLAN
LI503	IRRIGATION PLAN
LI601	IRRIGATION PLAN

PROJECT LOCATION



RECEIVED

10/31/2023
Marion County
Office of Planning & Design

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB

- REVISIONS
- ▲ UPDATES PER COMMENT
 - ▲ UPDATES PER COMMENT
 - ▲
 - ▲
 - ▲

COVER

L000

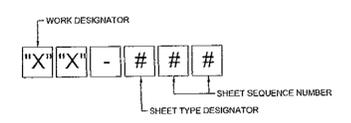
PLAN SET FORMAT DESCRIPTION:

THE CONSTRUCTION DATA INCLUDED IN THIS PLAN SET CONFORMS TO THE UNITED STATES NATIONAL CAD STANDARD (NCS) "WIDEPLOT" FORMAT. PLEASE REFER TO THIS SHEET (L000) AS A DETAILED LEGEND OF INCLUDED PLAN REFERENCES, LABELS, CALL-OUTS, NOTES, ETC. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH ANY CONFLICTS IN COMPREHENSION OF PLAN SET FOR RESOLUTION.

THIS PLAN SET IS ORGANIZED BY STARTING WITH AN OVERVIEW, OR "BIG PICTURE", OF CONSTRUCTION DATA INCLUDED IN THE DOCUMENT, AND PROCEEDS TO INTRODUCE FURTHER DETAIL THROUGHOUT THE PLAN SET.

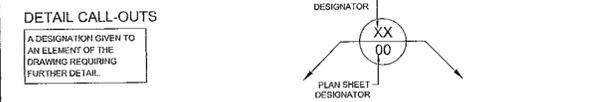
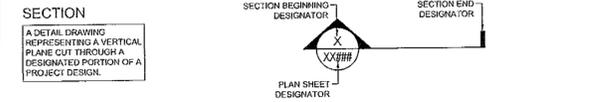
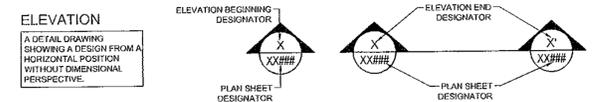
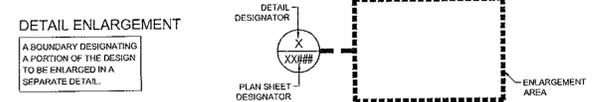
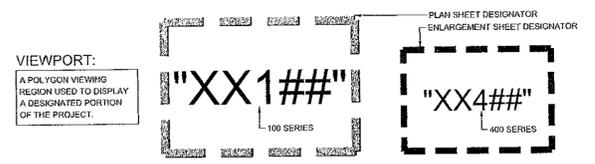
CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS IMMEDIATELY. ALL SUBCONTRACTORS SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY DISCREPANCIES AND DIFFICULTIES. ALL CONSTRUCTION SHALL BE CONSIDERED "TURN-KEY" UNLESS OTHERWISE NOTED - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBCONTRACTOR WORK.

PLAN SHEETS:

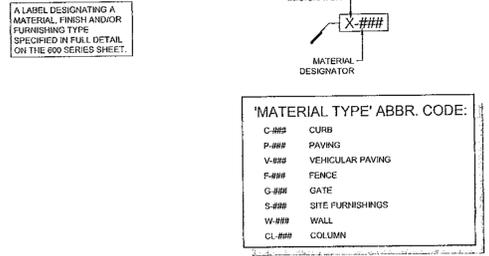


WORK DESIGNATOR CODE:	SHEET TYPE DESIGNATOR CODE:
LD - DEMOLITION	000 - GENERAL
LR - RELOCATION	100 - SITE PLANS
LS - HARDSCAPE	200 - ELEVATIONS
LG - GRADING	300 - SECTIONS
LP - LANDSCAPE	400 - PLAN ENLARGEMENTS
IR - IRRIGATION	500 - DETAILS
LL - LIGHTING	600 - SCHEDULE / MATERIALS
	700 - USER DEFINED
	800 - USER DEFINED
	900 - 3D REPRESENTATIONS

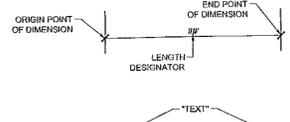
PLAN REFERENCES:



MATERIAL CALL-OUTS:

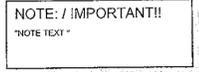


DIMENSION:



LEADER LABEL:

NOTE CALL-OUT:



SITE TABLE/CALCULATIONS CALL-OUT:

TITLE / HEADING TEXT	Required	Provided
Calculation/Note text	#	#
Calculation/Note text	#	#

NOTES:

NORTH ARROW:



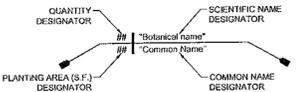
PROJECT PHASE LINE:



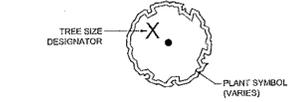
NUMERIC REFERENCE CALL-OUT:



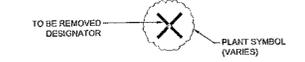
PLANT LABEL:



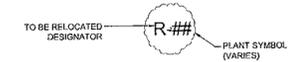
PLANT SYMBOL:



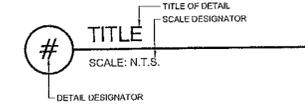
PLANT TO BE REMOVED:



PLANT TO BE RELOCATED:



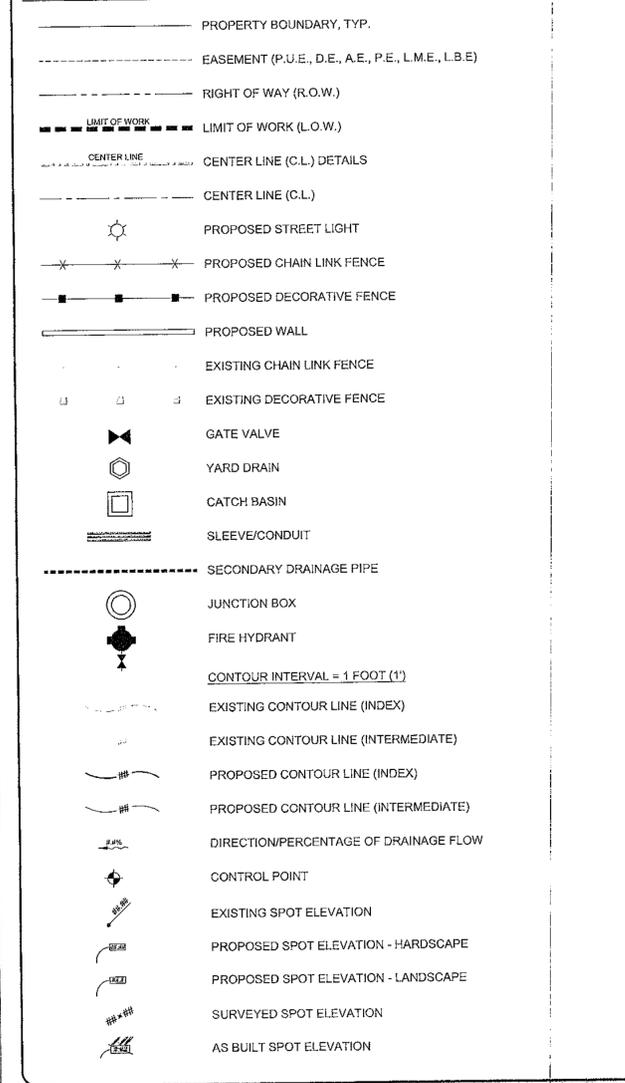
DETAIL TITLE BAR:



ABBREVIATION LEGEND:

A. ANGLE	LN. LINER
B&B. BALLED & BURLAPPED	L.O.W. LIMIT OF WORK
B.R. BARE ROOT	L.P. LOW POINT
B.S. BOTTOM OF STAIRS	MAX. MAXIMUM
B.O.C. BOCK OF CURB	MIN. MINIMUM
BTD. BOOTED TRUNK (SABALS)	ML. MULTIPLE LIMBS/TRUNKS
CAL. CALIPER	N.T.S. NOT TO SCALE
C.B.S. CONCRETE BLOCK STRUCTURE	OA. OVERALL HEIGHT
C.I.P. CAST IN PLACE	OC. ON CENTER
C.L. CENTER LINE	OH. OVERHEAD
C.M.U. CONCRETE MASONRY UNIT	PH. POINT OF BEGINNING
C.Y. CUBIC YARD	PH. PHASE
C.T. CLEAR TRUNK	PH. PLANTED HEIGHT
D.B.H. DIAMETER BREAST HEIGHT	P.R. POINT OF REFERENCE
DBL. DOUBLE TRUNK	P.U.E. PUBLIC UTILITY EASEMENT
D.E. DRAINAGE EASEMENT	P.V.C. POLYVINYL CHLORIDE
DIA. DIAMETER	R. RADIUS
D.I. DRAIN INLET	R.O.W. RIGHT OF WAY
DWF. DWARF	S.F. SQUARE FOOT
E.O.P. EDGE OF PAVEMENT	SGL. SINGLE TRUNK
ESP. ESPALIER	SPECS. SPECIFICATIONS
F.F. FLORIDA FANCY (GRADES & STDS.)	STD. STANDARD
F.F.E. FINISH FLOOR ELEVATION	T.B. TOP OF BEAM
F.G. FINISH GRADE	T.C. TOP OF COPING
FL.#1 FLORIDA NO. 1 (GRADES & STDS.)	T.C.O.L. TOP OF COLUMN
FL.#2 FLORIDA NO. 2 (GRADES & STDS.)	T.P. TOP OF PEDESTAL
FT. FOOT	T.O.B. TOP OF BERM/BANK
GAL. GALLON	T.O.S. TOE OF SLOPE
G.W. GREY WOOD	TRP. TRIPLE TRUNK
H.P. HIGH POINT	TYP. TYPICAL
INT. INTERPOLATED SPOT ELEV.	T.W. TOP OF WALL
INV. INVERT	T.S. TOP OF STAIRS
LAN. LANDING	WD. WOOD
L.B.E. LANDSCAPE BUFFER EASEMENT	
L.F. LINEAL FOOT	

SYMBOL LEGEND:



BASE PLAN & SURVEY DATA:

THE LANDSCAPE ARCHITECTURAL PLANS ARE PREPARED BASED ON THE DATA AND/OR PLANS PROVIDED BY THE PROJECT SURVEY ENGINEER AND/OR ARCHITECT AND ARE SUBJECT TO THE ACCURACY OF THESE ELEMENTS. THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR FIELD DISCREPANCIES OCCURRING DUE TO ERRORS, INACCURACIES, OMISSIONS IN THE BASE INFORMATION PROVIDED TO HIS OFFICE, OR CANNOT BE HELD RESPONSIBLE FOR OMISSIONS IN A TIMELY MANNER IN ORDER TO MEET THE CONSTRUCTION SCHEDULE OF THE PROJECT.

CONTRACTOR TO VERIFY PROPERTY LINES AND SETBACKS BEFORE CONSTRUCTION. CONTRACTOR MUST HAVE PROPERTY LINES STAKED AND LOCATED, AND MUST VERIFY PLAN DIMENSIONS AND FIELD CONDITIONS ARE CONSISTENT WITH INCONSISTENCIES WITH THESE PLANS NEED TO BE REPORTED TO RVI PLANNING + LANDSCAPE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL VERIFY THEY ARE IN POSSESSION OF THE MOST UP TO DATE PLANS, AND THAT THEY HAVE BEEN APPROVED AND ACCEPTED BY THE OWNER BEFORE COMMENCING CONSTRUCTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITY SERVICE PROVIDERS HAVE BEEN NOTIFIED TO THE CONSTRUCTION ACTIVITIES PRIOR TO CONSTRUCTION.

Call Before You Dig

Call Sunshine State One Call, at 811 or 800-432-4770, two full days before digging in any easement, right-of-way or permitted use area.

CONSTRUCTION INSTALLATION NOTES:

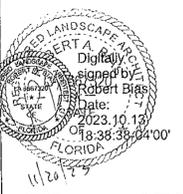
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
- PROPERTY LINE TO BE LOCATED AND FLAGGED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD DIMENSION DISCREPANCIES TO BE REPORTED TO THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO ANY FIELD ADJUSTMENTS OR COMMENCEMENT OF CONSTRUCTION.
- ALL FIELD ADJUSTMENTS REQUIRE APPROVAL OF LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- FINISH GRADE TO BE PROVIDED BY OTHERS. CONTRACTOR TO VERIFY THE FINISH GRADE AND OBTAIN THE APPROVAL OF THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- FINISH GRADES TO BE WITHIN 1" OF THAT INDICATED ON DESIGN PLANS UNLESS OTHERWISE INDICATED. CONTRACTOR RESPONSIBLE FOR RETURNING ALL GRADES TO THE FINISH GRADE REQUIRED AND IS RESPONSIBLE FOR PROPER DRAINAGE.
- STAKING OF ALL SITE ELEMENTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE LAYOUT TO INITIATE AT THE ORIGIN POINT/DIMENSION MARK ARE TO BE LOCATED IN THE FIELD BY SURVEY METHOD IF NOT EXISTING.
- ALL REQUIRED REVISIONS, RELOCATIONS, AND/OR RE-STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IF VERIFICATION, FIELD LOCATION AND APPROVAL ARE NOT OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR THE ADHERENCE TO ALL PERMITS, CODES, SETBACKS AND BUILDING RESTRICTIONS OF ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL MAINTAIN AND HAVE IN CURRENT FORCE ALL REQUIRED INSURANCE FOR THE DURATION OF THE PROJECT.
- THE SCOPE OF WORK SHALL GENERALLY CONSIST OF, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS, SUPPLIES, AND EQUIPMENT NECESSARY TO BUILD THE DESCRIBED ELEMENTS AS PER AND/OR REFERRED BY THESE PLANS, DETAILS AND SPECIFICATIONS.
- CONTRACTOR TO PROVIDE A MINIMUM GUARANTEE AS OUTLINED IN THE SPECIFICATIONS AND A FINAL RELEASE OF LIEN FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY SITE CLEANUP AND FOR FINAL SITE CLEANUP AND HAUL OFF OF THE CONSTRUCTION RELATED DEBRIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND LOCATION FOR ALL UNDERGROUND UTILITIES. DAMAGE TO AND/OR CAUSED BY BROKEN UNDERGROUND UTILITIES AND THE REPAIR OF THESE UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED IN ACCORDANCE WITH THE INSTRUCTIONS OF THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE ELEMENTS AND SYSTEM. REPAIR OF ANY DAMAGE TO ANY OF THESE ELEMENTS SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL SUPPLY ALL SHOP DRAWINGS, TEST, SPEC SHEETS, STRUCTURAL DATA AND ASSEMBLY TECHNIQUES FOR ALL FENCE PANELS, SIGNAGE, PLAQUES, DECORATIVE WALL TRIM, LIGHTING FIXTURES, FINISHES AND COLORS FOR OWNER'S APPROVAL.
- ALL FILL TO BE CLEAN, COMPACTED MATERIAL. FREE OF ALL DEBRIS AT A MINIMUM 90% DENSITY.
- ALL SOIL BEARING, STEEL REINFORCEMENT, CONCRETE STRENGTH, WIND LOADS, OTHER STRUCTURAL CALCULATIONS, HYDRAULIC AND/OR PLUMBING CALCULATIONS, ETC. TO BE VERIFIED BY ENGINEER AND COORDINATED BY OWNER.
- PROVISIONS FOR ELECTRICAL POWER ARE NOT INCLUDED IN THIS PLAN, BEYOND ANY EXISTING INFRASTRUCTURE SUPPORTING THE PROPOSED WORK. FIXTURES TO BE AS SPECIFIED OR APPROVED EQUAL.

DEVELOPMENT REVIEW COMMITTEE

MARION COUNTY, FLORIDA

APPROVAL DATE: 10/30/23

APPROVAL DATE: 10/30/25



OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO:	23001809
DATE:	09/22/2023
DRAWN:	BCH
REVIEWED:	RAB

DRAFTING LEGEND & NOTES

L001

3RD SURMITTAL

SW 52ND STREET

LD101

LD102

LD103

LD104

LD105

LD106

LD107

LD108

LD109

SW 60TH AVENUE

RIGHT-OF-WAY, TYP.
PROPERTY LINE, TYP.

RIGHT-OF-WAY, TYP.
PROPERTY LINE, TYP.

TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
PROPOSED TREE
MARION COUNTY, FLORIDA
 MATCHLINE

APPLICATION #: 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25
 EXISTING TREE TO BE PRESERVED: TREE

NOTICE
 The approval of these plans is limited to construction under the jurisdiction of Marion County. The engineer or designer shall be responsible for obtaining all necessary permits, by state and/or federal laws.

RECOMMENDED
 10/13/2023
 Marion County
 Office of County Engineer

RVI
 117 N. Main St., Suite 100
 Ocala, FL 34471
 Tel: 352.491.1454
 www.rvi.com

Digitally signed by Robert B. ...
 Date: 2023.10.13 08:38:37-0400
 2016

Always call 811 two full business days before you dig
Sunshine811.com

- TREE MITIGATION NOTES**
- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
 - ALL REPLACEMENT TREES ARE IN ACCORDANCE WITH SEC. 6.7.9 OF THE LDC AND MEET ALL THE MINIMUM SIZE REQUIREMENTS.
 - ANY TREES NOT MITIGATED WILL BE PAID INTO THE TREE MITIGATION FUND PER SEC. 6.7.10 OF THE LDC.
 - TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

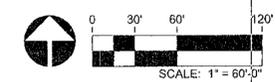
OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

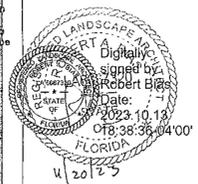
PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

- REVISIONS**
- UPDATE PER COMMENTS
 - UPDATE PER COMMENTS

OVERALL TREE MITIGATION PLAN

LD100





TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
PROPERTY
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25
TREE BARRICADE (EXISTING)
TREES TO BE PRESERVED

NOTICE
The approval of these plans is limited to construction in accordance with the standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

TREE MITIGATION NOTES

- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
- ALL REPLACEMENT TREES ARE IN ACCORDANCE WITH SEC. 6.7.9 OF THE LDC AND MEET ALL THE MINIMUM SIZE REQUIREMENTS.
- ANY TREES NOT MITIGATED WILL BE PAID INTO THE TREE MITIGATION FUND PER SEC. 6.7.10 OF THE LDC.
- TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

RECEIVED
10/31/2023
Marion County
Office of County Engineer

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲
▲

TREE
MITIGATION
PLAN

LD102

703 704 706

705

707

708

709

712

710

711

713

714

715

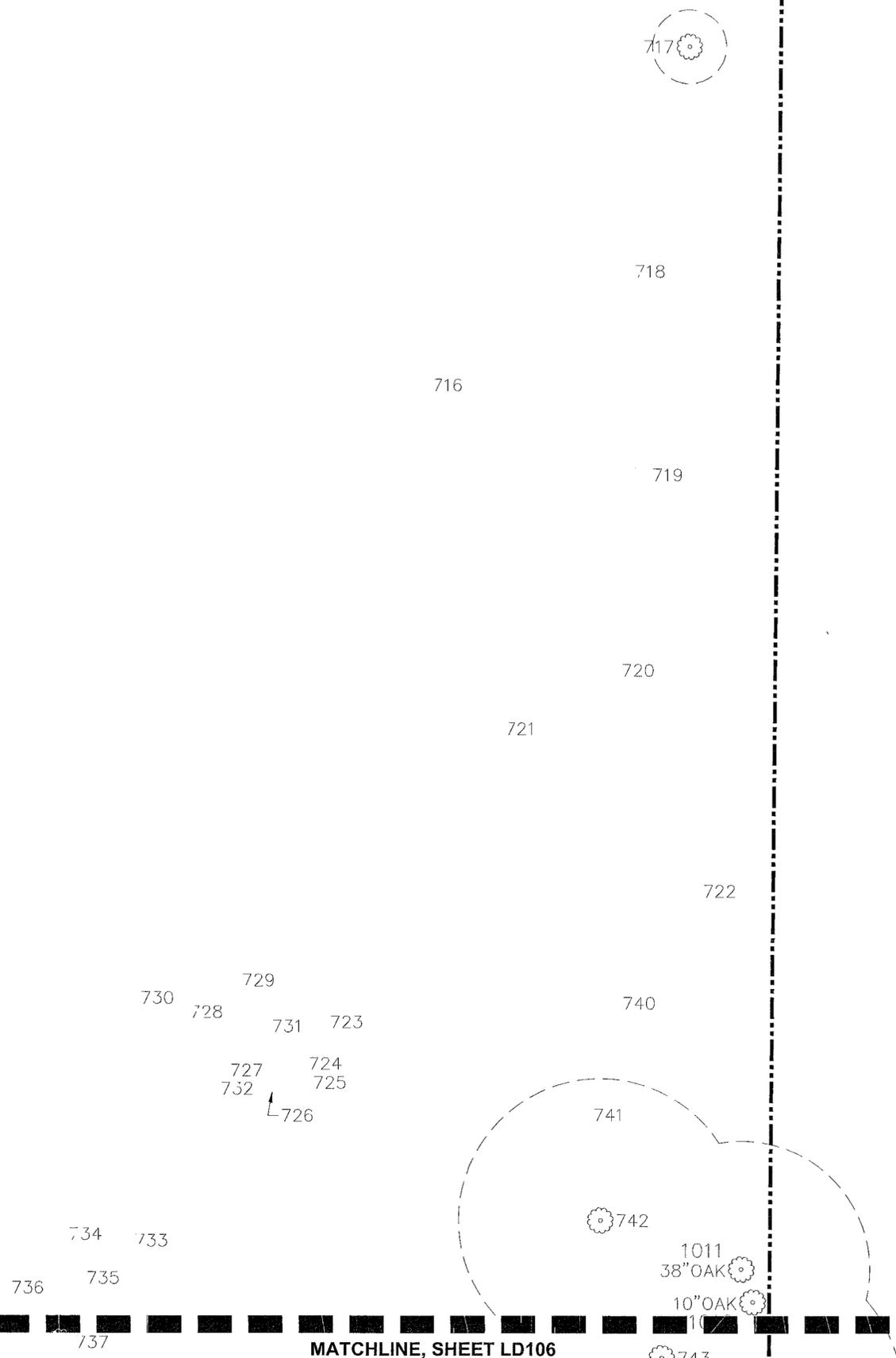
MATCHLINE, SHEET LD102

MATCHLINE, SHEET LD101

MATCHLINE, SHEET LD103



MATCHLINE, SHEET LD102



MATCHLINE, SHEET LD106

TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
 PROJECT # 30064
 MARION COUNTY, FLORIDA
 APPLICATION # 30064
 APPROVAL DATE 10/30/23
 EXPIRATION DATE 10/30/25
 TREE BARRICADE (EXISTING TREES TO BE PRESERVED)

NOTICE
 The approval of these plans is limited to construction within the boundaries of Marion County, Florida. It does not constitute an approval of any other agency for additional permits, as applicable, by state and/or federal laws.

ROBERT V. INGRAM
 P.E.
 PROFESSIONAL ENGINEER
 LANDSCAPE ARCHITECTURE
 1835 S.W. 10th St.
 Ft. Lauderdale, FL 33304
 (954) 561-1111
 www.rvi.com

Digitally signed by Robert Ingram
 Date: 2023.10.13 18:35:04 -04'00'
 11/23/23

- TREE MITIGATION NOTES**
- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
 - ALL REPLACEMENT TREES ARE IN ACCORDANCE WITH SEC. 6.7.9 OF THE LDC AND MEET ALL THE MINIMUM SIZE REQUIREMENTS.
 - ANY TREES NOT MITIGATED WILL BE PAID INTO THE TREE MITIGATION FUND PER SEC. 6.7.10 OF THE LDC.
 - TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

RECORDED
 10/31/23
 Marion County Engineer
 Office of County Engineer

Always call first two full business days before you dig

OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS

▲	UPDATES PER COMMENT

TREE MITIGATION PLAN

LD103



3RD SUBMITTAL

MATCHLINE, SHEET LD101

TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
PROGRAM
MARION COUNTY, FLORIDA



APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25
TREE BARRICADE (EXISTING TREES TO BE PRESERVED)
As shown on this plan, the minimum standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be closed and sodded. Stool and mulch may be used if approved by the County Engineer or designee.
NOTICE
The approval of these plans is limited to conditions shown on the plans for Marion County. REMOVED substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



TREE MITIGATION NOTES

- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
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- ANY TREES NOT MITIGATED WILL BE PAID INTO THE TREE MITIGATION FUND PER SEC. 6.7.10 OF THE LDC.
- TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

RECEIVED
NOV 9 11 03
Marion County
Office of County Engineer

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲
▲

TREE MITIGATION PLAN

LD104

MATCHLINE, SHEET LD105

980

979

978

981

MATCHLINE, SHEET LD107



3RD SUBMITTAL

MATCHLINE, SHEET LD102

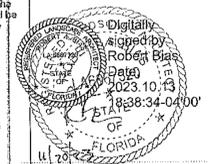
713

TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
PROPOSED TREE
MARION COUNTY, FLORIDA
MATCHLINE

RVI
111 South Arlington Avenue, Suite 100
Ocala, FL 34474
Tel: 352-369-1955
www.rviconsulting.com

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25
TREE BARRICADE (EXISTING TREES TO BE PRESERVED)
All construction shall conform to the standards established in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
The approval of these plans is limited to conditions shown on the plans and does not constitute a warranty by RVI. RVI is not responsible for compliance with requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



TREE MITIGATION NOTES

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RECORDED
10/31/23
Marion County
Office of County Engineer

Ocala South
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO.: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲

TREE MITIGATION PLAN

LD105

3RD SUBMITTAL

MATCHLINE, SHEET LD104

MATCHLINE, SHEET LD106

MATCHLINE, SHEET LD108



MATCHLINE, SHEET LD103

10" OAK 1001

TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
PROJECT NUMBER
MARION COUNTY, FLORIDA
MATCHLINE

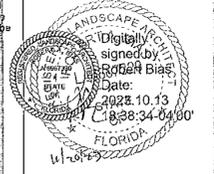


181 North Michigan Street, Suite 200
Orlando, FL 32801
Tel: 407.666.1818
www.rvi.com

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

TREE BARRICADE (EXISTING TREES TO BE PRESERVED)
All trees within the tree barricade shall be preserved and maintained in accordance with the standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and sodded. Sted and mulch may be used if approved by the County Engineer or designee.

NOTICE
The approval of these plans is limited to construction as shown on these plans. Marion County does not substitute for other requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



TREE MITIGATION NOTES

- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
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- ANY TREES NOT MITIGATED WILL BE PAID INTO THE TREE MITIGATION FUND PER SEC. 6.7.10 OF THE LDC.
- TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

RECORDED
10/31/23
Marion County
Official Public Record

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO.: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT

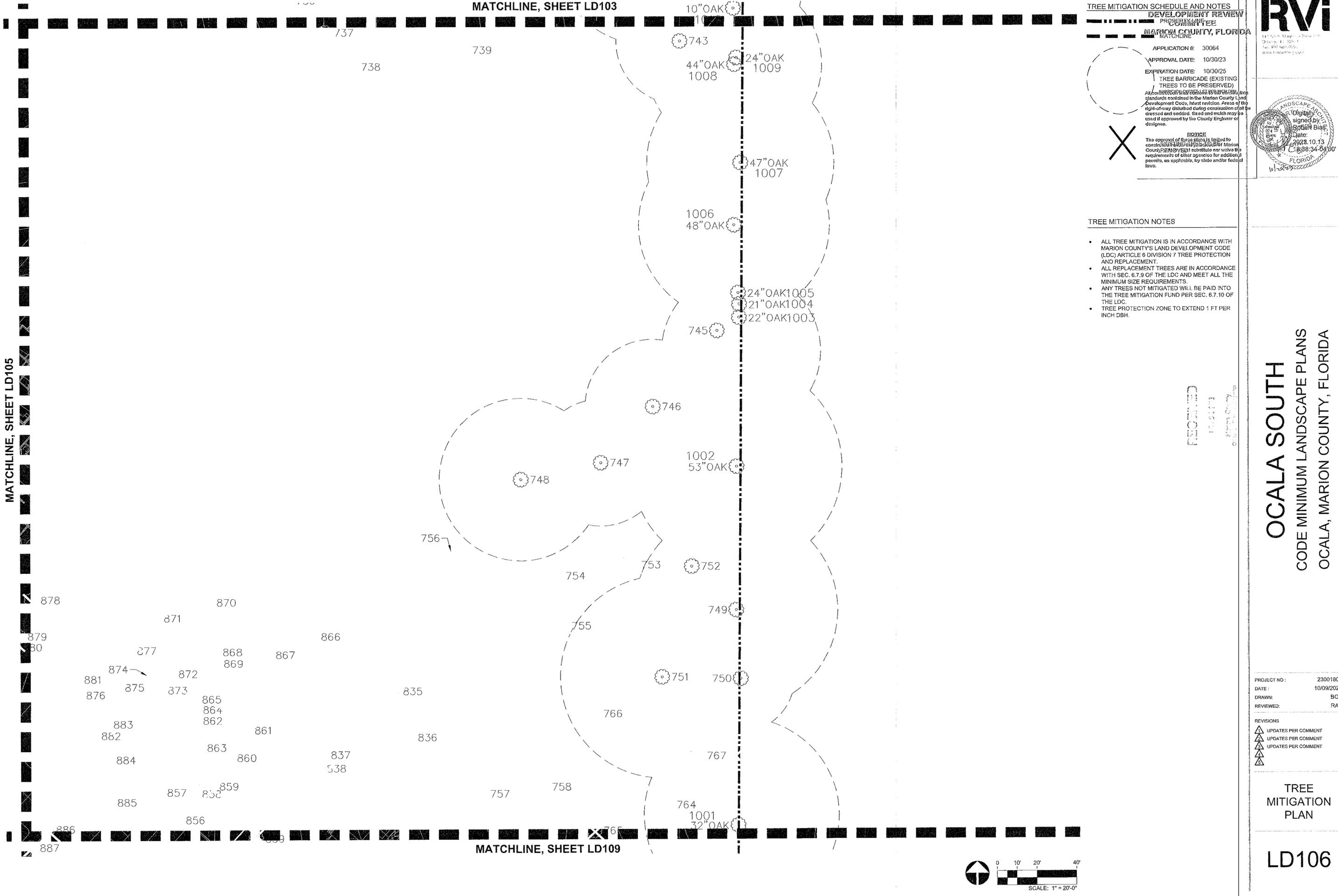
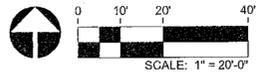
TREE MITIGATION PLAN

LD106

MATCHLINE, SHEET LD105

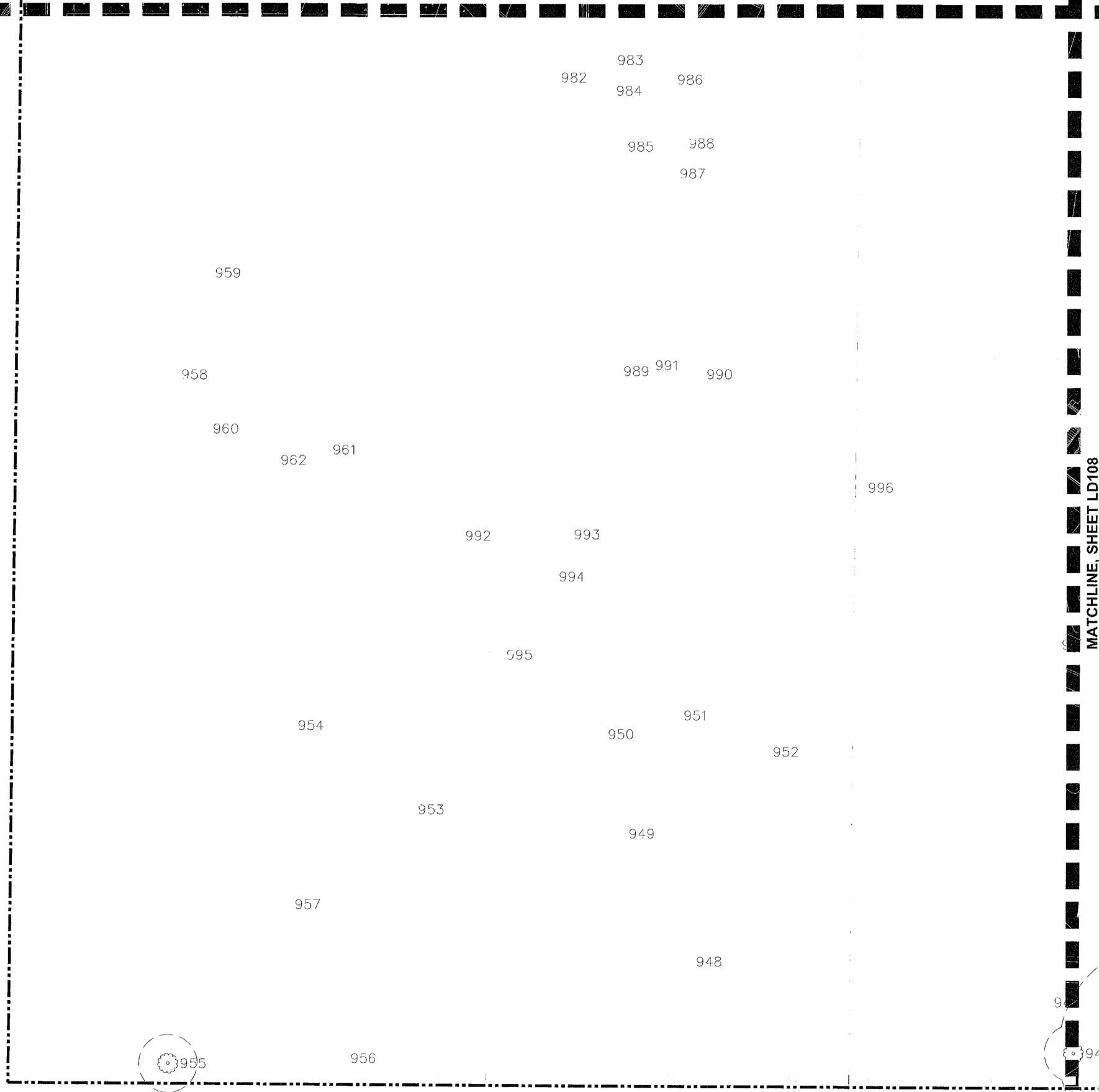
30072301809 - 3D Submittal - 3D Tree Mitigation Plan - 10/09/2023 - 10:00 AM - 10/09/2023 - 10:00 AM

MATCHLINE, SHEET LD109



3RD SUBMITTAL

MATCHLINE, SHEET LD104



TREE MITIGATION SCHEDULE AND NOTES

DEVELOPMENT REVIEW
PROFESSIONAL TREE
MARION COUNTY, FLORIDA
 MATCHLINE

APPLICATION #: 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25
 TREE BARRICADE (EXISTING TREES TO BE PRESERVED)

ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE, LATEST REVISION. AREAS OF THE RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION SHALL BE DRESSED AND SODDED. SEED AND MULCH MAY BE USED IF APPROVED BY THE COUNTY ENGINEER OR DESIGNER.

NOTICE
 The approval of these plans is limited to the conditions shown on these plans for Marion County. REMOVED: substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

RVI
 111A, SW Virginia Street
 Ocala, FL 32067
 Tel: 352.369.4964
 www.rviinc.com

Professional Seal:
 Robert Blair
 State of Florida
 No. 12345
 Exp. 12/31/24

- TREE MITIGATION NOTES**
- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
 - ALL REPLACEMENT TREES ARE IN ACCORDANCE WITH SEC. 6.7.9 OF THE LDC AND MEET ALL THE MINIMUM SIZE REQUIREMENTS.
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 - TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.
- RESERVED
 NOV 9 2023
 Marion County
 Office of County Engineer

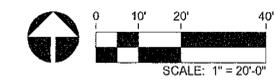
OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

- REVISIONS**
- ▲ UPDATES PER COMMENT
 - ▲ UPDATES PER COMMENT
 - ▲
 - ▲

TREE MITIGATION PLAN

LD107



COMPLETELY REVISIONED AND REDESIGNED FOR THE TREE MITIGATION PLAN. ALL TREE MITIGATION PLANS SHALL BE IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE, LATEST REVISION.

3RD SUBMITTAL

TREE MITIGATION SCHEDULE AND NOTES

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

TREE BARRICADE (EXISTING TREES TO BE PRESERVED)

As per the standards contained in the Marion County Land Development Code, latest revision. Areas of the 100-foot mitigation zone shall be crossed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction of the project for Marion County. It is not intended to substitute for the requirements of other agencies for additional permits, as applicable, by state and/or federal law.

Digitally signed by: Robert J. Blasius
Date: 2023.10.13 18:38:32 -0400

- TREE MITIGATION NOTES**
- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 8 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
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 - TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

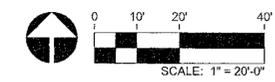
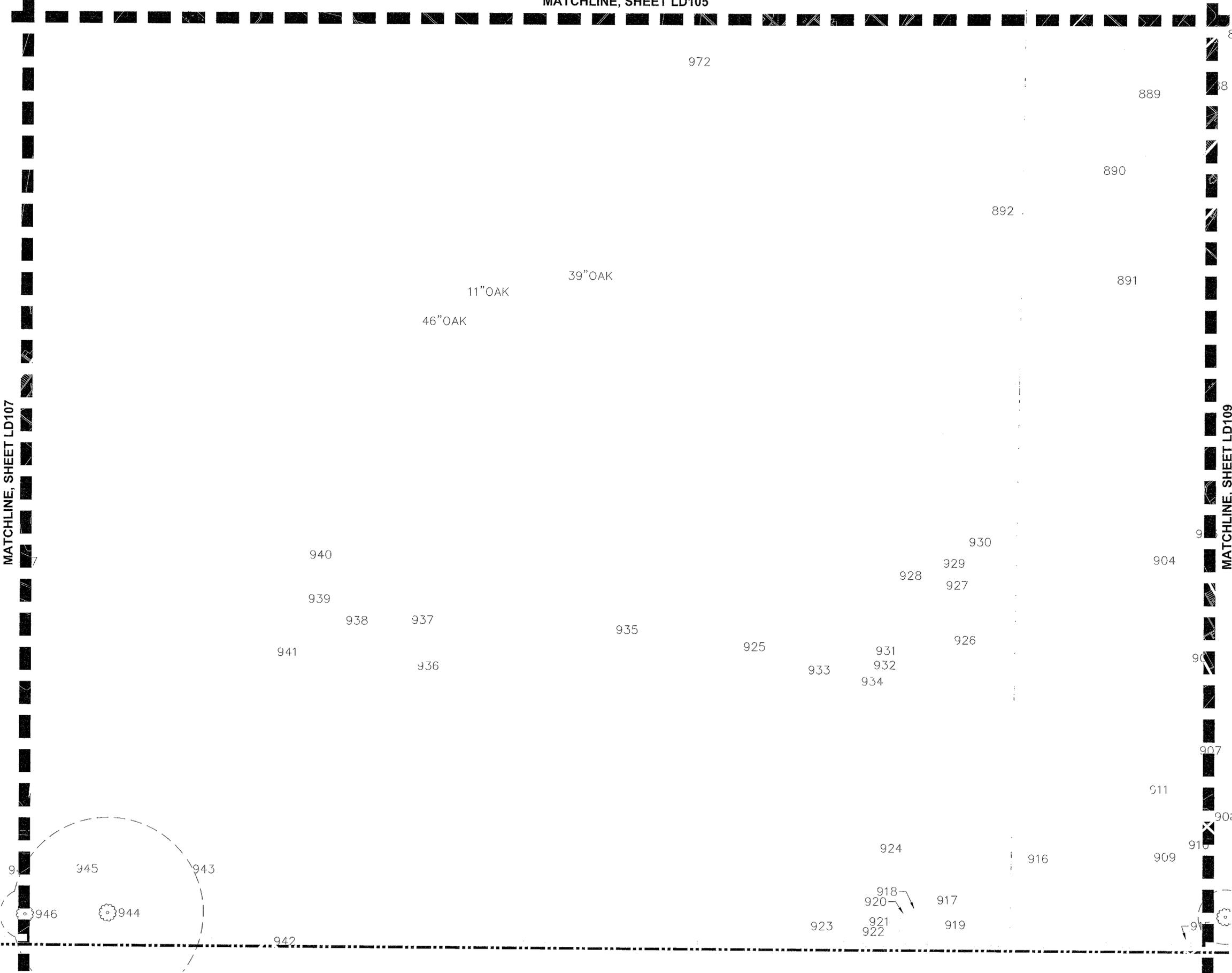
PROJECT NO: 23001809
DATE: 10/09/2023
DRAWN: BOH
REVIEWED: RAB

- REVISIONS**
- ▲ UPDATES PER COMMENT
 - ▲ UPDATES PER COMMENT
 - ▲
 - ▲

TREE MITIGATION PLAN

LD108

3RD SUBMITTAL



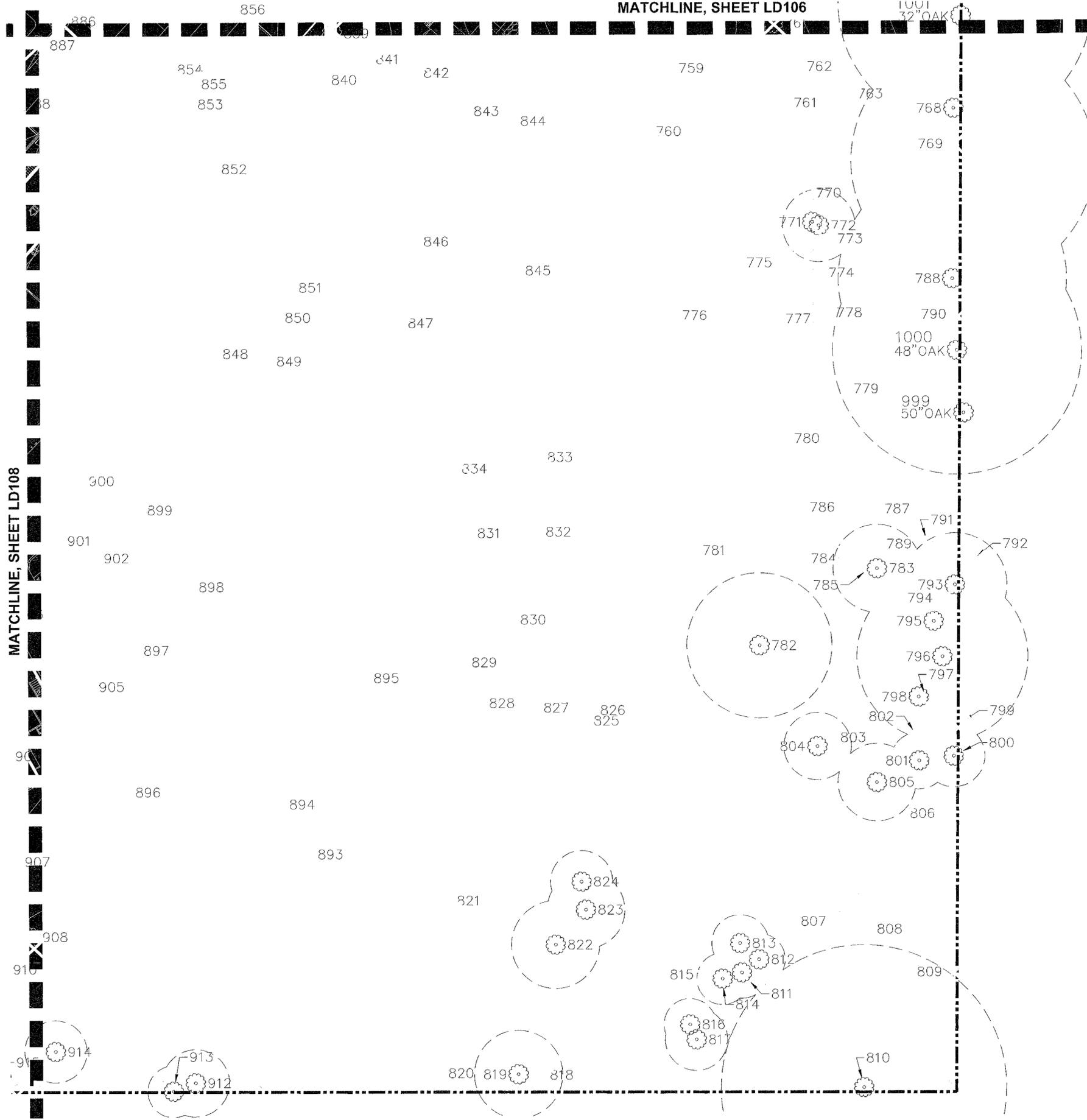
MATCHLINE, SHEET LD107

MATCHLINE, SHEET LD109

RECORDED
10/11/2023
Marion County

DATE PLOTTED: 10/11/2023 10:58:11 AM; PLOT SCALE: 1\"/>

MATCHLINE, SHEET LD106



TREE MITIGATION SCHEDULE AND NOTES
DEVELOPMENT REVIEW
PROPOSED TREE
MARION COUNTY, FLORIDA
 MATCHLINE

APPLICATION #: 30064
 APPROVAL DATE: 10/30/23
 EXPIRATION DATE: 10/30/25

TREE BARRICADE (EXISTING TREES TO BE PRESERVED)
 All trees within the barricade shall meet or exceed the minimum standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be restored and seeded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
 The approval of these plans is limited to construction in accordance with the Marion County Land Development Code and does not constitute a warranty or substitute for other requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

111 North Magnolia Street, Suite 4150
 Ocala, FL 32701
 Tel: 352.432.9999
 www.rvi.com

- TREE MITIGATION NOTES**
- ALL TREE MITIGATION IS IN ACCORDANCE WITH MARION COUNTY'S LAND DEVELOPMENT CODE (LDC) ARTICLE 6 DIVISION 7 TREE PROTECTION AND REPLACEMENT.
 - ALL REPLACEMENT TREES ARE IN ACCORDANCE WITH SEC. 6.7.9 OF THE LDC AND MEET ALL THE MINIMUM SIZE REQUIREMENTS.
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 - TREE PROTECTION ZONE TO EXTEND 1 FT PER INCH DBH.

Always Call Out Two Full Business Days Before You Dig

RECEIVED
 10/31/2023
 Marion County
 Office of County Engineer

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO.: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

- REVISIONS**
- ▲ UPDATES PER COMMENT
 - ▲ UPDATES PER COMMENT
 - ▲ UPDATES PER COMMENT
 - ▲

TREE MITIGATION PLAN

LD109



MATCHLINE, SHEET LD108

L:\PROJECTS\2023\OCALA SOUTH\LANDSCAPE\3RD SUBMITTAL\OCALA SOUTH LANDSCAPE PLANS 10/30/23.DWG

3RD SUBMITTAL

TREE MITIGATION SPECIFICATIONS:

A. GENERAL

- CONTRACTOR SHALL ADHERE TO ALL TREE PROTECTION REQUIREMENTS LISTED IN THESE SPECIFICATIONS AND/OR THOSE LISTED IN THE CITY OR COUNTY ZONING CODE, TREE PROTECTION (LATEST EDITION), WHICHEVER IS MORE STRINGENT SHALL APPLY.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATION MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE.
- NO SIGNS, BUILDING PERMITS, WIRES OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE OR PALM. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES AND ARE BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
- CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE OR PALM WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
- FOR PROTECTED TREES OR PALMS BEING REMOVED, THE CONTRACTOR MUST GIVE THE PERMITTING AGENCY REASONABLE OPPORTUNITY TO RELOCATE TREES DESIGNATED FOR REMOVAL TO ANOTHER SITE AT THE PERMITTING AGENCY'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR POSSESSING ALL REQUIRED APPLICATOR LICENSES, BUSINESS REGISTRATIONS AND INSURANCE, PESTICIDE LABELS, AND MATERIAL DATA SAFETY SHEETS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR HAVING ALL SPILL CONTAINMENT MATERIALS AND REQUIRED PERSONAL PROTECTIVE EQUIPMENT FOR PESTICIDE APPLICATIONS AND ACCIDENTAL SPILLS ON SITE AT ALL TIMES. THE OWNER RESERVES THE RIGHT TO INSPECT EACH APPLICATOR AND HAVE THESE MATERIALS PRESENTED BEFORE AND DURING ANY PESTICIDE TREATMENT.
- WHERE TRAFFIC AREAS ARE PROPOSED WITHIN THE DRIP LINE OF PROTECTED TREES AND LESS THAN FOUR (4) INCHES OF GRADE CHANGE ARE PROPOSED, PERMEABLE SURFACES THAT ALLOW AIR AND WATER INTO THE SOIL SHOULD BE USED IN LIEU OF ASPHALT OR OTHER SUCH IMPERVIOUS SURFACES.
- TREE WELLS OF AN APPROVED DESIGN SHALL BE CONSTRUCTED AROUND ALL TREES TO BE PRESERVED WHEN MORE THAN FOUR INCHES OF FILL IS TO BE DEPOSITED WITHIN THE DRIP LINE AREA OF THOSE TREES. COORDINATE WITH PROJECT ARBORIST.
- THE SEQUENCE OF TREE MITIGATION AND PRESERVATION MEASURES IS IMPERATIVE TO THE HEALTH AND SURVIVABILITY OF THE SUBJECT TREES AND SHALL BE COORDINATED WITH THE OWNER SELECTED PROJECT ARBORIST. THE DESIRED SEQUENCE IS OUTLINED BELOW:
 - TREE PROTECTION FENCING.
 - ROOT PRUNING AND ROOT BARRIERS.
 - CLEARING.
 - TREE CANOPY PRUNING.
 - FERTILIZATION.
 - INSECTICIDE.
 - IRRIGATION.

B. TREE PROTECTION FENCING

- PRIOR TO THE ERECTION OF ANY TREE PROTECTION FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE AREA TO BE ENCLOSED BY THE FENCING. AFTER ERECTION OF THE FENCING NO SUCH MATERIAL OR LITTER SHALL BE PERMITTED TO REMAIN WITHIN THE PROTECTED AREA.
- TREE PROTECTION FENCING SHALL BE PLACED AROUND ALL PROTECTED TREES TO CREATE A PROTECTIVE ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING, LAND ALTERATION, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
- NATIVE GROUND COVER AND UNDERSTORY VEGETATION EXISTING WITHIN THE PROTECTED AREA SHALL REMAIN THROUGHOUT CONSTRUCTION. OTHER DESIGNATED VEGETATION AND INVASIVE PLANT SPECIES SHALL BE REMOVED ONLY BY MANUAL LABOR UTILIZING HAND TOOLS, OR BY OTHER METHODS APPROVED BY THE PROJECT ARBORIST.
- TREE PROTECTION FENCING TYPES AND LOCATIONS SHALL BE ERECTED AS SHOWN ON THE TREE MITIGATION PLANS AND DETAILS, OR AS REQUESTED BY LOCAL AGENCY.
- FINAL LOCATIONS SHALL BE COORDINATED WITH AND APPROVED BY THE PROJECT ARBORIST.
- NO MATERIALS, EQUIPMENT, SPOIL, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN 20 FEET OF THE TREE PROTECTION ZONE.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINES, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE.
- CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
- EXCAVATION OR GRADING REQUIRED WITHIN THE PROTECTED AREA SHALL BE LIMITED TO THREE (3) INCHES OF CUT OR FILL. COORDINATE WITH PROJECT ARBORIST.
- STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL BE COORDINATED WITH THE PROJECT ARBORIST.
- TREE PROTECTION FENCING AROUND TREES TO BE RELOCATED SHALL BE ERECTED UNTIL THE TREE IS READY TO BE RELOCATED AND NEW FENCING SHALL BE ERECTED AT THE TREES NEW LOCATION AND WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE PROTECTED AREA OF TREES TO BE PRESERVED, A ROAD BED OF SIX (6) INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A SIX (6) INCH ROAD BED AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL SUCH MATERIALS FROM THE SITE AS SOON AS TEMPORARY ACCESS IS NO LONGER NECESSARY.
- CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO THE REMOVAL OF ALL TREE PROTECTION FENCING.

C. ROOT PRUNING/TRENCHING

- TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
- TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED, AND SHALL BE APPROVED BY THE PROJECT ARBORIST. APPROVED EQUIPMENT WILL BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS. A MINIMUM DEPTH OF THREE FEET IS REQUIRED.
- INSTALL ROOT BARRIER WHERE DESIGNATED. SEE TREE MITIGATION PLAN AND DETAIL SHEETS.
- THE TRENCH SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED SOIL AND COMPACTED IMMEDIATELY.
- TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF TWELVE (12) WEEKS PRIOR TO TREE RELOCATION.
- WHEN THE TREE ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.

D. CLEARING

- ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND-OPERATED EQUIPMENT.
- CONTRACTOR SHALL CLEAR ALL TREE PROTECTION AREAS OF VINES, SHRUBS, GROUND COVERS, WEEDS, SAPLINGS, AND INVASIVES LISTED ON THE LATEST EDITION OF THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE SPECIES.
- PROJECT ARBORIST MUST APPROVE METHODS OTHER THAN HAND CLEARING.
- A TWO (2) INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES DURING THE SITE CLEARING PHASE.

E. TREE CANOPY PRUNING

- TREE PRUNING SPECIFICATIONS SHALL BE DEFINED BASED ON SPECIFIC RECOMMENDATIONS OF THE PROJECT ARBORIST. INFORMATION PRESENTED BELOW SHOULD BE USED AS A GUIDELINE.
- CONTRACTOR SHALL VISIT THE SITE WITH THE PROJECT ARBORIST TO VERIFY THE EXTENT OF REQUIRED PRUNING.
- ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFIED INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST OR AN AMERICICAN SOCIETY OF CONSULTING ARBORISTS (ASCA) REGISTERED CONSULTING ARBORIST (RCA).
- AT LEAST ONE MEMBER OF THE PRUNING CREW SHALL BE AN ISA CERTIFIED ARBORIST.
- WHILE IN THE TREE, THE ARBORIST SHALL PERFORM AN AERIAL INSPECTION TO IDENTIFY DEFECTS THAT REQUIRE TREATMENT. ANY ADDITIONAL WORK NEEDED SHALL BE REPORTED TO THE OWNER.
- PRUNING CUTS SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A300 PRUNING STANDARD (AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS) AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI Z133.1 SAFETY STANDARD. PRUNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ISA'S "BEST MANAGEMENT PRACTICES: TREE PRUNING".
- WHERE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, BRANCHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE ZONE.
- NO MORE THAN 20 PERCENT OF LIVE FOLIAGE SHALL BE REMOVED WITHIN ANY TREE.
- ALL TREES WITHIN THE PROJECT AREA SHALL BE PRUNED AS FOLLOWS:
 - LIVE BRANCH PRUNING SHOULD BE PERFORMED ONLY WHEN THE DANGER OF INSECT OR DISEASE INFESTATION IS NOT PRESENT.
 - REMOVE STUBS, CUTTING OUTSIDE THE WOUND WOOD TISSUE THAT HAS FORMED AROUND THE BRANCH.
 - CLEANING, FOR THE SELECTIVE REMOVAL OF DEAD, DISEASED, BROKEN, OR CROSSING BRANCHES DOWN TO ONE INCH IN DIAMETER OR AS DIRECTED BY THE PROJECT ARBORIST.
 - PRUNING CUTS LARGER THAN 4 INCHES IN DIAMETER, EXCEPT FOR DEAD WOOD, SHALL BE AVOIDED.
 - PRUNING CUTS THAT EXPOSE HEARTWOOD SHALL BE AVOIDED WHENEVER POSSIBLE.
 - ALL TREES WITH CROWNS THAT PROJECT INTO PARKING LOT/ROADWAY AREAS SHALL BE RAISED TO 14 FEET ABOVE FINISHED GRADE.
 - ALL TREES WITH CROWNS THAT PROJECT INTO SIDEWALK AREAS SHALL BE RAISED TO A HEIGHT OF 8 FEET ABOVE FINISHED GRADE.
- TREES, WHO'S ROOT SYSTEMS WILL BE IMPACTED SHALL RECEIVE THE FOLLOWING PRUNING TO COMPENSATE FOR ROOT LOSS:
 - THE LOCATION AND SIZE OF BRANCHES FOR REDUCTION SHALL BE DEFINED BY THE PROJECT ARBORIST.
 - REDUCTION, OR THE SELECTIVE PRUNING TO REDUCE TREE HEIGHT OR SPREAD.
 - REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES BY SELECTIVELY REMOVING SMALL DIAMETER BRANCHES, NO GREATER THAN 2 TO 3 INCHES, NEAR THE ENDS OF SCAFFOLD BRANCHES.
 - RAISING SHALL CONSIST OF SELECTIVE PRUNING TO PROVIDE VERTICAL CLEARANCE.
- PROPOSED/REPLACEMENT TREES
 - PRUNING SHALL BE LIMITED TO CLEANING.
- BRUSH SHALL BE CHIPPED AND SPREAD (ONLY WHEN DISEASE OR INSECT INFESTATION IS NOT PRESENT) UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF THREE (3) INCHES, LEAVING THE TRUNK CLEAR OF MULCH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DEBRIS ON A DAILY BASIS.

F. FERTILIZATION

- CONTRACTOR SHALL COORDINATE FERTILIZATION PLAN, FOLLOWING BEST MANAGEMENT PRACTICES WITH THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.
- EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPLYING, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- ONLY TREES AFFECTED BY CONSTRUCTION OR AS SHOWN ON THE TREE MITIGATION PLAN AND TREE INVENTORY SCHEDULE SHALL BE TREATED.
- TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED AS FOLLOWS:
 - MIX FERTILIZER ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO A TANK WITH AGITATION CAPABILITY.
 - MIX WETTING AGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
 - INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
 - THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND THE CRITICAL ROOT ZONE SHALL BE INJECTED, BUT NOT BEYOND ROOT PRUNING LOCATIONS.
 - FERTILIZER SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY AERATION SYSTEMS.
 - EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY THE PROJECT ARBORIST PRIOR TO DISPOSAL.

G. INSECTICIDE

- NOTIFY PROJECT ARBORIST IF ANY INFESTATION IS NOTICED.
- FOLLOW PROJECT ARBORIST'S RECOMMENDED PROCEDURES.
- FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS CONCERNING APPLICATION. READ ALL WARNING LABELS.
- ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- ENSURE COMPLETE COVERAGE AND REAPPLY 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.

H. IRRIGATION

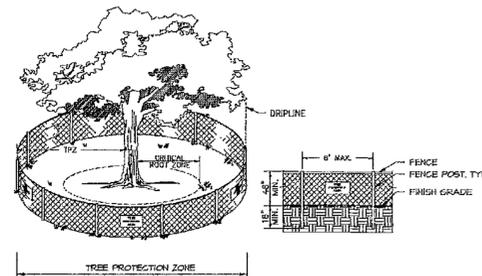
- EVERY EFFORT SHALL BE MADE TO WATER THE PRESERVED TREES AND TRANSPLANTED TREES. CONTRACTOR SHALL IRRIGATE BY HAND OR BY TEMPORARY IRRIGATION.
- IRRIGATE AS REQUIRED BY PROJECT ARBORIST UNTIL PERMANENT IRRIGATION IS INSTALLED AND OPERATING.
- UNDERGROUND IRRIGATION SHALL NOT BE INSTALLED WITHIN THE DRIP LINES OF EXISTING TREES UNLESS ROOT PROTECTION MEASURES ARE PROVIDED AND APPROVED BY PROJECT ARBORIST.
- TREE REMOVALS
- PRIOR TO AND DURING LAND CLEARING, INCLUDING GRUBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED BY PROJECT ARBORIST WITH RED SURVEY RIBBONS AT 36 INCHES ABOVE FINISHED GRADE.
- CONTRACTOR SHALL REMOVE ALL TREES AS SHOWN ON THE TREE MITIGATION PLAN AND DETAIL SHEETS. PROTECTION FENCING IS INSTALLED.
- ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUND TO BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED THAT IS IN AN AREA WHERE COMPACTED TOPSOIL SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY CONTRACTOR.
- ALL WOOD AND STUMPS FROM REMOVALS SHALL BE HAULED FROM THE SITE THE SAME DAY AS REMOVAL. TOPS, ALL TOPS ARE TO BE MULCHED AND STOCKPILED OR HAULED DIRECTLY TO MULCHED AREAS FOR RELOCATED TREES IF SCHEDULING PERMITS. TOPS SHALL BE CHIPPED AND PLACED IN THE TREE PROTECTION ZONE TO A DEPTH OF THREE (3) INCHES. ALL EXCESS WOOD CHIPS SHOULD BE HAULED OFF SITE AFTER TRANSPLANTING IS COMPLETE.
- ALL BURN PITS IF APPLICABLE MUST BE APPROVED BY THE PROJECT ARBORIST AND OWNER.
- TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN MUST BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST AND NOT BY DEMOLITION OR CONSTRUCTION CONTRACTORS. THE QUALIFIED ARBORIST SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TO REMAIN.
- TREES TO BE REMOVED LOCATED WITHIN THE TREE PROTECTION ZONE SHALL BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST. THE TREES SHALL BE CUT NEAR GROUND LEVEL AND THE STUMP GROUND OUT.

L. TOPSOIL

- CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATIONS WITHIN TREE PROTECTION AREAS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ALL TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
- TOPSOIL, PH RANGE OF 5.5 TO 7.0, 3-5 PERCENT ORGANIC MATERIAL MINIMUM, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN ONE (1) INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH.
- VERIFY AMOUNT STOCKPILED IF ANY, AND SUPPLY ADDITIONAL AS NEEDED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST FOUR (4) INCHES DEEP. DO NOT OBTAIN TOPSOIL FROM BOGS OR MARSHES.
- PROJECT ARBORIST SHALL APPROVE ALL TOPSOIL PRIOR TO PLACEMENT.

M. REPAIR OF DAMAGED TREES

- IF DAMAGE TO ANY TREE SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE PROJECT ARBORIST SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR.
- IF ANY TREE DESIGNATED TO BE SAVED IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PROJECT ARBORIST SHALL APPRAISE THE TREE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPLACEMENT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE AND ANY FEES THAT MAY BE ASSESSED TO THE OWNER BY THE GOVERNING AGENCY.



NOTES:

- TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
- FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
- BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
- BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
- CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TYP) OF ANY TREE IS NOT ALLOWED.
- THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TYP OF ANY TREE IS NOT ALLOWED.
- IF ANY TREE WHICH IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3" CALIPER.
- REQUIRED SIGNS SHALL STATE "TREE PROTECTION ZONE".

B TREE PROTECTION SCALE: N.T.S.

DEVELOPMENT REVIEW COMMITTEE

APPROVAL DATE: 10/30/23
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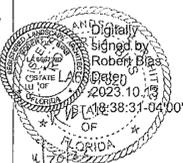
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RVI



RECORDED
 10/31/23
 Marion County
 Office of County Clerk

OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
 DATE: 08/08/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT

TREE MITIGATION NOTES

LD600

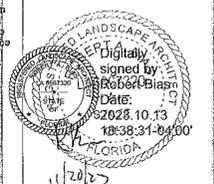
2ND SUBMITTAL

TREE #	COMMON NAME	BOTANICAL NAME	DBH IN INCHES	HEIGHT FEET	CONDITION RATING	NOTES	RECOMMENDATION
201	LAUREL OAK	QUERCUS LAURIFOLIA	31	8.00	3.00	5.5	PRESERVE IN PLACE
202	LAUREL OAK	QUERCUS LAURIFOLIA	35	8.00	2.00	4	PRESERVE IN PLACE
203	LONG LEAF PINE	PINUS PALAUSTRI	21	8.75	14.25	5	REMOVE
204	LONG LEAF PINE	PINUS PALAUSTRI	13	0.50	5.50	3	REMOVE
205	LONG LEAF PINE	PINUS PALAUSTRI	18	0.50	9.50	3	REMOVE
206	LAUREL OAK	QUERCUS LAURIFOLIA	35		2.5	TOP CANOPY BEING DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
207	LAUREL OAK	QUERCUS LAURIFOLIA	33		2.5	TRUNK SHOWING GROWTH FROM PREVIOUS CROWN DAMAGE	REMOVE
208	LIVE OAK	QUERCUS VIRGINIANA	29		2.5	TRUNK CONDITION SHOWS W/ HOLLOW BARRELING, LIMBS ABOVE CANOPY	REMOVE
209	LIVE OAK	QUERCUS VIRGINIANA	21		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
210	LAUREL OAK	QUERCUS LAURIFOLIA	15	0.50	6.50	3	REMOVE
211	LAUREL OAK	QUERCUS LAURIFOLIA	18		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
212	LAUREL OAK	QUERCUS LAURIFOLIA	12		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
213	LAUREL OAK	QUERCUS LAURIFOLIA	3'		2	AT STREET INTERSECTION, BRANCHES BROKEN AND DECAYING LIMBS	REMOVE
214	LAUREL OAK	QUERCUS LAURIFOLIA	34	1.00	30.00	5.5	REMOVE
215	LAUREL OAK	QUERCUS LAURIFOLIA	34		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
216	LIVE OAK	QUERCUS VIRGINIANA	15	1.00	10.00	4	REMOVE
217	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	3	PRESERVE IN PLACE
218	LAUREL OAK	QUERCUS LAURIFOLIA	26		1	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
219	FLORIDA PALM	TRAPANEUM FLORIDANUM	8		0	REPLACE	REMOVE
220	LAUREL OAK	QUERCUS LAURIFOLIA	18		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
221	LIVE OAK	QUERCUS VIRGINIANA	28	0.75	28.50	3	REMOVE
222	LAUREL OAK	QUERCUS LAURIFOLIA	39		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
223	LAUREL OAK	QUERCUS LAURIFOLIA	35		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
224	LAUREL OAK	QUERCUS LAURIFOLIA	15	0.50	7.50	3	REMOVE
225	LAUREL OAK	QUERCUS LAURIFOLIA	27		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
226	LIVE OAK	QUERCUS VIRGINIANA	26		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
227	LAUREL OAK	QUERCUS LAURIFOLIA	25	0.75	25.50	3	REMOVE
228	LAUREL OAK	QUERCUS LAURIFOLIA	21	0.75	21.00	3	REMOVE
229	LIVE OAK	QUERCUS VIRGINIANA	27	0.75	26.50	3	REMOVE
230	LAUREL OAK	QUERCUS LAURIFOLIA	22	0.75	22.50	3	REMOVE
231	LAUREL OAK	QUERCUS LAURIFOLIA	24	0.75	24.00	3	REMOVE
232	LAUREL OAK	QUERCUS LAURIFOLIA	21	0.75	21.00	3	REMOVE
233	LAUREL OAK	QUERCUS LAURIFOLIA	28	0.75	28.00	3	REMOVE
234	LAUREL OAK	QUERCUS LAURIFOLIA	28	0.75	28.00	3	REMOVE
235	LIVE OAK	QUERCUS VIRGINIANA	31	1.00	31.00	5.5	REMOVE
236	LAUREL OAK	QUERCUS LAURIFOLIA	18		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
237	LIVE OAK	QUERCUS VIRGINIANA	25		2	SEVERE PHOTO INHIBITION TO THE SOUTHWEST - COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
238	LAUREL OAK	QUERCUS LAURIFOLIA	16		1	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
239	LIVE OAK	QUERCUS VIRGINIANA	30	1.00	30.00	4	REMOVE
240	LIVE OAK	QUERCUS VIRGINIANA	22	0.75	22.50	3	REMOVE

TREE #	COMMON NAME	BOTANICAL NAME	DBH IN INCHES	HEIGHT FEET	CONDITION RATING	NOTES	RECOMMENDATION	
241	LIVE OAK	QUERCUS VIRGINIANA	57	1.00	57.00	3	LOW CROWN DENSITY	REMOVE
242	LIVE OAK	QUERCUS VIRGINIANA	42	1.00	42.00	3	TRUNK DAMAGE FROM BRANCHES AND DECAYING LIMBS	REMOVE
243	LIVE OAK	QUERCUS VIRGINIANA	32	1.00	32.00	3	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	PRESERVE IN PLACE
244	LAUREL OAK	QUERCUS LAURIFOLIA	28	0.75	28.00	3.5	REMOVE	
245	LIVE OAK	QUERCUS VIRGINIANA	21	0.75	21.00	3	REMOVE	
246	LIVE OAK	QUERCUS VIRGINIANA	54	1.00	54.00	4	REMOVE	
247	LIVE OAK	QUERCUS VIRGINIANA	32	1.00	32.00	3.5	PRESERVE IN PLACE	
248	LIVE OAK	QUERCUS VIRGINIANA	41	1.00	41.00	4	PRESERVE IN PLACE	
249	LAUREL OAK	QUERCUS LAURIFOLIA	51	1.00	51.00	3	TOP CENTER BRANCH OVER HANGING BRANCHES TO BE REMOVED TO IMPROVE CROWN DENSITY	PRESERVE IN PLACE
250	LIVE OAK	QUERCUS VIRGINIANA	27	0.75	27.00	3	PRESERVE IN PLACE	
251	LIVE OAK	QUERCUS VIRGINIANA	51	1.00	51.00	4	PRESERVE IN PLACE	
252	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	1	PRESERVE IN PLACE	
253	LAUREL OAK	QUERCUS LAURIFOLIA	11		2.5	VINE LIMBS ABOVE CANOPY	REMOVE	
254	LIVE OAK	QUERCUS VIRGINIANA	18		2.5	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
255	LAUREL OAK	QUERCUS LAURIFOLIA	25		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
256	BLACK EMERY	FRAXINUS VIRGINIANA	17		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE	
257	LAUREL OAK	QUERCUS LAURIFOLIA	13	0.50	6.50	4	REMOVE	
258	LAUREL OAK	QUERCUS LAURIFOLIA	21		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
259	LIVE OAK	QUERCUS VIRGINIANA	29	0.75	29.00	3.5	REMOVE	
260	LIVE OAK	QUERCUS VIRGINIANA	21		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
261	LIVE OAK	QUERCUS VIRGINIANA	13	0.50	6.50	3	REMOVE	
262	LAUREL OAK	QUERCUS LAURIFOLIA	12	0.50	6.00	3.5	REMOVE	
263	LAUREL OAK	QUERCUS LAURIFOLIA	17	0.50	6.50	1	REMOVE	
264	LAUREL OAK	QUERCUS LAURIFOLIA	13		2.5	DECAYING CROWN LIMBS, MULTIPLE BRANCHES DAMAGED	REMOVE	
265	LAUREL OAK	QUERCUS LAURIFOLIA	14	0.50	7.00	3	REMOVE	
266	LAUREL OAK	QUERCUS LAURIFOLIA	10		2	LARGE COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
267	LAUREL OAK	QUERCUS LAURIFOLIA	15		1	LARGE COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
268	LIVE OAK	QUERCUS VIRGINIANA	19	0.50	6.50	3	PRESERVE IN PLACE	
269	LIVE OAK	QUERCUS VIRGINIANA	44		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
270	LAUREL OAK	QUERCUS LAURIFOLIA	17		2	MULTIPLE BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE	
271	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	6.50	1	PRESERVE IN PLACE	
272	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	6.50	3	PRESERVE IN PLACE	
273	LAUREL OAK	QUERCUS LAURIFOLIA	15		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE	
274	LAUREL OAK	QUERCUS LAURIFOLIA	12	0.50	6.00	3	REMOVE	
275	LAUREL OAK	QUERCUS LAURIFOLIA	17		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE	
276	LIVE OAK	QUERCUS VIRGINIANA	17	0.50	6.50	3	REMOVE	
277	LAUREL OAK	QUERCUS LAURIFOLIA	23	0.75	17.50	3	REMOVE	
278	LAUREL OAK	QUERCUS LAURIFOLIA	16	0.50	6.00	3.5	REMOVE	
279	LIVE OAK	QUERCUS VIRGINIANA	17		2.5	MULTIPLE BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE	

TREE #	COMMON NAME	BOTANICAL NAME	DBH IN INCHES	HEIGHT FEET	CONDITION RATING	NOTES	RECOMMENDATION
281	LIVE OAK	QUERCUS VIRGINIANA	15		2	BASAL COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
282	LIVE OAK	QUERCUS VIRGINIANA	24	0.75	24.00	3.5	REMOVE
283	LAUREL OAK	QUERCUS LAURIFOLIA	17	0.50	6.50	3.5	PRESERVE IN PLACE
284	LAUREL OAK	QUERCUS LAURIFOLIA	13		2.5	MULTIPLE COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
285	LAUREL OAK	QUERCUS LAURIFOLIA	17		1	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
286	LAUREL OAK	QUERCUS LAURIFOLIA	17		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
287	LAUREL OAK	QUERCUS LAURIFOLIA	11		2	SMALL COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
288	LAUREL OAK	QUERCUS LAURIFOLIA	14	1.00	14.00	3.5	PRESERVE IN PLACE
289	LAUREL OAK	QUERCUS LAURIFOLIA	13		2.5	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
290	LAUREL OAK	QUERCUS LAURIFOLIA	13		2.5	SMALL COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
291	LAUREL OAK	QUERCUS LAURIFOLIA	21		2	SMALL COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
292	LAUREL OAK	QUERCUS LAURIFOLIA	23		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
293	LAUREL OAK	QUERCUS LAURIFOLIA	23	0.75	13.25	3.5	PRESERVE IN PLACE
294	LAUREL OAK	QUERCUS LAURIFOLIA	13		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
295	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	3	PRESERVE IN PLACE
296	LIVE OAK	QUERCUS VIRGINIANA	14	1.00	14.00	4	PRESERVE IN PLACE
297	LAUREL OAK	QUERCUS LAURIFOLIA	12		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
298	LAUREL OAK	QUERCUS LAURIFOLIA	13		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
299	LAUREL OAK	QUERCUS LAURIFOLIA	12		2.5	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
300	LAUREL OAK	QUERCUS LAURIFOLIA	12	0.50	6.25	3	PRESERVE IN PLACE
301	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	3.5	PRESERVE IN PLACE
302	LAUREL OAK	QUERCUS LAURIFOLIA	13		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
303	LAUREL OAK	QUERCUS LAURIFOLIA	13		2	BRANCHES DAMAGED BY BRANCHES AND DECAYING LIMBS	REMOVE
304	LIVE OAK	QUERCUS VIRGINIANA	13	0.50	6.50	3	PRESERVE IN PLACE
305	LAUREL OAK	QUERCUS LAURIFOLIA	15	0.50	7.50	3	PRESERVE IN PLACE
306	LAUREL OAK	QUERCUS LAURIFOLIA	23		2	LARGE COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
307	LAUREL OAK	QUERCUS LAURIFOLIA	17		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
308	LAUREL OAK	QUERCUS LAURIFOLIA	15		2	COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
309	LAUREL OAK	QUERCUS LAURIFOLIA	12		2	SMALL COGNOMIAL STEMS WITH INCLUDED BARRELING ABOVE CANOPY	REMOVE
310	LIVE OAK	QUERCUS VIRGINIANA	55	1.00	55.00	4.5	PRESERVE IN PLACE
311	LAUREL OAK	QUERCUS LAURIFOLIA	13	0.50	6.50	3	PRESERVE IN PLACE
312	LAUREL OAK	QUERCUS LAURIFOLIA	12	0.50	6.25	3	PRESERVE IN PLACE
313	LAUREL OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	3	PRESERVE IN PLACE
314	LAUREL OAK	QUERCUS LAURIFOLIA	12	0.50	6.25	3	PRESERVE IN PLACE
315	LAUREL OAK	QUERCUS LAURIFOLIA	13	0.50	6.25	3	PRESERVE IN PLACE
316	LIVE OAK	QUERCUS VIRGINIANA	17	0.50	6.50	3	PRESERVE IN PLACE
317	LIVE OAK	QUERCUS VIRGINIANA	17	0.50	6.50	3	PRESERVE IN PLACE
318	LIVE OAK	QUERCUS VIRGINIANA	17	0.50	6.50	3	PRESERVE IN PLACE
319	LIVE OAK	QUERCUS VIRGINIANA	17	0.50	6.50	3	PRESERVE IN PLACE
320	LIVE OAK	QUERCUS VIRGINIANA	17	0.50	6.50	3	PRESERVE IN PLACE

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
APPLICATION # 30064
APPROVAL DATE 10/30/23
EXPIRATION DATE 10/30/26



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RECORDED
10/30/23
Marion County
Office of County Engineer

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 08/08/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
UPDATES PER COMMENT

TREE MITIGATION CALCULATIONS

LD601

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH INCHES	Height	Height in feet	CONDITION RATING	NOTES	RECOMMENDATION
921	JAMEL OAK	QUERCUS LAURIFOLIA	12			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
922	BLACK OAK	FRAXINUS SPICATA	17	25C	85.0	3.5		PRESERVE IN PLACE
923	JAMEL OAK	QUERCUS LAURIFOLIA	15	35C	75.0	3.5		PRESERVE IN PLACE
924	BLACK OAK	FRAXINUS SPICATA	12	35C	6.0	3.5		PRESERVE IN PLACE
925	JVE OAK	QUERCUS VANDERHARTII	12	35C	6.0	3		REMOVE
926	JVE OAK	QUERCUS VANDERHARTII	10	35C	5.0	3		REMOVE
927	JVE OAK	QUERCUS VANDERHARTII	22	37C	16.5	3		REMOVE
928	JVE OAK	QUERCUS VANDERHARTII	17			2	BASEL CODOMINANT 1.5 INCH ABOVE GRADE	REMOVE
929	JVE OAK	QUERCUS VANDERHARTII	28	37C	21.0	3		REMOVE
930	JVE OAK	QUERCUS VANDERHARTII	21			7	MULTIPLE CODOMINANT STEMS 4-7 FEET ABOVE GRADE WITH BARK INCLUSIONS	REMOVE
931	JVE OAK	QUERCUS VANDERHARTII	22	37C	16.0	3		REMOVE
932	JVE OAK	QUERCUS VANDERHARTII	15	35C	7.0	3		REMOVE
933	JVE OAK	QUERCUS VANDERHARTII	14	37C	18.0	3		REMOVE
934	JVE OAK	QUERCUS VANDERHARTII	16	35C	8.0	3.5		REMOVE
935	JVE OAK	QUERCUS VANDERHARTII	17			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
936	JVE OAK	QUERCUS VANDERHARTII	11			2.5	THIN FEET HIGH, DIBBAC	REMOVE
937	JVE OAK	QUERCUS VANDERHARTII	23			2.5	CO-DOMINANT STEMS 2 ABOVE GRADE WITH BARK INCLUSIONS IN TRUNK, NO MULTIPLE STEM 0.5 INCH ABOVE GRADE WITH BARK INCLUSIONS	REMOVE
938	JVE OAK	QUERCUS VANDERHARTII	28	37C	21.0	3		REMOVE
939	JVE OAK	QUERCUS VANDERHARTII	18	35C	9.0	3		REMOVE
940	JVE OAK	QUERCUS VANDERHARTII	10			2	BASEL CODOMINANT 1.5 INCH ABOVE GRADE WITH BARK INCLUSIONS IN TRUNK DURING GROWTH	REMOVE
941	JVE OAK	QUERCUS VANDERHARTII	20	35C	7.0	3	BASEL CODOMINANT WITH BARK INCLUSIONS	REMOVE
942	JVE OAK	QUERCUS VANDERHARTII	18	35C	7.0	3		REMOVE
943	JVE OAK	QUERCUS VANDERHARTII	13			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
944	JVE OAK	QUERCUS VANDERHARTII	14			2.5	LOWEST SCATTERED AC BOLLER ON NO OTHER BARK INCLUSIONS IN TRUNK DURING GROWTH	REMOVE
945	JVE OAK	QUERCUS VANDERHARTII	32	37C	32.0	3		REMOVE
946	JVE OAK	QUERCUS VANDERHARTII	32	37C	32.0	3		REMOVE
947	JVE OAK	QUERCUS VANDERHARTII	39			2	MULTIPLE STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
948	JVE OAK	QUERCUS VANDERHARTII	10			2.5	CO-DOMINANT STEMS WITH BARK INCLUSIONS	REMOVE
949	JVE OAK	QUERCUS VANDERHARTII	41			2.5	BASEL CODOMINANT 1.5 INCH ABOVE GRADE WITH BARK INCLUSIONS	REMOVE
950	JVE OAK	QUERCUS VANDERHARTII	17			7	SMALL CROWN SHARP WITH ALTERNATE STEMS, CO-DOMINANT STEMS 4 ABOVE GRADE	REMOVE
951	JVE OAK	QUERCUS VANDERHARTII	20	37C	15.0	3		REMOVE
952	JVE OAK	QUERCUS VANDERHARTII	24	37C	18.0	3		REMOVE
953	JVE OAK	QUERCUS VANDERHARTII	21	37C	15.75	3		REMOVE
954	JVE OAK	QUERCUS VANDERHARTII	24			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
955	JVE OAK	QUERCUS VANDERHARTII	22			2.5	BASEL CODOMINANT STEMS WITH BARK INCLUSIONS IN TRUNK, NO MULTIPLE STEMS 4 ABOVE GRADE WITH BARK INCLUSIONS	REMOVE
956	JVE OAK	QUERCUS VANDERHARTII	32			2	TRUNK BARK INCLUSIONS 1.5 INCH ABOVE GRADE WITH BARK INCLUSIONS	REMOVE
957	JAMEL OAK	QUERCUS LAURIFOLIA	10			2	SMALL CROWN WITH STEMS 4 ABOVE GRADE	REMOVE
958	JAMEL OAK	QUERCUS LAURIFOLIA	24			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
959	JAMEL OAK	QUERCUS LAURIFOLIA	13			2	SMALL STEMS WITH STEMS 4 ABOVE GRADE	REMOVE
960	JAMEL OAK	QUERCUS LAURIFOLIA	10			2	BASEL CODOMINANT STEMS 4 ABOVE GRADE	REMOVE

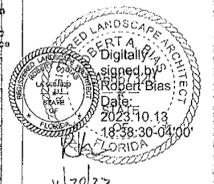
TREE #	COMMON NAME	SCIENTIFIC NAME	DBH INCHES	Height	Height in feet	CONDITION RATING	NOTES	RECOMMENDATION
961	JAMEL OAK	QUERCUS LAURIFOLIA	14			2.5	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
962	JVE OAK	QUERCUS VANDERHARTII	11			7	SMALL CROWN WITH STEMS 4 ABOVE GRADE	REMOVE
963	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	7.0	3		REMOVE
964	JAMEL OAK	QUERCUS LAURIFOLIA	11			7	BASEL CODOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
965	JAMEL OAK	QUERCUS LAURIFOLIA	11			1	BASEL CODOMINANT 1.5 INCH ABOVE GRADE	REMOVE
966	JAMEL OAK	QUERCUS LAURIFOLIA	11			1	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
967	JAMEL OAK	QUERCUS LAURIFOLIA	12			2	SMALL CROWN WITH STEMS 4 ABOVE GRADE	REMOVE
968	JVE OAK	QUERCUS VANDERHARTII	18	35C	9.0	3		REMOVE
969	JVE OAK	QUERCUS VANDERHARTII	24	37C	18.0	3		REMOVE
970	JVE OAK	QUERCUS VANDERHARTII	35			2	BASEL CODOMINANT WITH INCLUDED BARK ABOVE GRADE NEAR BASE OF TRUNK	REMOVE
971	JVE OAK	QUERCUS VANDERHARTII	30	35C	5.0	3		REMOVE
972	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
973	JAMEL OAK	QUERCUS LAURIFOLIA	12			2	TWO CODOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE NEAR BASE OF TRUNK	REMOVE
974	JAMEL OAK	QUERCUS LAURIFOLIA	12			2	BASEL CODOMINANT 1.5 INCH ABOVE GRADE	REMOVE
975	JAMEL OAK	QUERCUS LAURIFOLIA	13	35C	5.0	3		REMOVE
976	JAMEL OAK	QUERCUS LAURIFOLIA	11	35C	5.0	3		REMOVE
977	JVE OAK	QUERCUS VANDERHARTII	27			2	BASEL CODOMINANT WITH INCLUDED BARK ABOVE GRADE	REMOVE
978	JVE OAK	QUERCUS VANDERHARTII	28			2.5	THREE BARK CODOMINANT STEMS NEAR BASE OF TRUNK, NO BARK INCLUSIONS IN TRUNK, NO MULTIPLE STEMS 4 ABOVE GRADE	REMOVE
979	JAMEL OAK	QUERCUS LAURIFOLIA	20			2	THREE BARK CODOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE NEAR BASE OF TRUNK	REMOVE
980	JVE OAK	QUERCUS VANDERHARTII	13			2.5	DIBBAC, LOW CROWN DENSITY	REMOVE
981	JVE OAK	QUERCUS VANDERHARTII	28	37C	17.25	3		REMOVE
982	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	8.0	3		REMOVE
983	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
984	JVE OAK	QUERCUS VANDERHARTII	30			2	BASEL CODOMINANT WITH INCLUDED BARK ABOVE GRADE	REMOVE
985	JVE OAK	QUERCUS VANDERHARTII	18			2.5	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
986	JAMEL OAK	QUERCUS LAURIFOLIA	14	35C	7.0	3		REMOVE
987	JVE OAK	QUERCUS VANDERHARTII	29			7	MULTIPLE STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
988	JVE OAK	QUERCUS VANDERHARTII	31	37C	31.0	3		REMOVE
989	JVE OAK	QUERCUS VANDERHARTII	24	37C	18.0	3		REMOVE
990	JVE OAK	QUERCUS VANDERHARTII	48	37C	46.0	3		REMOVE
991	JAMEL OAK	QUERCUS LAURIFOLIA	28			2	SMALL CROWN WITH STEMS 4 ABOVE GRADE	REMOVE
992	JVE OAK	QUERCUS VANDERHARTII	32	37C	32.0	3		REMOVE
993	JAMEL OAK	QUERCUS LAURIFOLIA	30	37C	15.0	3		REMOVE
994	JAMEL OAK	QUERCUS LAURIFOLIA	27	37C	17.25	3		REMOVE
995	JVE OAK	QUERCUS VANDERHARTII	30	37C	30.0	3.5		REMOVE
996	JVE OAK	QUERCUS VANDERHARTII	27	37C	27.0	4	IF THESE CO-DOMINANT STEMS REMOVED	REMOVE
997	JVE OAK	QUERCUS VANDERHARTII	24	37C	18.0	3		REMOVE
998	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3.5		REMOVE
999	JAMEL OAK	QUERCUS LAURIFOLIA	14			7	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
1000	JAMEL OAK	QUERCUS LAURIFOLIA	17			1	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH INCHES	Height	Height in feet	CONDITION RATING	NOTES	RECOMMENDATION
1001	BLACK OAK	FRAXINUS SPICATA	12	35C	6.0	5		REMOVE
1002	JVE OAK	QUERCUS VANDERHARTII	22			7	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
1003	JVE OAK	QUERCUS VANDERHARTII	20	35C	15.0	3		REMOVE
1004	JAMEL OAK	QUERCUS LAURIFOLIA	11	35C	5.0	5		REMOVE
1005	JAMEL OAK	QUERCUS LAURIFOLIA	12			2.5	THIN FEET HIGH, DIBBAC	REMOVE
1006	JAMEL OAK	QUERCUS LAURIFOLIA	24			2	THIN FEET HIGH, DIBBAC	REMOVE
1007	JAMEL OAK	QUERCUS LAURIFOLIA	17	35C	8.0	3		REMOVE
1008	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
1009	JVE OAK	QUERCUS VANDERHARTII	30			2.5	CO-DOMINANT STEMS 4 ABOVE GRADE WITH BARK INCLUSIONS IN TRUNK DURING GROWTH	REMOVE
1010	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	5		REMOVE
1011	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
1012	JVE OAK	QUERCUS VANDERHARTII	18	35C	6.5	3		REMOVE
1013	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
1014	JVE OAK	QUERCUS VANDERHARTII	12	35C	6.0	3		REMOVE
1015	JAMEL OAK	QUERCUS LAURIFOLIA	15			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
1016	JAMEL OAK	QUERCUS LAURIFOLIA	12	35C	6.0	3		REMOVE
1017	JVE OAK	QUERCUS VANDERHARTII	24	37C	18.0	3		REMOVE
1018	JAMEL OAK	QUERCUS LAURIFOLIA	18			2.5	4" BLACK OAK TREE CROWN WITH INCLUDED BARK ABOVE GRADE NEAR BASE OF TRUNK, NO MULTIPLE STEMS 4 ABOVE GRADE	REMOVE
1019	BLACK OAK	FRAXINUS SPICATA	11			2	CO-DOMINANT STEMS 4 ABOVE GRADE	REMOVE
1020	BLACK OAK	FRAXINUS SPICATA	13			2	CO-DOMINANT STEMS 4 ABOVE GRADE	REMOVE
1021	BLACK OAK	FRAXINUS SPICATA	10	35C	5.0	5		REMOVE
1022	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	7.0	5		REMOVE
1023	JAMEL OAK	QUERCUS LAURIFOLIA	18	35C	9.0	5		REMOVE
1024	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3.5		REMOVE
1025	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3.5		REMOVE
1026	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
1027	JVE OAK	QUERCUS VANDERHARTII	10	35C	5.0	3		REMOVE
1028	JVE OAK	QUERCUS VANDERHARTII	25	37C	18.75	3		REMOVE
1029	JVE OAK	QUERCUS VANDERHARTII	11	35C	5.0	3		REMOVE
1030	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
1031	JAMEL OAK	QUERCUS LAURIFOLIA	11	35C	5.0	3		REMOVE
1032	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
1033	JVE OAK	QUERCUS VANDERHARTII	26			7	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE
1034	BLACK OAK	FRAXINUS SPICATA	12			2	THIN FEET HIGH, DIBBAC	REMOVE
1035	JVE OAK	QUERCUS VANDERHARTII	28			2	THREE BARK CODOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE NEAR BASE OF TRUNK	REMOVE
1036	JVE OAK	QUERCUS VANDERHARTII	38	37C	38.0	3.5		REMOVE
1037	JAMEL OAK	QUERCUS LAURIFOLIA	14			2	THIN FEET HIGH, DIBBAC	REMOVE
1038	JAMEL OAK	QUERCUS LAURIFOLIA	10	35C	5.0	3		REMOVE
1039	JVE OAK	QUERCUS VANDERHARTII	12			2.5	CO-DOMINANT STEMS 4 ABOVE GRADE WITH INCLUDED BARK ABOVE GRADE	REMOVE
1040	JAMEL OAK	QUERCUS LAURIFOLIA	15			2	CO-DOMINANT STEMS WITH INCLUDED BARK ABOVE GRADE	REMOVE

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 23001809
APPROVAL DATE 08/08/2023
EXPIRATION DATE 10/30/25

All conclusions shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be restored to original condition. Seed and mulch may be used if approved by the County Engineer or designee.



10/20/23

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 08/08/2023
DRAWN: BCH
REVIEWED: RAB

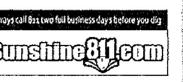
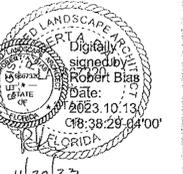
REVISIONS
▲ UPDATES PER COMMENT

TREE
MITIGATION
CALCULATIONS

LD602



30064
10/30/25



RECEIVED
10/15/25
Marion County
Office of Community Planning

OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT

TREE
MITIGATION
CALCULATIONS

LD603

3RD SUBMITTAL

SEC. 6.7.8. - PROTECTED TREE REPLACEMENT REQUIREMENTS

ALL TREES NOT PERMITTED FOR REMOVAL MUST BE PROTECTED AND MAINTAINED. FOR THOSE PROTECTED TREES PERMITTED FOR REMOVAL, TREES SHALL BE REPLACED IN ACCORDANCE WITH THE MINIMUM STANDARDS SET FORTH BELOW.

A. REPLACEMENT IS NOT REQUIRED WHERE THE PROPERTY OWNER RETAINS EXISTING TREES ON THE SITE WHICH TOTAL AN AVERAGE OF 100 INCHES DBH PER ACRE. IF REPLACEMENT IS NECESSARY, A MINIMUM OF 100 INCHES DBH PER ACRE ON THE AVERAGE SHALL BE ACHIEVED.

B. IF THE PRE-DEVELOPMENT NUMBER OF INCHES IS LESS THAN 100 DBH PER ACRE AVERAGE, THE PROPERTY OWNER SHALL REPLACE TREES TO EQUAL THE PRE-DEVELOPMENT NUMBER OF DBH INCHES.

C. REPLACEMENT OF TREES LESS THAN 30 INCHES DBH AND PERMITTED FOR REMOVAL SHALL BE AS DESCRIBED BELOW:

(1) EXISTING TREES MEASURING 10 INCHES DBH TO 19 INCHES DBH SHALL BE REPLACED WITH A RATIO OF ONE-INCH REPLACEMENT PER TWO INCHES REMOVED AND THE MINIMUM REPLACEMENT TREE SIZE IS 3.5-INCH CALIPER.

(2) EXISTING TREES MEASURING 20 INCHES DBH TO 29 INCHES DBH SHALL BE REPLACED WITH A RATIO OF 1.5 INCHES REPLACEMENT PER TWO INCHES REMOVED AND THE MINIMUM REPLACEMENT TREE SIZE IS 3.5-INCH CALIPER.

D. REPLACEMENT OF TREES 30 INCHES DBH OR GREATER AND PERMITTED FOR REMOVAL SHALL BE AS DESCRIBED BELOW:

(1) ALL TREES WHICH RECEIVE A FAVORABLE ASSESSMENT MAY BE APPROVED FOR REMOVAL BY THE COUNTY'S LANDSCAPE ARCHITECT OR HIS DESIGNEE UNDER THE FOLLOWING CIRCUMSTANCES:

(A) THE TREE MATERIALLY INTERFERES WITH THE PROPOSED LOCATION, SERVICE OR FUNCTION OF THE UTILITY LINES OR SERVICES, OR RIGHTS-OF-WAY, AND

(B) THE TREE CANNOT BE PRESERVED THROUGH RE-DESIGN OF THE INFRASTRUCTURE.

(2) ALL TREES WHICH RECEIVE A FAVORABLE ASSESSMENT SHALL BE REPLACED INCH-FOR-INCH AND THE MINIMUM REPLACEMENT TREE SIZE IS 4.0-INCH CALIPER.

(3) ALL TREES WHICH RECEIVE AN UNFAVORABLE ASSESSMENT SHALL BE REPLACED WITH A RATIO OF 1.5 INCHES REPLACEMENT PER TWO INCHES REMOVED AND THE MINIMUM REPLACEMENT TREE SIZE IS 3.5-INCH CALIPER.

PRE DEVELOPMENT: EXISTING TREE CALCULATIONS

Total Site Area =	36.13 Acres
TOTAL SURVEYED TREE INCHES (10" DBH or greater)	6,642
TREE INCHES WITH UNFAVORABLE ASSESSMENT	2,723
TREE INCHES TO BE PRESERVED (10" DBH or GREATER)	1,455
10"-29" DBH TREE INCHES TO BE REMOVED	1,685
30" OR GREATER DBH TREE INCHES TO BE REMOVED	779

NOTE: 129 TREES (2,723 INCHES) RECEIVED A CONDITION RATING OF LESS THAN 3 AND HAVE SIGNIFICANT HEALTH AND/OR STRUCTURAL DEFECTS. TREES WITH A CONDITION RATING OF LESS THAN 3 ARE CONSIDERED UNFAVORABLE AND HAVE A REPLACEMENT FACTOR OF 1.5" PER 2" REMOVED WITH A REPLACEMENT TREE SIZE OF 3.5".

POST DEVELOPMENT: TREE CALCULATIONS

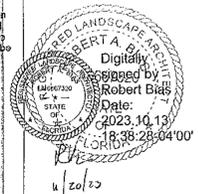
SITE REQUIRED TREE INCH MINIMUM = 100" DBH PER ACRE	
36.13 ACRES X 100 INCH = 3,613 TREE INCHES	INCHES
PRESERVED TREE INCHES =	1,455
PROVIDED TREE INCHES (4" DBH) =	1,896
PROVIDED TREE INCHES (3.5" DBH) =	742
TOTAL PROVIDED TREE INCHES (3.5" & 4" DBH) =	4,093
PROVIDED TREE INCHES (2.5" DBH) =	163
TOTAL OVERALL TREE INCHES PRESERVED AND PROVIDED =	4,256

TREE SPECIES	CALIPER	QTY	INCHES
Red Maple	4	89	356
Southern Magnolia	4	58	232
American Sycamore	4	25	100
Slash Pine	3.5	37	129.5
Southern Live Oak	4	221	884
Bald Cypress	4	81	324
Little Gem Magnolia	3.5	96	336
American Elm	3.5	79	276.5
TOTAL		686	2630

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH IN INCHES	Multiplier	Replacement Inches	CONDITION RATING	NOTES	RECOMMENDATION
341	JURU OAK	QUERCUS LAURIFOLIA	11			2	GOOD MOUNT STEMS WITH INCLUDED BARK 2' ABOVE GRADE	REMOVE
342	JURU OAK	QUERCUS LAURIFOLIA	15			2	BARK CO-DOMINANT STEMS WITH 1/2" BARK	REMOVE
343	JURU OAK	QUERCUS LAURIFOLIA	14	0.50	6.00	3		REMOVE
344	VF OAK	QUERCUS VIRGINICANA	13	1.00	40.00	3.5		REMOVE
345	VF OAK	QUERCUS VIRGINICANA	12	0.50	6.00	3		REMOVE
346	JURU OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	3.5		REMOVE
347	JURU OAK	QUERCUS LAURIFOLIA	13	0.50	5.00	3		REMOVE
348	VF OAK	QUERCUS VIRGINICANA	17			2	GOOD MOUNT STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
349	JURU OAK	QUERCUS LAURIFOLIA	21			2	MULTIPLE STEMS WITH 1/2" BARK	REMOVE
350	VF OAK	QUERCUS VIRGINICANA	13	0.50	6.00	3		REMOVE
351	VF OAK	QUERCUS VIRGINICANA	15			2	MULTIPLE STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
352	VF OAK	QUERCUS VIRGINICANA	12	0.50	6.00	3.0		REMOVE
353	BLACK C-H TR	FRAXINUS SERRATA	10	0.50	5.00	3		REMOVE
354	VF OAK	QUERCUS VIRGINICANA	22			2	MULTIPLE STEMS WITH 1/2" BARK THROUGH THE CROWN	REMOVE
355	BLACK C-H TR	FRAXINUS SERRATA	11	0.50	5.50	3.5		REMOVE
356	VF OAK	QUERCUS VIRGINICANA	22			2	GOOD MOUNT STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
357	BLACK C-H TR	FRAXINUS SERRATA	13			2	SLIGHTLY DAMAGED BY STORM, BUT BARK IS SOUND	REMOVE
358	JURU OAK	QUERCUS LAURIFOLIA	17	1.00	40.00	3.5		REMOVE
359	JURU OAK	QUERCUS LAURIFOLIA	21	0.50	10.50	3		REMOVE
360	JURU OAK	QUERCUS LAURIFOLIA	13	0.50	6.50	3		REMOVE
361	JURU OAK	QUERCUS LAURIFOLIA	13			2	MULTIPLE BARK STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
362	LV OAK	QUERCUS VIRGINICANA	53	1.00	53.00	3		REMOVE
363	LV OAK	QUERCUS VIRGINICANA	14	0.50	7.00	3		REMOVE
364	LV OAK	QUERCUS VIRGINICANA	19			2	BARK CO-DOMINANT WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
365	LV OAK	QUERCUS VIRGINICANA	15	2.5	37.50	3.5	BARK CO-DOMINANT WITH 3/4" BARK 2' ABOVE GRADE	REMOVE
366	LV OAK	QUERCUS VIRGINICANA	23	0.75	17.25	3.5		REMOVE
367	LV OAK	QUERCUS VIRGINICANA	15	0.75	7.50	3		REMOVE
368	LV OAK	QUERCUS VIRGINICANA	29			2	GOOD MOUNT STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
369	LV OAK	QUERCUS VIRGINICANA	13	1.00	43.00	3.5		REMOVE
370	LV OAK	QUERCUS VIRGINICANA	15	2.5	37.50	3.5	BARK CO-DOMINANT WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
371	LV OAK	QUERCUS VIRGINICANA	25			2	BARK CO-DOMINANT WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
372	LV OAK	QUERCUS VIRGINICANA	14	0.50	7.00	3.5		REMOVE
373	LV OAK	QUERCUS VIRGINICANA	55			2	MULTIPLE STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
374	LV OAK	QUERCUS VIRGINICANA	58	1.00	58.00	3.5		REMOVE
375	LV OAK	QUERCUS VIRGINICANA	53	1.00	53.00	3.5		REMOVE
376	LV OAK	QUERCUS VIRGINICANA	29	0.75	21.75	3.5		REMOVE
377	LV OAK	QUERCUS VIRGINICANA	54			1	THE BRANCHES ARE DAMAGED BY STORMS AND ARE NOT VISIBLE FROM THE STREETS	REMOVE
378	BLACK C-H TR	FRAXINUS SERRATA	12	0.50	6.00	3		REMOVE
379	BLACK C-H TR	FRAXINUS SERRATA	13	0.50	5.50	3		REMOVE
380	MURBLE OAK	QUERCUS LAURIFOLIA	15	0.50	7.50	3		REMOVE

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH IN INCHES	Multiplier	Replacement Inches	CONDITION RATING	NOTES	RECOMMENDATION
381	MURBLE OAK	QUERCUS LAURIFOLIA	11	0.50	5.50	3.5		REMOVE
382	MURBLE OAK	QUERCUS LAURIFOLIA	11			2.5	DEBRIS LOW CROWN, CLUSTY	REMOVE
383	LV OAK	QUERCUS VIRGINICANA	11	0.50	5.50	3		REMOVE
384	LV OAK	QUERCUS VIRGINICANA	19			2.5	DEBRIS LOW CROWN, CLUSTY TO CO-DOMINANT STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
385	LV OAK	QUERCUS VIRGINICANA	26	0.75	19.50	3		REMOVE
386	LV OAK	QUERCUS VIRGINICANA	14	0.50	7.00	3.5		REMOVE
387	BLACK CHERRY	PRUNUS SEROTINA	11	0.50	5.50	3.5		REMOVE
388	LV OAK	QUERCUS VIRGINICANA	17	0.50	8.50	3		REMOVE
389	LV OAK	QUERCUS VIRGINICANA	15	0.50	7.50	3		REMOVE
390	LV OAK	QUERCUS VIRGINICANA	26	0.50	13.00	3		REMOVE
391	BLACK CHERRY	PRUNUS SEROTINA	11	0.50	5.50	3		REMOVE
392	LV OAK	QUERCUS VIRGINICANA	13			2	CO-DOMINANT STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
393	LV OAK	QUERCUS VIRGINICANA	10	0.50	5.00	3.5		REMOVE
394	LV OAK	QUERCUS VIRGINICANA	13	0.50	6.50	3		REMOVE
395	LV OAK	QUERCUS VIRGINICANA	13			2	CO-DOMINANT STEMS WITH 1/2" BARK 2' ABOVE GRADE	REMOVE
396	LV OAK	QUERCUS VIRGINICANA	30	1.00	30.00	3.5		REMOVE
397	LV OAK	QUERCUS VIRGINICANA	29	0.75	21.75	3		REMOVE
398	LV OAK	QUERCUS VIRGINICANA	25	1.00	25.00	3.5		REMOVE
399	LV OAK	QUERCUS VIRGINICANA	50	3.00	150.00	2.5		REMOVE
400	LV OAK	QUERCUS VIRGINICANA	48	1.00	48.00	3.5		REMOVE
401	LV OAK	QUERCUS VIRGINICANA	32	1.00	32.00	3.5		REMOVE
402	LV OAK	QUERCUS VIRGINICANA	53	1.00	53.00	3.5		REMOVE
403	LV OAK	QUERCUS VIRGINICANA	22	3.00	66.00	3.5		REMOVE
404	LV OAK	QUERCUS VIRGINICANA	17	3.00	51.00	3.5		REMOVE
405	LV OAK	QUERCUS VIRGINICANA	24	3.00	72.00	3.5		REMOVE
406	LV OAK	QUERCUS VIRGINICANA	46	3.00	138.00	3.5		REMOVE
407	LV OAK	QUERCUS VIRGINICANA	47	3.00	141.00	3.5		REMOVE
408	LV OAK	QUERCUS VIRGINICANA	44	3.00	132.00	3.5		REMOVE
409	LV OAK	QUERCUS VIRGINICANA	24	3.00	72.00	3.5		REMOVE
410	LV OAK	QUERCUS VIRGINICANA	30	2.00	60.00	3.5		REMOVE
411	LV OAK	QUERCUS VIRGINICANA	36	3.00	108.00	3.5		REMOVE

NOTES:
 APPLICATION # 30064
 APPROVAL DATE: 10/09/2023
 LANDSCAPE ARCHITECTURE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
 LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE (LDC) AND THE LDC SECTION - TECHNICAL STANDARDS AND SPECIFICATIONS FOR LANDSCAPE BUFFER DESIGN AND COMPLIANCE OF THE WITH SEC. 6.8.6 OF THE LDC. ANY TREE OR SHRUBS THAT HAVE BEEN DESIGNATED BY THE MARION COUNTY TREE PRESERVATION PROGRAM SHALL BE PRESERVED.
 LANDSCAPING WITHIN PARKING AREAS AND VEHICULAR USE AREAS ARE IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
 BUILDING LANDSCAPING AREAS DESIGNING IS LIMITED TO COMPLIANCE WITH THE LDC SECTION 6.8.8 OF MARION COUNTY'S CODE OF ORDINANCES AND THE LDC IN ACCORDANCE WITH THE LDC SECTION 6.8.8 OF THE LDC.
 PER SEC. 6.8.9 OF THE LDC, LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.



BUFFER CALCULATIONS (LDC SEC. 6.8.6)
NORTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES
 (1,300 L.F. / 100) X 2
 SHADE TREES PROVIDED - 35 TREES
 ORNAMENTAL TREES REQUIRED - 39 TREES
 (1,293 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 39 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 23 TREES
 (1,165 L.F. / 100) X 2
 SHADE TREES PROVIDED - 27 TREES
 ORNAMENTAL TREES REQUIRED - 35 TREES
 (1,165 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 56 TREES
 *NOTE: DUE TO OVERHEAD TRANSMISSION ALL LARGE AND SHADE TREES SHALL BE LOCATED 30 FEET AWAY FROM OVERHEAD TRANSMISSION IN COMPLIANCE WITH LDC SEC. 6.8.8

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES
 (1,278 L.F. / 100) X 2
 SHADE TREES PROVIDED - 29 TREES
 ORNAMENTAL TREES REQUIRED - 38 TREES
 (1,276 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 38 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)
 SHADE TREES REQUIRED - 49 TREES
 (1,225 L.F. / 100) X 4
 SHADE TREES PROVIDED - 64 TREES
 SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS
 PER SEC. 6.7.4 OF THE LDC
 REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE
 REQUIRED SHADE TREES = 525 TREES
 SITE (36.13 AC) X 3000SF = 524.6 TREES REQUIRED
 PROVIDED SHADE TREES = 57 PRESERVED TREES + 686 PROPOSED TREES = 743 SHADE TREES

SITE SHRUB CALCULATIONS
 PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL
 SHRUBS, GRASSES & GROUNDCOVERS
 PROPOSED: 28,773 (NATIVE 84%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

NORTH SIDE DRY POND
 SHADE TREES REQUIRED - 23 TREES
 (570 L.F. / 100) X 4
 SHADE TREES PROVIDED - 25 TREES
 SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.
 SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE = 8.8 AC / 36.13 AC (FULL SITE) = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S" Overall
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	108
	1/50' of Divider Median	29
Shrubs/GC	Entire Island	5,500
Landscape Area	5' Perimeter min.	7,367

Ocala South
CODE MINIMUM LANDSCAPE PLANS
Ocala, Marion County, Florida

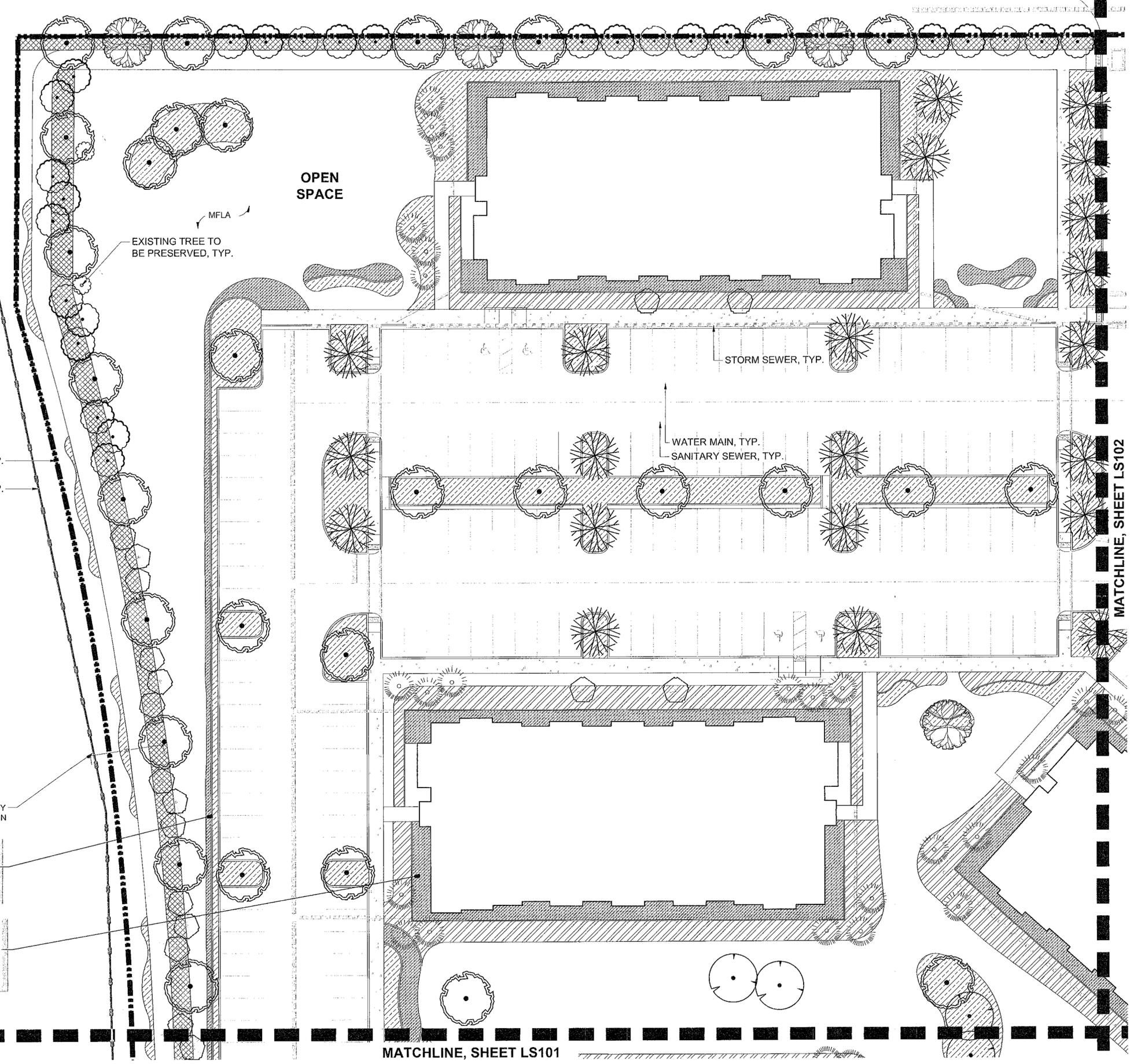
PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS101

3RD SUBMITTAL



PROPERTY BOUNDARY, TYP.
 OVERHEAD UTILITIES, TYP.

MFLA
 EXISTING TREE TO BE PRESERVED, TYP.

STORM SEWER, TYP.

WATER MAIN, TYP.
 SANITARY SEWER, TYP.

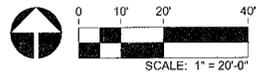
OVERHEAD UTILITY SHADE TREES TO BE 30' OFFSET MIN

"PARKING AREAS & VUA'S"
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	20
	1/50' of Divider Median	6
Shrubs/GC	Entire Island	887
Landscape Area	5' Perimeter min.	2,070

BUILDING LANDSCAPING (MARION COUNTY LDC SEC. 6.8.8)
 A. Landscape plantings shall be provided along the entire rear and side of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.
 B. Landscape trees shall be provided adjacent to a minimum 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas reserved for access to the building.
 C. Landscape trees shall be a minimum of 2 feet wide allowing for a minimum distance of two feet from the facade to the innermost plants.
 D. Large trees shall not be located within 20 feet of a building.
 E. Ornamental trees shall be located sufficiently to allow for healthy growth and to enhance the exterior of a building.

MATCHLINE, SHEET LS101





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10/19/2023
Marion County
City of Ocala

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO.: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS102

3RD SUBMITTAL

LANDSCAPE SCHEDULE AND NOTES

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
APPLICATION # 30064
APPROVAL DATE 10/09/23
LANDSCAPE ARCHITECTURE PLANS ARE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE DIVISION 6.8.6.5 (SECTION 6.8.6.5) TECHNICAL STANDARDS AND SPECIFICATIONS County Land.
LANDSCAPE BUFFER REDESIGNED IN COMPLIANCE WITH SEC. 6.8.6 OF THE LDC AND THE PREVIOUS EDITIONS SHALL HAVE BEEN DESIGNATED BY THE PREVIOUS EDITIONS OF THE LDC.
LANDSCAPING WITHIN PARKING AREAS AND VEHICULAR USE AREAS ARE IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
BUILDING LANDSCAPING CRITERIA IS LIMITED TO COMPLIANCE WITH SECTION 6.8.6 OF THE LDC.
PLANT SELECTION AND GENERAL TREE SPECIFICATIONS IN ACCORDANCE WITH SECTION 6.8.6 OF THE LDC.
PER SEC. 6.8.8 OF THE LDC LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.

BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)
SHADE TREES REQUIRED - 26 TREES (1,300 L.F. / 100) X 2
SHADE TREES PROVIDED - 35 TREES
ORNAMENTAL TREES REQUIRED - 39 TREES (1,293 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 39 TREES
SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)
SHADE TREES REQUIRED - 23 TREES (1,165 L.F. / 100) X 2
SHADE TREES PROVIDED - 27 TREES
ORNAMENTAL TREES REQUIRED - 35 TREES (1,165 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 66 TREES
**NOTE: DUE TO OVERHEAD TRANSMISSION ALL LARGE AND SHADE TREES SHALL BE LOCATED 30 FEET AWAY FROM OVERHEAD TRANSMISSION IN COMPLIANCE WITH LDC SEC. 6.8.3

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)
SHADE TREES REQUIRED - 26 TREES (1,276 L.F. / 100) X 2
SHADE TREES PROVIDED - 29 TREES
ORNAMENTAL TREES REQUIRED - 38 TREES (1,276 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 38 TREES
SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)
SHADE TREES REQUIRED - 49 TREES (1,225 L.F. / 100) X 4
SHADE TREES PROVIDED - 64 TREES
SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS

PER SEC. 6.7.4 OF THE LDC
REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE
REQUIRED SHADE TREES = 525 TREES
SITE (38.13 AC) / 3000SF = 524.6 TREES REQUIRED
PROVIDED SHADE TREES = 57 PRESERVED TREES (NATIVE 100%)
686 PROPOSED TREES
742 SHADE TREES

SITE SHRUB CALCULATIONS

PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL
SHRUBS, GRASSES & GROUND COVERS
PROPOSED: 26,773 (NATIVE 64%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

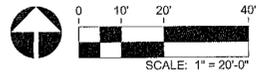
NORTH SIDE DRY POND
SHADE TREES REQUIRED - 23 TREES (570 L.F. / 100) X 4
SHADE TREES PROVIDED - 25 TREES
SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.
SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.
SHRUBS AND/OR GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE = 8.8 AC / 38.13 AC (FULL SITE) = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S OVERALL"
Marion County LDC Sec. 6.8.7

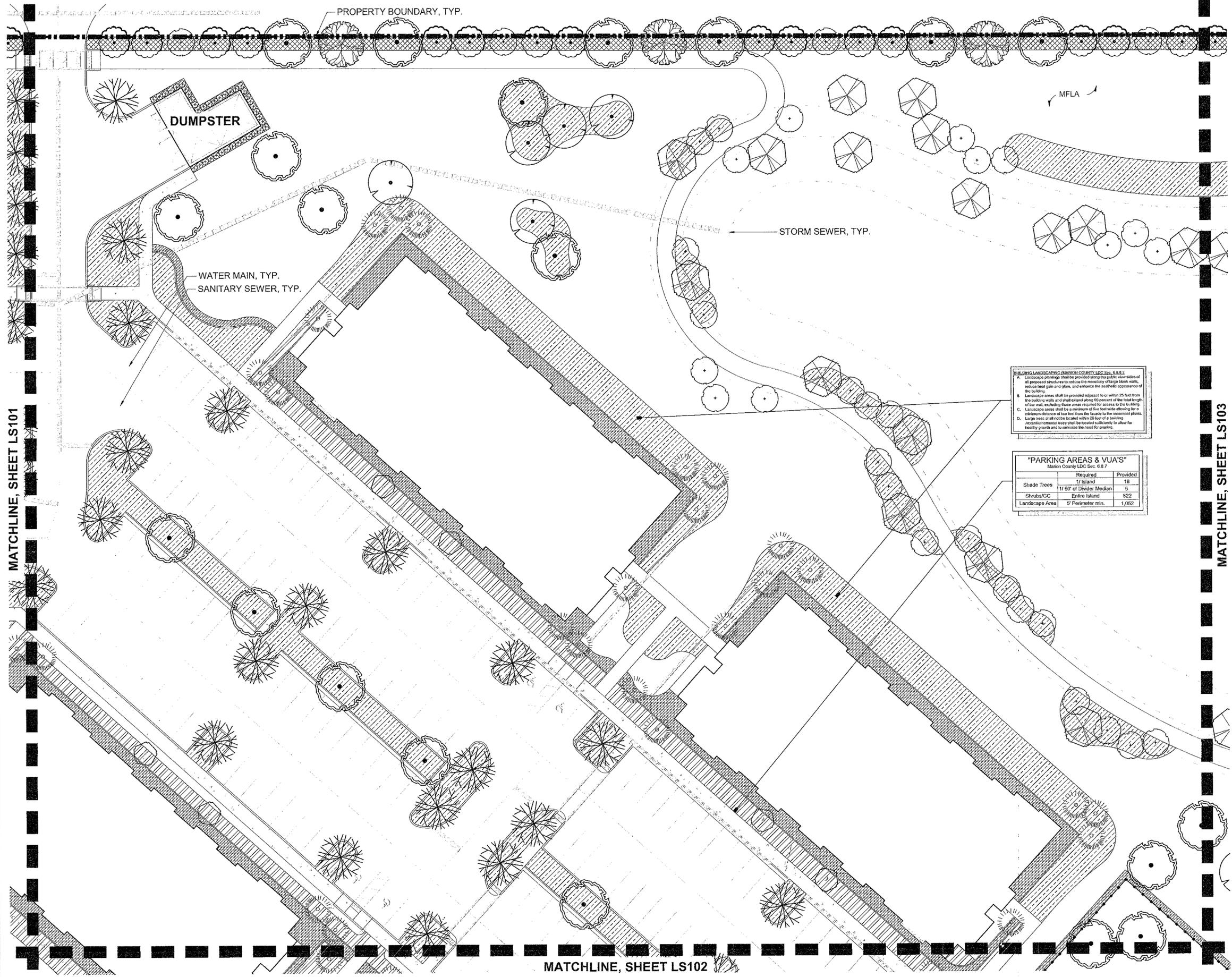
	Required	Provided
Shade Trees	1/ Island	108
	1/ 50' of Divider Median	29
Shrubs/GC	Entire Island	5,500
Landscape Area	5' Perimeter min.	7,367



BUILDING LANDSCAPING (MARION COUNTY LDC SEC. 6.8.6)
A. Landscape plantings shall be provided along the public view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.
B. Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 50 percent of the total length of the wall, excluding those areas required for access to the building.
C. Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the facade to the nearest plants.
D. Large trees shall not be located within 20 feet of a building. Accommodational trees shall be located sufficiently to allow for healthy growth and to minimize the need for pruning.

"PARKING AREAS & VUA'S"
Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	18
	1/ 50' of Divider Median	5
Shrubs/GC	Entire Island	822
Landscape Area	5' Perimeter min.	1,052



MATCHLINE, SHEET LS101

MATCHLINE, SHEET LS102

MATCHLINE, SHEET LS102

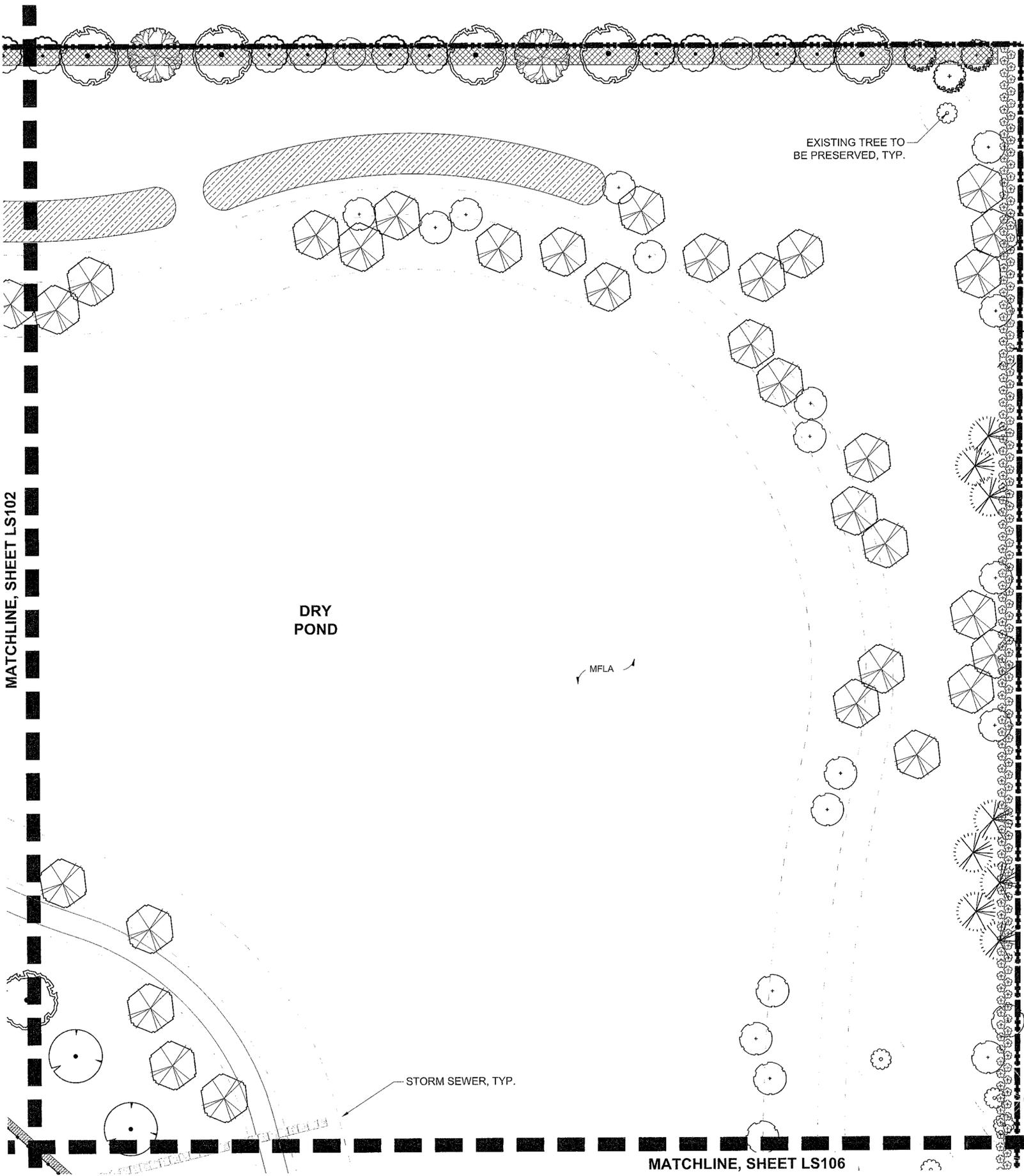
PROPERTY BOUNDARY, TYP.

DUMPSTER

WATER MAIN, TYP.
SANITARY SEWER, TYP.

STORM SEWER, TYP.

MFLA



MATCHLINE, SHEET LS102

MATCHLINE, SHEET LS106

EXISTING TREE TO BE PRESERVED, TYP.

PROPERTY BOUNDARY, TYP.
BUFFER TYPE E

DRY POND

STORM SEWER, TYP.

MFLA

LANDSCAPE SCHEDULE AND NOTES

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

NOTES:
APPLICATION # 30064
APPROVAL DATE 10/20/23

- LANDSCAPE ARCHITECTURE SHALL BE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
- LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE'S DIVISION FOR BUFFER FUNCTION - TECHNICAL STANDARDS AND REQUIREMENTS County Land.
- LANDSCAPE BUFFERS ARE SHOWN IN COMPLIANCE OF THE WITH SEC. 6.8.6 OF THE LDC AND THE BUFFER TYPE OF THE HAVE BEEN DESIGNATED BY THE LDC. THE BUFFER TYPE OF THE VEHICULAR USE AREAS ARE IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
- BUILDING LANDSCAPING ARE DESIGNATED AS LIMITED TO COMPLIANCE WITH SEC. 6.8.8 OF THE LDC.
- PLANT SELECTION AND SPECIES SHALL BE LIMITED TO IN ACCORDANCE WITH THE LDC. THE LDC DOES NOT PER SEC. 6.8.8 OF THE LDC.
- LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.

BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 26 TREES
(1,300 L.F. / 100) X 2
SHADE TREES PROVIDED - 35 TREES

ORNAMENTAL TREES REQUIRED - 39 TREES
(1,293 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 39 TREES

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 23 TREES
(1,165 L.F. / 100) X 2
SHADE TREES PROVIDED - 27 TREES

ORNAMENTAL TREES REQUIRED - 35 TREES
(1,165 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 56 TREES

***NOTE: DUE TO OVERHEAD TRANSMISSION ALL LARGE AND SHADE TREES SHALL BE LOCATED 30 FEET AWAY FROM OVERHEAD TRANSMISSION IN COMPLIANCE WITH LDC. SEC. 6.8.3**

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 26 TREES
(1,278 L.F. / 100) X 2
SHADE TREES PROVIDED - 29 TREES

ORNAMENTAL TREES REQUIRED - 38 TREES
(1,276 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 38 TREES

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)

SHADE TREES REQUIRED - 49 TREES
(1,225 L.F. / 100) X 4
SHADE TREES PROVIDED - 64 TREES

SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS

PER SEC. 6.7.4 OF THE LDC

- REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE

REQUIRED SHADE TREES = 525 TREES
SITE (36.13 AC) / 3000SF = 524.8 TREES REQUIRED

PROVIDED SHADE TREES = 57 PRESERVED TREES (NATIVE 100%)
+ 689 PROPOSED TREES
742 SHADE TREES

SITE SHRUB CALCULATIONS

PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL

- SHRUBS, GRASSES & GROUNDCOVERS

PROPOSED: 26,773 (NATIVE 84%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

NORTH SIDE DRY POND

SHADE TREES REQUIRED - 23 TREES
(570 L.F. / 100) X 4
SHADE TREES PROVIDED - 25 TREES

SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.

SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.

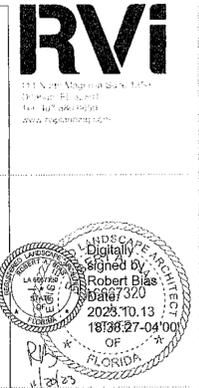
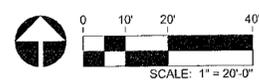
SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE = 8.8 AC / 36.13 AC (FULL SITE) = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S OVERALL"

	Required	Provided
Shade Trees	1/ Island	108
	1/ 50' of Divider Median	29
Shrubs/GC	Entire Island	5,500
Landscape Area	5' Perimeter min.	7,367



RECORDED
10/23/2023
Marion County
County of Marion, Florida

Ocala South
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT
▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS103

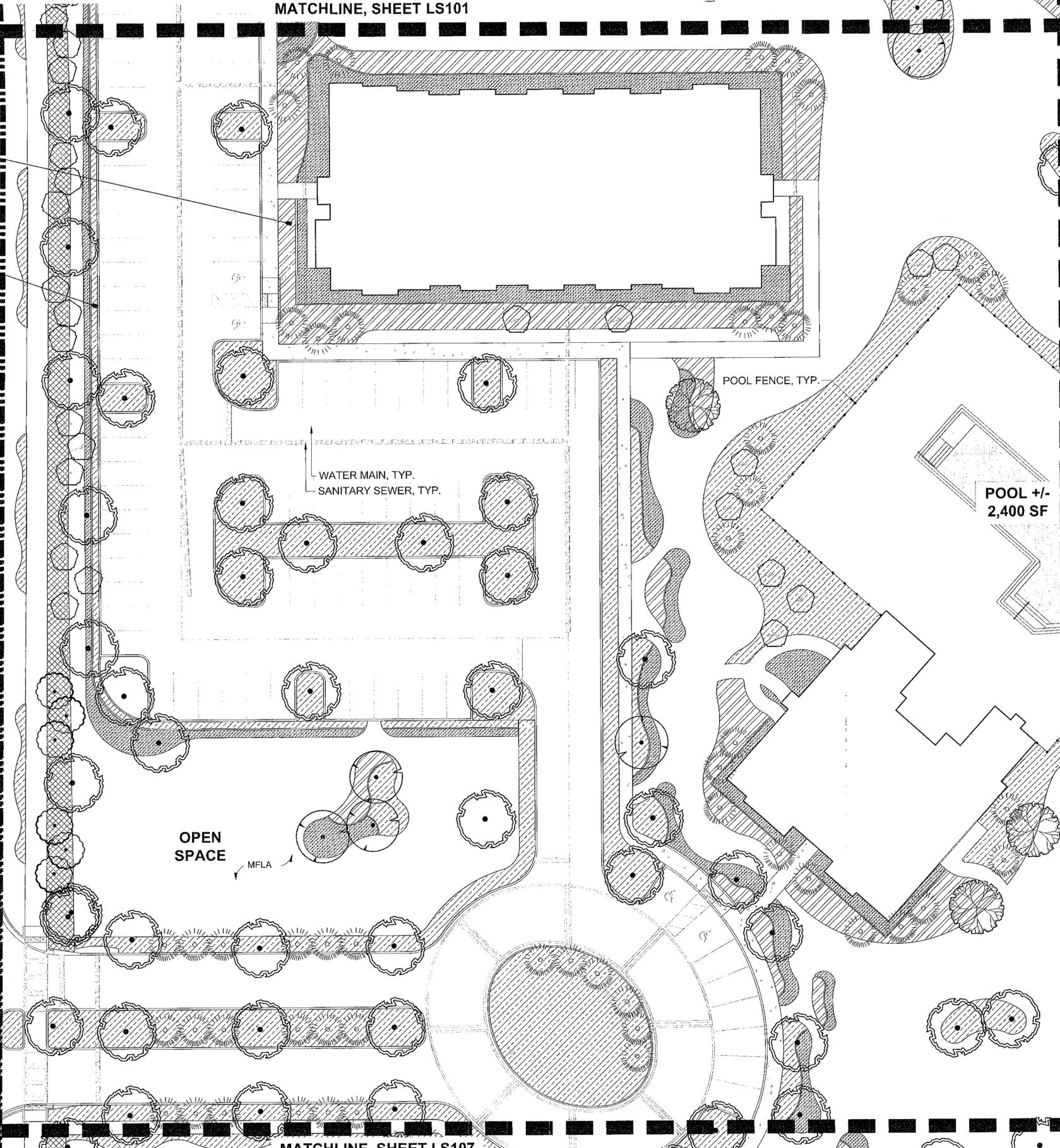
3RD SUBMITTAL

MATCHLINE, SHEET LS101

BUILDING LANDSCAPING (MARION COUNTY LDC SEC. 6.8.6)
 A. Landscape plantings shall be provided along the public view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.
 B. Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, including those areas required for access to the building.
 C. Landscape areas shall be a minimum of five feet wide (allowing for a minimum distance of two feet from the facade to the placement plants).
 D. Large trees shall not be located within 20 feet of a building.
 E. Environmental trees shall be located sufficiently to allow for healthy growth and to minimize the need for pruning.

"PARKING AREAS & VUA'S"
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	15
Shrubs/GC	1/ 50' of Divider Median	6
Landscape Area	Entire Island	1,048
	5' Perimeter min.	1,075

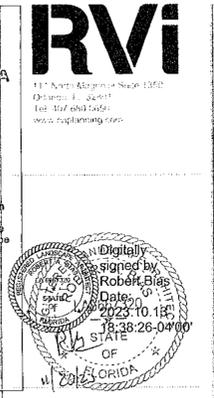


PROPERTY BOUNDARY, TYP.
 OVERHEAD UTILITIES, TYP.

MATCHLINE, SHEET LS107

LANDSCAPE SCHEDULE AND NOTES
 DEVELOPMENT REVIEW
 COMMITTEE
 MARION COUNTY, FLORIDA

NOTES:
 APPLICATION # 30064
 LANDSCAPE ARCHITECTURE AND PLANNING, INC. 10/20/23
 LANDSCAPE ARCHITECTURE AND PLANNING, INC. IS A REGISTERED PROFESSIONAL ENGINEERING FIRM IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
 LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE (LDC) AND THE TECHNICAL STANDARDS AND REGULATIONS County Land WITH SEC. 6.8.6 OF THE LDC AND THE CODES AND TYPES THAT HAVE BEEN DESIGNATED ON THE LDC. The designer may be LANDSCAPING WITH THE PARKING AREAS AND VEHICULAR USE AREAS IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
 BUILDING LANDSCAPING DESIGN IS LIMITED TO COMPLIANCE WITH THE LDC FOR THE JURISDICTION OF MARION COUNTY, FLORIDA.
 PLANT SELECTION AND PLACEMENT IS BASED ON THE DESIGNER'S BEST KNOWLEDGE AND BELIEFS FOR ADDITIONAL PLANTING, THIS PROJECTS, BY STATE AND/OR FEDERAL PER SEC. 6.8.8 OF THIS LDC.
 LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.



BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES
 (1,300 L.F. / 100) X 2
 SHADE TREES PROVIDED - 35 TREES
 ORNAMENTAL TREES REQUIRED - 39 TREES
 (1,293 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 39 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 23 TREES
 (1,185 L.F. / 100) X 2
 SHADE TREES PROVIDED - 27 TREES
 ORNAMENTAL TREES REQUIRED - 35 TREES
 (1,185 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 56 TREES

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES
 (1,276 L.F. / 100) X 2
 SHADE TREES PROVIDED - 29 TREES
 ORNAMENTAL TREES REQUIRED - 38 TREES
 (1,276 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 38 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)
 SHADE TREES REQUIRED - 49 TREES
 (1,225 L.F. / 100) X 4
 SHADE TREES PROVIDED - 64 TREES
 SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS
 PER SEC. 6.7.4 OF THE LDC
 REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE
 REQUIRED SHADE TREES = 525 TREES
 SITE (36.13 AC) / 3000SF = 524.6 TREES REQUIRED
 PROVIDED SHADE TREES = 57 PRESERVED TREES (NATIVE 100%)
 498 PROPOSED TREES
 742 SHADE TREES

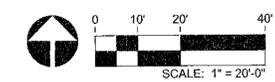
SITE SHRUB CALCULATIONS
 PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL
 SHRUBS, GRASSES & GROUNDCOVERS
 PROPOSED: 26,773 (NATIVE 84%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES
 NORTH SIDE DRY POND
 SHADE TREES REQUIRED - 23 TREES
 (570 L.F. / 100) X 4
 SHADE TREES PROVIDED - 25 TREES
 SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.
 SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)
 MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE = 8 AC / 36.13 AC (FULL SITE) = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S" OVERALL
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	108
Shrubs/GC	1/ 50' of Divider Median	29
Landscape Area	Entire Island	5,500
	5' Perimeter min.	7,367



OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS104

3RD SUBMITTAL

MATCHLINE, SHEET LS102

DOG PARK

WATER MAIN, TYP.

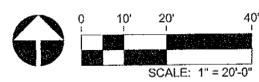
STORM SEWER, TYP.
SANITARY SEWER, TYP.

POOL FENCE, TYP.

MATCHLINE, SHEET LS104

MATCHLINE, SHEET LS106

MATCHLINE, SHEET LS108



LANDSCAPE SCHEDULE AND NOTES

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 30064

NOTES:

- LANDSCAPE ARCHITECTURE PLANS ARE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
- LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE (LDC) SECTION 6.8.6.1 - TECHNICAL STANDARDS AND SPECIFICATIONS.
- LANDSCAPE BUFFER AREAS DESIGNED IN COMPLIANCE WITH SEC. 6.8.8 OF THE LDC AND THE LDC SECTION 6.8.8.1 HAVE BEEN DESIGNATED AS "PARKING AREAS & VUA'S" AND VEHICULAR USE AREAS ARE IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
- BUILDING LANDSCAPING PER MARION COUNTY LDC SECTION 6.8.8.1 IN ACCORDANCE WITH THE LDC SECTION 6.8.8.1 PER SEC. 6.8.8 OF THE LDC.
- LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.

BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 26 TREES
(1,300 L.F. / 100) X 2
SHADE TREES PROVIDED - 35 TREES

ORNAMENTAL TREES REQUIRED - 39 TREES
(1,293 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 39 TREES

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 23 TREES
(1,165 L.F. / 100) X 2
SHADE TREES PROVIDED - 27 TREES

ORNAMENTAL TREES REQUIRED - 35 TREES
(1,165 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 66 TREES

*NOTE: DUE TO OVERHEAD TRANSMISSION ALL LARGE AND SHADE TREES SHALL BE LOCATED 30 FEET AWAY FROM OVERHEAD TRANSMISSION IN COMPLIANCE WITH LDC. SEC. 6.8.3

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 26 TREES
(1,276 L.F. / 100) X 2
SHADE TREES PROVIDED - 29 TREES

ORNAMENTAL TREES REQUIRED - 38 TREES
(1,276 L.F. / 100) X 3
ORNAMENTAL TREES PROVIDED - 38 TREES

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)

SHADE TREES REQUIRED - 49 TREES
(1,225 L.F. / 100) X 4
SHADE TREES PROVIDED - 64 TREES

SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS

PER SEC. 6.7.4 OF THE LDC

- REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE

REQUIRED SHADE TREES = 525 TREES
SITE (36.13 AC) / 3000SF = 524.8 TREES REQUIRED

PROVIDED SHADE TREES = 57 PRESERVED TREES
468 PROPOSED TREES
742 SHADE TREES

SITE SHRUB CALCULATIONS

PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL

- SHRUBS, GRASSES & GROUNDCOVERS

PROPOSED: 26,773 (NATIVE 64%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

NORTH SIDE DRY POND

SHADE TREES REQUIRED - 23 TREES
(570 L.F. / 100) X 4
SHADE TREES PROVIDED - 25 TREES

SHRUBS AND/OR GROUND COVER AREA REQUIRED
(570 L.F. / 100) X 200 S.F. = 1140 S.F.

SHRUBS AND/OR GROUND COVER AREA PROVIDED
4,334 S.F.

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE = 6.8 AC / 36.13 AC (FULL SITE) = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S" OVERALL*
Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees 1/ 50' of Divider Median	108	29
Shrubs/GC Entire Island	5,900	7,367
Landscape Area 5' Perimeter min.		

BUILDING LANDSCAPING MARION COUNTY LDC SEC. 6.8.8.1

A. Landscape plantings shall be provided along the public view areas of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.

B. Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building, entrance, driveway or other site access.

C. Landscape areas shall be a minimum of five feet wide allowing for a minimum of 10 feet from the facade to the building.

D. Large trees that are located within 20 feet of a building. Accessory structures shall be located sufficiently to allow for healthy growth and to enhance the need for pruning.

"PARKING AREAS & VUA'S"
Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees 1/ 50' of Divider Median	108	29
Shrubs/GC Entire Island	5,902	7,367
Landscape Area 5' Perimeter min.	1,530	

RVI

1117 E. Highway 301, Suite 100
Ocala, FL 34472
Phone: 352-237-1111
www.rvi.com

Digitally signed by Robert Bass
Date: 2023.03.03 18:08:26 -0400
STATE OF FLORIDA

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Sunshine811.com

Marion County
Office of Code Enforcement

Ocala South
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 10/09/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS

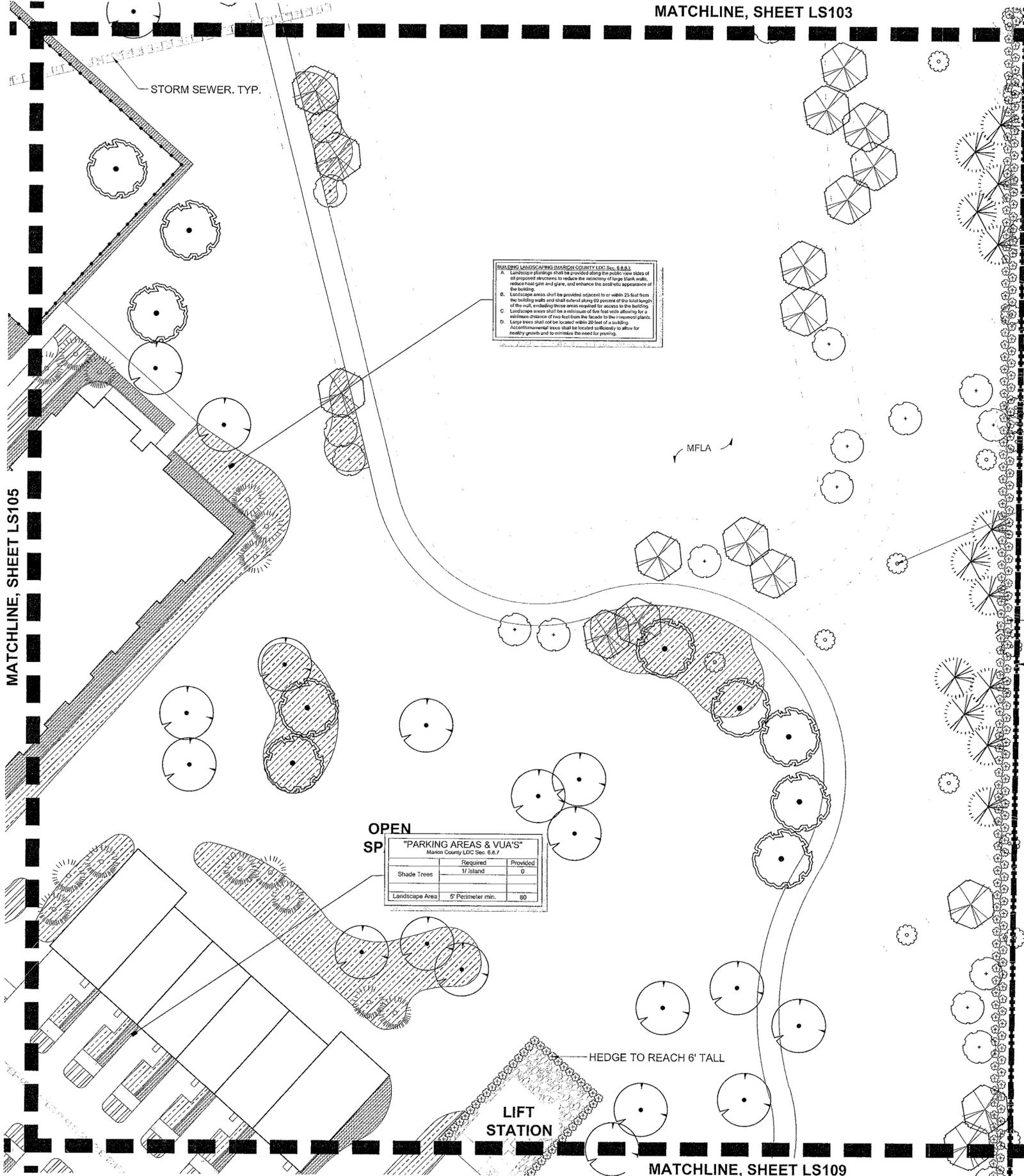
- ▲ UPDATES PER COMMENT
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- ▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS105

3RD SUBMITTAL

MATCHLINE, SHEET LS103



BUILDING LANDSCAPING (MARION COUNTY LDC SEC. 6.8.6)
 A. Landscape plantings shall be provided along the south side of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.
 B. Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 90 percent of the total length of the wall, enclosing those areas required for access to the building.
 C. Landscape areas shall be a minimum of five feet wide, allowing for a minimum distance of two feet from the facade to the innermost plants. Large trees shall not be located within 20 feet of a building.
 D. Accentual trees shall be located sufficiently to allow for healthy growth and to minimize the need for pruning.

OPEN SP "PARKING AREAS & VUA'S"
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	0
Landscape Area	5' Perimeter min.	80

MATCHLINE, SHEET LS105

MATCHLINE, SHEET LS109

LANDSCAPE SCHEDULE AND NOTES
 DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA
 APPLICATION #: 30064
 PROJECT NAME: 12300
 NOTES:
 • LANDSCAPE ARCHITECTURE SHALL BE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
 • LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODES DIVISION 10 RULES AND TECHNICAL STANDARDS AND REQUIREMENTS County Land.
 • LANDSCAPE BUFFERS ARE DESIGNED IN COMPLIANCE WITH SEC. 6.8.6 OF THE LDC AND THE BUFFER TYPES THAT HAVE BEEN DESIGNATED BY THE LDC. BUFFER TYPES AND VEHICULAR USE AREAS ARE IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
 • BUILDING LANDSCAPING (B.L.S.) IS LIMITED TO COMPLIANCE WITH THE LDC. THE SELECTION OF PLANT MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT IN ACCORDANCE WITH THE LDC. PLANT MATERIAL SHALL BE APPROVED BY THE LDC. LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.
 NOTICE: COMPLIANCE WITH THE LDC IS LIMITED TO THE SELECTION OF PLANT MATERIAL. THE SELECTION OF PLANT MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT IN ACCORDANCE WITH THE LDC. PLANT MATERIAL SHALL BE APPROVED BY THE LDC.



BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES (1,300 L.F. / 100) X 2
 SHADE TREES PROVIDED - 35 TREES
 ORNAMENTAL TREES REQUIRED - 39 TREES (1,293 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 39 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 23 TREES (1,165 L.F. / 100) X 2
 SHADE TREES PROVIDED - 27 TREES
 ORNAMENTAL TREES REQUIRED - 35 TREES (1,165 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 56 TREES
 *NOTE: DUE TO OVERHEAD TRANSMISSION ALL LARGE AND SHADE TREES SHALL BE LOCATED 30 FEET AWAY FROM OVERHEAD TRANSMISSION IN COMPLIANCE WITH LDC. SEC. 6.8.3
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES (1,276 L.F. / 100) X 2
 SHADE TREES PROVIDED - 29 TREES
 ORNAMENTAL TREES REQUIRED - 38 TREES (1,276 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 38 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (6' WIDE)
 SHADE TREES REQUIRED - 49 TREES (1,225 L.F. / 100) X 4
 SHADE TREES PROVIDED - 64 TREES
 SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K. (5) OF THE LDC

SITE SHADE TREE CALCULATIONS

PER SEC. 6.7.4 OF THE LDC
 • REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE

REQUIRED SHADE TREES =	525 TREES
SITE (36.13 AC) / 3000SF =	524.6 TREES REQUIRED
PROVIDED SHADE TREES =	57 PRESERVED TREES
(NATIVE 100%)	+886 PROPOSED TREES
	742 SHADE TREES

SITE SHRUB CALCULATIONS

PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL
 • SHRUBS, GRASSES & GROUNDCOVERS
 PROPOSED: 26,773 (NATIVE 94%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

NORTH SIDE DRY POND
 SHADE TREES REQUIRED - 23 TREES (570 L.F. / 100) X 4
 SHADE TREES PROVIDED - 25 TREES
 SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.
 SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE
 = 8.8 AC / 36.13 AC (FULL SITE)
 = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S" OVERALL*
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	108
	1/ 50' of Divider Median	29
Shrubs/GC	Entire Island	5,500
Landscape Area	5' Perimeter min.	7,367

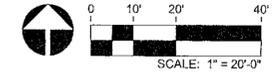
OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS106



3RD SUBMITTAL

MATCHLINE, SHEET LS104

LANDSCAPE SCHEDULE AND NOTES

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA



111 North Myrtle Street, Suite 1100
Ocala, FL 32137
Tel: 352-349-1600
www.rviinc.com

- NOTES:
- LANDSCAPE ARCHITECTURAL PLANS ARE PREPARED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND MARION COUNTY DEVELOPMENT CODE (LDC).
 - LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODES DIVISION 6.8 OF ARTICLE 10 - TECHNICAL STANDARDS AND SPECIFICATIONS FOR MARION COUNTY LAND.
 - LANDSCAPE BUFFERS ARE DESIGNED IN COMPLIANCE WITH SEC. 6.8.6 OF THE LDC. BUFFER REQUIREMENTS WILL HAVE BEEN DESIGNATED ON THE LANDSCAPE PLAN BY PLANTING SCHEDULES AND BUFFER TYPES.
 - LANDSCAPING WITHIN PARKING AREAS SHALL BE IN COMPLIANCE WITH SEC. 6.8.7 OF THE LDC.
 - BUILDING LANDSCAPING AREAS SHALL BE LIMITED TO COMPLIANCE WITH SECTION 6.8.8 OF THE LDC. PLANT SELECTION AND GENERAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 6.8.8 OF THE LDC. PER SEC. 6.8.8 OF THE LDC, PERMISSIBLE PLANT MATERIALS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.



Always call 811 two full business days before you dig.
Sunshine811.com

BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES
 (1,300 L.F. / 100) X 2
 SHADE TREES PROVIDED - 35 TREES
 ORNAMENTAL TREES REQUIRED - 39 TREES
 (1,293 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 39 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 23 TREES
 (1,165 L.F. / 100) X 2
 SHADE TREES PROVIDED - 27 TREES
 ORNAMENTAL TREES REQUIRED - 35 TREES
 (1,165 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 56 TREES

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)
 SHADE TREES REQUIRED - 26 TREES
 (1,276 L.F. / 100) X 2
 SHADE TREES PROVIDED - 29 TREES
 ORNAMENTAL TREES REQUIRED - 38 TREES
 (1,276 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 38 TREES
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)
 SHADE TREES REQUIRED - 49 TREES
 (1,225 L.F. / 100) X 4
 SHADE TREES PROVIDED - 64 TREES
 SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS

PER SEC. 6.7.4 OF THE LDC
 • REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE
 REQUIRED SHADE TREES = 525 TREES
 SITE (36.13 AC) / 3000SF = 524.6 TREES REQUIRED
 PROVIDED SHADE TREES = 57 PRESERVED TREES (NATIVE 100%)
 +665 PROPOSED TREES
 742 SHADE TREES

SITE SHRUB CALCULATIONS

PER SEC. 6.8.10 OF THE LDC: NATIVE MATERIAL
 • SHRUBS, GRASSES & GROUNDCOVERS
 PROPOSED: 26,773 (NATIVE 84%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

NORTH SIDE DRY POND
 SHADE TREES REQUIRED - 23 TREES
 (570 L.F. / 100) X 4
 SHADE TREES PROVIDED - 25 TREES
 SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.
 SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.
 SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE
 = 8.8 AC / 36.13 AC (FULL SITE)
 = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S" OVERALL
 Marion County LDC Sec. 6.9.7

	Required	Provided
Shade Trees	1/ Island	108
	1/ 50' of Divider Median	29
Shrubs/GC	Entire Island	5,500
Landscape Area	5' Perimeter min.	7,367

RECORDED
 2023 JUN 13 PM 1:38:24
 STATE OF FLORIDA
 Always call 811 two full business days before you dig.

OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS107

3RD SUBMITTAL

PROPERTY BOUNDARY, TYP.
 OVERHEAD UTILITIES, TYP.

"PARKING AREAS & VUA'S"
 Marion County LDC Sec. 6.9.7

	Required	Provided
Shade Trees	1/ Island	5
	1/ 50' of Divider Median	N/A
Shrubs/GC	Entire Island	271
Landscape Area	5' Perimeter min.	650

DRY POND

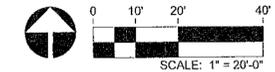
STORM SEWER, TYP.

WATER MAIN, TYP.

HYDRANT, TYP.

SANITARY SEWER, TYP.

MATCHLINE, SHEET LS108



EXISTING TREE TO BE PRESERVED, TYP.

L:\Projects\2023\OCALA SOUTH\LANDSCAPE\LANDSCAPE PLANS\LANDSCAPE PLAN 107 - 107.DWG - 10/09/2023



APPROVAL DATE: 10/30/23
 APPLICATION #: 30064

NOTES:

- LANDSCAPE ARCHITECTURAL PLANS ARE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODES OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
- LANDSCAPE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE (LDC) AND THE MARION COUNTY TECHNICAL STANDARDS SPECIFICATIONS FOR LANDSCAPING WITHIN PARKING AREAS AND VEHICULAR USE AREAS ARE IN COMPLIANCE WITH SEC. 6.8.6 OF THE LDC. THE DESIGNER HAS CONDUCTED VISUAL ANALYSIS OF THE PROPOSED PLANTING AND HAS DETERMINED THAT THE PROPOSED PLANTING IS IN COMPLIANCE WITH THE LDC. THE DESIGNER HAS CONDUCTED VISUAL ANALYSIS OF THE PROPOSED PLANTING AND HAS DETERMINED THAT THE PROPOSED PLANTING IS IN COMPLIANCE WITH THE LDC.
- PER SEC. 6.8.8 OF THE LDC LANDSCAPE AREAS SHALL BE A MINIMUM OF FIVE FEET WIDE AND EXTEND ALONG 60 PERCENT OF THE TOTAL LENGTH OF THE WALL.



BUFFER CALCULATIONS (LDC SEC. 6.8.6)

NORTH BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 26 TREES
 (1,300 L.F. / 100) X 2
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 (1,293 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 39 TREES

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

WEST BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 23 TREES
 (1,165 L.F. / 100) X 2
 SHADE TREES PROVIDED - 27 TREES

ORNAMENTAL TREES REQUIRED - 35 TREES
 (1,155 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 56 TREES

****NOTE: DUE TO OVERHEAD TRANSMISSION ALL LARGE AND SHADE TREES SHALL BE LOCATED 30 FEET AWAY FROM OVERHEAD TRANSMISSION IN COMPLIANCE WITH LDC SEC. 6.8.3**

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

SOUTH BUFFER: BUFFER TYPE C (15' WIDE)

SHADE TREES REQUIRED - 26 TREES
 (1,276 L.F. / 100) X 2
 SHADE TREES PROVIDED - 29 TREES

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 (1,276 L.F. / 100) X 3
 ORNAMENTAL TREES PROVIDED - 38 TREES

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.8.6 K (3) OF THE LDC

EAST BUFFER: BUFFER TYPE E (5' WIDE)

SHADE TREES REQUIRED - 49 TREES
 (1,225 L.F. / 100) X 4
 SHADE TREES PROVIDED - 64 TREES

SHRUBS ARE IN COMPLIANCE WITH SEC. 6.8.6 K (5) OF THE LDC

SITE SHADE TREE CALCULATIONS

PER SEC. 6.7.4 OF THE LDC
 • REQUIRED ONE SHADE TREE PER 3,000 SQUARE FEET OF SITE

REQUIRED SHADE TREES = 525 TREES
 SITE (36.13 AC) / 3000SF = 524.6 TREES REQUIRED

PROVIDED SHADE TREES = 67 PRESERVED TREES
 + 686 PROPOSED TREES
 742 SHADE TREES

SITE SHRUB CALCULATIONS

PER SEC. 8.8.10 OF THE LDC: NATIVE MATERIAL

- SHRUBS, GRASSES & GROUNDCOVERS PROPOSED: 26,773 (NATIVE 84%)

SEC. 6.13.3.D(4) LANDSCAPING OF PRIVATE STORMWATER MANAGEMENT FACILITIES

NORTH SIDE DRY POND

SHADE TREES REQUIRED - 23 TREES
 (570 L.F. / 100) X 4
 SHADE TREES PROVIDED - 25 TREES

SHRUBS AND/OR GROUND COVER AREA REQUIRED (570 L.F. / 100) X 200 S.F. = 1140 S.F.

SHRUBS AND/OR GROUND COVER AREA PROVIDED 4,334 S.F.

SHRUBS AND GROUND COVER ARE IN COMPLIANCE WITH SEC. 6.13.3.D(4) OF THE LDC

SEC. 6.8.5 (A-B) NEW RESIDENTIAL DEVELOPMENTS (MFLA)

MARION FRIENDLY LANDSCAPE AREAS (MFLA) ON SITE = 8.8 AC / 36.13 AC (FULL SITE) = 24.4% OF THE PROJECT AREA

"PARKING AREAS & VUA'S OVERALL"
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ 50' of Divider Median	108
Shrubs/GC	Entire Island	5,500
Landscape Area	5' Perimeter min.	7,367

RECORDED
 10/30/23
 Marion County
 Clerk of Circuit Court

Ocala South
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

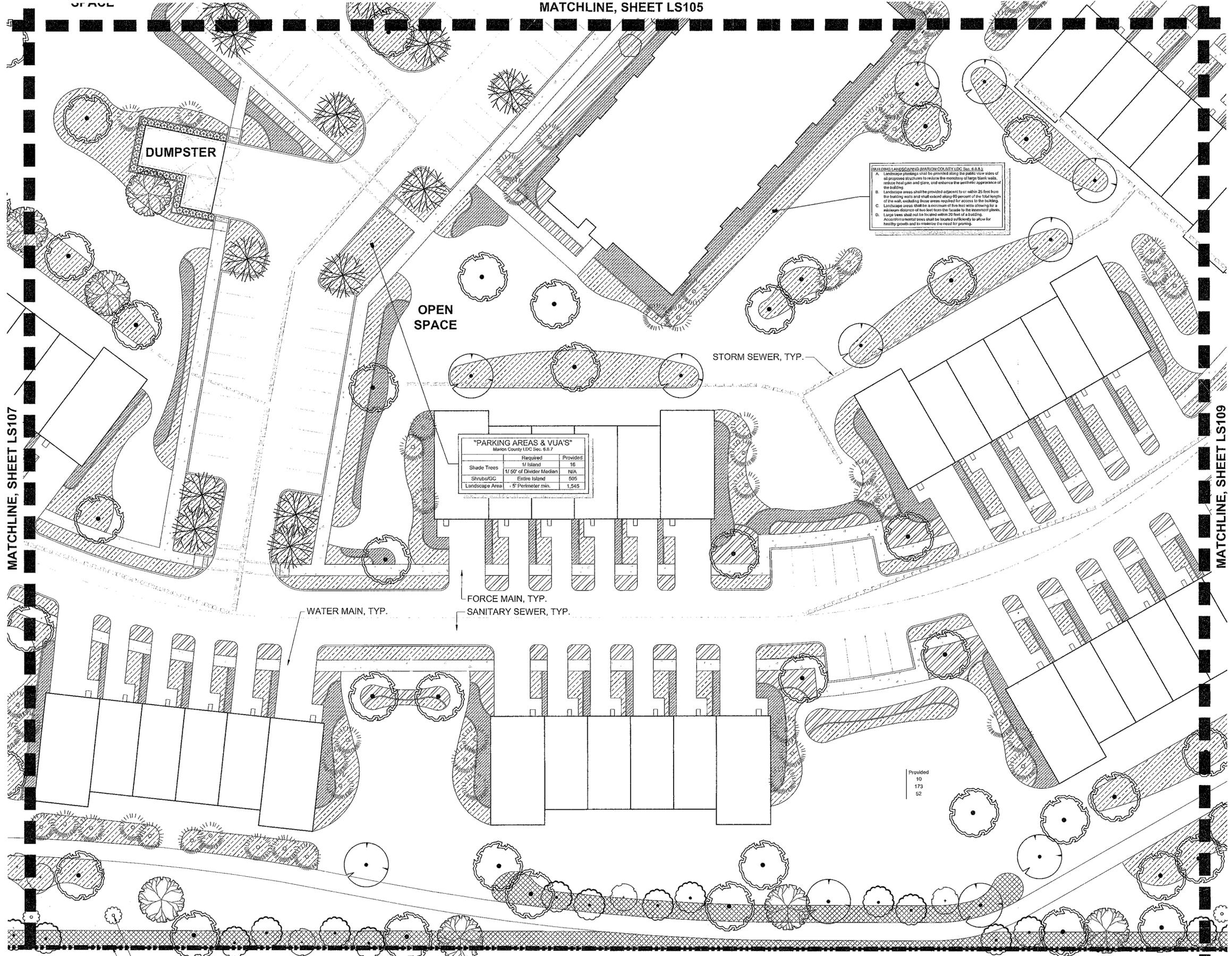
PROJECT NO.: 23001809
 DATE: 10/09/2023
 DRAWN: BCH
 REVIEWED: RAB

REVISIONS
 ▲ UPDATES PER COMMENT
 ▲ UPDATES PER COMMENT

LANDSCAPE PLAN

LS108

3RD SUBMITTAL



MARION FRIENDLY LANDSCAPING MARION COUNTY LDC Sec. 6.8.6

A. Landscape plantings shall be provided along the public view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.

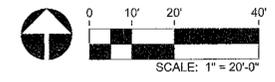
B. Landscape areas shall be provided adjacent to or within 20 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building. Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the facade to the innermost plants.

C. Large trees shall not be located within 20 feet of a building. Accessionment trees shall be located sufficiently to allow for healthy growth and to maintain the need for pruning.

"PARKING AREAS & VUA'S"
 Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ 50' of Island	16
Shrubs/GC	Entire Island	505
Landscape Area	5' Perimeter min.	1,545

Provided
 10
 173
 52



EXISTING TREE TO BE PRESERVED, TYP.
 PROPERTY BOUNDARY, TYP.

MATCHLINE, SHEET LS107

MATCHLINE, SHEET LS109

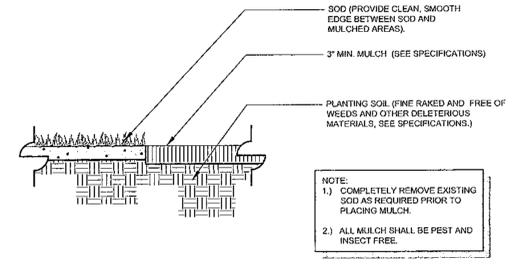
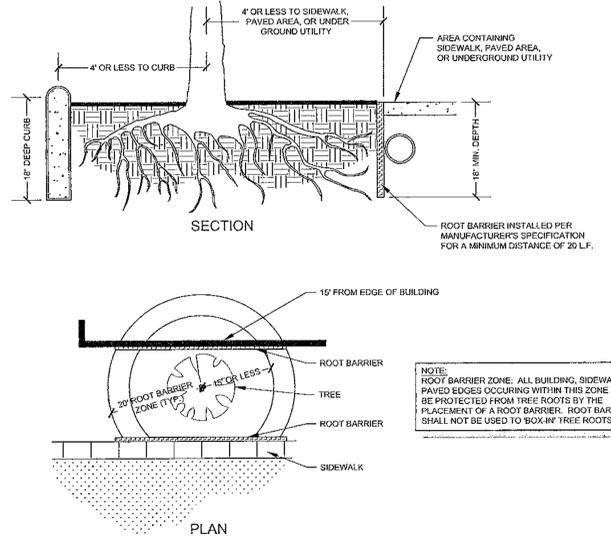
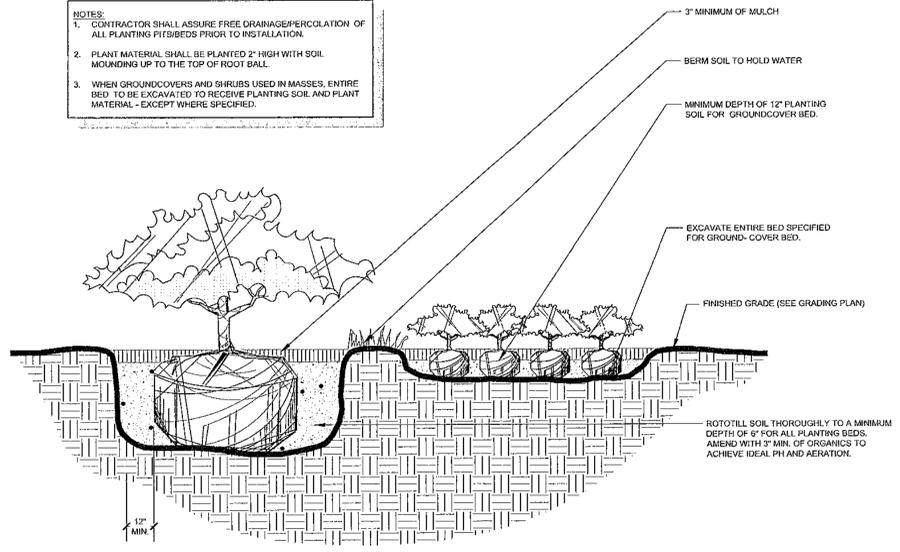
L:\2023\23001809\03\Drawings\LF\LF\LANDSCAPE\PLAN\03-LS108.dwg 11/13/23 10:08:00 AM

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



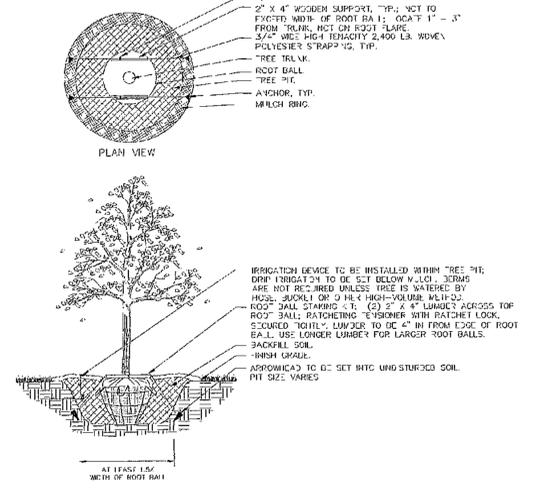
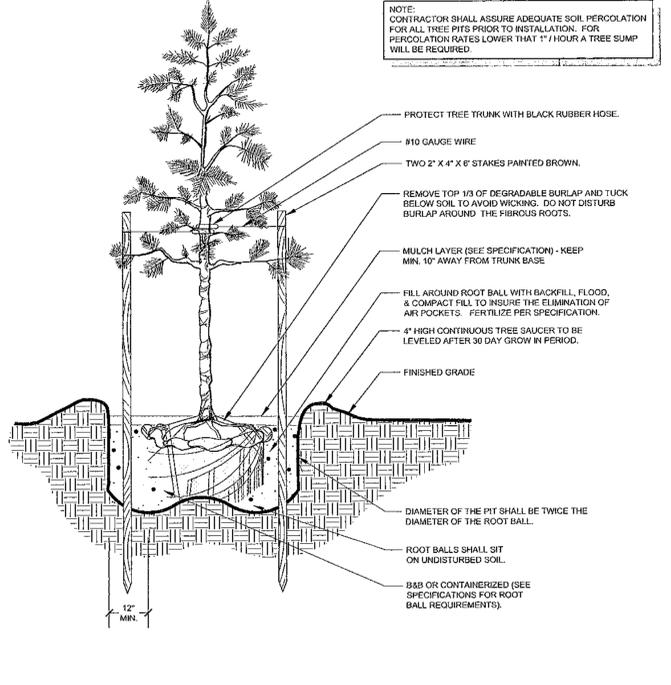
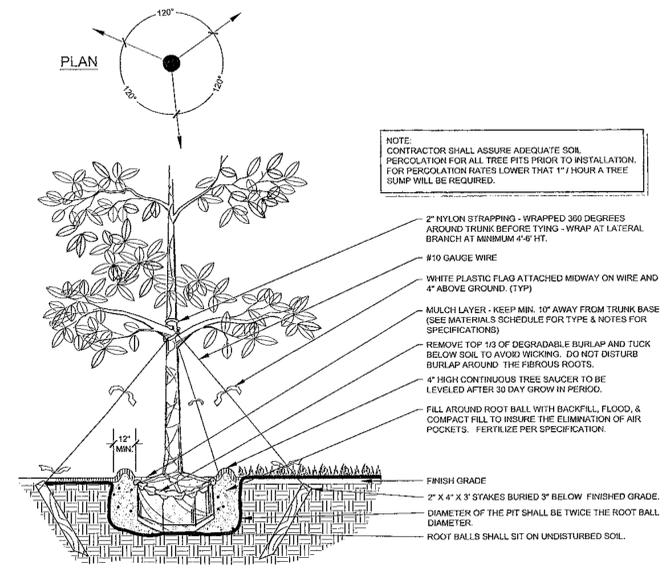
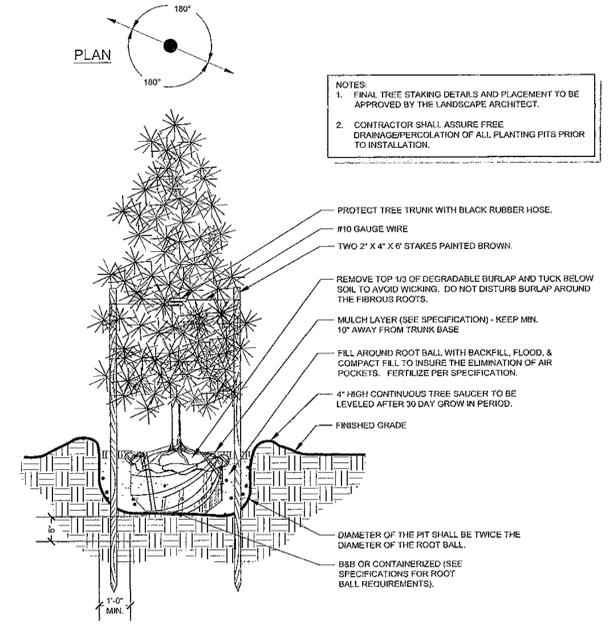
- NOTES:**
- CONTRACTOR SHALL ASSURE FREE DRAINAGE/PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.
 - PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
 - WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL - EXCEPT WHERE SPECIFIED.



1 SHRUB AND GROUNDCOVER INSTALLATION
N.T.S. RVI. ORL-22004418-03

2 ROOT BARRIER DETAIL
N.T.S. RVI. ORL-22004418-04

3 MULCH APPLICATION - TYPE 1
N.T.S. RVI. ORL-22004418-15



4 SMALL TREE INSTALLATION
N.T.S. RVI. ORL-22004418-02

5 LARGE TREE INSTALLATION & STAKING
N.T.S. RVI. ORL-22004418-01

6 PINE TREE INSTALLATION
N.T.S. RVI. ORL-22004418-05

7 TREE INSTALLATION WITH ROOT BALL KIT
SCALE: N.T.S.

OCALA SOUTH
 CODE MINIMUM LANDSCAPE PLANS
 OCALA, MARION COUNTY, FLORIDA

PROJECT NO: 23001809
DATE: 08/08/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
▲
▲
▲
▲

LANDSCAPE
DETAILS

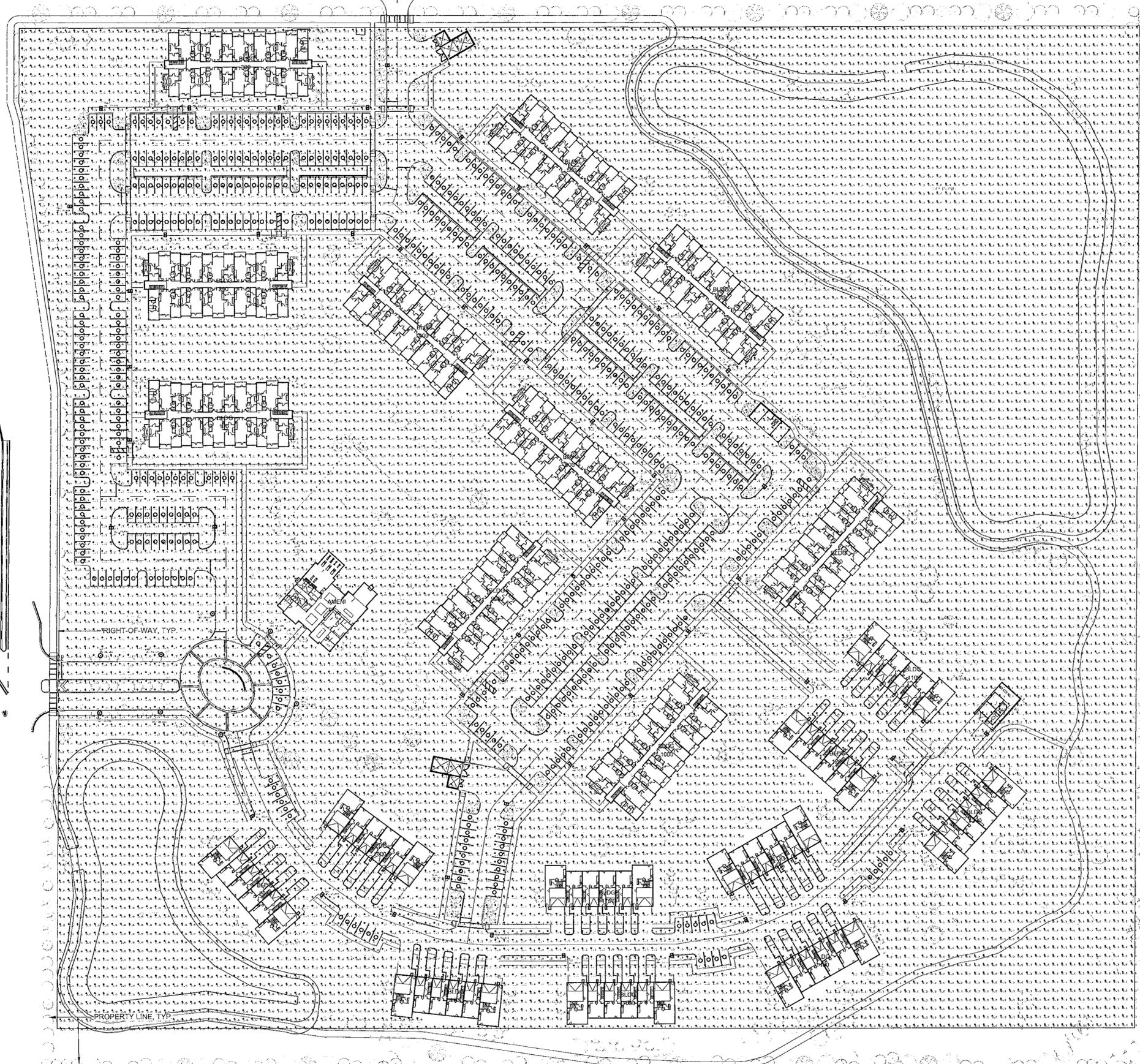
LS500

2ND SUBMITTAL

SW 52ND STREET

SW 60TH AVENUE

NO.	DATE	BY	REVISION
1	10/30/23
2	10/30/23
3	10/30/23



DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25



All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and seeded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



BEACON
VIPER Area/Site

IP65
CONTROL TECHNOLOGY

WSCALE
SPECIFICATIONS

valmont
8" TO 30" ROUND TAPERED EMBEDDED (DIRECT BURIAL) POLES

CATALOG LOGIC

OCALA SOUTH
CODE MINIMUM LANDSCAPE PLANS
OCALA, MARION COUNTY, FLORIDA

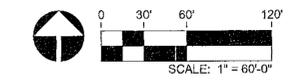
PROJECT NO: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
UPDATES PER COMMENT

LIGHTING PLAN

LG100

3RD SUBMITTAL





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Sunshine811.com

12/31/2023
Marion County
Office of County Affairs

OCALA SOUTH CODE MINIMUM IRRIGATION SCHEMATIC PLANS OCALA, FLORIDA

PROJECT NO: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB

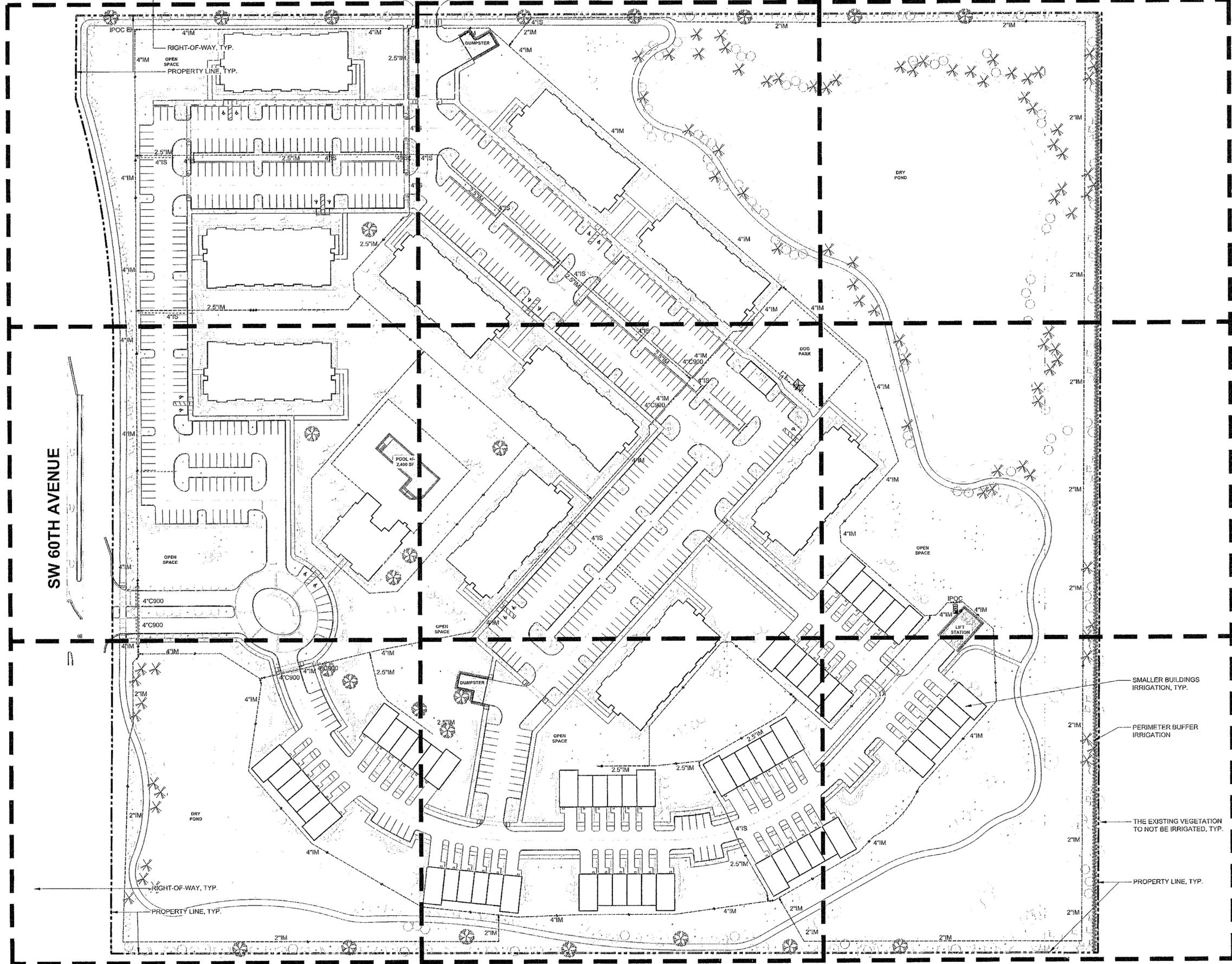
REVISIONS
▲
▲
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OVERALL
IRRIGATION
CMLA PLAN

LI100

3RD SUBMITTAL

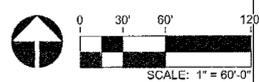
SW 52ND STREET

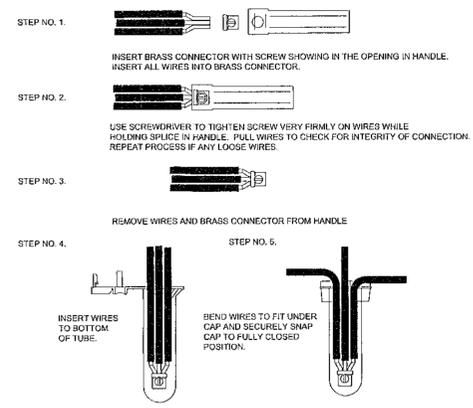
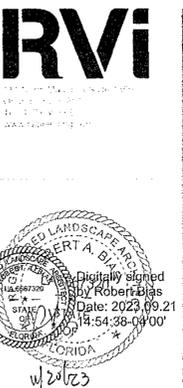


- NOTES:**
- IRRIGATION PLANS ARE TO BE DESIGNED IN ACCORDANCE WITH MARION COUNTY'S CODE OF ORDINANCES AND THE LAND DEVELOPMENT CODE (LDC).
 - APPLICATION # 30064
 - IRRIGATION SECONDARY SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE LDC 23 DEVELOPMENT CODES CORRESPONDING DIVISION OF CORRESPONDING ARTICLES 23 TECHNICAL STANDARDS AND REQUIREMENTS.
 - PIPING AND SOME ELEMENTS ARE SHOWN IN NON-CONSTRUCTION PAVED OR OTHER WORK AREAS. DESIGNATED AREAS FOR GRASS OR OTHER VEGETATION SHALL BE WITHIN THE PROJECT'S LANDSCAPE DESIGNATED AREAS.
 - THIS PLAN IS NOT INTENDED FOR CONSTRUCTION PURPOSES. THE IRRIGATION PERMITTING PURPOSES OF THE JURISDICTION OF MARION COUNTY AND DOES NOT SUBSTITUTE FOR THE REGULATIONS OF OTHER AGENCIES FOR ADDITIONAL A DESIGN LAYOUT FOR THE SECONDARY SYSTEM - ZONE CONTROL VALVES FINAL LOCATION(S); HYDRANTS AND OTHER ELEMENTS NECESSARY ONCE THAT REVIEW COMMENTS ARE ISSUED AND SITE/LANDSCAPE DESIGN MODIFICATIONS ARE COMPLETE.
 - ACREAGE TO IRRIGATE: 10± ACRES, INCLUDING A 10% CONTINGENCY FOR ROOTS SYSTEMS.
 - IRRIGATION FLOW REQUIRED 190± GPM

IRRIGATION KEY

SYMBOL	DESCRIPTION
IPOC [IPC]	IRRIGATION POINT OF CONNECTION, 2" WATER METER W/ 2" BACKFLOW PREVENTER & DISK FILTER, OR 8" IRRIGATION WELL W/ 120± GPM PEAK FLOW SUBMERSIBLE PUMP.
[Controller Symbol]	IRRIGATION CONTROLLER & RAIN SENSOR, 225 STATION DECODER CONTROLLER, SINGLE PHASE 120V EL. SERVICE, WIRELESS RAIN SENSOR.
[4\"/>	

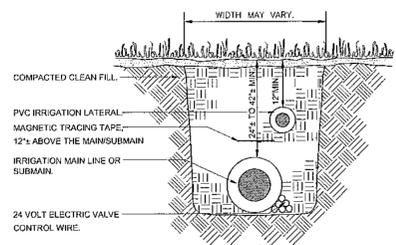




NOTES:

- TURN OFF POWER BEFORE INSTALLING OR REMOVING CONNECTOR.
- ALL ELECTRICAL WORK SHOULD BE DONE ACCORDING TO MANUFACTURER SPECIFICATIONS AND ALSO APPROPRIATE ELECTRICAL CODES.

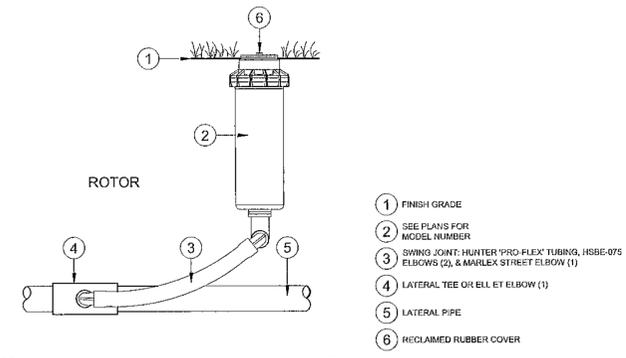
7 24-VOLT WIRE CONNECTION DETAIL
SCALE: N.T.S.



NOTES:

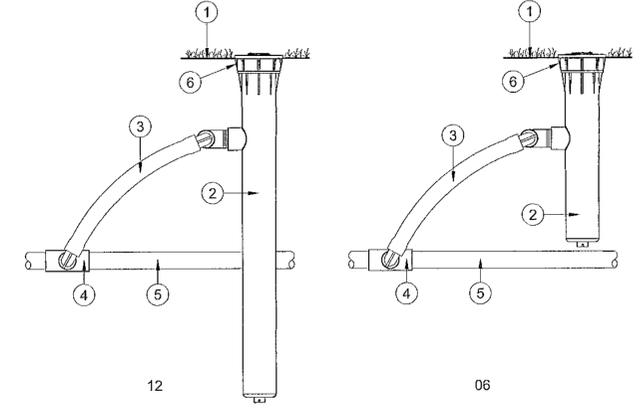
- ALL TRENCHING DEPTHS SHOWN ARE MINIMUM IN THE EVENT THAT MINIMUM TRENCHING DEPTHS ARE NOT MET, THE TRENCHES SHALL BE RE-EXCAVATED.
- DEPTH MEASUREMENTS ARE TO BE DONE FROM FINISH GRADE TO TOP OF PIPE.
- PROVIDE A 12" MINIMUM VERTICAL SEPARATION BETWEEN MAIN LINES AND LATERAL LINES.
- THE CONTROL WIRES SHALL BE INSTALLED TUCKED BENEATH A SIDE OF THE IRRIGATION MAINSUBMAIN.
- PIPE PULLING THROUGH UN-TRENCHED SOIL IS NOT ALLOWED UNDER ANY CIRCUMSTANCE.

4 TYPICAL TRENCHING DETAIL
SCALE: N.T.S.



LEGEND:

- FINISH GRADE
- SEE PLANS FOR MODEL NUMBER
- SWING JOINT, HUNTER "PRO-FLEX" TUBING, HSBE-075 ELBOWS (2), & MARLEX STREET ELBOW (1)
- LATERAL TEE OR ELL ET ELBOW (1)
- LATERAL PIPE
- RECLAIMED RUBBER COVER



5 SPRAY HEAD & ROTOR HEAD
SCALE: N.T.S.

MEDIUM TO LARGE TREE/PALM (6'-18" HT.):

- PROVIDE ONE (1) BUBBLER PER TREE/PALM.
- SET THE BUBBLER AT THE EDGE OF THE ROOTBALL.
- FLEXIBLE TUBING SECTION LENGTHS FROM PVC TUBING TO BUBBLER SHALL HAVE A MINIMUM LENGTH OF 5'.

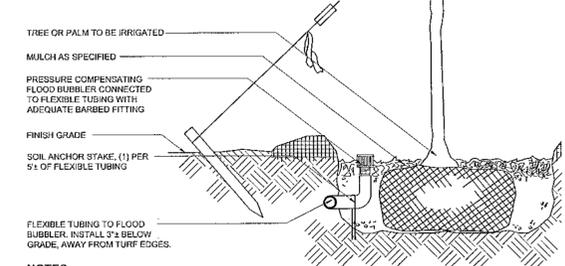
LARGE SPECIMEN TREE/PALM (2'-25' HT.):

- PROVIDE TWO (2) BUBBLERS PER TREE/PALM.
- SET THE BUBBLERS 180° APART AT THE EDGE OF THE ROOTBALL.
- FLEXIBLE TUBING SECTION LENGTHS FROM TUBING ADAPTER TO BUBBLER SHALL HAVE A MINIMUM LENGTH OF 5'.

EXTRA-LARGE SPECIMEN TREE/PALM (2'-25" HT.):

- PROVIDE THREE (3) BUBBLERS PER TREE/PALM.
- SET THE BUBBLERS 120° APART AT THE EDGE OF THE ROOTBALL.
- FLEXIBLE TUBING SECTION LENGTHS FROM TUBING ADAPTER TO BUBBLER SHALL HAVE A MINIMUM LENGTH OF 5'.

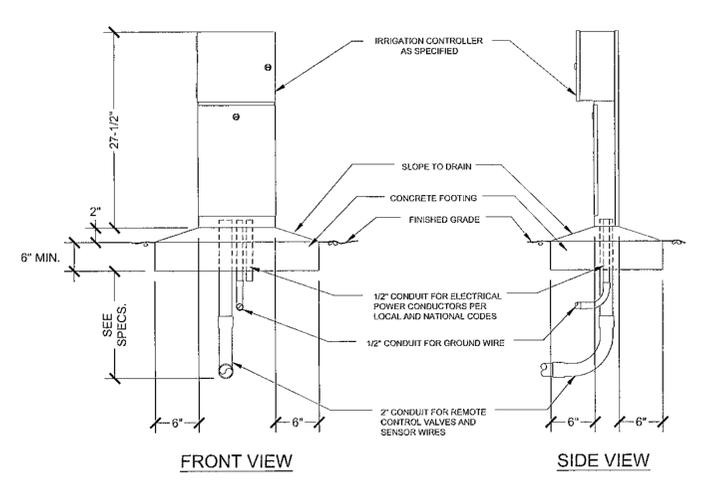
PLAN VIEW SCHEMATICS



NOTES:

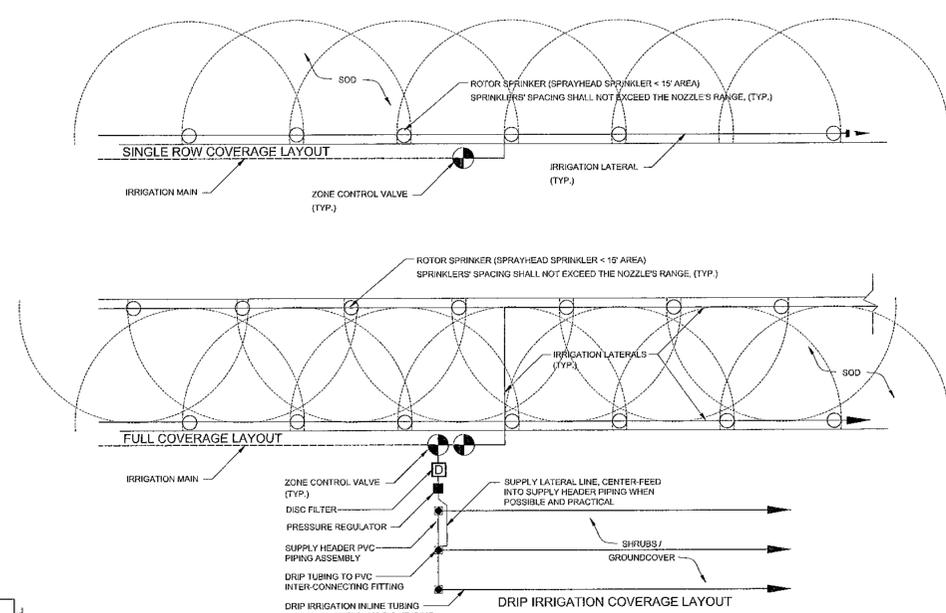
- REFER TO PLAN OR BUBBLER LEGEND FOR BUBBLER QUANTITIES & NOZZLE SIZE PER TREE/PALM.
- BUBBLER(S) IS/ARE TO BE INSTALLED ADJACENT TO ROOTBALL PERIMETER. DO NOT INSTALL BUBBLER(S) ON TOP OF THE ROOTBALL OR NEXT TO TRUNK; INSTALL AT EDGE OF THE ROOTBALL.
- ON SLOPING GROUNDS, INSTALL BUBBLER(S) DIRECTLY UPHILL FROM THE TREE/PALM ROOTBALL.

6 TREES/PALMS BUBBLER INSTALLATION DETAIL
SCALE: N.T.S.

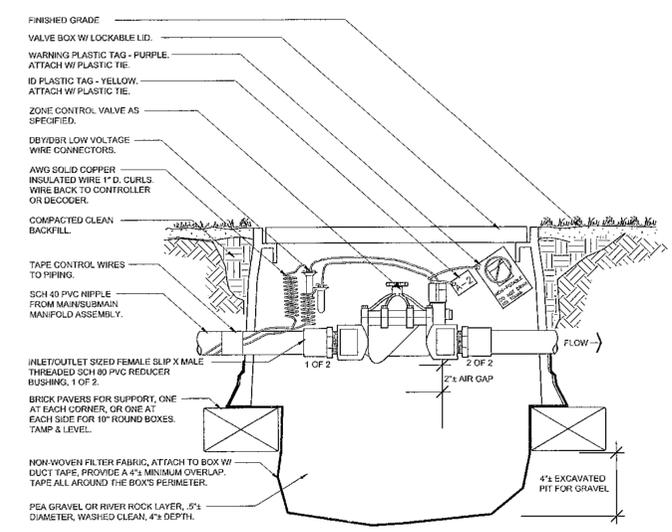


NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

1 IRRIGATION CONTROLLER REFERENCE
SCALE: N.T.S.



2 SCHEMATIC IRRIGATION LAYOUT
SCALE: N.T.S.



NOTES:

- INSTALL THE ZONE CONTROL VALVE IN ACCORDANCE TO THE LATEST MANUFACTURER SPECIFICATIONS.
- THE VALVE BOX SHALL BE INSTALLED LEVEL W/ SURROUNDING GROUND, W/ FINISH GRADE SLOPING AWAY FROM BOX TOP.
- INSTALL VALVE SO THAT TOP OF VALVE IS AT LEAST 2" BELOW THE BOTTOM OF THE BOX'S LID, AND THE VALVE ALIGNED W/ THE MIDDLE OF THE BOX.

3 ZONE CONTROL VALVE GLOVE MOUNT INSTALLATION
SCALE: N.T.S.

OCALA SOUTH
CODE MINIMUM IRRIGATION SCHEMATIC PLANS
OCALA, FLORIDA

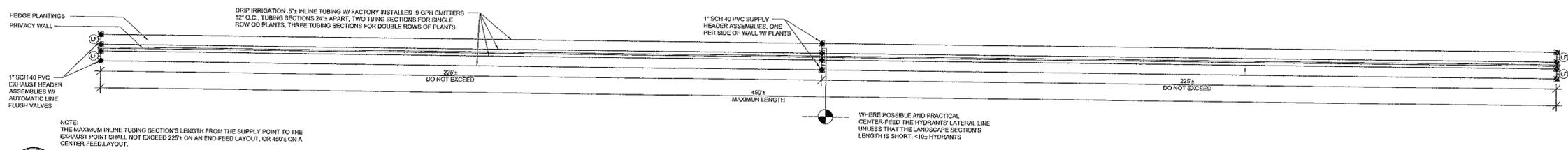
PROJECT NO: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB

IRRIGATION
DETAILS PLAN

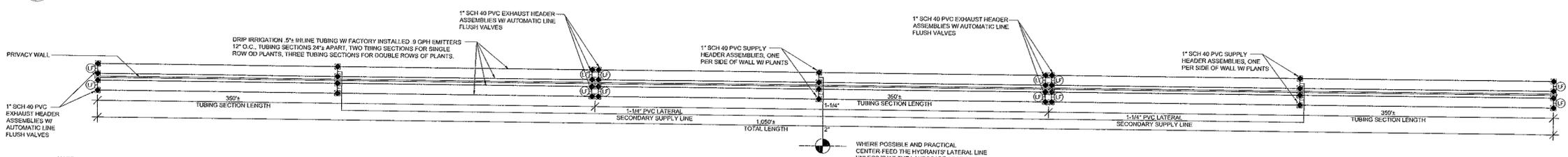
LI501

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

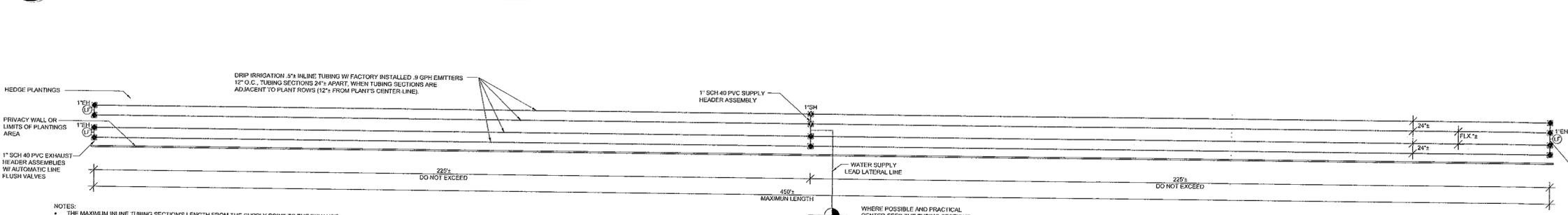
NOTICE:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



SC1 IR. COVERAGE SCHEMATIC - PRIVACY WALL W/ PLANTINGS ONLY, DRIP
SCALE: N.T.S.



SC2 IR. COVERAGE SCHEMATIC - LONG PRIVACY WALL W/ MULTIPLE DRIP SECTIONS
SCALE: N.T.S.



SC3 IR. COVERAGE SCHEMATIC - INLINE DRIP TUBING FOR LARGE PLANTINGS
SCALE: N.T.S.

IRRIGATION ZONES LAYOUT SCHEMATICS AND LAYOUTS BY IRRIGATION CONTRACTOR NOTES:

- THE IRRIGATION SCHEMATIC PLANS ARE SCHEMATIC AND SHOW THE APPROXIMATE LOCATIONS FOR IRRIGATION WATER SOURCES (P.O.C., MAINS, ISOLATION VALVES, MAIN LINE BLOW-OFF ASSEMBLIES, AND PRIMARY SLEEVES. SECONDARY SLEEVE LOCATIONS (LIKE FOR SIDEWALKS) ARE EXPECTED TO BE DETERMINED BY THE IRRIGATION CONTRACTOR IF NOT SHOWN IN PLANS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING IRRIGATION ZONES DESIGN LAYOUTS THAT INCLUDE ZONE CONTROL VALVES, DECODERS, HYDRANTS, INTERCONNECTING LATERAL LINE(S) PIPING, AND OTHER SPECIFIC ITEMS THAT MAY BE NECESSARY UNDER APPLICABLE CONDITIONS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING EQUIPMENT NECESSARY FOR PREPARING A NECESSARY ELEMENTS TO BE FUNCTIONAL. FOR EXAMPLE, A DECODER'S PROGRAMMING TOOL FOR PROGRAMMING DECODERS, ETC.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE NOZZLE TYPE(S) AND SIZE(S) NECESSARY TO PROVIDE SUITABLE APPLICATION RATES (PRECIPITATION RATES) OR AMOUNT OF WATER TO BE DISCHARGED. THE IRRIGATION CONTRACTOR SHALL NOT PROVIDE ZONE LAYOUTS W/ UNBALANCED/UNEVEN/NOT MATCHING APPLICATION RATES. THE LOWEST APPLICATION RATE ACCEPTABLE FOR ROTOR HEADS AND/OR MULTI-STREAM ROTARY NOZZLES SHALL BE 0.40".
- INTER-MIXING HYDRANTS THAT PRESENT SIGNIFICANTLY DIFFERENT APPLICATION RATES IS NOT ACCEPTABLE IF THE APPLICATION RATES DIFFERENT EXCEEDS 10% OF THE ZONE'S PRIMARY HYDRANTS' MEAN APPLICATION RATE.
- THE IRRIGATION CONTRACTOR SHALL PROVIDE SUITABLE PIPE SIZE LAYOUTS IN WHICH FRICTION LOSSES WITHIN A ZONE DO NOT EXCEED 10% OF THE ZONE'S WORKING PRESSURE, AND WATER VELOCITY WITHIN PIPING SECTIONS DOES NOT EXCEED A VELOCITY >5FPS FOR SECTIONS >10' LENGTH. TO KEEP FRICTION LOSSES TO REASONABLE LEVELS AND SIMPLIFY PIPE SIZES INVENTORY THE SMALLEST PIPE SIZE ALLOWED IS 1".
- THE IRRIGATION CONTRACTOR SHALL PRESENT TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL A PRELIMINARY DESIGN LAYOUT THAT IS CLEAR AND LEGIBLE PRIOR TO PROCEED WITH INSTALLATION OPERATIONS. ALL DESIGN LAYOUT AS WELL AS PROPOSED CHANGED MUST BE SUBMITTED FOR REVIEW AND APPROVAL.
- THE IRRIGATION CONTRACTOR SHALL FURNISH TO THE LANDSCAPE ARCHITECT AND THE OWNER RECORD DRAWINGS THAT PRESENT CLEAR AND LEGIBLE INFORMATION.

RECEIVED
10/25/23
Marion County
Official Code: 5-2000

OCALA SOUTH
 CODE MINIMUM IRRIGATION SCHEMATIC PLANS
 OCALA, FLORIDA

PROJECT NO.: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB

REVISIONS
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IRRIGATION
DETAILS PLAN

LI503

3RD SUBMITTAL

IRRIGATION NOTES:

GENERAL CONTENT:

GENERAL NOTES:

- 1. THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION INCLUDING LANDSCAPE MATERIALS. ANY AND ALL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNERS. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT GIVEN TO THE REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
2. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS, IRRIGATION SYSTEM SPECIFICATIONS AND ALL CONTRACT DOCUMENTS. CONTRACTOR SHALL COMPLY WITH ALL PREVAILING LOCAL CODES, ORDINANCES AND REGULATIONS.
3. CHECK AND VERIFY ALL SITE CONDITIONS, INCLUDING SERVICE UTILITY LOCATIONS, PRIOR TO TRENCHING OR DIGGING. COORDINATE ALL IRRIGATION SYSTEM CONSTRUCTION WITH EXISTING AND/OR NEW PLANTINGS TO AVOID CONFLICT OR INTERFERENCE WITH LOCATION OF PIPING, SLEEVING, CASINGS AND SERVICE UTILITIES. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. IRRIGATION SYSTEM IS TO BE RELOCATED AT NO ADDITIONAL COST TO THE OWNER FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS. ALL COMPONENTS THAT ARE NOT CONTAINED WITHIN THE SPECIFIC AREAS SHOWN ON THE DRAWINGS WILL NOT BE ACCEPTED. ALL PIPING AND OTHER COMPONENTS ARE TO REMAIN WITHIN THE PROPERTY OF THE OWNER.
4. PIPING AND/OR OTHER ELEMENTS MAY BE SHOWN ON PAVED SURFACES OR OTHER NON-LANDSCAPE DESIGNATED AREAS OR OUTSIDE OF THE PROJECT'S BOUNDARIES FOR GRAPHIC COMMUNICATION CLARITY ONLY. ACTUAL LOCATION SHALL BE WITHIN THE PROJECT'S LANDSCAPE DESIGNATED AREAS.
5. PIPING MAY BE SHOWN GOING THROUGH EXISTING AND/OR PROPOSED VEGETATION FOR GRAPHIC COMMUNICATION FOR CLARITY ONLY. FIELD ADJUST THE ROUTING AS NEEDED IN ORDER TO CLEAR THE VEGETATION WITHOUT CONFLICT SO THAT THE PIPING CAN REACH THE INTENDED TARGETED AREA OR ELEMENT.
6. WHERE EXISTING OR NEW TREES, LIGHT STANDARDS, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED WITHIN REASON AS NECESSARY TO OBTAIN PROPER COVERAGE WITHOUT DAMAGING THE OBSTRUCTION. LANDSCAPE ARCHITECT OR ITS REPRESENTATIVE SHALL DETERMINE WHETHER OBSTRUCTION OCCURS OR NOT.
7. COMPONENT SPACINGS ARE MAXIMUM. DO NOT EXCEED SPACINGS SHOWN OR NOTED ON THE PLANS. COMPONENT SPACINGS MAY BE ADJUSTED TO ACCOMMODATE CHANGES IN TERRAIN AND PLANTING LAYOUT AS LONG AS THE MODIFIED SPACINGS DO NOT EXCEED THE SPACINGS SHOWN IN THE PLANS. UNLESS SHOWN OTHERWISE, IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE THAT MEETS THE TARGETED DISTRIBUTION UNIFORMITY LEVEL(S).
8. ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE INSTALLED AS DETAILED ON THE PLANS. IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS/INSTRUCTIONS RECOMMENDED BY THE MANUFACTURER.
9. IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS, CONTROLLER AND OTHER DEVICES TO OBTAIN SPECIFIED OPERATING CHARACTERISTICS, INCLUDING COVERAGE, OPERATING PRESSURE, FLOW RATES AND OPERATION TIME, AS INDICATED ON THE DRAWINGS AND ON THE IRRIGATION SYSTEM SPECIFICATIONS. ADJUST ALL SPRINKLERS TO AVOID OVERTHROW OF WATER ONTO BUILDINGS, ROADWAYS, SIDEWALKS OR EXISTING NATIVE VEGETATION.
10. CONTRACTOR TO PROVIDE INSTALLATION SHOP DRAWINGS AND MANUFACTURER PRODUCT INFORMATION FOR ALL IRRIGATION COMPONENTS. ALL INSTALLATIONS SHALL BE AS RECOMMENDED BY MANUFACTURERS. THE QUANTITIES SHOWN IN THE LEGENDS AND SYMBOL SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE TAKE-OFF OF MATERIALS TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED ON THE PLANS AND DRAWINGS.
11. ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN, DEBRIS FREE SUITABLE SOIL MATERIALS. CLEAN SAND SHALL BE USED FOR BEDDING MATERIAL IF PARENT SOIL CANNOT BE ADEQUATELY RIGID OF ROCK AND OTHER EXTRANEIOUS DEBRIS. PULLING PIPE SHALL BE PROHIBITED.
12. ALL SOLVENT WELDING SHALL BE PRECEDED BY PRIMING OF THE FITTINGS AND PIPE AS RECOMMENDED BY THE MANUFACTURER. THE USE OF FAST-SETTING SOLVENT WELD COMPOUND ON MAIN OR SUBMAIN PIPING GREATER THAN 2.5" IS PROHIBITED. SLOWER SETTING SOLVENT WELD COMPOUND SHALL BE USED.

B. IRRIGATION WATER SOURCE:

- 1. THE IRRIGATION WATER SOURCE SHALL BE AS SPECIFIED UNLESS THAT THE IRRIGATION WATER SOURCE IS NOT AVAILABLE OR IT IS NOT SUITABLE FOR REASONS UNKNOWN TO THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR PROJECT MANAGER.
2. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND TESTING THE IRRIGATION WATER SOURCE TO MAKE SURE THAT IT IS CAPABLE OF PROVIDING THE PROPOSED SYSTEM'S REQUIRED OPERATING PRESSURE & PEAK WATER FLOW

C. IRRIGATION MAINS/SUBMAIN PIPING:

- 1. ALL IRRIGATION MAINS & SUBMANS 3" AND LARGER SHALL BE 1120-1220 CLASS 200 PVC GASKET BELL-END PIPE. ALL IRRIGATION MAINS & SUBMANS 2.5" AND SMALLER SHALL BE 1120-1220 CLASS 200 PVC SOLVENT WELD BELL-END JOINT PIPE.
2. FOR ALL IRRIGATION MAINS & SUBMANS 3" AND LARGER FITTINGS SHALL BE D.I.P. W/ GASKET. MECHANICAL JOINT RESTRAINING HARDWARE SHALL BE PROVIDED AND USED BY THE IRRIGATION CONTRACTOR FOR APPLICATIONS IN WHICH HIGH OPERATING PRESSURE, WATER FLOWS AND SIGNIFICANT PRESSURE SURGE POTENTIAL OCCUR.
3. FOR ALL IRRIGATION MAINS & SUBMANS 2.5" AND LARGER FITTINGS SHALL HAVE THRUST BLOCKS AT POINTS SUBJECT TO PRESSURE SURGE IMPACT, OR HAVE SUITABLE/ADEQUATE RESTRAINING HARDWARE WHETHER SPECIFIED OR NOT.
4. FOR ALL IRRIGATION MAINS & SUBMANS 2.5" AND SMALLER FITTINGS SHALL BE: SCH 80 PVC FOR SERVICE TEES AND OTHER THREADED FITTINGS; SCH 40 PVC FOR NON-THREADED FITTINGS.
5. HYDROSTATIC PRESSURE TESTING FOR IRRIGATION MAINS/SUBMANS SHALL BE DONE ONLY AFTER ALL MAINS/SUBMAIN VALVES (INCLUDING ZONE CONTROL VALVES) AND OTHER MAINS/SUBMAIN ELEMENTS ARE FULLY ATTACHED. HYDROSTATIC PRESSURE TESTING MUST BE WITNESSED AND DOCUMENTED.
6. THE DEPTH OF ALL LINES SHALL BE AS SPECIFIED PER PLANS AND DETAILS. MEASUREMENTS SHALL BE FROM TOP OF PIPE(S) TO FINISH GRADE. CONTRACTOR WILL BE RESPONSIBLE FOR RETRENCHING AND RELAYING ANY PIPE NOT MEETING SPECIFIED DEPTHS.
7. ALL MAINLINES WILL BE INSTALLED WITH A TRACKING TAPE LABELED "NON-POTABLE IRRIGATION MAIN".
8. ELECTRONIC TRACKING/LOCATING BALLS SHALL BE INSTALLED/PROVIDED 12" ABOVE THE PIPING AT ALL POINTS WHERE PIPING DIRECTION CHANGES AND/OR STUB-OUTS OCCUR.
9. ALL PIPING STUB-OUTS FOR FUTURE ZONE EXPANSIONS SHALL HAVE THE END CAPPED, AND BE LOCATED USING A 6" VALVE BOX OR AN ELECTRONIC TRACKING/LOCATING BALL.

D. IRRIGATION LATERALS & GENERAL PVC PIPING GUIDE LINES:

- 1. ALL IRRIGATION LATERAL LINES PIPING SHALL BE 1120-1220 CLASS 200 PVC SOLVENT WELD BELL-END JOINT PIPE.
2. ALL IRRIGATION MAINS/SUBMANS & LATERAL LINES PIPING CUTS SHALL BE SQUARE, CLEAN AND WITHOUT ANY BURRS. ALL PVC PIPE TO BE SOLVENT WELD JOINED AND SHALL BE PRIMED WITH A PRIMER SUITABLE FOR THE SOLVENT WELD COMPOUND TO BE USED. THE PRIMER AND SOLVENT WELD COMPOUND SHALL BE APPLIED IN A NEAT, CLEAN FASHION, AVOIDING EXCESSIVE AMOUNTS OF PRIMER AND SOLVENT WELD COMPOUND.
3. ALL IRRIGATION LATERAL LINES PIPING 2.5" AND LARGER SHALL BE INSTALLED AT A MINIMUM TRENCH DEPTH OF 18". ALL IRRIGATION LATERAL LINES PIPING 2" AND SMALLER SHALL BE INSTALLED AT A MINIMUM TRENCH DEPTH OF 12".
4. THE DEPTH OF ALL LATERAL LINES SHALL BE MEASURED FROM TOP OF PIPE(S) TO FINISH GRADE. CONTRACTOR WILL BE RESPONSIBLE FOR RETRENCHING AND RELAYING ANY PIPE NOT MEETING SPECIFIED DEPTHS.
5. ALL PVC PIPING MAINS/SUBMAIN(S) LATERAL(S) AND/OR OTHER PIPING SHALL BE PANTONE PURPLE 522C FOR IRRIGATION WATER USE ID EASE WHETHER THE WATER FROM THE SOURCE IS OR IS NOT SFW/DRINKING WATER.

E. IRRIGATION SLEEVES - HDPE DIRECTIONAL BORES:

- 1. ALL IRRIGATION SLEEVES UNDER PAVED SURFACES NOT SCHEDULED FOR IMPROVEMENTS OR REFINISHMENT SHALL BE: CLASS 200 EXTRAMOLECULAR STRENGTH SDR 11 HDPE CASINGS FOR WATER PIPES; CLASS 200 EXTRAMOLECULAR STRENGTH SDR 13.5 HDPE CASINGS FOR CONTROL WIRES. THE CASINGS SHALL BE INSTALLED DIRECTIONAL BORE DRILLING TECHNOLOGY.
2. FOR WATER LINES, THE DR CASING SHALL BE TWO TIMES LARGER THAN THE PIPE WITHIN FOR LARGER OR MULTIPLE LINES (SMALLER DIAMETER). THE BORE'S INTERIOR DIAMETER SHALL BE LARGE ENOUGH TO FIT THE JOINT BELL ENDS OF THE PIPE(S) WITHIN.
3. DIRECTIONAL BORE DRILLING MAY BE USED AS AN IRRIGATION MAIN OR SUBMAIN TO CROSS A PAVED SURFACE AS LONG AS THE DR CASING MATCHES THE IRRIGATION MAIN/SUBMAIN SIZE, AND PVC TO HDPE MECHANICAL JOINT COUPLINGS WITH TRANSITIONAL GASKETS ARE USED TO CONNECT TO THE PVC INTERCONNECTING POINTS.
4. DIRECTIONAL BORES FOR CONTROL WIRES SHALL BE CLASS 200 EXTRAMOLECULAR STRENGTH HDPE 13.5" CASINGS FOR 30 OR LESS 14 GAUGE WIRES; 3" (1 TO 80+ 14 GAUGE WIRES).

F. IRRIGATION SLEEVES - PVC CASINGS & GENERAL SLEEVES GUIDE LINES:

- 1. ALL IRRIGATION SLEEVES UNDER UNPAVED OR PAVED SURFACES SCHEDULED FOR IMPROVEMENTS SHALL BE: SCH 80 PVC FOR SLEEVES 6" AND LARGER; SCH 40 PVC FOR SLEEVES 4" AND SMALLER.
2. FOR CROSSINGS WITH LENGTHS LESS THAN 20' LONG USE AN ENTIRE PVC SECTION. FOR CROSSINGS WITH LENGTHS GREATER THAN 20' USE JOINED SECTIONS, WATER-PROOF SOLVENT WELD THE JOINT UNION.
3. IRRIGATION SLEEVE/CASING/BORE END SECTIONS SHALL EXTEND 4' BEYOND THE EDGE OF THE PAVED DRIVEWAYS W/ CURBING; 7 1/2' PAVED DRIVEWAYS WITH NO CURBING; 1 1/2' SIDEWALKS.
4. ELECTRONIC TRACKING/LOCATING BALLS SHALL BE INSTALLED/PROVIDED 12" ABOVE, EACH END OF THE SLEEVES(AT DRIVEWAY & WIDE (8'-6") SIDEWALK CROSSINGS, EACH END OF CONTROL OR OTHER (S) WIRES SLEEVE - ALL CROSSINGS.
5. ALL IRRIGATION SLEEVE CROSSINGS SHALL BE DOCUMENTED STATING: SIZE(S) OF SLEEVE(S); TYPE(S) OF SLEEVE(S); USE(S) OF SLEEVE(S); LENGTH OF SLEEVE(S); DEPTH(S) OF SLEEVE(S). THE PARTY INSTALLING SHALL VERIFY THE INSTALLATION AND SIGN THE SLEEVES LOG.
6. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR FOR THE LOCATION OF SLEEVE CROSSINGS WHETHER SHOWN OR NOT.
7. ALL IRRIGATION CONTROL AND ELECTRICAL WIRES SHALL HAVE EXCLUSIVE/DEDICATED SLEEVES. AT NO TIME WILL WIRES SHARE THE SAME SLEEVE WITH MAINS(S), SUBMANS(S) OR OTHER PIPING.
8. THESE DRAWINGS HAVE BEEN PREPARED UTILIZING OTHERS DATA, WHERE PROPOSED SLEEVING IS EITHER INADEQUATE OR NOT POSSIBLE, THE CONTRACTOR SHALL PROVIDE A UNIT COST FOR PROVIDING THE SLEEVING AND BORING NECESSARY TO EXECUTE THE WORK. UNIT PRICES SHALL ALSO INCLUDE NECESSARY DIRECTIONAL BORES, WHERE AND AS APPLICABLE.

IRRIGATION NOTES:

GENERAL CONTENT:

IRRIGATION ISOLATION VALVES:

- 1. IRRIGATION ISOLATION VALVES 2" AND LARGER SHALL HAVE A PRESSURE RATING OF 200 PSI OR GREATER, HAVE A BODY CONSTRUCTED WITH CAST IRON, BE EPOXY COATED, HAVE FLANGED CONNECTIONS, HAVE A NON-RISING STEM WITH A SQUARE NUT MECHANISM.
2. IRRIGATION ISOLATION VALVES 1 1/2" AND SMALLER SHALL HAVE A PRESSURE RATING OF 200 PSI OR GREATER, HAVE A BODY CONSTRUCTED WITH BRASS, HAVE THREADED CONNECTIONS, HAVE A NON-RISING STEM AND WHEEL TURN HANDLE.
3. IRRIGATION ISOLATION VALVES LOCATED AT LOCATIONS WHERE SALT INTRUSION WITHIN THE SOILS MAY BE PRESENT SHALL BE SCH 80 PVC, SOLVENT WELD CONNECTIONS.
4. ALL ISOLATION VALVES INSTALLED ALONG THE IRRIGATION MAIN OR SUBMAIN SHALL BE INSTALLED WITHIN A VALVE BOX 12" RECTANGULAR FOR 2" AND LARGER VALVES; 10" ROUND FOR 1 1/2" AND SMALLER VALVES. IRRIGATION CONTRACTOR SHALL PROVIDE VALVE BOX EXTENSIONS WHEN NECESSARY. EXTENSIONS MAY BE COMPOSED OF VALVE BOX EXTENSIONS, OR MADE WITH BLACK PLASTIC CORRUGATED PIPE. REFER TO CORRESPONDING DETAIL(S).
5. IRRIGATION QUICK COUPLING VALVES SHALL BE CONSTRUCTED OF BRASS, HAVE AN ACME THREADED MECHANISM, HAVE A LOCKABLE COVER LID.
6. IRRIGATION QUICK COUPLING VALVES SHALL HAVE A MATCHING KEY WITH A SWIVEL EL. THE IRRIGATION CONTRACTOR SHALL PROVIDE ONE KEY PER FOUR QUICK COUPLING VALVES.
7. IRRIGATION QUICK COUPLING VALVES SHALL BE INSTALLED WITHIN A 10" ROUND BOX. THE VALVE SHALL BE CENTERED WITHIN THE CENTER OF THE BOX.

I. IRRIGATION CONTROL SYSTEM - CONTROLLERS:

- 1. ALL CONTROLLER(S) (EACH IF APPLICABLE) WILL BE INSTALLED AT LOCATIONS DESIGNATED BY THE IRRIGATION DESIGNER. IN THE EVENT THAT NO DESIGNATED LOCATIONS OCCUR, OR THE LOCATIONS DESIGNATED ARE IN CONFLICT, THE IRRIGATION CONTRACTOR SHALL DETERMINE AND FIELD LOCATE ALL CONTROLLER(S) AND RAIN SENSOR(S) LOCATIONS. THE LOCATIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL OF THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE INSTALLATION.
2. THE CONTROLLER(S) SHALL BE LOCATED AT LOCATION(S) ACCESSIBLE TO MAINTENANCE PERSONNEL.
3. THE CONTROLLER SHALL HAVE 120V DEDICATED ELECTRIC SERVICE PROVIDED TO THE CONTROLLER IN CONDUIT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING MATERIALS AND LABOR NECESSARY TO BE PROVIDED FOR THE SERVICE.
4. ALL CONTROLLER(S) (EACH IF APPLICABLE) WILL BE GROUNDED USING THREE EIGHT FOOT (8') COPPER CLAD RODS WITH #8 SOLID COPPER WIRE. COPPER CLAMP WILL BE USED TO ATTACH THE WIRE TO THE RODS. IF ANOTHER CONTROLLER IS UTILIZED, AN EARTH GROUND OF FIVE (5) OHMS OR LESS SHALL BE OBTAINED ON THE GROUNDING EQUIPMENT. CONTROL EQUIPMENT GROUNDING SHALL BE IN ACCORDANCE TO THE MANUFACTURER'S LATEST SPECIFICATIONS.
5. CONTROL WIRE SHALL BE AWG SOLID COPPER INSULATED WIRE SUITABLE FOR DIRECT BURIAL APPLICATIONS. THE SIZE OF THE WIRE SHALL BE AS SPECIFIED OR AWG 14 GAUGE GROUND AND COMMON IF THE DISTANCE BETWEEN THE CONTROLLER AND THE FARTHEST VALVE IS LESS THAN 2,000', OR AWG 12 GAUGE GROUND AND AWG 14 GAUGE ACTIVE IS THE DISTANCE BETWEEN THE CONTROLLER AND FARTHEST VALVE IS LESS THAN 2,000'.
6. CONTROL WIRE COLORS SHALL BE: WHITE FOR GROUND, WHITE W/ COLOR STRIPE FOR GROUND SPARE; RED FOR ACTIVE, GREEN AND/OR BLUE FOR SPARE; YELLOW AND/OR ORANGE FOR SPECIAL USES SUCH AS MASTER WIRE OR SENSOR(S).
7. ALL CONTROL WIRE CONNECTIONS SHALL BE DONE USING OVIDOR WIRE CONNECTORS. CONTROL WIRES WITHIN VALVE BOXES SHALL BE NEATLY CURLED IN 1" CURLS, OR FOLDED AND SECURED WITH PLASTIC TIES.
8. ALL CONTROLLER(S) (EACH IF APPLICABLE) WILL HAVE A RAIN SENSOR AND BY-PASS SWITCH INSTALLED TO MEET STATE AND LOCAL CODES. RAIN SENSORS AND BY-PASS SWITCHES ALSO WILL BE INSTALLED IN ACCORDANCE TO MANUFACTURER'S GUIDELINES.
9. RAIN SENSORS & MINI-WEATHER STATIONS (WIND SENSOR) SHALL BE INSTALLED IN OPEN AREAS CLEAR OF IRRIGATION COVERAGE, VEGETATION AND/OR STRUCTURAL INTERFERENCE.

J. IRRIGATION CONTROL SYSTEM - DECODERS:

- 1. THE IRRIGATION CONTRACTOR SHALL BE SUITABLE FOR TWO-WIRE DECODER CONTROL TECHNOLOGY. THE DECODERS SHALL BE MANUFACTURED BY THE IRRIGATION CONTROLLER MANUFACTURER.
2. THE DECODERS TWO-WIRE CONTROL WIRE SHALL BE MANUFACTURED BY THE CONTROLLER & DECODERS MANUFACTURER, OR A MANUFACTURER APPROVED EQUAL. THE WIRE'S LENGTH TO THE FARTHEST VALVE/DECODER SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDED LENGTH.
3. WHERE POSSIBLE, PRACTICAL AND FEASIBLE ZONE CONTROL VALVES SHALL BE MANIPULATED TOGETHER NEAR THE MANAGING DECODER. VALVES LOCATED WITHIN 140' FROM A MANAGING DECODER LOCATION SHALL HAVE THE SOLID WIRE TO THE DECODER (FOR ACTIVATION) USING AWG 14 GAUGE SOLID COPPER INSULATED WIRE. THE WIRES' COLOR SHALL MATCH THE SUBJECT DECODERS CORRESPONDING WIRES COLOR.
4. THE DECODERS SHALL BE GROUNDED IN ACCORDANCE TO THE MANUFACTURER'S LATEST GROUNDING SPECIFICATIONS.
5. THE IRRIGATION CONTRACTOR SHALL HAVE ON SITE AT ALL TIMES SUITABLE DECODER PROGRAMMING EQUIPMENT.
6. BIDDING CONTRACTORS MUST BE CERTIFIED IN DECODER CONTROL SYSTEMS INSTALLATION, SERVICE AND MANAGEMENT.
7. THE DECODERS' INSTALLATION SHALL BE IN ACCORDANCE TO THE DECODERS' MANUFACTURER LATEST SPECIFICATIONS.
8. THE SYSTEMS ZONE CONTROL VALVES SHALL BE MANUFACTURED BY THE DECODER CONTROL SYSTEM MANUFACTURER.

L. IRRIGATION ZONE CONTROL VALVES:

- 1. THE ZONE CONTROL VALVES SHALL BE MANUFACTURED BY THE IRRIGATION CONTROLLER MANUFACTURER.
2. THE ZONE CONTROL VALVES SHALL HAVE INTERNAL AUTOMATED CLEANING MECHANISMS WITHIN, AND DIAL TYPE PRESSURE REGULATORS.
3. THE ZONE CONTROL VALVE'S PRESSURE REGULATOR SETTINGS SHALL BE: LARGE TURF AREA ROTOR HEADS, (50'-70' SPACINGS) 70+ PSI; INTERMEDIATE RANGE ROTOR HEADS, 50+ PSI; SHORT RANGE ROTORS HEAD, 40+ PSI; SPRAY HEADS, BUBBLERS & DRIP IRRIGATORS, 30+ PSI.
4. THE ZONE CONTROL VALVES SHALL BE NEATLY INSTALLED (CENTERED) WITHIN A VALVE BOX. THE ZONE CONTROL VALVES VALVE BOX SIZES SHALL BE: 10" ROUND VALVE BOX FOR SINGLE 1" VALVES WITH NO ISOLATION VALVE AT INLET; 12" RECTANGULAR VALVE BOX FOR SINGLE 1.5" AND 2" VALVES; 12" RECTANGULAR VALVE BOX FOR SINGLE 1" VALVES WITH ISOLATION VALVE AT INLET; JUMBO VALVE BOX FOR SINGLE 1.5" & 2" VALVES WITH ISOLATION VALVES AT INLET. DO NOT INSTALL MULTIPLE (TWO OR MORE) 1.5" OR 2" VALVES WITHIN A VALVE BOX. MULTIPLE (THREE - MAXIMUM) 1" VALVES MAY BE INSTALLED WITHIN A JUMBO VALVE BOX.
5. PROVIDE NON-WOVEN FILTER FABRIC AND A 1/4" LAYER OF GRAVEL (PEA GRAVEL OR #30) AT EACH VALVE BOX. ATTACH THE FILTER FABRIC TO THE EXTERIOR OF THE VALVE BOX'S BOTTOM WITH DUCT TAPE. EXCAVATE THE SOIL AT THE BOTTOM OF THE BOX'S AREA SO THAT A 2" AIR GAP CAN OCCUR BETWEEN THE TOP OF GRAVEL AND THE BOTTOM OF THE BOX. PROVIDE PAVEMENT BRICKS (FOUR PER RECTANGULAR/JUMBO BOXES - ONE AT EACH CORNER, TWO FOR 10" ROUND BOXES - ONE PER SIDE OPPOSITE OF EACH OTHER) FOR VALVE BOX STABILITY.
6. PROVIDE 10 (YELLOW) AND WARNING PLASTIC TAGS MANUFACTURED BY CHRISTY INDUSTRIES. PROVIDE MANUFACTURER PROVIDED NUMBERS, OR NEATLY WRITE THE CORRESPONDING VALVE NUMBER ON THE TAG.
7. WHERE POSSIBLE AND PRACTICAL, LOCATE AND INSTALL THE ZONE CONTROL VALVES AND BOXES WITHIN LOW GROWING PLANTING BEDLINE AREAS IN A FASHION THAT THE OUTLINE OF THE PLANTING BEDLINE IS NOT INTERRUPTED BY THE VALVE BOX.
8. DO NOT INSTALL ZONE CONTROL VALVES/VALVE BOXES WITHIN SHADES, AND/OR THE BOTTOM OF LOW AREAS, 20' FROM THE MAIN TRUNK OF LARGE CANOPY TREES/PALMS; MINIMUM 12' FROM THE MAIN TRUNK OF MEDIUM/SMALL TREES/PALMS; MINIMUM 7' FROM EDGES OF DRIVEWAYS; MINIMUM 6" FROM THE EDGE OF SIDEWALKS, MASONRY WALLS OR BUILDING FOUNDATIONS.

M. IRRIGATION VALVE BOXES - GENERAL GUIDE LINES:

- 1. THE VALVE BOXES SHALL BE AS SPECIFIED, IF A MANUFACTURER AND MODEL ARE NOT SPECIFIED THE IRRIGATION CONTRACTOR SHALL PROVIDE VALVE BOXES USING THE FOLLOWING CRITERIA.
2. THE VALVE BOXES SHALL BE OF SUITABLE SIZE AND MATERIAL APPROPRIATE FOR THE INTENDED USE. THE VALVE BOX LIDS SHALL HAVE A RIBBED REINFORCED BACKING, AND BE LOCKABLE. THE LID SHALL BE PAINTONE PURPLE 522C.
3. BRICK PAVERS SHALL BE PROVIDED IN THE FOLLOWING FASHION: ONE PAVEMENT PER SIDE (OPPOSITE OF EACH OTHER); ONE BRICK PER CORNER FOR RECTANGULAR, SQUARE AND JUMBO BOXES.
4. THE BOTTOM OF THE BOXES SHALL BE LINED WITH NON-WOVEN FILTER FABRIC (NWF) TO KEEP SOILS, SILTS AND DEBRIS FROM ENDOCHANCING INTO THE BOX. THE NWF SHALL BE ATTACHED TO THE BOX WITH CONTINUOUS BANDS OF DUCT TAPE WRAPPED AROUND THE ENTIRE PERIMETER OF THE BOX. THE NWF SHALL HAVE OPENINGS ONLY FOR THE PIPING TO GO THROUGH (ENIG). THE EDGE OF THE NWF SHALL BE SECURED TO THE PIPING WITH DUCT TAPE.
5. PROVIDE A 1/4" LAYER OF GRAVEL (PEA GRAVEL OR #30) AT THE BOTTOM OF THE INTERIOR OF EACH VALVE BOX. EXCAVATE THE SOIL AT THE BOTTOM OF THE BOX'S PIT DEEP ENOUGH FOR THE LAYER OF GRAVEL CAN FIT WITHIN THE DEEPER EXCAVATED AREA SO THAT A 2" AIR GAP CAN OCCUR BETWEEN THE TOP OF GRAVEL AND THE BOTTOM OF THE BOX.
6. FOR DEEP EXCAVATIONS/INSTALLATION APPLICATIONS PROVIDE VALVE BOX EXTENSIONS AS NEEDED. THE EXTENSIONS SHALL BE AS RECOMMENDED/SPECIFIED BY THE VALVE BOX MANUFACTURER. PLASTIC CORRUGATED PIPE (NO HOLES) CAN BE CONSIDERED AN ACCEPTABLE EXTENSION FOR ROUND BOXES AS LONG AS THE MATERIAL HAS A REASONABLE LEVEL OF RIGIDNESS.

N. IRRIGATION - LARGE TURF AREAS/ATHLETIC FIELD ROTOR HEADS:

- 1. THE ROTOR HEAD MANUFACTURER AND MODEL SHALL BE AS SPECIFIED.
2. THE ROTOR HEAD NOZZLE SELECTION SHALL BE AS SHOWN PER PLAN. REFER TO THE PLAN FOR NOZZLE SELECTION AND COVERAGE PATTERN SETTINGS/ADJUSTMENTS.
3. PROVIDE AN INLET SIZED SCH 80 PVC PRE-MANUFACTURED SWING JOINT ASSEMBLY PER ROTOR HEAD TO CONNECT TO THE CORRESPONDING LATERAL LINE.
4. PROVIDE INSTALLATION, ADJUSTMENTS AND MAINTENANCE (AS NEEDED) IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS.

O. IRRIGATION - INTERMEDIATE/SMALL AREAS ROTOR HEADS:

- 1. THE ROTOR HEAD MANUFACTURER AND MODEL SHALL BE AS SPECIFIED.
2. THE ROTOR HEAD NOZZLE SELECTION SHALL BE AS SHOWN PER PLAN. REFER TO THE PLAN FOR NOZZLE SELECTION AND COVERAGE PATTERN SETTINGS/ADJUSTMENTS.
3. PROVIDE AN INLET SIZED PRE-MANUFACTURED RIGID PLASTIC SWING JOINT ASSEMBLY (PART# 712S-J - 78"x12" SWING JOINT) PER ROTOR HEAD TO CONNECT TO THE CORRESPONDING LATERAL LINE FOR HIGH FLOW NOZZLES & OPERATING PRESSURE ROTOR HEADS NOTED IN PLAN. FOR OTHER SMALLER AREA LOWER FLOW DEMAND/OPERATING PRESSURE ROTOR HEADS SHALL BE CONNECTED TO LATERAL LINE PIPING USING FUNNY PIPE AND HARD PLASTIC FITTINGS.
4. PROVIDE INSTALLATION, ADJUSTMENTS AND MAINTENANCE (AS NEEDED) IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS.

IRRIGATION NOTES:

GENERAL CONTENT:

IRRIGATION - SPRAY HEADS:

- 1. THE SPRAY HEAD MANUFACTURER AND MODEL SHALL BE AS SPECIFIED.
2. THE SPRAY HEAD NOZZLE SELECTION SHALL BE AS SHOWN PER PLAN. REFER TO THE PLAN FOR NOZZLE SELECTION AND COVERAGE PATTERN SETTINGS/ADJUSTMENTS.
3. PROVIDE INSTALLATION, ADJUSTMENTS AND MAINTENANCE (AS NEEDED) IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS.

P. IRRIGATION - TREE/PALM SUPPLEMENTAL WATERING BUBBLERS:

- 1. THE BUBBLER MANUFACTURER AND MODEL SHALL BE AS SPECIFIED. THE BUBBLERS SHALL BE SET VOLUME WATER DISCHARGE PRESSURE COMPENSATING FLOOD TYPE BUBBLERS. THE INSTALLATION/USE OF ADJUSTABLE BUBBLERS IS NOT ALLOWED.
2. THE BUBBLER NOZZLE SELECTION SHALL BE AS SHOWN PER PLAN/NOTE(S)/BUBBLER SELECTION TABLE.
3. PROVIDE INSTALLATION, ADJUSTMENTS AND MAINTENANCE (AS NEEDED) IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS.

R. IRRIGATION - DRIP IRRIGATION:

- 1. THE DRIP IRRIGATION FILTER ASSEMBLY SHALL BE AS SPECIFIED AND INSTALLED AT THE LOCATION(S) SHOWN. THE IRRIGATION CONTRACTOR SHALL CONSTRUCT A DRIP IRRIGATION FILTER DISCHARGE SUMP AS SPECIFIED.
2. DRIP IRRIGATION INLINE TUBING (DIT) SHALL BE USED AS THE PRIMARY MEANS TO PROVIDE WATER TO THE TARGETED PLANT MATERIAL. FOR GENERAL GROUND/ROUNDER PLANTER APPLICATIONS THE DIT SHALL BE 5/8" FLEXIBLE POLYETHYLENE TUBING WITH FACTORY INSTALLED 32 GPH EMITTERS INSTALLED AT 20' SPACINGS. PLANTING POTSPAN APPLICATIONS THE DIT SHALL BE 29/32" FLEXIBLE POLYETHYLENE MICRO-TUBING WITH FACTORY INSTALLED 25 GPH EMITTERS INSTALLED ON 6" SPACINGS.
3. PROVIDE SOIL TUBING ANCHOR STAKES AT A RATE OF ONE STAKE PER FIVE FEET OF INLINE TUBING. NO SOIL ANCHOR STAKES FOR MICRO-TUBING.
4. ALL INLINE TUBING AND MICRO-TUBING INTERCONNECTING FITTINGS SHALL BE MANUFACTURED BY THE TUBING MANUFACTURER.
5. THE INLINE TUBING (LARGER) SHALL BE LAY-OUT IN STRAIGHT ROWS BETWEEN ROWS OF PLANTINGS, PARALLEL TO THE PLANTING AREAS/BOUNDARIES. WAVING THE TUBING IN AND OUT BETWEEN PLANTS IS PROHIBITED. THE INLINE TUBING SECTIONS SHALL BE INSTALLED ON 24" SPACINGS. THE SPACINGS MAY VARY AT SMALL ODD SHAPED AREAS. THE MICRO-TUBING SHALL BE INSTALLED FOLLOWING THE PLANTING ROWS/ROWS PERIMETER OUTLINE, WITHIN 3" FROM THE EDGE. IF A SECOND ROW/SECTION OF TUBING IS REQUIRED IT SHALL BE INSTALLED 8" APART, PARALLEL TO THE FIRST SECTION.
6. DO NOT EXCEED THE TUBING & MICRO-TUBING MANUFACTURER'S LENGTH LIMITS. INLINE TUBING, 200'; MICRO-TUBING, 10'.
7. CONNECTIONS TO PVC POINTS OF CONNECTION SHALL BE MADE AS ILLUSTRATED IN THE PVC HEADER POINT OF CONNECTION.
8. PROVIDE (1) AUTOMATIC LINE FLUSH VALVE PER 15 GPM OF ZONE'S FLOW, OR AT DEAD END SECTIONS, OR OTHER LOCATIONS SHOWN.
9. PROVIDE (1) AIR VACUUM RELIEF VALVE (AVRV) PER 6 GPM OF ZONE'S FLOW. THE AVRV LOCATIONS MAY NOT BE SHOWN IN THE PLAN BUT SHOULD BE INSTALLED THROUGHOUT THE ZONE, ESPECIALLY AT THE HIGHER ELEVATION AREAS. INSTALLATION SHALL BE IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS.
10. PROVIDE HIGH FLOW EMISSION MODULES TO PROVIDE SUPPLEMENTAL WATER FOR PLANTINGS THAT REQUIRE MORE WATER. PROVIDE: (1) 25"x24" LONG MICRO-TUBING (BLANK SECTION); (1) 25" MICRO-TUBING SOIL STAKE; (1) 25" MICRO-TUBING DIFFUSER BUG CAP PER SUPPLEMENTAL WATER HIGH FLOW EMISSION MODULE.
11. POTS AND/OR PLANTERS SHALL BE IRRIGATED VIA SUBSURFACE DRIP IRRIGATION, OR DIRECT EMISSION DRIP IRRIGATION AS DIRECTED PER PLAN, OR IN A FASHION THAT PROVIDES A WATER APPLICATION EQUAL OR NOT GREATER THAN 1.0" PER HOUR. DRIP IRRIGATION INLINE TUBING TO BE USED SHALL BE SUITABLE FOR THE SIZE OF THE POT(S)/PLANTER(S).
12. THE DRIP IRRIGATION APPLICATIONS FOR POTS AND PLANTERS SHALL BE IN DEDICATED ZONES, NOT MIXED WITH OTHER PLANTS AND/OR IRRIGATION APPLICATION METHODS AND MEDIA.

S. IRRIGATION - SPECIFICATIONS & DOCUMENTS:

- 1. THE IRRIGATION CONTRACTOR'S STAFF SHALL HAVE A COPY OF THE PLAN SET FOR REFERENCE ON SITE AT ALL TIMES.
2. ALL SYSTEM ELEMENTS SHALL BE INSTALLED, USED AND MAINTAINED IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS.
3. THE CONTRACTOR SHALL ACKNOWLEDGE THAT CONSTRUCTION DOCUMENTS (PLANS) AND WRITTEN SPECIFICATIONS ARE PART OF THESE CONTRACT DOCUMENTS AND SHALL BE RESPONSIBLE FOR THE THOROUGH REVIEW AND ADHERENCE THERE TO. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IN A TIMELY MANNER PRIOR TO THE COMMENCEMENT OF WORK.
4. THE CONTRACT DOCUMENTS (DRAWINGS & SPECIFICATIONS) TAKE PRECEDENCE OVER ASSUMED INDUSTRY STANDARDS.

T. WARRANTY:

- 1. THE IRRIGATION CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY, STATING THAT ALL WORK INCLUDED UNDER THIS CONTRACT SHALL BE WARRANTED AGAINST ALL DEFECTS AND MALFUNCTION OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION AND FINAL ACCEPTANCE OF THIS PROJECT.
2. THE IRRIGATION CONTRACTOR FURTHER AGREES THAT HE/SHE WILL AT HIS/HER OWN EXPENSE REPAIR AND/OR REPLACE ALL SUCH DEFECTIVE WORK AND MATERIALS AND ALL OTHER WORK DAMAGED THEREIN IN WHICH BECOMES DEFECTIVE DURING THE TERM OF THE GUARANTEE/WARRANTY IN AN EXPEDITIOUS MANNER.
3. THE OWNER RESERVES THE RIGHT TO MAKE EMERGENCY REPAIRS WITHOUT BELIEVING THE IRRIGATION CONTRACTOR'S GUARANTEE OBLIGATION. IN THE EVENT THAT THE IRRIGATION CONTRACTOR DOES NOT RESPOND TO THE OWNER'S REQUEST FOR REPAIRS WITHIN FORTY-EIGHT (48) HOURS, THE OWNER MAY MAKE SUCH REPAIRS AS HE/SHE DEEMES NECESSARY, AT THE FULL EXPENSE OF THE IRRIGATION CONTRACTOR.
4. ANY SETTLING OF BACKFILLED TRENCHES WHICH MAY OCCUR DURING THE GUARANTEE/WARRANTY PERIOD SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER, INCLUDING THE COMPLETE RESTORATION OF ALL DAMAGED PLANTINGS, SOIL, PAVING AND/OR OTHER IMPROVEMENTS OF ANY KIND.

DEVELOPMENT REVIEW COMMITTEE MARION COUNTY, FLORIDA

APPLICATION #: 30064
APPROVAL DATE: 10/30/23
EXPIRATION DATE: 10/30/25

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.
NOTICE: The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



RECEIVED
OCT 31 2023
Marion County
City of Ocala, Florida

Ocala South Code Minimum Irrigation Schematic Plans Ocala, Florida

PROJECT NO: 23001809
DATE: 09/22/2023
DRAWN: BCH
REVIEWED: RAB



IRRIGATION NOTES PLAN

LI601