



**Marion County**  
**Board of County Commissioners**

**Growth Services**

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

January 10, 2023

Harvey Vandeven  
1240 SE 12<sup>th</sup> Court  
Ocala FL 34471

RE: PUD Rezoning Case Application No. 220309Z  
Application Request No. 27854

To Whom It May Concern:

We are sending this letter to inform you that your request for zoning change from R-1 (Single-Family Dwelling) to PUD (Planned Unit Development) regarding the Woodridge Place Development project on parcels 14973-000-00 and 14971-001-00 was approved by the Board of County Commissioners on March 15, 2022.

Zoning Ordinance 22-10, Development conditions and Concept Plan are enclosed.

When contacting the Growth Services Department's Planning and Zoning Division about this action, please refer to file no. 220309Z.

Sincerely,

  
Earl R. Hahn, AICP  
Growth Services Director

ss

Enclosure: Ordinance No. 22-10, Development Conditions and Concept Plan

cc: David Tillman, Tillman & Associates Engineering, LLC.

**ORDINANCE NO. 22-10****AN ORDINANCE OF THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, APPROVING REZONING AND SPECIAL USE PERMIT APPLICATIONS AND AUTHORIZING IDENTIFICATION ON THE OFFICIAL ZONING MAP; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Board of County Commissioners of Marion County, Florida (Board), is responsible for and has established the zoning of parcels of property in the unincorporated area of Marion County as reflected on the official Zoning Map, and

**WHEREAS**, property owner(s) have submitted petition(s) for rezoning and/or special use permits and such applications identify the property by metes and bounds description or by the Marion County Property Appraiser parcel number and such identifications of property are hereby incorporated into this ordinance by reference, and

**WHEREAS**, the Board has considered the recommendations of the Marion County Planning and Zoning Commission and has conducted the necessary public hearing and has approved the applications contained in this ordinance. Now therefore,

**BE IT ORDAINED** by the Board of County Commissioners of Marion County, Florida:

**SECTION 1. REZONING APPROVALS.** The Board hereby approves the below-listed applications for Rezoning and Special Use Permits. NOTE: The terms and conditions of Board approvals of Special Use Permits are stated in the Board Resolution corresponding to each Special Use Permit Petition shown below.

1. **AGENDA ITEM #15.1.1. 220209SU** – Family of God Fellowship, Inc. His House for Her, Inc. – Renee Arnett, 3937 SE 39<sup>th</sup> Circle, Ocala, FL 34480, request a Modification of a Special Use Permit (060114SU/06-R-67), Articles 2 and 4, of the Marion County Land Development Code, to allow the continued construction and operation of six (6) residential buildings to house a maximum of nine (9) women in each residence (8 residents and 1 supervisor); one (1) administration building; and use the existing buildings for supportive services (church and multi-use building), in an R-1 (Single-Family Dwelling) zone, on an approximate 12.73 Acre Parcel, on Parcel Account Number 9009-0000-05.  
**Subject to all terms and conditions of Resolution 22-R-089 attached hereto and incorporated herein by reference.**

2. **AGENDA ITEM #15.1.3. 220303Z** – Richard O. and Patricia A. Smith, 6425 SE 158<sup>th</sup> Court, Ocklawaha, FL 34480, request a Zoning Change, Articles 2 and 4, of the Marion County Land Development Code, from B-2 (Community Business) to R-4 (Residential Mixed Use), for all permitted uses, on an approximate 2.02 Acre Parcel, on Parcel Account Number 39430-18-017.
3. **AGENDA ITEM #15.1.4. 220306Z** - Paul and Anna Thomas, 14560 NE 112<sup>th</sup> Court, Ft. McCoy, FL 32134, request a Zoning Change, Articles 2 and 4, of the Marion County Land Development Code, from R-1 (Single-Family Residential) to R-4 (Residential Mixed Use), for all permitted uses, on an approximate .28 Acre portion of 1.14 Acre Parcel, on Parcel Account Number 09534-003-18.
4. **AGENDA ITEM #15.2.4. 220114SU** – Alvin L. and Glenda S. Thomas, Caroline Searles, 9151 SE 180<sup>th</sup> Avenue, Ocklawaha, FL 32179, request a Special Use Permit, Articles 2 and 4, of the Marion County Land Development Code, for the placement of a proposed 250' Self-Support Telecommunication Tower and a 100'x100' Lease Area for Associated Equipment (with AT&T being the anchor tenant), in an A-1 (General Agriculture) zone, on an approximate 10,000 square foot portion of a 10.0 Acre Parcel, on Parcel Account Number 39710-000-00.  
**Subject to all terms and conditions of Resolution 22-R-090 attached hereto and incorporated herein by reference.**
5. **AGENDA ITEM #15.1.5. 220310Z** – Family Life Assembly of God, Inc., Rev. Charles D. Hill, 4325 SW 95<sup>th</sup> Street, Ocala, FL 34476, requests a Zoning Change, Articles 2 and 4, of the Marion County Land Development Code, from A-1 (General Agriculture) to R-E (Residential Estate), for all permitted uses, on an approximate 9.73 Acre Parcel, on Parcel Account Number 35699-008-01.
6. **AGENDA ITEM #15.1.6. 220311SU**– Family Life Assembly of God, Inc., Rev. Charles D. Hill, 4325 SW 95<sup>th</sup> Street, Ocala, FL 34476, request a Special Use Permit, Articles 2 and 4, of the Marion County Land Development Code, to allow a daycare and after school care for grades Kindergarten through Sixth, with a maximum of 120 children, in an R-E (Residential Estate) zone, on an approximate 9.73 Acre Parcel, on Parcel Account Number 35699-008-01.  
**Subject to all terms and conditions of Resolution 22-R-091 attached hereto and incorporated herein by reference.**
7. **AGENDA ITEM #15.2.1. 220302SU**– Carlos L. Hernandez and Yaneisy Pedroso Navarro, 13471 SW 53<sup>rd</sup> Street, Ocala, FL 34481, request a Special Use Permit, Articles 2 and 4, of the Marion County Land Development Code, to allow the parking of commercial vehicles (1 tractor and 1 flatbed trailer), in an R-1 (Single-Family Dwelling) zone, on an approximate 1.0 Acre Parcel, on Parcel Account Number 3495-165-105.  
**Subject to all terms and conditions of Resolution 22-R-092 attached hereto and incorporated herein by reference.**

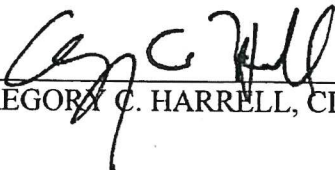
8. **AGENDA ITEM #15.2.3. 220301Z** – The Gary L. Phelps Living. Trust, Gary L. Phelps, TR, 590 NE 63<sup>rd</sup> Street; Albert P. and Lori J. Fecht, 612 NE 63<sup>rd</sup> Street; Wesley Allen and Jessica J. McCubbin, 450 NE 63<sup>rd</sup> Street; Judith A. Viveiros, 500 Ne 63<sup>rd</sup> Street, Ronald K. and Deborah L. Reddish, 444 NE 63<sup>rd</sup> Street; James C. and Johnna L. Agin, 360 NE 63<sup>rd</sup> Street; and Winfield Clinton Terry III and Patricia R. Voss, 330 NE 63<sup>rd</sup> Street, all in Ocala , FL 34479, request a Zoning Change, Articles 2 and 4, of the Marion County Land Development Code, from R-1 (Single-Family Dwelling) to R-E (Residential Estate), for all permitted uses, on an approximate 20.56 Acre Tract, on Parcel Account Numbers 15137-000-00, 15137-000-02, 15137-001-00, 15137-001-01, 15137-001-02, 15138-000-00, 15138-002-00, 15138-003-00 and 15169-000-00.
9. **AGENDA ITEM #15.2.7. 220308Z** – Rainey Investments, LLC., James I. Rainey, 9925 SE 58<sup>th</sup> Avenue, Belleview, FL 34420, request a Modification of a Zoning Change, Articles 2 and 4, of the Marion County Land Development Code, from R-1 (Single-Family Residential) and PUD (Planned Unit Development) to PUD (Planned Unit Development), for a proposed Development with 269 Single Family Dwelling lots and a 250-Unit Townhome - within 50 buildings (Total development not to exceed 628 units), on an approximate 127.91 Acre Tract, on Parcel Account Numbers 9006-000-03 and 37506-000-00.
10. **AGENDA ITEM #15.2.8. 220309Z** – Harvey W. Vandeven, 1240 SE 12<sup>th</sup> Court, Ocala, FL 34471, requests a Zoning Change, Articles 2 and 4, of the Marion County Land Development Code, from R-1 (Single-Family Residential) to PUD (Planned Unit Development), for a proposed 240-Unit Residential Development - not to exceed 321 units (Woodridge Place), on an approximate 80.30 Acre Tract, on Parcel Account Numbers 14973-000-00 and 14971-001-00.

**SECTION 2.** Authorizing identification of the official zoning map.

**SECTION 3. EFFECTIVE DATE.** A certified copy of this Ordinance as enacted shall be filed by the Clerk of the Board with the Office of the Secretary of State of the State of Florida within ten (10) days after enactment, and this Ordinance shall take effect in accordance with Section 125.66(2), Florida Statutes.

**DULY ADOPTED** in regular session this 15th day of MARCH 2022.

ATTEST:

  
 \_\_\_\_\_  
 GREGORY C. HARRELL, CLERK

BOARD OF COUNTY COMMISSIONERS  
 MARION COUNTY, FLORIDA

  
 \_\_\_\_\_  
 CARL ZALAK III, CHAIRMAN

RECEIVED NOTICE FROM SECRETARY OF STATE ON MARCH  
 23, 2022 ADVISING ORDINANCE WAS FILED ON MARCH  
 23, 2022.

**220309Z (Woodridge Place) Development Conditions:**

1. The PUD shall be developed consistent with the PUD Application and PUD Concept Plan Set (1/18/2022; attached) and the development conditions for this approval.
2. The PUD shall consist of single-family detached residential (SFR) dwelling units, up to a maximum total of 321 units, provided consistent with the Concept Plans listed development standards.
3. Any RV/Boat storage area shall be provided internal to the PUD and set back a minimum of 100' from any external PUD boundary.
4. Prior to completion and approval of the final PUD Master Plan, or equivalent, an updated project Traffic Study shall be completed and adequate provision shall be made to provide for the dedication of thoroughfare and major local collector rights-of-way along with necessary supporting transportation system and/or access improvements, consistent with applicable County and State provisions.
5. Development of the PUD shall provide for full connected access (vehicular and multi-modal) to the adjoining Marion Highlands, Courtney Acres, and Fore Acres North Subdivisions, with the final connection details established with the final PUD Master Plan, including demonstrating that the interconnected access points are not gated and allow all interconnected access to reach NE Jacksonville Road.
6. The PUD shall comply with the minimum provision of 16.06 acres of total open space as shown on the PUD Conceptual Plan.
7. Buffers shall be provided consistent the buffers as provided on the PUD Conceptual Plan.
8. The final PUD Master Plan, or equivalent, shall provide final amenity provision details (clubhouse, pool, playground, play area, etc.) demonstrating the amenities comply with national home builder association residential community amenity package practices and rates and the minimum amenities established by the PUD Conceptual Plan, whichever is greater.
9. The final interior roadway cross-section shall be determined with the review and consideration of the final PUD Master Plan, wherein an increased width greater than 30' may be required to address specific design needs; in the event the applicant and the Development Review Committee disagree regarding any final width, the applicant may appeal a the decision of the DRC to the Board of County Commissioners as part of the final PUD Master Plan review noted in Condition #11 below.
10. Any access & utility easement(s) along the site boundaries shall be placed internally so as to not conflict with any buffer along that boundary.
11. The final PUD Master Plan, or equivalent, shall require approval by the Marion County Board of County Commissioners, including being duly noticed and advertised consistent with the Land Development Codes Zoning Application notice provisions at the applicant's expense

PUD REZONING REQUIREMENTS:

- 1. A MINIMUM... 2. THE NAME OF THE PROPOSED PUD... 3. DRAWING OF THE BOUNDARIES OF THE PROPERTY... 4. PROVIDE THE ADDRESS OF THE SUBJECT PROPERTY... 5. IDENTIFY THE COMPREHENSIVE PLAN FUTURE LAND USE... 6. A LIST OF THE USES PROPOSED FOR THE DEVELOPMENT... 7. A TYPICAL DRAWING OF AN INTERIOR LOT... 8. PROPOSED ZONING AND DEVELOPMENT STANDARDS... 9. IDENTIFY PROPOSED PHASING... 10. IDENTIFY PROPOSED BUFFERS... 11. IDENTIFY ACCESS TO THE SITE... 12. PRELIMINARY BUILDING LOT TYPICAL... 13. PRELIMINARY EXISTING UTILITIES... 14. PRELIMINARY PARALLEL ACCESS LOCATIONS... 15. SHOW 100 YEAR FLOODPLAIN... 16. SHOW ANY PROPOSED LAND OR RIGHT OF WAY... 17. A NOTE DESCRIBING HOW THE CONSTRUCTION... 18. ARCHITECTURAL RENDERINGS OR COLOR PHOTOS...

GENERAL NOTES:

- 1. THE PROJECT SHALL COMPLY WITH MARION COUNTY UTILITIES FOR WATER AND SEWER... 2. ALL UTILITIES OVER 24" DIAMETER SHALL BE PROTECTED... 3. IMPROVEMENT PLANS AND MAJOR SITE PLANS... 4. ALL NEIGHBORHOOD WATER MAINS AND FIRE HYDRANT SYSTEMS... 5. ALL BUILDINGS WITH SPARKER SYSTEMS... 6. FIRE DEPARTMENT ACCESS AND LAMPARISONS... 7. PROPOSED ACCESS POINTS... 8. PROPOSED RESIDENTIAL ACCESS... 9. AT THE REQUEST OF THE DEVELOPER... 10. THIS PROPERTY IS ZONED "R-10" FOR FIVE-FAMILY LOW-DENSITY...

LEGAL DESCRIPTION:

TRACT NO. 1: COMMENCING AT A CORNER... TRACT NO. 2: COMMENCING AT A CORNER... TRACT NO. 3: COMMENCING AT A CORNER...

TRACT NO. 4: COMMENCING AT A CORNER... TRACT NO. 5: COMMENCING AT A CORNER... TRACT NO. 6: COMMENCING AT A CORNER...

TRACT NO. 7: COMMENCING AT A CORNER... TRACT NO. 8: COMMENCING AT A CORNER... TRACT NO. 9: COMMENCING AT A CORNER...

WOODRIDGE PLACE P.U.D. CONCEPT PLAN MARION COUNTY, FLORIDA

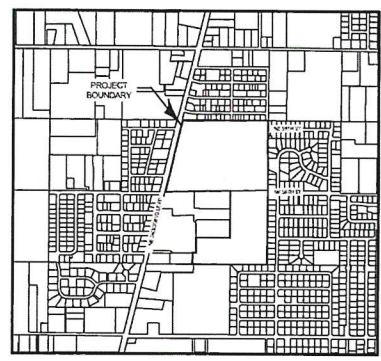
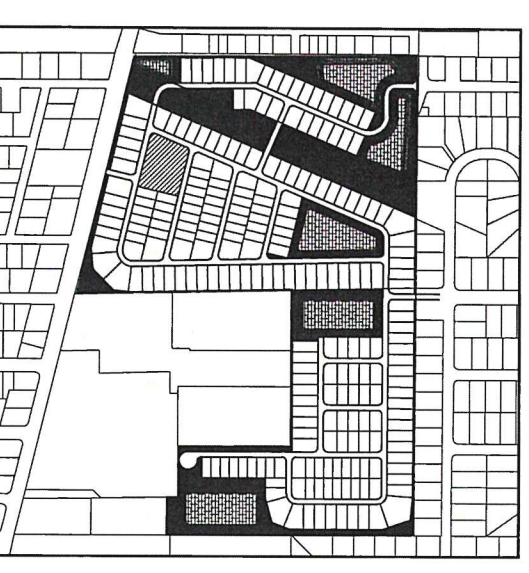
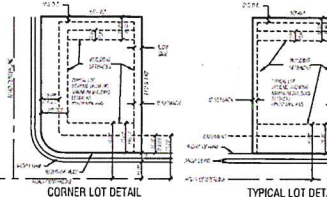
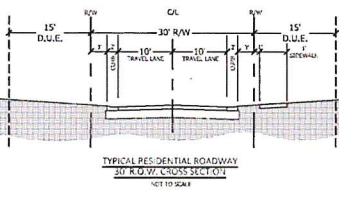
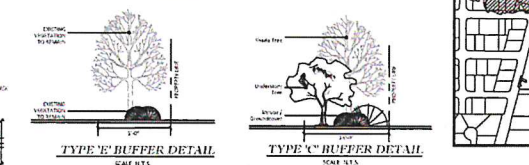


Table with 2 columns: Category and Value. Includes rows for OPEN SPACE (REQUIRED, PROVIDED, IMPROVED, PASSIVE), IMPROVED OPEN SPACE, and PASSIVE OPEN SPACE.

BUFFER NOTES:

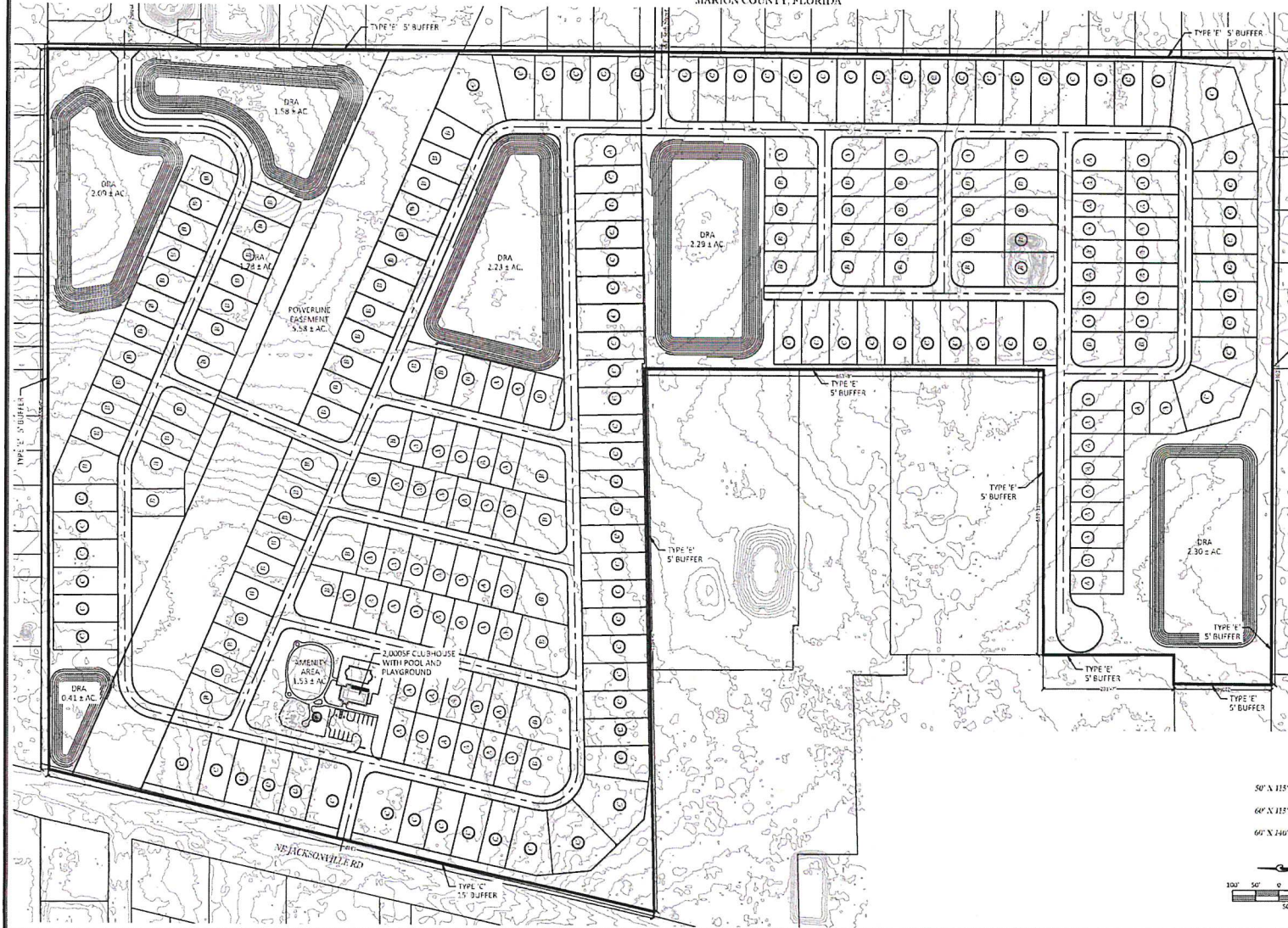
- TYPE 'C' BUFFER: THE BUFFER SHALL CONSIST OF A 15-FOOT WIDE LANDSCAPE STRIP... TYPE 'E' BUFFER: BUFFER SHALL CONSIST OF A 10-FOOT WIDE LANDSCAPE STRIP... 1. ALL EXTERIOR BUFFERS SHALL ADHERE TO THIS APPROVED PUD CONCEPT PLAN... 2. EXISTING BUFFERS ARE NOT REQUIRED... 3. AREAS INTERNAL TO THE P.U.D. DO NOT REQUIRE BUFFERS... 4. EXISTING BUFFERS ARE EXEMPT... 5. VISUAL EXISTING TREES AND OTHER DISTANT VEGETATION... 6. SHADE TREES IN BUFFERS CAN GROW TOWARDS REQUIRED REPLACEMENT TREES... 7. BUFFERS ALONG POWER LINES SHALL FOLLOW THE GUIDELINES OF LP TREES AND POWER LINES... 8. WHERE THERE IS A DISCREPANCY BETWEEN THE OVERALL BUFFER PLAN AND THESE NOTES, NOTES SHALL TAKE PRECEDENCE.



Professional information block including: Tiltman & Associates ENGINEERING, LLC; 1720 SE 18th Ave, Bldg. 100, Ocala, FL 34471; CONTACT: (352) 339-1456; FAX: (352) 339-1455; PROJECT: WOODRIDGE PLACE, MARION COUNTY, FLORIDA; DATE: 01/16/2022; DRAWN BY: JSM; CHECKED BY: JSM; JOB NO: 21288; and a page number '01 of 02'.

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

**WOODRIDGE PLACE  
P.U.D. CONCEPT PLAN**  
MARION COUNTY, FLORIDA



**SITE DATA**

OWNER: HARVEY WALSHVEN  
DEVELOPER: HVM DEVELOPERS, LLC  
ADDRESS: 5349 SE 26th Street  
Ocala, FL 34471

**PERMITS:**  
14973-000-00 AND A PORTION OF 14971-001-00  
**PROJECT AREA:**  
14973-000-00 = 51.8 ± AC.  
14971-001-00 = 23.7 ± AC. OR 27.9 ± AC.  
TOTAL = 80.3 ± AC.

**DENSITY:**  
RESIDENTIAL ALLOWED -  
14973-000-00 (D1.6 V 4) = 706 UNITS  
14971-001-00 (R1.2 V 4) = 115 UNITS  
TOTAL ALLOWABLE = 321 UNITS

50' X 115' LOTS = 72 UNITS (30.0%)  
60' X 115' LOTS = 81 UNITS (32.0%)  
60' X 140' LOTS = 42 UNITS (16.2%)  
TOTAL PROPOSED = 240 UNITS  
(FINAL DEVELOPMENT PLAN NOT TO EXCEED 321 UNITS)

**LAND USE & ZONING:**  
EXISTING LAND USE: MR (MEDIUM RESIDENTIAL)  
EXISTING ZONING: R-1  
PROPOSED ZONING: PLD

**DCA AREA:**  
PROVIDED: 10.90 ± AC.

**OPEN SPACE:**  
REQUIRED: 16.06 ± AC. (R-1.3 @ 0.25)

**PROPOSED:**  
PASSIVE OPEN SPACE: 8.37 ± AC.  
IMPROVED OPEN SPACE: 1.53 ± AC.  
DPA: 2.29 ± AC. (10.90 X 0.25)  
POWERLINE EASEMENT: 0.52 ± AC.  
BUFFERS: 1.51 ± AC.  
TOTAL SHOWN: 19.72 ± AC.  
MINIMUM TO BE PROVIDED: 16.06 ± AC. (R-1.3 @ 0.25)

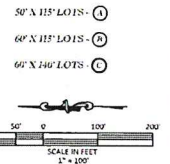
**MARION COUNTY, A MINIMUM OPEN SPACE**  
REQUIREMENT OF 20 PERCENT, OR WHICH 25 PERCENT  
OF DPAs CAN COUNT TOWARDS OPEN SPACE.

**MINIMUM LOT DIMENSIONS:**  
WIDTH: 50' & 60'  
DEPTH: 115' & 140'

**MINIMUM BUILDING SETBACKS:**  
FRONT: 25'  
REAR: 10'  
SIDE: 5' MIN.  
MAXIMUM HEIGHT: 40'

**NOTE: ACCESSORY STRUCTURES - i.e. SHEDS, POOL ENCLOSURES, ECT. TO BE 5' FROM REAR AND SIDE.**

**NOTES:**  
SIDEWALKS - TO BE ALONG ONE SIDE OF INTERNAL ROADS AND ALONG NE JACKSONVILLE RD



**Tillman & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - SURVEYING  
1720 SE 16th Ave. Bldg. 100, Ocala, FL 34471  
Office: (352) 381-4400 Fax: (352) 381-9515  
CENTRAL FLORIDA REGISTRATION # 12222

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WOODRIDGE PLACE  
MARION COUNTY, FLORIDA

**CONCEPT PLAN**

DATE: 1/16/2022  
DRAWN BY: SJK  
CHECKED BY: DMM  
JOB NO: 21-295A

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL