



# Marion County Board of Adjustment Meeting Agenda

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**Monday, April 6, 2026**

**2:00 PM**

**Growth Services Building -  
Training Room**

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**Call to Order and Roll Call**

**Invocation and Pledge of Allegiance**

**Explanation of Procedure for Hearing Variance Requests**

- 1. Acknowledgment of Proof of Publication, Mailing and Posting of Notice**
- 2. Consider the following Variance Requests**
  - 2.1. [260401V - Betty Jo & Mealy W. Reed, Jr., Request a Variance, to Reduce the Front \(Lakeside\) Setback from 75' to 55' for a Pool and Deck, in a Single-Family Dwelling \(R-1\) Zone, on Parcel Account Number 45568-000-00, Site Address 10410 SE 138th Place Road, Summerfield, FL 34491](#)**
  - 2.2. [260402V - Brite Properties of Florida, LLC, Requests a Variance, to Reduce the \(Front\) Setback from 25' to 20' for 46 Parcels, in a Single-Family Dwelling \(R-1\) Zone, on Parcel Account Numbers 8002-0072-01, 8002-0074-01, And Various Others, Site Addresses Various Parcels in Marion Oaks Unit 2 Subdivision, Ocala, FL 34473](#)**
- 3. Other Business**
- 4. Consider the Minutes of Previous Meeting**
  - 4.1. [February 2, 2026](#)**

**Adjourn**



# Marion County Board of Adjustment

## Agenda Item

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**File No.:** 2026-22473

**Agenda Date:** 4/6/2026

**Agenda No.:** 2.1.

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**SUBJECT:**

**260401V** - Betty Jo & Mealy W. Reed, Jr., Request a **Variance**, to Reduce the Front (Lakeside) Setback from 75' to 55' for a Pool and Deck, in a Single-Family Dwelling (R-1) Zone, on Parcel Account Number 45568-000-00, Site Address 10410 SE 138<sup>th</sup> Place Road, Summerfield, FL 34491

**DESCRIPTION/BACKGROUND:**

Edward Abshier, on behalf of Mealy and Betty Reed, filed for a variance from Section 5.2.4.A of the Marion County Land Development Code (LDC) to reduce the required Environmentally Sensitive Overlay Zone (ESOZ) waterfront setback from seventy-five (75) feet to fifty-five (55) feet to the ordinary high-water line. The subject property is located at 10410 SE 138th Place Road, Summerfield, FL. The Parcel Identification Number for the subject property is 45568-000-00. The legal descriptions are provided within the submitted deed (see Attachment A). The variance request is in response to Zoning comments related to Permit No. 2025110129 for an in-ground swimming pool.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

**PLANNING & ZONING SECTION  
STAFF REPORT**

<b>BOA Date</b>	4/6/2026
<b>Case Number</b>	260401V
<b>EPL Number</b>	Z Variance-000246-2026
<b>Type of Case</b>	<b>Variance</b> to reduce waterfront setback from 75' to 55' for a pool and deck
<b>Owner</b>	Mealy & Betty Reed
<b>Applicant</b>	Edward Abshier
<b>Street Address/Site Location</b>	10410 SE 138 <sup>th</sup> Place Road, Summerfield, FL 34491
<b>Parcel Number(s)</b>	45568-000-00
<b>Property Size</b>	±0.52 AC
<b>Future Land Use</b>	Medium Residential (MR)
<b>Zoning Classification</b>	Single-Family Dwelling (R-1)
<b>Overlays Zones/Special Areas</b>	Lake Weir Environmentally Sensitive Overlay Zone (ESOZ), Secondary Springs Protection Zone (SSPZ) & Flood Prone Area
<b>Project Planner</b>	Jared Rivera-Cayetano
<b>Related Cases</b>	Permit No. 2025110129 – In-Ground Concrete Swimming Pool

## I. ITEM SUMMARY

Edward Abshier, on behalf of Mealy and Betty Reed, filed for a variance from Section 5.2.4.A of the Marion County Land Development Code (LDC) to reduce the required Environmentally Sensitive Overlay Zone (ESOZ) waterfront setback from seventy-five (75) feet to fifty-five (55) feet to the ordinary high-water line. The subject property is located at 10410 SE 138th Place Road, Summerfield, FL. The Parcel Identification Number for the subject property is 45568-000-00. The legal descriptions are provided within the submitted deed (see Attachment A). The variance request is in response to Zoning comments related to Permit No. 2025110129 for an in-ground swimming pool.

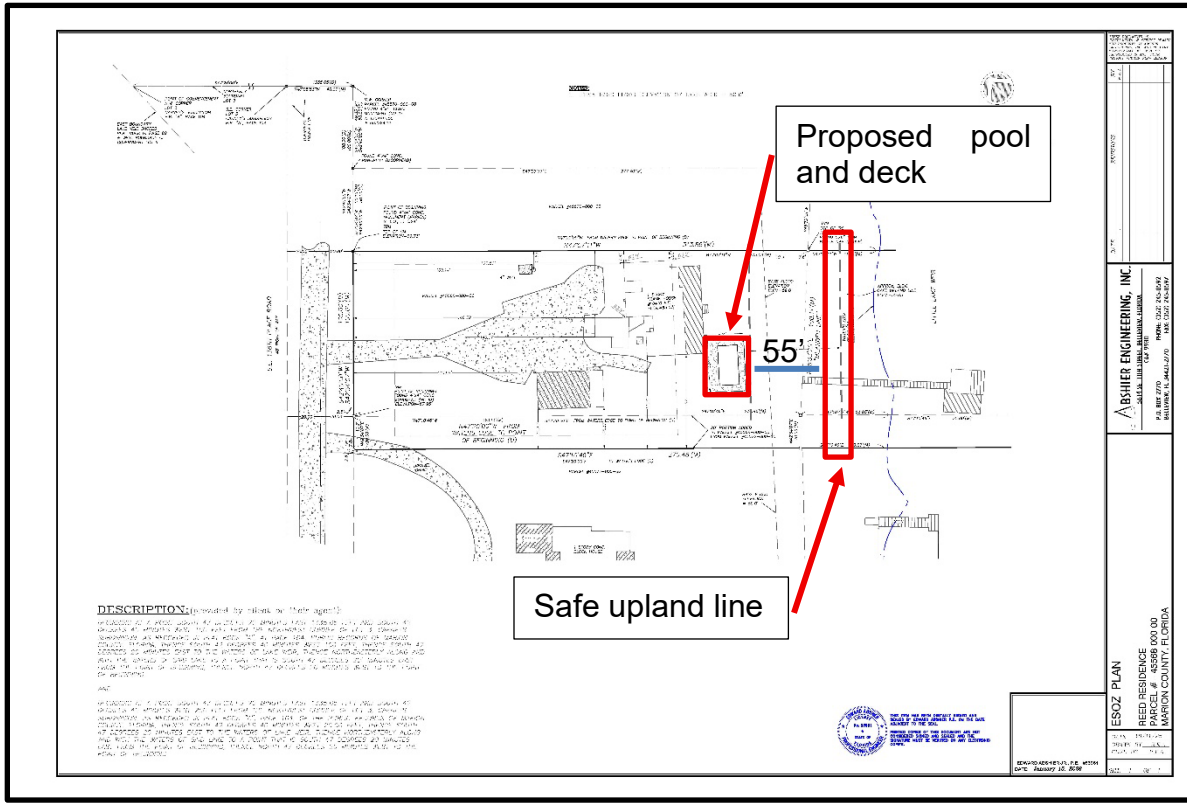
Figure 1, below, is a general location aerial displaying existing site conditions. Within the Lake Weir ESOZ, the waterfront property boundary is considered the front of the subject property for setback purposes. Although accessory structures are typically prohibited along the front yard of properties, pools and screen enclosures are allowed, provided minimum setbacks of seventy-five (75) feet are observed, pursuant to LDC Section 5.2.4.A and 5.2.4.A.

Figure 2 (and Attachment A) provides the submitted ESOZ plan for the proposed pool and deck. The submitted ESOZ plan indicates the location of the existing single-family residence, accessory structure, well, driveway, and dock. The pool and deck are approximately 770 square feet in size and fifty-five (55) feet from the “safe upland line.” Figure 3 indicates similar cases around Little Lake Weir.

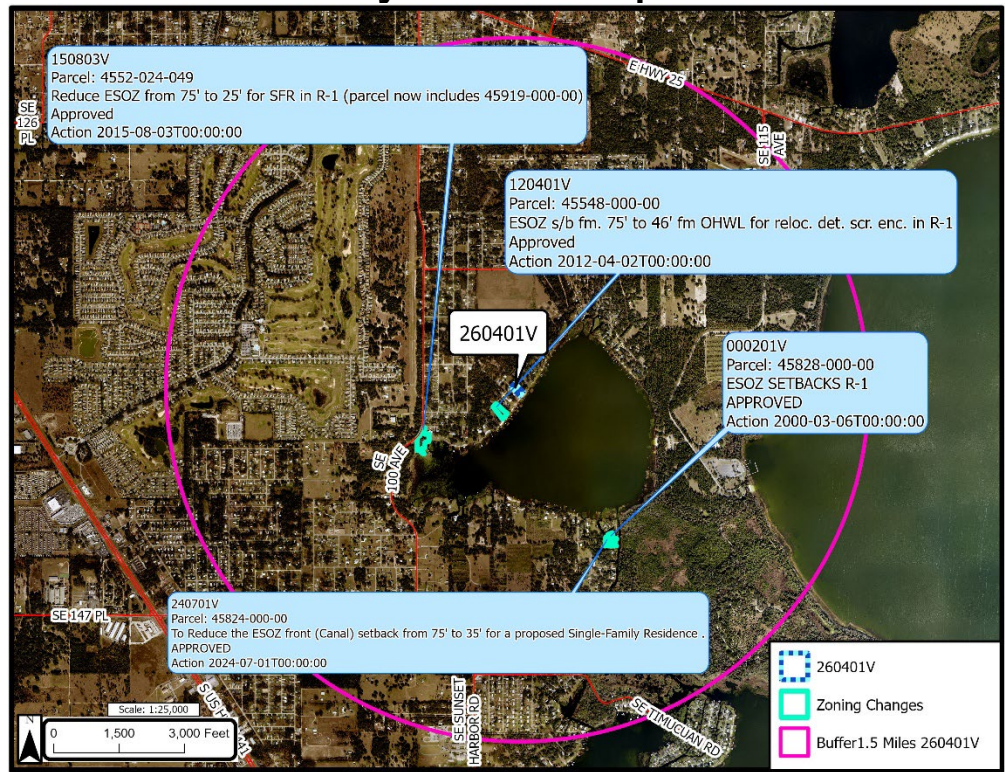
**Figure 1**  
**General Location Map**



**Figure 2  
Submitted ESOZ Plan**



**Figure 3  
Nearby Variance Requests**



## **II. NOTICE OF PUBLIC HEARING**

Consistent with Land Development Code (LDC) Section 2.9.3., notice of public hearing was mailed to all property owners (13 owners) within 300 feet of the subject property on March 20, 2026, public notice was posted on the subject property on March 6, 2026, and due public notice was published through the Marion County website on March 23, 2026. Evidence of the above-described public notices are on file with the Growth Services Department and is incorporated herein by reference. As of the date of the initial distribution of this staff report, no letters of opposition or support have been received.

## **III. PROPERTY CHARACTERISTICS**

The subject property is approximately 0.52 acres in size, with a Single-Family Dwelling (R-1) zoning and a Medium Residential (MR) Future Land Use (FLU) designation. The site is located outside the Urban Growth Boundary (UGB) and within the Secondary Springs Protection Zone (SSPZ). The subject property is directly adjacent to Little Lake Weir and is thus within the Lake Weir Environmentally Sensitive Overlay Zone (ESOZ). The subject property is not part of an existing subdivision. Consistent with LDC Section 2.9.3.B., a site visit was conducted by Growth Services Department staff on March 6, 2026.

Staff observed several homes along Little Lake Weir. Within the subject property, Staff found a one-story single-family residence. Small trees and other vegetation are located directly along SE 138<sup>th</sup> Place road, with a single gravel driveway that can park several vehicles. An additional carport/accessory structure used for storage is located towards the front of the single-family residence (i.e. considered the rear of the subject property for setback purposes). A dock is located towards the “front” yard (lakeside) of the subject single-family residence. Several tables and chairs are found along this portion of the subject property. Site photos are attached to this report (see Attachment C).

According to the Marion County Property Appraiser (MCPA), the primary single-family residence was constructed in 1963.

## **IV. REQUEST STATEMENT**

The applicant requests a variance from LDC Section 5.2.4.A to reduce the waterfront setback from seventy-five (75) feet to fifty-five (55) feet for a pool and deck in R-1 zoning. Pursuant to LDC Section 5.2.4.A, the Board of Adjustment may grant a variance from this setback.

## V. ANALYSIS

LDC Section 2.9.2.E provides that the Board of Adjustment shall not grant a variance unless the petition demonstrates compliance with six (6) criteria. Staff's analysis of compliance with those criteria are provided below.

- A. *Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings with the same zoning classification and land use area.*

**Analysis:** The applicant states, "This home was constructed in 1963. There were no ESOZ at this time. There was no way of knowing that future requirements would not allow for the addition of a pool on the lake side of the home. This type of variance is common on Lake Weir."

Marion County Property Appraiser (MCPA) confirms that the primary single-family residence was constructed in 1963. The single-family residence is approximately eighty (80) feet from the "safe upland line."

Staff notes that zoning regulations, including ESOZ standards, went into effect in 1992 with the adoption of the Marion County Land Development Code (LDC). ESOZ Ordinary High Water Line standards were changed in 2001 from a minimum waterfront setback of fifty (50) feet to seventy-five (75) feet from the ordinary high-water line. ESOZ standards were changed in 2013 to allow pools and screen enclosures along the lake side of the subject property [see LDC Section 5.2.4.G(3)], provided that minimum waterfront setback requirements of seventy-five (75) feet are met.

Figure 3 displays properties nearby that have been approved or denied variances from ESOZ standards. In total, Staff identifies approximately 92 variance cases directly along Lake Weir (including Little Lake Weir); approximately 89 of such cases have been approved. Three (3) cases were withdrawn or denied.

- B. *The special conditions and circumstances do not result from the actions of the applicant.*

**Analysis:** The applicant states, "This home was constructed in 1963. There were no ESOZ requirements at this time. There was no way of knowing that future requirements would not allow for the addition of a pool on the lake side of the home. This type of variance is common on Lake Weir."

Staff notes the subject property owner, Mealy and Betty Reed, purchased the site in 2025. Most changes following the development of the site have been primarily regulatory in nature and such regulatory changes are intended to alter how lakeside residential properties develop. Although the lake side is now considered the "front" of the property, Staff notes the LDC

technically allows pools to be constructed in the lakeside yard of residential properties provided minimum setback requirements are met.

- C. *Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use area under the terms of said regulations and would work unnecessary and undue hardship on the applicant.*

**Analysis:** The applicant states, "As mentioned above, most of the lots on Lake Weir were developed long before there were any ESOZ requirements. Almost all of these lots require a variance for the addition of a pool. This pool will be further from the lake [than] other homes on Lake Weir."

Staff notes the LDC allows pools to be constructed within the lakeside yard of residential properties provided minimum setbacks observed. Staff notes pools and screen enclosures would also be permitted toward the front of the single-family residence (the "rear" yard for setback purposes). Staff notes that a pool would also be permitted within the side of the home, which is likely to meet both side and waterfront setback requirements in this case, irrespective of applicant request.

Therefore, Staff concludes that this variance may be irregular. Staff notes that the applicant will be required to undergo appropriate permitting processes, including the submission of an ESOZ plan depicting stormwater management systems in accordance with LDC Section 5.2.6.

- D. *The variance, if granted, is the minimum variance that will allow the reasonable use of the land, building or structure.*

**Analysis:** The applicant states, "A [24' x 32'] pool and deck is not [large]. The western end of the pool and deck will be about 55' from the mean high water line." Site photos of the proposed area for the proposed pool and deck are attached.

Staff notes that the applicant has not provided additional alternative designs to show that the requested variance from the minimum setback is required.

- E. *Granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning classification and land use area.*

**Analysis:** The applicant states, "As state above, because these lots were developed and homes constructed prior to the ESOZ requirements added to the LDC, it is common for the homes to be granted variances for the addition of a pool or deck to the lake side of their home."

Staff finds that granting a variance is a privilege and each variance has its own special circumstances. Regardless of whether the Board grants or

does not grant this variance request, the decision should not create a precedence for the surrounding area.

- F. *The granting of the variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.*

**Analysis:** The applicant states, “As stated above, there are homes closer to the lake than this pool will be. Denying this request would not be consistent with other waivers approved on Lake Weir and Little Lake Weir.”

Staff has provided facts related to previous variances along Lake Weir (including Little Lake Weir).

As indicated in LDC Section 5.2.1, Staff notes the intent of ESOZ standards is to protect and conserve “environmentally sensitive areas from the adverse effects of development while protecting the rights of property owners.” Enhanced setbacks are explicitly listed as a measure to protect surface water and groundwater quality.

No berm or other form of stormwater mitigation system is provided within the submitted ESOZ plan. If granted, the applicant will be required to provide stormwater management systems during the permitting process.

## **VI. BOARD OF ADJUSTMENTS ACTION**

To be determined. Scheduled for April 6, 2026 at 1:30 PM.

## **VII. LIST OF ATTACHMENTS**

- A. Application Package
- B. Site Photos
- C. LDC Article 5, Division 2, Environmentally Sensitive Overlay Zone
- D. Property Appraiser Map 275C-3
- E. Permit No. 25110129



Marion County  
Board of County Commissioners

Growth Services ♦ Zoning

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2675  
Fax: 352-438-2676

OFFICE USE ONLY

Received By: \_\_\_\_\_

Date Received: \_\_\_\_\_

VARIANCE APPLICATION

Application #: \_\_\_\_\_  
FOR COUNTY USE ONLY

45568-000-00  
Parcel Account Number of Subject Property

THE UNDERSIGNED REQUESTS A VARIANCE AS REFERENCED IN SECTION 2.9 OF THE MARION COUNTY LAND DEVELOPMENT FOR THE PURPOSE OF:

Asking for a reduction from the 75' lakeside ESOZ setback to 55' to add a pool and deck.

Section of Code requesting variance from: 4.2.9E & 5.2.4.A

Legal Description (Please attach a copy of deed). Total Acreage of subject property: 0.52 +/- acres

Directions to subject property:  
Turn on South on SE 100 Avenue from C-25 East of Belleview. Turn East on SE 138th Place Road. House is approx. 1/2 mile to 10410 SE 138th Place Road.

Please Note: Property owner must sign this application: Otherwise he/she must attach to this application written authorization naming an agent to act in his/her behalf.

(Print/Signature) Property Owner  
Mealy W. Reed Jr.  
Address  
10410 138th Place Rd.  
City, State, Zip Code  
Summerfield, FL 34491

(Print) Applicant or Agent  
Edward Abshier  
Address  
P.O. Box 2770  
City, State, Zip Code  
Belleview, FL 34421

Contact Info: Phone, cell, e-mail address  
352-427-7794 bbjr7@aol.com

Contact Info: Phone, cell, e-mail address  
352-266-9555 ed@abshiereng.com

THE FILING FEE IS \$450 NON-REFUNDABLE. WE RECOMMEND THAT THE OWNER, APPLICANT OR AGENT BE PRESENT AT THE HEARING. IF NO REPRESENTATIVE IS PRESENT AND THE BOARD REQUIRES ADDITIONAL INFORMATION, THEY MAY DECIDE TO POSTPONE OR DENY THE REQUEST. NOTICE OF SAID HEARING WILL BE MAILED TO THE ABOVE ADDRESS. ALL INFORMATION GIVEN MUST BE CORRECT AND LEGIBLE TO BE PROCESSED. PLEASE NOTE THAT A WRITTEN PETITION (REFER TO PAGE 2 & 3) MUST BE PROVIDED WITH THIS APPLICATION, ALONG WITH A SITE PLAN IN ORDER TO BE CONSIDERED COMPLETE. FOR FURTHER INFORMATION CONTACT THE MARION COUNTY GROWTH SERVICES.

"Meeting Needs by Exceeding Expectations"

## Variance Application

### Document Completeness Checklist – 2025

The County will not review a Variance application unless the Applicant provides a signed and complete application, application fee payment, and all other required materials. All required materials and payment must be included with the application at the time of submission. Documents can be submitted on various page sizes, but must be legible on 8.5"x11" Letter paper with no resulting font size less than 12pt.

By signing this application on the first page, you acknowledge that **all** required materials and payments must be submitted in full and in accordance with the specified guidelines. Incomplete or inaccurate submissions may result in rejection and return without further review.

Variance applications are complete and sufficient for Growth Services review when an Applicant provides the following materials and information:

1.  A signed and complete application form accompanied by payment of the application fee.
  - a. Note: To confirm the appropriate payment amount, see the fee schedule available on the Marion County Growth Services webpage. Payments may be made by **cash, check, or credit card**<sup>1</sup>. **Make checks payable to: Marion County Board of County Commissioners.**
  - b. Note: Ensure the application is signed by the Owner(s) and Applicant/Agent or provide written authorization naming the Applicant/Agent to act on behalf of the Owner(s).
2.  A copy of the most recent **recorded deed** conveying the property to the current owner.
  - a. If the property is owned by a Corporation or Trust, also provide a copy of the Corporation or Trust document showing the person signing as "Owner" is a manager/registered agent of the company.
3.  A survey with legal description, setbacks, and existing structures signed by a Florida Licensed Professional Surveyor.
4.  A proposed Site Plan, at a minimum, including:
  - a. Required setbacks and proposed setbacks
  - b. Location of proposed structures
5.  A written petition of all six criteria per LDC Sec. 2.9.2 (see pages 3, 4, & 5 of this application packet)
6.  (Optional) Any additional supporting documents, media, or information to support the application. Provide a written or typed itemized list detailing all supplemental attachments.

<sup>1</sup> Payments using a credit card are subject to a surcharge service fee.

**WRITTEN PETITION FOR VARIANCE**

**WRITE YOUR ANSWERS IN THE SPACE PROVIDED AFTER EACH STATEMENT. PLEASE COMPLETE ALL REPLIES USING A SENTENCE FORM.** A VARIANCE FROM THE TERMS OF THESE REGULATIONS SHALL NOT BE GRANTED BY THE BOARD OF ADJUSTMENT UNLESS A WRITTEN PETITION FOR A VARIANCE IS SUBMITTED JUSTIFYING THE FOLLOWING:

**A.** Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings with the same zoning classification and land use area.

*Applicant's justification:*

This home was constructed in 1963. There were no ESOZ requirements at this time. There was no way of knowing that future requirements would not allow for the addition of a pool on the lake side of the home. This type of variance is common on Lake Weir.

**B.** The special conditions and circumstances do not result from the actions of the applicant.

*Applicant's justification:*

This home was constructed in 1963. There were no ESOZ requirements at this time. There was no way of knowing that future requirements would not allow for the addition of a pool on the lake side of the home. This type of variance is common on Lake Weir.

**C.** Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use are under the terms of said regulations and would work unnecessary and undue hardship on the applicant.

*Applicant's justification:*

As mentioned above, most of the lots on Lake Weir were developed long before there were any ESOZ requirements. Almost all of these lots require a variance for the addition of a pool. This pool will be further from the lake than other homes on Lake Weir.

D. The Variance, if granted, is the minimum Variance that will allow the reasonable use of the land, building or structure.

*Applicant's justification:*

A 24'x32' pool and deck is not a large. The western end of the pool and deck will be about 55' from the mean high water line.

E. Granting the Variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning classification and land use area.

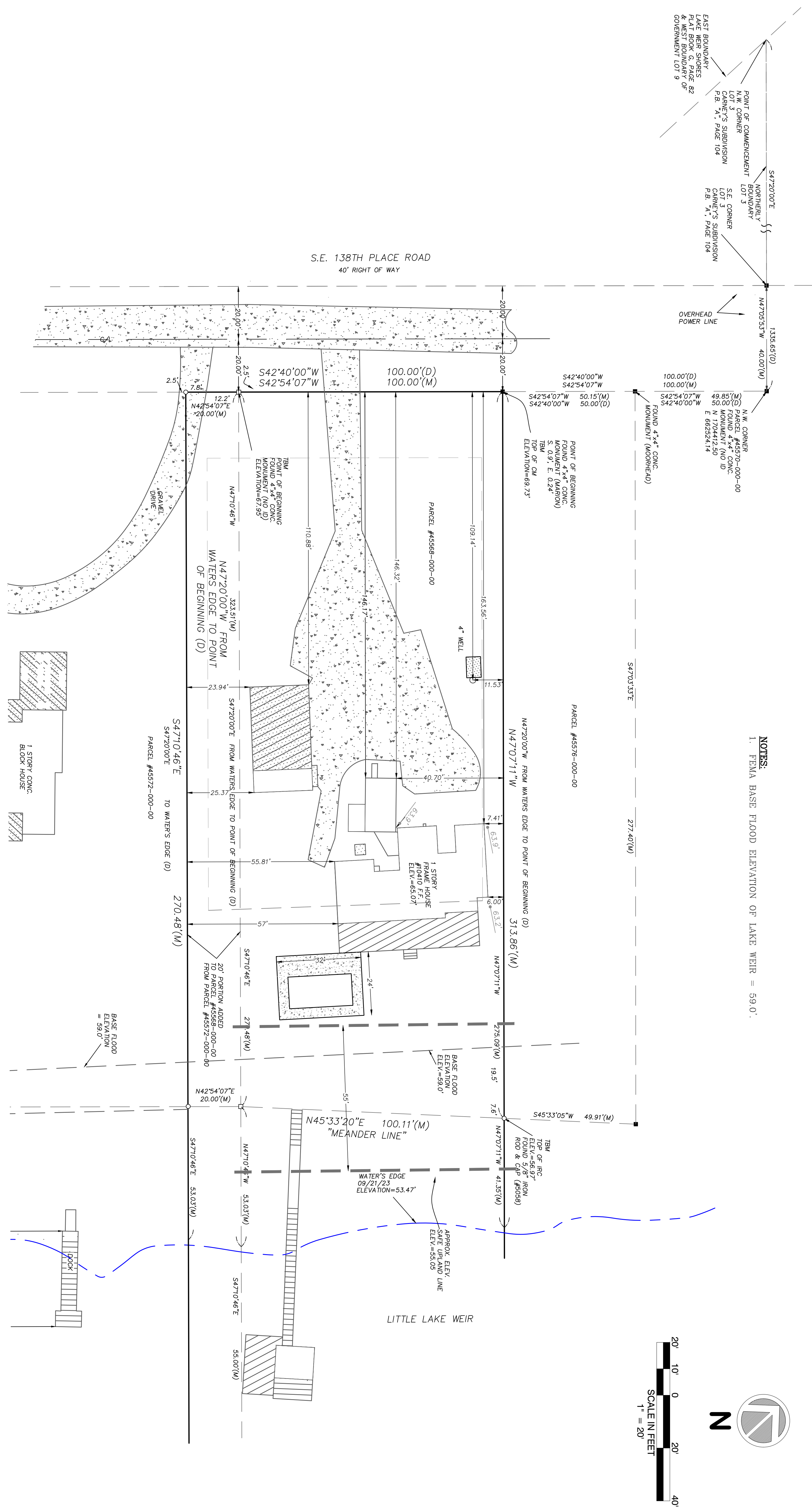
*Applicant's justification:*

As stated above, because these lots were developed and homes constructed prior to the ESOZ requirements added to the LDC, it is common for the homes to be granted variances for the addition of a pool or deck to the lake side of their home.

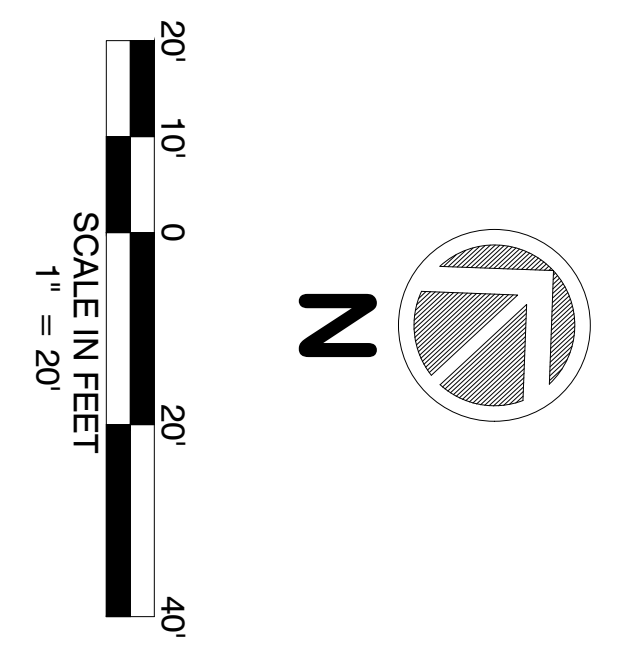
F. The granting of the Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

*Applicant's justification:*

As stated above, there are homes closer to the lake than this pool will be. Denying this request would not be consistent with other waivers approved on Lake Weir and Little Lake Weir.



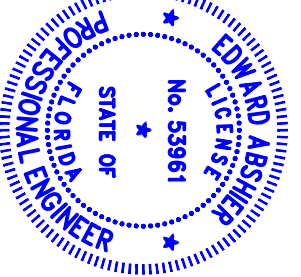
NOTES:  
1. FEMA BASE FLOOD ELEVATION OF LAKE WEIR = 59.0'.



**DESCRIPTION:** (provided by client or their agent):

BEGINNING AT A POINT SOUTH 47 DEGREES 20 MINUTES EAST 1335.65 FEET AND SOUTH 42 DEGREES 40 MINUTES WEST 100 FEET FROM THE NORTHWEST CORNER OF LOT 3, CARNEY'S SUBDIVISION, AS RECORDED IN PLAT BOOK "A", AT PAGE 104, PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE SOUTH 42 DEGREES 40 MINUTES WEST 100 FEET, THENCE SOUTH 47 DEGREES 20 MINUTES EAST TO THE WATERS OF LAKE WEIR, THENCE NORTHEASTERLY ALONG WITH THE WATERS OF SAID LAKE TO A POINT THAT IS SOUTH 47 DEGREES 20' MINUTES EAST FROM THE POINT OF BEGINNING, THENCE NORTH 47 DEGREES 20 MINUTES WEST TO THE POINT OF BEGINNING.

AND  
BEGINNING AT A POINT SOUTH 47 DEGREES 20 MINUTES EAST 1335.65 FEET AND SOUTH 42 DEGREES 40 MINUTES WEST 200 FEET FROM THE NORTHWEST CORNER OF LOT 3, CARNEY'S SUBDIVISION, AS RECORDED IN PLAT BOOK "A", PAGE 104, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE SOUTH 42 DEGREES 40 MINUTES WEST 20.00 FEET, THENCE SOUTH 47 DEGREES 20 MINUTES EAST TO THE WATERS OF LAKE WEIR, THENCE NORTHEASTERLY ALONG EAST FROM THE POINT OF BEGINNING, THENCE NORTH 47 DEGREES 20 MINUTES WEST TO THE POINT OF BEGINNING.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY EDWARD ABSHIER P.E. ON THE DATE 10/11/25. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THEY BEARING HIS ORIGINAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

EDWARD ABSHIER, JR., P.E. #53961  
DATE: January 15, 2026

ESOZ PLAN  
REED RESIDENCE  
PARCEL # - 45568-000-00  
MARION COUNTY, FLORIDA

**ABSHIER ENGINEERING, INC.**  
5614 SE 111TH STREET, BELLEVUE, FLORIDA  
CA# 9930  
P.O. BOX 2770 BELLEVUE, FL 34421-2770  
PHONE: (352) 245-8592  
FAX: (352) 245-8597

DATE	REVISIONS	BY	R.E.A.

THESE DOCUMENTS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF ABSHIER ENGINEERING, INC. AND NO PART HEREOF IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN PERMISSION.

Prepared by and return to:

Brandie P. Bennett  
Brick City Title Insurance Agency, Inc.  
521 NE 25th Avenue  
Ocala, FL 34470  
(352) 622-8732  
File No 24-2272

Parcel Identification No 45568-000-00

[Space Above This Line For Recording Data]

**WARRANTY DEED**

(STATUTORY FORM – SECTION 689.02, F.S.)

**This indenture made the 24th day of January, 2025 between Dustin Owens and Cara Owens, husband and wife, whose post office address is 10410 Southeast 138th Place Road, Summerfield, FL 34491, Grantors, to Mealy W. Reed, Jr. a/k/a Mealy William Reed, Jr., and Betty Jo Reed, whose post office address is 10410 Southeast 138th Place Road, Summerfield, FL 34491, Grantees:**

**Witnesseth**, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Marion, Florida, to-wit:

Beginning at a point South 47 degrees 20 minutes East 1335.65 feet and South 42 degrees 40 minutes West 100 feet from the Northwest corner of Lot 3, of Carney's Subdivision, as recorded in Plat Book "A", at Page 104, Public Records of Marion County, Florida, thence South 42 degrees 40 minutes West 100 feet, thence South 47 degrees 20 minutes East to the waters of Lake Weir, thence Northeasterly along and with the waters of said lake to a point that is South 47 degrees 20 minutes East from the Point of Beginning, thence North 47 degrees 20 minutes West to the Point of Beginning. AND

20 foot strip described as follows: Beginning at a point South 47 degrees 20 minutes East 1335.65 feet and South 42 degrees 40 minutes West 200 feet from the Northwest corner of Lot 3, of Carney's Subdivision, as recorded in Plat Book "A", Page 104, of the Public Records of Marion County, Florida; thence South 42 degrees 40 minutes West 20.00 feet; thence South 47 degrees 20 minutes East to the waters of Lake Weir; thence Northeasterly along and with the waters of said Lake to a point that is South 47 degrees 20 minutes East from the Point of Beginning; thence North 47 degrees 20 minutes West to the Point of Beginning.

**Together with** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**Subject to** taxes for 2025 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

**TO HAVE AND TO HOLD** the same in fee simple forever.

**And** Grantors hereby covenant with the Grantees that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Warranty Deed

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness Signature  
Brandie P. Bennett  
Witness Printed Name

[Signature]  
Dustin Owens  
[Signature]  
Cara Owens

521 NE 25th Avenue  
Ocala, FL 34470  
Witness Address

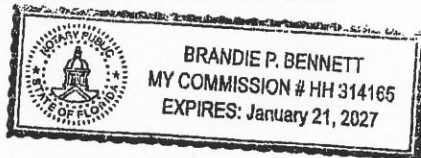
[Signature]  
Witness Signature  
Casey Desman  
Witness Printed Name

2000 SE 29 ST  
Ocala FL 34471  
Witness Address

STATE OF FLORIDA  
COUNTY OF MARION

The foregoing instrument was acknowledged before me by means of  physical presence or ( ) online notarization this 24th day of January, 2025, by Dustin Owens and Cara Owens.

[Signature]  
Signature of Notary Public  
Print, Type/Stamp Name of Notary



Personally Known: \_\_\_\_\_ OR Produced Identification:  \_\_\_\_\_  
Type of Identification Produced: FID

## SITE PHOTOS

Planning & Zoning staff conducted a site visit on March 6, 2026. Consistent with LDC Section 2.9.3.B, one (1) sign was posted and the below photos were taken.

**Figure 1.**  
**Sign posted along SE 138<sup>th</sup> Place Road**



**Figure 2.**  
**Facing southwest along SE 138<sup>th</sup> Place Road from subject property**



**Figure 3.**  
**Facing northeast along SE 138<sup>th</sup> Place Road from subject property**



**Figure 4.**  
**Facing south toward front of existing single-family residence on subject property**



**Figure 5.**  
**View of existing accessory structure adjacent to subject residence**



**Figure 6.**  
**Facing southwest toward existing single-family residence adjacent to**  
**subject property**



**Figure 7.**  
**Facing south toward Little Lake Weir from subject property**



**Figure 8.**  
**Facing north toward rear of subject residence from waterfront**



**Figure 9.**  
**View of proposed pool dimensions**



**Figure 10.**  
**Facing west along Little Lake Weir waterfront from subject property**



**Figure 11.**  
**Facing east along Little Lake Weir waterfront from subject property**



***DIVISION 2. ENVIRONMENTALLY SENSITIVE OVERLAY ZONE (ESOZ)***

**Sec. 5.2.1. Purpose and intent.**

This overlay zone is intended to protect the Environmentally Sensitive Lands depicted in the Comprehensive Plan and to provide criteria for the conservation and protection of certain lakes, rivers, shorelands, wetlands, natural habitats, native vegetation and associated uplands, and other environmentally sensitive areas from the adverse effects of development while protecting the rights of property owners.

- A. Projects within this overlay zone must protect the surface water and groundwater quality by providing stormwater management systems, buffers and enhanced setback for structures and septic systems.
- B. When regulations of this overlay zone conflict with any other provisions of the Code, the most restrictive regulation shall apply.

(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.2. Applicability.**

Activities, structures, or uses within the ESOZ as shown on the duly adopted Future Land Use Map, as prepared by the Growth Services Department and adopted by the Board determined as follows:

- A. Waterbodies subject to this overlay zone.

**Table 5.2-1 Waterbodies**

<b>Rivers, Spring Runs, and Streams:</b>	
Ocklawaha River	Orange Creek
St. Johns River	Withlacoochee River
Rainbow River*	Silver River
Salt Springs Run	Silver Glen Springs Run
Juniper Run	Silver Creek
Dead River Tributary to the Ocklawaha River	
<b>Springs:</b>	
Rainbow Springs	Silver Springs
Salt Springs	Silver Glen Springs
Juniper Springs	
<b>Lakes:</b>	
Bonable Lake	Bryant
Chain O Lakes	Charles
Delancy	Doe
Eaton	Ella/Juanita

Farles	Halfmoon
Jumper	Kerr
Little Kerr/Warner	Little Weir
Mary	Mill Dam
Mud	Nicotoon
Pecan	Smith
Weir	Lake George (Shoreline Only)
Orange Lake (Shoreline Only)	

\*From its source, Rainbow Springs, to the south line of the northwest ¼ of Section 30, Township 16 South, Range 19 East.

**B. ESOZ Boundaries.**

- (1) The ESOZ boundaries shall be as depicted on the Marion County Comprehensive Plan Future Land Use Map 11, as amended.
- (2) ESOZ boundaries shall be clarified by the Planning/Zoning Manager, if necessary, or by the applicant's engineer or surveyor if approved by the Planning/Zoning Manager. If an applicant provides data from sources acceptable to the Planning/Zoning Manager to prove they are not within an ESOZ, then the Planning/Zoning Manager may exempt the applicant from the requirements of this section after review and comment on the acceptability and reliability of the data by the appropriate water management district.

(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.3. Permitted uses and activities.**

- A. All uses permitted in the underlying land use category and zoning classification which are consistent with the requirements of this overlay zone provided it is shown by the applicant that the natural function of the protected natural feature will not be materially impaired, diminished, or harmed by the proposed development and that surface water or ground-water quality will not be degraded. Uses that have local or state adopted best management practices (BMPs) and/or guidelines shall be managed and conform to such.
- B. Buildings and structures permitted in the underlying zoning classification unless specifically prohibited herein.
- C. Repairs to existing structures, care of existing lawns and yards, or limited removal of vegetation to support surveying activities.
- D. Agricultural uses. Additionally, when such agricultural uses have adopted best management practices and guidelines (BMPs) as outlined in the Florida Department of Agriculture and Consumer Services they shall be managed and conform to such BMPs.

(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.4. ESOZ development standards.**

- A. Waterfront Setback. Setbacks on lots, parcels or tracts which have water frontage shall be 75 feet from the wetlands line or from the water boundary setback line, whichever is greater. The Board of Adjustment may

grant a variance from this setback provision where the required setback renders an existing lot of record unbuildable for a single family residence or addition to a nonconforming single family residence.

- B. Tract Width. New waterfront lots shall have a minimum tract width of 125 feet and shall meet the buffer zone requirements.
- C. Sewage Disposal Systems. Septic tanks and leachfields shall not be allowed in the area between the structure and the water boundary setback line or the wetlands line, whichever is greater. All new septic tanks and drainfields shall be located in the side yard or the street side (rear or back yard) of all structures. In the event there is a conflict between the location of existing wells on adjacent properties and the proposed septic tank and leachfield location, the septic tank and leachfield shall be located in accordance with the requirements of the State of Florida Department of Health. In this case the burden of proof is on the applicant to prove that the waterfront area is the only location or that the property may otherwise be an unbuildable lot.
- D. Front Yard Buffer Zone.
  - (1) A vegetative buffer area shall extend 50 feet landward from wetlands line or 50 feet from the water boundary setback line, whichever provides the greater buffer. Existing vegetation within this buffer area shall be preserved or mitigated as approved by DRC.
  - (2) Those parcels within the ESOZ that are governed by an Aquatic Preserve Management Plan must obtain all required permits prior to any littoral zone vegetation removal.
- E. Protection of littoral zone vegetation.

Required aquatic vegetation removal permits must be obtained from the appropriate state jurisdictional agency prior to any vegetation removal or if non-mechanical/chemical removal methods are to be utilized within the littoral zone.
- F. One percent (100-year) flood plain requirements.
  - (1) This section provides requirements for all land use activities, including single family residences, which materially change the location, elevation, size, capacity, or hydraulic characteristics of the existing one percent (100-year) flood plain as identified by FEMA. The intent is to ensure that equivalent flood plain volume and conveyance is maintained. This section also supplements Division 5.3 Flood Plain Overlay Zone.
  - (2) Land use activities which materially change the flood plain may be permitted when calculations performed by a licensed professional are provided demonstrating that compensating storage or other hydraulic features or improvements are provided on the owner's property or within an easement. The calculations shall be reviewed and approved by the County Engineer or his designee.
  - (3) Land use activities that do not meet the thresholds for a stormwater analysis shall minimally be required to demonstrate one-for-one compensating storage, to be reviewed and approved by the County Engineer or his designee.
  - (4) When proposed improvements encroach into a flood hazard zone, additional design storm criteria may be required based on the parameters utilized in the adopted FEMA FIRM. In some cases it may be necessary for the applicant to obtain a map amendment from FEMA.
  - (5) No sewage effluent disposal shall be permitted within the one percent (100-year) flood plain.
  - (6) Densities within the one percent (100-year) flood plain shall not exceed one dwelling unit per acre.
  - (7) Clearing of vegetation shall be limited to those areas which maintain a 50-foot setback from all wetlands line, does not contain listed wildlife or plant species or important habitat for listed species, and provides a stormwater management system which mimics and uses the features and functions of natural drainage systems.

G. Accessory Uses and Structures.

- (1) No accessory use or structure may be located in the minimum required front yard setback except for such as but not limited to boat docks, boat houses, boat davits and lifts, and bulkheads and other erosion control devices, or any uses or structures allowed by FDEP.
- (2) In residential classifications, no other accessory uses or structures shall be located in a front yard setback except for wells, landscaping or architectural features such as gazebos (of no more than 400 SF), planters, flagpoles and statuary, provided all side setbacks are observed.
- (3) Pools and screen pool enclosures may be located in the front yard provided all setbacks are observed.
- (4) Accessory uses and structures shall be located within rear and side yards provided all setbacks are observed.
- (5) Accessory structures may not exceed two stories or 24 feet in height.

(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.5. Development density standards.**

A. Urban Areas within the ESOZ, New Projects.

- (1) Within 1,000 feet of a waterbody and when an OSTDS or PBTS is used:
  - (a) Lot size - minimum of one acre; and
  - (b) Density - maximum of one dwelling unit per gross acre.
- (2) Over 1,000 feet from a waterbody when an OSTDS or PBTS is used:
  - (a) Lot size - minimum of one-half acre; and
  - (b) Density - a maximum of two dwelling units per gross acre.
- (3) When central sewer systems are available and utilized, density may be that of the underlying land use category.
- (4) No accessory use guest cottage or apartments are permitted unless central sewer systems are utilized.

B. In Urban Areas within the Lake Weir ESOZ the following densities shall apply:

- (1) Within the area circumscribed as follows: County Road 25, Sunset Harbor Road, Southeast 105th Avenue, Southeast 100th Avenue, Luffman Road and Southeast 115th Avenue, or 1,000 feet from the water boundary setback line of Lake Weir, whichever is farther from Lake Weir; the allowable density shall be one dwelling unit per two gross acres.
  - (a) When centralized sewer is available and utilized, the allowable density shall be three units per gross acre.
  - (b) No accessory use guest cottage or apartment are permitted unless central sewer systems are utilized.
- (2) For all areas within the Urban Area within the ESOZ which are beyond the above circumscribed area, or exceed 1,000 feet from the water boundary setback line of Lake Weir, the allowable density shall be one dwelling unit per gross acre.
  - (a) When central sewer is available and utilized, the maximum allowable density for this area shall be four dwelling units per gross acre.

- (b) When central sewer is not available a family guest cottage/apartment is considered a residential unit for density purposes. A family guest cottage/apartment may be permitted where the resulting residential density will remain in compliance with the permitted ESOZ density. The areas of surface waters, wetlands, and flood plains will not be used in density calculations.
- C. Densities of Rural Areas within the ESOZ shall conform to the densities specified in the underlying land use category and underlying zoning classification. When central sewer is not available a family guest cottage/apartment is considered a residential unit for density purposes. One family guest cottage/apartment may be permitted where the resulting residential density will not exceed one unit per two acres. The areas of surface waters, wetlands, and flood plains will not be used in density calculations.
- D. Reduction of Densities. All allowed densities, or intensities of use, or rate of development may be reduced by the Board on properties where adjoining bodies of water have been determined impaired and listed by FDEP.
- E. Non-contiguous parcels of record created on or before January 1, 1992, and under one ownership as of August 11, 1993, that cannot meet the density requirements set forth in this section, will be allowed to construct one dwelling unit per parcel of record if the lot is of buildable size as set forth in this Code. When central sewer is not available a family guest cottage/apartment is considered a residential unit for density purposes. One family guest cottage/apartment may be permitted where the resulting residential density will not exceed one unit per two acres. The areas of surface waters, wetlands, and flood plains will not be used in density calculations.

(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.6. Submittal requirements.**

- A. All applications for development on lands within the ESOZ boundary which are not contiguous uplands of ESOZ surface waters, wetlands and flood plain shall submit an applicable major, minor or building permit site plan which includes protection of those areas from degradation. Site analysis which includes soils and geologic characteristics, topographic data, and other pertinent data as listed in Section 5.2.6.B are examples of information that shall be prepared to demonstrate compliance with the requirements of this section.
- B. All applications for development on lands within the ESOZ, including individual single family residences and duplexes which are contiguous uplands of ESOZ surface waters, wetlands and flood plain, shall submit an ESOZ plan which includes the following information as a minimum:
  - (1) Submittal letter executed and signed by record owner of subject property or an agent authorized in writing by the record owner to act in his behalf. Submittals will be processed by the Growth Services Department.
  - (2) Required drawings for ESOZ Plan.
    - (a) Four plans shall be submitted and include a standard trim line size which clearly depicts the information below. Multiple plans may be used to provide necessary information below.
    - (b) The plan shall be clearly labeled "ESOZ Plan."
    - (c) Contain a location map drawn to scale showing the relation of the subject property to Section, Township and Range lines; principle roads; the entire length of any water body as it pertains to the property; boundary information or survey when requested by County staff; zoning; north arrow.
    - (d) Show in plan view with dimension and distances to property lines all proposed development, building, existing or proposed well, existing or proposed septic tanks, pavement and other features based on boundary information or survey.

- (e) The development or redevelopment of a commercial or residential project within the ESOZ shall provide for a stormwater management plan which provides water quality retention volume of one-half inch of runoff from that portion of the project parcel draining toward the ESOZ water body, excluding any area left in a natural condition, or 2.50 inches over the impervious surfaces, whichever is greater. Water quality retention areas shall be located waterward of the improvements to the maximum extent practical.
1. The design of the stormwater management system shall imitate and use the features and functions of natural drainage ways, depressions, wetlands, one percent (100-year) flood plains, and highly permeable soils when possible. The use of swales, berms, or detention/retention areas shall be used when necessary to prevent direct flow of stormwater runoff to a receiving water body.
  2. A berm constructed with clean, Type A soils is recommended so as to encourage full volume recovery within 72 hours. Minimum berm width shall be three feet and side slopes shall be three to one or flatter. Should the applicant choose this method to provide for stormwater management and the County approves this type of system for the proposed project the applicant can use ESOZ berm construction standard lengths and heights developed by the County.
  3. Indicate areas in which grading or other earth work is to take place with percentage of slope given.
  4. Show the bottom of the floor joists for a raised floor structure or the finished floor elevation for a concrete slab structure shall be one foot above the established high water elevation for the one percent (100-year) flood plain. The elevation of all proposed habitable structures shall be called out. New construction, renovation or remodeling shall be constructed with materials and utility equipment resistant to flood damage.
  5. Location of temporary silt fencing shall be shown. Silt fencing shall be installed prior to any clearing or excavation and shall be maintained during construction.
  6. Show the limits of all proposed clearing.
  7. A boundary and topographic survey if required, signed and sealed by a Surveyor and Mapper licensed to practice in the State of Florida, shall be provided and shall clearly present a minimum:
    - a. Contours at no greater than two feet intervals.
    - b. Water boundary setback line and water's edge elevation and limits shown and staked on site.
    - c. The 25-year flood plain elevation (Rainbow River only) and the one percent (100-year) flood plain with elevation and limits. Show and stake two Bench Marks based on approved datum and their elevation that has been established relative to the proposed buildings and septic tank systems, for all lands located within the one percent (100-year) flood plain.
    - d. All wetlands lines shall be delineated as staked by a qualified professional.
- (f) Should the applicant choose not to use ESOZ berm construction standard lengths and heights developed by the County, then the applicant shall provide signed and sealed plans and calculations prepared by a professional authorized by the State of Florida to prepare such plans. These calculations shall be to the same design criteria and methodology as identified in for stormwater drainage design in Division 6.13.

- (3) Projects exceeding the impervious area threshold or area of disturbance threshold as described for a Major Site Plan in Division 2.21 shall follow the criteria established for a Major Site Plan.
- (4) If a site analysis is performed in connection with subdivision platting, then subsequent individual lot owners do not need to perform an individual site analysis, but must adhere to the stormwater design in the original plat approval or development order.

(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.7. Review and approval.**

- A. All ESOZ plans are reviewed by the Zoning Division for compliance with this section.
- B. Projects on land which is not contiguous upland of ESOZ surface waters, wetlands and flood plain, shall be evaluated to determine the extent of protection to be provided on a case by case basis as provided in Section 5.2.6.A. Determination will be based on application information submitted and a site visit by the Zoning Division or Office of the County Engineer. If site analysis indicates more information is required the applicant will be responsible for providing applicable information in Section 5.2.6.B.
- C. Projects on land which is contiguous upland of ESOZ surface waters, wetlands and flood plain shall be reviewed for compliance with the Section 5.2.6.B including staking of applicable delineation lines before the site visit. The site visit is conducted to determine compliance with this section including setback, buffering, flood plain and stormwater management plan.
- D. All projects which require submittal of a Major Site Plan shall be reviewed and approved under the provisions of Article 2 and Division 6.13 Major Site Plan.

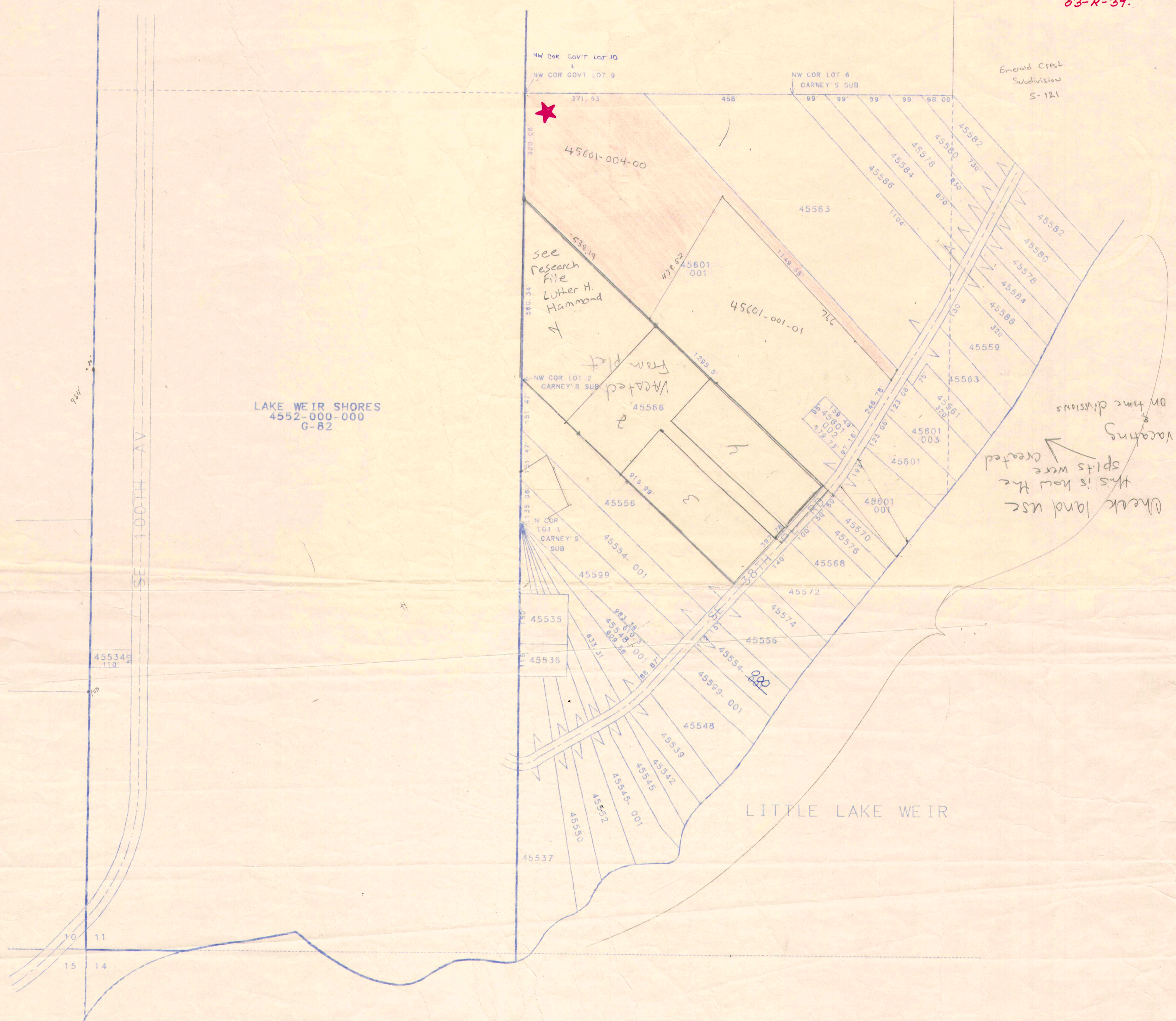
(Ord. No. 13-20, § 2, 7-11-2013)

**Sec. 5.2.8. Completion and close out.**

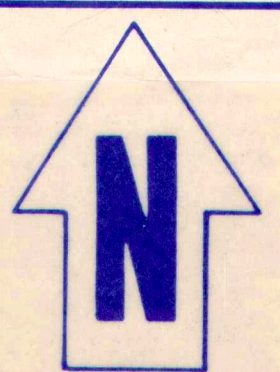
- A. Building permit issuance, subsequent final inspection and certificate of occupancy shall constitute the completion of the ESOZ Plan process.
- B. Expiration. The approval of the ESOZ Plan shall expire in two years or at expiration of the building permit.

(Ord. No. 13-20, § 2, 7-11-2013)

RESOLUTION TO VACATE  
★ PORTION LOT 4  
CARNEY'S SUBD. A-104  
03-R-39.

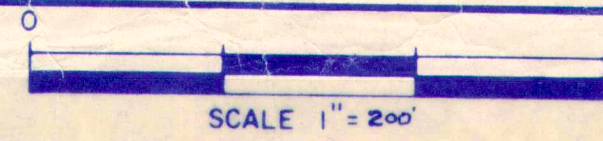


INFORMATION SHOWN HEREON IS FOR USE OF THE COUNTY APPRAISER'S OFFICE AND SHOULD NOT BE USED FOR A SURVEY OR LAND TRANSFER OF ANY TYPE.



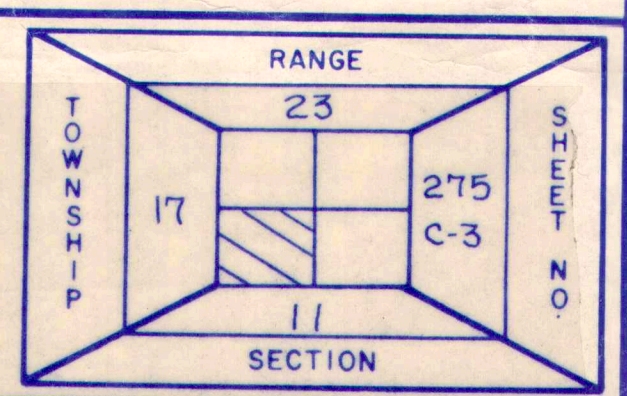
# MARION COUNTY, FL.

OFFICE OF PROPERTY APPRAISER



SCALE 1" = 200'

REVISED:





**Marion County  
Board of County Commissioners**

**Building Safety**

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2400

**PERMIT #** 2025110129

Date 11-3-25 Code FBC 8th ED  
 ARN 11013108 Rep ABARS  Residential  Commercial

Parcel ID 45568-000-00 Project # / Related Permit / Code Case \_\_\_\_\_

Project Address 10410 SE 138 Pl. Rd. Summerfield, FL 34491

Lot \_\_\_\_\_ Blk \_\_\_\_\_ Unit 11 17 23 meets & bounds .52 Acres  
 Sec \_\_\_\_\_ Twp \_\_\_\_\_ Rge \_\_\_\_\_ Subdivision / MH Park \_\_\_\_\_

Property Owner Bill & Betty Reed (Mealy W. Reed Jr. + Betty Jo Reed)

Address 10410 SE 138 Pl. Rd. Summerfield, FL 34491

Phone 352-427-7794 E-mail: bbjr7@aol.com

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Accessory Structure      | <input type="checkbox"/> Electric                | <input type="checkbox"/> Residential (Add. / Alt.)      |
| <input type="checkbox"/> Aluminum                 | <input type="checkbox"/> Fence / Wall            | <input type="checkbox"/> Re-Roof                        |
| <input type="checkbox"/> Above Ground Pool        | <input type="checkbox"/> Exterior Door / Window  | <input type="checkbox"/> Solar                          |
| <input type="checkbox"/> Commercial (New)         | <input type="checkbox"/> Fire                    | <input checked="" type="checkbox"/> Swimming Pool / Spa |
| <input type="checkbox"/> Commercial (Add. / Alt.) | <input type="checkbox"/> Mechanical / Gas / HVAC | <input type="checkbox"/> Tent / Temp Use                |
| <input type="checkbox"/> Concrete                 | <input type="checkbox"/> Mobile Home             | <input type="checkbox"/> Waterfront Structure           |
| <input type="checkbox"/> Demolition               | <input type="checkbox"/> Plumbing                | <input type="checkbox"/> Window / Exterior Door         |
| <input type="checkbox"/> DCA - Modular Building   | <input type="checkbox"/> Residential (New)       | <input type="checkbox"/> Other: _____                   |

Description of Work inground concrete swimming pool Cost of Construction \$ 50,000.00

Product Approval Numbers \_\_\_\_\_

Was This Building Damaged by Fire, Flood, or Other?  Yes  No Damage Assessment Report # \_\_\_\_\_

**BUILDING:** New sqft \_\_\_\_\_ Added sqft \_\_\_\_\_ Alteration/Renovation sqft \_\_\_\_\_ Temp Power Pole?  Yes  No

Stories \_\_\_\_\_ Bedrooms \_\_\_\_\_ Bathrooms \_\_\_\_\_ Under A/C \_\_\_\_\_ sqft No A/C \_\_\_\_\_ sqft

Water:  Existing Well  New Well  Replacement Well  Central Water Irrigation:  Yes  No  Existing

**CONTRACTOR'S Business Name** Exstream Pools LLC

Contractor's Name Kenneth Yawn State Lic RP252554776 County Cert 4539

Address 6707 Cherry Rd. Ocala, FL 34472

Contact Phone 352-512-7810 E-mail Kennybuck213@yahoo.com

SUBCONTRACTORS: Qualifier Name	County Cert #	State License #	E-mail
MECHANICAL			
ELECTRIC	<u>10483</u>	<u>ES1200-1358</u>	<u>Trans electric @ aol.com</u>
PLUMBING			
GAS			
ROOFING			
IRRIGATION			
OTHER			

Empowering Marion for Success

www.marioncountyfl.org

PLEASE SIGN BELOW

Application is hereby made to obtain a permit to do the work and installations as indicated. All work will be performed in accordance with the standards of all laws and ordinances regulating construction in Marion County, Florida, whether specified herein or not. I understand that subcontractors may be required to perform certain work under this permit. I further certify that I have read and examined this application and know the same to be correct, that all work shall be in compliance with all applicable laws regulating construction and zoning, and that the building permit may be revoked in the case of a false statement or misrepresentation in the application and/or plans on which the permit was approved.

It shall also be agreed that the owner has been advised of and understands the applicability of the Construction Lien Law (FSS 713.135) and that Impact Fees shall be determined with the application for a building permit and shall be due before Final Inspection. Permit Fees shall be payable at issuance of a building permit.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner's Signature \_\_\_\_\_

Print Name \_\_\_\_\_

Date: \_\_\_\_\_

Contractor's Signature \_\_\_\_\_

Print Name \_\_\_\_\_

OR

Authorized Agent's Signature [Signature]

Print Name Kenneth Yawn

Date: 11-3-25

STATE OF FLORIDA, COUNTY OF MARION

Sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization,

this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

By \_\_\_\_\_

Personally Known or  Produced Identification

ID: \_\_\_\_\_

Notary Signature: \_\_\_\_\_

Notary Stamp:

STATE OF FLORIDA, COUNTY OF MARION

Sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization, this 3rd day of November 2025

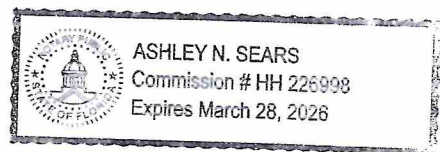
By Kenneth Yawn

Personally Known or  Produced Identification

ID: FL DL exp. 6-29-32

Notary Signature: [Signature]

Notary Stamp:



Pursuant to Florida Statute 713.135(7) all signatures must be notarized



**Marion County  
Board of County Commissioners**

**Building Safety**

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2400

**Construction Lien Law Affidavit**

I/We will make all necessary attempts to provide a copy of the Construction Lien Law, Florida Statute Chapter 713, to the property owners(s) of the real property to which improvements are to be constructed.

Parcel ID: 45568-000-00

Project Address 10410 SE 138 PL. Rd. Summerfield, FL 34491

<u>    </u>	<u>    </u>	<u>    </u>	<u>11</u>	<u>17</u>	<u>23</u>	<u>Meets &amp; Bounds</u>	<u>52 acre</u>
Lot	Blk	Unit	Sec	Twp	Rge	Subdivision / MH Park	

Property Owner Bill & Betty Reed

Form shall be signed by only ONE of the following individuals:

Owner's Signature: _____	Contractor's Signature: <u>Kenneth Yawn</u>
Print Name: _____	Print Name: <u>Kenneth Yawn</u>
DATE: _____	DATE: <u>10/20/25</u>

or

Authorized Agent's Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

DATE: \_\_\_\_\_



**Marion County  
Board of County Commissioners**

Building Safety - Permitting

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2400  
buildingpermits@marionfl.org

**RESIDENTIAL SWIMMING POOL, SPA AND HOT TUB  
SAFETY ACT REQUIREMENTS**

Permit Number \_\_\_\_\_

Location 10410 SE 38 PL. Rd. Summerfield, FL 34491

I, Kenneth Yawn, License # St. RP 252554776

Hereby affirm that (1) <sup>two</sup> ~~one~~ of the following methods will be used to meet the requirements of Chapter 515 of the Florida Statutes as well as FBC 454 and FBCR Ch.45.

The Pool will be isolated from access to the home by enclosures that meet the barrier requirements of Florida Statute 515.29, FBC 454 and FBCR Ch. 45;

The pool will be equipped with an approved cover that complies with ASTM F1346-91(Standard Performance Specifications for Safety covers for Swimming Pools Spas and Hot Tubs);  
Note: Safety covers do NOT meet barrier requirements for Commercial Pools, Spas and Hot tubs Per FBC 454.1.3.1.9

All doors and windows providing direct access from the house to the pool will be equipped with an exit alarm that has a delay for no more than 15 seconds and meets the sound pressure of 85 decibels at 10 feet;

All doors providing direct access from the home to the pool or surrounding area to pool will be Equipped with a self-closing, self-latching device with a release mechanism placed no lower than 54" above the floor or deck;

I understand that not having one of the above installed at the time of final inspection will constitute a violation of Chapter 515 of the Florida Statute as well as FBC 454 and FBCR Ch. 45 And will be considered as committing a misdemeanor of the Second Degree, Punishable as provided in SECTION 775.082 or SECTION 775.083 of the Florida Statute.

Kenneth Yawn  
Contractor Signature

\_\_\_\_\_  
Owner's Signature

Kenneth Yawn  
Contractors Name (Please Print)

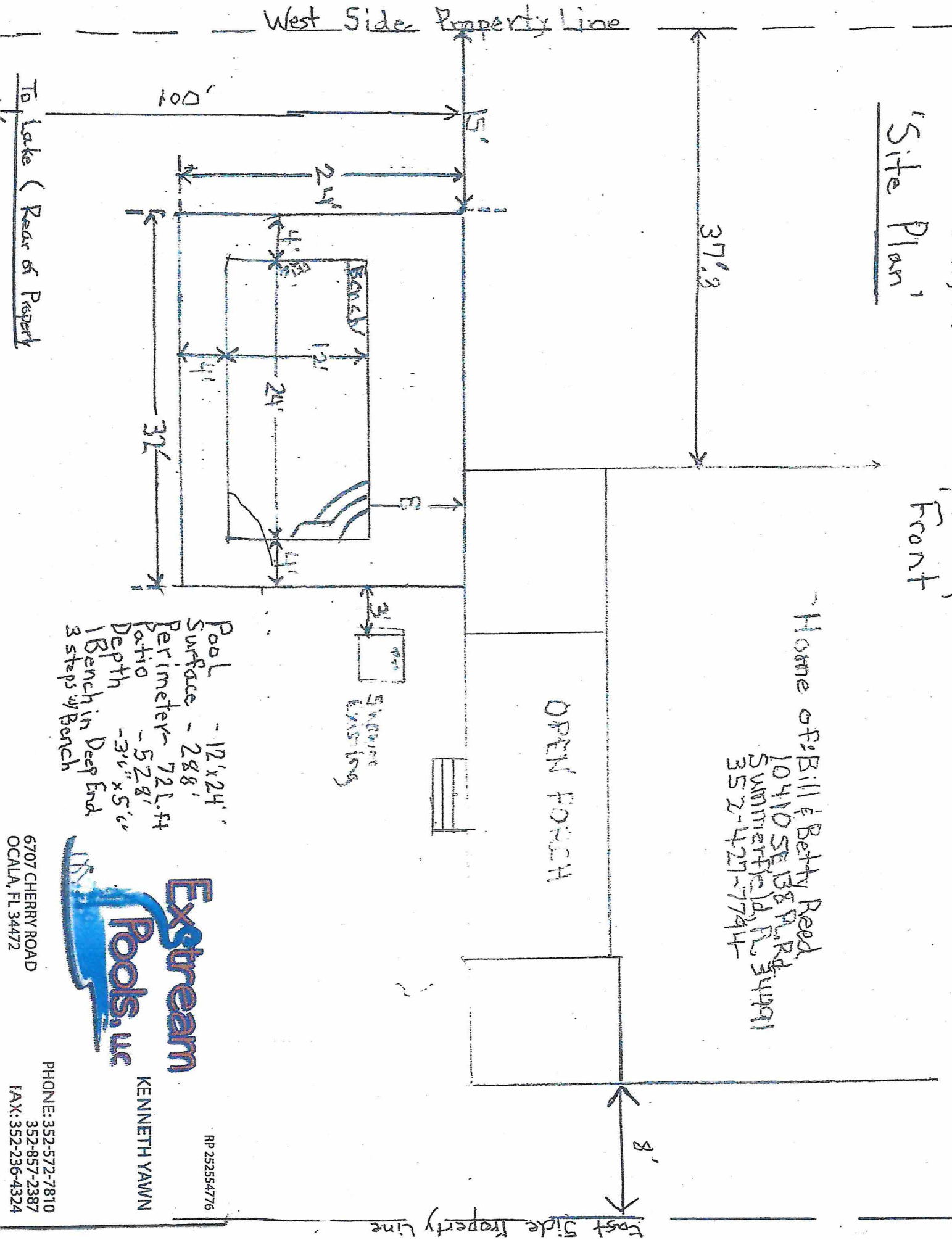
\_\_\_\_\_  
Owner's Name (Please Print)

PLAN11- REV 2-8-22 ADA

Empowering Marion for Success

marionfl.org





Pool - 12' x 24'  
 Surface - 288'  
 Perimeter - 72 L.Ft  
 Patio - 5'2 1/2'  
 Depth - 3'1/4" x 5'6"  
 1 Bench in Deep End  
 3 steps w/ Bench



RP 25254776  
 KENNETH YAWN

6707 CHERRY ROAD  
 OCALA, FL 34472  
 PHONE: 352-572-7810  
 352-857-2387  
 FAX: 352-236-4324



Marion County Board of County Commissioners

Building Safety - Permitting

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2400 buildingpermits@marionfl.org



GREGORY C HARRELL CLERK & COMPTROLLER MARION CO DATE: 10/21/2025 02:36:33 PM FILE #: 2025140564 OR BK 8741 PGS 1622-1623 REC FEES: \$18.50 INDEX FEES: \$0.00 DDS: \$0 MDS: \$0 INT: \$0

Notice of Commencement

Permit no.: \_\_\_\_\_ Tax folio/Parcel ID: 45568-000-00

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Florida Statutes (FS) chapter 713, the following information is provided in this notice of commencement.

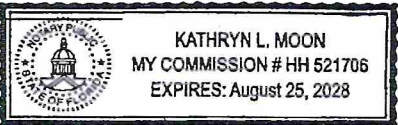
- 1. Description of property should include the full legal description of property and street address, if available: SEC 11 TWP 17 R 23 10410 SE 138 PL Rd. Summerfield, FL 34491
2. General description of improvement: inground concrete swimming pool
3. Owner or lessee information, if lessee is contracted for the improvement:
a. Name and address: Mary W. Reed Jr & Betty Jo Reed 10410 SE 138 Pl. Rd. Summerfield, FL 34491
b. Interest in property: Fee Simple
c. Name and address of fee simple titleholder (if different from owner listed above):
4. Contractor / Qualifier: Kenneth Yavin
a. Name and address: Exstream Pools LLC 6707 Cherry Rd. Ocala, FL 34472
b. Contractor phone number: 352-572-7810
5. Surety name, address, and phone number (if applicable, attach copy payment bond):
5c. Amount of bond: \$ N/A
6. Lender name, address and phone number: N/A
7. Persons within the state of Florida as designated by owner upon whom notices or other documents may be served as provided by FS section 713.13(1)(a),.7 (provide name, mailing address and phone number of designated person):
8. In addition to himself or herself, owner designates N/A of N/A to receive a copy of the Lienor's Notice as provided in Section FS section 713.13(1)(b). Phone number of person entity designated by owner: N/A
9. Notice of commencement expiration date (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature of owner or trustee, or owners or lessee authorized officer / director / partner / manager: [Signature] Date: Oct 20, 2025

STATE OF FLORIDA, County of Marion The foregoing instrument was acknowledged before me by means of
physical presence or online notarization, this 20 day of October 20 25
By: Mary W Reed, Jr as owner
Authority / representative type: officer, trustee or attorney-in-fact
Name of party/corporation/company for whom instrument was executed: Mary W Reed, Jr
Signature of Notary Public: Kathryn A Moon

Personally, known or Produced identification PMT 5 - Rev. 9-20-22 ADA



Empowering Marion for Success

marionfl.org

R426-667-04-000-0

COM S 47-20 E 1335.65 FT & S 42-40 W 100 FT  
 FROM NW COR LOT 3 CARNEYS SUB TH S 42-40 W  
 100 FT TH S 47-20 E TO WATERS OF LAKE WEIR TH  
 NELY ALONG LAKE TO PT S 47-20 E OF POB TH  
 N 47-20 W TO POB &  
 20 FT STRIP DESC AS:  
 BEG AT PT S 47-20 E 1335.65 AND S 42-40 W 200 FT  
 FROM NW COR LOT 3 CARNEYS SUB  
 TH S 42-40 W 20 FT TH S 47-20 E TO WATERS OF LK WEIR  
 TH NELY ALG WATERS TO PT THAT IS S 47-20 E FROM POB  
 TH N 47-20 W TO POB



Certified A True Copy  
 of 2 page document  
 this 24 day of Oct 2025  
 GREGORY C. HARREL  
 Clerk of Court and Comptroller  
 By \_\_\_\_\_ D.C.

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
0130		120.0	190.0	R1	120.00	FF							
Neighborhood 8093 - LAKE WEIR - LITTLE LAKE WEIR													
Mkt: 10 70													

Traverse

**Building 1 of 1**

RES01=L12D1L41U23R15D4R9U16R15D10R7U10R11D28L4D6.  
 UEP02=D13L12U13R12.L12D1  
 DCK03=L27D12R27U12.L27  
 UEP04=L14D12R14U12.L14U23R15D4R9U7L0,05  
 UOP05=L4,7A340|9,8L3,9U20R12D29.L7U11L5U4  
 FST06=L6U10R6D10.L10  
 FST07=U8L22D8R22.U8



# Marion County Board of Adjustment

## Agenda Item

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**File No.:** 2026-22474

**Agenda Date:** 4/6/2026

**Agenda No.:** 2.2.

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### **SUBJECT:**

**260402V** - Brite Properties of Florida, LLC, Requests a **Variance**, to Reduce the (Front) Setback from 25' to 20' for 46 Parcels, in a Single-Family Dwelling (R-1) Zone, on Parcel Account Numbers 8002-0072-01, 8002-0074-01, And Various Others, Site Addresses Various Parcels in Marion Oaks Unit 2 Subdivision, Ocala, FL 34473

### **DESCRIPTION/BACKGROUND:**

This is a variance request filed by the applicant Klein & Klein PLLC, on behalf of owner Brite Properties of Florida, LLC from Land Development Code (LDC) Section 4.2.9.C. Section 4.2.9.C provides that in R-1 zoning, the minimum setbacks are twenty-five feet (25') from the front property line, twenty-five feet (25') from rear property line, and eight feet (8') from both side property lines when not connecting to centralized water and sewer. Section 4.2.9 also provides that required minimum setbacks can be reduced to twenty feet (20') for front and rear when connecting to centralized water and sewer. However, the previously adopted version of code specified for "For new residential subdivision development where central water and central sewer services are utilized", front and rear setbacks may be modified to twenty feet (20'). The omission of language specifying new residential subdivision development in the currently adopted code is a scrivener's error. The applicant is requesting to have a front setback reduction of five feet (5') from the required twenty-five feet (25') to twenty feet (20'). Central water and sewer utilities are available in the vicinity, so the subject properties will be required to connect at the development stage.



**Marion County  
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

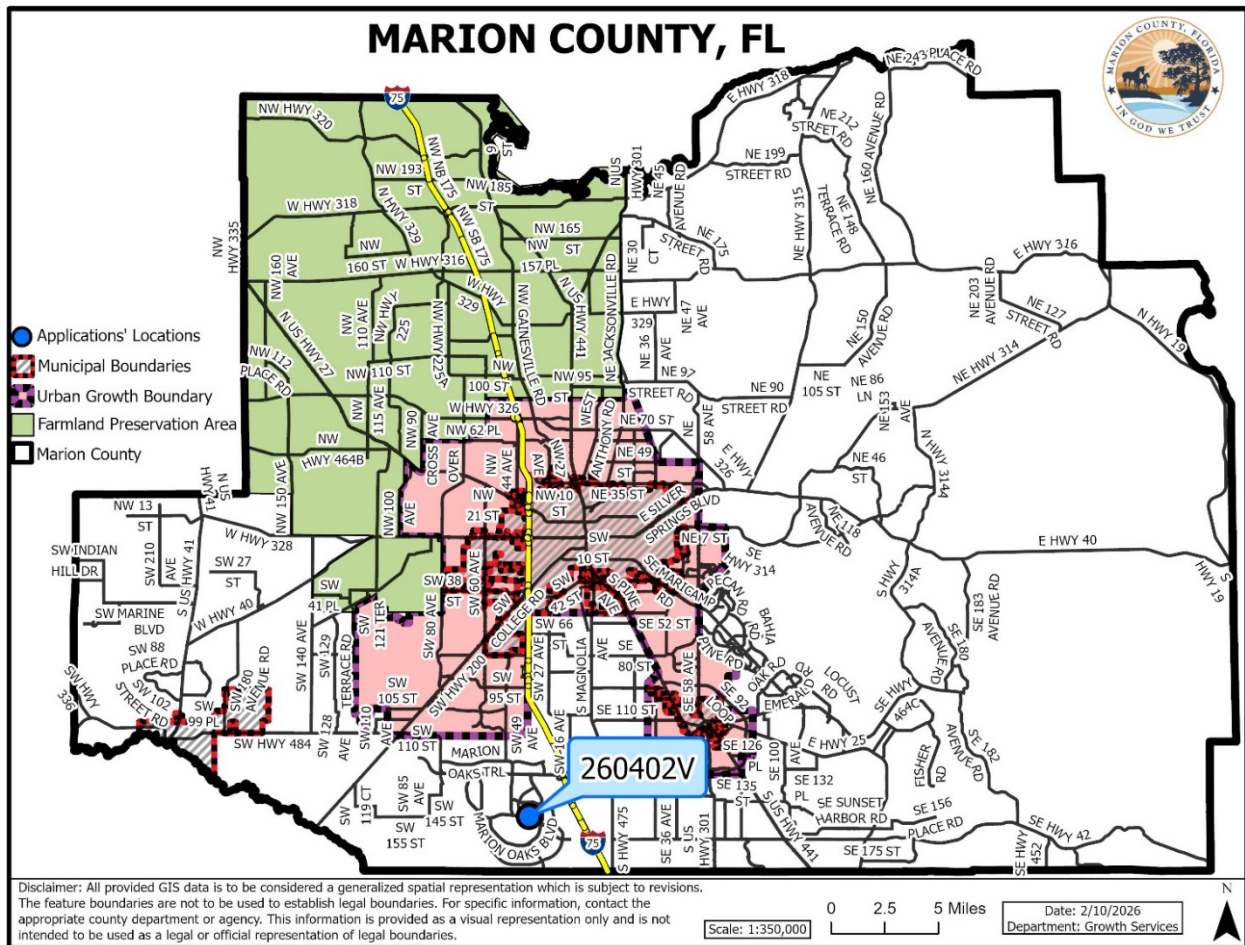
**ZONING SECTION STAFF REPORT  
April 6, 2026  
BOARD OF ADJUSTMENT PUBLIC HEARING**

<b>Case Number</b>	260402V
<b>Plan Number</b>	Z Variance-000280-2026
<b>Type of Case</b>	<b>Variance</b> to reduce front setback from 25' to 20' for forty six (46) R-1 zoned parcels
<b>Owner</b>	Brite Properties of Florida LLC
<b>Applicant</b>	Klein & Klein, PLLC
<b>Street Address</b>	Multiple (See Attachment E)
<b>Parcel Number</b>	Multiple (See Attachment E)
<b>Property Size</b>	±54.44 acres
<b>Future Land Use</b>	Medium Density Residential
<b>Zoning Classification</b>	Single Family Dwelling (R-1)
<b>Overlay Zone</b>	Secondary Springs Protection Overlay Zone (SPOZ)
<b>Project Planner</b>	Erik Kramer
<b>Related Case(s)</b>	None

# I. ITEM SUMMARY

This is a variance request filed by the applicant Klein & Klein PLLC, on behalf of owner Brite Properties of Florida, LLC from Land Development Code (LDC) Section 4.2.9.C. Section 4.2.9.C provides that in R-1 zoning, the minimum setbacks are twenty-five feet (25') from the front property line, twenty-five feet (25') from rear property line, and eight feet (8') from both side property lines when not connecting to centralized water and sewer. Section 4.2.9 also provides that required minimum setbacks can be reduced to twenty feet (20') for front and rear when connecting to centralized water and sewer. However, the previously adopted version of code specified for "For new residential subdivision development where central water and central sewer services are utilized", front and rear setbacks may be modified to twenty-feet (20'). The omission of language specifying new residential subdivision development in the currently adopted code is a scrivener's error. The applicant is requesting to have a front setback reduction of five feet (5') from the required twenty-five feet (25') to twenty feet (20'). Central water and sewer utilities are available in the vicinity, so the subject properties will be required to connect at development stage.

Figure 1  
Location Map



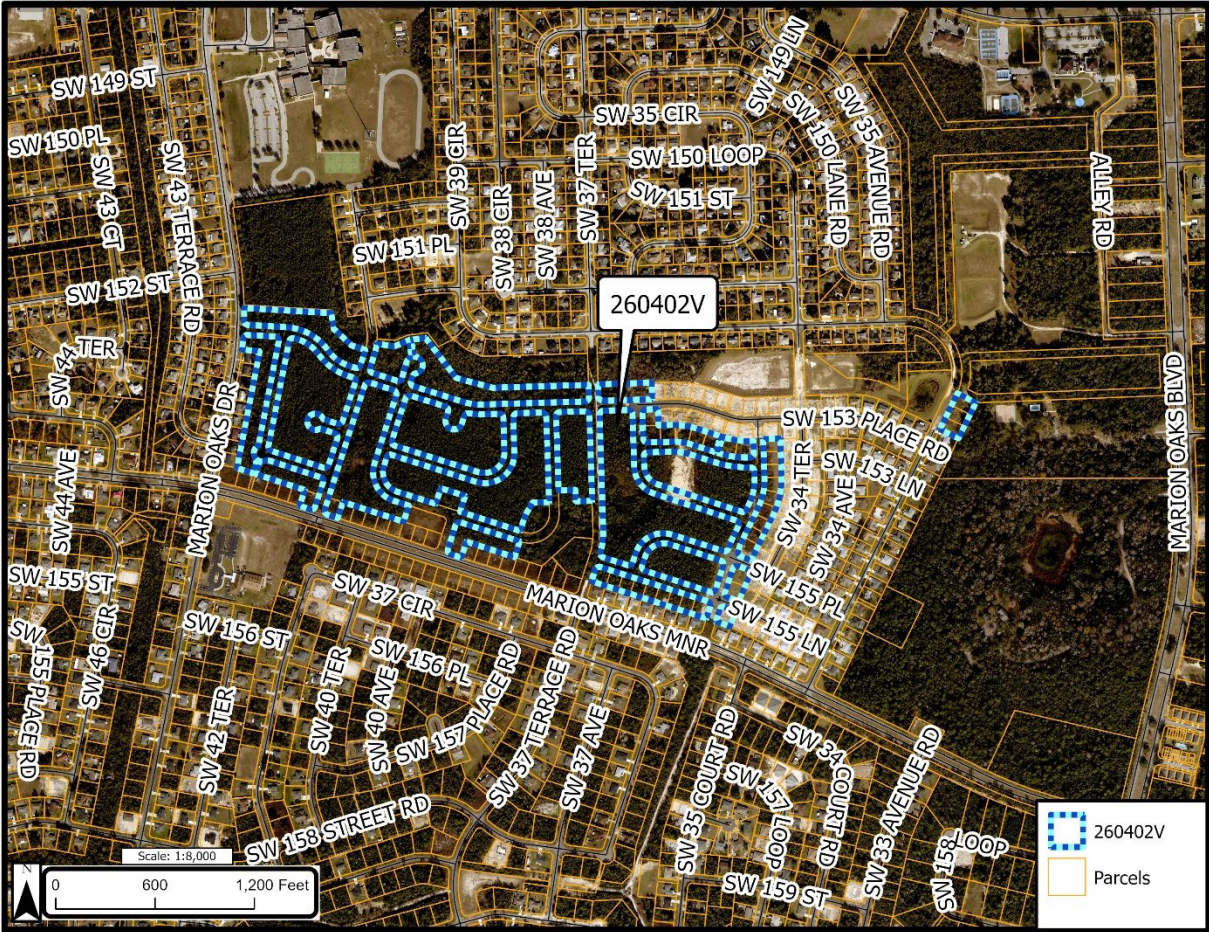
**II. PUBLIC NOTICE**

Notice of public hearing was mailed to (124) property owners within 300 feet of the subject property on March 20, 2026. Four public notice signs were posted on the subject property on March 5, 2026 (Attachment D), and notice of the public hearing was published on March 23, 2026. Evidence of the public notice requirements is on file with the Department and is incorporated herein by reference.

**III. PROPERTY CHARACTERISTICS**

The subject parcels are located within Unit Two of the Marion Oaks Vested Development of Regional Impact. The subject parcels were purchased collectively by *Brite Properties of Florida LLC*. The parcels are designated for Medium Residential (MR) Future Land Use with a Single Family Dwelling (R-1) Zoning Classification. Having been originally platted in 1972, staff does not consider Marion Oaks Unit Two to be a “new” subdivision. Figure 2 shows an aerial view of the subject parcels using 2024 imagery.

**Figure 2  
Aerial View**



## IV. REQUEST STATEMENT

This application requests a variance from LDC Section 4.2.10.C. for the front setback from the required twenty-five feet (25') to twenty feet (20') for the subject parcels that have been purchased by *Brite Properties of Florida LLC*. Consistent with LDC Section 2.9.3.B., on March 5, 2026, a site visit was conducted by Growth Services Department staff.

## ANALYSIS

LDC Section 2.9.4.E provides the Board of Adjustment shall not grant a variance unless the petition demonstrates compliance with six (6) criteria. The six (6) criteria and the staff's analysis of compliance with those criteria are provided below.

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which do not apply to other lands, structures, or buildings with the same zoning classification and land use area.

**Applicant's Statement:** Special conditions exist that are peculiar to this property because the lots/building envelope are unusually constrained in depth, so a five-foot increase in front setback materially reduces the functional buildable area in a way that does not affect deeper lots in the same zoning and land use area. This property's developability is further uniquely impacted by the County's project-specific history, including County Engineer approval of plans using a 20-foot front setback during due diligence and a post-closing staff position requiring 25 feet, which creates a discrete, site-specific setback conflict affecting this land and this development layout.

**Staff:** LDC Section 2.18.4.C states "all subdivision improvements shall be constructed in accordance with approved plans and shall conform to regulations and specifications in effect on the date of approval of the improvement plans."

At the time when the improvement plan (AR #29457), LDC Section 4.2.9.E allowed for "new" subdivisions, with centralized water and sewer connections to reduce the minimum front/rear setbacks from twenty-five feet (25') to twenty feet (20'). The subject parcels associated with this application comprise four hundred and eight-four (484) lots that were originally platted in 1972 as part of Marion Oaks Unit Two. Staff's position on the interpretation of the LDC is that purchase of collective parcels within an already platted area, without replatting the area, does not constitute a "new" development.

Special conditions exist for Marion Oaks Unit Two subdivision as a whole. A variance approved on June 25 1984 granted a blanket five-foot (5') relief for the rear setback from twenty-five feet (25') to twenty feet (20') for a majority of R-1 zoned lots in Marion Oaks Unit Two, including all lots listed on this variance application. The same historic variance grants a seven-and-a-half (7.5) foot setback for interior lots, instead of R-1 zoning's eight (8) foot setback.

The minimum size of a typical platted lot in Marion Oaks Unit Two is seventy-five (75') wide and a hundred feet (100') deep, totaling an area of 7,500 square feet.

Based on the R-1 zoning front setback of twenty-five feet (25') for "old" development and setbacks allowed under the historic 1984 variances, the buildable area is 60'x55' or 3,300 square feet. Several residences on lots in Marion Oaks Unit Two have finished floor areas less than 3,300 square feet.

Based on LDC 4.2.9.E, which was in effect when the improvement plan was approved, new residential development in R-1 zoning that connects to central water and sewer utilities must conform to minimum typical lot size of 70 feet wide and 110 feet deep, totaling an area of 7,700 square feet. Based on the required minimum setbacks for this scenario, the buildable area is 54'x70' or 3,780 square feet.

Based on LDC 4.2.9.E, which was in effect when the improvement plan was approved, new residential development in R-1 zoning that does not connect to central water and sewer utilities must conform to minimum typical lot size of 85 feet wide and 117.65 feet deep, totaling an area of  $\pm 10,000$  square feet. Based on the required minimum setbacks for this scenario, the buildable area is 69'x67.65' or 4,667.85 square feet.

2. The special conditions and circumstances do not result from the actions of the applicant.

**Applicant's Statement:** The special conditions do not result from the actions of the applicant because the lot depth limitations are inherent to the property and were not created by the applicant. The applicant submitted plans in good faith, obtained County Engineer approval reflecting a 20-foot front setback as a condition to closing, and closed in reliance on that County action, and the applicant did not create the County's later staff requirement that the front setback must be 25 feet. The applicant also did not cause the County's recent LDC revision issues or any internal disagreement regarding whether "existing development" language should have been included, and the variance request is being pursued only because staff is applying a 25-foot front setback to this site.

**Staff:** The Single-Family Dwelling (R-1) zoning designation allows for reduced setbacks when municipal water and sewer services are utilized in the development of "new" residential subdivisions. The special conditions are not because "Marion County subsequently took a position." There was no change to LDC requirements and Marion County does not view any part of Marion Oaks Unit Two as a "new" subdivision. These code requirements existed prior to the applicant purchasing the subject parcels.

3. Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use area under the terms of said regulations and would work unnecessary and undue hardship on the applicant.

**Applicant's Statement:** Applying the 25-foot front setback to this already depth-constrained property deprives the applicant of the practical ability to develop code-compliant residential homes with a reasonable building envelope, which is a right commonly enjoyed by other properties in the same zoning classification that have

sufficient depth to accommodate typical residential plans. The hardship is unnecessary and undue because the applicant purchased and structured the project based on a County approved 20-foot front setback and secured builder commitments tailored to that envelope, and the post-closing shift to 25 feet eliminates viable plan options and jeopardizes the project's ability to function as residential development on these lots. The hardship is not self-created and is instead the result of the County's post-approval application of a larger setback requirement to this specific site.

**Staff:** A twenty-foot (20') minimum front yard setback is allowed for new residential subdivisions that connect to centralized water and sewer systems. A twenty-five (25') front yard setback is required for existing subdivisions and new subdivisions that do not connect to centralized water and sewer systems. Marion Oaks Unit Two is an existing subdivision. Since Marion Oaks was created in the 1970's, thousands of homes have been developed within the development envelope of the existing twenty-five (25') front setback. The platted lots are platted as conforming lots under the Land Development Code.

4. The variance, if granted, is the minimum variance that will allow the reasonable use of the land, building, or structure.

**Applicant's Statement:** The requested variance is the minimum necessary because the applicant seeks only a five-foot reduction, from a 25-foot front setback to a 20-foot front setback, to preserve a workable building envelope on unusually shallow lots and to allow construction consistent with the County-approved plan set relied upon at closing. The applicant is not requesting any reduction below 20 feet and is not requesting variances for use, density, height, or other dimensional standards, and this limited adjustment is the smallest change that allows reasonable residential use of the property.

**Staff:** Many of the originally platted lots in Marion Oaks Unit 2 have been built out and meet the twenty-five (25') front yard setback requirement, including platted lots that received the 1984 blanket variance.

5. Granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings, or structures in the same zoning classification and land use area.

**Applicant's Statement:** Granting the variance will not confer a special privilege because the applicant is not seeking any use not otherwise permitted and is not seeking to increase intensity, density, or development rights beyond what the zoning district allows. The applicant seeks only to maintain a reasonable residential building envelope on lots with atypically shallow depth and to proceed as designed under the same general setback condition the County previously approved for this site, rather than obtaining an advantage unavailable to other similarly zoned properties.

**Staff:** Other parcels of Marion Oaks Unit Two has been granted a variance for rear setback reduction from twenty-five feet (25') to twenty-feet (20') feet previously on selected parcels (see Attachment B). This blanket variance was granted to The Deltona Corporation in 1984 and was much more extensive what is being requested by the current applicants. Additionally, a variance request for a front setback reduction of twenty-five feet (25') to twenty feet (20') was granted to Aspire Glen Aire, LLC on April 7, 2025 for forty-seven (47) lots within Marion Oaks Unit Two.

6. The granting of the variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

**Applicant's Statement:** Granting the variance will not be injurious to the neighborhood or detrimental to the public welfare because the project remains a residential development subject to all other applicable code requirements, and a five-foot front setback adjustment does not create a material adverse impact to traffic, utilities, drainage, emergency access, or neighborhood character. Approval supports the public interest by allowing the project to proceed under a predictable, functional building envelope reflected in the County-approved plans and avoids stalled development and failed lot deliveries that would negatively affect surrounding area stability.

**Staff:** Staff does not consider this a new development and if the variance is granted, it should be made clear that the approval is based on the request only and not the interpretation of the applicant about what constitutes a "new" or "old" development. If this variance is granted and is not subject to this interpretation, it does not appear that there will be any outcome that would be injurious to the neighborhood or otherwise detrimental to the public welfare.

## V. LIST OF ATTACHMENTS

Attachment A – Initial Application Package

Attachment B – Blanket Variance Marion Oaks Unit Two from 1984

Attachment C – Granted Variance Document for 250403V

Attachment D – Site Photos

Attachment E – Parcel Exhibit



Marion County Board of County Commissioners

Growth Services ♦ Zoning
2710 E. Silver Springs Blvd.
Ocala, FL 34470
Phone: 352-438-2675
Fax: 352-438-2676

OFFICE USE ONLY
Received By: \_\_\_\_\_
Date Received: \_\_\_\_\_

VARIANCE APPLICATION

Application #: \_

FOR COUNTY USE ONLY

[Empty box for Parcel Account Number]

Parcel Account Number of Subject Property

THE UNDERSIGNED REQUESTS A VARIANCE AS REFERENCED IN SECTION 2.9 OF THE MARION COUNTY LAND DEVELOPMENT FOR THE PURPOSE OF:

reduced front setbacks to 20'

Section of Code requesting variance from: Sec. 4.2.9.

Legal Description (Please attach a copy of deed). Total Acreage of subject property: multiple lots +/- acres

Directions to subject property:

The subject property consists of multiple lots within Marion Oaks Unit 2. From I-75, take Exit 341 (C.R. 484) and travel west on C.R. 484 into the Marion Oaks community; turn south on Marion Oaks Boulevard and follow it to Marion Oaks Manor; then continue on Marion Oaks Manor to the intersection with Marion Oaks Drive (near where the divided section of Marion Oaks Manor ends), which marks the southwest corner of the subject area.

Please Note: Property owner must sign this application: Otherwise he/she must attach to this application written authorization naming an agent to act in his/her behalf.

BRITE PROPERTIES OF FLORIDA LLC

(Print/Signature) Property Owner

P O Box 770279

Address

ORLANDO, FL 32877

City, State, Zip Code

Contact Info: Phone, cell, e-mail address

Klein & Klein, PLLC

(Print) Applicant or Agent

40 SE 11th Ave

Address

Ocala, FL 34471

City, State, Zip Code

austin@kleinandkleinpa.com

Contact Info: Phone, cell, e-mail address

THE FILING FEE IS \$ 550 NON-REFUNDABLE. WE RECOMMEND THAT THE OWNER, APPLICANT OR AGENT BE PRESENT AT THE HEARING. IF NO REPRESENTATIVE IS PRESENT AND THE BOARD REQUIRES ADDITIONAL INFORMATION, THEY MAY DECIDE TO POSTPONE OR DENY THE REQUEST. NOTICE OF SAID HEARING WILL BE MAILED TO THE ABOVE ADDRESS. ALL INFORMATION GIVEN MUST BE CORRECT AND LEGIBLE TO BE PROCESSED. PLEASE NOTE THAT A WRITTEN PETITION (REFER TO PAGE 2 & 3) MUST BE PROVIDED WITH THIS APPLICATION, ALONG WITH A SITE PLAN IN ORDER TO BE CONSIDERED COMPLETE. FOR FURTHER INFORMATION CONTACT THE MARION COUNTY GROWTH SERVICES.

"Meeting Needs by Exceeding Expectations"

**WRITTEN PETITION FOR VARIANCE**

**WRITE YOUR ANSWERS IN THE SPACE PROVIDED AFTER EACH STATEMENT. PLEASE COMPLETE ALL REPLIES USING A SENTENCE FORM.** A VARIANCE FROM THE TERMS OF THESE REGULATIONS SHALL NOT BE GRANTED BY THE BOARD OF ADJUSTMENT UNLESS A WRITTEN PETITION FOR A VARIANCE IS SUBMITTED JUSTIFYING THE FOLLOWING:

**A.** Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings with the same zoning classification and land use area.

*Applicant's justification:*

Special conditions exist that are peculiar to this property because the lots/building envelope are unusually constrained in depth, so a five-foot increase in front setback materially reduces the functional buildable area in a way that does not affect deeper lots in the same zoning and land use area. This property's developability is further uniquely impacted by the County's project-specific history, including County Engineer approval of plans using a 20-foot front setback during due diligence and a post-closing staff position requiring 25 feet, which creates a discrete, site-specific setback conflict affecting this land and this development layout.

**B.** The special conditions and circumstances do not result from the actions of the applicant.

*Applicant's justification:*

The special conditions do not result from the actions of the applicant because the lot depth limitations are inherent to the property and were not created by the applicant. The applicant submitted plans in good faith, obtained County Engineer approval reflecting a 20-foot front setback as a condition to closing, and closed in reliance on that County action, and the applicant did not create the County's later staff requirement that the front setback must be 25 feet. The applicant also did not cause the County's recent LDC revision issues or any internal disagreement regarding whether "existing development" language should have been included, and the variance request is being pursued only because staff is applying a 25-foot front setback to this site.

**C.** Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use are under the terms of said regulations and would work unnecessary and undue hardship on the applicant.

*Applicant's justification:*

Applying the 25-foot front setback to this already depth-constrained property deprives the applicant of the practical ability to develop code-compliant residential homes with a reasonable building envelope, which is a right commonly enjoyed by other properties in the same zoning classification that have sufficient depth to accommodate typical residential plans. The hardship is unnecessary and undue because the applicant purchased and structured the project based on a County-approved 20-foot front setback and secured builder commitments tailored to that envelope, and the post-closing shift to 25 feet eliminates viable plan options and jeopardizes the project's ability to function as residential development on these lots. The hardship is not self-created and is instead the result of the County's post-approval application of a larger setback requirement to this specific site.

**D.** The Variance, if granted, is the minimum Variance that will allow the reasonable use of the land, building or structure.

*Applicant's justification:*

The requested variance is the minimum necessary because the applicant seeks only a five-foot reduction, from a 25-foot front setback to a 20-foot front setback, to preserve a workable building envelope on unusually shallow lots and to allow construction consistent with the County-approved plan set relied upon at closing. The applicant is not requesting any reduction below 20 feet and is not requesting variances for use, density, height, or other dimensional standards, and this limited adjustment is the smallest change that allows reasonable residential use of the property.

**E.** Granting the Variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning classification and land use area.

*Applicant's justification:*

Granting the variance will not confer a special privilege because the applicant is not seeking any use not otherwise permitted and is not seeking to increase intensity, density, or development rights beyond what the zoning district allows. The applicant seeks only to maintain a reasonable residential building envelope on lots with atypically shallow depth and to proceed as designed under the same general setback condition the County previously approved for this site, rather than obtaining an advantage unavailable to other similarly zoned properties.

**F.** The granting of the Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

*Applicant's justification:*

Granting the variance will not be injurious to the neighborhood or detrimental to the public welfare because the project remains a residential development subject to all other applicable code requirements, and a five-foot front setback adjustment does not create a material adverse impact to traffic, utilities, drainage, emergency access, or neighborhood character. Approval supports the public interest by allowing the project to proceed under a predictable, functional building envelope reflected in the County-approved plans and avoids stalled development and failed lot deliveries that would negatively affect surrounding area stability.

**Owner Authorization**

The undersigned (“Owner”) is the owner or authorized representative of the owner of the property that is the subject of the variance application to Marion County, Florida (the “Variance Application”) to which this Owner Authorization and Agent Designation is attached.

Owner hereby authorizes and appoints:

**Klein & Klein, PLLC**  
Attorneys at Law

as Owner’s true and lawful agent for all purposes related to the Variance Application.

Without limiting the generality of the foregoing, Owner expressly authorizes Klein & Klein, PLLC, and its attorneys, paralegals, and staff to:

1. Prepare, sign, submit, supplement, and amend the Variance Application and any related materials on Owner’s behalf.
2. Communicate and meet with Marion County staff, boards, and elected officials concerning the Variance Application.
3. Appear at and participate in any hearings, meetings, or proceedings related to the Variance Application.
4. Receive all notices, correspondence, and determinations regarding the Variance Application.

Owner acknowledges and consents to the filing, processing, and consideration of the Variance Application.

This Authorization shall remain in full force and effect until the Variance Application, and any related appeals or reconsideration requests, are finally resolved, or until revoked in writing by Owner and delivered to Marion County and Klein & Klein, PLLC.

DATED 12/31/2025

BRITE PROPERTIES OF FLORIDA LLC

By:  \_\_\_\_\_  
Signed by: Robert Kociecki  
B0A520117D77401...

Name: Robert Kociecki

Title: Manager

This Document Prepared By and Return to:  
Five Points Title Services  
Denise G. Smith  
8014 SW 135th Street Rd  
Ocala, FL 34473  
352-307-0796

Parcel ID Number: Multiple Lots

# Warranty Deed

**This Indenture**, Made this **16th** day of **December**, **2024** A.D., **Between**  
**THE DELTONA CORPORATION**, a Delaware corporation  
of the County of **Marion**, State of **Florida**, **, grantors,** and  
**Brite Properties of Florida, LLC**, a Florida limited liability company  
whose address is: **6751 Forum Drive, Suite 210, Orlando, FL 32831**  
of the County of **Orange**, State of **Florida**, **, grantee.**

**Witnesseth** that the GRANTORS, for and in consideration of the sum of  
**TEN DOLLARS (\$10)**  
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby  
acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns  
forever, the following described land, situate, lying and being in the County of **Marion**  
State of **Florida** to wit:


**SEE ATTACHED EXHIBIT "A"**

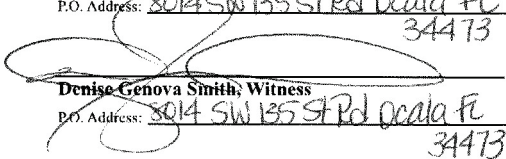
**Subject to taxes for the year 2025 and subsequent years, easements and restrictions of record.**


and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons  
whomsoever.

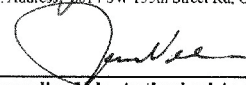
**In Witness Whereof**, the grantors have hereunto set their hands and seals the day and year first above written.

**Signed, sealed and delivered in our presence:**

  
\_\_\_\_\_  
**Victoria Pollard, Witness**  
P.O. Address: **8014 SW 135th Rd Ocala FL 34473**

  
\_\_\_\_\_  
**Denise Genova Smith, Witness**  
P.O. Address: **8014 SW 135th Rd Ocala FL 34473**

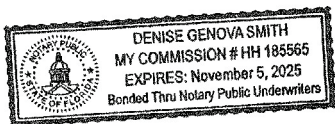
**THE DELTONA CORPORATION**, a Delaware corporation  
By:   
\_\_\_\_\_  
**Maegan Thacker, Authorized Agent**  
P.O. Address: **8014 SW 135th Street Rd, Ocala, FL 34473**


By:   
\_\_\_\_\_  
**Jacqueline Vela, Authorized Agent**  
P.O. Address: **8014 SW 135th Street Rd, Ocala, FL 34473**

(Corporate Seal)

**State of Florida**  
**County of Marion**

The foregoing instrument was acknowledged before me by means of  physical presence or  online  
notarization, this **16th** day of **December**, **2024**, by **Maegan Thacker, Authorized Agent and Jacqueline Vela,**  
**Authorized Agent of THE DELTONA CORPORATION**, a Delaware corporation on behalf of the corporation  
who are personally known to me or who have produced their **Personally known to me** as identification.



  
\_\_\_\_\_  
**Notary Public Signature**  
**Print Name**  
My Commission Expires:

**EXHIBIT "A"  
LEGAL DESCRIPTION**

PARCELS 1 - 19:

LOTS 1 THROUGH 19, INCLUSIVE, BLOCK 73, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 20-23:

LOTS 1 THROUGH 4, INCLUSIVE, BLOCK 74, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 24:

LOT 2, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 25:

LOT 3, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 26:

LOT 4, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 27:

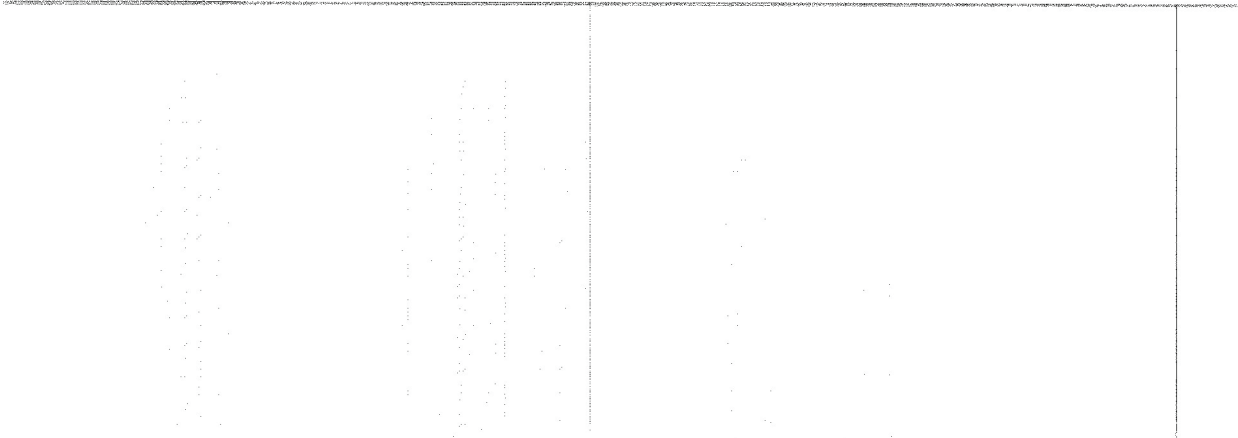
LOT 1, BLOCK 78, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 28:

LOT 1, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 29:

LOT 16, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 30:

LOT 12, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 31:

LOT 13, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 32:

LOT 14, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 33:

LOT 15, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 34:

LOT 16, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 35:

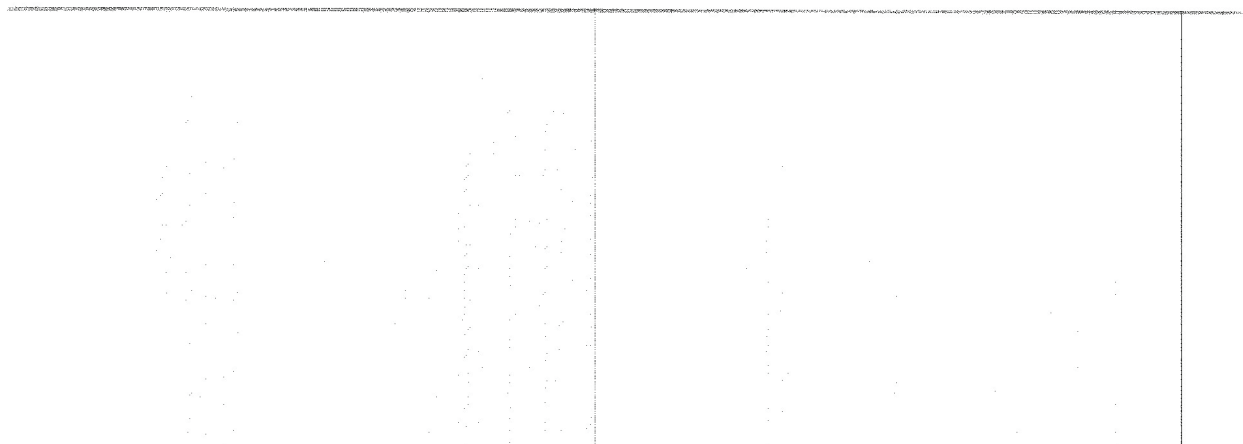
LOT 17, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 36:

LOT 18, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 37:

LOT 19, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 38:

LOT 20, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 39:

LOT 1, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 40:

LOT 9, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 41:

LOT 10, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 42:

LOT 11, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 43:

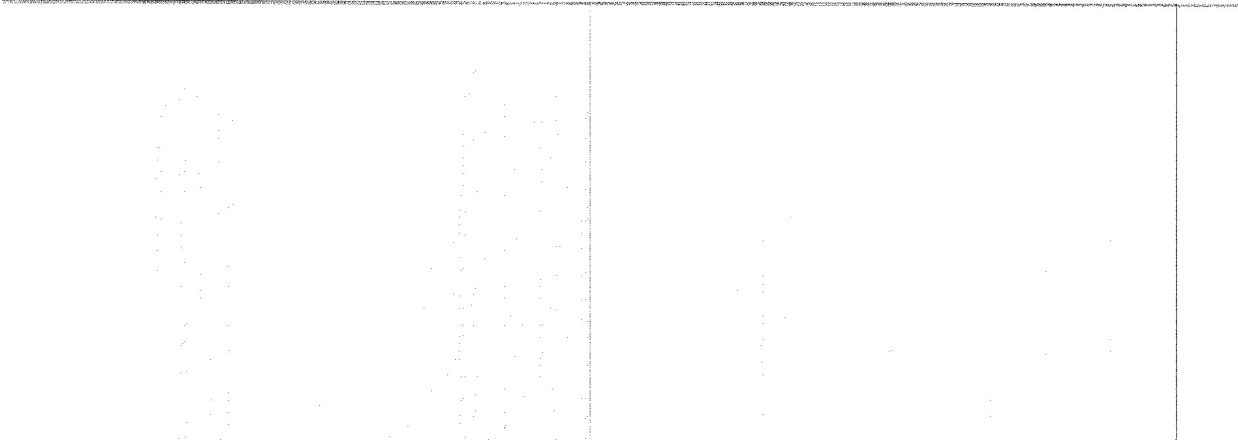
LOT 12, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 44:

LOT 13, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 45:

LOT 14, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 46:

LOT 15, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 47 - 62:

LOTS 1 THROUGH 16, INCLUSIVE, BLOCK 85, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 63 - 96:

LOTS 1 THROUGH 34, INCLUSIVE, BLOCK 86, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 97 - 106:

LOTS 1 THROUGH 10, INCLUSIVE, BLOCK 87, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 107:

LOT 1, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 108:

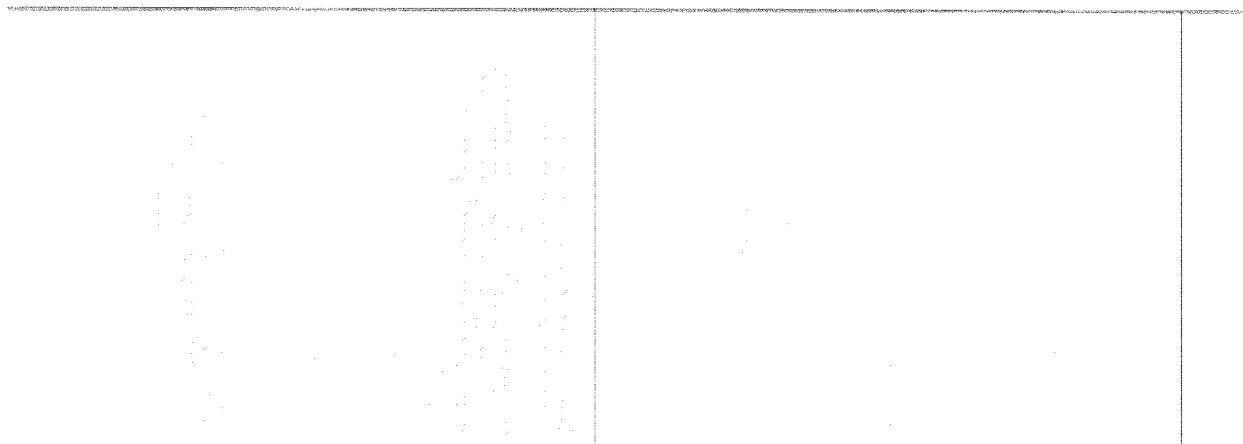
LOT 2, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 109:

LOT 3, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 110:

LOT 4, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 111:

LOT 5, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 112:

LOT 6, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 113:

LOT 7, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 114:

LOT 8, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 115:

LOT 9, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 116 - 134:

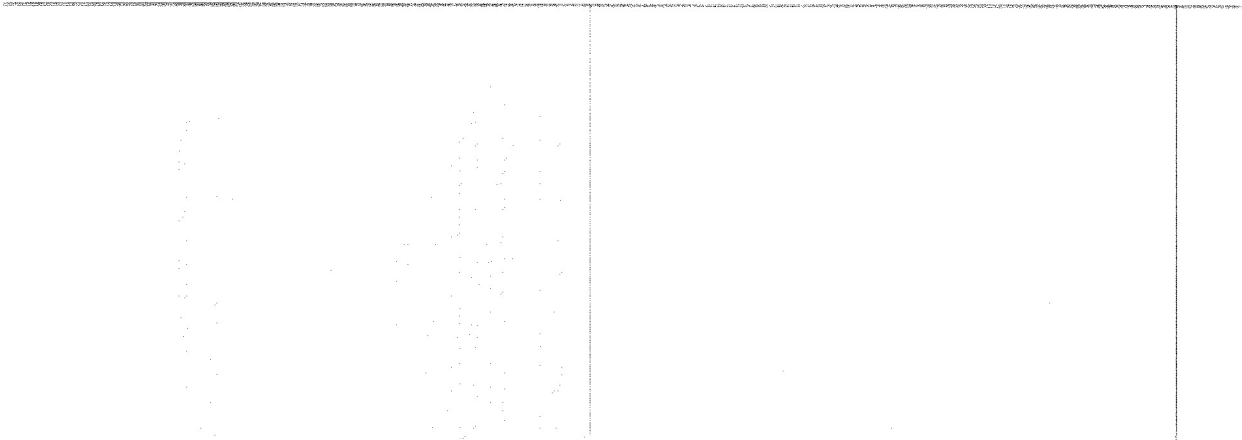
LOTS 1 THROUGH 5, LOTS 13 THROUGH 25 AND LOT 38, BLOCK 89, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 135 - 143:

LOTS 1 THROUGH 9, INCLUSIVE, BLOCK 72, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 144 - 174:

LOTS 1 THROUGH 22, LOT 25 THROUGH 29, AND LOTS 32 THROUGH 35, INCLUSIVE, BLOCK 90, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCELS 175 - 192:

LOTS 1 THROUGH 18, INCLUSIVE, BLOCK 91, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 193- 212:

LOTS 1 THROUGH 11 AND LOTS 24 THROUGH 32, INCLUSIVE, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 213 - 233:

LOTS 1 THROUGH 21, INCLUSIVE, BLOCK 94, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 234 - 249:

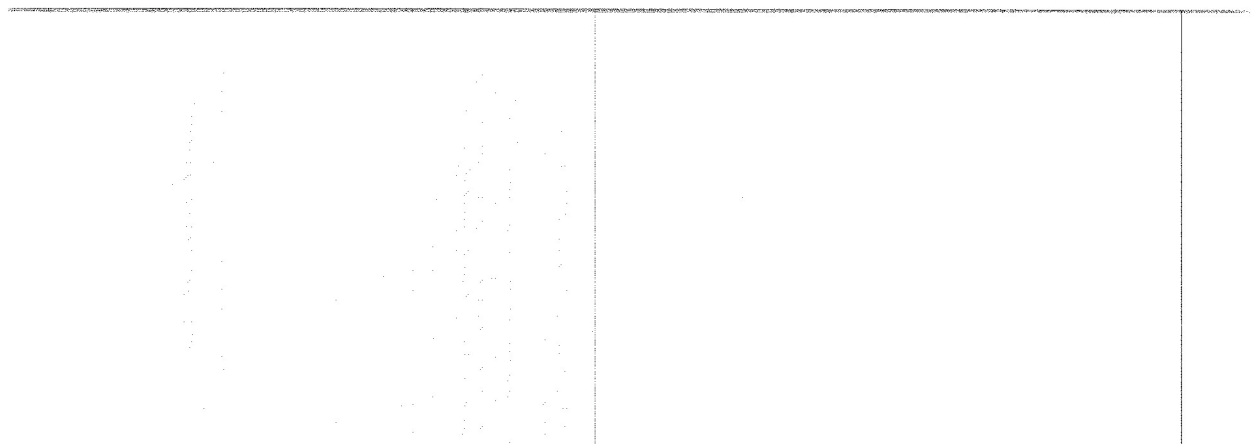
LOTS 1 THROUGH 15 AND LOT 32, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 250:

LOT 23, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 251:

LOT 16, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



The variance request applies to, and the applicant intends to use, the following Marion County Parcel Identification Numbers (“PIDs”) as the subject parcels (collectively, the “Subject Property”):

8002-0073-01  
8002-0084-01  
8002-0087-01  
8002-0091-01  
8002-0092-01  
8002-0095-01  
8002-0084-13  
8002-0072-01  
8002-0074-01  
8002-0076-02  
8002-0076-03  
8002-0076-04  
8002-0078-01  
8002-0079-01  
8002-0079-16  
8002-0084-09  
8002-0084-10  
8002-0084-11  
8002-0084-12  
8002-0084-14  
8002-0084-15  
8002-0085-01  
8002-0086-01  
8002-0088-01  
8002-0088-02  
8002-0088-03  
8002-0088-04  
8002-0088-05  
8002-0088-06  
8002-0088-07  
8002-0088-08  
8002-0088-09  
8002-0089-01  
8002-0090-01

8002-0092-23  
8002-0094-01  
8002-0095-16  
8002-0083-12  
8002-0083-13  
8002-0083-14  
8002-0083-15  
8002-0083-16  
8002-0083-17  
8002-0083-18  
8002-0083-19  
8002-0083-20



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0072-01

Prime Key: 2139951

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$1,888.64  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 2.05

### Current Value

Land Just Value	\$63,550
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$63,550
Total Assessed Value	\$63,550
Exemptions	\$0
Total Taxable	\$63,550

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$63,550	\$0	\$0	\$63,550	\$63,550	\$0	\$63,550
2024	\$149,950	\$0	\$0	\$149,950	\$1,355	\$0	\$1,355
2023	\$138,554	\$0	\$0	\$138,554	\$1,390	\$0	\$1,390

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1944/1743</a>	07/1993	07 WARRANTY	0	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 72 LOTS 1.2.3.4.5.6.7.8.9  
**Parent Parcel:** 8002-0072-00

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	97.0	118.0	R1	.26	AC	31,000.0000	1.00	1.00	1.00	8,060	8,060
9900	82.0	118.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	84.0	112.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	90.0	112.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	89.0	117.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900	89.0	117.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900	86.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	85.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	105.0	100.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9994	500.0	.0	R1	1.00	UT	.0000	1.00	1.00	1.00		

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$63,550  
Total Land - Just \$63,550

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/2000
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$63,550	1/16/2025
Total Just Value	\$63,550	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0073-01

Prime Key: 1287260

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,591.75  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 4.06

### Current Value

Land Just Value	\$125,860	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$125,860	<a href="#">Ex Codes:</a>
Total Assessed Value	\$125,860	
Exemptions	\$0	
Total Taxable	\$125,860	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$125,860	\$0	\$0	\$125,860	\$125,860	\$0	\$125,860
2024	\$111,800	\$0	\$0	\$111,800	\$934	\$0	\$934
2023	\$103,303	\$0	\$0	\$103,303	\$957	\$0	\$957

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 73 LOTS 1.2.3.4.5.6.7.8.9.  
10.11.12.13.14.15.16.17.18.19

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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0001	96.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	82.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
0001	82.0	121.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	81.0	124.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	88.0	124.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
0001	75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
0001	75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
0001	105.0	105.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
0001	100.0	105.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
0001	129.0	100.0	R1	.30	AC	31,000.0000	1.00	1.00	1.00	9,300	9,300
0001	100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	84.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$125,860  
Total Land - Just \$125,860

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$125,860	3/13/2025
Total Just Value	\$125,860	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0074-01

Prime Key: 2142073

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$1,003.74  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .76

### Current Value

Land Just Value	\$23,560
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$23,560
Total Assessed Value	\$23,560
Exemptions	\$0
Total Taxable	\$23,560

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$23,560	\$0	\$0	\$23,560	\$23,560	\$0	\$23,560
2024	\$26,670	\$0	\$0	\$26,670	\$600	\$0	\$600
2023	\$40,679	\$0	\$0	\$40,679	\$881	\$0	\$881

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 74 LOTS 1.2.3.4  
**Parent Parcel:** 8002-0074-00

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	95.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
Neighborhood 9050										Total Land - Class \$23,560	
Mkt: 5 70										Total Land - Just \$23,560	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$23,560	3/13/2025
Total Just Value	\$23,560	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0076-02

Prime Key: 2145528

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$6,589	\$0	\$6,589
2023	\$26,800	\$0	\$0	\$26,800	\$5,990	\$0	\$5,990

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
F/K/A FEATHER NEST-PER DECLARATIONS & COVENANTS 1855/1407  
N/K/A GLEN AIRE PH 1 PER AMENDMENT OF DECLARATION 6342/1413  
BLK 76 LOT 2  
**Parent Parcel:** 8002-0076-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		80.0	125.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0076-03

Prime Key: 2145552

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$6,589	\$0	\$6,589
2023	\$26,800	\$0	\$0	\$26,800	\$5,990	\$0	\$5,990

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
F/K/A FEATHER NEST-PER DECLARATIONS & COVENANTS 1855/1407  
N/K/A GLEN AIRE PH 1 PER AMENDMENT OF DECLARATION 6342/1413  
BLK 76 LOT 3  
**Parent Parcel:** 8002-0076-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		80.0	125.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0076-04

Prime Key: 2145579

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$6,589	\$0	\$6,589
2023	\$26,800	\$0	\$0	\$26,800	\$5,990	\$0	\$5,990

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
F/K/A FEATHER NEST-PER DECLARATIONS & COVENANTS 1855/1407  
N/K/A GLEN AIRE PH 1 PER AMENDMENT OF DECLARATION 6342/1413  
BLK 76 LOT 4  
**Parent Parcel:** 8002-0076-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		80.0	125.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0078-01

Prime Key: 2146940

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.95  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .20

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 78 LOT 1

**Parent Parcel:** 8002-0078-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		89.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0079-01

Prime Key: 2148420

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.11  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .24

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 79 LOT 1

Parent Parcel: 8002-0079-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	106.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

Cost Summary

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0079-16

Prime Key: 2150068

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.11  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .24

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 79 LOT 16

**Parent Parcel:** 8002-0079-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	106.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

Cost Summary

	Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.				
Total Depreciation				
Bldg - Just Value				
Misc - Just Value				
Land - Just Value				
Total Just Value				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-12

Prime Key: 2184272

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

Ex Codes:

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 12

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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0001	100.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-13

Prime Key: 2184281

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 13

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	80.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-14

Prime Key: 2184299

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 14

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	80.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-15

Prime Key: 2184302

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.91  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .19

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 15

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	83.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
---------------	-------------	----------------	-------------

Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-16

Prime Key: 2184329

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.95  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .20

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 16

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	85.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-17

Prime Key: 2184353

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.95  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .20

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 17

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	85.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-18

Prime Key: 2184388

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 18

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-19

Prime Key: 2184400

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 19

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
---------------	-------------	----------------	-------------

Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-20

Prime Key: 2184418

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87

Map ID: 168

Millage: 8002 - UNINCORPORATED

M.S.T.U.

PC: 00

Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

Ex Codes:

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 20

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
---------------	-------------	----------------	-------------

Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-01

Prime Key: 1287391

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.03  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .22

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 1

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	97.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-09

Prime Key: 2156341

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.62  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .25

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 9

Parent Parcel: 8002-0084-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	108.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-10

Prime Key: 2156384

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.50  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .22

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 10

Parent Parcel: 8004-0084-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		94.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-11

Prime Key: 2156406

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 11

Parent Parcel: 8002-0084-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-12

Prime Key: 2156449

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 12

**Parent Parcel:** 8002-0084-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-13

Prime Key: 2124199

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 13

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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0001	90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076										Total Land - Class \$26,850	
Mkt: 5 70										Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$26,850	1/16/2025
Total Just Value	\$26,850	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-14

Prime Key: 2156511

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 14

Parent Parcel: 8002-0084-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$26,850	1/16/2025
Total Just Value	\$26,850	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-15

Prime Key: 2156571

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.62  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .25

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 15

**Parent Parcel:** 8002-0084-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	107.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

Cost Summary

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0085-01

Prime Key: 2156619

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$2,913.21  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 3.32

### Current Value

Land Just Value	\$102,920	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$102,920	<a href="#">Ex Codes:</a>
Total Assessed Value	\$102,920	
Exemptions	\$0	
Total Taxable	\$102,920	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$102,920	\$0	\$0	\$102,920	\$102,920	\$0	\$102,920
2024	\$83,000	\$0	\$0	\$83,000	\$379	\$0	\$379
2023	\$76,692	\$0	\$0	\$76,692	\$391	\$0	\$391

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 85 LOTS 1.2.3.4.5.6.7.  
8.9.10.11.12.13.14.15.16  
**Parent Parcel:** 8002-0085-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		89.0	102.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		81.0	107.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		75.0	117.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		76.0	117.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		78.0	117.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	121.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		89.0	121.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		93.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		78.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	112.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		84.0	112.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
Neighborhood 9050											Total Land - Class \$102,920	
Mkt: 5 70											Total Land - Just \$102,920	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$102,920	1/16/2025			
Total Just Value	\$102,920	.			

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0086-01

Prime Key: 2157666

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$6,150.74  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 99  
Acres: 7.01

### Current Value

Land Just Value	\$217,310	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$217,310	<a href="#">Ex Codes:</a>
Total Assessed Value	\$217,310	
Exemptions	\$0	
Total Taxable	\$217,310	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$217,310	\$0	\$0	\$217,310	\$217,310	\$0	\$217,310
2024	\$175,250	\$0	\$0	\$175,250	\$806	\$0	\$806
2023	\$161,931	\$0	\$0	\$161,931	\$820	\$0	\$820

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 86 LOTS 1.2.3.4.5.6.7.8.9.  
10.11.12.13.14.15.16.17.18.19.  
20.21.22.23.24.25.26.27.28.29  
30.31.32.33.34  
**Parent Parcel:** 8002-0086-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		84.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		93.0	112.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		88.0	105.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		84.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		101.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		101.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		83.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		83.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		83.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		87.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		107.0	120.0	R1	.29	AC	31,000.0000	1.00	1.00	1.00	8,990	8,990
9900		98.0	132.0	R1	.30	AC	31,000.0000	1.00	1.00	1.00	9,300	9,300
9900		90.0	101.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		95.0	102.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		83.0	113.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		79.0	138.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		73.0	165.0	R1	.28	AC	31,000.0000	1.00	1.00	1.00	8,680	8,680
9900		78.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		96.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
Neighborhood 9050											Total Land - Class \$217,310	
Mkt: 5 70											Total Land - Just \$217,310	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

**\*\* Permit Search \*\***

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$217,310	1/16/2025			
Total Just Value	\$217,310	.			





Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0087-01

Prime Key: 1287430

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$1,808.48  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 2.04

### Current Value

Land Just Value	\$63,240	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$63,240	<a href="#">Ex Codes:</a>
Total Assessed Value	\$63,240	
Exemptions	\$0	
Total Taxable	\$63,240	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$63,240	\$0	\$0	\$63,240	\$63,240	\$0	\$63,240
2024	\$51,000	\$0	\$0	\$51,000	\$234	\$0	\$234
2023	\$47,124	\$0	\$0	\$47,124	\$238	\$0	\$238

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 87 LOTS 1.2.3.4.5.  
6.7.8.9.10

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	99.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	89.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	89.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	89.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	99.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$63,240  
Total Land - Just \$63,240

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$63,240	1/16/2025
Total Just Value	\$63,240	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-01

Prime Key: 2159898

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.99  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$24	\$0	\$24
2023	\$26,800	\$0	\$0	\$26,800	\$24	\$0	\$24

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 1  
**Parent Parcel:** 8002-0088-00

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	91.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/15/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-02

Prime Key: 2159910

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 2

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-03

Prime Key: 2159944

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 3

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-04

Prime Key: 2160870

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 4

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-05

Prime Key: 2160969

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 5

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-06

Prime Key: 2161001

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 6

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-07

Prime Key: 2161086

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 7

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-08

Prime Key: 2161116

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 8

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-09

Prime Key: 2161159

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.03  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .22

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$26	\$0	\$26
2023	\$26,800	\$0	\$0	\$26,800	\$26	\$0	\$26

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 9

Parent Parcel: 8002-0088-01

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		98.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0089-01

Prime Key: 2161892

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,999.04  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 3.39

### Current Value

Land Just Value	\$105,090	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$105,090	<a href="#">Ex Codes:</a>
Total Assessed Value	\$105,090	
Exemptions	\$0	
Total Taxable	\$105,090	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$105,090	\$0	\$0	\$105,090	\$105,090	\$0	\$105,090
2024	\$133,000	\$0	\$0	\$133,000	\$600	\$0	\$600
2023	\$122,892	\$0	\$0	\$122,892	\$626	\$0	\$626

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 89 LOTS 1.2.3.4.5.13.14.15.  
16.17.18.19.20.21.22.23.24.25.38  
**Parent Parcel:** 8002-0089-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		92.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$105,090  
Total Land - Just \$105,090

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011		<b>Bldg Nbr</b>	<b>RCN</b>
Land - Just Value	\$105,090	1/16/2025		<b>Depreciation</b>	<b>Depreciated</b>
Total Just Value	\$105,090	.			



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0090-01

Prime Key: 2165511

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$5,796.05  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 99  
Acres: 6.17

### Current Value

Land Just Value	\$191,270
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$191,270
Total Assessed Value	\$191,270
Exemptions	\$0
Total Taxable	\$191,270

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$191,270	\$0	\$0	\$191,270	\$191,270	\$0	\$191,270
2024	\$174,250	\$0	\$0	\$174,250	\$793	\$0	\$793
2023	\$161,007	\$0	\$0	\$161,007	\$818	\$0	\$818

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 90 LOTS 1.2.3.4.5.6.  
7.8.9.10.11.12.13.14.15.  
16.17.18.19.20.21.22.25.  
26.27.28.29.32.33.34.35  
**Parent Parcel:** 8002-0090-00







Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0091-01

Prime Key: 1287481

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,472.44  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 4.12

### Current Value

Land Just Value	\$127,720	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$127,720	<a href="#">Ex Codes:</a>
Total Assessed Value	\$127,720	
Exemptions	\$0	
Total Taxable	\$127,720	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$127,720	\$0	\$0	\$127,720	\$127,720	\$0	\$127,720
2024	\$103,000	\$0	\$0	\$103,000	\$468	\$0	\$468
2023	\$95,172	\$0	\$0	\$95,172	\$484	\$0	\$484

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 91 LOTS 1.2.3.4.5.6  
.7.8.9.10.11.12.13.14.15  
.16.17.18

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
9900		90.0	114.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00		7,440	7,440
9900		75.0	114.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00		6,200	6,200
9900		86.0	137.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00		8,370	8,370
9900		82.0	107.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00		6,200	6,200
9900		82.0	109.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00		6,510	6,510
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00		5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00		5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00		5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00		5,270	5,270
9900		75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00		6,510	6,510
9900		90.0	120.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00		7,750	7,750
9900		75.0	165.0	R1	.28	AC	31,000.0000	1.00	1.00	1.00		8,680	8,680
9900		75.0	165.0	R1	.28	AC	31,000.0000	1.00	1.00	1.00		8,680	8,680
9900		75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00		6,510	6,510
9900		129.0	105.0	R1	.31	AC	31,000.0000	1.00	1.00	1.00		9,610	9,610
9900		102.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00		7,130	7,130
9900		97.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00		6,820	6,820
9900		116.0	125.0	R1	.33	AC	31,000.0000	1.00	1.00	1.00		10,230	10,230
Neighborhood 9050											Total Land - Class \$127,720		
Mkt: 5 70											Total Land - Just \$127,720		

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/2000
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$127,720	1/16/2025
Total Just Value	\$127,720	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0092-01

Prime Key: 1287502

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,852.55  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 4.13

### Current Value

Land Just Value	\$128,030	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$128,030	<u>Ex Codes:</u>
Total Assessed Value	\$128,030	
Exemptions	\$0	
Total Taxable	\$128,030	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$128,030	\$0	\$0	\$128,030	\$128,030	\$0	\$128,030
2024	\$117,500	\$0	\$0	\$117,500	\$543	\$0	\$543
2023	\$108,570	\$0	\$0	\$108,570	\$550	\$0	\$550

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 92 LOTS 1.2.3.4.5.6.7.8.9.10.  
11.24.25.26.27.28.29.30.31.32

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	95.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	102.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900	93.0	126.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900	98.0	160.0	R1	.36	AC	31,000.0000	1.00	1.00	1.00	11,160	11,160
9900	99.0	142.0	R1	.32	AC	31,000.0000	1.00	1.00	1.00	9,920	9,920
9900	85.0	106.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	95.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$128,030  
Total Land - Just \$128,030

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$128,030	1/16/2025			
Total Just Value	\$128,030	.			

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0092-23

Prime Key: 2172215

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.99  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$16,819	\$0	\$16,819
2023	\$26,800	\$0	\$0	\$26,800	\$15,290	\$0	\$15,290

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 92 LOT 23

Parent Parcel: 8002-0092-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		91.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0094-01

Prime Key: 2174188

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$4,265.22  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 99  
Acres: 5.23

### Current Value

Land Just Value	\$162,130	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$162,130	<u>Ex Codes:</u>
Total Assessed Value	\$162,130	
Exemptions	\$0	
Total Taxable	\$162,130	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$162,130	\$0	\$0	\$162,130	\$162,130	\$0	\$162,130
2024	\$130,750	\$0	\$0	\$130,750	\$598	\$0	\$598
2023	\$120,813	\$0	\$0	\$120,813	\$613	\$0	\$613

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 94 LOTS 1.2.3.4.5.6.7.  
8.9.10.11.12.13.14.15.16.17.  
18.19.20.21

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	111.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		86.0	181.0	R1	.36	AC	31,000.0000	1.00	1.00	1.00	11,160	11,160
9900		90.0	157.0	R1	.32	AC	31,000.0000	1.00	1.00	1.00	9,920	9,920
9900		105.0	155.0	R1	.37	AC	31,000.0000	1.00	1.00	1.00	11,470	11,470
9900		105.0	140.0	R1	.34	AC	31,000.0000	1.00	1.00	1.00	10,540	10,540
9900		106.0	139.0	R1	.34	AC	31,000.0000	1.00	1.00	1.00	10,540	10,540
9900		101.0	117.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900		101.0	107.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		101.0	116.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900		105.0	120.0	R1	.29	AC	31,000.0000	1.00	1.00	1.00	8,990	8,990
9900		100.0	103.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		100.0	106.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580

Neighborhood 9050

Total Land - Class \$162,130

Mkt: 5 70

Total Land - Just \$162,130

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$162,130	1/16/2025
Total Just Value	\$162,130	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0095-01

Prime Key: 1287545

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$2,713.74  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 2.93

### Current Value

Land Just Value	\$90,830	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$90,830	<a href="#">Ex Codes:</a>
Total Assessed Value	\$90,830	
Exemptions	\$0	
Total Taxable	\$90,830	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$90,830	\$0	\$0	\$90,830	\$90,830	\$0	\$90,830
2024	\$73,250	\$0	\$0	\$73,250	\$331	\$0	\$331
2023	\$67,683	\$0	\$0	\$67,683	\$345	\$0	\$345

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 95 LOTS 1.2.3.4.5.6.  
7.8.9.10.11.12.13.14.15.32

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

9900	92.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	86.0	90.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	126.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	85.0	90.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	91.0	107.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$90,830  
Total Land - Just \$90,830

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$90,830	1/16/2025			
Total Just Value	\$90,830	.			

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0095-16

Prime Key: 2176873

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.99  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$16,819	\$0	\$16,819
2023	\$26,800	\$0	\$0	\$26,800	\$15,290	\$0	\$15,290

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 95 LOT 16

Parent Parcel: 8002-0095-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		91.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
BRITE PROPERTIES OF FLORIDA, LLC

### Filing Information

<b>Document Number</b>	L18000085781
<b>FEI/EIN Number</b>	61-1885993
<b>Date Filed</b>	04/04/2018
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	LC STMNT OF RA/RO CHG
<b>Event Date Filed</b>	01/15/2019
<b>Event Effective Date</b>	NONE

### Principal Address

6751 Forum Drive  
Suite 210  
Orlando, FL 32821

Changed: 06/20/2023

### Mailing Address

P.O. Box 770279  
Orlando, FL 32877

Changed: 06/20/2023

### Registered Agent Name & Address

Wharton Law Group, PA  
456 S. Central Avenue  
Oviedo, FL 32765

Name Changed: 10/10/2019

Address Changed: 10/10/2019

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

## BRITE GROUP HOLDINGS FLORIDA, LLC

6751 Forum Drive  
Suite 210  
Orlando, FL 32821

Title Manager

Kociecki, Robert  
6751 Forum Drive  
Suite 210  
Orlando, FL 32821

**Annual Reports**

Report Year	Filed Date
2023	01/19/2023
2024	03/25/2024
2025	04/29/2025

**Document Images**

<a href="#">04/29/2025 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/25/2024 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/20/2023 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/19/2023 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/23/2022 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/02/2021 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/12/2020 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">10/10/2019 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">09/04/2019 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/12/2019 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/15/2019 -- CORLCRACHG</a>	View image in PDF format
<a href="#">04/04/2018 -- Florida Limited Liability</a>	View image in PDF format

This Document Prepared By and Return to:  
Five Points Title Services  
Denise G. Smith  
8014 SW 135th Street Rd  
Ocala, FL 34473  
352-307-0796

Parcel ID Number: **Multiple Lots**

# Warranty Deed

**This Indenture**, Made this **16th** day of **December**, **2024** A.D., **Between**  
**THE DELTONA CORPORATION, a Delaware corporation**  
of the County of **Marion**, State of **Florida**, **grantors**, and  
**Brite Properties of Florida, LLC, a Florida limited liability company**  
whose address is: **6751 Forum Drive, Suite 210, Orlando, FL 32831**  
of the County of **Orange**, State of **Florida**, **grantee**.


**Witnesseth** that the GRANTORS, for and in consideration of the sum of  
**TEN DOLLARS (\$10)**  
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby  
acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns  
forever, the following described land, situate, lying and being in the County of **Marion**  
State of **Florida** to wit:  
**SEE ATTACHED EXHIBIT "A"**

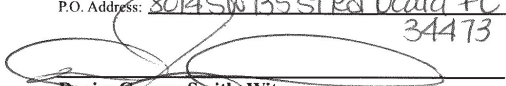
**Subject to taxes for the year 2025 and subsequent years, easements and restrictions of record.**


and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons  
whomsoever.

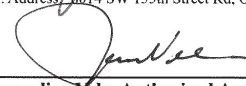
**In Witness Whereof**, the grantors have hereunto set their hands and seals the day and year first above written.

**Signed, sealed and delivered in our presence:**

  
\_\_\_\_\_  
**Victoria Pollard, Witness**  
P.O. Address: 8014 SW 135th Rd Ocala FL  
34473

  
\_\_\_\_\_  
**Denise Genova Smith, Witness**  
P.O. Address: 8014 SW 135th Rd Ocala FL  
34473

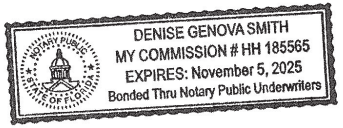
**THE DELTONA CORPORATION, a Delaware corporation**  
By:   
\_\_\_\_\_  
**Maegan Thacker, Authorized Agent**  
P.O. Address: 8014 SW 135th Street Rd, Ocala, FL 34473


By:   
\_\_\_\_\_  
**Jacqueline Vela, Authorized Agent**  
P.O. Address: 8014 SW 135th Street Rd, Ocala, FL 34473

(Corporate Seal)

**State of Florida**  
**County of Marion**

The foregoing instrument was acknowledged before me by means of  physical presence or  online  
notarization, this **16th** day of **December**, **2024**, by **Maegan Thacker, Authorized Agent and Jacqueline Vela,**  
**Authorized Agent of THE DELTONA CORPORATION, a Delaware corporation on behalf of the corporation**  
who are personally known to me or who have produced their **Personally known to me** as identification.



  
\_\_\_\_\_  
**Notary Public Signature**  
**Print Name**  
My Commission Expires:

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

PARCELS 1 - 19:

LOTS 1 THROUGH 19, INCLUSIVE, BLOCK 73, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 20-23:

LOTS 1 THROUGH 4, INCLUSIVE, BLOCK 74, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 24:

LOT 2, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 25:

LOT 3, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 26:

LOT 4, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 27:

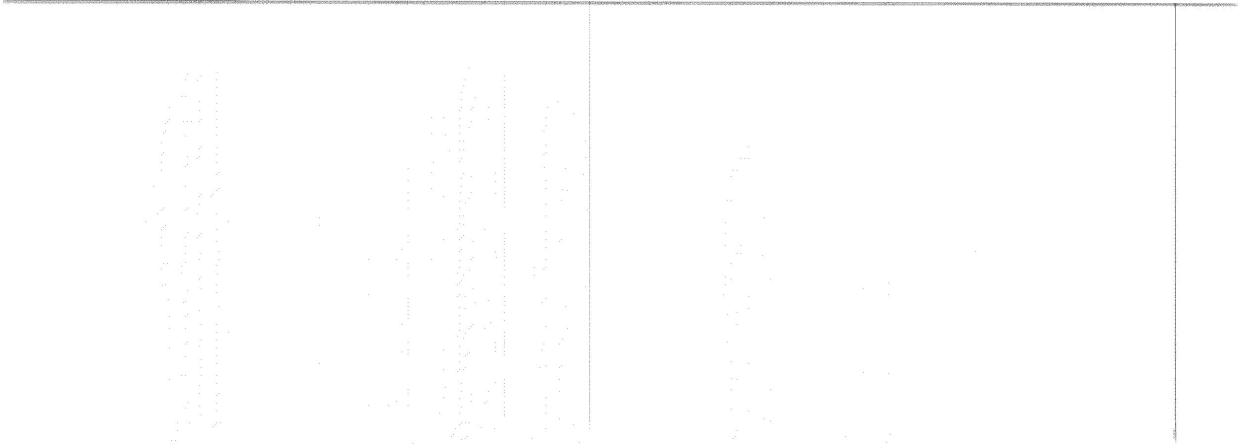
LOT 1, BLOCK 78, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 28:

LOT 1, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 29:

LOT 16, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 30:

LOT 12, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 31:

LOT 13, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 32:

LOT 14, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 33:

LOT 15, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 34:

LOT 16, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 35:

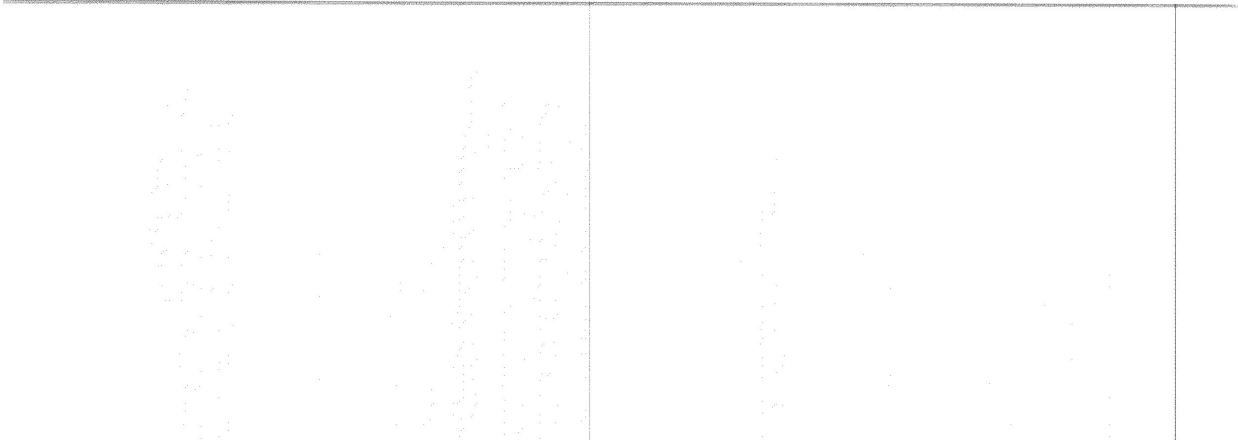
LOT 17, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 36:

LOT 18, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 37:

LOT 19, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 38:

LOT 20, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 39:

LOT 1, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 40:

LOT 9, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 41:

LOT 10, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 42:

LOT 11, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 43:

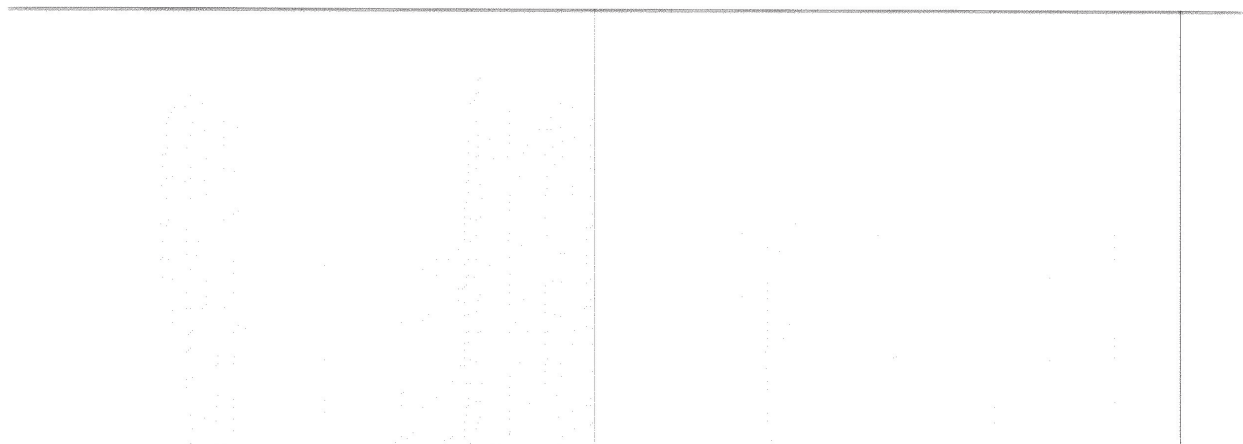
LOT 12, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 44:

LOT 13, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 45:

LOT 14, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 46:

LOT 15, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 47 - 62:

LOTS 1 THROUGH 16, INCLUSIVE, BLOCK 85, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 63 - 96:

LOTS 1 THROUGH 34, INCLUSIVE, BLOCK 86, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 97 - 106:

LOTS 1 THROUGH 10, INCLUSIVE, BLOCK 87, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 107:

LOT 1, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 108:

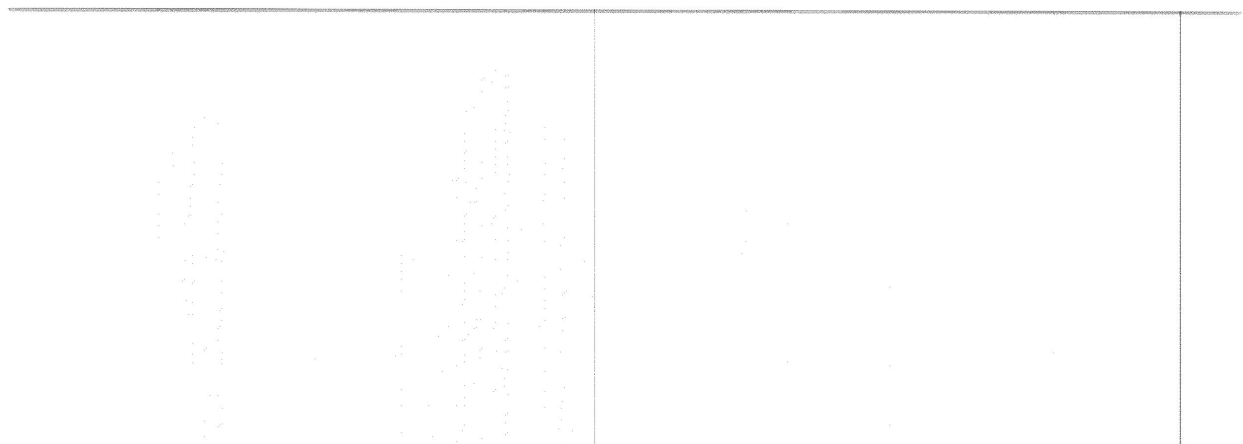
LOT 2, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 109:

LOT 3, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 110:

LOT 4, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 111:

LOT 5, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 112:

LOT 6, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 113:

LOT 7, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 114:

LOT 8, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 115:

LOT 9, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 116 - 134:

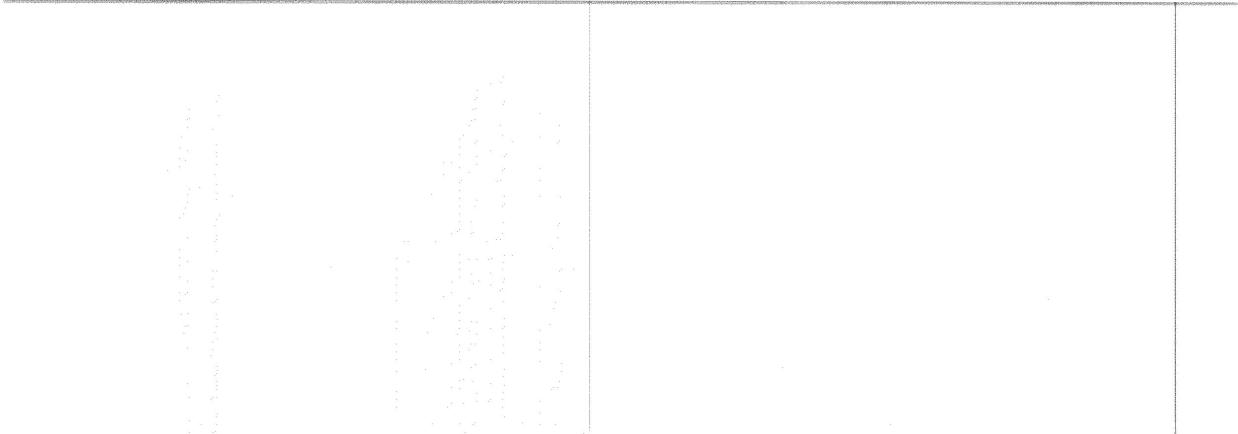
LOTS 1 THROUGH 5, LOTS 13 THROUGH 25 AND LOT 38, BLOCK 89, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 135 - 143:

LOTS 1 THROUGH 9, INCLUSIVE, BLOCK 72, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 144 - 174:

LOTS 1 THROUGH 22, LOT 25 THROUGH 29, AND LOTS 32 THROUGH 35, INCLUSIVE, BLOCK 90, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCELS 175 - 192:

LOTS 1 THROUGH 18, INCLUSIVE, BLOCK 91, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 193- 212:

LOTS 1 THROUGH 11 AND LOTS 24 THROUGH 32, INCLUSIVE, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 213 - 233:

LOTS 1 THROUGH 21, INCLUSIVE, BLOCK 94, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 234 - 249:

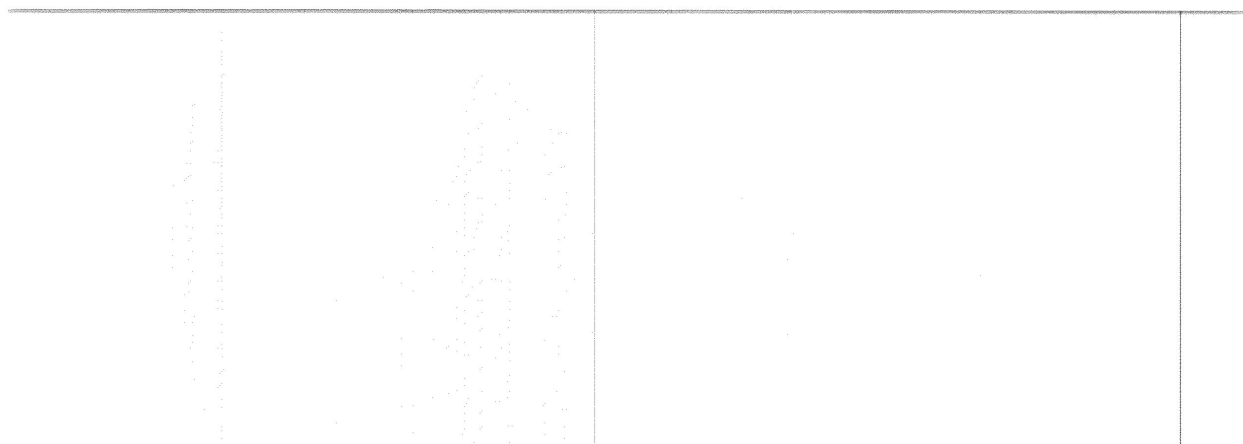
LOTS 1 THROUGH 15 AND LOT 32, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 250:

LOT 23, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 251:

LOT 16, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



## SUPPLEMENTAL STATEMENT REGARDING HOA APPROVAL REQUIREMENT

(MRTA / NO ACTIVE HOA)

Applicant submits this supplement in response to the application instruction stating: "Please note that if your property is subject to a Homeowner's Association an approval letter must be submitted along with other required documents."

The Subject Property (the parcels identified on the attached PID list) is not subject to any currently existing or enforceable homeowners' association approval requirement. To the extent any historic "Marion Oaks" declarations/restrictions or HOA-type covenants may have been recorded against these parcels, Applicant contends that such covenants have been extinguished and/or are no longer enforceable under Florida's Marketable Record Title Act ("MRTA"), Chapter 712, Florida Statutes, and therefore no HOA approval letter is applicable or available for these parcels.

Accordingly, Applicant is not submitting an HOA approval letter because there is no operative HOA with approval authority over the Subject Property for purposes of this variance application. If the County believes an HOA approval letter is required, Applicant requests that Staff identify (by official records book/page or instrument number) the specific recorded instrument(s) that (i) currently impose an HOA approval requirement on these parcels and (ii) remain preserved/enforceable notwithstanding MRTA.

# IMPROVEMENT PLANS

For A

## PORTION OF MARION OAKS UNIT 2

- BLOCK: 72 LOTS: 1-9
- BLOCK: 73 LOTS: 1-19
- BLOCK: 74 LOTS: 1-4
- BLOCK: 76 LOTS: 1-16
- BLOCK: 78 LOTS: 1-10
- BLOCK: 79 LOTS: 1-16
- BLOCK: 83 LOTS: 12-20
- BLOCK: 84 LOTS: 1-9-15
- BLOCK: 85 LOTS: 1-16
- BLOCK: 86 LOTS: 1-34
- BLOCK: 87 LOTS: 1-10
- BLOCK: 88 LOTS: 1-10, 18
- BLOCK: 89 LOTS: 1-5, 13-25, 38
- BLOCK: 90 LOTS: 1-29, 32-35
- BLOCK: 91 LOTS: 1-18
- BLOCK: 92 LOTS: 1-4, 23-32
- BLOCK: 95 LOTS: 1-16, 32

NOVEMBER 30, 2022

Call 811 or www.sunshine811.com for all utility services. This service is available 24/7. For more information, visit www.sunshine811.com.

**COUNTY ENGINEER**  
MARION COUNTY, FLORIDA

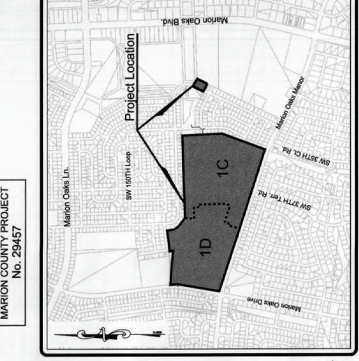
APPLICATION #: 28457  
EXPIRATION DATE: 10/6/29

DATE: 10/6/22  
BY: [Signature]

REVISIONS PER COUNTY COMMENTS  
REVISIONS PER COUNTY COMMENTS  
REVISIONS PER COUNTY COMMENTS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY ARE USING THE PERMITTED PLANS PRIOR TO BEGINNING CONSTRUCTION. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT THE APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

MARION COUNTY PROJECT No. 29457



**PROJECT LOCATION MAP**  
(NOT TO SCALE)  
SECTION: 22 & 23, TOWNSHIP: 17 SOUTH, RANGE: 21 EAST  
MARION COUNTY, FLORIDA

**Description:**  
A PORTION OF "MARION OAKS UNIT No. 2", ACCORDING TO THE "PLAT BOOK No. 19-35", OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

- Index of Sheets:**
- C001 COVER SHEET
  - C002 NOTES
  - C003 TYPICAL SECTIONS
  - C004 OVERALL PLATTED SITE
  - C005 CLEARING & GRUBBING PLAN
  - C006-C007 GRADING PLAN
  - C008 SOIL BORING LOCATIONS
  - C009-C010 DRAINAGE PLAN
  - C011-C012 DRA CROSS SECTIONS
  - C013-C014 WATER & SEWER UTILITY PLAN WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN
  - C015-C016 SOIL BORING LOGS AND PROFILE SHEETS
  - C033 NON-ROADWAY PIPE PROFILES
  - C034-C041 WATER & SEWER DETAIL SHEETS
  - EC1 CONSTRUCTION DETAIL SHEET
  - P001-P005 SWPPP
  - S001-S006 SURVEY

**OWNER:**  
THE DELTONA CORPORATION  
3001 W. DELTONA BOULEVARD  
DELRON, FL 32733

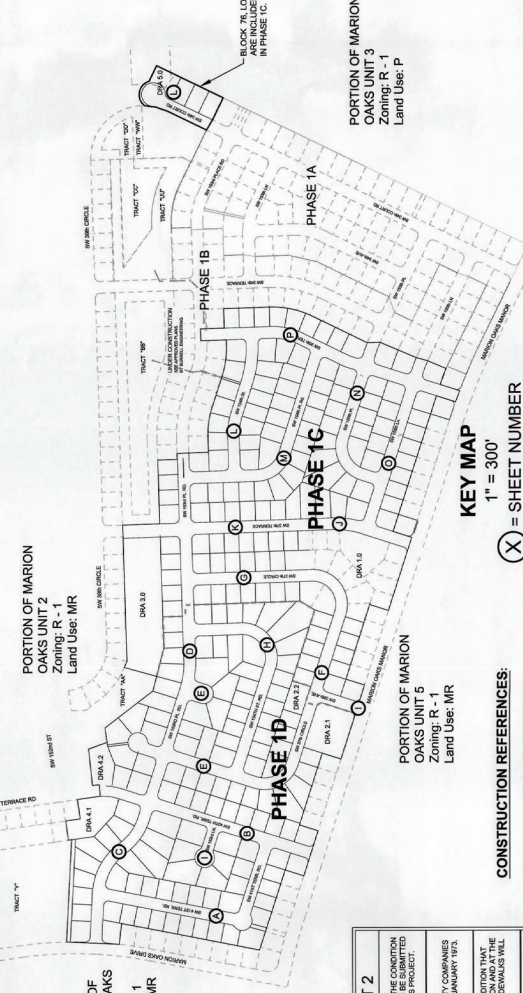
**CONTACT:**  
JEANNE-HOLEY  
TELEPHONE: (352) 347-2322

ALL TRENCH AND LOTS REFERRED TO THESE IMPROVEMENT PLANS WERE PLATTED IN 1973 (P.L. BOOK 19-35). THESE IMPROVEMENT PLANS SHALL BE CONSTRUCTED BY THE DELTONA CORPORATION AT ITS EXPENSE AND BEHAVIOR FOR PUBLIC USE. AS IMPROVEMENTS FOR 2 YEARS, AFTER WHICH, MAINTENANCE SHALL BE RELAYED UPON ACCEPTANCE OF SUCH IMPROVEMENTS BY MARION COUNTY.

**General Notes:**

- THESE PLANS SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT CODE.
- SEE SANITARY SEWER AND WATER SYSTEM DETAIL SHEETS FOR GENERAL UTILITY CONSTRUCTION.
- THE ROAD CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PERMITS AND COORDINATING WITH ALL UTILITIES TO BE MAINTAINED OR DISPLACED BY THE PROPOSED IMPROVEMENTS.
- STRUCTURES, SUCH AS SIGNAGE, SHALL BE LOCATED ON ADEQUATE DISTANCE FROM THE PROPOSED IMPROVEMENTS.
- CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- THE ROAD CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- CONSTRUCTION SHALL BE COMPLETED BY THE SPECIFIED DATE.
- COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN FURNISHED TO THE RELEVANT AGENCIES AND TO THE RELEVANT UTILITIES.
- ELEVATIONS ARE BASED ON THE FIRM NETWORK, NAD 1983 AND N.G.S. BENCHMARK 175 ADJUSTMENT, UTILIZING FOOT FROM NETWORK.
- DESIGN SPEED IS 30 M.P.H.
- THIS DEVELOPMENT CONTAINS A TOTAL OF 3,07 MILES OF ROAD, AND 251 LOTS. 132 LOTS ARE LOCATED IN PHASE 1C AND 119 LOTS ARE LOCATED IN PHASE 1D.

ACCORDING TO PLAT BOOK "01", AT PAGES 19-35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



**KEY MAP**  
1" = 300'  
X = SHEET NUMBER

- CONSTRUCTION REFERENCES:**  
F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS (LATEST EDITION)
- Legend To Plan Sheets:**
- ☐ CENTERLINE
  - ☐ REINFORCED CONCRETE PIPE
  - ☐ BURIED FIBER OPTIC CABLE
  - ☐ SOIL BORING
  - ☐ FOUND 5" IRON BOX & CAP
  - ☐ FOUND 4" X 4" CONCRETE MONUMENT - NO I.D.
  - ☐ TEMPORARY BENCHMARK MARKER - IS 5427
  - ☐ WATER METER
  - ☐ FIBER OPTIC CABLE MARKER
  - ☐ FIBER TV RISER BOX
  - ☐ IRRIGATION CONTROL BOX
  - ☐ 6" DIRT AND/OR
  - ☐ WOOD TOWER POLE
  - ☐ WATER VALVE
  - ☐ SANITARY MANHOLE
  - ☐ WELL
  - ☐ EXISTING SIGN
  - ☐ EXISTING SIGN
  - ☐ EXISTING SIGN
  - ☐ MAIL BOX WITH PAPER BOX
  - ☐ BROKEN LINE; NOT DRAWN TO SCALE

PORTION OF MARION OAKS UNIT 2  
Zoning: R-1  
Land Use: MR

PORTION OF MARION OAKS UNIT 2  
Zoning: R-1  
Land Use: MR

PORTION OF MARION OAKS UNIT 2  
Zoning: R-1  
Land Use: MR

AREA DATA BLOCK	
SF	AC
TOTAL AREA	3,821,951 / 87.74
EXISTING IMPERVIOUS AREA	0 / 0
PROPOSED IMPERVIOUS AREA	1,594,329 / 36.6
PERCENT IMPERVIOUS	41.7%

**APPROVED WAIVERS FOR MARION OAKS UNIT 2**

CODE SECTION	APPROVAL DATE	APPROVED BY
2.18.2.L	12-1-22	M/M
2.17.2.H	12-1-22	M/M
6.12.12.A, B, & C	12-1-22	M/M
6.12.9.K	12-1-22	M/M

WAIVED THE REQUIREMENT TO EXTEND SW WITH COURT ROAD WITH THE CONDITION THAT THE ROAD CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR APPROVAL WITHIN TWO YEARS OF THE PLAN APPROVAL FOR THIS PROJECT.

WAIVED THE REQUIREMENTS FOR PROVIDING LETTERS FROM THE UTILITY COMPANIES ACCEPTING THE EXISTING UTILITY EMBLEMMENTS THAT WERE PLATTED IN JANUARY 1973.

WAIVED THE REQUIREMENTS FOR PROVIDING SIGNALS WITH A CONDITION THAT SIDEWALKS WILL BE CONSTRUCTED AT THE TIME OF PHASE CONSTRUCTION AND AT THE END OF TWO YEARS OR 66% LEVEL OF COMPLETION, WHICHEVER IS EARLIER.

WAIVED THE REQUIREMENTS REGARDING CENTER LINE SIGNAGE WITH A CONDITION THAT SIGNAGE SHALL BE PROVIDED WITHIN TWO YEARS OF THE PLAN APPROVAL.

**UTILITY COMPANIES**

UTILITY COMPANY	CONTACT PERSON	PHONE NUMBER
SECO ENERGY	MEGAN ELLIOT	(352) 998-8835
CENTURY LINK	KURT JUDD	(352) 401-8555
COX CABLE	DAVID FERRELL	(352) 973-5641
MARION COUNTY UTILITIES (WATERSERVER)	CUSTOMER SERVICE	(352) 397-8000
NATURAL GAS	NO SERVICE PROVIDED	

**LENGTH OF PROJECT**

ROADWAY	LINEAR FEET	MILES
ROADWAY	16,195	3.07
BRIDGES	NONE	NONE
NET LENGTH OF PROJECT	16,195	3.07
EXCEPTIONS	NONE	NONE
GROSS LENGTH OF PROJECT	16,195	3.07





Project: Marion Oaks Link 2 Improvement Plans  
Location: SECTION 60' R/W, CROSS SECTION OF LINK 2, MARION COUNTY, FL  
Scale: AS SHOWN  
Date: 12-1-22  
Checked: MJK  
Drawn: MJK

MARION COUNTY PROJECT NO. 28457  
Checked: MJK  
Drawn: MJK  
Scale: N.T.S.  
Date: 12-1-22

Revisions	Date	By	Description
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS
02-1-24	MJK		REVISIONS PER COUNTY COMMENTS

**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
APPLICATION #: 28457  
APPROVAL DATE: 10/4/24  
EXPIRATION DATE: 10/4/29

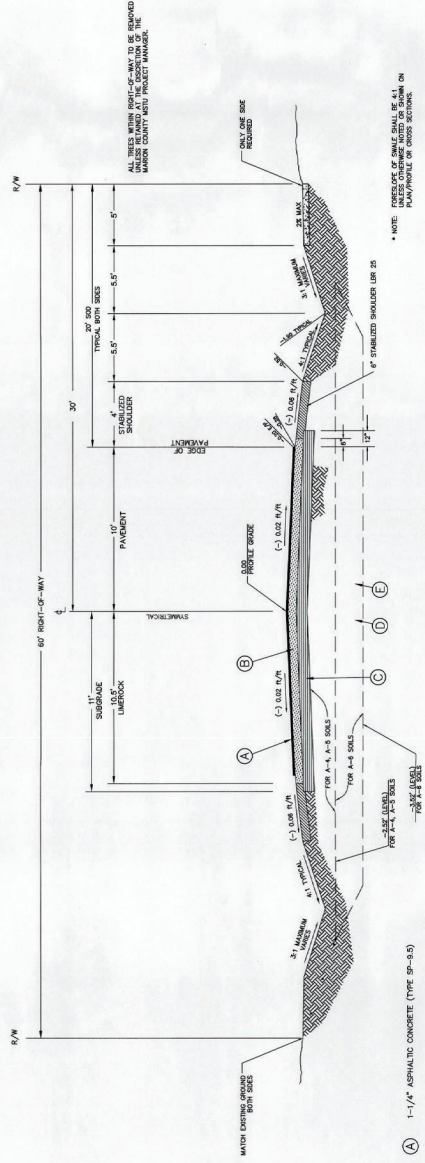
The approval of these plans by Marion County is not a warranty, express or implied, of the accuracy or completeness of the information contained herein. The County Engineer's office is not responsible for the design or construction of any structure or facility shown on these plans. The County Engineer's office is not responsible for the safety of any person or property. The County Engineer's office is not responsible for the accuracy of any information provided by others. The County Engineer's office is not responsible for the accuracy of any information provided by others.

**NOTICE:** The approval of these plans by Marion County is not a warranty, express or implied, of the accuracy or completeness of the information contained herein. The County Engineer's office is not responsible for the design or construction of any structure or facility shown on these plans. The County Engineer's office is not responsible for the safety of any person or property. The County Engineer's office is not responsible for the accuracy of any information provided by others. The County Engineer's office is not responsible for the accuracy of any information provided by others.

MARION COUNTY PROJECT NO. 28457

**General Notes:**

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION CONTAINED IN THE CITIZENS STANDARDS FOR ASSESSMENT / ASU ROAD DESIGN AND CONSTRUCTION.
- LENGTH OF CROSS DRAINS SHOWN INCLUDES MITERED END SECTIONS.
- ALL ROADWAY PAVEMENT RADII ARE 25' UNLESS SHOWN OTHERWISE ON PLANS.
- ALL DRIVEWAY PAVEMENT RADII ARE 10' UNLESS SHOWN OTHERWISE ON PLANS.
- THE ROAD CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. SUCH DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION WITHIN THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO HIS OPERATION SHALL BE RELOCATED OR DELETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- ALL DRIVEWAY STATIONING IS APPROXIMATE. FINAL LOCATION MAY BE ADJUSTED IF APPROVED BY COUNTY INSPECTOR OR PROJECT MANAGER.
- ALL PROPOSED DRIVES SHALL BE ASPHALT UNLESS OTHERWISE NOTED.
- CROSS SECTIONS SHALL BE SHOWN ON ALL PLAN AND CROSS SECTIONS.
- SPECIAL SWALES ARE INDICATED ON EITHER THE PLAN AND PROFILE OR CROSS SECTION SHEETS.
- TREES WITHIN THE BACKSLOPE OF SWALE ARE TO BE REMOVED UNLESS RETAINED AT THE DISCRETION OF THE MARION COUNTY MSTU PROJECT MANAGER.
- UNLESS OTHERWISE NOTED, SWALES SHALL BE CONSTRUCTED TO EXISTING GROUND AT THE RIGHT-OF-WAY. BACKSLOPES STEEPER THAN 1:1 SHALL BE ALLOWED FOR SHORT DISTANCES WHEN APPROVED BY PROJECT MANAGER.

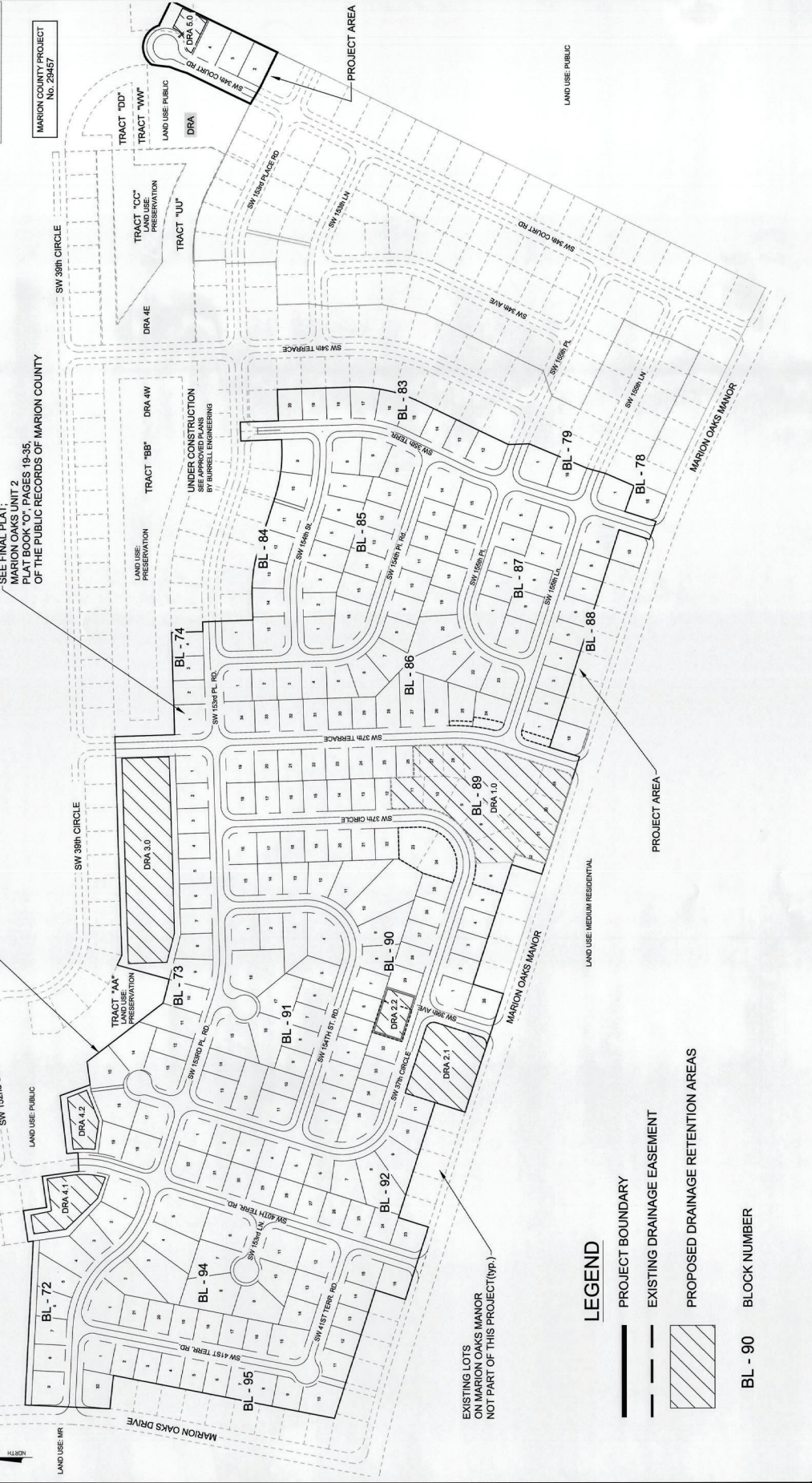


**TYPICAL SECTION 60' R/W**

		<b>Overall Platted Site</b> PROJECT: Marion Oaks Unit 2 Improvement Plans LOCATION: SECTION 22 & 23 TOWNSHIP 20 SOUTH RANGE 12 EAST, MARION COUNTY, FL SHEET NO. 104 of 45
DATE: 12-22-22 DRAWN BY: MNR CHECKED BY: MNR PROJECT NO.: 2022-01-03	MMR <b>MICHAEL W. RADCLIFF ENGINEERING, INC.</b> 11115 US HWY 90, SUITE 100, PALM BEACH, FL 33480 PHONE: 561-850-1111 FAX: 561-850-1112 WWW.MWRADCLIFF.COM	PROJECT NO.: 2022-01-03 SHEET NO.: 104 of 45

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 28457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

This approval of these plans by Marion County is based on the information provided to the County and does not constitute a warranty of any kind. The County does not warrant the accuracy or completeness of the information provided to the County. The County does not warrant the accuracy or completeness of the information provided to the County. The County does not warrant the accuracy or completeness of the information provided to the County.



**NOTICE**

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**SEE FINAL PLAT:**  
 MARION OAKS UNIT 2  
 PLAT BOOK 104 OF 105  
 OF THE PUBLIC RECORDS OF MARION COUNTY

**UNDER CONSTRUCTION**  
 SEE APPROVED PLANS  
 BY BURRELL ENGINEERING

**EXISTING LOTS ON MARION OAKS MANOR NOT PART OF THIS PROJECT (typ.)**

**GRAPHIC SCALE**

1 inch = 100 ft

( IN FEET )

1 inch = 100 ft

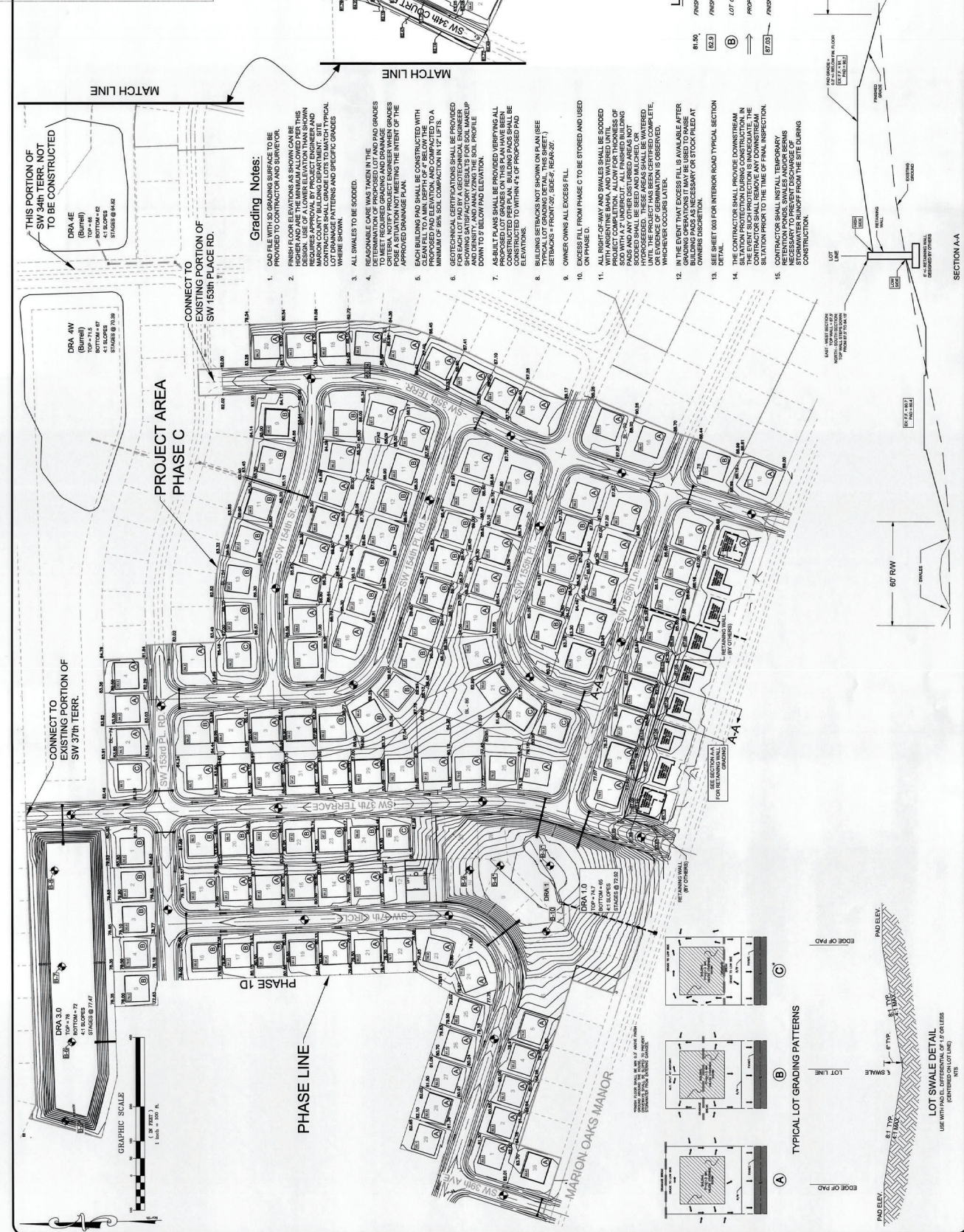


<b>MR MICHAEL W. RADLITZ ENGINEERING, INC.</b> 5115 E. 12th Avenue, Suite 100, Fort Lauderdale, FL 33304 Phone: (954) 572-2200 Fax: (954) 572-2201 www.mradlitze.com		<b>Grading Plan 1C</b> Project: Marion Oaks Unit 2 Improvement Plans Location: Marion Oaks Unit 2, Marion County, FL	
Date: 12-1-22 Scale: 1" = 100' Project: MAR	Date: 12-1-22 Scale: 1" = 100' Project: MAR	Sheet No. 1C of 45	Project: Marion Oaks Unit 2 Improvement Plans Location: Marion Oaks Unit 2, Marion County, FL

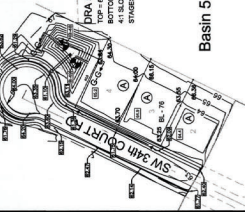
**CONTRACTOR'S NOTE:**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is not a guarantee of the accuracy of the information provided. The contractor is responsible for verifying all information and for obtaining all necessary permits. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies.

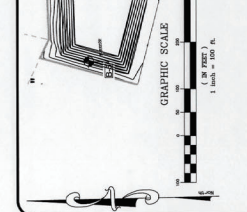
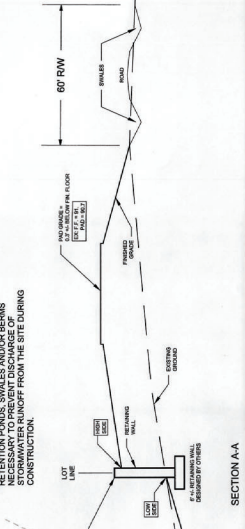
**MARION COUNTY PROJECT**  
 No. 29457



- Grading Notes:**
- CAD FILE WITH US DRAINING SURFACE TO BE PROVIDED TO CONTRACTOR AND SURVEYOR.
  - FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED PER THIS PLAN. CONTRACTOR SHALL VERIFY ALL FINISH FLOOR ELEVATIONS AND REQUIRE APPROVAL BY PROJECT ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL GRABE LOTS TO MATCH TYPICAL LOT DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.
  - ALL SWALES TO BE SLOPED.
  - REASONABLE CARE WAS TAKEN IN THE PAD GRADES TO MEET REQUIRED DRAINAGE AND DRAINAGE TO POSSE A SITUATION NOT MEETING THE INTENT OF THE APPROVED DRAINAGE PLAN.
  - EACH BUILDING PAD SHALL BE CONSTRUCTED WITH PROPOSED PAD ELEVATION, AND COMPACTED TO A MINIMUM OF 98% SOIL COMPACTION IN 12" LIFTS.
  - GEOTECHNICAL CERTIFICATIONS SHALL BE PROVIDED AND FURNISHED TO THE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL SHOW SATISFACTORY RESULTS FOR SOIL MAKEUP AND DENSITY, AND AVOID USING THE SOIL PROFILE FOR THE PROPOSED PAD.
  - AS BUILT PANS SHALL BE PROVIDED VERIFYING ALL PROPOSED LOT GRADES ON THIS PLAN HAVE BEEN CONSTRUCTED PER PLAN. BUILDING PADS SHALL BE CONSTRUCTED TO WITHIN 1/4" OF PROPOSED PAD ELEVATIONS.
  - BUILDING SETBACKS NOT SHOWN ON PLAN (SEE TYPICAL LOT FINISHED DETAIL, THIS SHEET).
  - OWNER OWNS ALL EXCESS FILL.
  - CONTRACTOR TO REMOVE EXCESS FILL FROM PHASE C TO BE STORED AND USED WITH ARSENITE BANNA, AND WATERED UNTIL SOIL WITH 1% HUMIDITY AT ALL FINISHED BUILDS OF PADS AND ANY OTHER DISTURBED AREAS NOT HYDROSEDED. THESE AREAS SHALL BE WATERED ON EVIDENCE OF CEMENTATION IS OBSERVED, WHICH OCCURS LATER.
  - IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER BUILDING PADS ARE CONSTRUCTED, CONTRACTOR SHALL PROVIDE DRAINAGE DETAIL AS SHOWN ON SECTION A-A. CONTRACTOR SHALL PROVIDE DRAINAGE DETAIL AS SHOWN ON SECTION A-A. CONTRACTOR SHALL PROVIDE DRAINAGE DETAIL AS SHOWN ON SECTION A-A.
  - CONTRACTOR SHALL INSTALL TEMPORARY RETENTION PONDS, SWALES AND/OR BERMS TO PREVENT EROSION AND TO MAINTAIN PROPER STORMWATER RAINFALL FROM THE SITE DURING CONSTRUCTION.



- LEGEND:**
- 81.50 FINISH GRADE SPOT ELEVATION
  - 82.9 FINISH FLOOR ELEVATION
  - (B) LOT GRADING SECTION
  - (C) PROPOSED DRAINAGE FLOW
  - 87.25 FINISH GRADE ELEVATION (RETAINING WALL)



Project: Marion Oaks Unit 2 Improvement Plans  
 Location: SECTION 12 & TOWNSHIP 17 SOUTH RANGE 17 EAST, MARION COUNTY, FL

**Grading Plan 1D**

Sheet No. of 45  
 0007

Client: MARRON OAKS UNIT 2 IMPROVEMENT PLANS  
 2000 MARION COUNTY ROAD 2000  
 MARION COUNTY, FL 32003

**MMR MICHAEL W. RADCLIFFE ENGINEERING, INC.**

Professional Seal: MICHAEL W. RADCLIFFE, P.E.  
 License No. 12-122

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**

APPLICATION # 28457  
 APPROVAL DATE 10/12/24  
 EXPIRATION DATE 10/12/29

The applicant certifies that the information provided in this application is true and correct. The applicant understands that the County Engineer's approval is based on the information provided and does not constitute a warranty of any kind. The applicant agrees to indemnify and hold the County harmless from and against all claims, damages, costs, and expenses, including reasonable attorney's fees, arising from or due to the use of the information provided in this application.

**NOTICE:**  
 The approval of this application is subject to the conditions contained in the Marion County and Marion County Engineering Department's standard conditions of approval. The applicant agrees to accept the conditions of approval as a condition of the County's approval of this application.

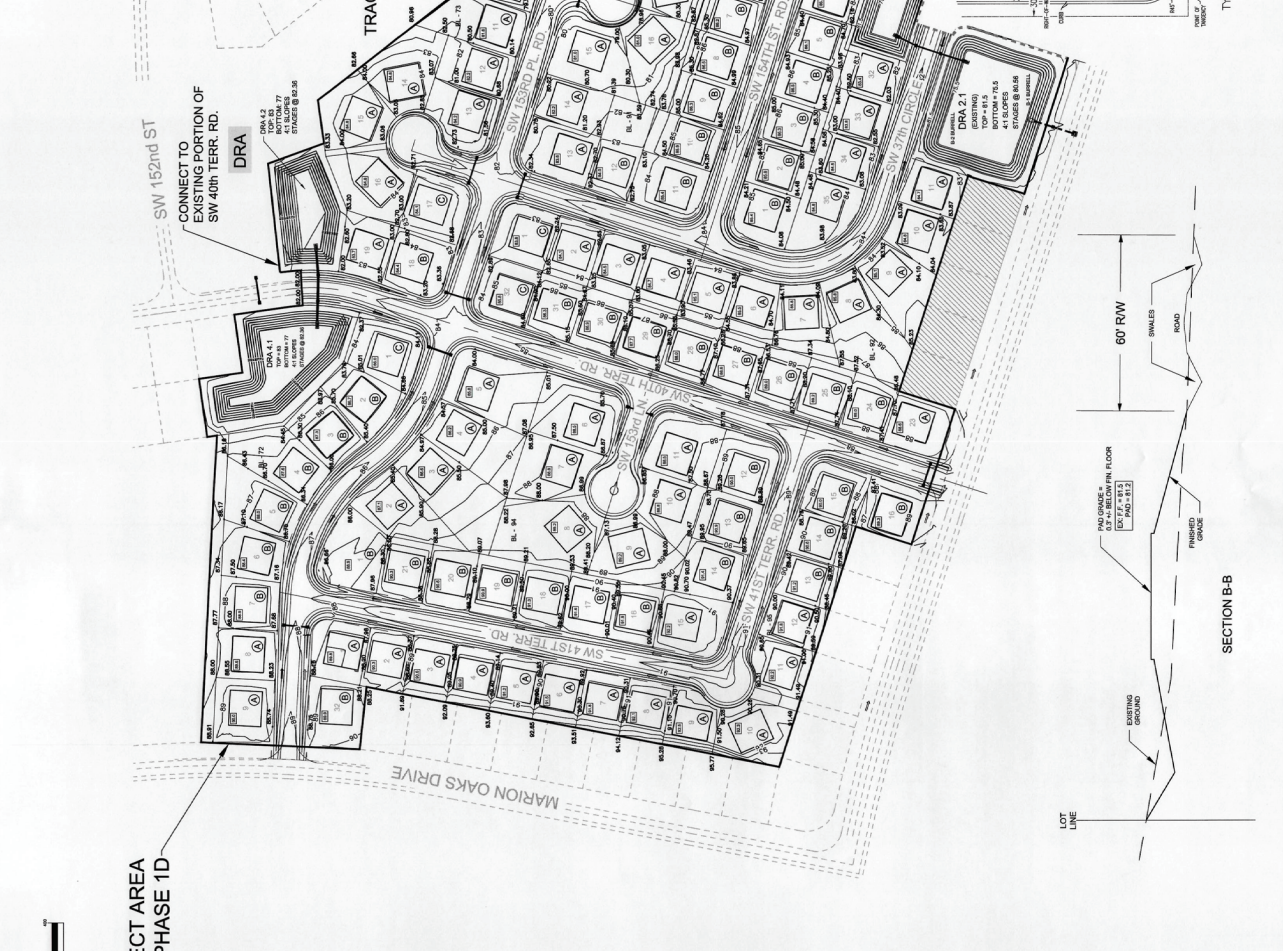
**Grading Notes:**

1. CAD FILE WITH 50 GRADING SURFACE TO BE PROVIDED.
2. FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED PER THIS DESIGN. USE OF A LOWER ELEVATION THAN SHOWN WILL BE AT THE RISK OF THE CONTRACTOR. MARION COUNTY BUILDING DEPARTMENT, SITE AND LOT DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.
3. ALL SWALES TO BE SODDED.
4. REASONABLE CARE WAS TAKEN IN THE DETERMINATION OF PROPOSED LOT AND PAD GRADES TO BE WITHIN THE 1% TO 2% SLOPE CRITERIA. APPROVED DRAINAGE PLAN.
5. EACH BUILDING PAD SHALL BE CONSTRUCTED WITH A CLEAR FILL TO A MIN. DEPTH OF 4" BELOW THE FINISH FLOOR ELEVATION. A MINIMUM OF 85% SOIL COMPACTION IN 2" LIFTS FOR EACH LOT PAD BY A GEOTECHNICAL ENGINEER AND DENSITY AND ANALYZING THE SOIL PROFILE DOWN TO 5' BELOW PAD ELEVATION.
6. ALL-BUILT PLANS SHALL BE PROVIDED VERIFYING ALL CONSTRUCTION PER PLAN. BUILDING PADS SHALL BE CONSTRUCTED TO WITHIN +/- OF PROPOSED PAD ELEVATIONS.
7. BUILDING TRACKS NOT SHOWN ON PLAN (SEE TYPICAL LOT GRADING DETAIL, THIS SHEET.) SETBACKS - FRONT 20', SIDE 5', REAR 20'.
8. EXCESS FILL FROM PHASE C TO BE STORED AND USED ON PHASE D.
9. ALL RIGHT-OF-WAY AND SWALES SHALL BE SODDED UPON PROJECT COMPLETION. ALLOW FOR THICKNESS OF SOIL AND OTHER UNDESIRABLE AREAS NOT SODDED SHALL BE SEED AND MAINTAINED UNTIL THE PROJECT HAS BEEN CERTIFIED COMPLETE, WHICHEVER OCCURS LATER.
10. IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER GRADING OPERATIONS IT MAY BE USED TO RAISE EXISTING GROUND NECESSARY OR STOCK PILED AT OWNERS DISCRETION.
11. SEE SHEET 003 FOR INTERIOR ROAD TYPICAL SECTION DETAIL.
12. THE CONTRACTOR SHALL PROVIDE DOWNSTREAM SILTATION PROTECTION DURING CONSTRUCTION. IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER GRADING OPERATIONS IT MAY BE USED TO RAISE EXISTING GROUND NECESSARY OR STOCK PILED AT OWNERS DISCRETION.
13. CONTRACTOR SHALL INSTALL TEMPORARY NECESSARY TO PREVENT DISCHARGE OF TURBID RUNOFF FROM THE SITE DURING CONSTRUCTION.

**LEGEND:**

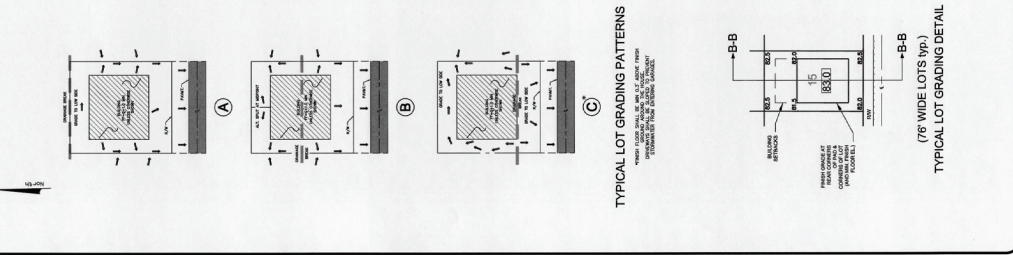
BLS. TYPICAL FINISH GRADE SPOT ELEVATION  
 BLS. TYPICAL MINIMUM FINISH FLOOR ELEVATION  
 BLS. LOT GRADING DIMENSION  
 BLS. PROPOSED DRAINAGE FLOW

MARION COUNTY PROJECT No. 28457



**PROJECT AREA PHASE 1D**

GRAPHIC SCALE  
 1" = 100' FT.  
 1/8" = 10' FT.



		<b>MICHAEL W. RADTKE ENGINEERING, INC.</b> 1111 E. Lake Nona Avenue, Suite 100, Lake Nona, Florida 32159 Phone: (407) 939-1000 Fax: (407) 939-1010 Website: www.mwr-engineering.com	
Project: Marion Oaks Unit 2 Improvements Plans Location: 2021-22 Date: 2021-22 Scale: 1" = 150'	Prepared: MWR Checked: MWR Date: 12-1-22	Title: Soil Boring Locations Project: Marion Oaks Unit 2 Improvements Plans Location: 2021-22 Date: 2021-22 Scale: 1" = 150'	Sheet No.: 45 of 45

**MARION COUNTY, FLORIDA**  
 APPLICATION #: 28457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information provided. The applicant is responsible for the accuracy and completeness of the information provided. The approval of these plans by Marion County is not a guarantee of the accuracy or completeness of the information provided. The applicant is responsible for the accuracy and completeness of the information provided.

MARION COUNTY PROJECT  
 No. 28457

= SOIL BORING LOCATION  
 = DRAINAGE RETENTION AREA



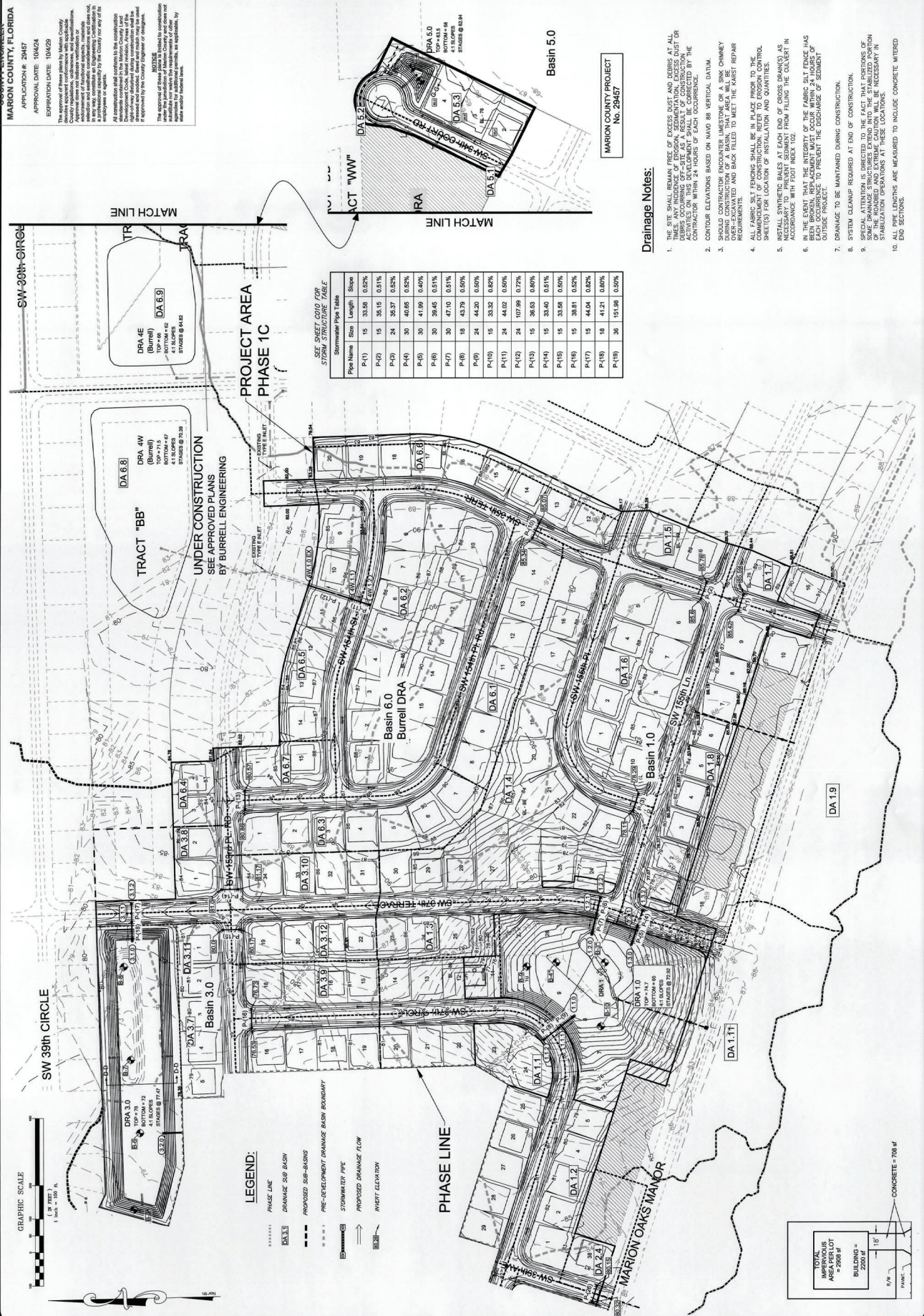
- NOTE:**
- SEE GEOTECHNICAL REPORT BY CENTRAL TESTING LABORATORY DATED 11-24-21 FOR DETAILED INFORMATION ON SOIL BORINGS.
  - BORINGS LABELED WITH \* ARE FROM UNIVERSAL ENGINEERING SCIENCES GEOTECHNICAL REPORT DATED 4-8-19.
  - SEE PLAN AND PROFILE SHEETS FOR DETAILED ROAD BORING INFORMATION.
  - SEE DRA CROSS SECTIONS FOR DETAILED DRA BORING INFORMATION.

**SWAMP-ENGINEER**  
MARION COUNTY, FLORIDA  
APPLICATION # 29457  
EXPIRATION DATE: 10/02/24

The approval of these plans by Marion County does not constitute an endorsement or approval of the design or construction of the project. The engineer shall be responsible for the design and construction of the project. The engineer shall also be responsible for the maintenance and repair of the project. The engineer shall also be responsible for the safety of the project. The engineer shall also be responsible for the environmental impact of the project. The engineer shall also be responsible for the social and economic impact of the project. The engineer shall also be responsible for the cultural and historical impact of the project. The engineer shall also be responsible for the aesthetic impact of the project. The engineer shall also be responsible for the public health and safety impact of the project. The engineer shall also be responsible for the quality of life impact of the project. The engineer shall also be responsible for the overall impact of the project on the community and the environment.

**MICHAEL W. RADCLIFFE ENGINEERING, INC.**  
13-026718 - MARION COUNTY PROJECT No. 29457  
13-026718 - MARION COUNTY PROJECT No. 29457

Project Name: Marion Oaks Unit 2 Improvement Plans  
Location: 2232 SW 10th Street, Marion County, FL 32003  
Scale: 1" = 200'  
Date: 2/22/22  
Drawn: MKR  
Checked: MKR  
Approved: MKR

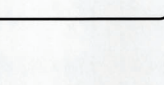
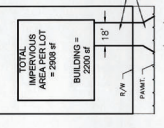


SEE SHEET C-010 FOR STORM STRUCTURE TABLE

Pipe Name	Size	Length	Slope
P-(1)	15	33.08	0.82%
P-(2)	15	36.15	0.81%
P-(3)	24	36.37	0.82%
P-(4)	30	40.88	0.82%
P-(6)	30	41.99	0.49%
P-(6)	30	39.45	0.81%
P-(7)	30	47.10	0.81%
P-(8)	18	43.79	0.85%
P-(8)	24	44.20	0.69%
P-(10)	15	33.32	0.82%
P-(11)	24	44.02	0.67%
P-(12)	24	107.68	0.72%
P-(13)	15	36.83	0.80%
P-(14)	15	33.60	0.80%
P-(15)	15	36.81	0.82%
P-(17)	15	44.04	0.82%
P-(18)	18	41.21	0.80%
P-(19)	36	151.98	0.50%

**Drainage Notes:**

- THE SITE SHALL REMAIN FREE OF EXCESS DIRT AND DEBRIS AT ALL TIMES. ANY INCORPORATION OF EROSION, SEDIMENTATION, EXCESS DIRT OR EXCESS DEBRIS SHALL BE REMOVED IMMEDIATELY. ALL ACTIVITIES ON THIS DEVELOPMENT SHALL BE CONDUCTED BY THE CONTRACTOR WITHIN 24 HOURS OF EACH OCCURRENCE.
- CONTIGUOUS ELEVATIONS BASED ON NAVD 88 VERTICAL DATUM.
- SHOULD CONTRACTOR ENCOUNTER LIMESTONE OR A SINK CHANNEY OVER EXCAVATED AND BACK FILLED TO MEET THE RAISED REQUIREMENTS.
- ALL FABRIC SET FENCINGS SHALL BE IN PLACE PRIOR TO THE INSTALLATION OF THE DRAINAGE SYSTEM.
- INSTALL SYNTHETIC BALES AT EACH END OF CROSS DRAIN(S) AS NECESSARY TO PREVENT EROSION FROM FILLING THE COLLETT IN THE EVENT THAT THE INTEGRITY OF THE FABRIC SET FENCE HAS BEEN BROKEN. REPLACEMENT MUST OCCUR WITHIN 24 HOURS OF THE OCCURRENCE TO PREVENT THE DISCHARGE OF SEDIMENT OUTSIDE PROJECT.
- DRAINAGE TO BE MAINTAINED DURING CONSTRUCTION.
- SYSTEM CLEANUP REQUIRED AT END OF CONSTRUCTION.
- SPECIAL ATTENTION IS DIRECTED TO THE FACT THAT PORTIONS OF SOME DRAINAGE STRUCTURES EXTEND INTO THE STABILIZED PORTION OF THE PROJECT. SPECIAL CARE SHALL BE NECESSARY IN STABILIZATION OPERATIONS AT THESE LOCATIONS.
- ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE UNIFIED END SECTIONS.



<p>Project Name: <b>Marion Oaks Unit 2 Improvement Plans</b>                  Location: SECTION 26 &amp; 27 TOWNSHIP 17 SOUTH, RANGE 27 EAST, MARION COUNTY, FL</p>		<p>Sheet No. <b>45</b>                  of <b>45</b></p>	
<p>Client: <b>Sub-Basins</b></p>		<p>Scale: 1" = 150'</p>	
<p>Checked: <b>MWR</b></p>	<p>Drawn: <b>MWR</b></p>	<p>Project: <b>2021-43</b></p>	<p>Date: <b>8/15/21</b></p>
<p>Company: <b>MICHAEL W. RADLITZ ENGINEERING, INC.</b>                  2811 S.E. Lake Wood Avenue, Suite 100, Palm Bay, FL 32909                  Phone: (321) 629-0000 Fax: (321) 629-1818                  Website: www.mwradlitz.com</p>		<p>City: <b>Marion County, FL</b>                  State: <b>FL</b>                  License No. <b>21493</b></p>	

**DESIGN ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/6/21  
 EXPIRATION DATE: 10/6/23

The applicant certifies that the information provided herein is true and correct to the best of their knowledge and belief, and that they are not providing any false or misleading information. The applicant further certifies that they have obtained all necessary permits and approvals from the appropriate authorities. The applicant understands that the County Engineer is not responsible for the design or construction of the project, and that the County Engineer is only responsible for reviewing the plans for compliance with the applicable codes and standards. The County Engineer's approval does not constitute a warranty or guarantee of any kind, and the County Engineer is not liable for any damages, including consequential damages, arising from the use of the plans. The County Engineer's approval is subject to the terms and conditions of the applicable codes and standards, and the County Engineer reserves the right to withdraw or suspend the approval at any time if the applicant fails to comply with the applicable codes and standards.

**MARION COUNTY PROJECT**  
**NO. 29457**



- LEGEND**
- PROPOSED SUB-BASINS
  - - - PRE-DEVELOPMENT FLOW
  - - - POST-DEVELOPMENT FLOW

SUB-BASIN	TOTAL AREA (sf)	TOTAL AREA (Ac)	IMPERVIOUS AREA (sf)	IMPERVIOUS AREA (Ac)
1.1	102,427	2.35	57,868	1.32
1.2	26,441	0.60	14,267	0.33
1.3	26,441	0.60	14,267	0.33
1.4	26,441	0.60	14,267	0.33
1.5	26,441	0.60	14,267	0.33
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**MR** MICHAEL W. RADLFFER ENGINEERING, INC.  
 3117 S.E. Lake Way Avenue, Suite 17, Lake Park, FL 32053  
 Phone: 321-221-1171 Fax: 321-221-1172  
 Website: www.mradlffere.com  
 License No. 12024  
 State of Florida  
 Professional Engineer  
 Civil  
 License No. 12024  
 State of Florida  
 Professional Engineer  
 Civil

Project Name: Marion Oaks Link 2 Improvement Plans  
 Location: Section 22 & Township 17 South, Range 11 East, Marion County, FL

Sheet No. of 0008 of 45

Checked	MWR	Date	12-1-22
Designed	MWR	Date	12-1-22
Drawn	MWR	Date	12-1-22
Reviewed	MWR	Date	12-1-22



**MARION COUNTY, FLORIDA**  
 APPLICATION # 28457  
 APPROVAL DATE: 10/6/24  
 EXPIRATION DATE: 10/6/29

**MARION COUNTY PROJECT**  
 No. 28457

**DRAINAGE PLAN 1D**  
 PROJECT: MARION COUNTY LINK 2 IMPROVEMENTS PHASE 1D  
 SHEET NO. 102 OF 102  
 DATE: 12-1-22  
 DRAWN BY: MJK  
 CHECKED BY: MJK  
 APPR. BY: MJK  
 PROJECT: MARION COUNTY LINK 2 IMPROVEMENTS PHASE 1D  
 SHEET NO. 102 OF 102

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29447  
 APPROVAL DATE: 10/4/23  
 The approval of these plans by Marion County is based on the information provided by the applicant and does not constitute a warranty or guarantee of any kind. The County Engineer is not responsible for the design or construction of the project. The County Engineer is not responsible for the design or construction of the project. The County Engineer is not responsible for the design or construction of the project.

**Stormwater Pipe Table**

Pipe Name	Size	Length	Slope
P-2(1)	24	66.81	0.51%
P-2(1)	30	56.28	0.52%
P-2(2)	24	54.96	0.51%
P-2(3)	18	45.05	0.51%
P-2(4)	18	43.78	0.50%
P-2(5)	15	37.21	1.02%
P-2(6)	15	33.00	0.52%
P-2(7)	15	36.10	0.51%
P-2(8)	15	35.43	0.51%
P-2(9)	36	44.68	0.52%
P-3(1)	36	41.39	0.50%
P-3(2)	24	33.02	0.70%
P-3(3)	15	34.34	0.52%
P-3(4)	18	36.17	1.02%
P-3(5)	18	32.45	0.83%
P-3(6)	18	34.62	0.52%
P-3(7)	18	36.61	0.52%

- Drainage Notes:**
- THE SITE SHALL REMAIN FREE OF EXCESS SILT AND DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE DRAINAGE SYSTEMS AS A RESULT OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE DRAINAGE SYSTEMS AS A RESULT OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE DRAINAGE SYSTEMS AS A RESULT OF CONSTRUCTION.
  - CONTOUR ELEVATIONS BASED ON NAVD 88 VERTICAL DATUM.
  - SHOULD CONTRACTOR ENCOUNTER LIMESTONE OR A SINK CHIMNEY DURING CONSTRUCTION OF A BASIN, THAT AREA WILL BE REPAIRED AND BACK FILLED TO MEET THE FASTEST REPAIR REQUIREMENTS.
  - ALL FABRIC SILT FENCING SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. SHEETS FOR LOCATION OF INSTALLATION AND QUANTITIES.
  - INSTALL SYNTHETIC BALES AT EACH END OF CROSS (BANS) AS NECESSARY TO PREVENT SEDIMENT FROM CROSSING THE CULVERT IN EXCESS OF 10% OF THE CULVERT LENGTH. THE BALS SHALL BE PLACED AT THE END OF THE CULVERT AND MAINTAINED THROUGHOUT CONSTRUCTION.
  - ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE WETTED END SECTIONS.
  - SYSTEM CLEANUP REQUIRED AT END OF CONSTRUCTION.
  - ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO THE STABILIZED PORTION OF THE WETTED PORTION OF THE CULVERT. THE STABILIZED PORTION SHALL BE NECESSARY IN ORDER TO PREVENT SEDIMENT FROM CROSSING THE CULVERT.
  - ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE WETTED END SECTIONS.

**MARION COUNTY PROJECT**  
 NO. 29447

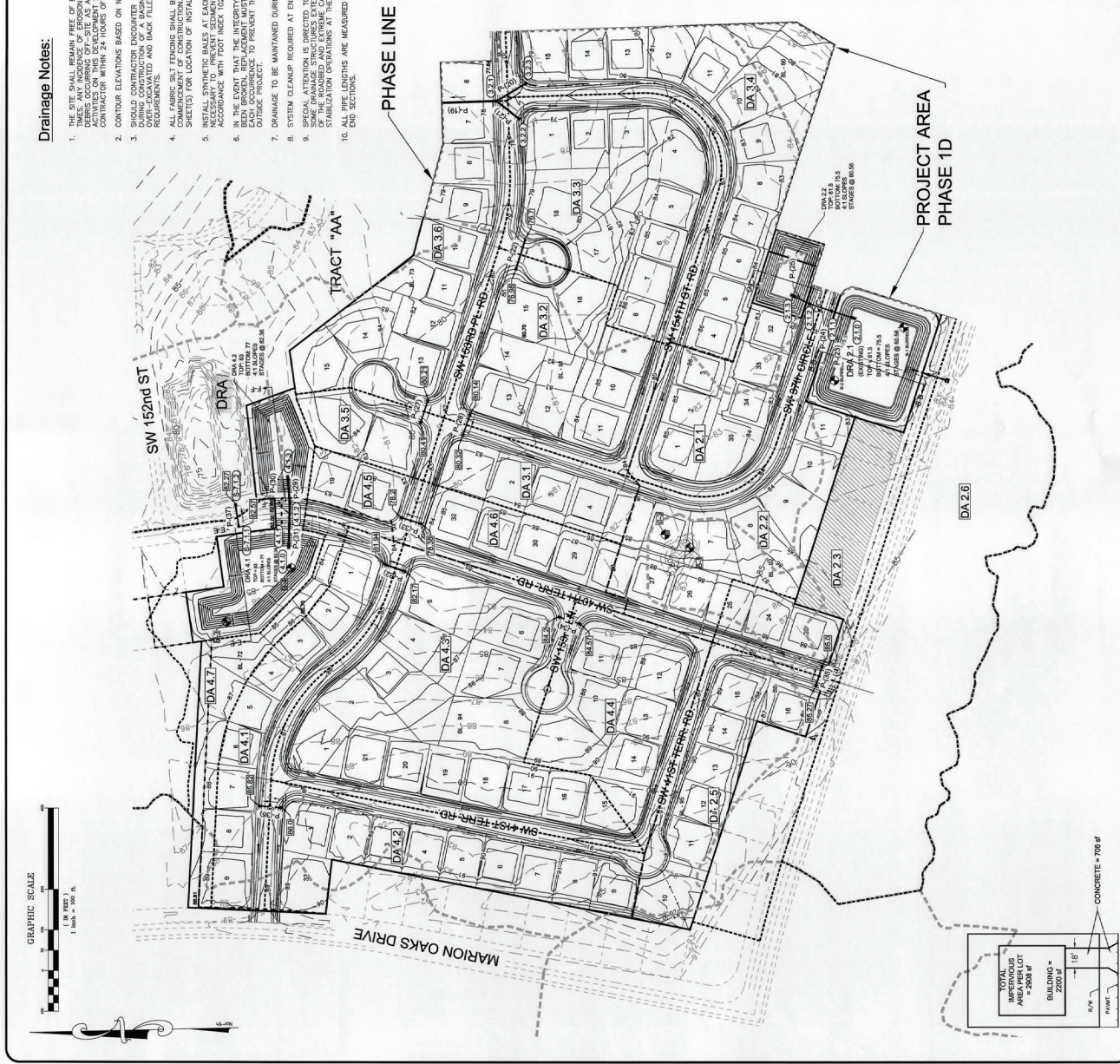
- LEGEND:**
- PHASE LINE
  - DA 3.1 DRAINAGE SUB BASIN
  - SUB BASIN BOUNDARY
  - STORMWATER PIPE
  - PROPOSED DRAINAGE FLOW
  - ▽ INVERT ELEVATION

**Stormwater Structure Table**

Structure Name	Structure Details	Alignment Details
3.1.1	Rectangular Junction Structure NF GRATE = 76.75 P-1(8) INV IN = 72.33 OFF = -22.07	STA: 189+68.84 GRATE = 76.45 OFF = -22.07
3.1.2	Rectangular Junction Structure NF GRATE = 76.75 P-1(7) INV IN = 72.91 OFF = -21.97	STA: 189+59.30 GRATE = 76.75 OFF = -21.97
3.2.3	Rectangular Junction Structure NF GRATE = 73.10 P-2(1) INV IN = 73.10 OFF = 30.241	STA: 117+75.53 GRATE = 73.10 OFF = 30.241
3.2.2	Rectangular Junction Structure NF GRATE = 73.05 P-2(1) INV IN = 73.05 OFF = 20.676	STA: 117+55.11 GRATE = 73.05 OFF = 20.676
3.2.1	Rectangular Junction Structure NF GRATE = 72.75 P-1(9) INV IN = 72.75 OFF = -22.000	STA: 117+45.30 GRATE = 72.75 OFF = -22.000
3.2.0	Rectangular Junction Structure NF GRATE = 75.15 P-1(10) INV IN = 72.00 OFF = -15.917	STA: 117+42.59 GRATE = 75.15 OFF = -15.917
4W.1.2	Rectangular Junction Structure NF GRATE = 69.00 P-1(11) INV IN = 69.00 OFF = 22.011	STA: 150+44.75 GRATE = 69.00 OFF = 22.011
4W.1.8 BX	Rectangular Junction Structure NF GRATE = 69.00 P-1(12) INV IN = 73.00 OFF = 129.154	STA: 150+44.75 GRATE = 69.00 OFF = 129.154
4W.1.1	Rectangular Junction Structure NF GRATE = 73.75 P-1(11) INV IN = 73.75 OFF = -22.007	STA: 150+44.68 GRATE = 73.75 OFF = -22.007
4.1.2	Rectangular Junction Structure NF GRATE = 77.25 P-3(9) INV IN = 77.25 OFF = 21.745	STA: 240+35.38 GRATE = 77.25 OFF = 21.745
4.1.1	Rectangular Junction Structure NF GRATE = 77.25 P-3(10) INV IN = 77.25 OFF = -22.442	STA: 240+35.96 GRATE = 77.25 OFF = -22.442
4.1.0	Rectangular Junction Structure NF GRATE = 81.15 P-3(10) INV IN = 77.00 OFF = -43.831	STA: 240+35.92 GRATE = 81.15 OFF = -43.831
4.1.3	Rectangular Junction Structure NF GRATE = 81.15 P-3(9) INV IN = 77.00 OFF = 30.657	STA: 240+42.11 GRATE = 81.15 OFF = 30.657

**Stormwater Structure Table**

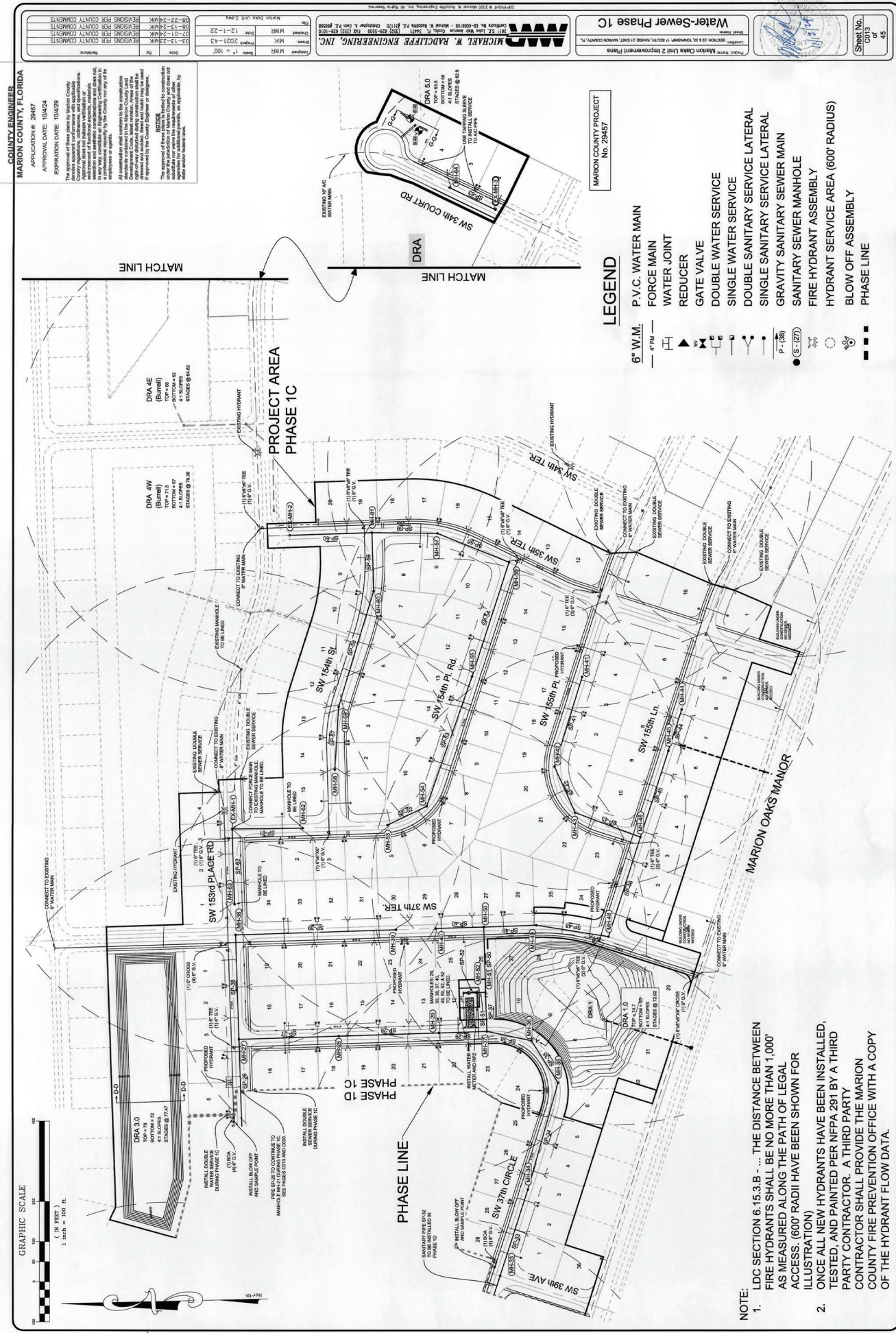
Structure Name	Structure Details	Alignment Details
1.1.0	Rectangular Junction Structure NF GRATE = 69.00 P-2(5) INV IN = 69.00 OFF = 86.178	STA: 208+21.14 GRATE = 69.00 OFF = 86.178
1.1.1	Rectangular Junction Structure NF GRATE = 75.43 P-4(8) INV IN = 67.22 OFF = 21.980	STA: 208+21.00 GRATE = 75.43 OFF = 21.980
1.1.2	Rectangular Junction Structure NF GRATE = 74.00 P-4(8) INV IN = 67.44 OFF = 21.799	STA: 208+22.36 GRATE = 74.00 OFF = 21.799
1.2.0	Rectangular Junction Structure NF GRATE = 67.59 P-2(1) INV IN = 67.59 OFF = 246.625	STA: 199+75.40 GRATE = 67.59 OFF = 246.625
1.2.1	Rectangular Junction Structure NF GRATE = 73.82 P-4(8) INV IN = 69.15 OFF = 20.249	STA: 189+83.73 GRATE = 73.82 OFF = 20.249
1.2.2	Rectangular Junction Structure NF GRATE = 74.00 P-4(8) INV IN = 66.44 OFF = 15.201	STA: 189+83.99 GRATE = 74.00 OFF = 15.201
1.3.0	Rectangular Junction Structure NF GRATE = 71.83 P-2(5) INV IN = 67.50 OFF = 62.280	STA: 168+80.75 GRATE = 71.83 OFF = 62.280
1.3.1	Rectangular Junction Structure NF GRATE = 75.53 P-4(4) INV IN = 67.17 OFF = 20.596	STA: 189+84.02 GRATE = 75.53 OFF = 20.596
1.3.2	Rectangular Junction Structure NF GRATE = 74.00 P-4(8) INV IN = 68.37 OFF = 20.488	STA: 189+79.83 GRATE = 74.00 OFF = 20.488
2.1.3	Rectangular Junction Structure NF GRATE = 78.89 P-2(5) INV IN = 73.50 OFF = 35.155	STA: 201+56.54 GRATE = 78.89 OFF = 35.155
2.1.0	Rectangular Junction Structure NF GRATE = 77.00 P-2(3) INV IN = 75.50 OFF = 66.916	STA: 201+50.88 GRATE = 77.00 OFF = 66.916
2.1.1	Rectangular Junction Structure NF GRATE = 75.88 P-2(4) INV IN = 75.88 OFF = 21.017	STA: 201+00.07 GRATE = 75.88 OFF = 21.017
2.1.2	Rectangular Junction Structure NF GRATE = 75.88 P-2(5) INV IN = 75.88 OFF = 22.915	STA: 201+41.32 GRATE = 75.88 OFF = 22.915
3.1.0	Rectangular Junction Structure NF GRATE = 73.58 P-4(5) INV IN = 72.80 OFF = 63.278	STA: 145+51.83 GRATE = 73.58 OFF = 63.278



TOTAL PLANNED  
 AREA PER LOT  
 = 2800 SF  
 BUILDING =  
 2200 SF







**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/23  
 EXPIRATION DATE: 10/4/23

This approval of these plans by Marion County Engineers is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information. The applicant is responsible for the accuracy and completeness of the information provided. The County Engineers are not responsible for the accuracy or completeness of the information provided by the applicant.

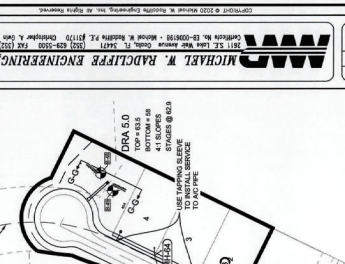
**NOTICE:**  
 The approval of these plans by Marion County Engineers is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information. The applicant is responsible for the accuracy and completeness of the information provided. The County Engineers are not responsible for the accuracy or completeness of the information provided by the applicant.

Project Name	Sheet No.	Date	Scale
Water-Sewer Phase 1C	1001	12-1-22	1" = 100'
Water-Sewer Phase 1C	1002	12-1-22	1" = 100'
Water-Sewer Phase 1C	1003	12-1-22	1" = 100'
Water-Sewer Phase 1C	1004	12-1-22	1" = 100'
Water-Sewer Phase 1C	1005	12-1-22	1" = 100'
Water-Sewer Phase 1C	1006	12-1-22	1" = 100'
Water-Sewer Phase 1C	1007	12-1-22	1" = 100'
Water-Sewer Phase 1C	1008	12-1-22	1" = 100'
Water-Sewer Phase 1C	1009	12-1-22	1" = 100'
Water-Sewer Phase 1C	1010	12-1-22	1" = 100'

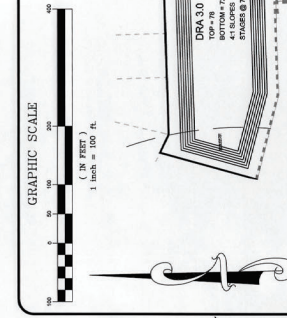
**MARION COUNTY PROJECT**  
 No. 29457

**WATER-SEWER PHASE 1C**

Project Name: Marion Oaks Unit 2 Improvement Plans  
 Location: 1111 S.W. 34th Avenue, Marion County, Florida 32003  
 Client: Michael W. Radcliff Engineering, Inc.  
 Designer: Michael W. Radcliff  
 Date: 12-1-22  
 Scale: 1" = 100'



- LEGEND**
- 6" W.M. 4" P.V.C. WATER MAIN
  - FORCE MAIN
  - WATER JOINT
  - REDUCER
  - GATE VALVE
  - DOUBLE WATER SERVICE
  - SINGLE WATER SERVICE
  - DOUBLE SANITARY SERVICE LATERAL
  - SINGLE SANITARY SERVICE LATERAL
  - GRAVITY SANITARY SEWER MAIN
  - SANITARY SEWER MANHOLE
  - FIRE HYDRANT ASSEMBLY
  - HYDRANT SERVICE AREA (600' RADIUS)
  - BLOW OFF ASSEMBLY
  - PHASE LINE



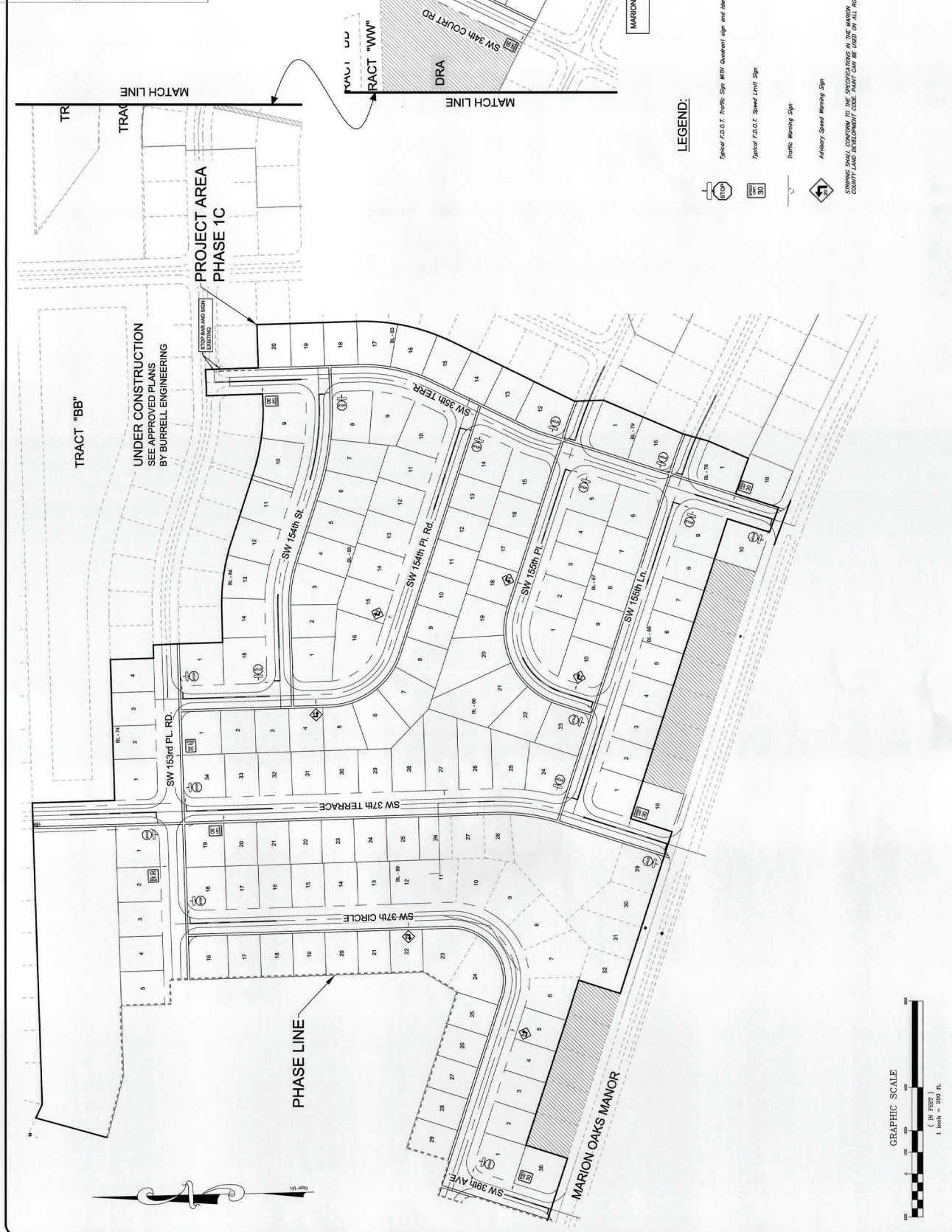
**NOTE:**

- LDC SECTION 6.15.3.B - ... THE DISTANCE BETWEEN FIRE HYDRANTS SHALL BE NO MORE THAN 1,000' AS MEASURED ALONG THE PATH OF LEGAL ACCESS. (600' RADII) HAVE BEEN SHOWN FOR ILLUSTRATION)
- ONCE ALL NEW HYDRANTS HAVE BEEN INSTALLED, TESTED, AND PAINTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR. A THIRD PARTY CONTRACTOR SHALL PROVIDE THE MARION COUNTY FIRE PREVENTION OFFICE WITH A COPY OF THE HYDRANT FLOW DATA.



Project Name: Marion Oaks Link 2 Improvement Plans	Location: Section 32 & 33 Township 17 North Range 11 East Marion County, FL	Sheet No. of 45
Client Name: MICHAEL W. RADLOFF ENGINEERING, INC.	2811 S.E. Lake Way Avenue - Suite 11, 32713 Chesapeake, VA 23040 2811 S.E. Lake Way Avenue - Suite 11, 32713 Chesapeake, VA 23040	of 45
Design: MWR	Drawn: MKK	Scale: 1" = 200'
Checked: MWR	Project: 2021-43	Date: 1-2021
Reasons for County Comments:	Reasons for County Comments:	Reasons for County Comments:

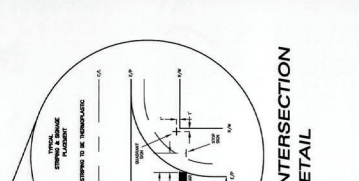
**SEAL**  
**REGISTERED PROFESSIONAL ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/02/21  
 EXPIRATION DATE: 10/02/26  
 The approval of these plans by Marion County constitutes approval of the project as shown on the plans. Approval does not constitute a warranty or a guarantee of any kind. The engineer and contractor shall be responsible for all construction and shall comply with all applicable laws, rules, and regulations. The engineer and contractor shall be responsible for all construction and shall comply with all applicable laws, rules, and regulations. The engineer and contractor shall be responsible for all construction and shall comply with all applicable laws, rules, and regulations.



<b>PROJECT NAME</b> Marion Oaks Unit 2 Improvement Plans Address: 224.25 TERRACE SW, MARION COUNTY, FL 32003 Project No. 2021-43 Date: 1-10-22		<b>STRIPING PLAN 1D</b> Scale: 1" = 100' Date: 1-10-22	
<b>DESIGNER</b> MWR Project: MWR Scale: 1" = 100' Date: 1-10-22		<b>CLIENT</b> MWR Project: MWR Scale: 1" = 100' Date: 1-10-22	
<b>REVISIONS PER COUNTY COMMENTS</b> 02-11-22 MK 02-10-22 MK 02-10-22 MK 02-10-22 MK 02-10-22 MK 02-10-22 MK		<b>REVISIONS PER COUNTY COMMENTS</b> 02-10-22 MK 02-10-22 MK 02-10-22 MK 02-10-22 MK 02-10-22 MK 02-10-22 MK	

**SOUPP/ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 2847  
 APPROVAL DATE: 04/24  
 EXPIRATION DATE: 04/29  
 The approval of these plans by Marion County is not a warranty, endorsement, or recommendation of any product, material, or method of construction. It is the responsibility of the contractor to provide all necessary permits and to comply with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for the proper installation and maintenance of the project. The contractor shall be responsible for the safety of the project and for the safety of the public. The contractor shall be responsible for the safety of the project and for the safety of the public. The contractor shall be responsible for the safety of the project and for the safety of the public.

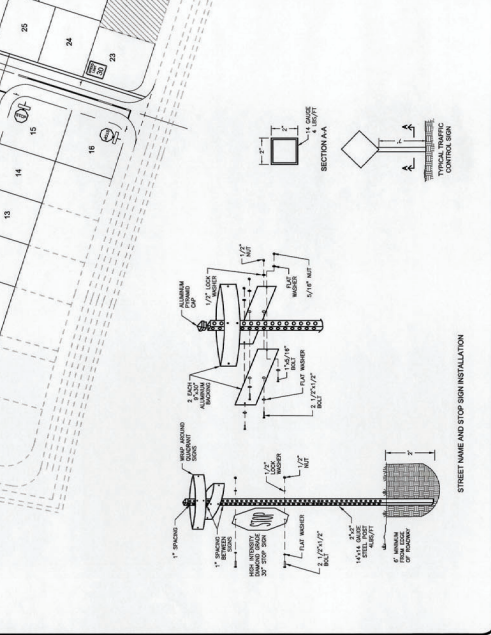
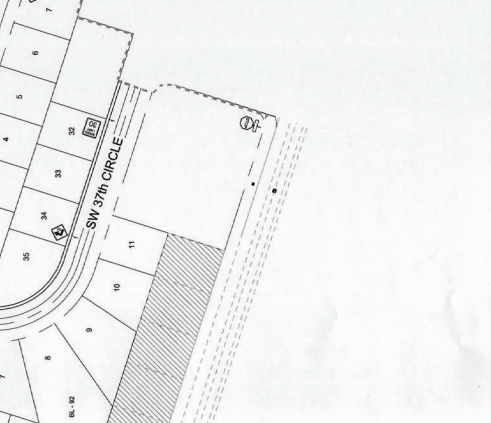
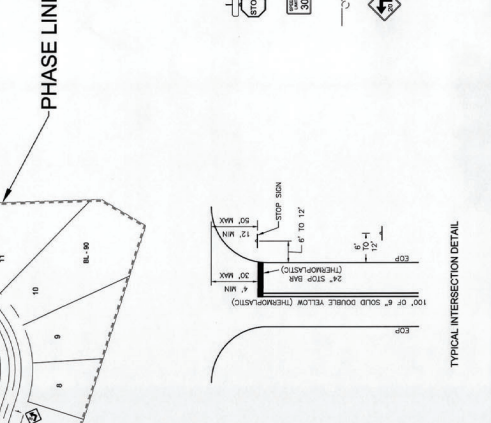
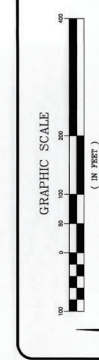
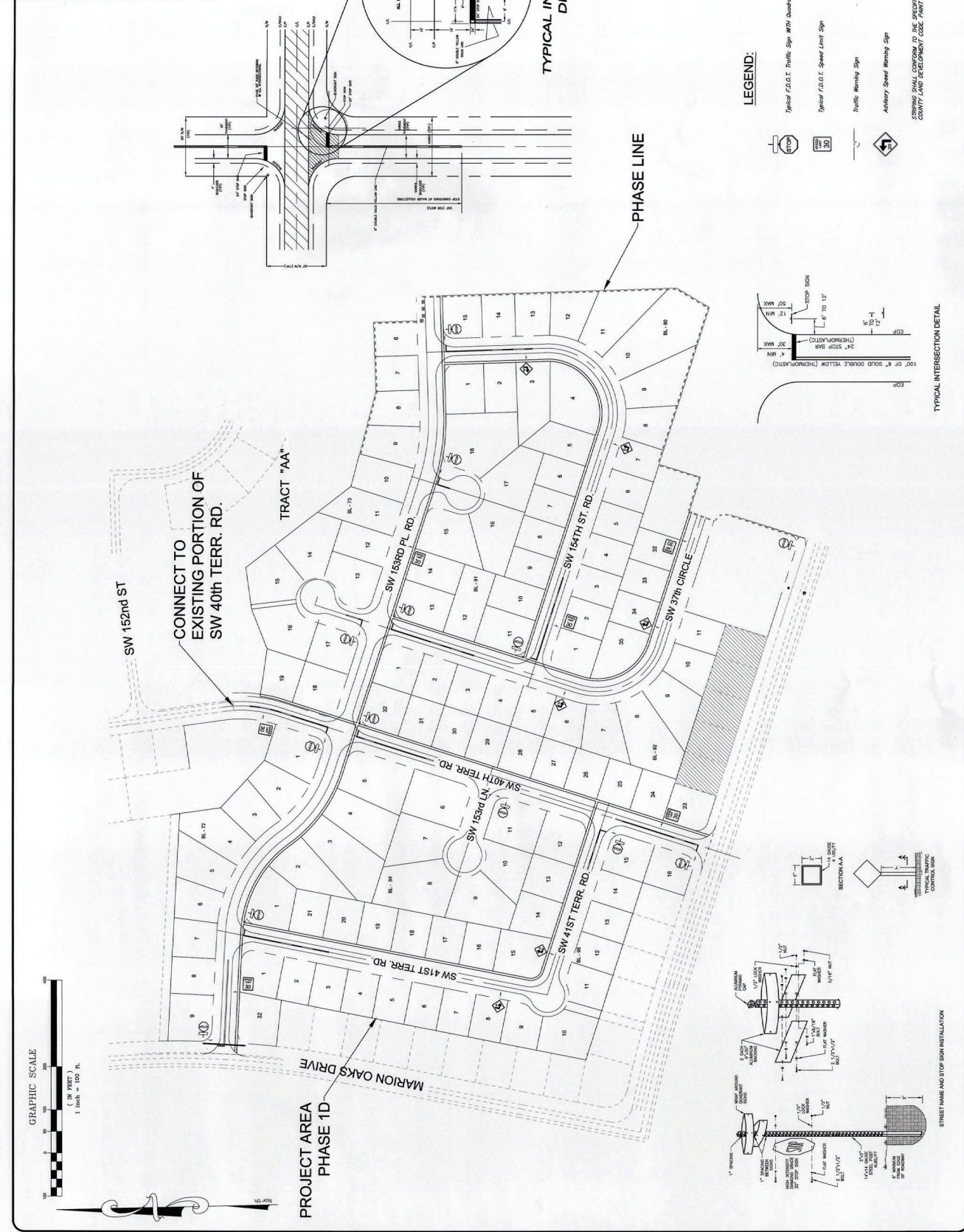
**MARION COUNTY PROJECT**  
 No. 28467



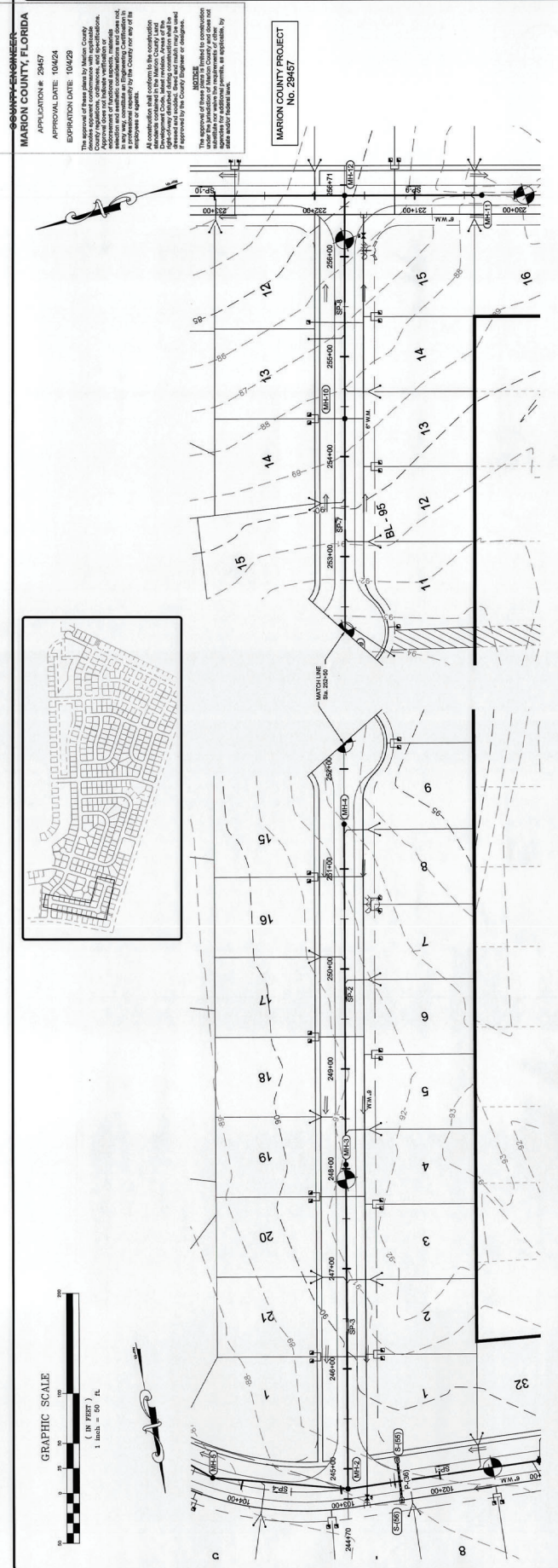
**LEGEND:**

- Typical F.O.D.T. Traffic Sign with Quadrant Sign and Identification Number
- Typical F.O.D.T. Speed Limit Sign
- Typical F.O.D.T. Stop Sign
- Typical F.O.D.T. Yield Sign
- Typical F.O.D.T. Advance Speed Warning Sign

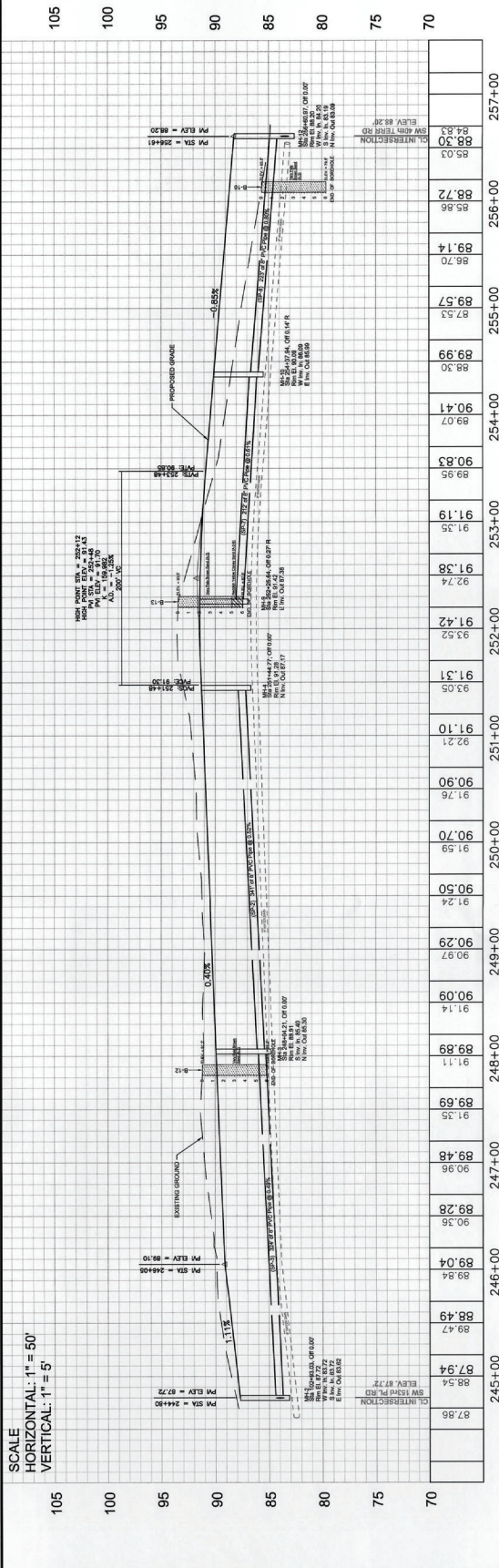
STRIPING SHALL CONFORM TO THE SPECIFICATIONS IN THE MARION COUNTY LAND DEVELOPMENT CODE. PAINT CAN BE USED ON ALL ROADS.



<p>DATE: 02/11/11                  SHEET NO. 017 of 45</p>	<p>PROJECT: Marion Oaks Line 2 Improvement Plans                  SW 41st Terr. Rd.                  FROM STA. 244+00 TO STA. 257+00</p>	<p>DESIGNED BY: M. W. Radtke                  CHECKED BY: M. W. Radtke                  DATE: 02/11/11</p>	<p>CONTRACT NO. 2009-0001-0001-0001                  CONTRACTOR: M. W. Radtke Engineering, Inc.</p>
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SW 41st TERR. RD. (60' WIDE RW)



<p>Project: Marion Oaks Link 2 Improvement Plans                  Sheet: 202403 24-1-01                  Date: 12-22-22                  Title: MARION COUNTY PROJECT No. 29457</p>	<p>Client: MWD                  Designer: MWD                  Checker: MWD                  Date: 12-22-22</p>	<p>Scale: 1" = 50'                  Date: 12-22-22</p>	<p>Revision: 1                  Description: REVISIONS PER COUNTY COMMENTS                  Date: 03-13-24                  By: MWD</p>	<p>Revision: 2                  Description: REVISIONS PER COUNTY COMMENTS                  Date: 07-01-24                  By: MWD</p>	<p>Revision: 3                  Description: REVISIONS PER COUNTY COMMENTS                  Date: 08-13-24                  By: MWD</p>
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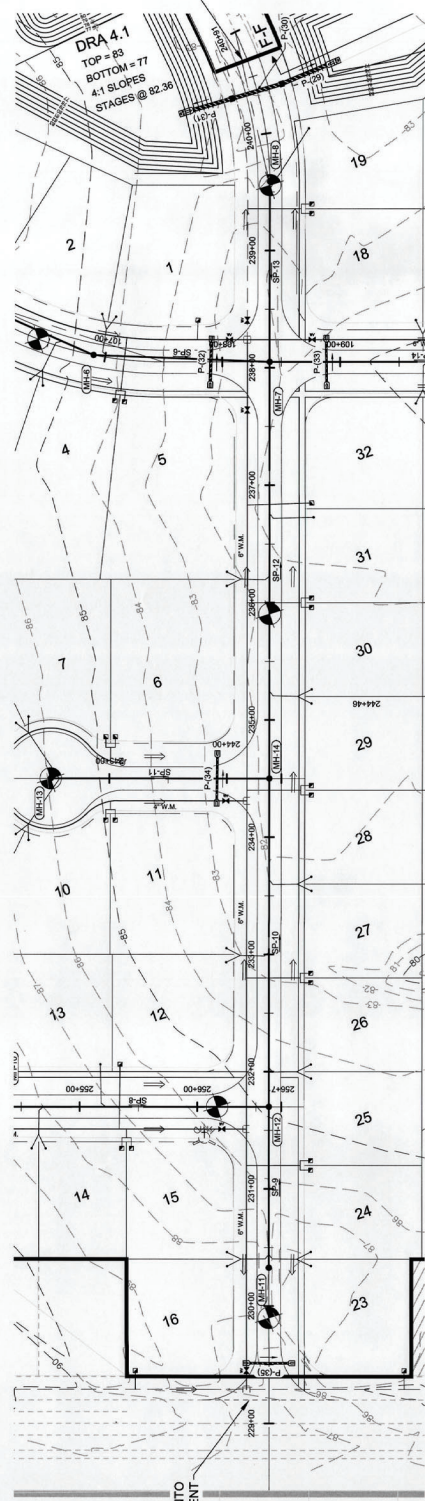
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/24/24  
 EXPIRATION DATE: 10/24/29

The approval of these plans by Marion County is not a warranty, express or implied, of the accuracy, completeness, or appropriateness of the information provided herein. The user of these plans shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The user of these plans shall also be responsible for obtaining all necessary approvals from the appropriate agencies and for compliance with all applicable laws, rules, and regulations. The user of these plans shall also be responsible for obtaining all necessary approvals from the appropriate agencies and for compliance with all applicable laws, rules, and regulations.

**MARION COUNTY PROJECT**  
 No. 29457

SAW CUT AND TIE INTO EXISTING PAVEMENT

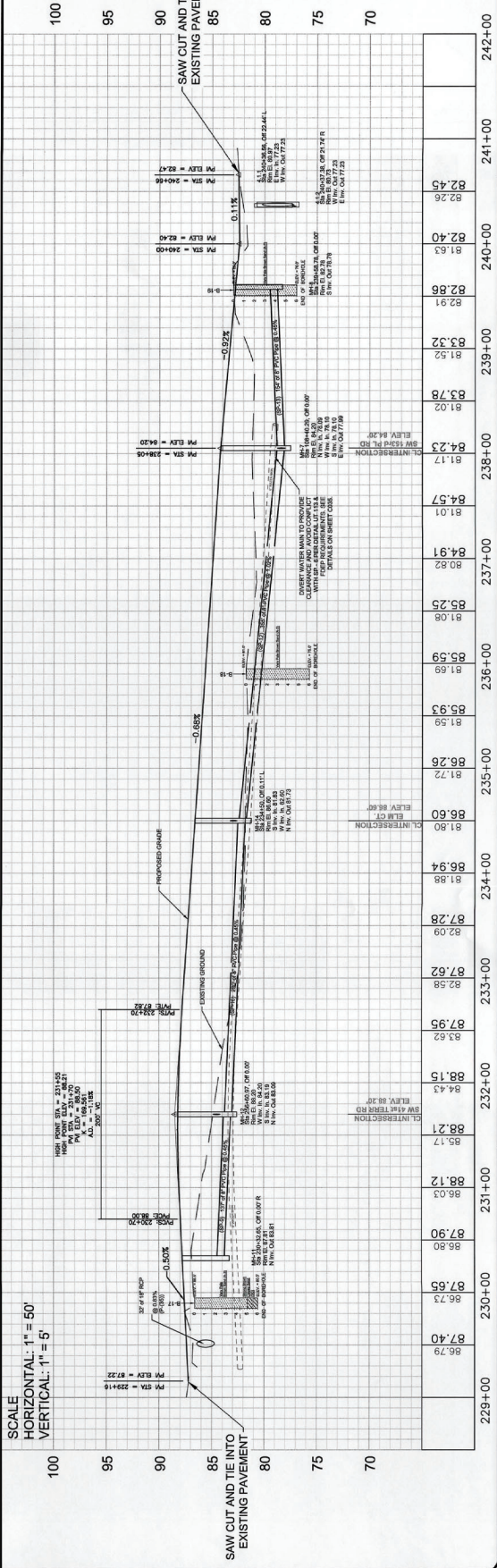
SAW CUT AND TIE INTO EXISTING PAVEMENT



SW 40th TERR. RD. (60' WIDE R/W)

SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

NOTE: DIMENSIONS IN THIS SCALE TO FACE VALVES  
 UNLESS OTHERWISE NOTED.

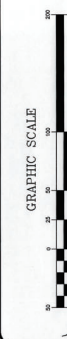
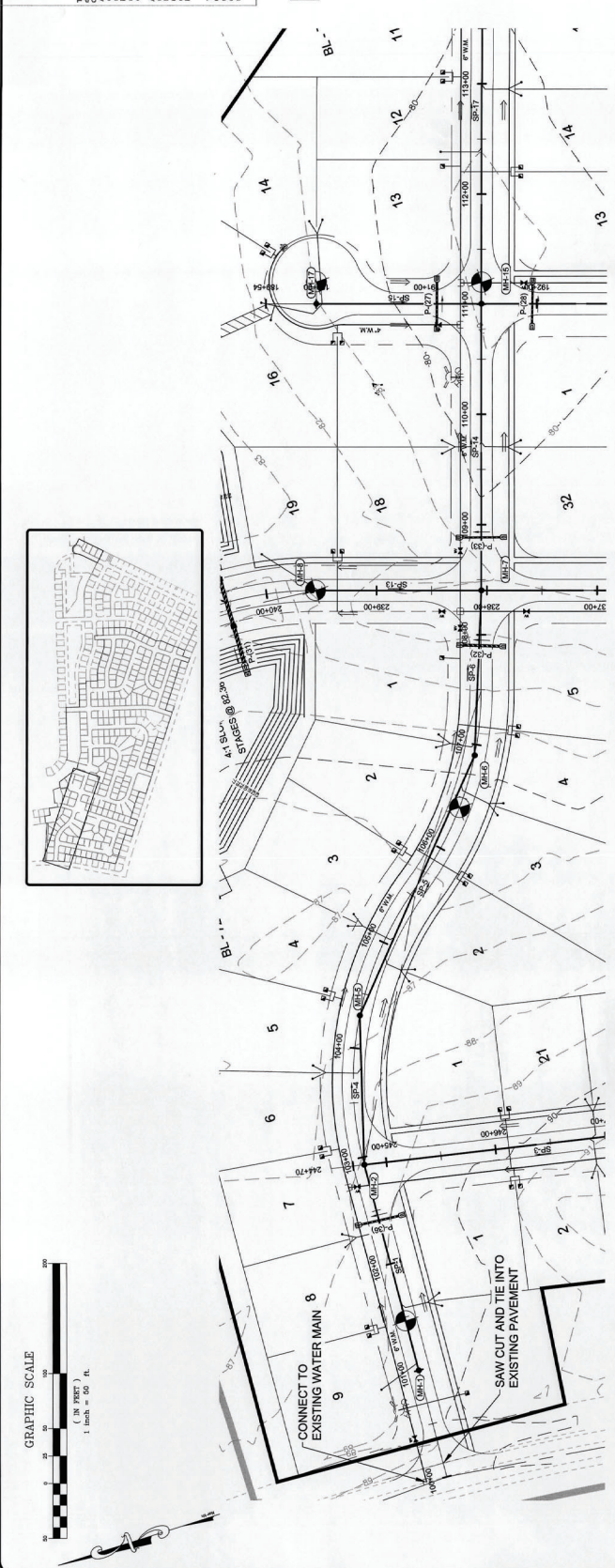


<p>PROJECT: Marion Oaks Unit 2 Improvement Plans                  SHEET NO. 19                  DATE: 02/21/13</p>	<p>DESIGNED BY: MJK                  CHECKED BY: MJK                  DATE: 02/21/13</p>	<p>PROJECT: Marion Oaks Unit 2 Improvement Plans                  SHEET NO. 19                  DATE: 02/21/13</p>
--	--	--

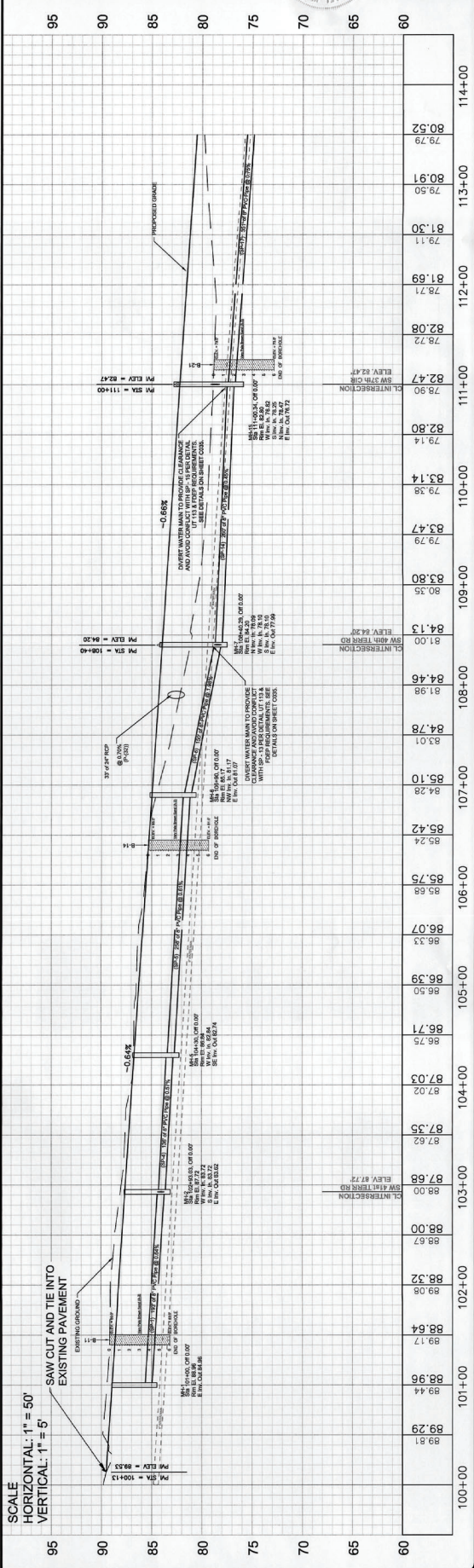
**SEAL** ENGINEER  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/02/12  
 EXPIRATION DATE: 10/02/20

The approval of these plans by Marion County does not constitute an endorsement or approval of the project or the engineer's services. The engineer is not responsible for the construction of the project or the performance of the project. The engineer is not responsible for the safety of the project or the safety of the public. The engineer is not responsible for the accuracy of the information provided in these plans. The engineer is not responsible for the completeness of the information provided in these plans. The engineer is not responsible for the timeliness of the information provided in these plans. The engineer is not responsible for the legibility of the information provided in these plans. The engineer is not responsible for the clarity of the information provided in these plans. The engineer is not responsible for the consistency of the information provided in these plans. The engineer is not responsible for the coherence of the information provided in these plans. The engineer is not responsible for the logic of the information provided in these plans. The engineer is not responsible for the soundness of the information provided in these plans. The engineer is not responsible for the validity of the information provided in these plans. The engineer is not responsible for the reliability of the information provided in these plans. The engineer is not responsible for the trustworthiness of the information provided in these plans. The engineer is not responsible for the truthfulness of the information provided in these plans. The engineer is not responsible for the accuracy of the information provided in these plans. The engineer is not responsible for the completeness of the information provided in these plans. The engineer is not responsible for the timeliness of the information provided in these plans. The engineer is not responsible for the legibility of the information provided in these plans. The engineer is not responsible for the clarity of the information provided in these plans. The engineer is not responsible for the consistency of the information provided in these plans. The engineer is not responsible for the coherence of the information provided in these plans. The engineer is not responsible for the logic of the information provided in these plans. The engineer is not responsible for the soundness of the information provided in these plans. The engineer is not responsible for the validity of the information provided in these plans. The engineer is not responsible for the reliability of the information provided in these plans. The engineer is not responsible for the trustworthiness of the information provided in these plans. The engineer is not responsible for the truthfulness of the information provided in these plans.

**MARION COUNTY PROJECT**  
 No. 29457



**SW 153 PLACE RD. (60' WIDE RW)**



SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

**REGISTERED PROFESSIONAL ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 28457  
 APPROVAL DATE: 10/02/20  
 EXPIRATION DATE: 10/02/24

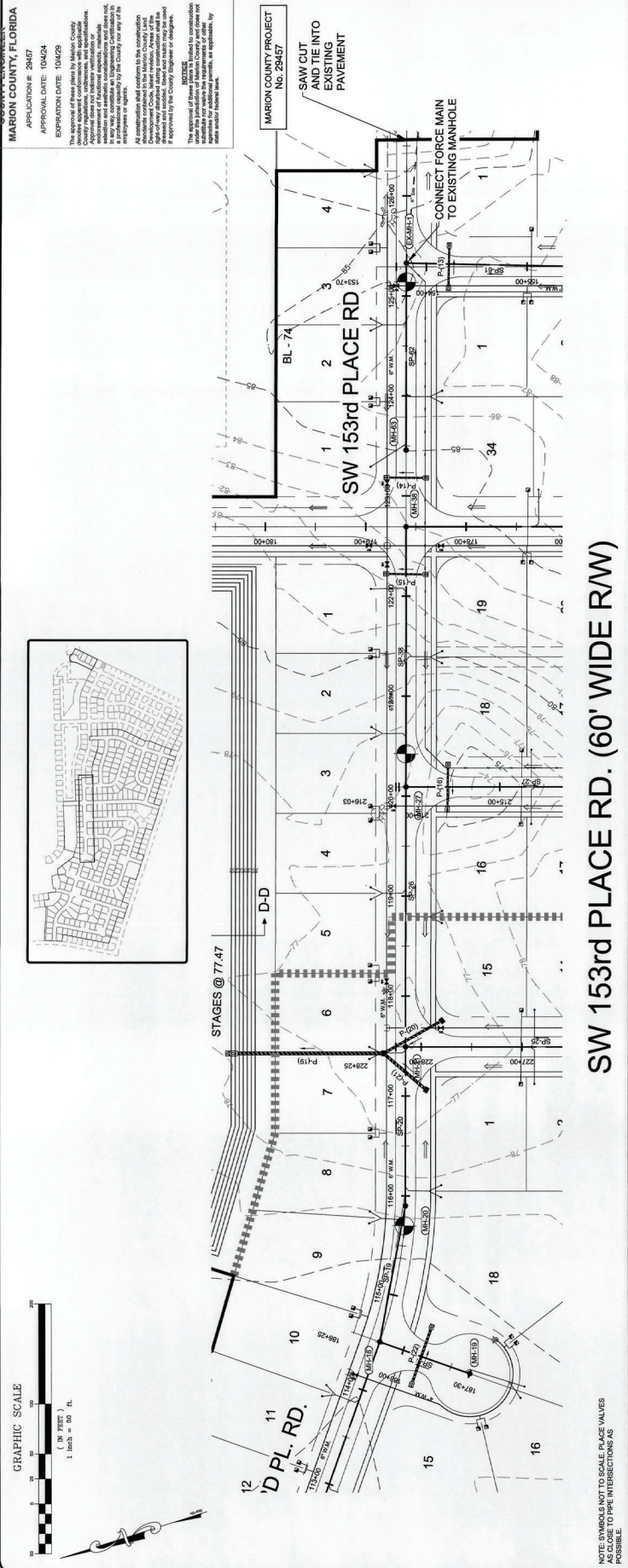
The approval of these plans by Marion County does not constitute an endorsement or approval of the design or construction of the project. The engineer is not responsible for the design or construction of the project. The engineer is not responsible for the design or construction of the project.

Project Name: Marion Oaks Unit 2 (Imp) 132-00-BD-120-00  
 Location: SECTION 29 & 30 TOWNSHIP 17 NORTH, RANGE 11 EAST, MARION COUNTY, FLORIDA  
 Drawing No.: 132-00-BD-120-00  
 Date: 10/02/20

**MICHAEL W. RADLOFF ENGINEERING, INC.**  
 3817 E. LAKE WOOD AVENUE, SUITE 100, Ocala, FL 32703  
 Phone: 352-237-1111  
 Fax: 352-237-1112  
 Website: www.radloffengineering.com

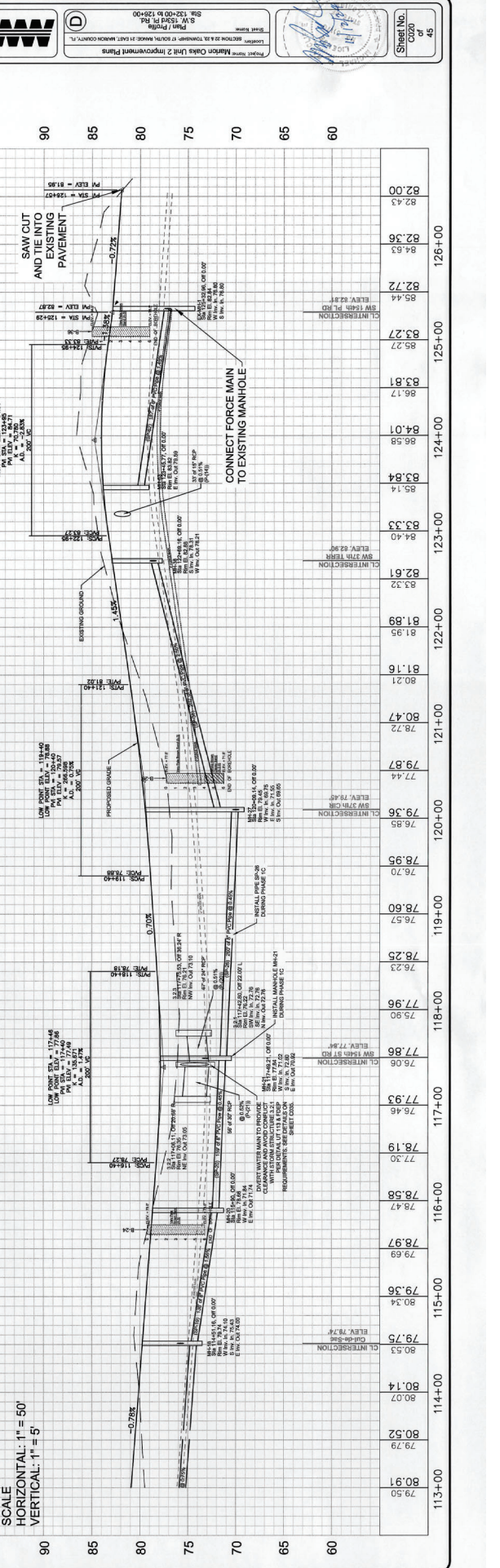
Project: Marion Oaks Unit 2 (Imp) 132-00-BD-120-00  
 Drawing No.: 132-00-BD-120-00  
 Date: 10/02/20

Project: Marion Oaks Unit 2 (Imp) 132-00-BD-120-00  
 Drawing No.: 132-00-BD-120-00  
 Date: 10/02/20



NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

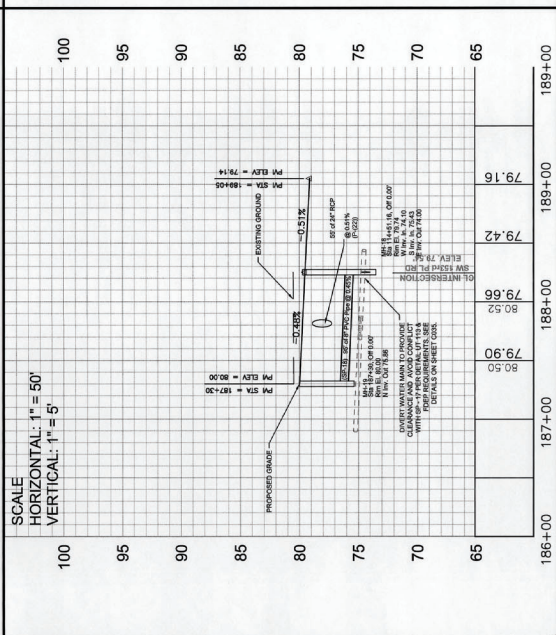
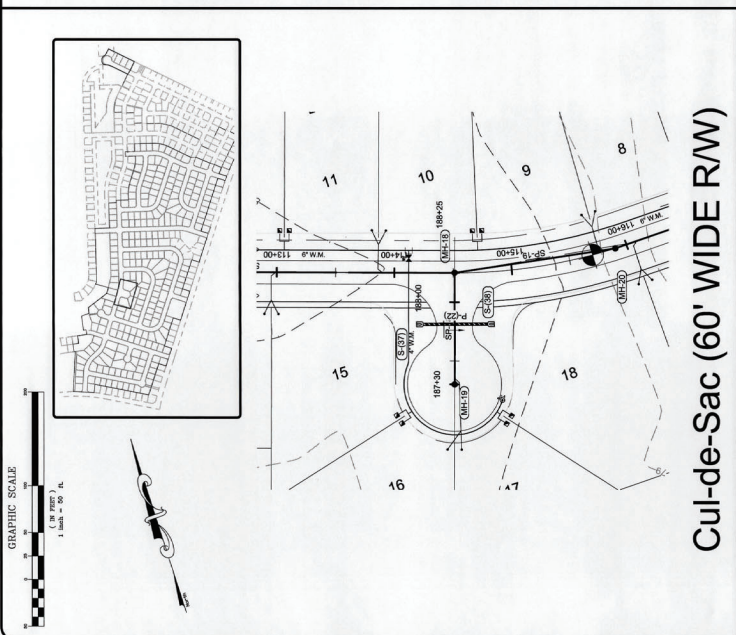
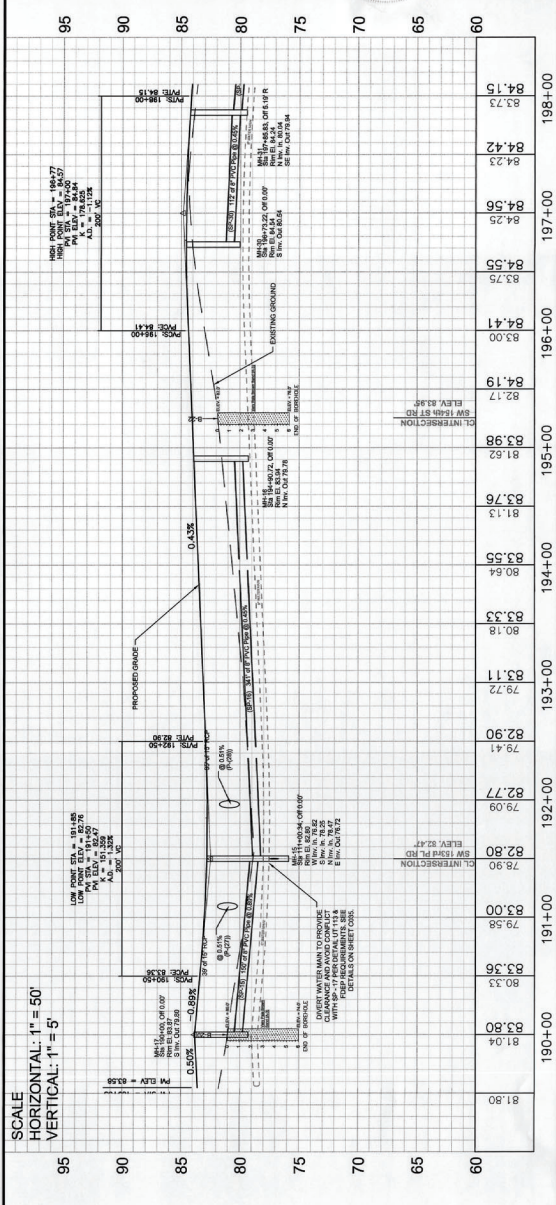
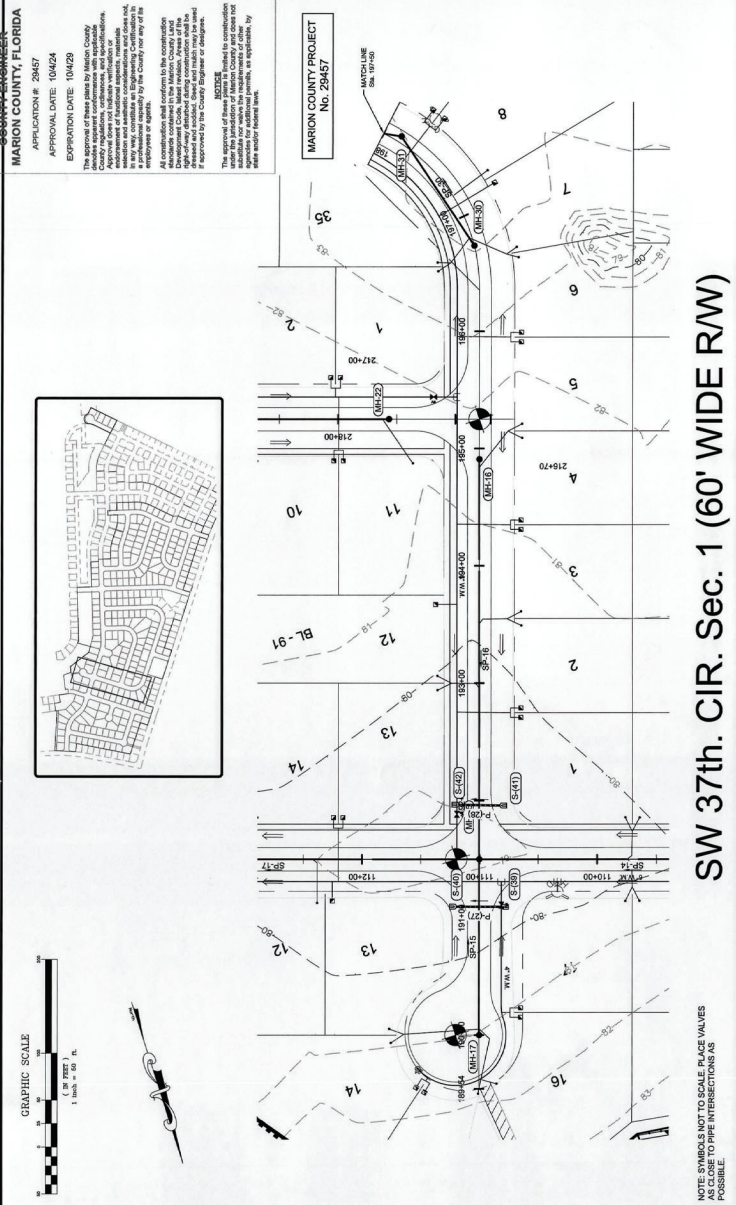
SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'



NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

**MARION COUNTY PROJECT NO. 29457**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 04/24  
 EXPIRATION DATE: 04/29  
 DESIGNER: MMR  
 CHECKED: MMR  
 DATE: 12-1-22  
 PROJECT: MARION COUNTY PROJECT NO. 29457  
 SHEET: 12-1-22  
 SCALE: 1" = 50'  
 PROJECT: MARION COUNTY PROJECT NO. 29457  
 SHEET: 12-1-22  
 SCALE: 1" = 50'  
 PROJECT: MARION COUNTY PROJECT NO. 29457  
 SHEET: 12-1-22  
 SCALE: 1" = 50'



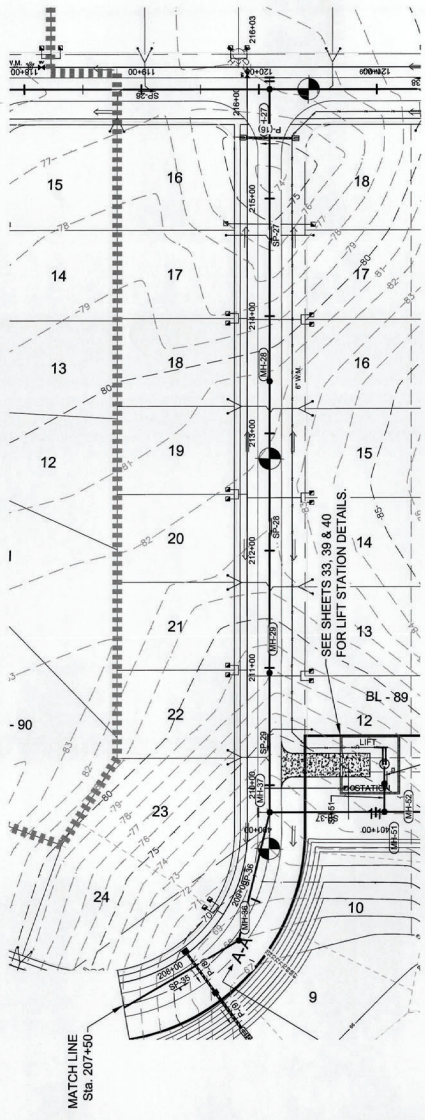


Project Name: Marion Oaks Unit 2 Improvement Plans	Location: SECTION 33, 34, TOWNSHIP 17 SOUTH, RANGE 27 EAST, MARION COUNTY, FL	Sheet No. of 45
Drawn: MJK	Checked: MJK	Scale: 1" = 50'
Date: 03-13-2016	Project: 2016-43	Revision: REVISIONS PER COUNTY COMMENTS
Date: 03-01-2016	Project: 12-1-22	Revision: REVISIONS PER COUNTY COMMENTS
Date: 03-13-2016	Project: 03-13-2016	Revision: REVISIONS PER COUNTY COMMENTS

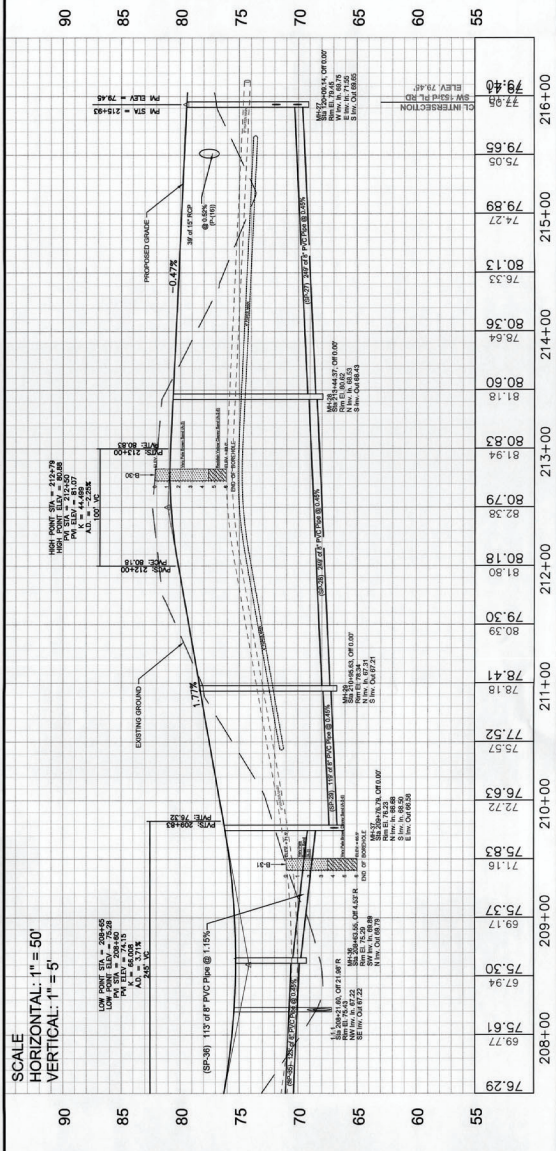
**MARION COUNTY PROJECT No. 29457**

APPROVAL DATE: 10/6/24  
 EXPIRATION DATE: 10/6/29

The undersigned, County Engineer, do hereby certify that the above described project conforms with the applicable provisions of the Marion County Code of Ordinances, Chapter 10, and that the project has been approved by the Marion County Board of Commissioners and the Marion County Board of Public Safety. This approval is based on the information provided to the County Engineer and does not constitute a warranty or representation of the County or any of its employees. All construction shall conform to the applicable provisions of the Marion County Code of Ordinances, Chapter 10, and the Marion County Board of Commissioners and the Marion County Board of Public Safety shall be notified of any construction that is not in accordance with the applicable provisions of the Code of Ordinances. If approved by the County Engineer or designee.

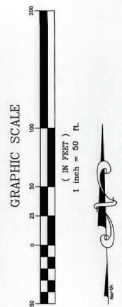


SW 37th CIR. Sec. 3 (60' WIDE RW)



SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

NOTE: SYMBOLS NOT TO SCALE. PLACE VALUES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

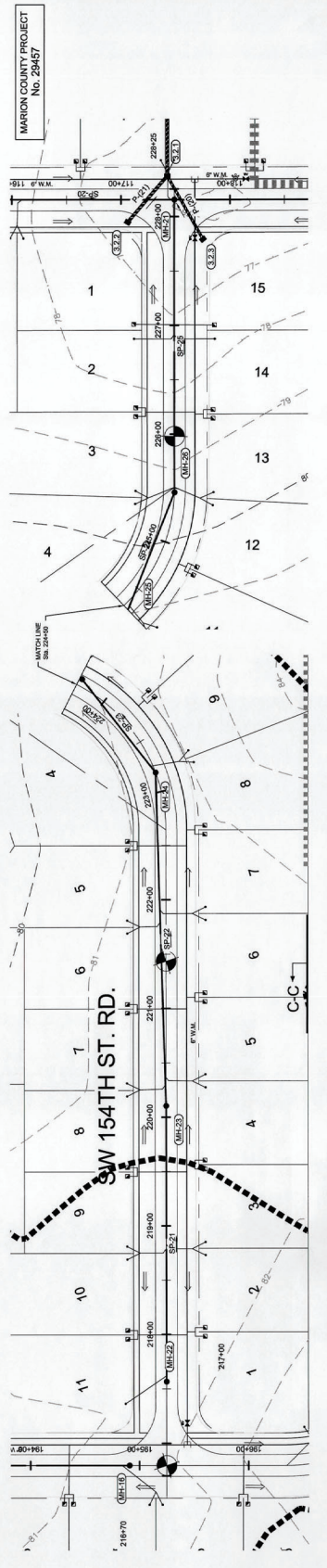
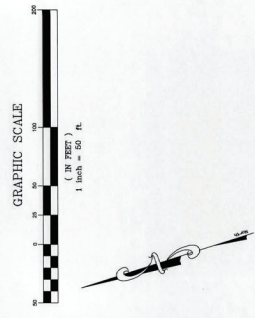


	<b>MMR</b> MICHAEL W. RADCLIFFE ENGINEERING, INC. 1511 E. Lake Nona Blvd., Suite 100 Lake Nona, FL 32159 Phone: 407.228.0000 Fax: 407.228.0001 www.radcliffeengineering.com	Project Name: Marlon Oaks Unit 2 Improvement Plans SW 154th St. Rd. STA. 217+00 to 228+06	Sheet No. 60 of 45
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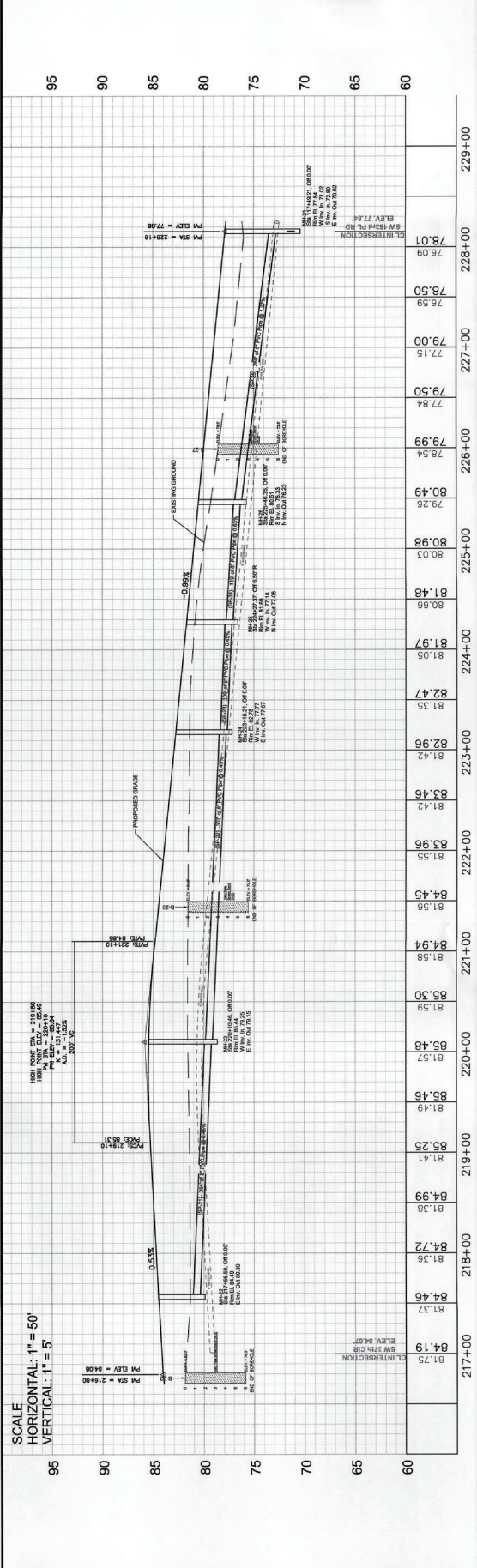
**COUNCILMEMBER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

This approval of plans by Marion County is based on the information provided by the applicant and does not constitute a warranty or guarantee of any kind. The applicant is responsible for the accuracy and completeness of the information provided. The County Engineer or other authorized personnel may be contacted for more information.

**NOTICE**  
 The approval of these plans by the County Engineer is based on the information provided by the applicant and does not constitute a warranty or guarantee of any kind. The applicant is responsible for the accuracy and completeness of the information provided. The County Engineer or other authorized personnel may be contacted for more information.



**SW 154th ST. RD. (60' WIDE R/W)**



NOTE: DIMENSIONS NOT TO SCALE. PLACE VALUES AS CLOSE TO SPIN INTERSECTIONS AS POSSIBLE.

SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

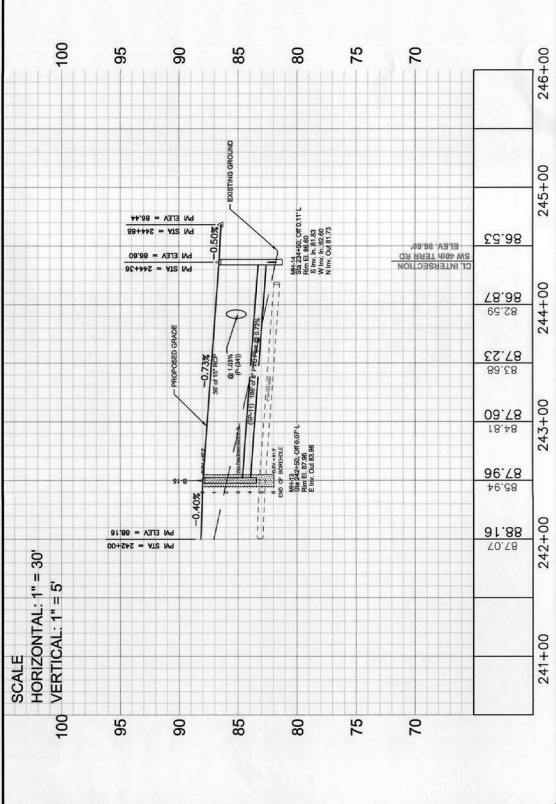
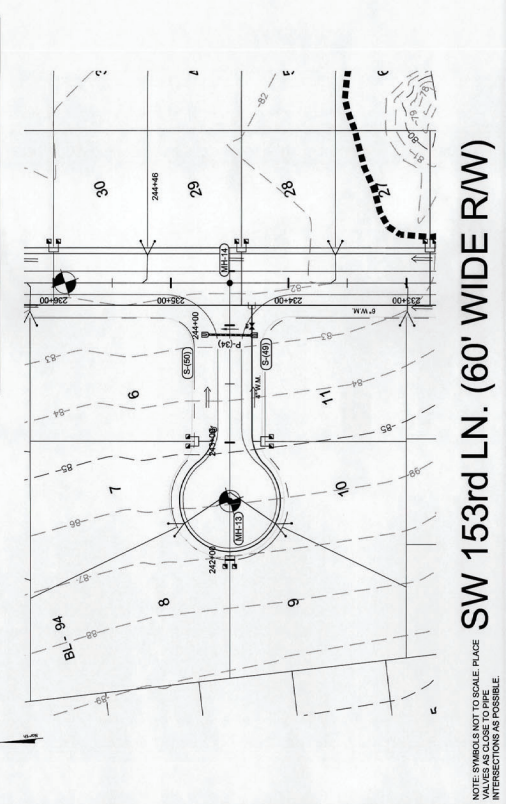
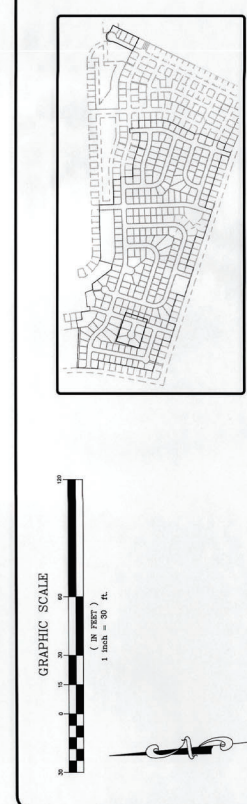
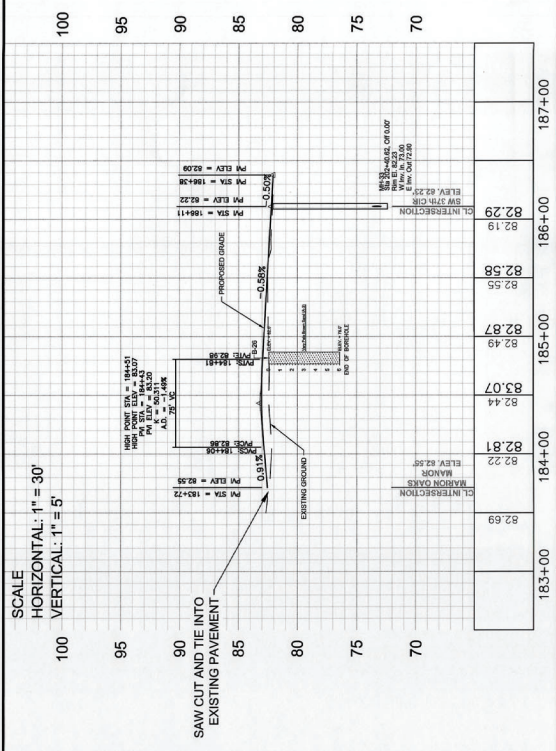
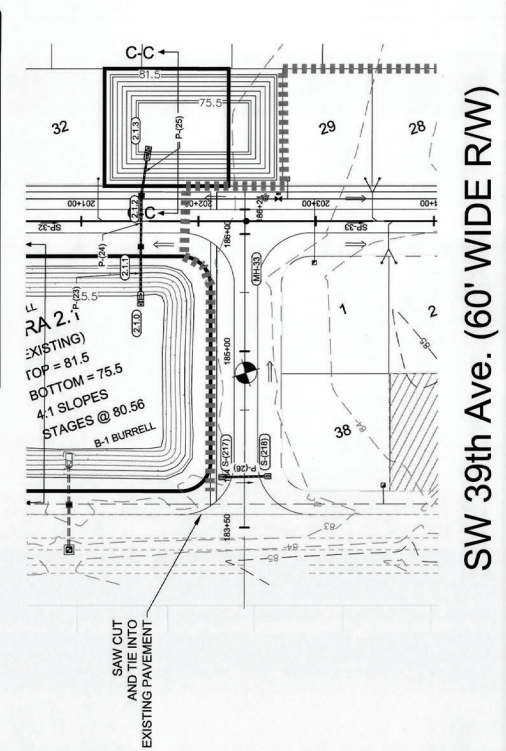
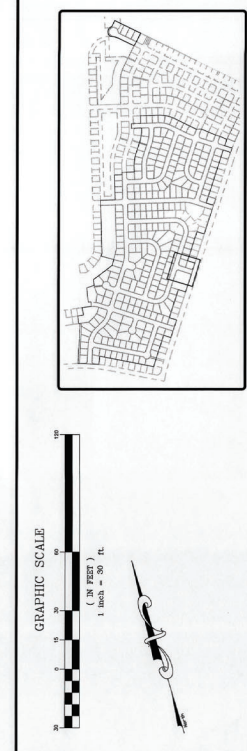
Project Name: MARION OAKS UNIT 2 IMPROVEMENTS PLANS	Location: SECTION 29 22 TOWNSHIP 29 SOUTH, RANGE 17 WEST MARION COUNTY, FL	Sheet No. 25	of 45
Client: ERM / 3700 AVE	City: GAINESVILLE, FL 32609	Date: 10/20/2011	
Project No: 242+00 to 246+00 / SW 153+00 LN. 24	Project No: 183+50-187+10	Scale: 1" = 30'	

**APPROVED FOR:**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 29457  
 APPROVAL DATE: 10/6/2011  
 EXPIRATION DATE: 10/6/2012

This approval of these plans by Marion County is based on the information provided by the applicant and does not constitute an endorsement or approval of the applicant's design or construction. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary easements and rights-of-way from the appropriate agencies. The applicant is also responsible for obtaining all necessary utility easements and rights-of-way from the appropriate agencies. The applicant is also responsible for obtaining all necessary utility easements and rights-of-way from the appropriate agencies.

**MARION COUNTY PROJECT**  
 No. 29457

**NOTICE:**  
 The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary easements and rights-of-way from the appropriate agencies. The applicant is also responsible for obtaining all necessary utility easements and rights-of-way from the appropriate agencies. The applicant is also responsible for obtaining all necessary utility easements and rights-of-way from the appropriate agencies.

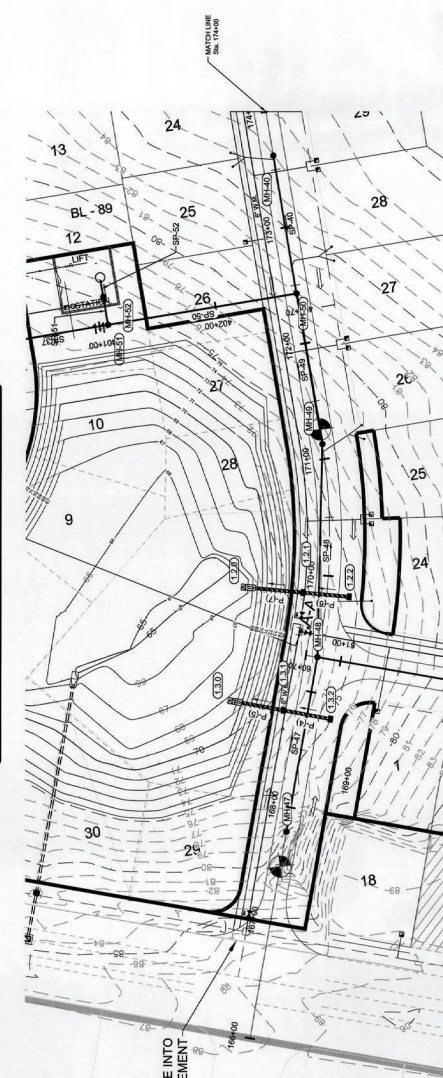
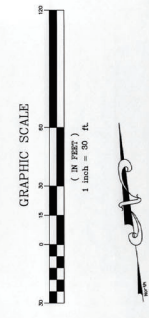


Project Name: Marion Oaks Unit 2 Improvement Plans	Sheet No. 26 of 45
Location: Section 22, Township 12 South, Range 17 East, Marion County, FL	Scale: 1" = 50'
Client: MWR	Drawn: JMK
Contract No. 12-1-22	Checked: JMK
Revision 1: 12-1-22	Approved: JMK
Revision 2: 12-1-22	Project Manager: JMK
Revision 3: 12-1-22	Project Engineer: JMK
Revision 4: 12-1-22	Project Surveyor: JMK
Revision 5: 12-1-22	Project Designer: JMK
Revision 6: 12-1-22	Project Checker: JMK
Revision 7: 12-1-22	Project Approver: JMK
Revision 8: 12-1-22	Project Seal: JMK
Revision 9: 12-1-22	Project Stamp: JMK
Revision 10: 12-1-22	Project Date: 12-1-22

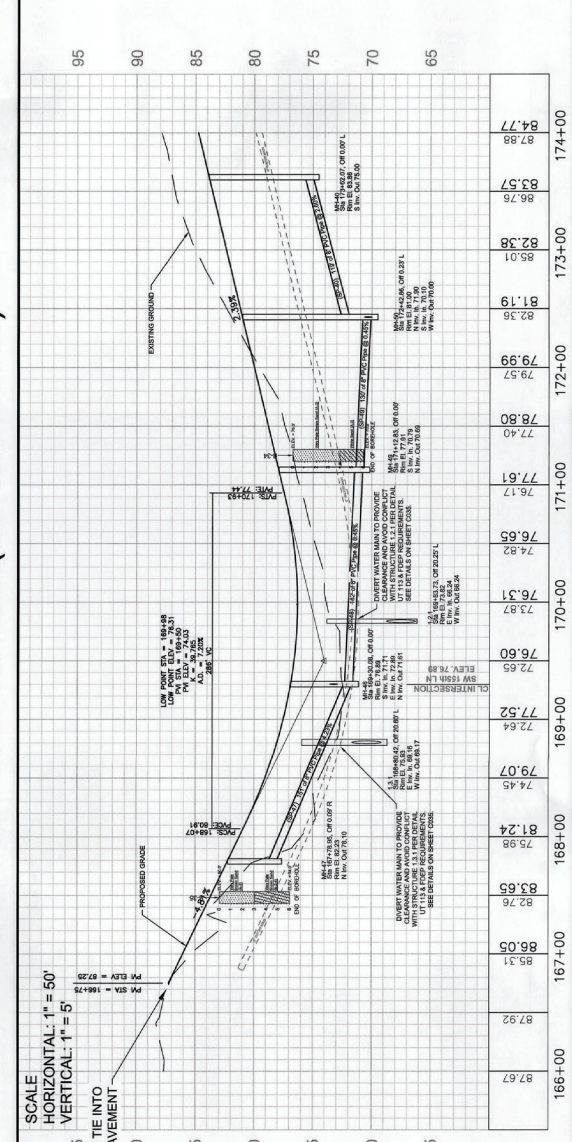
**MARION COUNTY, FLORIDA**  
**APPLICATION # 29457**  
**APPROVAL DATE: 10/4/24**  
**EXPIRATION DATE: 10/4/29**

The approval of these plans by Marion County is not a warranty, endorsement, or approval of quality of work, materials, or methods. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, rules, and regulations. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies.

**MARION COUNTY PROJECT**  
**NO. 29457**



**SW 37th Terrace (60' WIDE R/W)**



NOTE: DIMENSIONS MAY VARY TO SCALE. SEE ALL VALVES AND CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

Project Name: Marion Oaks Unit 2 Improvement Plans	Location: SECTION 23, TOWNSHIP 13 SOUTH, RANGE 17 EAST, MARION COUNTY, FL	Sheet No.: 45
Drawn: MIK	Scale: 1" = 50'	Sheet No.: 0027
Checked: MIK	Project: 2021-43	Sheet No.: 45
Approved: MIK	Date: 12-1-22	

MICHAEL W. MADLIPP ENGINEERING, INC.  
 3815 E. US HWY 90, SUITE 100, OCEAN FLORIDA, FL 32066  
 407.329.1234  
 www.madlippengineering.com

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**

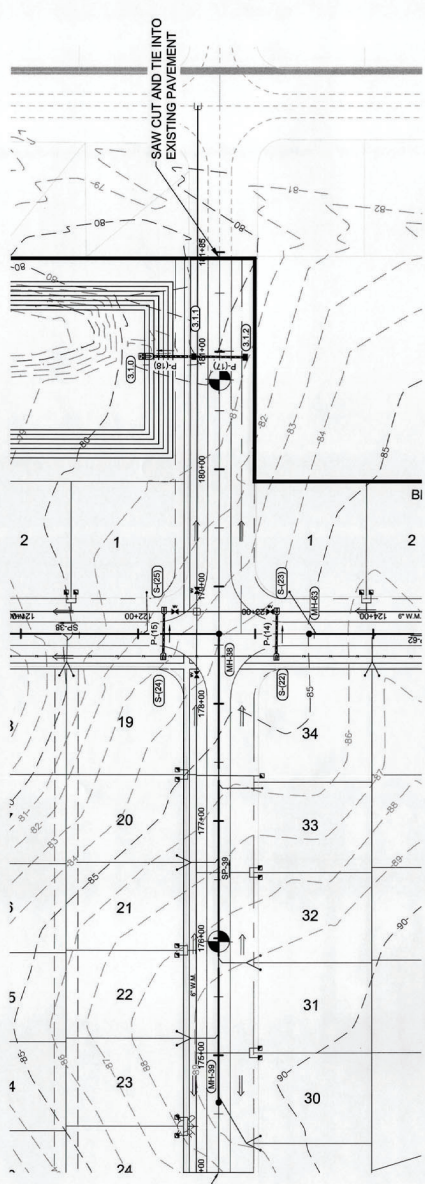
APPLICATION # 29457  
 APPROVAL DATE: 10/4/23  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County  
 County Engineers, Commissioners, and representatives,  
 in any way, constitutes an Engineering Certification in  
 accordance with the provisions of Chapter 475,  
 Florida Statutes, and the Engineering Code of  
 Professional Conduct, and shall not be held  
 responsible for any errors or omissions on the  
 part of the contractor or any other party.

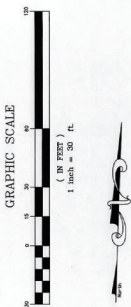
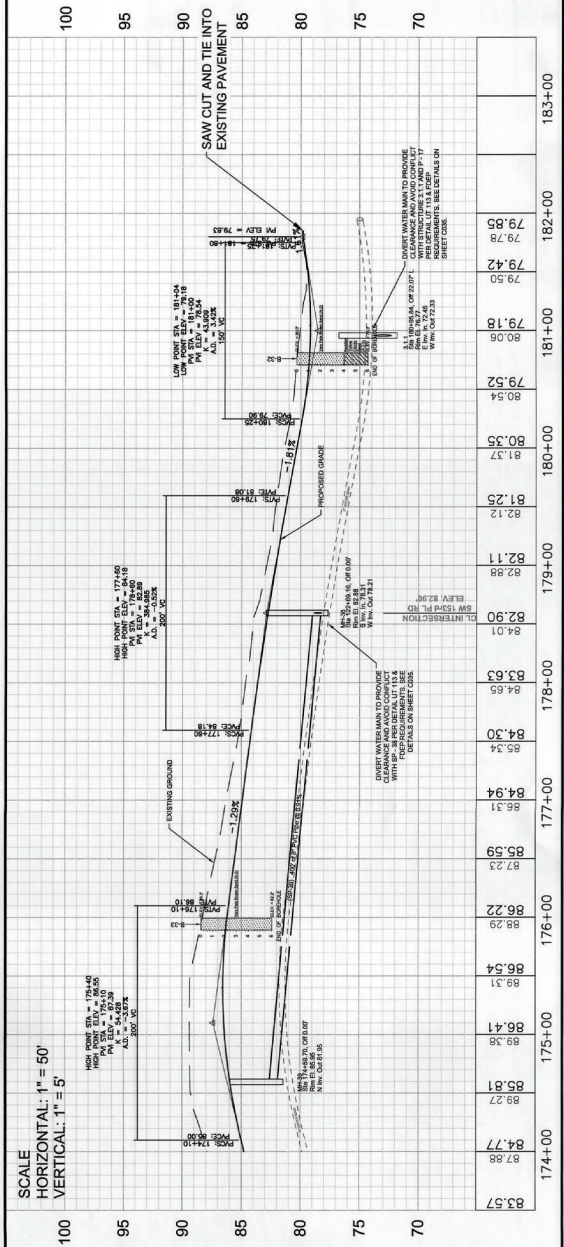
**NOTICE**

All construction shall conform to the construction  
 specifications of the Marion County Department of  
 Development Code, latest revision. Areas of the  
 project that are not shown on these plans shall be  
 constructed in accordance with the standards of the  
 Florida Building Code, latest revision. The Engineer  
 is not responsible for any errors or omissions on the  
 part of the contractor or any other party.

MARION COUNTY PROJECT  
 NO. 29457



SW 37th Terrace (60' WIDE RW)



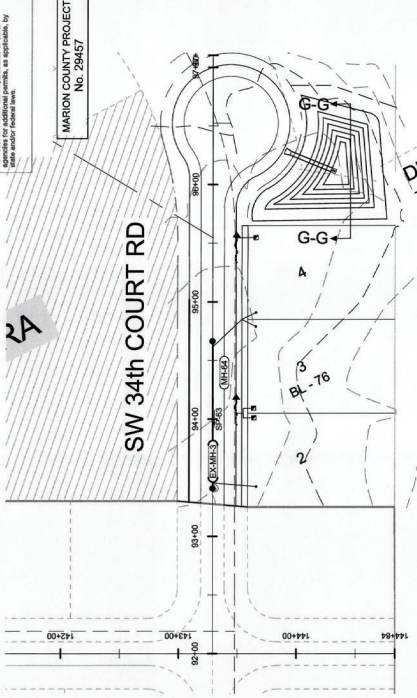
NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES  
 TO PIPE INTERSECTIONS AS  
 POSSIBLE.

Sheet No.	45
Project Name	Marion Oaks Link 2 Improvement Plans
Location	Marion Oaks Link 2 Improvement Plans
Scale	1" = 50'
Drawn	MJK
Checked	MJK
Date	12-1-22
Revision	03-13-24 MJK REVISIONS PER COUNTY COMMENTS
	07-01-24 MJK REVISIONS PER COUNTY COMMENTS
	08-13-24 MJK REVISIONS PER COUNTY COMMENTS

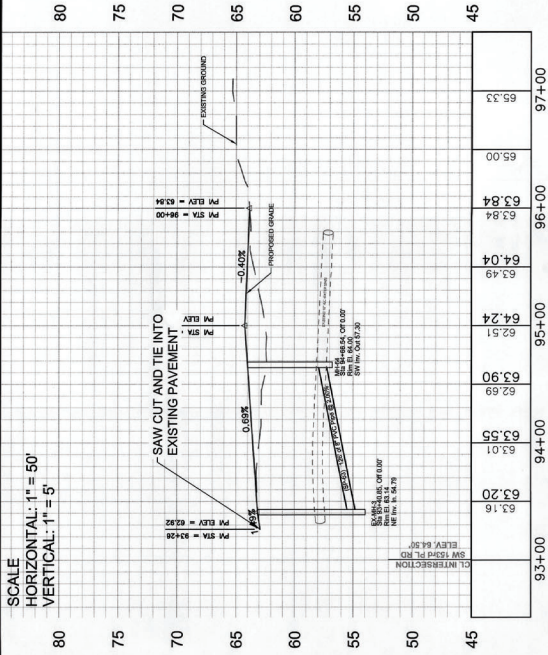
3111 E. Lake Shore Blvd., Suite 100, Orlando, FL 32805 Phone: (407) 855-5500 Fax: (407) 855-5515 Website: www.mwr-engineering.com	
Title: Marion Oaks Link 2, Inc. Date: 12-1-22	Drawn: MJK Checked: MJK Date: 12-1-22

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 23457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

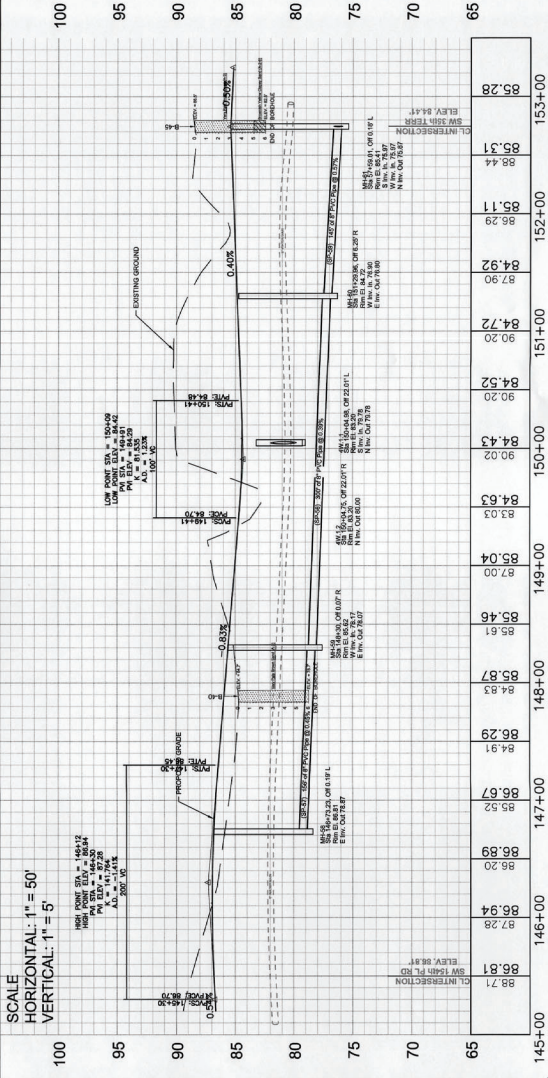
The approval of these plans by Marion County is based on the information provided by the applicant. The County does not warrant, represent, or guarantee the accuracy or completeness of the information provided. The County's approval is limited to the information provided and does not constitute an endorsement or approval of any product, service, or contractor. The County is not responsible for any errors or omissions in these plans or for any consequences resulting from their use. The County's approval is subject to the terms and conditions of the application and any other applicable laws and regulations.



**SW 34th Ct. Rd. (60' WIDE R/W)**



**SW 154th St. (60' WIDE R/W)**



NOTE: SYMBOLS NOT TO SCALE. PLACE VALUES AS CLOSE TO THE INTERSECTIONS AS POSSIBLE.

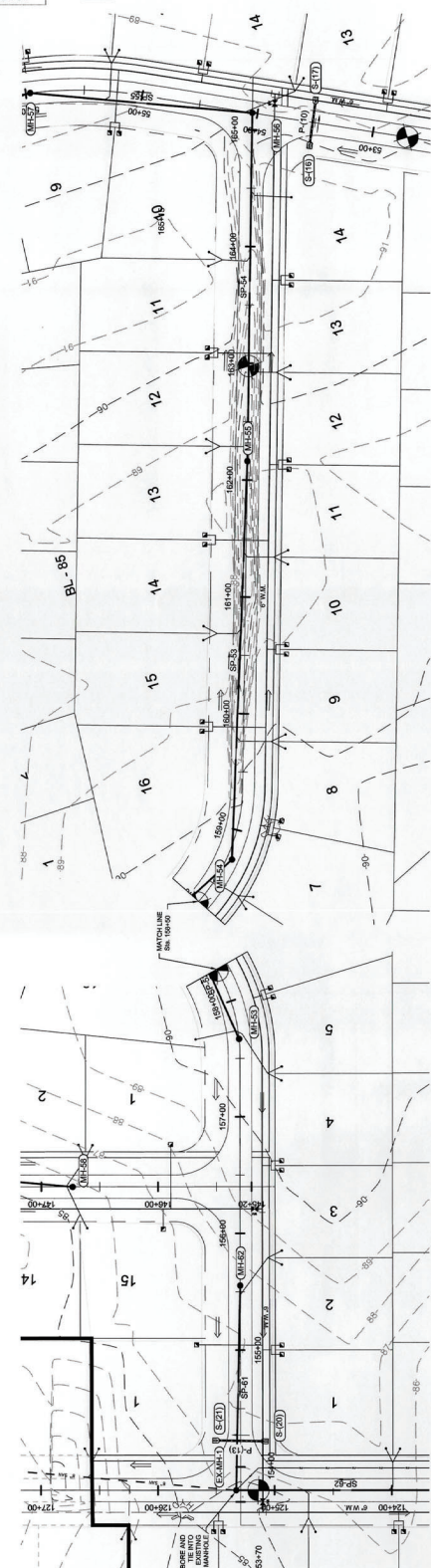
Project Name: Marion Oaks Unit 2 Improvement Plans	Location: 1515 S.W. 154th Avenue, Marion County, FL 32008	Sheet No.: 009	45
Client: SW 154th PL. RD.	Scale: 1" = 50'	Revision:	
Contract No.: 2021-43	Drawn: MWR	Checked: MWR	Scale: 1" = 50'
Project No.: 2021-43	Issue: 1-22	Project: 2021-43	Scale: 1" = 50'
Reasons PER COUNTY COMMENTS		Reasons PER COUNTY COMMENTS	
Reasons PER COUNTY COMMENTS		Reasons PER COUNTY COMMENTS	
Reasons PER COUNTY COMMENTS		Reasons PER COUNTY COMMENTS	

**CONSULTING ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 20457  
 APPROVAL DATE: 10/02/24  
 EXPIRATION DATE: 10/02/29

The approval of these plans by Marion County is based on the information provided by the applicant and the County's engineering, planning, and transportation departments. The County does not warrant the accuracy or completeness of the information provided. In any case, the applicant is responsible for obtaining all necessary permits and approvals from the appropriate state and federal agencies.

**NOTICE:**  
 All construction shall conform to the specifications of the Florida Department of Transportation, the Florida Department of Environmental Protection, the Florida Department of Health, and the Florida Department of Agriculture. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate state and federal agencies.

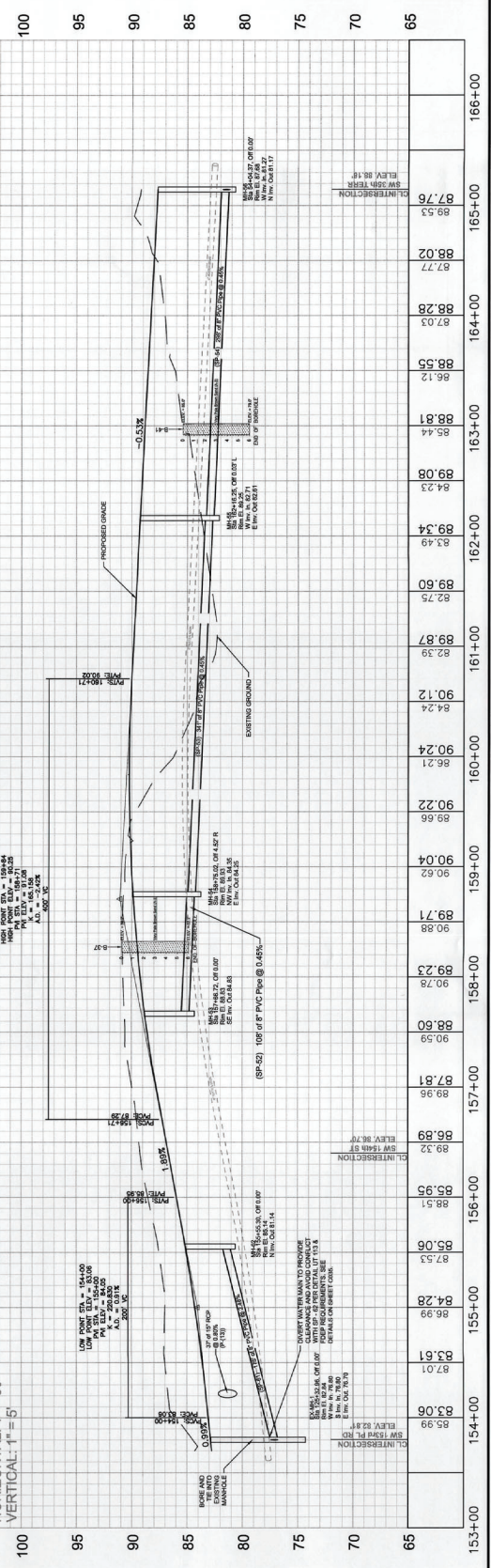
**MARION COUNTY PROJECT**  
 NO. 25457



SW 154th PL. RD. (60' WIDE RW)

NOTE: SYMBOLS NOT TO SCALE. PLACE VALUES WHERE POSSIBLE.

SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'



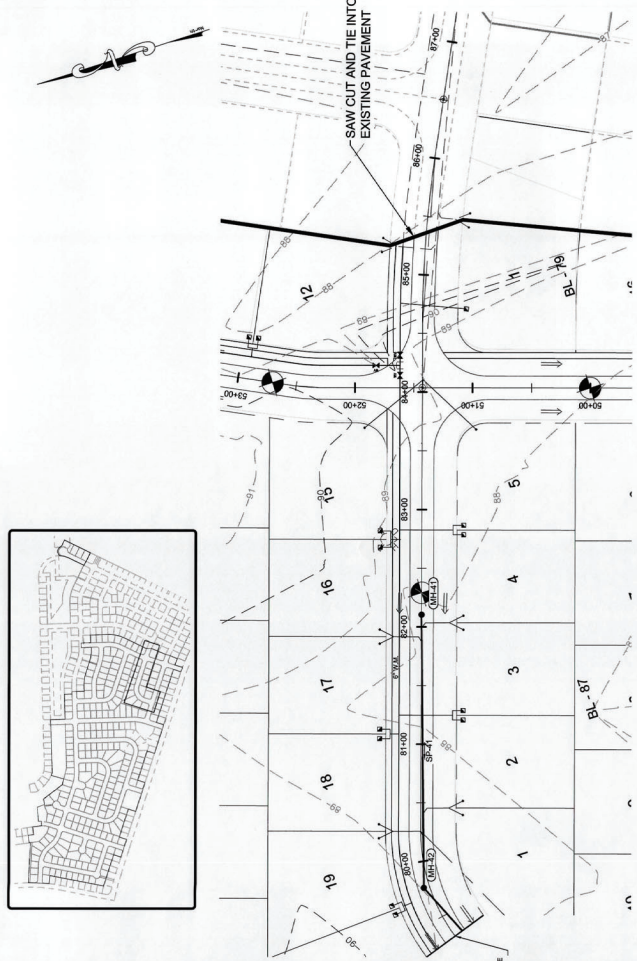
<p>Project: SW 155th Pl</p> <p>Client: MWR</p> <p>Scale: 1" = 50'</p> <p>Sheet No. 46</p> <p>CS30</p> <p>06/06</p>	<p>Location: SECTION 22 &amp; 23, TOWNSHIP 17 SOUTH, RANGE 31 EAST, MARION COUNTY, FL</p> <p>Florida Project</p> <p>SW 155th Pl</p> <p>Sta. 76+70 to 87+50</p>	<p>Copyright © 2020 Michael W. Radcliff Engineering, Inc. All Rights Reserved.</p> <p>www.radcliffeengineering.com</p> <p>Michael W. Radcliff Engineering, Inc.</p> <p>13715 Lakeview Avenue, Suite 11, Suite 11, Jacksonville, Florida 32217</p> <p>Phone: 904.250.5000 Fax: 904.250.5181</p> <p>Project: 2021-43</p> <p>Drawn: MKR</p> <p>Scale: 1" = 50'</p> <p>Project: 2021-43</p> <p>Scale: 1" = 50'</p>
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**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/24  
 EXPIRATION DATE: 10/28

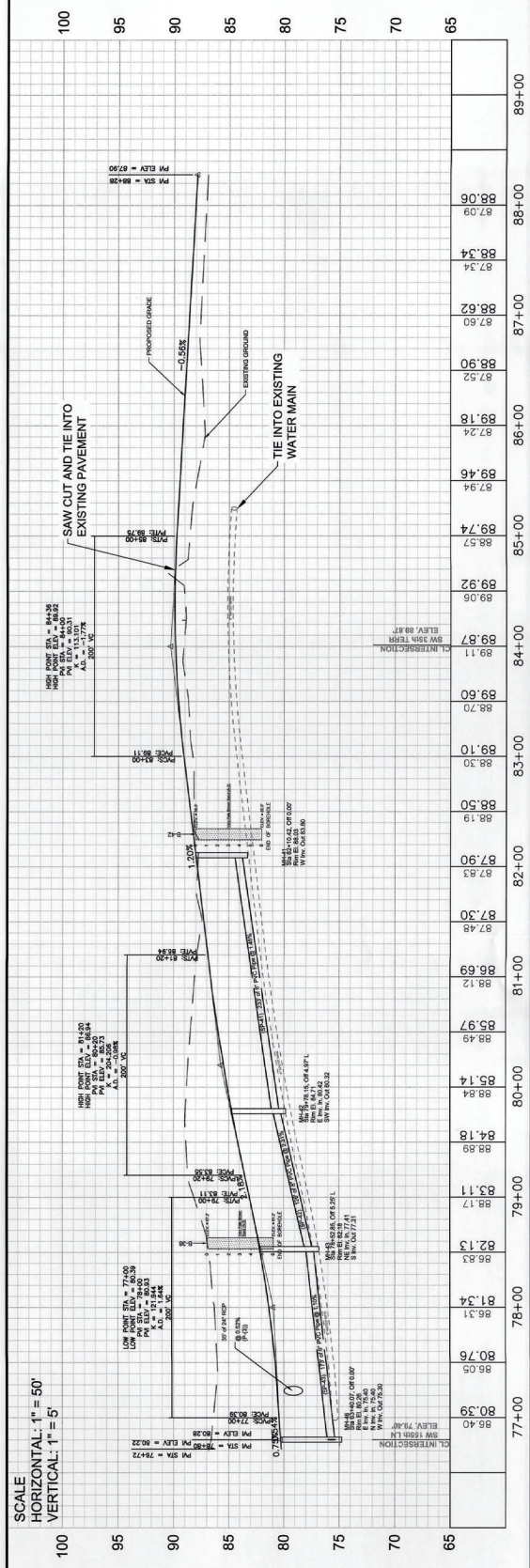
This approval of these plans by Marion County is based on the information provided by the applicant and the County Engineer's Office. The County Engineer's Office does not warrant the accuracy or completeness of the information provided, nor does it warrant the accuracy or completeness of the information provided by the applicant. The County Engineer's Office is not responsible for any errors or omissions in the plans, or for any consequences arising from the use of the plans. The County Engineer's Office is not responsible for any damages, including consequential damages, arising from the use of the plans. The County Engineer's Office is not responsible for any claims, including consequential claims, arising from the use of the plans. The County Engineer's Office is not responsible for any claims, including consequential claims, arising from the use of the plans.

**MARION COUNTY PROJECT**  
**No. 29457**

**NOTICE**  
 The County Engineer's Office is not responsible for any damages, including consequential damages, arising from the use of the plans. The County Engineer's Office is not responsible for any claims, including consequential claims, arising from the use of the plans.

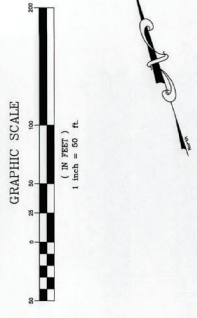


**SW 155th Pl. (60' WIDE RW)**



SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES TO PIPE INTERSECTIONS AS POSSIBLE.

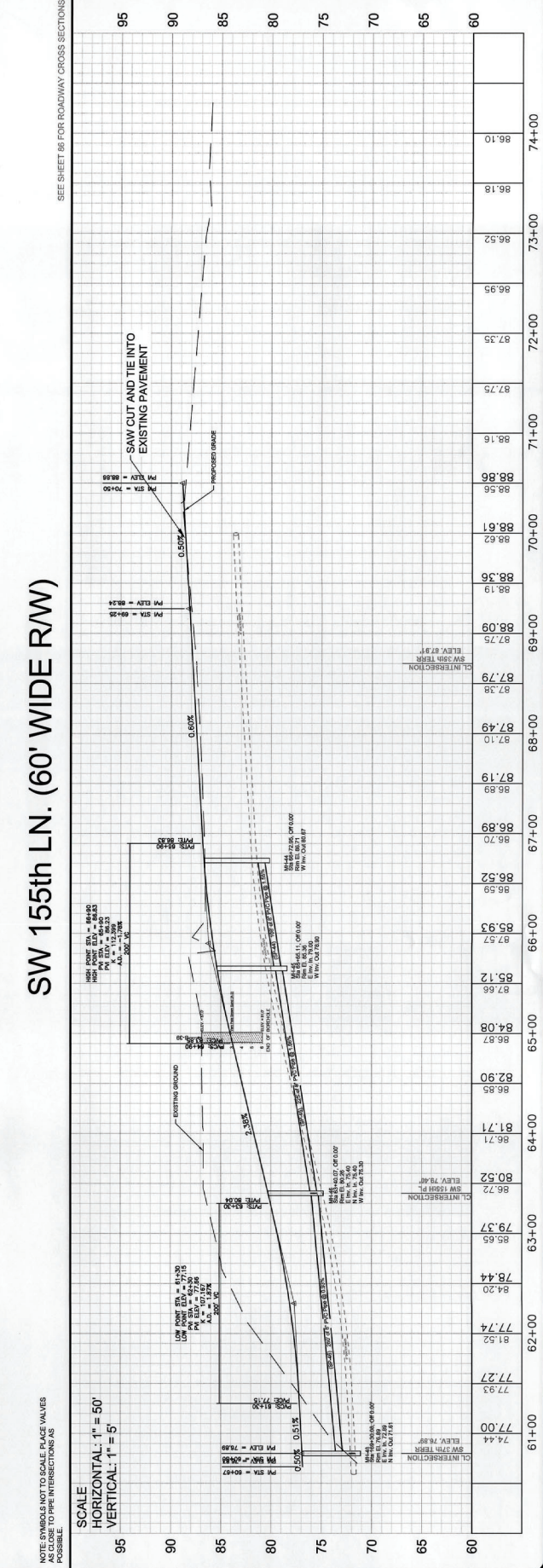
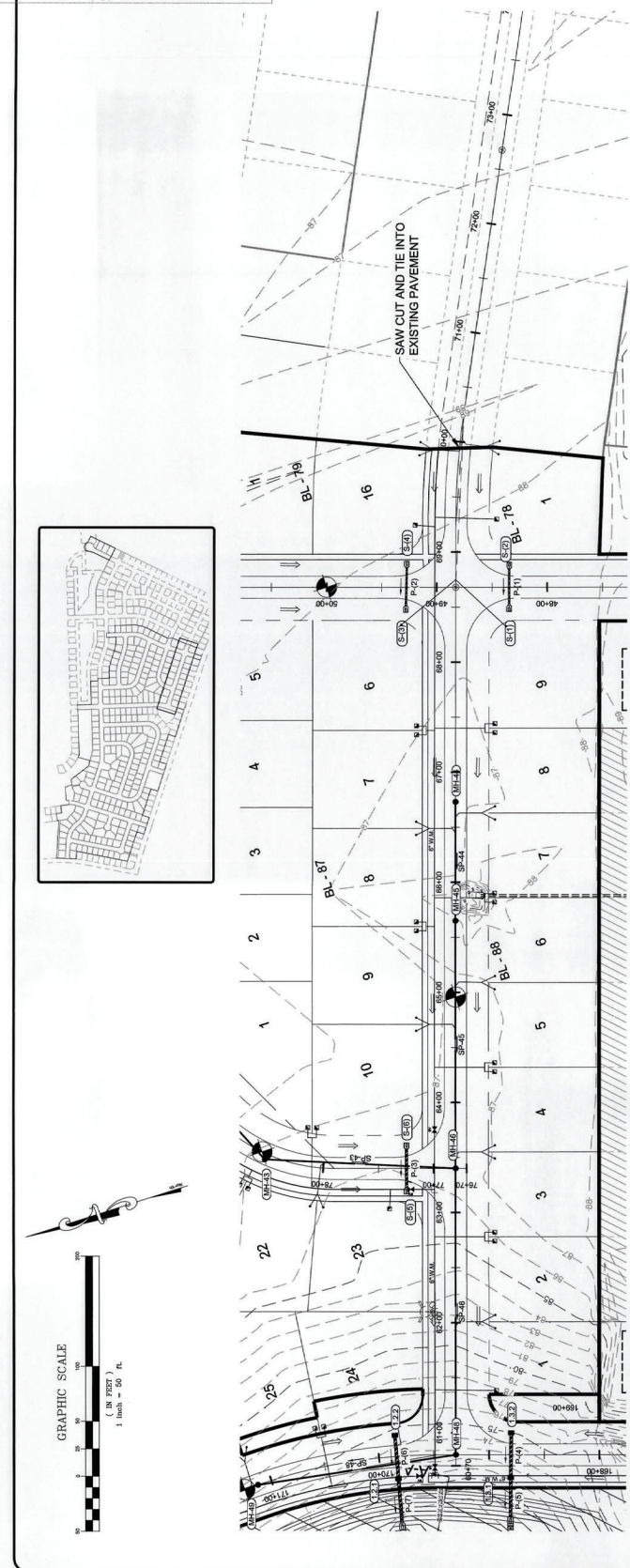


Sheet No. 86 of 85	Project Name: Marion Oaks Unit 2 Improvements SW 155th Ln Sta. 60+70 to 74+00
Scale: 1" = 50'	Client: Marion County, Florida
Author: MWR	Check: MWR
Drawn: MWR	Approved: MWR
Date: 12-1-22	Project No: 2021-43
Revision: 1	Scale: 1" = 50'

**MARION COUNTY, FLORIDA**  
 APPLICATION #: 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

This approval of these plans by Marion County is based on the information provided by the applicant and the applicant's representation, observation, and certification. The applicant is responsible for the accuracy and completeness of the information provided. The County Engineer is not responsible for the accuracy or completeness of the information provided by the applicant. The County Engineer is not responsible for the accuracy or completeness of the information provided by the applicant.

**MARION COUNTY PROJECT**  
 NO. 29457





Project Name: Marion Oaks Unit 2 Improvement Plans	Sheet No. 45
Client: Marion Oaks Unit 2 Station	Code: C033
Scale: 1" = 50'	Code: 45
Project: 2021-43	
Drawn: MKR	
Checked: LWR	
Date: 12-1-22	
Revisions Per County Comments:	
03-13-23 MKR	
01-13-23 MKR	
01-13-23 MKR	

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 23457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approved of these plans by Marion County is based on the information provided and does not constitute a warranty of any kind. The County is not responsible for any errors or omissions in any way, including but not limited to, the accuracy of the information provided, the appropriateness of the design, or the suitability of the site for the proposed project.

**NOTE:**  
 All construction shall conform to the code of Marion County, Florida, and the Florida Building Code, and all other applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**MARION COUNTY PROJECT**  
 No. 23457



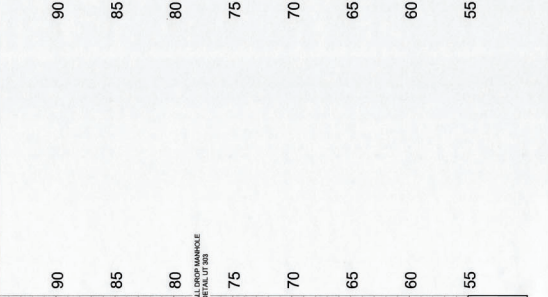
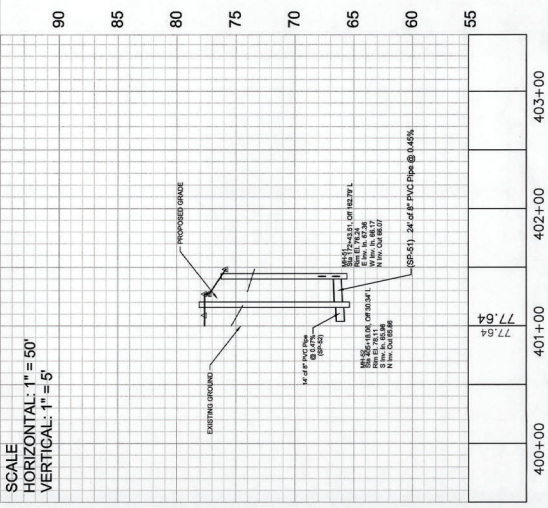
**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 50 ft.

**NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES WHERE POSSIBLE TO PIPE INTERSECTIONS AS POSSIBLE.**

**B-B**

**Lift Station**

**A-A**



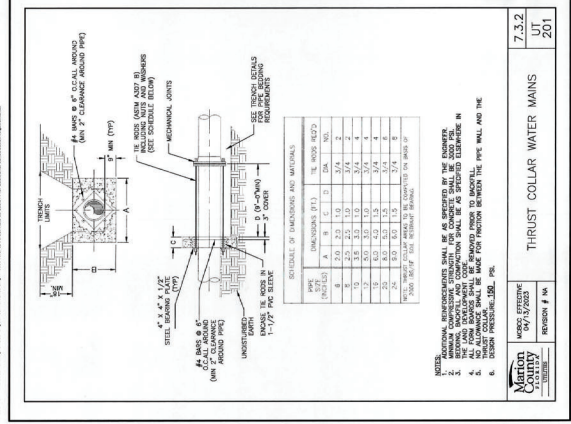
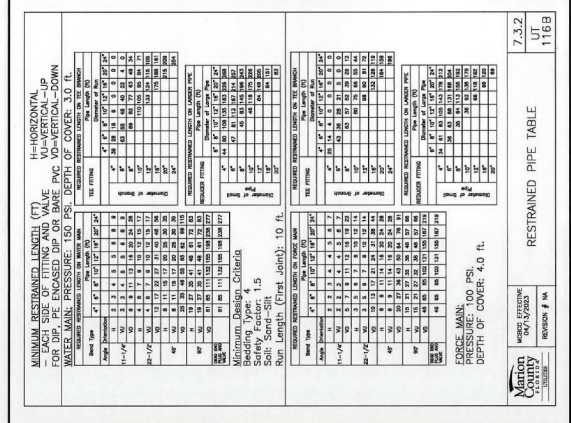
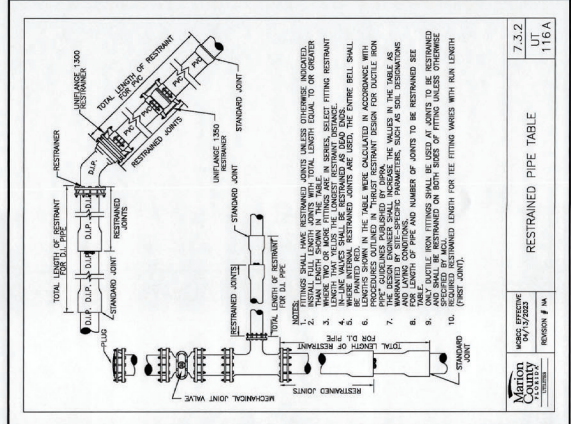
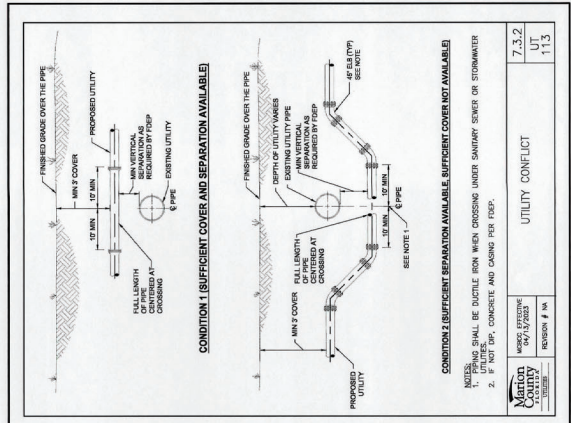
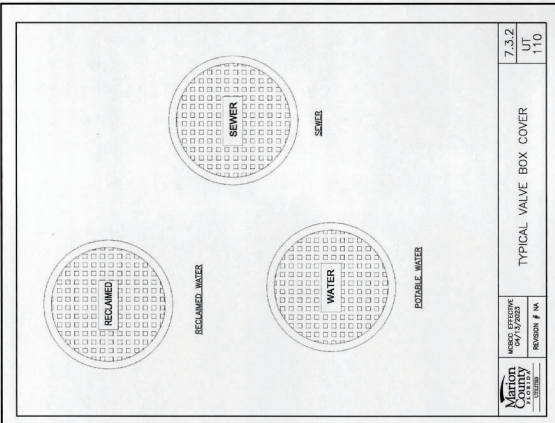
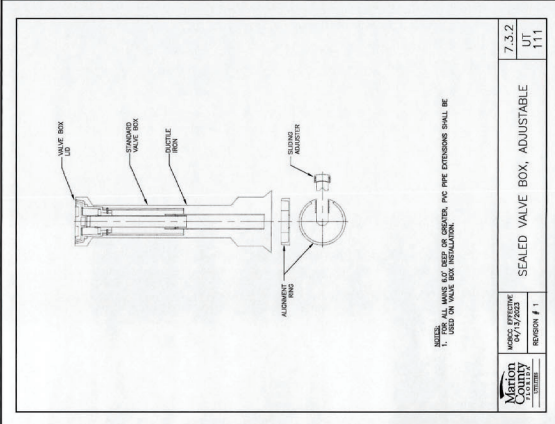
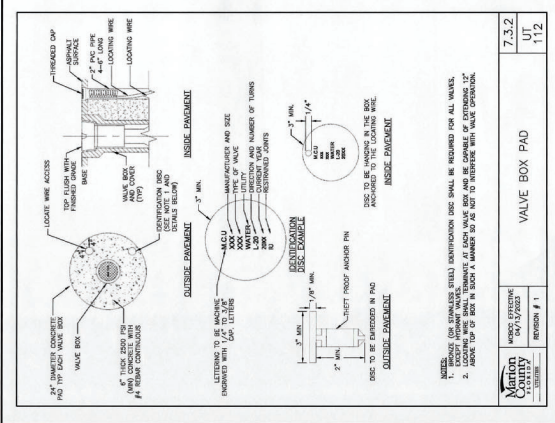


**COUNTY ENGINEER**  
MARION COUNTY, FLORIDA  
APPROVAL DATE: 06/24/24  
EXPIRATION DATE: 06/24/29

DESIGNER'S PER COUNTY COMMENTS  
CHECKER'S PER COUNTY COMMENTS  
APPROVER'S PER COUNTY COMMENTS

**LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 68-505.314 No. 28457**

Other Pipe	Horizontal Separation	Vertical Separation	Notes
Storm Sewer, Sanitary Sewer, Gas, Electric, Telephone, Cable, etc.	3 ft. minimum	15 ft. minimum	15 ft. minimum to the centerline of the pipe.
Vacuum Sanitary Sewer	3 ft. minimum	15 ft. minimum	15 ft. minimum to the centerline of the pipe.
Gravity of Pressure Sanitary Sewer, Storm Sewer, Gas, Electric, Telephone, Cable, etc.	3 ft. minimum	15 ft. minimum	15 ft. minimum to the centerline of the pipe.





Project: Martin Oaks Unit 2  
 Location: 12175 SW 12th Avenue, Martin County, FL 32910  
 Client: Martin Oaks Unit 2  
 Date: 11-20-22

www.radcliffeengineering.com  
 MICHAEL W. RADCLIFFE ENGINEERING, INC.  
 1211 SE Lake Way Avenue, Ocala, FL 34471  
 Phone: 352-239-5200  
 Fax: 352-239-1815

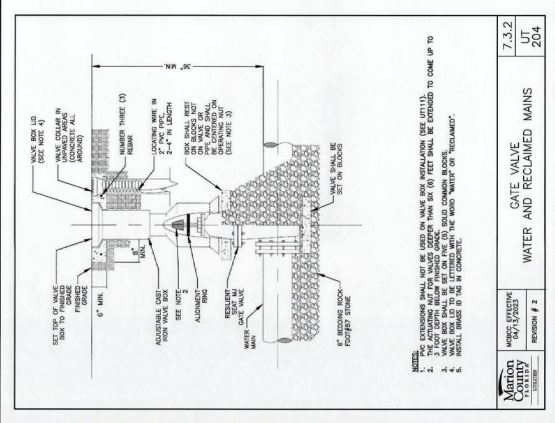
Drawn: MWR	Scale: 1" = 10'
Checked: MWR	Revision: 1
Design: MWR	Revision: 2
Project: 11-20-22	Revision: 3
Client: MWR	Revision: 4
Contract: MWR	Revision: 5
Project: 11-20-22	Revision: 6
Client: MWR	Revision: 7
Contract: MWR	Revision: 8
Project: 11-20-22	Revision: 9
Client: MWR	Revision: 10

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

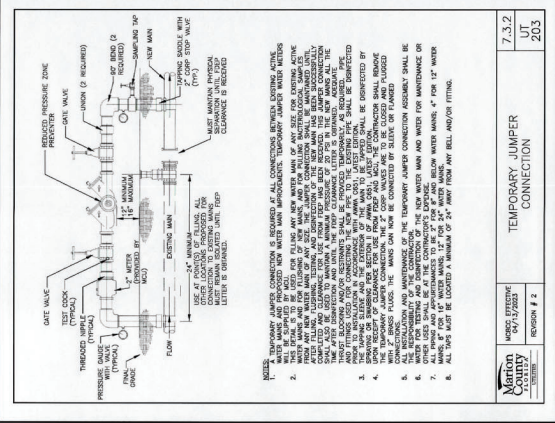
The approval of these plans by Marion County is not a warranty, endorsement, or assumption of liability by Marion County for any damages, claims, or losses of any kind, including but not limited to, property damage, personal injury, or death, arising from the use of the plans or the construction of the project. The approval of these plans by Marion County is also not a guarantee of the accuracy or completeness of the information provided on these plans. The user of these plans shall be responsible for verifying the accuracy and completeness of the information provided on these plans and for obtaining all necessary permits and approvals from the appropriate authorities. The user of these plans shall also be responsible for obtaining all necessary insurance coverage for the project.

**NOTICE**  
 The user of these plans shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these plans shall also be responsible for obtaining all necessary insurance coverage for the project.

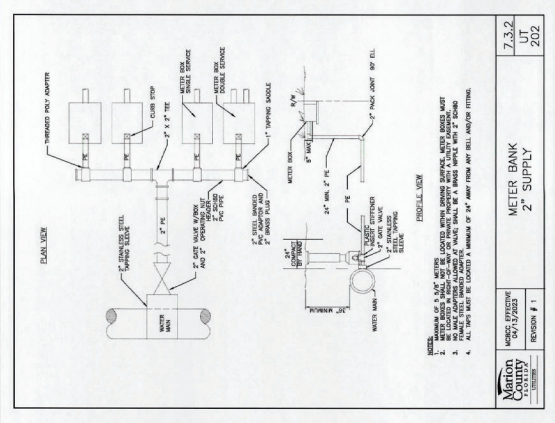
**MARION COUNTY PROJECT**  
**NO. 29457**



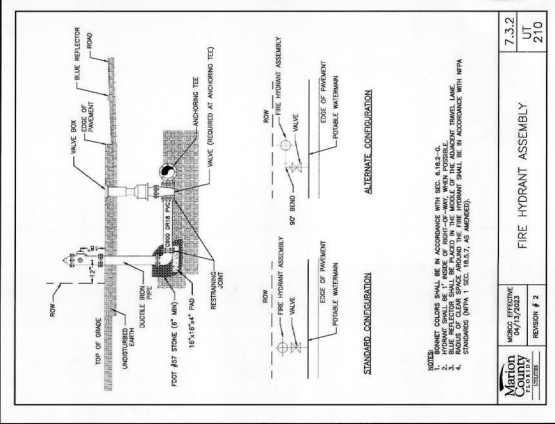
7.3.2  
 UT 204  
**WATER AND RECLAIMED MAINS**  
 REGION # 2



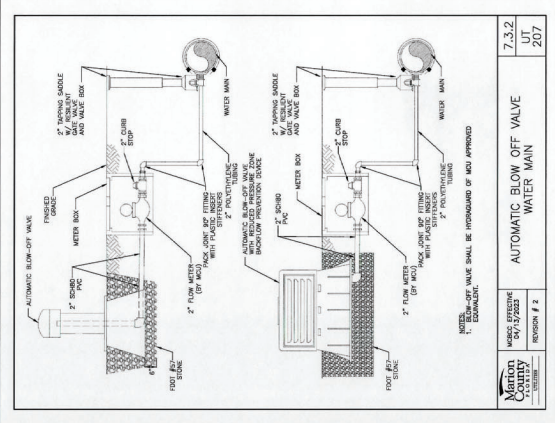
7.3.2  
 UT 203  
**TEMPORARY JUMPER CONNECTION**  
 REGION # 2



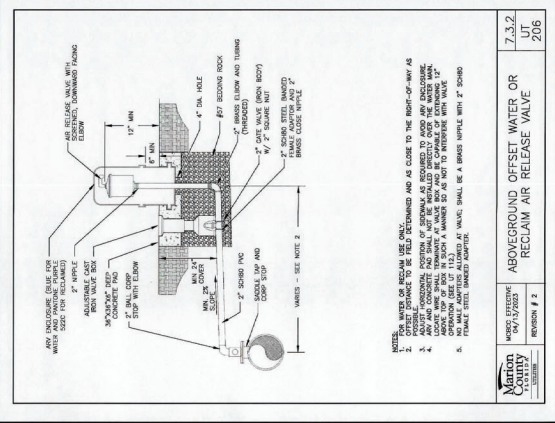
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**METER BANK 2\"/>**



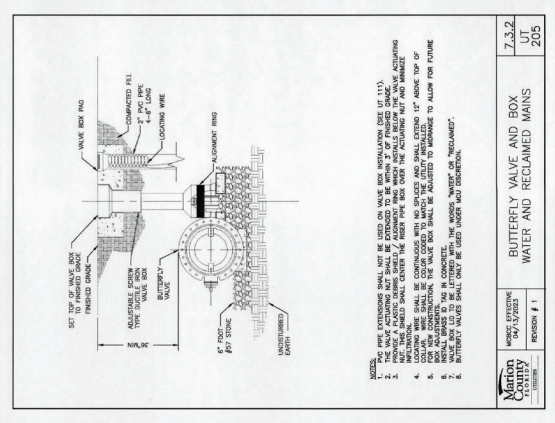
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 UT 210  
**FIRE HYDRANT ASSEMBLY**  
 REGION # 2



7.3.2  
 UT 207  
**AUTOMATIC BLOW OFF VALVE WATER MAIN**  
 REGION # 2



7.3.2  
 UT 206  
**ABOVEGROUND OFFSET WATER OR RECLAIM AIR RELEASE VALVE**  
 REGION # 2



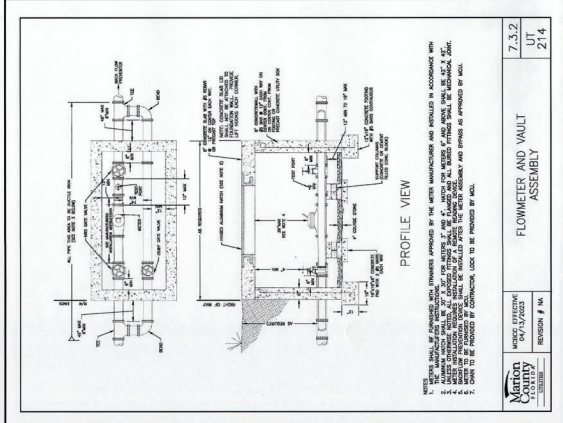
7.3.2  
 UT 205  
**BUTTERFLY VALVE AND BOX WATER AND RECLAIMED MAINS**  
 REGION # 1

<b>Water/Sewer Details</b> Location: Marion Oaks Unit 2 Revision: 1	 <b>MWR</b> MICHAEL W. RADLIFE ENGINEERING, INC. 3115 S. LAKESHORE BLVD., SUITE 100 MARION COUNTY, FL 32003 TEL: 352-259-3000 FAX: 352-259-1818 WWW.MWRADLIFEENGINEERING.COM	Title: _____ Checked: MWR Date: 11-28-22	Date: _____ Drawn: _____ Scale: 1" = 100' Project: 2021-8-3	Date: _____ Drawn: _____ Scale: _____ Project: 2021-8-3	Date: _____ Drawn: _____ Scale: _____ Project: 2021-8-3
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**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPROVAL #: 29457  
 APPROVAL DATE: 10/4/23

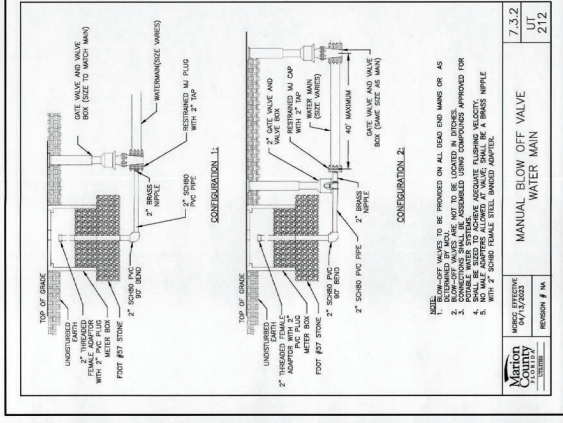
The approval of these plans by Marion County Engineers is not a warranty, representation, or endorsement of any products, materials, or methods of construction, nor does it constitute an acceptance of responsibility for the design or construction of the project. The user of these plans shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations. The user of these plans shall also be responsible for providing all necessary information and data for the design and construction of the project. The user of these plans shall also be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations. The user of these plans shall also be responsible for providing all necessary information and data for the design and construction of the project.

**MARION COUNTY PROJECT**  
**No. 29457**



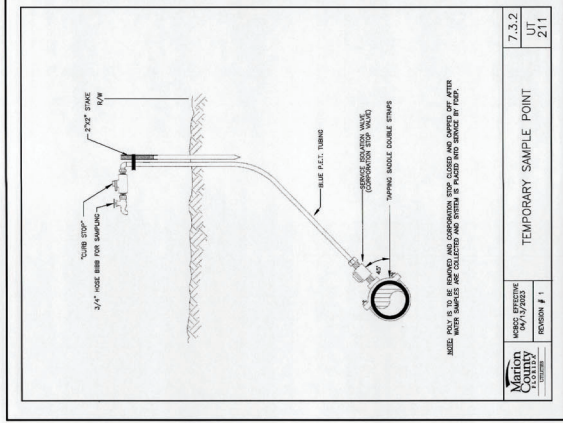
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**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 2**



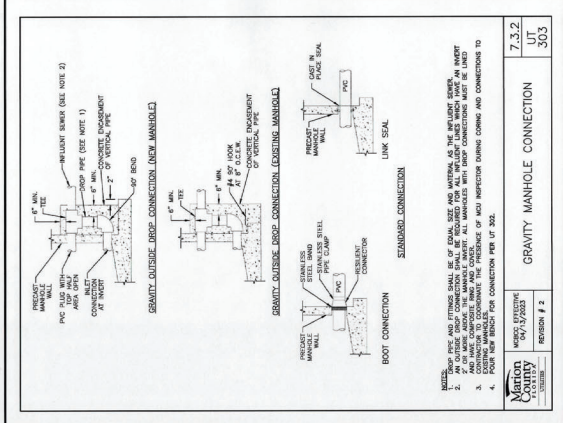
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**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 2**



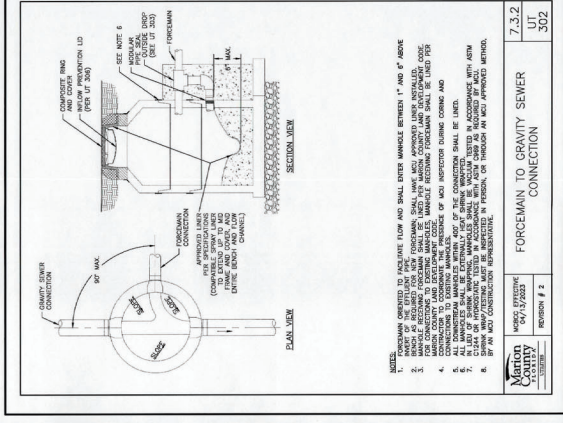
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**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 1**



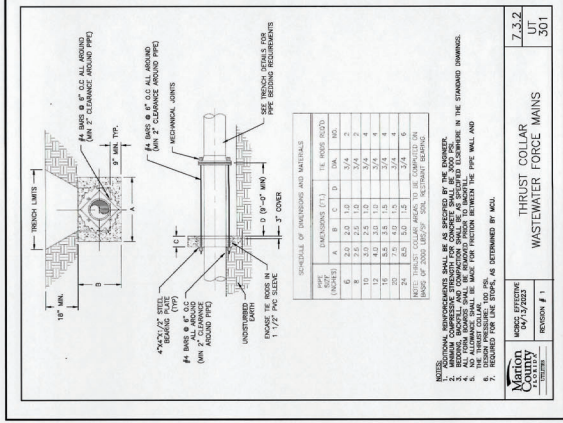
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**305**

**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 2**



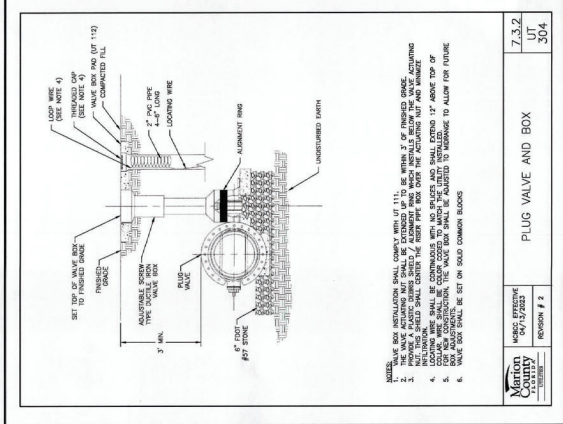
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**UT**  
**302**

**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 2**



**7.3.2**  
**UT**  
**301**

**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 1**



**7.3.2**  
**UT**  
**304**

**MARION COUNTY**  
 PROJECT NO. 29457  
**SECTION # 2**

1. THE BOX INSTALLATION SHALL COMPLY WITH UT 111.
2. THE VALVE SHALL BE INSTALLED WITH THE VALVE HANDLE BEING ELEVATED ABOVE THE VALVE BOX.
3. THE VALVE SHALL BE INSTALLED WITH THE VALVE HANDLE BEING ELEVATED ABOVE THE VALVE BOX.
4. THE VALVE SHALL BE INSTALLED WITH THE VALVE HANDLE BEING ELEVATED ABOVE THE VALVE BOX.
5. THE VALVE SHALL BE INSTALLED WITH THE VALVE HANDLE BEING ELEVATED ABOVE THE VALVE BOX.
6. THE VALVE SHALL BE INSTALLED WITH THE VALVE HANDLE BEING ELEVATED ABOVE THE VALVE BOX.

1. THE GRAVITY CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.
2. THE GRAVITY CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.
3. THE GRAVITY CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.
4. THE GRAVITY CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.

1. THE FORCEMAN CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.
2. THE FORCEMAN CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.
3. THE FORCEMAN CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.
4. THE FORCEMAN CONNECTION SHALL BE INSTALLED WITH THE CONNECTION BEING MADE TO THE GRAVITY SEWER.

1. THE THRUST COLLAR SHALL BE INSTALLED WITH THE COLLAR BEING MADE TO THE FORCE MAIN.
2. THE THRUST COLLAR SHALL BE INSTALLED WITH THE COLLAR BEING MADE TO THE FORCE MAIN.
3. THE THRUST COLLAR SHALL BE INSTALLED WITH THE COLLAR BEING MADE TO THE FORCE MAIN.
4. THE THRUST COLLAR SHALL BE INSTALLED WITH THE COLLAR BEING MADE TO THE FORCE MAIN.

PIPE SIZE (INCHES)	MIN. WALL THICKNESS (INCHES)	MAX. WALL THICKNESS (INCHES)
4"	0.1875	0.2500
6"	0.2500	0.3125
8"	0.3125	0.3750
10"	0.3750	0.4375
12"	0.4375	0.5000
14"	0.5000	0.5625
16"	0.5625	0.6250
18"	0.6250	0.6875
20"	0.6875	0.7500
24"	0.8750	0.9375
30"	1.1250	1.1875
36"	1.3750	1.4375
42"	1.6250	1.6875
48"	1.8750	1.9375
54"	2.1250	2.1875
60"	2.3750	2.4375

Sheet No. 0038 of 45



Project Name: Marion Oaks Unit 2  
 Location: Marion Oaks 26, Township 17 South, Range 15 East, Marion County, FL  
 Water/Sewer Details  
 MICHAEL W. RADLUPF ENGINEERING, INC.  
 1115 S. UNIVERSITY AVENUE, SUITE 100  
 GAINESVILLE, FL 32609  
 TEL: 352-389-4444 FAX: 352-389-4445  
 WWW.MICHAELWREDFUPF.COM

DATE	BY	REVISIONS
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12-01-22	MJK	02-13-24 MK
01-20-23	MJK	03-13-24 MK
02-15-23	MJK	04-13-24 MK
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DATE	DESCRIPTION
11-26-22	REVISIONS PER COUNTY COMMENTS
02-10-21	REVISIONS PER COUNTY COMMENTS
01-13-21	REVISIONS PER COUNTY COMMENTS
01-13-21	REVISIONS PER COUNTY COMMENTS

**MWD**  
 MICHAEL W. FADLIFE ENGINEERING, INC.  
 13001 W. BAYHURST BLVD. SUITE 100  
 MIAMI, FL 33186  
 TEL: 305-444-1111  
 WWW.MICHAELWFE.COM

**Sewer/Lift Station Details**

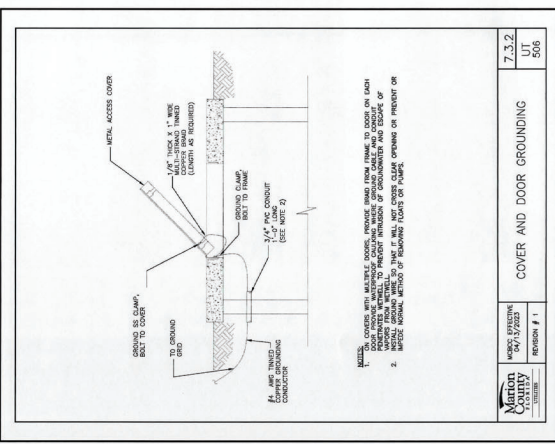
Project Name: **Marion Oaks Unit 2**  
 Location: SECTION 23.6, TOWNSHIP 13 NORTH, RANGE 11 EAST, MARION COUNTY, FL  
 Date: 11-26-22  
 Scale: 1" = 10'

Sheet No.	45
Case No.	2021-43

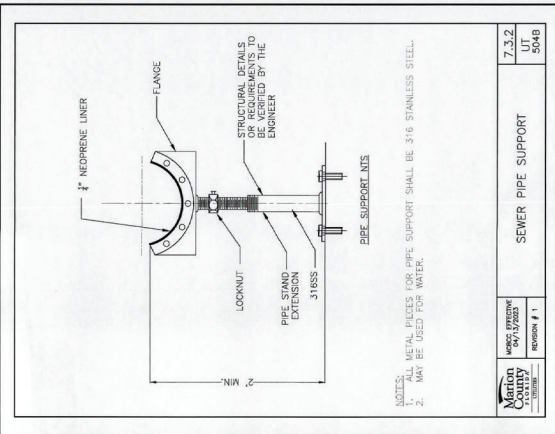
**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 2021-43  
 APPROVAL DATE 10/26/23

The undersigned County Engineer has reviewed the plans and specifications for the above project and finds them to be in accordance with the applicable laws, rules and regulations of the State of Florida and the County of Marion. The undersigned County Engineer has also reviewed the plans and specifications for the above project and finds them to be in accordance with the applicable laws, rules and regulations of the State of Florida and the County of Marion.

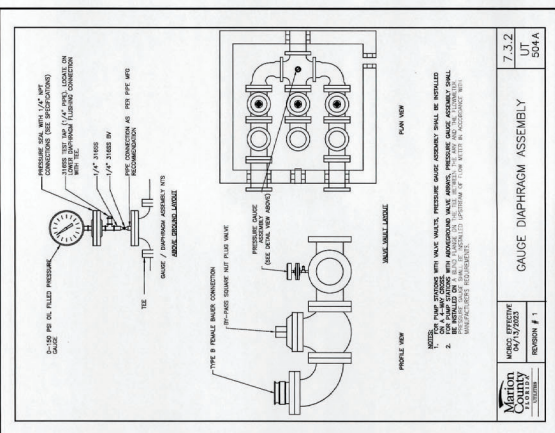
**MARION COUNTY PROJECT**  
 No. 2021-43



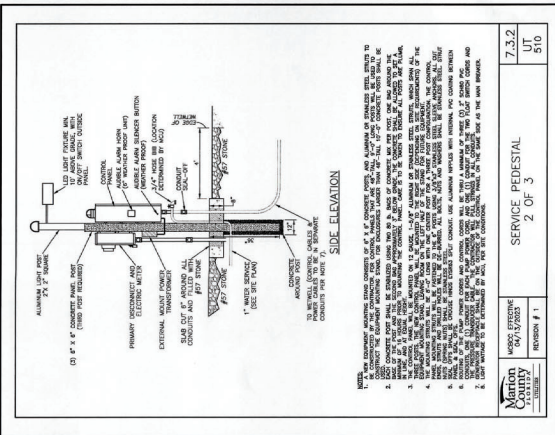
**7.3.2**  
**UT**  
**506**



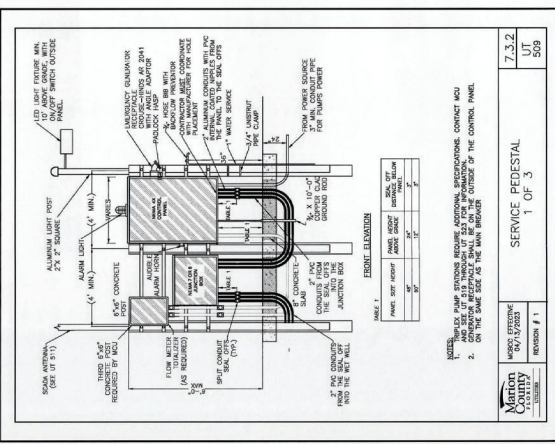
**7.3.2**  
**UT**  
**504B**



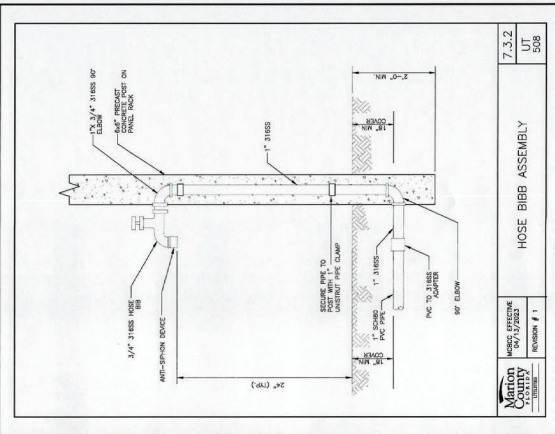
**7.3.2**  
**UT**  
**504A**



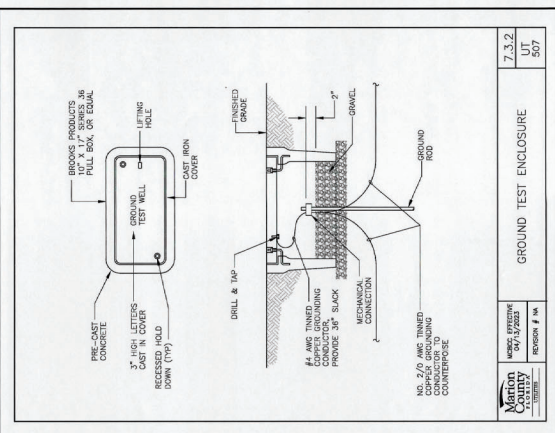
**7.3.2**  
**UT**  
**510**



**7.3.2**  
**UT**  
**509**



**7.3.2**  
**UT**  
**508**



**7.3.2**  
**UT**  
**507**

PERSONS PER COUNTY COMMENTS	DATE	BY
REVISIONS PER COUNTY COMMENTS	DATE	BY
REVISIONS PER COUNTY COMMENTS	DATE	BY
REVISIONS PER COUNTY COMMENTS	DATE	BY

Checkmark	MAR	Scale	1" = 100'
Checkmark	MAR	Scale	1" = 100'
Checkmark	MAR	Scale	1" = 100'
Checkmark	MAR	Scale	1" = 100'

**MARION COUNTY ENGINEERING, INC.**  
 1011 1/2 East Main Street, Suite 100, Marion County, FL 32053  
 Phone: 352-207-1433 Fax: 352-207-1434  
 www.marioncountyengineering.com

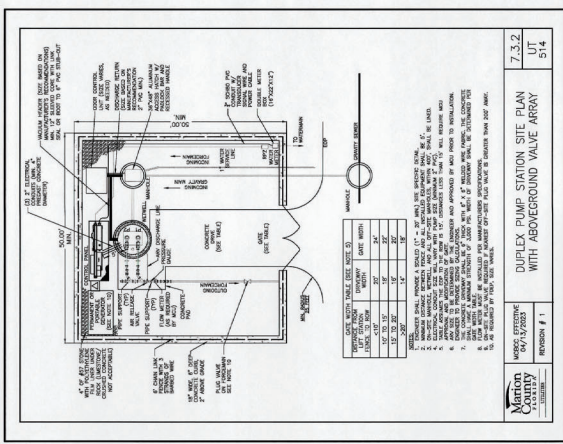
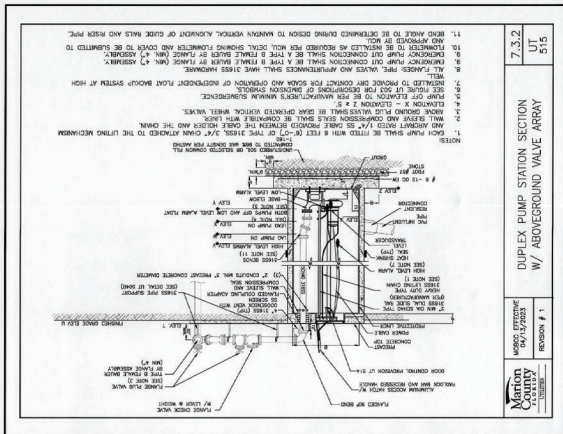
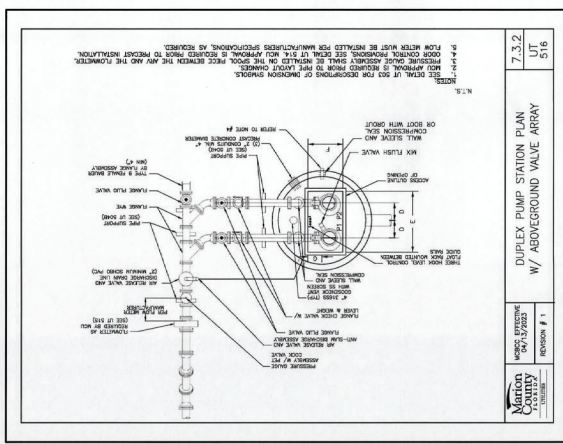
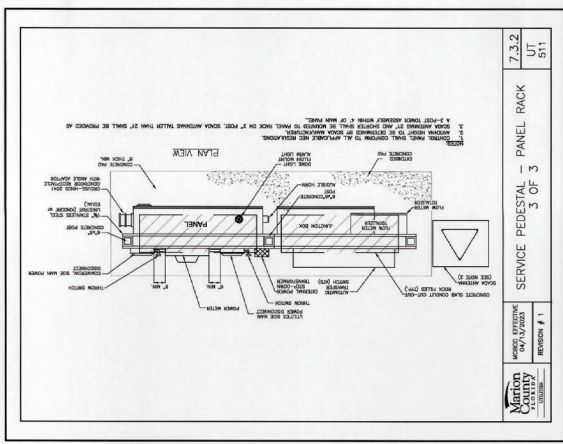
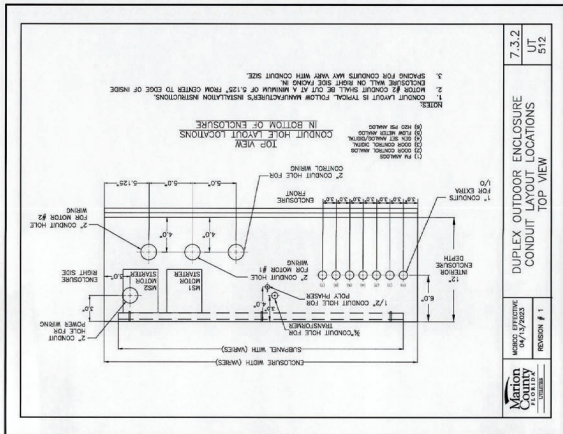
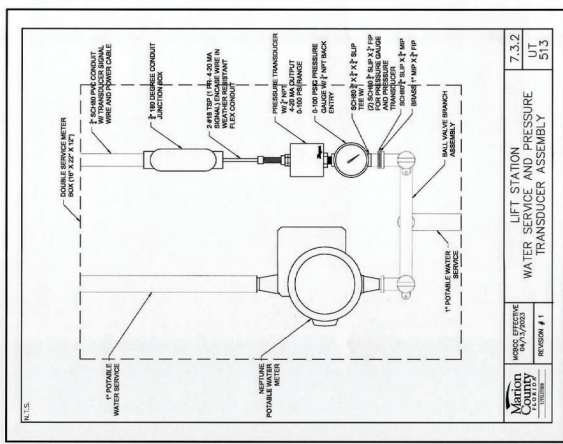
**MARION COUNTY ENGINEERING, INC.**  
 LIFT STATION DETAILS  
 PROJECT NAME: MARION COUNTY LIFT 2  
 LOCATION: SECTION 22 & TOWNSHIP 17 NORTH, RANGE 21 EAST, MARION COUNTY, FL

Sheet No. of 45

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29427  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County Engineer is based on the information provided by the applicant and the County Engineer's office. The County Engineer's office does not warrant the accuracy or completeness of the information provided by the applicant. The County Engineer's office is not responsible for any errors or omissions in the plans or for any consequences resulting from the use of the plans. The County Engineer's office is not responsible for any damage to property or persons resulting from the use of the plans. The County Engineer's office is not responsible for any costs incurred by the applicant in connection with the preparation of the plans or the construction of the project.

**MARION COUNTY PROJECT**  
 No. 29427



**7.3.2**  
**UT**  
**517**

**DUPLEX PUMP STATION GROUNDING**  
**W/ ABOVEGROUND VALVE ARRAY**  
**(TYPICAL)**

REVISION # 1

**7.3.2**  
**UT**  
**518**

**DUPLEX PUMP STATION PLAN**  
**W/ ABOVEGROUND VALVE ARRAY**

REVISION # 1

**7.3.2**  
**UT**  
**519**

**DUPLEX PUMP STATION SECTION**  
**W/ ABOVEGROUND VALVE ARRAY**

REVISION # 1

**7.3.2**  
**UT**  
**514**

**DUPLEX PUMP STATION SITE PLAN**  
**WITH ABOVEGROUND VALVE ARRAY**

REVISION # 1



**Lift Station Details**  
 Project Name: MARION OAKS UNIT 2  
 Location: SECTION 22.12, TRACELAND 17 SOUTH, MARION COUNTY, FL 32009  
 Date: 11-28-22

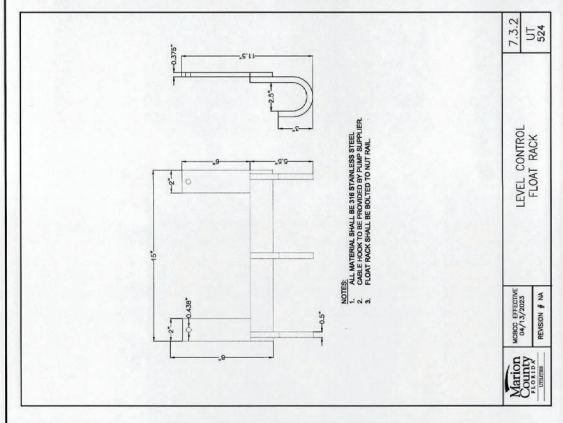
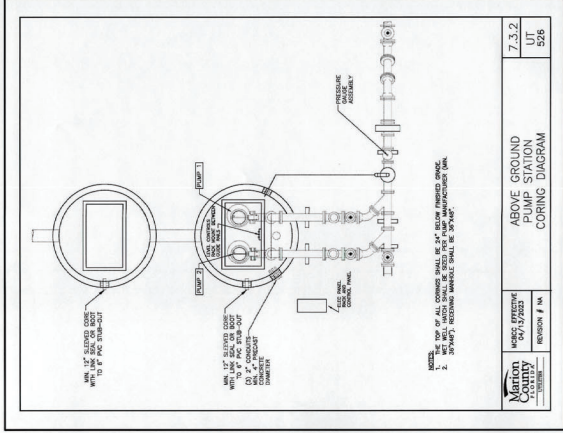
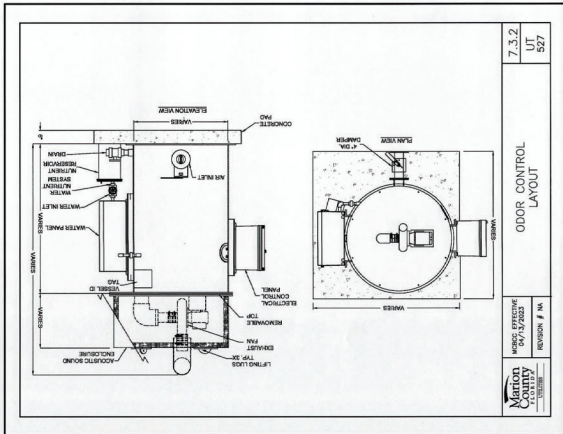
**MICHAEL W. RADCLIFF ENGINEERING, INC.**  
 2015 S. Lake Way, Palm Bay, FL 32909  
 Phone: 888-888-8888  
 Fax: 888-888-8888  
 Email: mradcliff@engineering.com

Checked: dwp	Date: 11-28-22
Drawn: MWR	Scale: 1" = 100'
Design: MJK	Project: 2021-43
Approved: MWR	Sheet: 1 of 45

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 28457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County Engineer is based on the information provided by the applicant and does not constitute a warranty of any kind. The County Engineer is not responsible for the design, construction, or operation of the project. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The County Engineer is not responsible for the design, construction, or operation of the project. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**MARION COUNTY PROJECT**  
 No. 28457

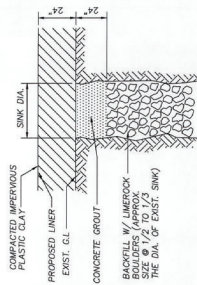


<b>CONSTRUCTION DETAILS</b> PROJECT NAME: MARION CHAIN LINK 2 IMPROVEMENT PLAN LOCATION: MARION COUNTY, FLORIDA SHEET NO. 10-100-100	<b>MICHAEL W. RADCLIFFE ENGINEERING, INC.</b> 201 S. LAKE WALK AVENUE, SUITE 100 MARION COUNTY, FLORIDA 32003 PHONE: (904) 292-2500 FAX: (904) 292-2501 WWW.MICHAELWRADCLIFFEENGINEERING.COM	DATE: 03-13-2012 DRAWN: MMS CHECKED: MMS TITLE: MARION CHAIN LINK 2 IMP	DATE: 03-13-2012 DRAWN: MMS CHECKED: MMS TITLE: MARION CHAIN LINK 2 IMP	DATE: 03-13-2012 DRAWN: MMS CHECKED: MMS TITLE: MARION CHAIN LINK 2 IMP	DATE: 03-13-2012 DRAWN: MMS CHECKED: MMS TITLE: MARION CHAIN LINK 2 IMP
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**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 28457  
 APPROVAL DATE: 10/02/10  
 PROPOSED DATE: 10/02/10

The approval of these plans by Marion County Engineers is based on the information provided by the applicant and is not a guarantee of the accuracy of the information provided. The applicant is responsible for the accuracy of the information provided and for obtaining all necessary permits and approvals from the appropriate authorities. The approval of these plans by Marion County Engineers is not a guarantee of the accuracy of the information provided. The applicant is responsible for the accuracy of the information provided and for obtaining all necessary permits and approvals from the appropriate authorities.

**MARION COUNTY PROJECT**  
 No. 28457



**EXIST. SINK CHIMNEY**  
 REPAIR METHOD 2, SECTION 4.0, APPLICANT'S HANDBOOK  
 - KARST SENSITIVE AREAS, S.W.M.D., MAY 1998.

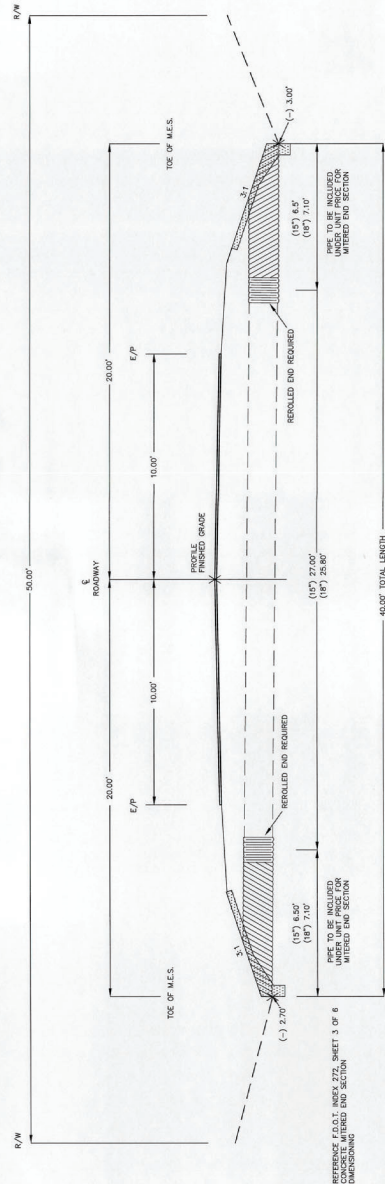
IF AN EXISTING SINK CHIMNEY IS FOUND TO BE IN A KARST SENSITIVE AREA, THE DEVELOPER SHALL IMMEDIATELY NOTIFY THE CITY AND SWIMD AND ADOPT ONE OF THE FOLLOWING METHODS TO STABILIZE THE KARST SENSITIVE AREA BEFORE OR DURING CONSTRUCTION ACTIVITIES. ALL WORK SHALL BE APPROVED BY THE COUNTY ENGINEER OF MARION COUNTY.

A. THE DEVELOPER SHALL TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREA.

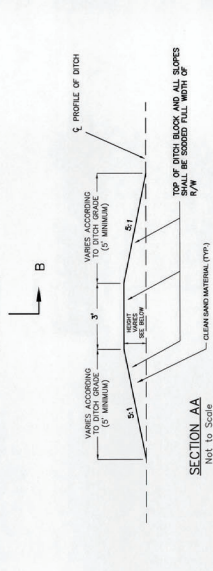
B. THE DEVELOPER SHALL VISUALLY INSPECT THE AFFECTED AREA TO FALL THE AFFECTED AREA AND PREVENT FURTHER KARST FORMATION. MATERIALS IN THE BACK FILLING OPERATION, WHEN APPROPRIATE.

C. THE DEVELOPER SHALL MAINTAIN A MINIMUM DISTANCE OF FIVE (5) FEET FROM THE AFFECTED AREA TO ANY KARST POTENTIAL KARST FORMATION, CLAY, OR KARST CONNECTION TO THE KARST FORMATION.

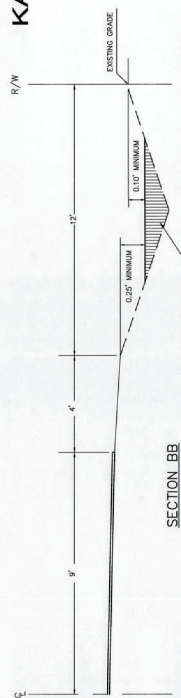
D. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER RETENTION AREA, THE DEVELOPER SHALL RELOCATE THE RETENTION AREA. IF THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE.



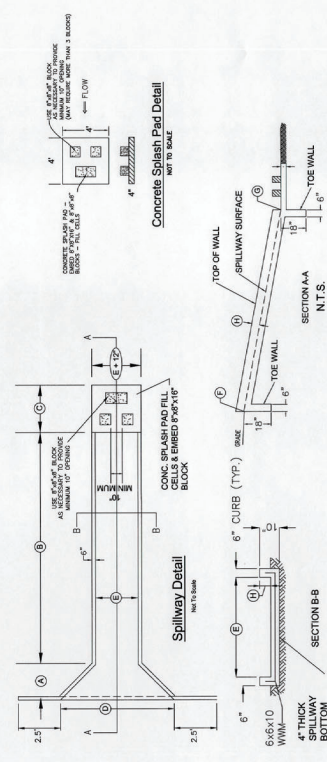
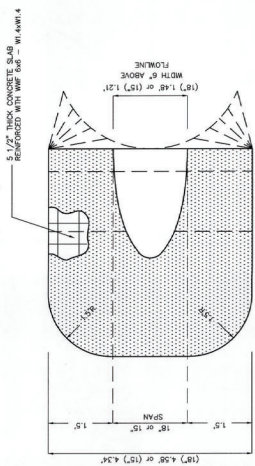
**TYPICAL CROSS DRAIN DETAIL**



**TYPICAL DITCH BLOCK DETAIL**

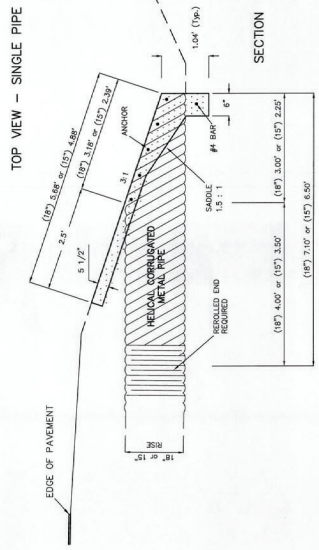
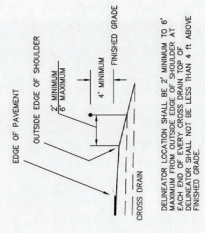


**KARST REPAIR DETAIL**



SPILLWAY CONSTRUCTION TABLE							
SPILLWAY	A	B	C	D	E	F	H
FLARE	LENGTH	SPLASH PAD	WIDTH	TOP	BOTTOM	DEPTH	
3P-1	5	37	4	5	3	6	11
							28.0
							6

**TYPICAL CROSS DRAIN DELINEATOR PLACEMENT DETAIL**



**CROSS DRAIN MITERED END SECTION**

ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE MITERED END SECTIONS.





COUNTY ENGINEER  
MARION COUNTY, FLORIDA  
APPLICATION # 2467  
3 PERMAL DATE 3M24  
EXPIRATION DATE 3M24

The approval of these plans by Marion County is not a warranty, representation, or endorsement of any products, materials, or methods of construction, or a guarantee of any results. It is the responsibility of the applicant to ensure that all construction shall conform to the applicable codes, laws, rules, and regulations of the State of Florida and the County of Marion. The County Engineer is not responsible for any errors or omissions on these plans or for any consequences that may result from their use. The County Engineer is not responsible for any additional permits, fees, or regulations that may be required by other local agencies.

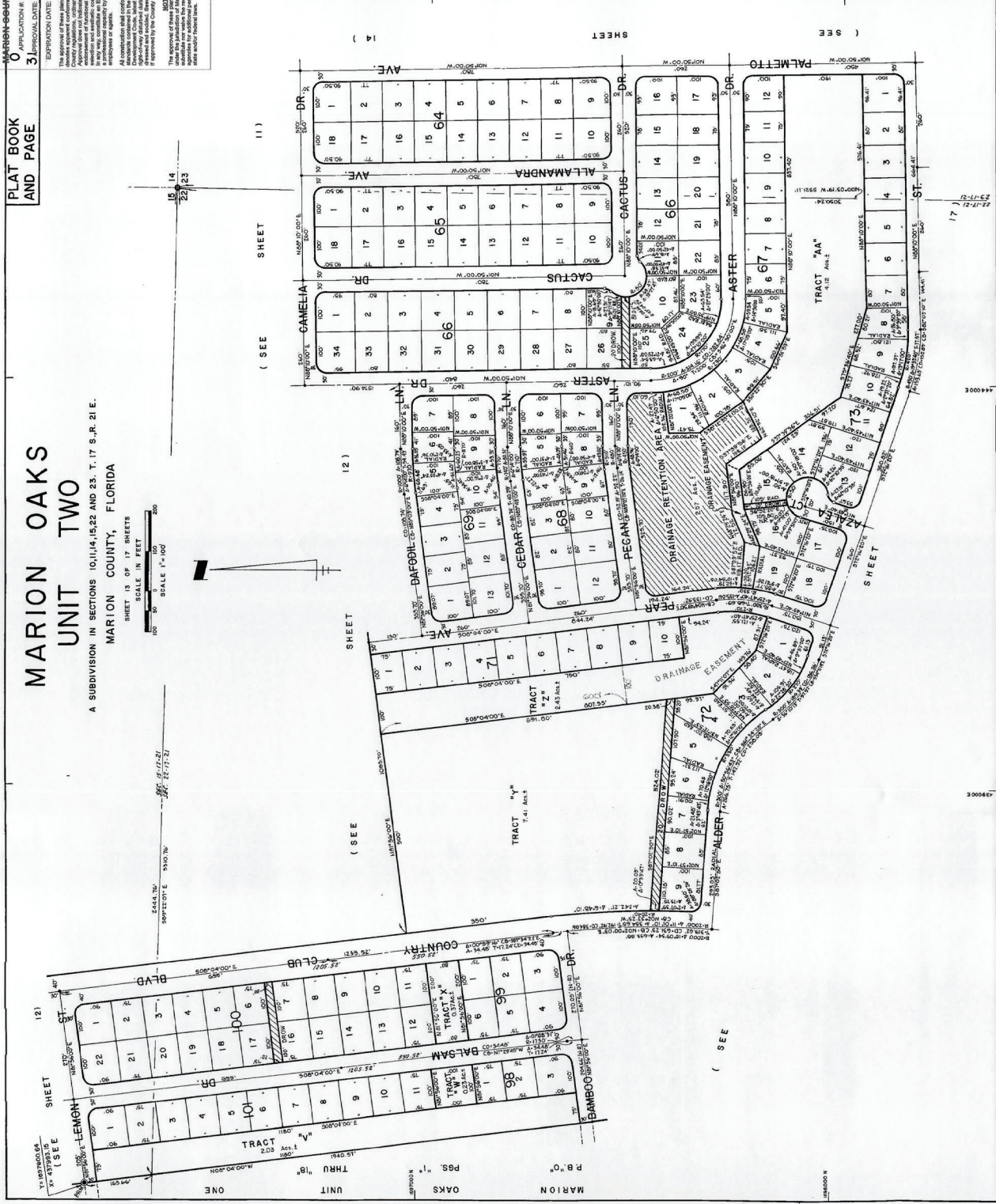
PLAT BOOK  
AND PAGE

# MARION OAKS UNIT TWO

A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.  
MARION COUNTY, FLORIDA

SHEET 13 OF 17 SHEETS  
SCALE IN FEET  
SCALE 1" = 100'

15 14  
22 23



NOTICE: There may be additional restrictions that are not recorded on this plat that may be found in the public records of this County.

187 LOTS THIS SHEET  
31  
13-17

COUNTY ENGINEER  
 MARION COUNTY, FLORIDA  
 APPLICATION # 2857  
 EXPIRATION DATE 10/24  
 32

This approval of these plans by Marion County, Florida, is based on the information provided by the applicant and is not a guarantee of the accuracy of the information provided. The County Engineer is not responsible for the design or construction of the project. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The County Engineer is not responsible for the design or construction of the project. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies.

PLAT BOOK  
 AND PAGE

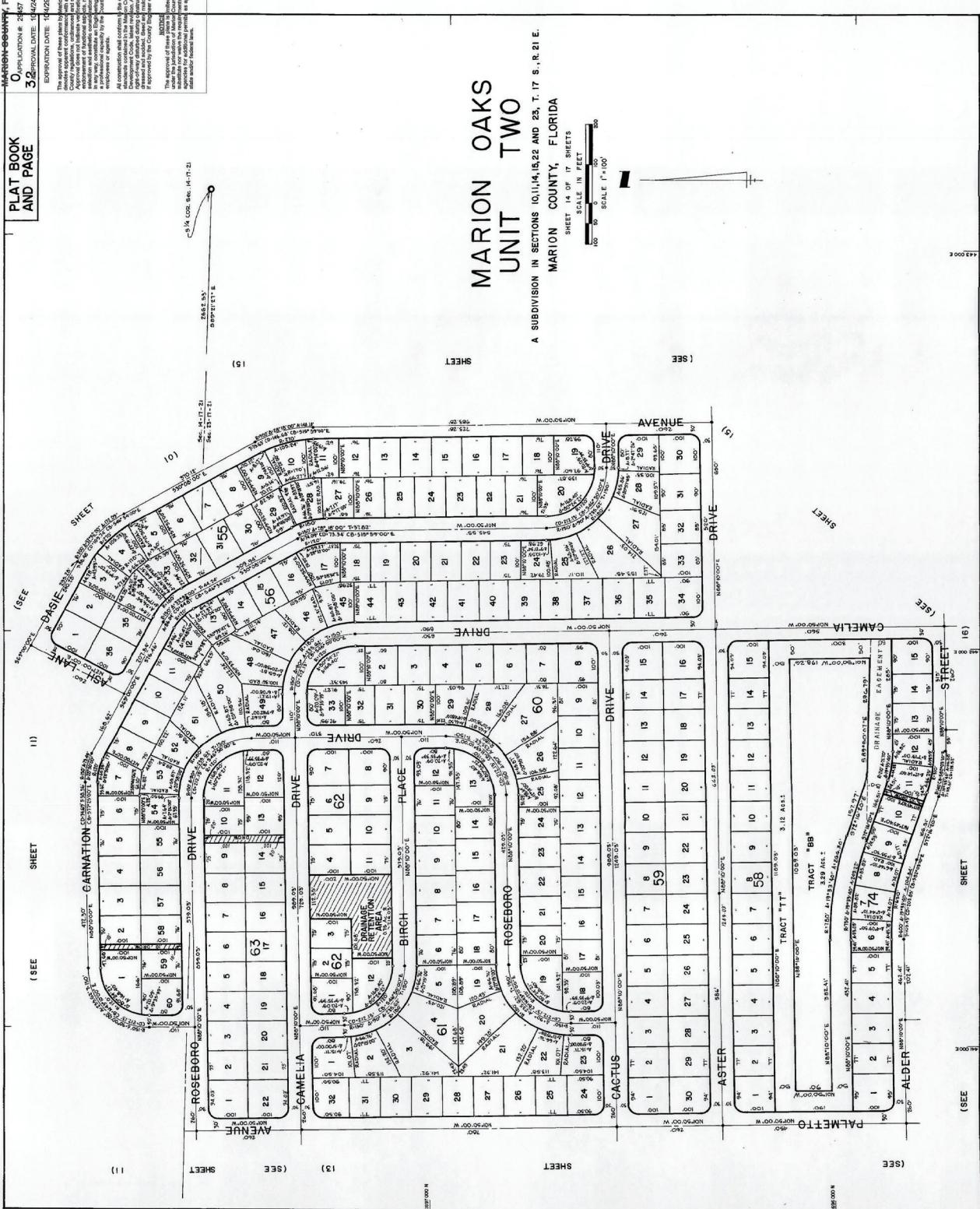
MARION OAKS  
 UNIT TWO

A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.

MARION COUNTY, FLORIDA

SHEET 14 OF 17 SHEETS

SCALE IN FEET  
 1" = 100'



285 LOTS THIS SHEET  
 32  
 14-17

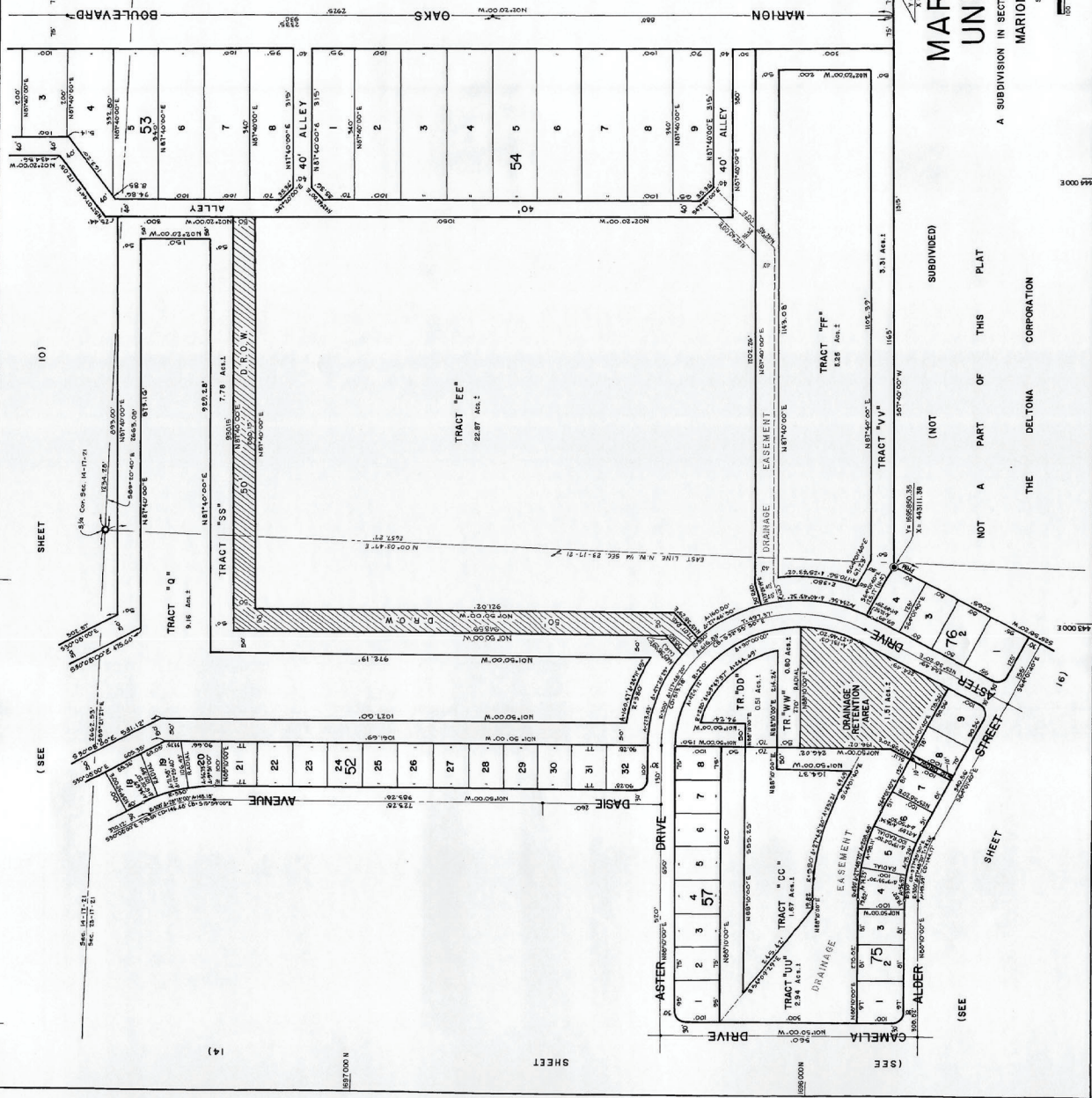
NOTICE: There may be additional records that are not recorded in this records of this County.

COUNTY ENGINEER  
MARION COUNTY, FLORIDA

LOCATION# 2467  
APPROVAL DATE: 11/24/24  
SHEET NO. 33

This approval of these plans by Marion County is based on the information provided and does not constitute a warranty of accuracy, completeness, or reliability. It is the responsibility of the applicant to ensure that all information is true and correct. The County Engineer's office is not responsible for any errors or omissions in these plans. All construction shall conform to the current Florida Building Code, Florida Electrical Code, Florida Mechanical Code, and Florida Plumbing Code. The County Engineer's office is not responsible for any errors or omissions in these plans. All construction shall conform to the current Florida Building Code, Florida Electrical Code, Florida Mechanical Code, and Florida Plumbing Code. The County Engineer's office is not responsible for any errors or omissions in these plans.

PLAT BOOK  
AND PAGE



MARION OAKS  
UNIT TWO

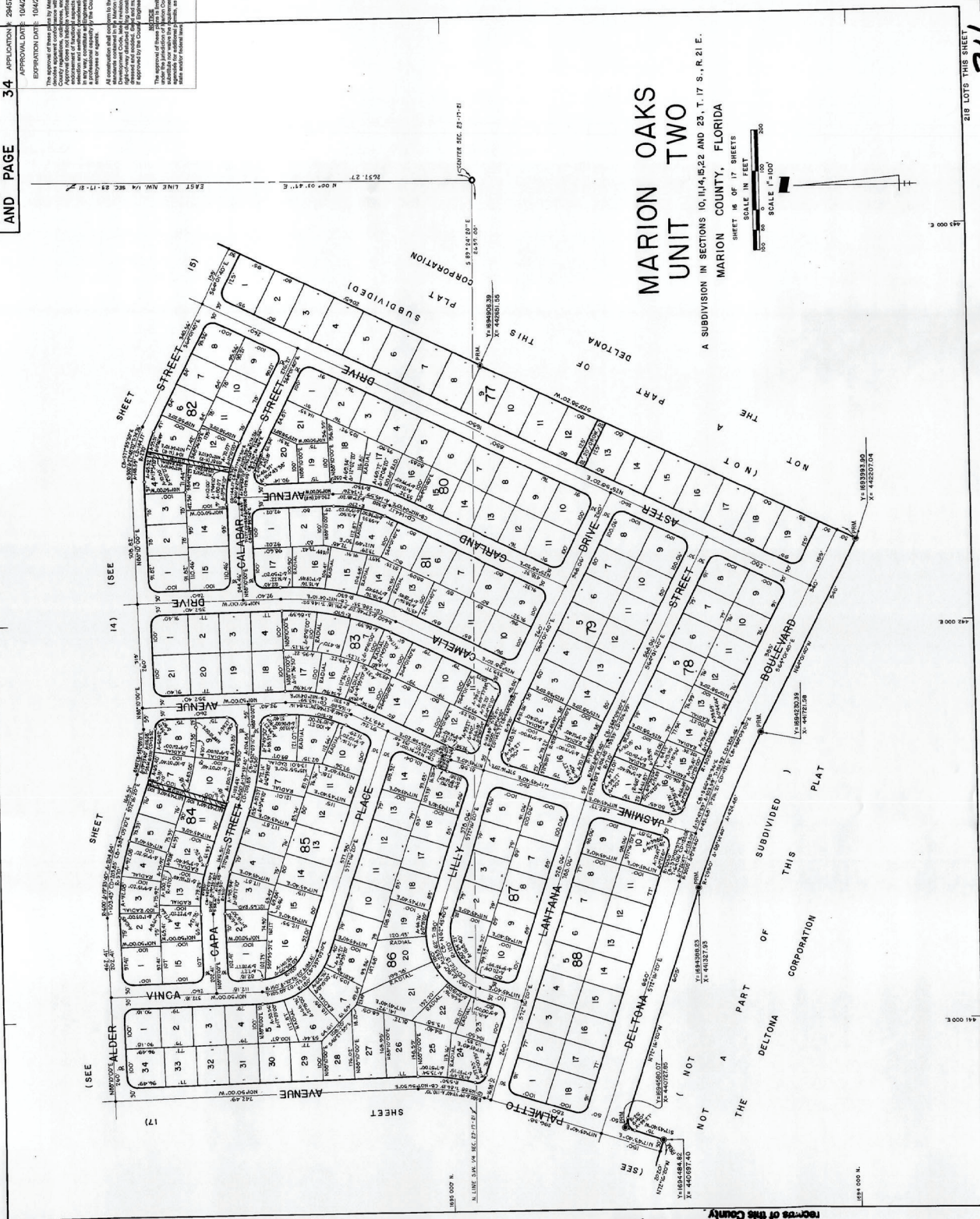
A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.  
MARION COUNTY, FLORIDA

SCALE IN FEET  
1" = 100'  
SCALE 1" = 100'

51 LOTS THIS SHEET  
33 15-17

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
**PLAT BOOK AND PAGE**  
**34 2847**  
 APPLICATION NO. 04429  
 APPROVAL DATE: 04/29  
 EXPIRATION DATE: 04/29

The approval of these plans by Marion County, Florida, is based on the information provided by the applicant and the County Engineer. The County Engineer does not warrant the accuracy of the information provided by the applicant, nor does the County Engineer assume any liability for errors or omissions in the plans or for any consequences that may result from the use of the plans. The approval of these plans does not constitute an endorsement of the project or the applicant, nor does it constitute a guarantee of the accuracy of the information provided by the applicant. The County Engineer is not responsible for any errors or omissions in the plans or for any consequences that may result from the use of the plans.



218 LOTS THIS SHEET  
 34 16-17

NOTICE: THERE MAY BE ADDITIONAL RECORDS THAT ARE NOT RECORDED ON THIS PLAT. PLEASE CHECK THE PUBLIC RECORDS OF THE COUNTY.

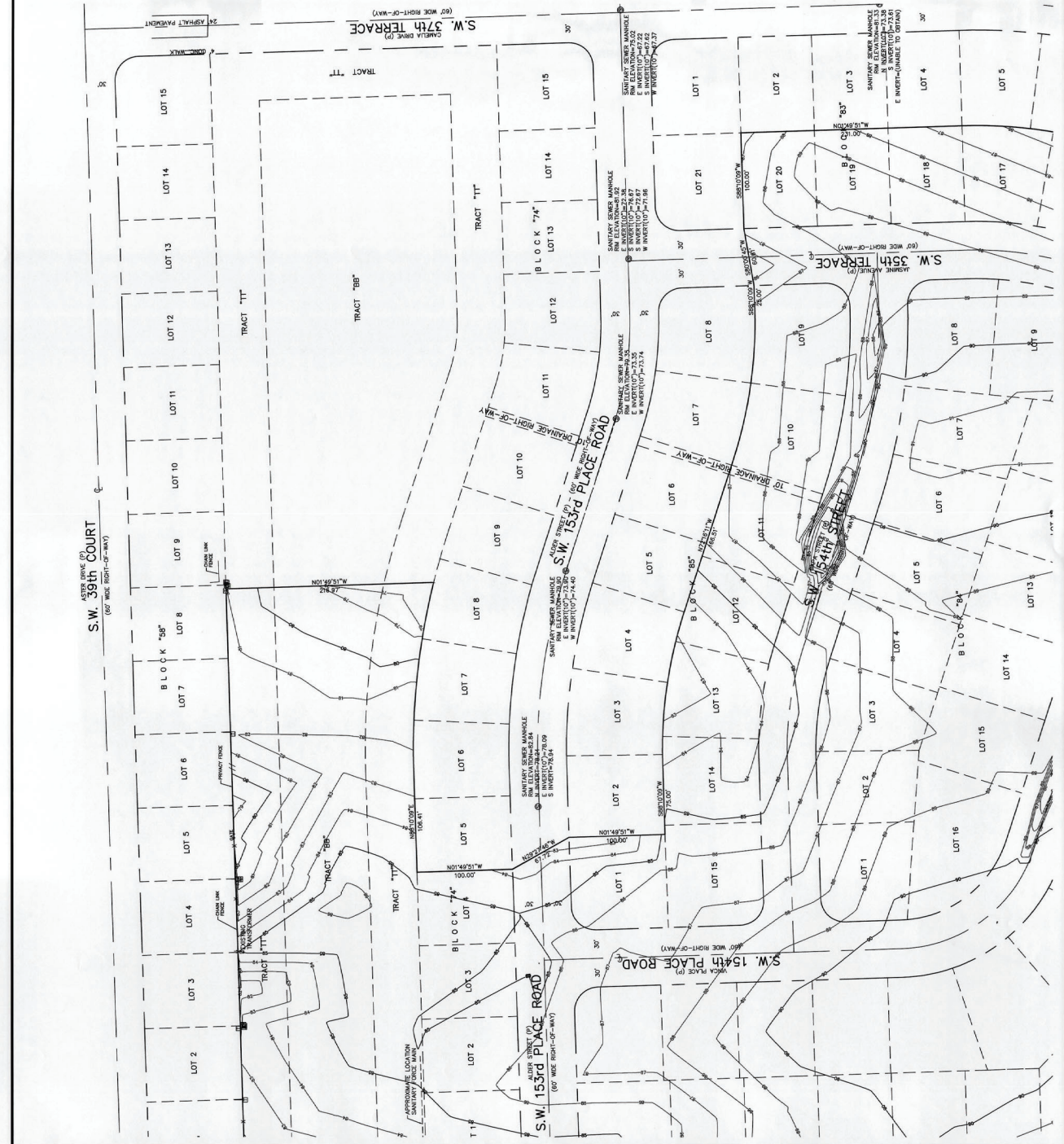
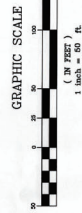






**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is not a warranty, endorsement, or approval of the quality, value, or condition of any materials, methods, or labor used in connection with the project. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate authorities.



TOPOGRAPHIC SURVEY
RADCLIFFE ENGINEERING
MARION OAKS UNIT 2
MOORHEAD ENGINEERING COMPANY CONSULTING ENGINEERS AND SURVEYORS P.O. BOX 998, 300 S.E. 14 <sup>th</sup> AVENUE, OAKA, FLORIDA, 34479 PHONE: 352-335-5500 FAX: 352-335-5112
Job No: 21-131 Drawing: 2131a Scale: 1" = 50'
Date Plotted: Office 03-15-22 Field 03-11-22
Drawn by: EAM Approved by: BMV File 2023 Pg. 11-44
SHEET NO. 3 OF 6 SHEETS

**LEGEND:**  
 - SANITARY SEWER MANHOLE  
 - WATER METER  
 - 12" DRAINAGE PIPE  
 - 18" DRAINAGE PIPE  
 - 24" DRAINAGE PIPE  
 - 30" DRAINAGE PIPE  
 - 36" DRAINAGE PIPE  
 - 42" DRAINAGE PIPE  
 - 48" DRAINAGE PIPE  
 - 54" DRAINAGE PIPE  
 - 60" DRAINAGE PIPE  
 - 66" DRAINAGE PIPE  
 - 72" DRAINAGE PIPE  
 - 78" DRAINAGE PIPE  
 - 84" DRAINAGE PIPE  
 - 90" DRAINAGE PIPE  
 - 96" DRAINAGE PIPE  
 - 102" DRAINAGE PIPE  
 - 108" DRAINAGE PIPE  
 - 114" DRAINAGE PIPE  
 - 120" DRAINAGE PIPE  
 - 126" DRAINAGE PIPE  
 - 132" DRAINAGE PIPE  
 - 138" DRAINAGE PIPE  
 - 144" DRAINAGE PIPE  
 - 150" DRAINAGE PIPE  
 - 156" DRAINAGE PIPE  
 - 162" DRAINAGE PIPE  
 - 168" DRAINAGE PIPE  
 - 174" DRAINAGE PIPE  
 - 180" DRAINAGE PIPE  
 - 186" DRAINAGE PIPE  
 - 192" DRAINAGE PIPE  
 - 198" DRAINAGE PIPE  
 - 204" DRAINAGE PIPE  
 - 210" DRAINAGE PIPE  
 - 216" DRAINAGE PIPE  
 - 222" DRAINAGE PIPE  
 - 228" DRAINAGE PIPE  
 - 234" DRAINAGE PIPE  
 - 240" DRAINAGE PIPE  
 - 246" DRAINAGE PIPE  
 - 252" DRAINAGE PIPE  
 - 258" DRAINAGE PIPE  
 - 264" DRAINAGE PIPE  
 - 270" DRAINAGE PIPE  
 - 276" DRAINAGE PIPE  
 - 282" DRAINAGE PIPE  
 - 288" DRAINAGE PIPE  
 - 294" DRAINAGE PIPE  
 - 300" DRAINAGE PIPE

DATE AT OAKA, FLORIDA THIS 05th DAY OF MARCH 2022.  
 MOORHEAD ENGINEERING COMPANY  
 SURVEYOR OF FLORIDA REGISTERED NO. 915  
 E. M. MOORHEAD  
 E.M. MOORHEAD





**MOOREHEAD ENGINEERING**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 29457  
 APPROVAL DATE 10/6/24  
 EXPIRATION DATE 10/6/29

**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 50 ft

**DESCRIPTION:**  
 THIS SURVEY SHOWS LOTS OF A SUBDIVISION OF PLAT BOOK 70, AT PAGES 18-20, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. THIS SURVEY IS A RE-SURVEY OF THE LOTS AND SANITARY MANHOLE LOCATIONS AND ELEVATIONS. THE SURVEY IS BASED ON THE SPERM NETWORK AND 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS.

**BASE OF ELEVATION:**  
 ELEVATIONS ARE BASED ON THE SPERM NETWORK AND 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS.

**FEMAL FLOOD ZONE INFORMATION:**  
 THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS.

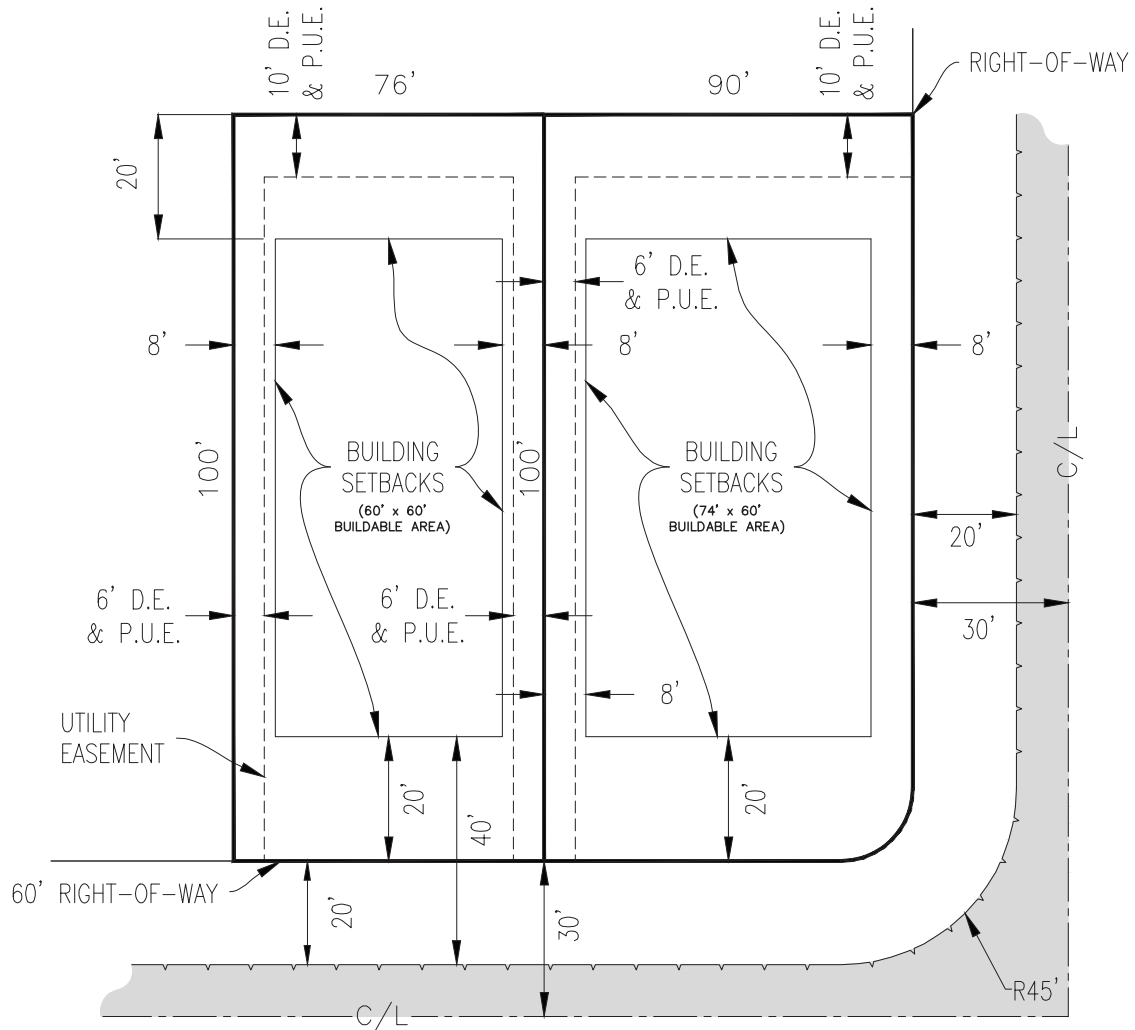
**HORIZONTAL CONTROL:**  
 HORIZONTAL CONTROL IS BASED ON THE SPERM NETWORK AND 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS. THE SURVEY IS BASED ON THE 1988 AND 1989 DATUMS.



**TOPOGRAPHIC SURVEY**  
**RADCLIFFE ENGINEERING**  
 MARION OAKS UNIT 2  
 MOOREHEAD ENGINEERING COMPANY  
 CONSULTING ENGINEER - LAND SURVEYORS  
 P.O. BOX 908 300 S.E. 14th AVENUE Ocala, Florida 34479  
 PHONE: 352-232-4406 FAX: 352-232-4512  
 Job No: 21-131 Drawing: 1131a Scale: 1" = 50'  
 Date Plotted: 03-15-22 Sheet: 03-11-22  
 SHEET NO. 6 OF 6 SHEETS

**LEGEND:**  
 - SANITARY MANHOLE (ELEVATION)  
 - WATER METER  
 - WATER METER BOX  
 - SANITARY MANHOLE  
 - SANITARY MANHOLE  
 - SANITARY MANHOLE

DATE: AT Ocala, Florida, this 15th day of March 2022.  
 MOOREHEAD ENGINEERING COMPANY  
 GEORGETOWN OF AUTHORIZATION 18 315  
 BRUCE A. MOOREHEAD  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 STATE OF FLORIDA  
 NO. 12345  
 EXPIRES 12/31/2024



TYPICAL INTERIOR LOT DETAIL  
60' RIGHT-OF-WAY  
NOT TO SCALE

TYPICAL CORNER LOT DETAIL  
60' RIGHT-OF-WAY  
NOT TO SCALE

DETAIL PER PLANS APPROVED 10/4/24

**BUILDING SETBACKS**

APPROVED PLAN (10/4/24)	CURRENT CODE (9/29/25 LDC)
FRONT : 20	FRONT : 20
REAR : 20	REAR : 20
SIDE : 8	SIDE : 8

D.E. = DRAINAGE EASEMENT  
P.U.E. = PUBLIC UTILITY EASEMENT

Project Name: 2025-17 Marion Oaks Unit 2	Drawn: MIK	<b>MICHAEL W. RADCLIFFE ENGINEERING, INC.</b> 2611 S.E. Lake Weir Avenue Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010 Certificate No. EB-0006198 Michael W. Radcliffe P.E. #31170 - Christopher A. Gwin P.E. #66568 <a href="http://www.radcliffeengineering.com">www.radcliffeengineering.com</a>
Sheet Name: <b>Setback Exhibit</b>	Scale: NTS	
	Date: 2025-11-11	



E. Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands, buildings or structures in the same zoning district.

F. The granting of the variance will be in harmony with the general intent and purpose of the Zoning Ordinance, will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

2.  GRANTED: Based on the Board of Adjustment's finding that the requirements of Paragraph 1 above have been demonstrated by the applicant for variance.

3.  DENIED: Based on the Board of Adjustment's finding that the requirements of Paragraph 1 above have not been demonstrated by the applicant for variance.

4.  CONDITIONS & SAFEGUARDS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5.  TIME LIMIT: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

 6-25-84  
CHAIRMAN DATE

## Unit 2 Marion Oaks

Block	Lot
22	8-14
23	17-21
38	5
52	23-32
55	1, 15-19
56	10, 13, 14, 17, 20, 27-34, 37, 45, 49, 53, 59, 60
57	1-8
58	9-15
59	2-5, 7, 8, 11, 13, 15-27
60	1, 3, 11, 12, 14, 16-18, 20-24, 33
61	1, 6, 8-10, 12, 14-18, 22, 24, 25, 32
62	1-3, 5-10, 12
63	1, 8-11, 13-20
64	1-9, 12-18
65	1-18
66	1, 3, 6-9, 17, 21, 22, 27, 31, 33
68	1, 2, 4-6, 9-11
69	1, 3-5, 7, 10
70	1-17, 34, 39, 40
71	10
72	1-9
73	1-19

Block	Lot	Block	Lot
74	1-15	95	1-22, 32
75	1-9	100	1, 8, 22
76	1-4	103	16, 19
77	1-19	226	5
78	1-16	230	11, 21
79	1-16	231	1
80	1-21		
81	1-17		
82	1-15		
83	1-21		
84	1-15		
85	1-16		
86	1-34		
87	1-10		
88	1-18		
89	1-38		
90	1-35		
91	1-18		
92	1-32		
93	1-27		
94	1-21		

shall remain subject to all restrictions, provisions and covenants as stated in that certain Declaration of Restrictions recorded in Official Records Book 571, Pages 668 through 678 inclusive of the Public Records of Marion County, Florida, except as follows:

The Subdivider does hereby declare that Section 2.01, entitled Setback Restrictions, is superseded in its entirety and abolished and in its place the following Amended Setback Restrictions shall restrict and limit the above-described property:

AMENDED SETBACK RESTRICTIONS

2.01 On all lots, no building shall be erected on any of said lots nearer than TWENTY-FIVE (25) feet to the front lot lines of said lots except that on corner lots no structure shall be permitted nearer than TWENTY-FIVE (25) feet to the front lot line of said corner lot (the front lot line shall be the street lot line having the least dimension); nor nearer than FIFTEEN (15) feet to the side street line when the front of the structure is placed facing said front lot line, however, if the front of said structure is placed facing more toward the side street lot line then it shall not be permitted nearer than TWENTY-FIVE (25) feet to both street lot lines; nor nearer than SEVEN & ONE/HALF (7 1/2) feet to any interior side lot line; nor nearer than TWENTY (20) feet to the rear lot line (the rear lot line being opposite and most distant from the front lot line). Screened swimming pool enclosures may be erected to within FIFTEEN (15) feet of the rear lot line. Such swimming pool enclosures may not be erected unless and until their location, architectural and structural design, have been approved by the architectural design committee of the Subdivider, its successors, or assigns. For the purpose of this covenant, eaves and steps shall not be considered as a part of a building, provided however, that this shall not be construed to permit any portion of a building on a lot to encroach upon another lot or easement.

In all other respects, other than as amended above, the Declaration of Restrictions recorded in Official Records Book 571, Pages 668 through 678 of the Public Records of Marion County, Florida, is rati-

80-38691

THE DELTONA CORPORATION, )  
a Delaware corporation, )  
 )  
and )  
 )  
DELTONA'S MACKLE-BUILT )  
CONSTRUCTION COMPANY, INC., )  
a Florida corporation, )  
 )  
TO WHOM IT MAY CONCERN: )

O.R. 1036 PAGE 0980  
BOOK

AMENDMENT TO  
DECLARATION OF RESTRICTIONS

WHEREAS, THE DELTONA CORPORATION, a Delaware corporation, authorized to do business in the State of Florida, and DELTONA'S MACKLE-BUILT CONSTRUCTION COMPANY, INC., a Florida corporation and a wholly-owned subsidiary of The Deltona Corporation, hereinafter collectively referred to as the "Subdivider", are the developers of the following described property, situate, lying and being in Marion County, Florida; and

WHEREAS, the following described property is subject to that certain Declaration of Restrictions recorded in Official Records Book 547, Pages 431 through 441 of the Public Records of Marion County, Florida; and

WHEREAS, it is now desired by the Subdivider to amend the restrictions and limitations of record on the following described property; and

WHEREAS, Section 10.01 of the above described Declaration of Restrictions provides for the Subdivider, in its sole judgment, to make reasonable modifications, amendments or additions to the restrictions; and

WHEREAS, the Subdivider now desires to amend the Setback Restrictions contained in Section 2.01 of the above referenced Declaration of Restrictions as affecting the property hereinafter described:

NOW, THEREFORE, the Subdivider does hereby declare that the following described property, situate, lying and being in Marion County, Florida, to-wit:

MARION OAKS SUBDIVISION, UNIT TWO (2), according to the plat thereof recorded in Plat Book 0, Pages 19 through 35 inclusive, of the Public Records of Marion County, Florida, less and excepting Lots 1-4 of Block 1; Lots 1-3 of Block 2; Lots 1-8 of Block 3; Lots 1-9 of Block 4; Lots 1-5 of Block 5; Lots 1-8 of Block 6; Lots 1-8 of Block 7; Lots 1-6 of Block 8; Lots 1-8 of Block 9; Lots 1-8 of Block 10; Lots 1 and 2 of Block 11; Lots 1-9 of Block 13;

3250 SW 3rd Ave  
Miami FL 33129

*Nancy J. Davino*

80-277CS(H)

Lots 1-3 of Block 15; Lots 1 and 2 of Block 16; Lots 1-4 of Block 17; Lots 1-7 of Block 18; Lots 1-10 of Block 27; Lots 1-8 of Block 53; Lots 1-9 of Block 54; Lot 1 of Block 160; Lots 1-7 of Block 239; Lots 1-5 of Block 240; Lots 1-11 of Block 241; Lots 1-6 of Block 242; Lots 1 and 2 of Block 243; Lots 1-19 of Block 244; Lots 1-5 of Block 245; Lots 1-6 of Block 246, AND TRACTS: A, B, C, D, E, F, G, H, J, K, L, M, N, P, Q, R, S, T, U, V, W, X, Y, Z, AA, BB, CC, DD, EE, FF, GG, HH, JJ, KK, LL, MM, NN, PP, QQ, RR, SS, TT, UU, VV and WW.

(hereinafter referred to as the "lots" or "said lots".)

shall remain subject to all restrictions, provisions and covenants as stated in that certain Declaration of Restrictions recorded in Official Records Book 547, Pages 431 through 441 inclusive of the Public Records of Marion County, Florida, except as follows:

The Subdivider does hereby declare that Section 2.01, entitled Setback Restrictions, is superseded in its entirety and abolished and in its place the following Amended Setback Restrictions shall restrict and limit the above-described property:

AMENDED SETBACK RESTRICTIONS

2.01 On all lots, no building shall be erected on any of said lots nearer than TWENTY-FIVE (25) feet to the front lot lines of said lots except that on corner lots no structure shall be permitted nearer than TWENTY-FIVE (25) feet to the front lot line of said corner lot (the front lot line shall be the street lot line having the least dimension); nor nearer than FIFTEEN (15) feet to the side street line when the front of the structure is placed facing said front lot line, however, if the front of said structure is placed facing more toward the side street lot line then it shall not be permitted nearer than TWENTY-FIVE (25) feet to both street lot lines; nor nearer than SEVEN & ONE/HALF (7 1/2) feet to any interior side lot line; nor nearer than TWENTY (20) feet to the rear lot line (the rear lot line being opposite and most distant from the front lot line). Screened swimming pool enclosures may be erected to within FIFTEEN (15) feet of the rear lot line. Such swimming pool enclosures may not be erected unless and until their location, architectural and structural design, have been approved by the architectural design committee of the Subdivider, its successors, or assigns. For the purpose of this covenant, eaves and steps shall not be considered as a part of a

building, provided however, that this shall not be construed to permit any portion of a building on a lot to encroach upon another lot or easement.

In all other respects, other than as amended above, the Declaration of Restrictions recorded in Official Records Book 547, Pages 431 through 441 of the Public Records of Marion County, Florida, is ratified, reaffirmed and remains in full force and effect, and the provisions thereof are hereby incorporated within this Amendment to Declaration of Restrictions to the full extent required to enforce the Amended Setback Restrictions hereinabove stated.

IN WITNESS WHEREOF, the Subdivider has caused these presents to be executed by its proper officers, who are thereunto duly authorized, and its corporate seals to be affixed at Miami, Dade County, Florida, this 23rd day of September, 1980.

Witnesses:

Christopher J. Stokely  
Virginia Santiago

THE DELTONA CORPORATION

BY: Frank E. Mackle, III  
FRANK E. MACKLE, III  
President

Witnesses:

Christopher J. Stokely  
Virginia Santiago

DELTONA'S MACKLE-BUILT CONSTRUCTION COMPANY, INC.

BY: Frank E. Mackle, III  
FRANK E. MACKLE, III  
Vice President

STATE OF FLORIDA )  
                          ) ss.  
COUNTY OF DADE    )

The foregoing instrument was acknowledged before me this 23rd day of September, 1980, by FRANK E. MACKLE, III, President and Vice President, respectively of The Deltona Corporation, a Delaware corporation and Deltona's Mackle-Built Construction Company, Inc., a Florida corporation, on behalf of said corporations.

My commission expires:

Carroll R. Cruz  
Notary Public, State of Florida  
at Large

NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES JAN. 30 1983  
BONDED TEN GENERAL INS. UNDERWRITERS

**VARIANCE ACTION FORM**

ITEM NO: 250403V

DATE OF PUBLIC HEARING: APRIL 7, 2025

OWNER NAME(s):

K. Hovnanian at Aspire Glen Aire, LLC  
3705 SW 153<sup>rd</sup> Place Rd  
Ocala, FL 34473

AGENT NAME(s):

N/A

LEGAL DESCRIPTION OF PROPERTY: Parcel Account No. 8002-0074-05, SEC 23 TWP 17 RGE 21, in Marion County, Florida.

VARIANCE REQUESTED: Request to reduce the front setback from 25' to 20' for construction of single-family homes, in a Single-Family Dwelling (R-1) zone.

\*\*\*\*\*

**FINDINGS OF BOARD OF ADJUSTMENT**

1. **Written Petition.** A written petition for a Variance has been submitted demonstrating that:
  - A. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings with the same zoning classification and land use area.
  - B. The special conditions and circumstances do not result from the actions of the applicant.
  - C. Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use area under the terms of said regulations and would work unnecessary and undue hardship of the applicant.
  - D. The Variance, if granted, in the minimum Variance that will allow the reasonable use of the land, building or structure.
  - E. Granting the Variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings of structures in the same zoning classification and land use area.
  - F. The granting of the Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

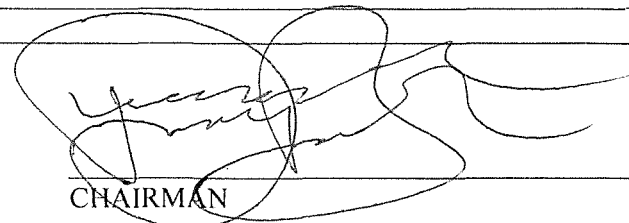
2. 4-1 ✓ **GRANTED:** Based on the Board of Adjustment's finding that the requirements of Paragraph 1 above have been demonstrated by the applicant for Variance.

3. \_\_\_\_\_ **DENIED:** Based on the Board of Adjustment's finding that the requirements of Paragraph 1 above have not been demonstrated by the applicant for Variance.

4. \_\_\_\_\_ **CONDITIONS & SAFEGUARDS:**  
A. Should the structure be removed for any reason, any replacement structure must meet the then required setbacks or a variance must be requested. \_\_\_\_\_

B. \_\_\_\_\_

*Barber  
at Sherwood*



CHAIRMAN

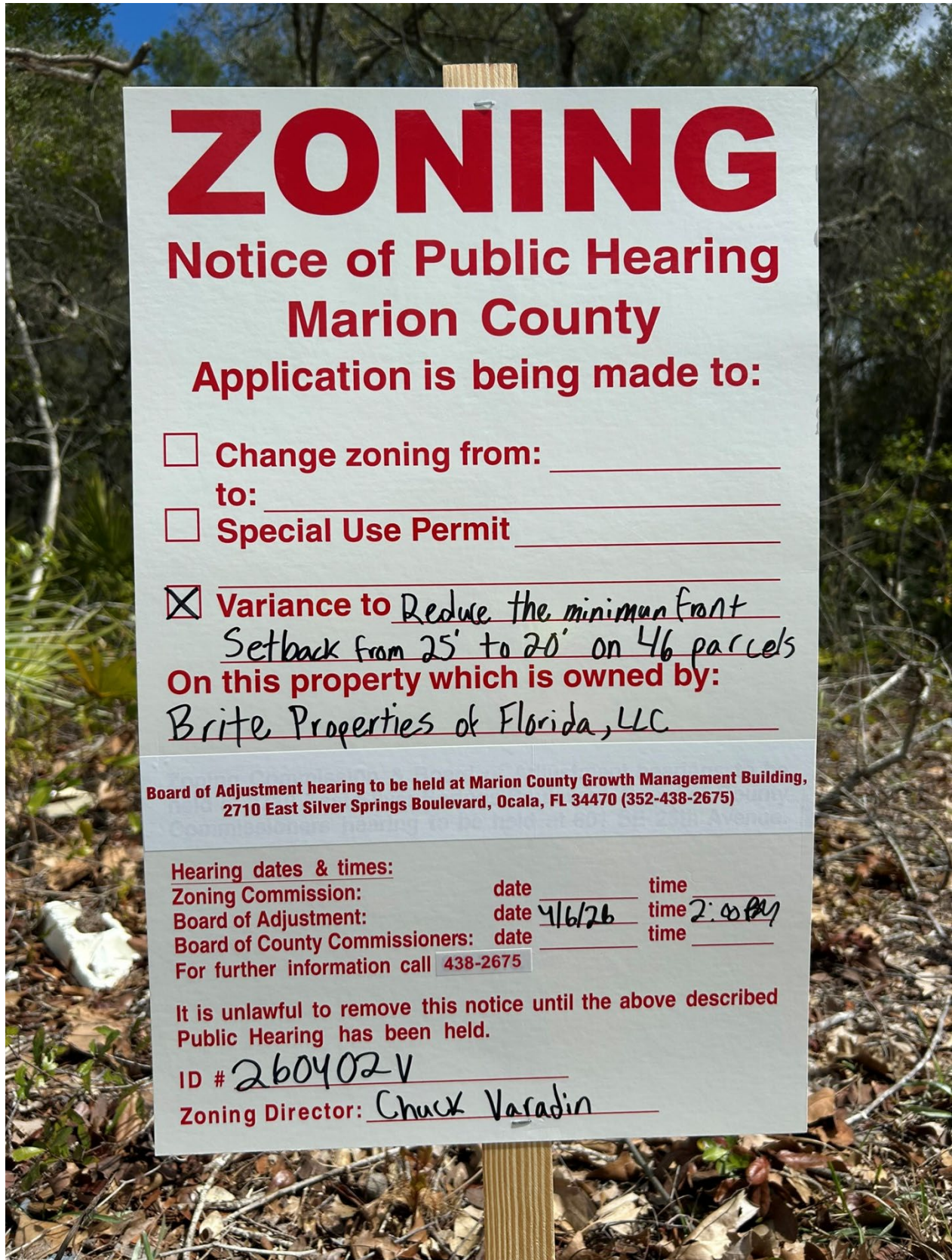
04-07-2025  
DATE

## 260402V Site and Area Photographs

Signs were posted and photos were taken on March 5<sup>th</sup>, 2026

Figure 1

Sign at SW 152<sup>nd</sup> St & Marion Oaks Dr, Facing E



**ZONING**  
**Notice of Public Hearing**  
**Marion County**  
**Application is being made to:**

Change zoning from: \_\_\_\_\_  
to: \_\_\_\_\_

Special Use Permit \_\_\_\_\_

**Variance to** Reduce the minimum front  
Setback from 25' to 20' on 46 parcels  
**On this property which is owned by:**  
Brite Properties of Florida, LLC

Board of Adjustment hearing to be held at Marion County Growth Management Building,  
2710 East Silver Springs Boulevard, Ocala, FL 34470 (352-438-2675)

Hearing dates & times:  
Zoning Commission: date \_\_\_\_\_ time \_\_\_\_\_  
Board of Adjustment: date 4/6/26 time 2:00 PM  
Board of County Commissioners: date \_\_\_\_\_ time \_\_\_\_\_  
For further information call 438-2675

It is unlawful to remove this notice until the above described  
Public Hearing has been held.

ID # 260402V  
Zoning Director: Chuck Varadin

Figure 2

Sign at SW 152<sup>nd</sup> St & Marion Oaks Dr, Facing E



Figure 3

Sign at SW 152<sup>nd</sup> St & Marion Oaks Dr, Facing W



Figure 4

Sign on SW 37<sup>th</sup> Terr Rd & Marion Oaks Manor, Facing N



Figure 5

Sign on SW 37<sup>th</sup> Terr Rd & Marion Oaks Manor, Facing N



Figure 6

Sign on SW 37<sup>th</sup> Terr Rd & Marion Oaks Manor, Facing N



Figure 7

Sign on SW 34<sup>th</sup> Ct Rd & SW 153<sup>rd</sup> Pl Rd, Facing N



# ZONING

## Notice of Public Hearing Marion County

Application is being made to:

Change zoning from: \_\_\_\_\_

to: \_\_\_\_\_

Special Use Permit \_\_\_\_\_

Variance to Reduce the minimum front

setback from 25' to 20' on 46 parcels

On this property which is owned by:

Brite Properties of Florida, LLC

Board of Adjustment hearing to be held at Marion County Growth Management Building,  
2710 East Silver Springs Boulevard, Ocala, FL 34470 (352-438-2675)

**Hearing dates & times:**

Zoning Commission: date \_\_\_\_\_ time \_\_\_\_\_

Board of Adjustment: date 4/6/26 time 2:00PM

Board of County Commissioners: date \_\_\_\_\_ time \_\_\_\_\_

For further information call 438-2675

It is unlawful to remove this notice until the above described  
Public Hearing has been held.

ID # 260402V

Zoning Director: Chuck Varadin

Figure 8

Sign on SW 34<sup>th</sup> Ct Rd & SW 153<sup>rd</sup> Pl Rd, Facing N



Figure 9

Sign on SW 34<sup>th</sup> Ct Rd & SW 153<sup>rd</sup> Pl Rd, Facing S



Figure 10  
Sign on SW 37<sup>th</sup> Terr, Facing S



# ZONING

## Notice of Public Hearing Marion County

Application is being made to:

- Change zoning from: \_\_\_\_\_  
to: \_\_\_\_\_
- Special Use Permit \_\_\_\_\_

**Variance to** Reduce the minimum front  
Setback from 25' to 20' on 46 parcels  
**On this property which is owned by:**  
Brite Properties of Florida, LLC

Board of Adjustment hearing to be held at Marion County Growth Management Building,  
 2710 East Silver Springs Boulevard, Ocala, FL 34470 (352-438-2675)

**Hearing dates & times:**

Zoning Commission:	date _____	time _____
Board of Adjustment:	date <u>4/6/20</u>	time <u>2:00PM</u>
Board of County Commissioners:	date _____	time _____

For further information call 438-2675

It is unlawful to remove this notice until the above described  
Public Hearing has been held.

ID # 260402V  
 Zoning Director: Chuck Varadin

Figure 11  
Sign on SW 37<sup>th</sup> Terr, Facing S



Figure 12  
Sign on SW 37<sup>th</sup> Terr, Facing N



# ATTACHMENT E

The variance request applies to, and the applicant intends to use, the following Marion County Parcel Identification Numbers (“PIDs”) as the subject parcels (collectively, the “Subject Property”). The following Subject Property has no address assigned:

8002-0073-01	8002-0092-23
8002-0084-01	8002-0094-01
8002-0087-01	8002-0095-16
8002-0091-01	8002-0083-12
8002-0092-01	8002-0083-13
8002-0095-01	8002-0083-14
8002-0084-13	8002-0083-15
8002-0072-01	8002-0083-16
8002-0074-01	8002-0083-17
8002-0076-02	8002-0083-18
8002-0076-03	8002-0083-19
8002-0076-04	8002-0083-20
8002-0078-01	
8002-0079-01	
8002-0079-16	
8002-0084-09	
8002-0084-10	
8002-0084-11	
8002-0084-12	
8002-0084-14	
8002-0084-15	
8002-0085-01	
8002-0086-01	
8002-0088-01	
8002-0088-02	
8002-0088-03	
8002-0088-04	
8002-0088-05	
8002-0088-06	
8002-0088-07	
8002-0088-08	
8002-0088-09	
8002-0089-01	
8002-0090-01	



# Marion County Board of Adjustment

## Agenda Item

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**File No.:** 2026-22475

**Agenda Date:** 4/6/2026

**Agenda No.:** 4.1.

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**SUBJECT:**  
**February 2, 2026**

**DESCRIPTION/BACKGROUND:**  
Minutes from the previous Board of Adjustment Meeting.

# MINUTES

## MARION COUNTY BOARD OF ADJUSTMENT February 2, 2026

A public hearing of the Marion County Board of Adjustment was held on January 5, 2026, at 2:00 p.m. in the Marion County Growth Services Training Room, 2710 E. Silver Springs Boulevard, Ocala, Florida.

The meeting was called to order at 2:07 p.m. Members present, creating a quorum, were Chairman Donald Barber, Vice Chairman C. Cadell Hager, Len Racioppi, Thomas Phillips, and Jackie Alsobrook. Staff members present were: Chief Assistant County Attorney Dana Olesky, Director Chuck Varadin, Deputy Director Ken Weyruach, Zoning Technicians Cristina Franco and Lynda Smith, Planners Sarah Wells and Kathleen Brugnoli, GIS Technician Analyst Antony Alva, Code Enforcement Supervisor Tracy Gillyard, Code Enforcement Officer Catherine Martinez, and Staff Assistant IV Kimberly Lamb.

Donald Barber delivered the Invocation, followed by C. Cadell Hager leading the Pledge of Allegiance.

Chairman Barber and Attorney Olesky explained the procedures for hearing variance requests, and Attorney Olesky administered the Oath en masse.

Kathleen Brugnoli proceeded by reading the provided Affidavit of Publication and the Proof of Required Mailing and Posting of Notice and advised that the meeting was properly noticed.

**2.1. 260201V** – Yanelis Diaz Blondin and Denmys Gutierrez Ledesma, request a **Variance** in accordance to Section 2.9 of the Marion County Land Development Code, to reduce the (front) setback from 25' to 14.5' for an existing permitted carport, in a Single-Family Dwelling (R-1) zone, on Parcel Account Number 3578-019-002, Site Address 4074 SW 103<sup>rd</sup> Lane, Ocala, FL 34476

Cristina Franco presented the case and read the report into the record, stating this request is to reduce the (front) setback for an existing permitted carport.

29 homeowners were notified within 300' of the parcel. No letters of support or opposition were received.

There was no one in the audience to speak for or against the request, and the chair closed the public portion of the hearing.

C. Cadell Hager made a motion to **approve** the variance as requested and **to include the additional Special Condition of: this variance will not apply to the replacement or substantial rebuilding of the carport** and moved that, having heard competent, substantial

evidence, the Board finds that: 1. A special condition or circumstance exists on the property that does not exist on other properties within the same zoning and land use area; 2. The applicant did not cause the special condition or circumstance; 3. Literal enforcement of the regulations would create unnecessary and undue hardship and deprive the applicant of rights commonly enjoyed by other properties within the same zoning and land use area; 4. The variance is the minimal variance that will allow reasonable use of the property; 5. The variance will not confer any special privilege on the applicant that is denied to other properties within the same zoning and land use area; and 6. The granting of the variance will not be injurious to the neighborhood or detrimental to the public welfare, and the Board grants the variance.

Len Racioppi made a motion to second.

**Motion to Approve with Special Conditions, the reduced setback granted will not apply to the replacement or substantial rebuilding of the carport. - Passed 5 to 0.**

**2.2. 260202V** – Carrie Searfos Locke, requests a **Variance** in accordance to Section 2.9 of the Marion County Land Development Code, to reduce the (front) setback from 25' to 19.10' for an existing permitted carport, in a Single-Family Dwelling (R-1) zone, on Parcel Account Number 3578-029-013, Site Address 10114 SW 42<sup>nd</sup> Avenue, Ocala, FL 34476

Lynda Smith presented the case and read the report into the record, stating this request is to reduce the (front) setback from 25' to 19.10' for an existing permitted carport.

31 homeowners were notified within 300' of the parcel. No letters of support or opposition were received.

Carrie Searfos Locke, 10114 SW 42<sup>nd</sup> Avenue, Ocala, FL 34476, applicant, addressed the board. Ms. Locke stated that the main reason she purchased this house was because of the carport.

There was no one in the audience to speak for or against the request, and the chair closed the public portion of the hearing.

Len Racioppi made a motion to **approve** the variance as requested and **to include the additional Special Condition of: this variance will not apply to the replacement or substantial rebuilding of the carport** and moved that, having heard competent, substantial evidence, the Board finds that: 1. A special condition or circumstance exists on the property that does not exist on other properties within the same zoning and land use area; 2. The applicant did not cause the special condition or circumstance; 3. Literal enforcement of the regulations would create unnecessary and undue hardship and deprive the applicant of rights commonly enjoyed by other properties within the same zoning and land use area; 4. The variance is the minimal variance that will allow reasonable use of the property; 5. The variance will not confer any special privilege on the applicant that is denied to other properties within the same zoning and land use area; and 6. The granting of the variance will not be injurious to the neighborhood or detrimental to the public welfare, and the Board grants the variance.

C. Cadell Hager made a motion to second.

**Motion to Approve with Special Conditions, the reduced setback granted will not apply to the replacement or substantial rebuilding of the carport. - Passed 5 to 0.**

**2.2. 260203V** – \*CONFIDENTIAL\*, request a **Variance** in accordance to Section 2.9 of the Marion County Land Development Code, to reduce the front setback from 25 feet to 7 feet on the west side of the existing carport and from 25 feet to 3 feet on the east side of the existing carport in a Single-Family Dwelling (R-1) zone, on Parcel Account Number 3578-011-024, Site Address 4321 SW 106<sup>th</sup> Place, Ocala, FL 34476

Sarah Wells presented the case and read the report into the record, stating this request is to reduce the (front) setback from 25' to 7' feet on the west side of the existing carport and from 25 feet to 3 feet on the east side of the existing carport.

28 homeowners were notified within 300' of the parcel. No letters of support or opposition were received.

\*CONFIDENTIAL\*, 4321 SW 106<sup>th</sup> Place, Ocala, FL 34476, applicant, addressed the board. The board was informed that the builder obtained a permit for the back screen porch and a separate permit for the front carport. The applicant explained that the property card reflected both structures, leading them to believe both were approved. Further explains they only became aware of the violation upon receiving the code enforcement letter. The applicant emphasized the significant hardship this process has caused.

Donald Barber made a motion to **approve** the variance as requested and **to include the additional Special Condition of: this variance will not apply to the replacement or substantial rebuilding of the carport** and moved that, having heard competent, substantial evidence, the Board finds that: 1. A special condition or circumstance exists on the property that does not exist on other properties within the same zoning and land use area; 2. The applicant did not cause the special condition or circumstance; 3. Literal enforcement of the regulations would create unnecessary and undue hardship and deprive the applicant of rights commonly enjoyed by other properties within the same zoning and land use area; 4. The variance is the minimal variance that will allow reasonable use of the property; 5. The variance will not confer any special privilege on the applicant that is denied to other properties within the same zoning and land use area; and 6. The granting of the variance will not be injurious to the neighborhood or detrimental to the public welfare, and the Board grants the variance.

Thomas Phillips made a motion to second.

**Motion to Approve with Special Conditions, the reduced setback granted will not apply to the replacement or substantial rebuilding of the carport. - Passed 5 to 0.**

**OTHER BUSINESS: None**

**MINUTES:**

The **January 5, 2026**, Board of Adjustment Minutes were moved for Approval upon a motion by Cadell Hager, with a second by Len Racioppi.

**Motion for Approval - Passed 5 to 0.**

**ADJOURNED:** The meeting adjourned at 3:27 p.m.

\_\_\_\_\_  
Donald M. Barber, Chairman

Attest:

\_\_\_\_\_  
Kimberly Lamb, Staff Assistant IV

**Board of Adjustment Attendance Report**

2026		January	February	March – No Cases	April	May	June	July	August	September	October	November	December
Donald Barber	Board Member	X	X	-									
C. Cadell Hager	Board Member		X	-									
Jackie Alsobrook	Board Member	X	X	-									
Thomas Phillips	Board Member	X	X	-									
Len Racioppi	Board Member	X	X	-									
Nathanael Ramos	Board Member	X		-									
Vacant	Board Member												
Zilca Diaz	Board Member			-									
Samuel Hunt*	Alternate			-									

X - Present

- N/A