



SUBMITTAL SUMMARY REPORT 32700

PLAN NAME: FLORIDA HORSE PARK RV SITE

LOCATION:

APPLICATION DATE: 04/07/2025

PARCEL: 37343-001-00

DESCRIPTION:

| CONTACTS | NAME | COMPANY |
|--------------------|------------|----------------------------|
| Applicant | Lee Clymer | Clymer Farney Barley, Inc. |
| Applicant | Lee Clymer | Clymer Farney Barley, Inc. |
| Engineer of Record | Lee Clymer | Clymer Farney Barley, Inc. |
| Engineer of Record | Lee Clymer | Clymer Farney Barley, Inc. |

| CONDITION | DESCRIPTION | CREATED BY | CREATED ON | COMMENTS | SATISFIED? |
|------------------------|----------------|-----------------|------------|--|------------|
| Conditional Comment(s) | Plan Submittal | Heather Proctor | 11/25/2025 | Page MC-01, shown on the cover sheet as the Future Water Main Extensions Sketch, was not transferred into the new permitting software. AR# 32700 is conditionally approved, provided the Engineer of Record submits the MC-01 page to the Utilities Development Review Officer and the sketch is reviewed and approved by staff. | No |

| SUBMITTAL | STARTED | DUE | COMPLETE | STATUS |
|--------------------------|------------|------------|------------|--------------------|
| OCE: Plan Review (DR) v. | 10/30/2025 | 11/06/2025 | 12/01/2025 | Requires Re-submit |
| OCE: Plan Review (DR) v. | 01/06/2026 | 01/13/2026 | 02/10/2026 | Approved |

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|---|------------|------------|--------------------|
| 911 Management (DR) (911 Management) | | 11/06/2025 | 11/13/2025 | Requires Re-submit |
| Comments | YES 2.12.8 - Legal description matches boundary on plan NO 2.12.28 - Correct road names supplied The FHP RV Site Easements & Autoturn Exhibit sheets 1 & 3 have SW 16th Ave incorrectly labeled as CR 475A and sheets 2 & 4 have S HWY 475 incorrectly labeled as CR 475. YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Additional 911 comments Please use the updated lot numbers shown in red for labeling lots, creating signs, and pulling permits | | | |
| Environmental Health (Plans) (Environmental Health) | | 11/06/2025 | 11/13/2025 | Approved |
| Fire Marshal (Plans) (Fire) | | 11/06/2025 | 11/13/2025 | Approved |
| Comments | N/A 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area N/A 6.18.5 - Access Control Box N/A 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength N/A 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads YES Additional Fire comments Property is in the jurisdiction of the State of Florida Fire Marshal Office. Please contact the State of Florida Fire Marshals office for review and inspections. | | | |
| Growth Services Planning & Zoning (DR) (GS Kathleen Brugnoli Planning and Zoning) | | 11/06/2025 | 11/19/2025 | Requires Re-submit |
| Comments | Please address two remaining comments | | | |
| Corrections | 2.12 - Parcel number (Not Resolved) - 2.12 - Parcel number: Show parcel numbers on the cover sheet. | | | |

SUBMITTAL SUMMARY REPORT (32700)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUET | COMPLETE | STATUS |
|---|---|------------|------------|--------------------|
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Kathleen Brugnoli | 11/06/2025 | 11/19/2025 | Requires Re-submit |
| Corrections | 2.12.5/1.8.2.F - Concurrency Deferral Statement (Not Resolved) - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]." | | | |
| Landscape (Plans) (Parks and Recreation) | | 11/06/2025 | 11/13/2025 | Approved |
| Comments | YES 2.12.18 - All trees 10" DBH and larger N/A 2.12.25 - Marion Friendly Landscape Areas YES 6.7.3 - Tree protection YES 6.7.4 - Shade tree requirements Please show shade tree calculations (1/3,000 sf of site or project area) YES 6.7.6 - Tree removal submittal requirements 1. Can the DRA be adjusted so that tree #25, a 40" live oak, can be preserved? YES 6.7.8 - Protected tree replacement requirements YES 6.7.9 - Replacement trees; general requirements YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes) YES 6.8.3 - Landscape design standards N/A 6.8.4 - Landscape area requirements for non-residential development N/A 6.8.5 - Landscape area requirements for residential and mixed use developments N/A 6.8.6 - Buffers N/A 6.8.7 - Parking areas and vehicular use areas N/A 6.8.8 Building landscaping N/A 6.8.9 - Service and equipment areas N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities YES 6.8.10 - General planting requirements (specifications) YES 6.8.11 - Landscape installation YES 6.8.12 - Landscape completion inspection requirements YES 6.9.2 - Irrigation plan requirements (details, legend, notes) YES 6.9.3 - Irrigation design standards YES 6.9.5 - Irrigation system installation YES 6.9.6 - Completion inspection requirements N/A 6.19.3 - Outdoor lighting plan requirements N/A 6.19.4 - Exterior lighting design standards N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone INFO Additional Landscape comments Please upload plans into the Drawing folder | | | |

SUBMITTAL SUMMARY REPORT (32700)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUEDUE | COMPLETE | STATUS |
|--|---|------------|------------|----------|
| OCE Design (Plans) (Office of the County Engineer) | | 11/06/2025 | 11/13/2025 | Approved |
| Comments | YES 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage) 10/30/25-fee due with resubmittal 10/8/25-fee due with resubmittal 7/17/25-fee due with resubmittal 4/9/25-fee due with resubmittal N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department N/A Traffic study / methodolgy fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule. N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC N/A 2.1.3 - Order of plan approval YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions YES 2.12.4.A - Type of application on front page YES 2.12.4.B - Project name centered at top of front page YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived. YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 4/9/25-add waivers if requested in future YES 2.12.4.L(1) - Parcel number YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application YES 6.2.1.B - Plans shall be legible and meet typical industry standards YES 6.2.1.C - Standardized sheet size shall be 24" x 36" YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Legal Documents INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements. | | | |

SUBMITTAL SUMMARY REPORT (32700)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DU | COMPLETE | STATUS |
|---|-----------------|------------|------------|---------------|
| OCE Property Management (Plans) (Office of the County Engineer) | Elizabeth Woods | 11/06/2025 | 11/26/2025 | Informational |

Comments Check the project map -EMW 11.26.25

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

SUBMITTAL SUMMARY REPORT (32700)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DU | COMPLETE | STATUS |
|--|---|------------|------------|----------|
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | | 11/06/2025 | 11/13/2025 | Approved |
| <i>Comments</i> | YES 2.12.4.L(9)(b) - Data Block (Impervious Area) YES 2.12.8 - Topographical Contours YES 2.12.9/10 - Existing Drainage Right-of-Way/Easements N/A 2.12.9/10 - Proposed Drainage Right-of-Way/Easements YES 2.12.13/14/15 - General Exhibits N/A 2.12.20 - Stormwater Infrastructure Supports Phasing YES 2.12.38 - Stormwater Maintenance Entity YES 6.13.2.C - Geotechnical Investigation Report YES 6.13.7 - Geotechnical Criteria YES 6.13.2.A(1)/(2) - Contributing Basins/Tc YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations YES 6.13.2.A(4) - Stormwater Features & Connective Elements YES 6.13.2.A(3) - Retention/Detention Area Design Parameters YES 6.13.3 - Type of Stormwater Facility Criteria YES 6.13.4 - Stormwater Quantity Criteria YES 6.13.2.B(4) - Hydrologic Analysis YES 6.13.4.C - Discharge Conditions YES 6.13.2.B(6) - Freeboard YES 6.13.4.D - Recovery Analysis N/A 6.13.5 - Flood Plain & Protection N/A 6.13.2.A(8) - Finish Floor Elevation Criteria YES 6.13.6 - Stormwater Quality Criteria N/A 6.12.6 - Roadway Flooding Level of Service N/A 6.13.6.B - Alternative Treatment Techniques YES 6.13.6.C - Best Management Practices YES 6.13.8 - Stormwater Conveyance Criteria YES 6.13.2.B(5) - Hydraulic Analysis N/A 6.13.8.B(3) - Lane Spread Calculations N/A 6.13.2.A(9) - Access Accommodates Stormwater YES 6.13.8.B(7) - Minimum Pipe Size YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes YES 6.13.2.A(7) - Existing/Proposed Stormwater Swales YES 6.13.9 - Grading Criteria YES 6.13.2.A(11)(a) - Construction Entrance YES 6.13.2.A(11)(b) - Erosion Control YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References YES 6.13.2.B(8) - Calculation & Plan Consistency INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction. INFO Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction. YES 6.10 - Karst Topography and High Recharge Areas YES 7.1.3 - Drainage Construction Specifications YES 6.13.12 - Operation and Maintenance YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis. INFO Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org. | | | |
| OCE Survey (Plans) (Office of the County Engineer) | | 11/06/2025 | 11/13/2025 | Approved |
| <i>Comments</i> | YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale YES 6.4.7.A(1) - Show a minimum of two bench marks per site YES 6.4.7.A(2 & 3) - Bench mark information shown N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown YES 6.4.7.E - Line and curve table must be shown on the sheet to which they apply YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend YES 2.12.4.F.(2) - Surveyor and Mapper certification YES 2.12.4.G - Show a location or vicinity map YES 2.12.8 - Provide current boundary and topographic survey less than one year old YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project YES 2.12.10 - Show any known existing or proposed easement or land reservation YES 2.12.11 - Provide an aerial map of the site with a layout of the development YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments | | | |

SUBMITTAL SUMMARY REPORT (32700)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DU | COMPLETE | STATUS |
|---|-------------|------------|------------|----------|
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | | 11/06/2025 | 11/13/2025 | Approved |

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| Comments | YES 2.12.9 - Location and dimensions of streets and right-of-way N/A 2.12.20 - Phases of development N/A 2.12.30 - Route Plan N/A 2.12.38 - Maintenance of improvements YES 6.2.1.E - Drawing legend YES 6.11.3 - Traffic Impact Analysis N/A 6.11.4.B - Cross access N/A 6.11.4.E - Sight triangle N/A 6.11.5 - Driveway access N/A 6.11.6 - Construction route N/A 6.11.9.A - Traffic signals N/A 6.11.9.B - Traffic signs N/A 6.11.9.C - Pavement marking N/A 6.12.1.A - Transportation Facilities - Purpose and Intent N/A 6.12.2 - Right-of-way N/A 6.12.11 - Turn lanes N/A 6.12.12 - Sidewalks N/A 6.12.13 - Utility position in right-of-way N/A Additional Traffic comments |
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|-----------------------------------|-----------------|------------|------------|----------|
| Utilities (OCE Plans) (Utilities) | Heather Proctor | 11/06/2025 | 11/25/2025 | Approved |
|-----------------------------------|-----------------|------------|------------|----------|

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|----------|--|
| Comments | The project is currently served by the Marion County Utilities sewer force main. With the proposed expansion, the site will be required to extend and connect to the MCU water main along CR 475A, designed and constructed per the Marion County Land Development Code. The proposed water main extension is shown on the plans and will be submitted under separate cover. |
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OCE: Plan Review (DR) v.2

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DU | COMPLETE | STATUS |
|--------------------------------------|----------------|------------|------------|----------|
| 911 Management (DR) (911 Management) | Kristie Wright | 01/13/2026 | 01/09/2026 | Approved |

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|---|-------------|------------|------------|----------|
| Environmental Health (Plans) (Environmental Health) | Evan Searcy | 01/13/2026 | 01/13/2026 | Approved |
|---|-------------|------------|------------|----------|

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|-----------------------------|------------------|------------|------------|----------|
| Fire Marshal (Plans) (Fire) | Jonathan Kenning | 01/13/2026 | 01/06/2026 | Approved |
|-----------------------------|------------------|------------|------------|----------|

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| Comments | Previously Approved |
|----------|---------------------|

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|---|-------------------|------------|------------|----------|
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Kathleen Brugnoli | 01/13/2026 | 01/07/2026 | Approved |
|---|-------------------|------------|------------|----------|

| | |
|-------------|---|
| Corrections | 2.12.5/1.8.2.F - Concurrency Deferral Statement (Resolved) - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]." |
|-------------|---|

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|--|-------------|------------|------------|----------|
| Landscape (Plans) (Parks and Recreation) | Susan Heyen | 01/13/2026 | 01/08/2026 | Approved |
|--|-------------|------------|------------|----------|

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| OCE Design (Plans) (Office of the County Engineer) | Gerald Koch | 01/13/2026 | 02/09/2026 | Approved |
|--|-------------|------------|------------|----------|

SUBMITTAL SUMMARY REPORT (32700)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DU | COMPLETE | STATUS | | | | |
|--|---|------------|------------|---------------|--|--|--|--|
| OCE Property Management (Plans) (Office of the County Engineer) | Elizabeth Woods | 01/13/2026 | 01/15/2026 | Informational | | | | |
| Comments | Project map checked -EMW 01.15.2026 | | | | | | | |
| IF APPLICABLE: | | | | | | | | |
| Sec. 2.18.1.I - Show connections to other phases. | | | | | | | | |
| Sec.2.19.2.H – Legal Documents | | | | | | | | |
| Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. | | | | | | | | |
| Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) | | | | | | | | |
| For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." | | | | | | | | |
| Sec. 6.3.1.B.2 – Required Right of Way Dedication | | | | | | | | |
| For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." | | | | | | | | |
| Sec. 6.3.1.D.3 - Cross Access Easements | | | | | | | | |
| For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." | | | | | | | | |
| Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) | | | | | | | | |
| "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." | | | | | | | | |
| Sec. 6.3.1.C.2 – Utility Easements | | | | | | | | |
| "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." | | | | | | | | |
| Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: | | | | | | | | |
| 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." | | | | | | | | |
| 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." | | | | | | | | |
| 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." | | | | | | | | |
| Sec.6.3.1.D(f) – | | | | | | | | |
| If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." | | | | | | | | |
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | Kevin Vickers | 01/13/2026 | 01/09/2026 | Approved | | | | |
| OCE Survey (Plans) (Office of the County Engineer) | Theresa Smail | 01/13/2026 | 01/06/2026 | Approved | | | | |
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 01/13/2026 | 01/07/2026 | Approved | | | | |
| Utilities (OCE Plans) (Utilities) | Heather Proctor | 01/13/2026 | 01/13/2026 | Approved | | | | |
| Comments | Previously approved: The project is currently served by the Marion County Utilities sewer force main. With the proposed expansion, the site will be required to extend and connect to the MCU water main along CR 475A, designed and constructed per the Marion County Land Development Code. The proposed water main extension is shown on the plans and will be submitted under separate cover. | | | | | | | |



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR #32700

DEVELOPMENT REVIEW PLAN APPLICATION

Date: _____

A. PROJECT INFORMATION:

Project Name: Florida Horse Park RV Site

Parcel Number(s): 37343-001-00 & 37343-000-00

Section ³¹ Township ¹⁶ Range ²² Land Use _____ Zoning Classification ^{A-1} _____

Commercial Residential Industrial Institutional Mixed Use Other _____

Type of Plan: MAJOR SITE PLAN

Property Acreage 15.41 Number of Lots _____ Miles of Roads _____

Location of Property with Crossroads _____

Additional information regarding this submittal: _____

B. CONTACT INFORMATION (Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)

Engineer:

Firm Name: Clymer Farner Barley, Inc Contact Name: Tyler Counts

Mailing Address: 4450 NE 83rd Road City: Wildwood State: FL Zip Code: 34785

Phone # 352-748-3126 Alternate Phone # _____

Email(s) for contact via ePlans: permitting@cfb-inc.com

Surveyor:

Firm Name: Clymer Farner Barley Surveying Contact Name: Jeremy Hallick

Mailing Address: 4450 NE 83rd Road City: Wildwood State: FL Zip Code: 34785

Phone # 352-748-3126 Alternate Phone # _____

Email(s) for contact via ePlans: _____

Property Owner:

Owner: TITF State of FL CFBC Greenways ST REC Area MS 795 Contact Name: Jason Reynolds

Mailing Address: 3900 Commonwealth BLVD City: Tallahassee State: FL Zip Code: 32399

Phone # _____ Alternate Phone # _____

Email address: jreynolds@fhorsepark.com

Developer:

Developer: _____ Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: 38502

Phone # _____ Alternate Phone # _____

Email address: _____

Revised 6/2021

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS
- THE APPLICANT (FLORIDA HORSE PARK WILL OWN AND MAINTAIN THE IMPROVEMENTS ON SAD PARCEL PER LEGAL DESCRIPTION
- THIS MATCH IS LOCATED WITHIN MARION COUNTY
- ALL STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAT ARE HEREBY DEDICATED PRIVATELY TO THE FLORIDA HORSE PARK, ALL PUBLIC AUTHORITIES AND THEIR PROVISIONS, PROVIDED SERVICES TO THE SUBDIVISION, AND THE FLORIDA HORSE PARK BOARD OF DIRECTORS, COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY, OR LIABILITY WHATSOEVER REGARDING SUCH DEDICATIONS, COLLECTIVE, OR INDIVIDUALLY, CONTRACTORS SHALL AGREE BY ALL CONDITIONS SUCH THAT IN THE EVENT OF A LOCAL STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

1. THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN:

- MAPS ON UNDATED TRIMBLE CONTROL DEVICES (MUDC) (LATEST EDITION)
- FOOT STANDARD PLANS FOR CONSTRUCTION
- MARION COUNTY STANDARD WATER AND SEWER DETAILS
- MARION COUNTY STANDARD SPECIFICATIONS

2. ALL SURVEYS, PAVEMENT MARKING, AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND LOCAL REGULATORY CODES.

3. REGULATORY SIGN (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING IMPROVEMENTS.

4. CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY OWNER/ENGINEER OF ANY REQUIREMENTS PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE MAINTAINED AT THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL AGREE BY ALL CONDITIONS CONTAINED THEREIN, PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:

- COUNTY
- WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT (ERP)
- PERMIT TO DREDGE
- LOCAL UNDERGROUND UTILITIES
- FEED HOPES, STORMWATER

6. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.

7. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD PROCEDURES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV COMPANIES.

8. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH COMPLETED SURVEY DRAWINGS.

9. CONTRACTOR SHALL ENSURE THAT THE ENGINEER HAVING ACCURATE SURVEY RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONS OF THE WORK, ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING ALL RELATED DIMENSIONS.

10. AT THE BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL FURNISH HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL COLLISIONS. ALL SUCH CONFLICTS SHALL BE RESOLVED BY THE CONTRACTOR.

11. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINSAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION, CONTRACTOR SHALL NOTIFY OWNER/ENGINEER OF ANY CHANGES IN THE CONDITIONS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE THE IMPACT ON THE CONSTRUCTION SCHEDULE. CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE LOCATION OF THE VARIOUS UTILITIES SHALL BE IDENTICAL TO THE CONTRACT AND EXTRAS COMPENSATION WILL BE ALLOWED.

12. ANY DIFFERING SITE CONDITION FROM WHICH IS REPRESENTED HEREIN, WHETHER ABOVE OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR AND OWNER IN WRITING PRIOR TO CONSTRUCTION IN THE AREA IMPACTED BY THE CONFLICT. NO CHANGES IN THE CONDITIONS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS UTILITIES SHALL BE IDENTICAL TO THE CONTRACT AND EXTRAS COMPENSATION WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.

13. ALL RECOMMENDATIONS AND REQUIREMENTS OF AUTHORIZED PERSONNEL, OTHER THAN OWNER'S AGENT, SHALL BE PROVIDED BY THE CONTRACTOR. PROVIDED, COMPENSATION WILL NOT BE PROVIDED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.

14. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE LOCAL CONTRACTOR, OWNER AND UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES.

15. CONTRACTOR SHALL ENSURE ALL IMPROVEMENTS USING THE INFORMATION PROVIDED IN THIS PLAT, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY CONSTRUCTION MATERIALS.

16. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INBENTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.

17. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.

18. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEER APPROVAL PRIOR TO PROCUREMENT OF MATERIALS.

19. CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS.

20. CONTRACTOR TO PRESERVE ALL MONITORING WELLS IDENTIFIED ON SITE.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONSTRUCTION BARRIERS, AS SHOWN ON THE PLAT, AND A TRAFFIC MAINTENANCE PLAN REQUIRED IT SHALL BE PREPARED BY AN FOOT CERTIFIED DESIGNER AND SUBMITTED BY CONTRACTOR FOR APPROVAL BY OWNER/ENGINEER, AND CIVIC CITY.

22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE PROJECT SITE, AND TO MAINTAIN THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR AGREED TO ALL WORK AREA, THE CONTRACTOR SHALL POST SIGNS, CONSTRUCT BARRIERS, OR IMPLEMENT OTHER METHODS NECESSARY TO CONTROL ACCESS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR TRESPASSING ON THE CONSTRUCTION SITE OR DAMAGE TO ANY WORK RELATED THERETO.

- CONTRACTOR SHALL PROTECT ALL ADJACENT WETLANDS, WATERBODIES, AND PROPERTY FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH HAVE TO BE SAVED, WHETHER SHOWN IN THE PLATE OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL BECOME FAMILAR WITH THE REQUIREMENTS OF THE FLORIDA STATE PARKS AND STATE PARKS PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT
- ALL FOOT DESIGN INDICES ARE HEREBY INCORPORATED AS PLAN REFERENCES HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF ALL AVAILABLE INDEX DRAWINGS AND SPECIFICATIONS FOR THE CONSTRUCTION OF THE PROJECT WITH THE FOOT DESIGN INDICES OF THE PROPOSED EDITION
- CONTRACTOR SHALL APPLY FOR A RIGHT OF WAY UTILIZATION PERMIT, AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED START DATE, FOR ANY WORK TO BE DONE WITHIN THE CITY'S RIGHT-OF-WAY
- NO VERTI-PACK COMPACTORS PROPOSED
- NO ROLL OFF COMPACTORS PROPOSED
- NO FREESTANDING COMMERCIAL SIGN PROPOSED

PAVING, GRADING & DRAINAGE MATERIAL SPECIFICATIONS:

- SITE PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, INSOAR AS THEY APPLY TO THESE DESIGN HIERARCHY AND THE LOCAL JURISDICTION REGULATIONS AND SPECIFICATIONS, WHERE SUCH REGULATIONS DIFFER, THE MORE STRINGENT SHALL APPLY, SUBJECT TO DETERMINATION OF THE ENGINEER
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA LAND SURVEYOR SELECTED BY THE CONTRACTOR
- ALL CONCRETE PAVING SHALL BE IN CONFORMANCE WITH FOOT STANDARD INDEX DRAWINGS. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED
- ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE A 1" DIAMETER
- ALL CONCRETE WORK SHALL BE 3,000 PSI MINIMUM UNLESS OTHERWISE SPECIFIED
- HOLE PIPE WHERE SPECIFIED SHALL BE INSTALLED BY A CERTIFIED HOLE CONTRACTOR
- CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR INSPECTION OF STORM SEWER PRIOR TO PAVING. CONTRACTOR SHALL PROVIDE EQUIPMENT FOR LAMPING INSPECTION BY ENGINEER FURTHER TESTING WITH MANDRELS OR VIDEO TAPING OF PIPES MAY BE REQUIRED BY ENGINEER
- PAVING MATERIALS SHALL CONFORM WITH FOOT STANDARD SPECIFICATIONS LATEST EDITION
- UNDERDRAIN SHALL BE HEAVY-DUTY CORRUGATED POLYETHYLENE PIPE WITH FACTORY INSTALLED FABRIC AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEMS (ADS), OR APPROVED EQUAL
- UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3044 SDR 35 OR ELASTOMERIC, JINT NON-PERFORATED
- FILL PLACEMENT AND SPECIFICATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECTS ENGINEER CONSULTANT
- CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAWDRAINS FROM SLABGRADE THROUGH FINAL LIFT OF ASPHALT. STRUCTURE BASES SHALL BE FABRICATED IN ACCORDANCE WITH FOOT STANDARD INDEX DRAWINGS. TEMPORARY DRAINS FOR SUBGRADE AND BASE, AS NOTED IN THE INDEX, WILL BE CONSIDERED INCORPORATED AS A FABRICATED DRAWDRAINS
- SOIL TESTS RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. AFTER PLACEMENT AND FIELD COMPACTION, THE HEAVING SURFACE SHALL BE COPIED TO EVALUATION MATERIAL THICKNESS TO PERFORM LABORATORY DENSITIES. THE LOCATION AND NUMBER OF SAMPLE CORES SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS.

AMERICANS WITH DISABILITIES ACT NOTES:

THE CONTRACTOR & OWNER WILL BE HELD ACCOUNTABLE DURING THE CONSTRUCTION FOR ALL SITE IMPROVEMENTS COMPATIBLE WITH SECTION 503.505 FLORIDA BUILDING CODE (FB) AND THE 2003 EDITION 2004 EDITION OF THE CIVIL ENGINEER'S CODE (CE) AND THE 2004 EDITION OF THE FLORIDA ACCESSIBILITY CODE (FACB). THE CONTRACTOR WILL BE REQUIRED TO MODIFY CONSTRUCTION TO COMPLY WITH FB AND FACB THE FOLLOWING REQUIREMENTS:

- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO WIDE THAN 44" WIDE SO THAT USERS WILL NOT BE COMPELLED TO WALK ON WHEEL BEHIND PARKED VEHICLES EXCEPT BEHIND HIS OR HER OWN VEHICLE. 503.1 AND 503.2, FACB, RE: 503.1041
- ACCESSIBLE PARKING SPACES AND ACCESS ASLEWS SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO WIDE THAN 44" WIDE, EXCEPT FOR ACCESSIBLE (H) PARKING TO AN ACCESSIBLE ENTRANCE. 503.3, FACB AND FS 503.504.1 (B)(2)(B)
- ACCESSIBLE PARKING SPACES SHALL BE 12" WIDE, AND OUTLINED WITH BLUE PAINT. 503.2 AND 503.2, FACB.
- ACCESS ASLEWS REQUIRED ADJACENT TO PARKING SPACES SHALL BE 9' WIDE ON DIAGONAL STRIPING. 503.2, FACB.
- PARKING SPACES AND ACCESS ASLEWS SHALL BE LEVEL (NOT TO EXCEED 1:48) ON A STABLE, FIRM AND SOIL RESISTANT SURFACE. RE: 503.1 AND 503.2, FACB.
- ACCESSIBLE PARKING SPACES SHALL BE APPROVED AND SHALL HEAD PARKING BY DISABLED PERMIT ONLY AND SHALL INDICATE A 50" PAKE FOR ILLEGAL USE. INSTALL SIGNS A MINIMUM 60" (INCHES) FROM THE GROUND TO THE BOTTOM OF THE SIGN(S). RE: 503.2, FACB AND FS 503.504.
- CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE, AND CURB RAMP FLAES SHALL NOT EXCEED 1:10 SLOPE. CURB RAMPS AND FLAED SIDES SHALL NOT ENCRAP ON PAVING SPACES. ACCESS ASLEWS OR CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE. THE TOP OF ADJACENT ROAD SURFACES AND GUTTERS SHALL NOT EXCEED 1:20. RE: 140.2, 504.2 AND 505.2, FACB.
- A LANDING WITH A MINIMUM CLEAR LENGTH OF 36" SHALL BE LOCATED AT THE TOP SIDE OF EACH CURB RAMP WITH A CLEAR WIDTH AT LEAST AS WIDE AS THE CURB RAMP (EXCLUDING FLAED SIDES) LEADING TO THE CURB RAMP. CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE. CURB RAMPS AND FLAED SIDES SHALL BE PROVIDED, AND SHALL NOT BE STEEPER THAN 1:12 SLOPE. RE: 504.2, FACB
- ALL RAMPS WITH A RISE GREATER THAN 6" SHALL PROVIDE EDGE PROTECTION COMPLYING WITH 504.9. FACE RAMPS SHALL HAVE A 6" MIN LEVEL LANDINGS AT THE TOP AND BOTTOM. RE: 504.7, FACB
- ALL RAMPS WITH A RISE GREATER THAN 6" SHALL HAVE HANDRALS ON BOTH SIDES WITH 12" PULLBACKS AT THE TOP AND BOTTOM OF THE RAMPS. RE: 5010.5 FB-6 FLORIDA BUILDING CODE - BUILDING AND 505.10 FACB
- ACCEESS ROUTES TO MAIN ENTRY FROM AN ACCESSIBLE PARKING SPACE, AND FROM THE PUBLIC WAY, SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRALS ARE PROVIDED WITH CROSS SLOPES). RE: 503.2, FACB
- CONNECTING ADJACENT WITH THE SAME WITH AN ACCESSIBLE ROUTE WHICH NOT EXCEED 1:20 SLOPES (UNLESS RAMPS AND HANDRALS ARE PROVIDED) AND A MAXIMUM CROSS SLOPE OF 1:48. RE: 503.6, FACB
- ACCESSIBLE ROUTES TO MAIN ENTRY FROM AN ACCESSIBLE PARKING SPACE, AND FROM THE PUBLIC WAY, SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRALS ARE PROVIDED WITH CROSS SLOPES). RE: 503.2, FACB
- CONNECTING ADJACENT WITH THE SAME WITH AN ACCESSIBLE ROUTE WHICH NOT EXCEED 1:20 SLOPES (UNLESS RAMPS AND HANDRALS ARE PROVIDED) AND A MAXIMUM CROSS SLOPE OF 1:48. RE: 503.6, FACB
- ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS THROUGH THEM IS A HORIZONTAL WAY NOT PROVIDING PEDESTRIAN ACCESS. RE: 504.2.2, FACB

| DATE | MANUFACTURER / INV # | REVISIONS |
|------------|----------------------|-----------|
| 05/03/2021 | | |

CFB | **CIVIL**
CIVIL ENGINEER'S CODE
FACB | FLORIDA ACCESSIBILITY CODE

05/03/2021
05/03/2021

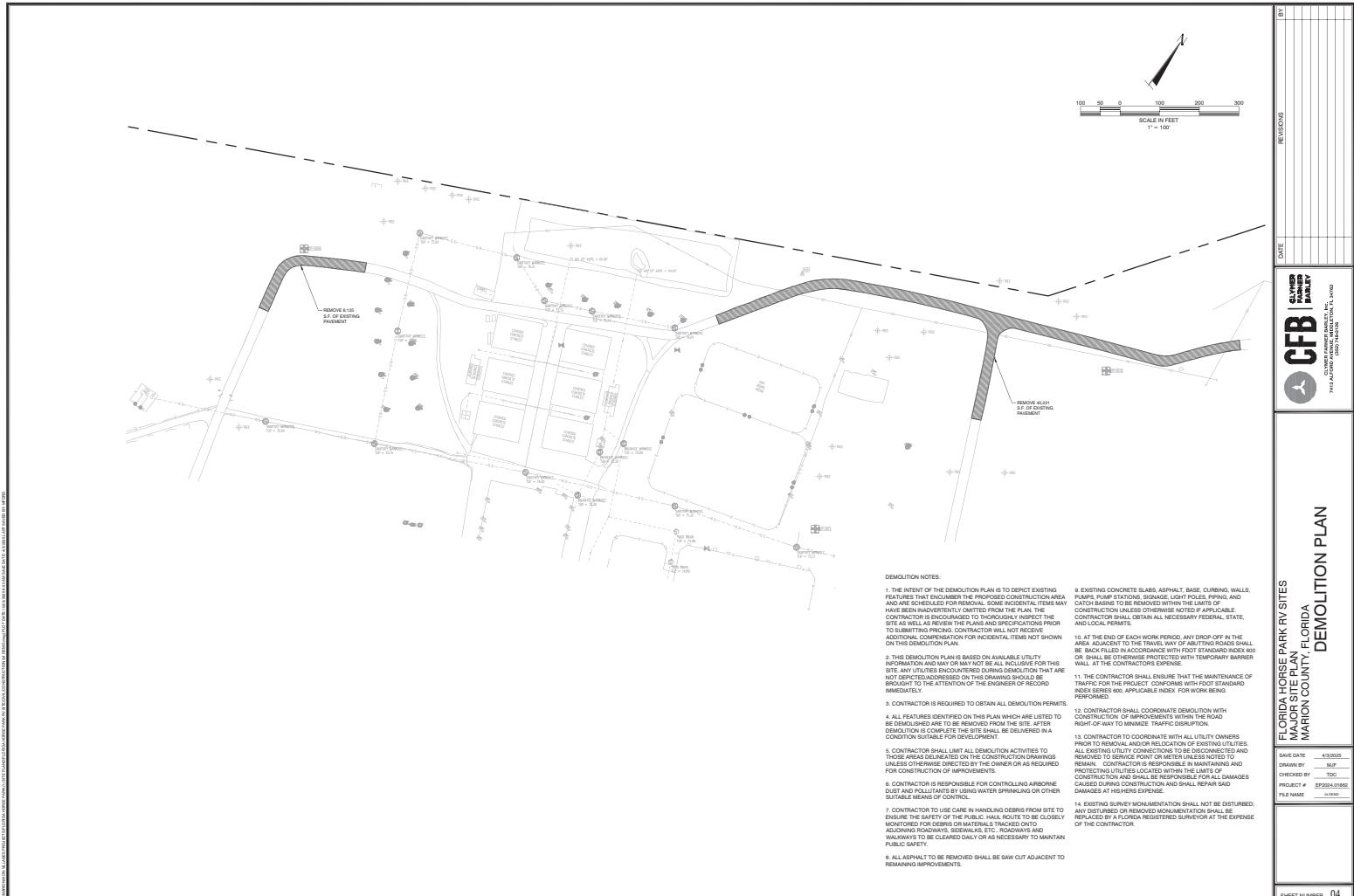
FLORIDA HORSE PARK RV SITES
MAJOR SITE PLAN
MARION COUNTY, FLORIDA
GENERAL NOTES

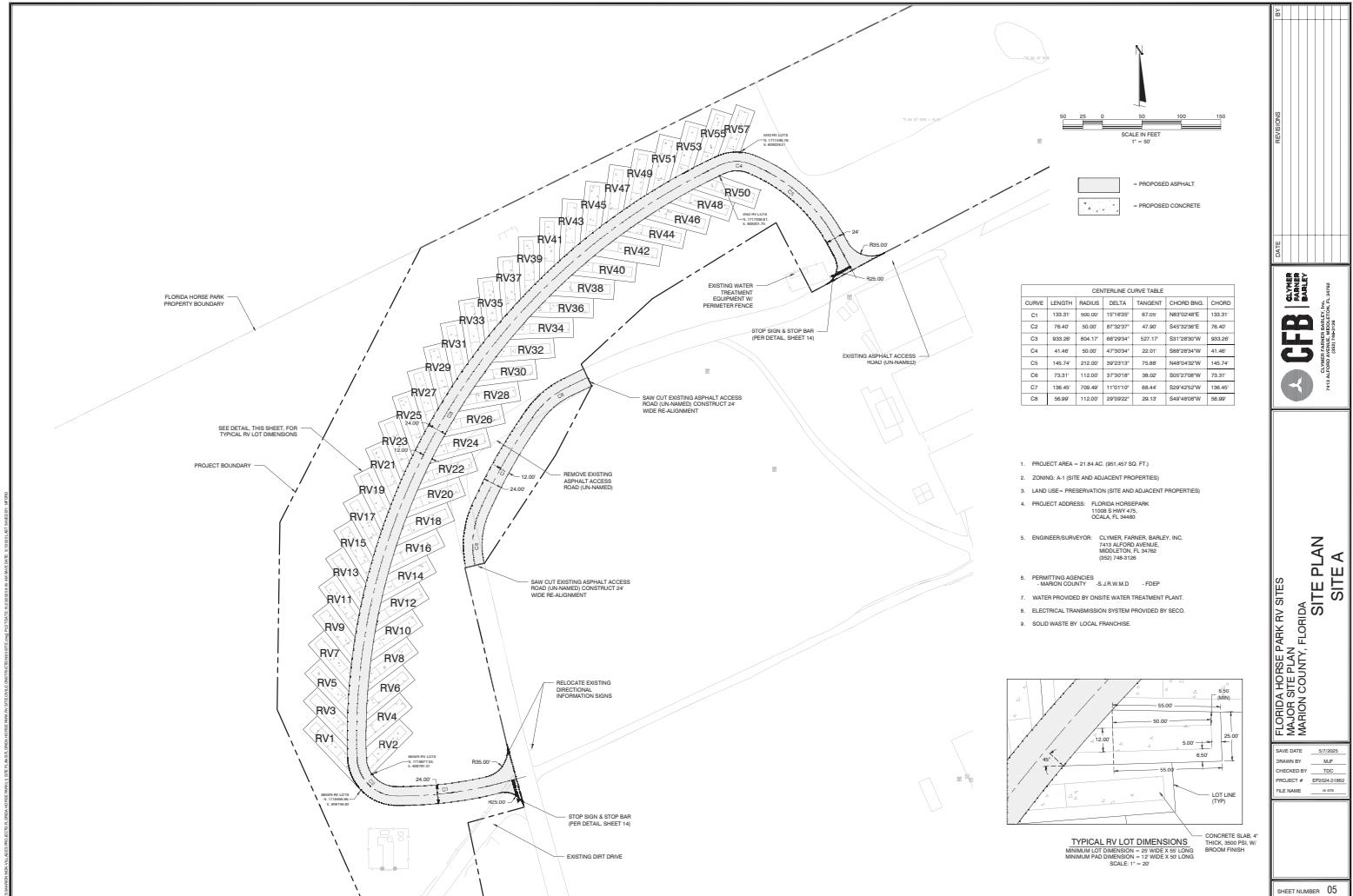
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| CHECKED BY | TD |
| REQUEST # | 5010.5 FB-6 |
| FILE NAME | 5010.5 |

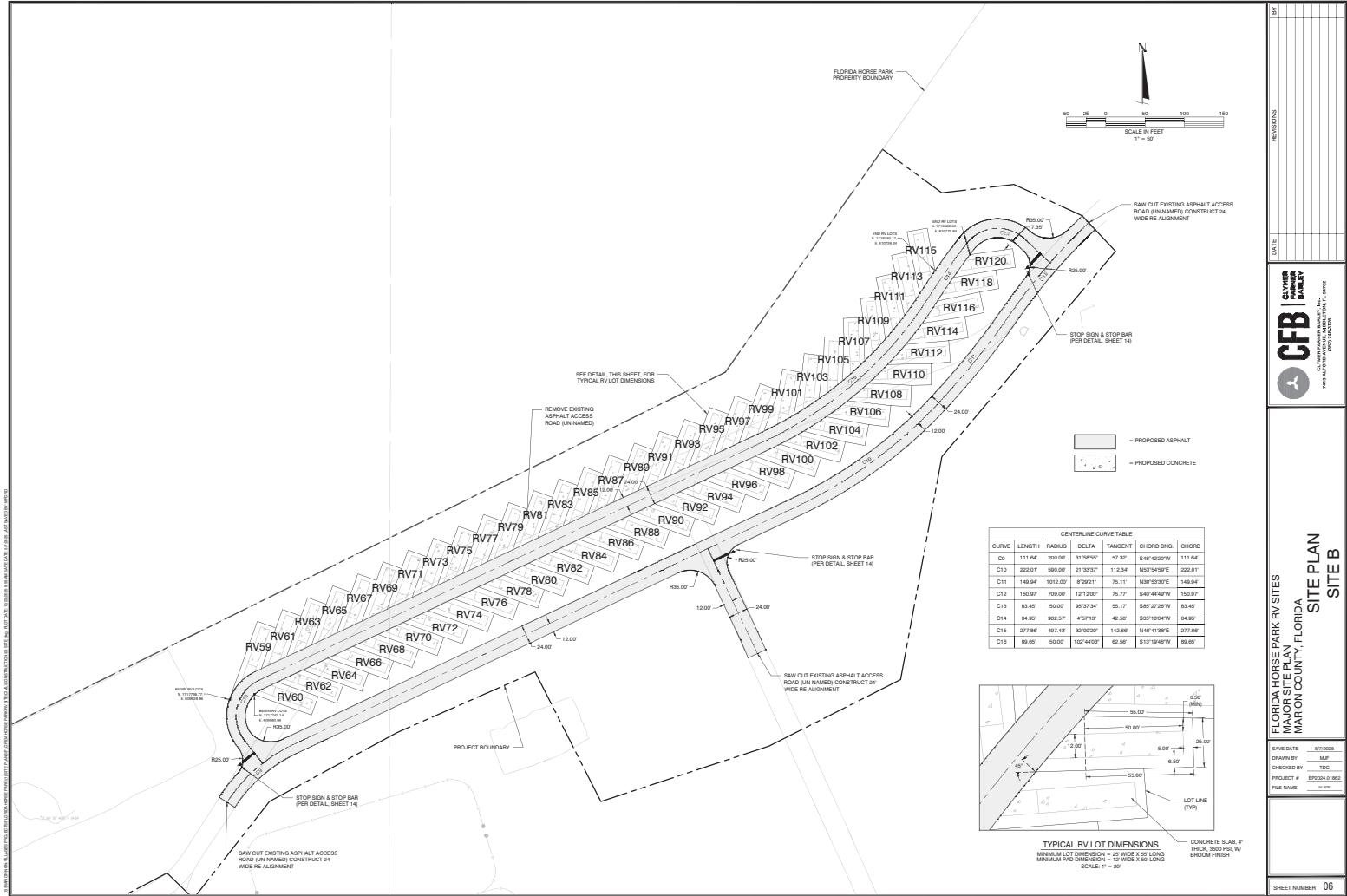
CLYMER PARKER BARLEY, INC.
1413 ALFORD AVENUE
MIDDLETON, FL 34672
TEL: (352) 462-1100
FL. LIC. NO. 99925
(352) 462-1100

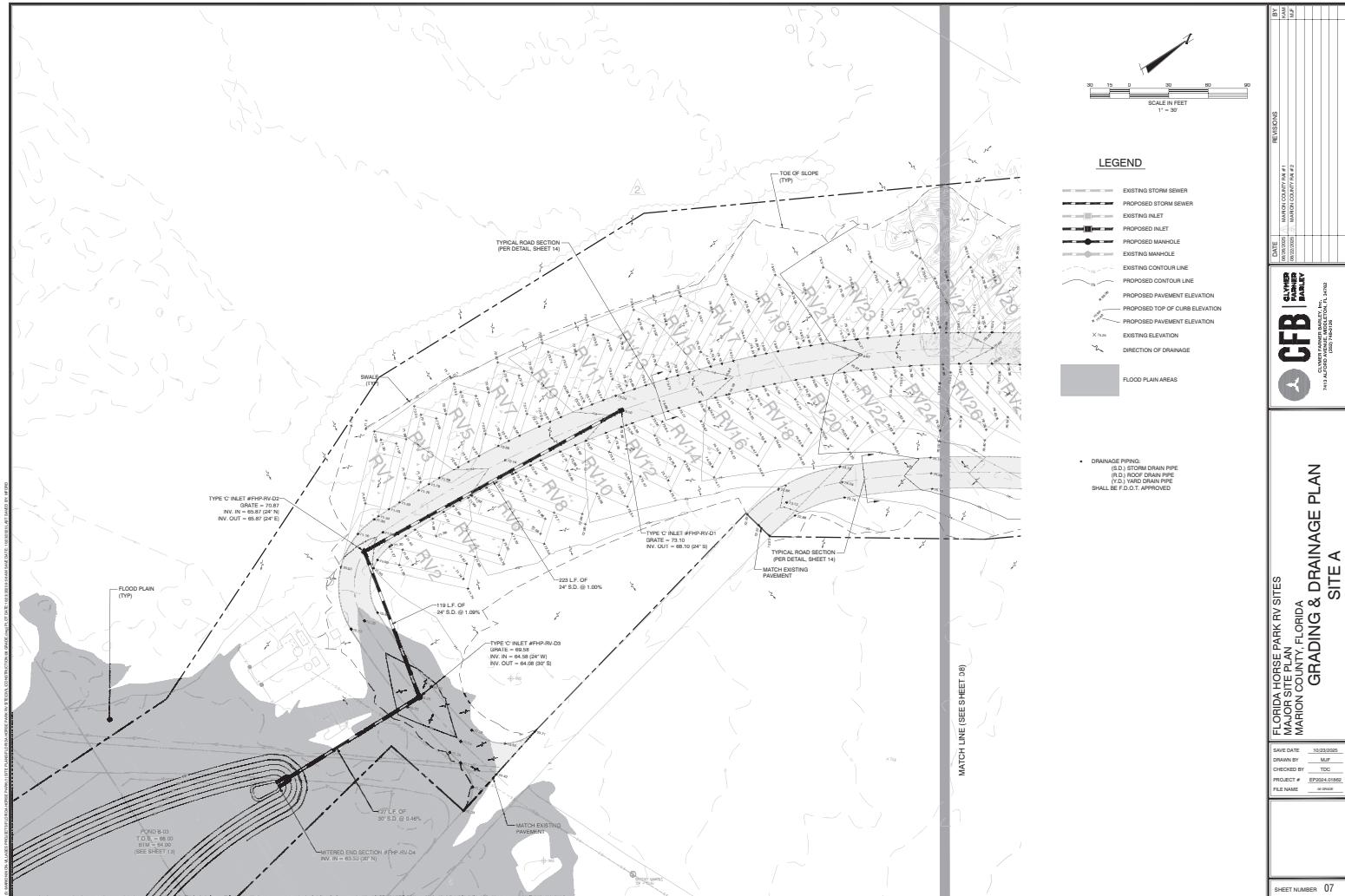
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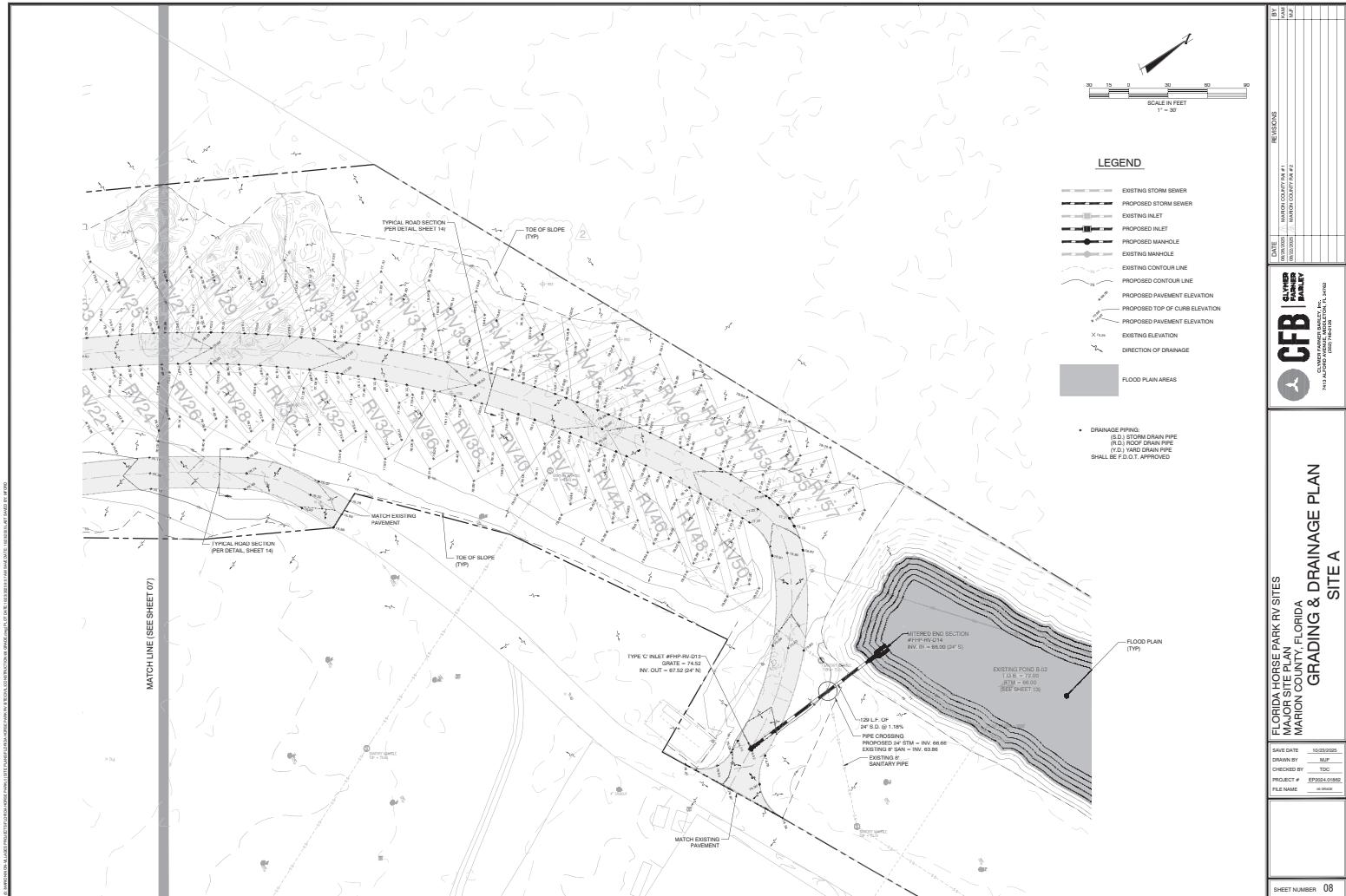


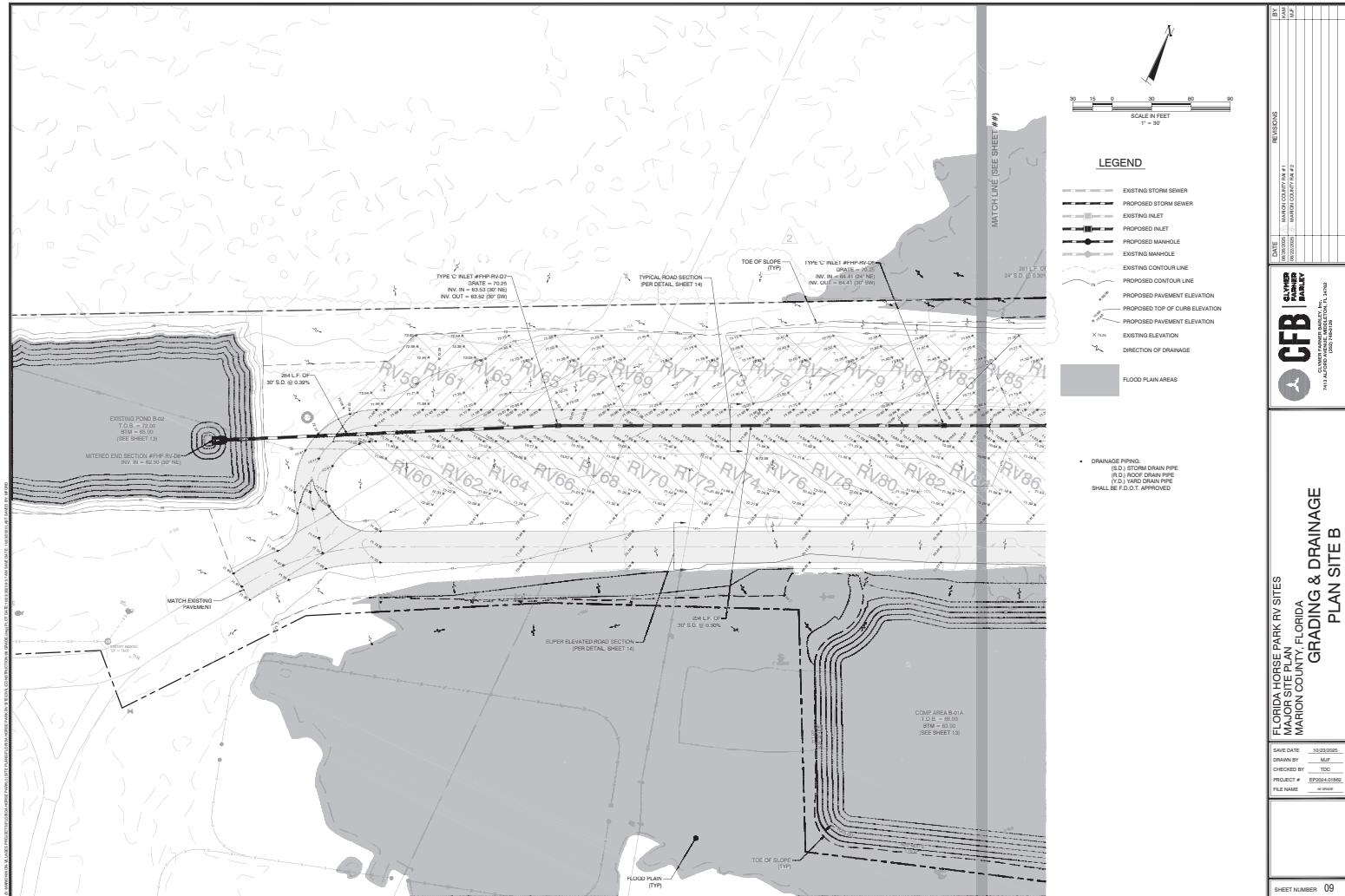


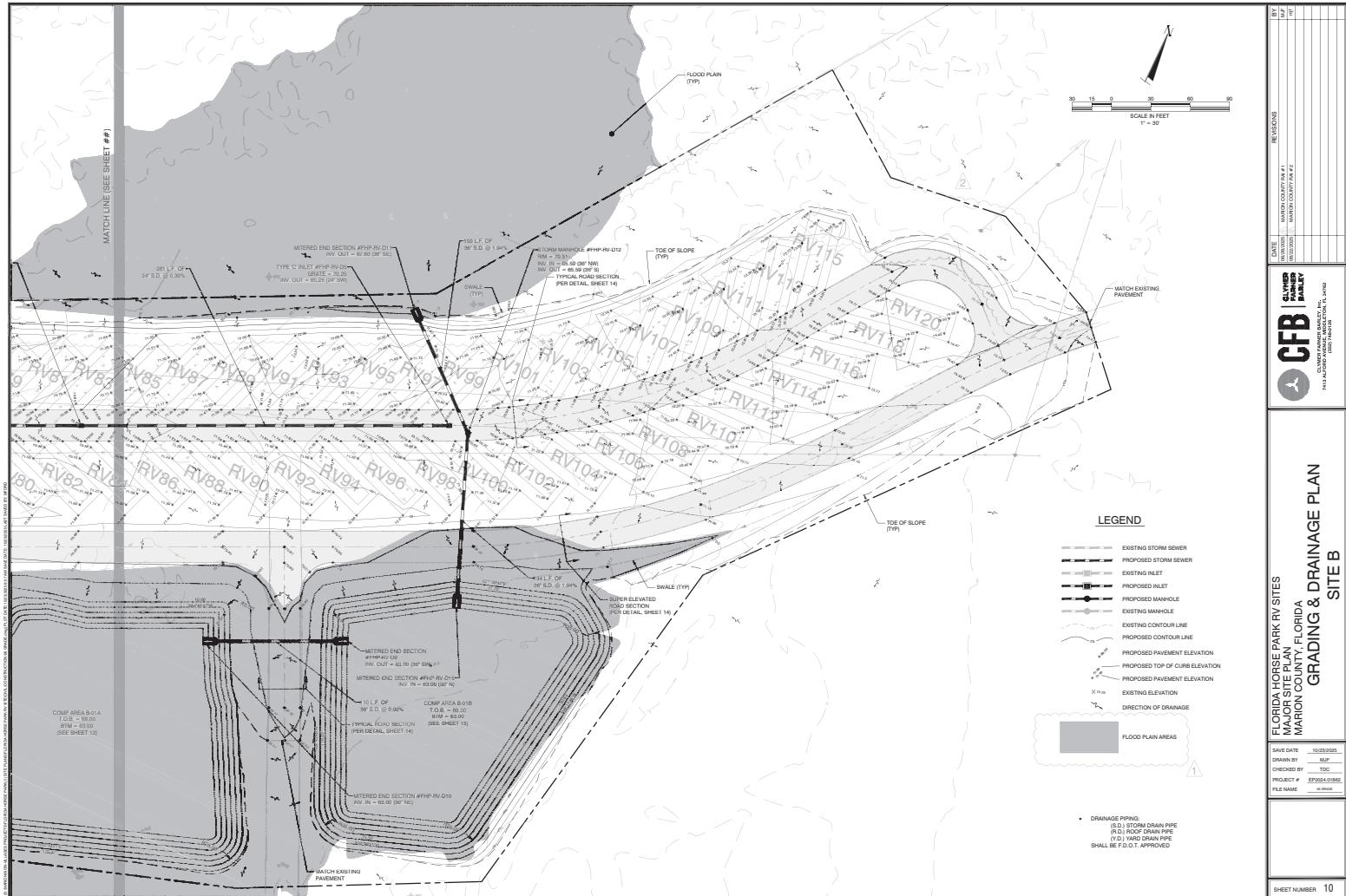


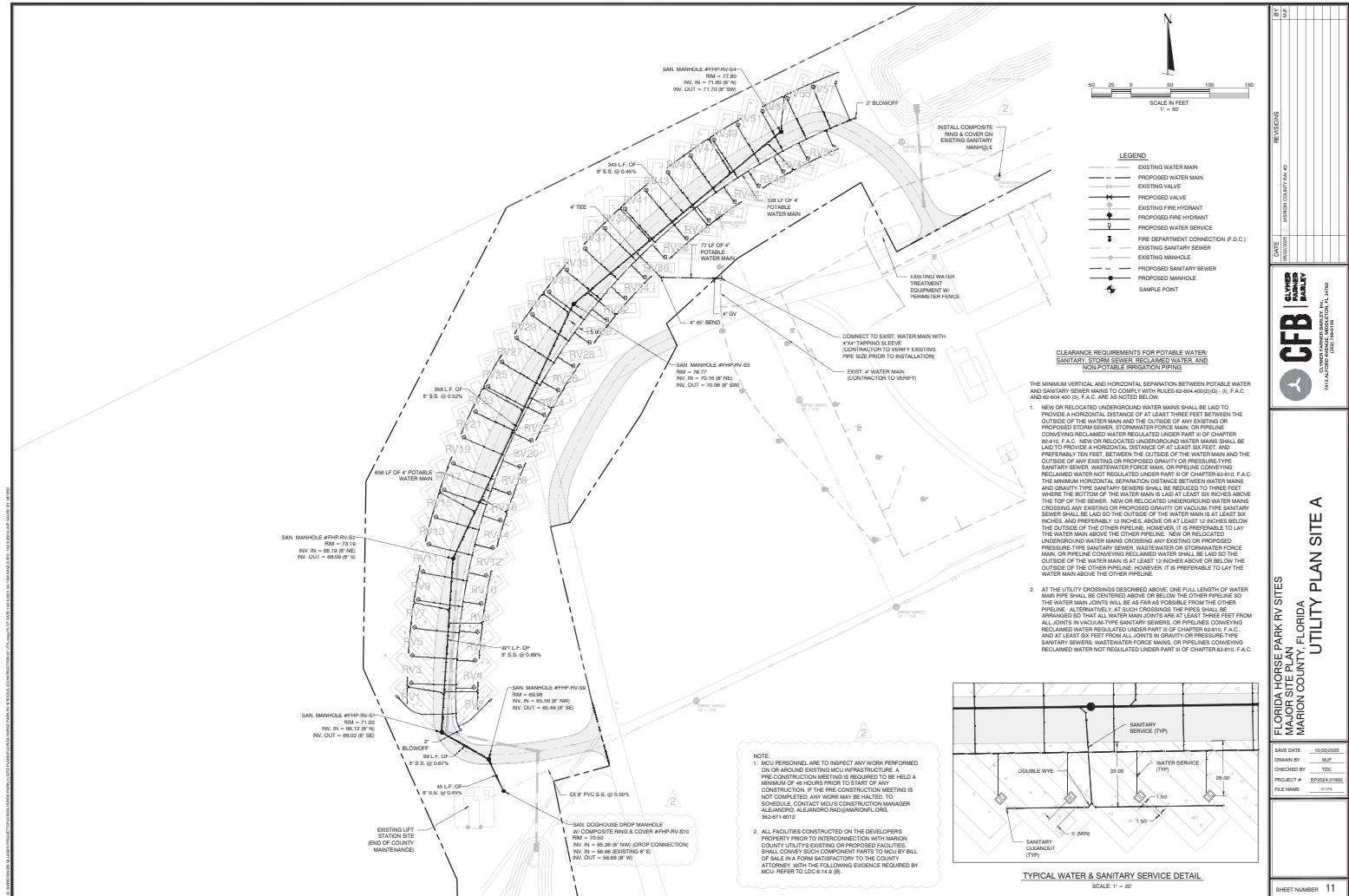


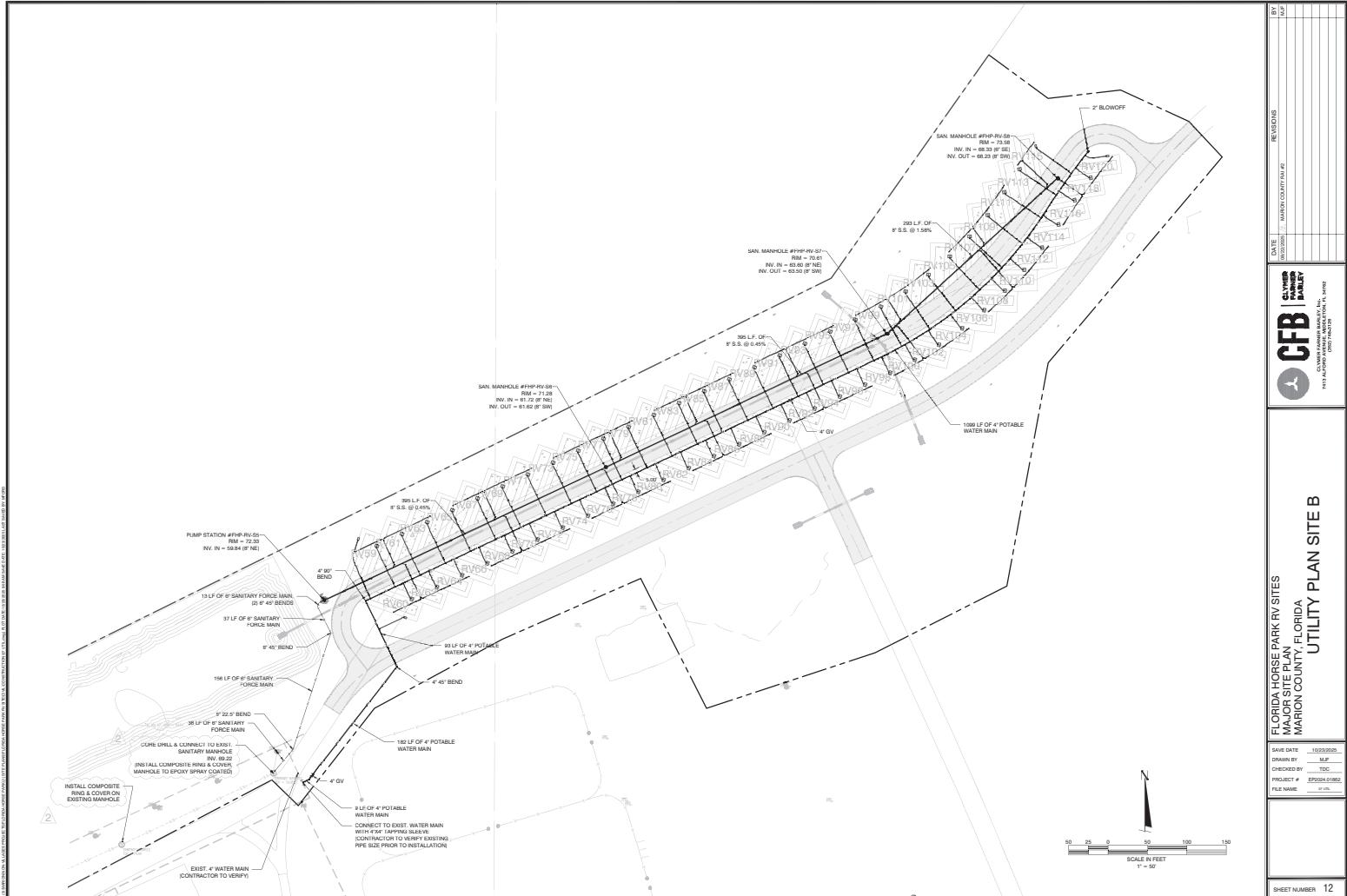


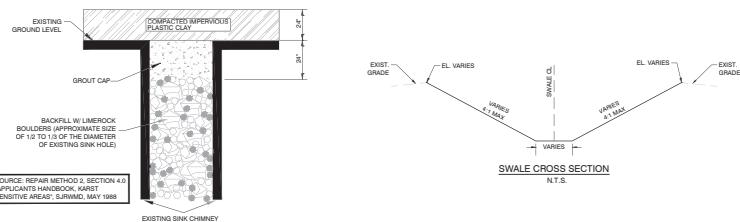
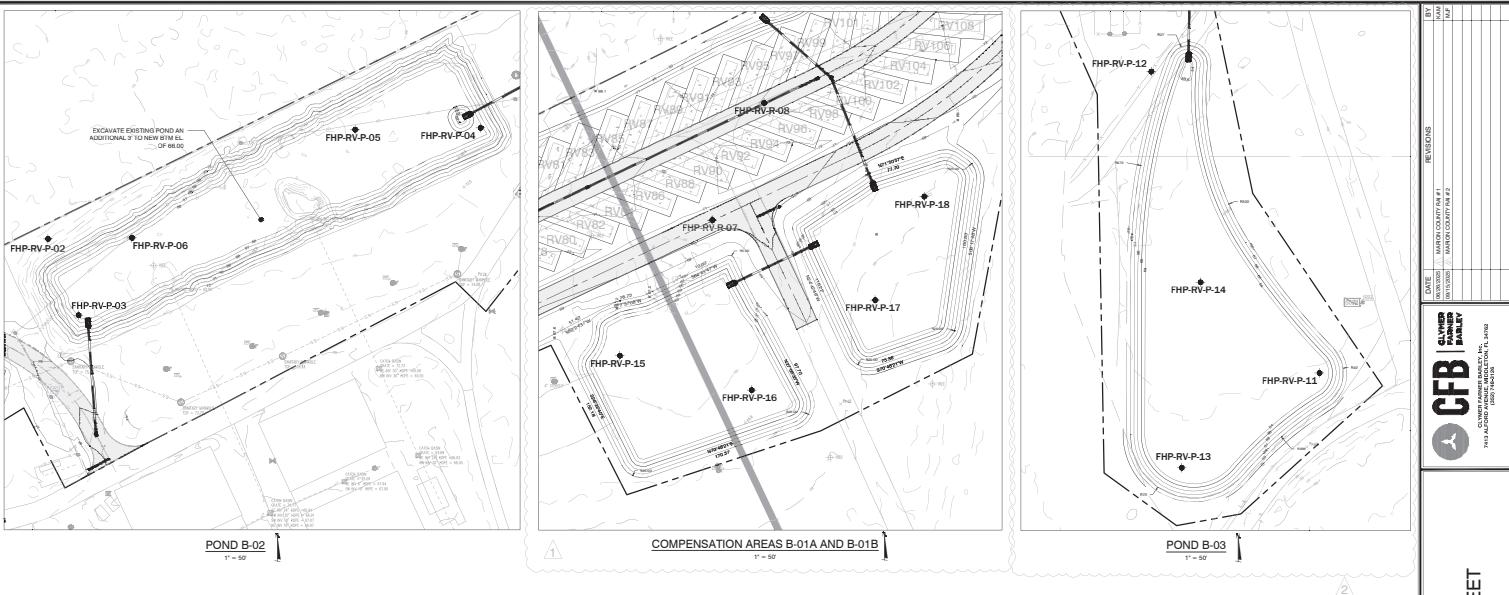








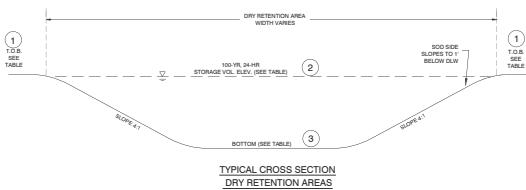




N.T.S.

NOTES:

1. IF SPONGEABLE ACTIVITY OCCURS, CONTRACTOR SHALL CONTACT THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT PRIOR TO REPAIR.
2. LIMESTONE OUTCROPS MUST BE EXCAVATED A MINIMUM OF 3' BELOW THE BASIN BOTTOM, AND OUTCROSSES THE CHIMNEY.
3. CHIMNEY SHALL BE BACKFILLED ACCORDING TO DETAIL AFTER OUTCROP EXCAVATION COMPLETE.
4. IF SPONGEONE IS ENCOUNTERED, THE CONTRACTOR SHALL OVEREXCAVATE THE POND BOTTOM AND SIDES TO ENSURE A MINIMUM OF 3 FEET SEPARATION BETWEEN THE POND BOTTOM SIDES, AND LIMESTONE TO PREVENT TEARING OF THE LINER.

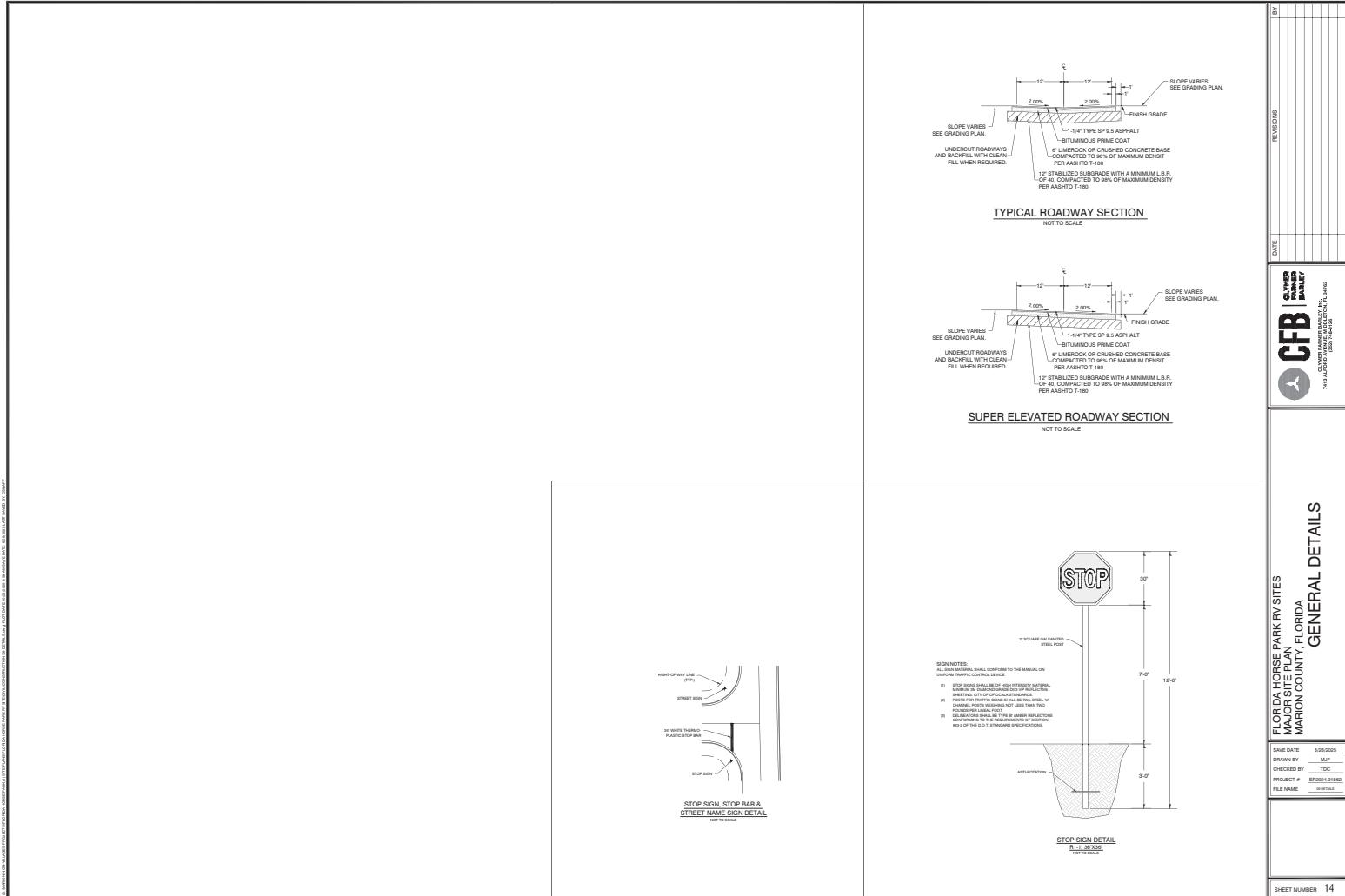


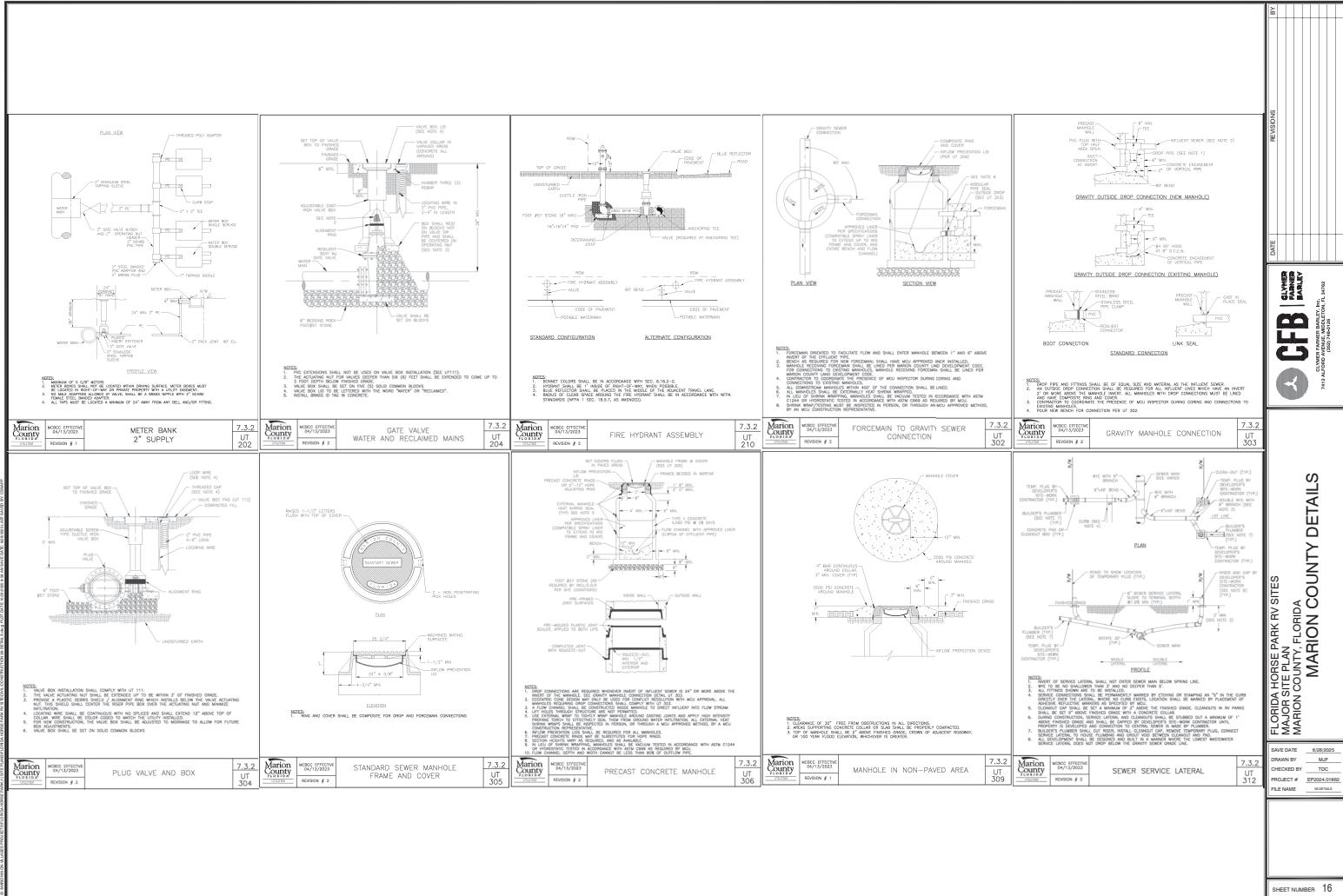
| | | 1 | 2 | 3 |
|---------------------|----------------------|----------------------------------|-------------------|-------|
| BASIN / SUMP NO. | POND T.O.B. ELEV. | POND 100% 24HR STAGE ELEV. | POND STM ELEV. | |
| AREA | POND B-02 | 72.00 | 70.40 | 66.00 |
| AREA | POND B-03 | 68.00 | 70.40 | 64.00 |
| AREA | COMP B-01A | 68.00 | 70.10 | 63.00 |
| AREA | COMP B-01B | 68.00 | 70.10 | 63.00 |

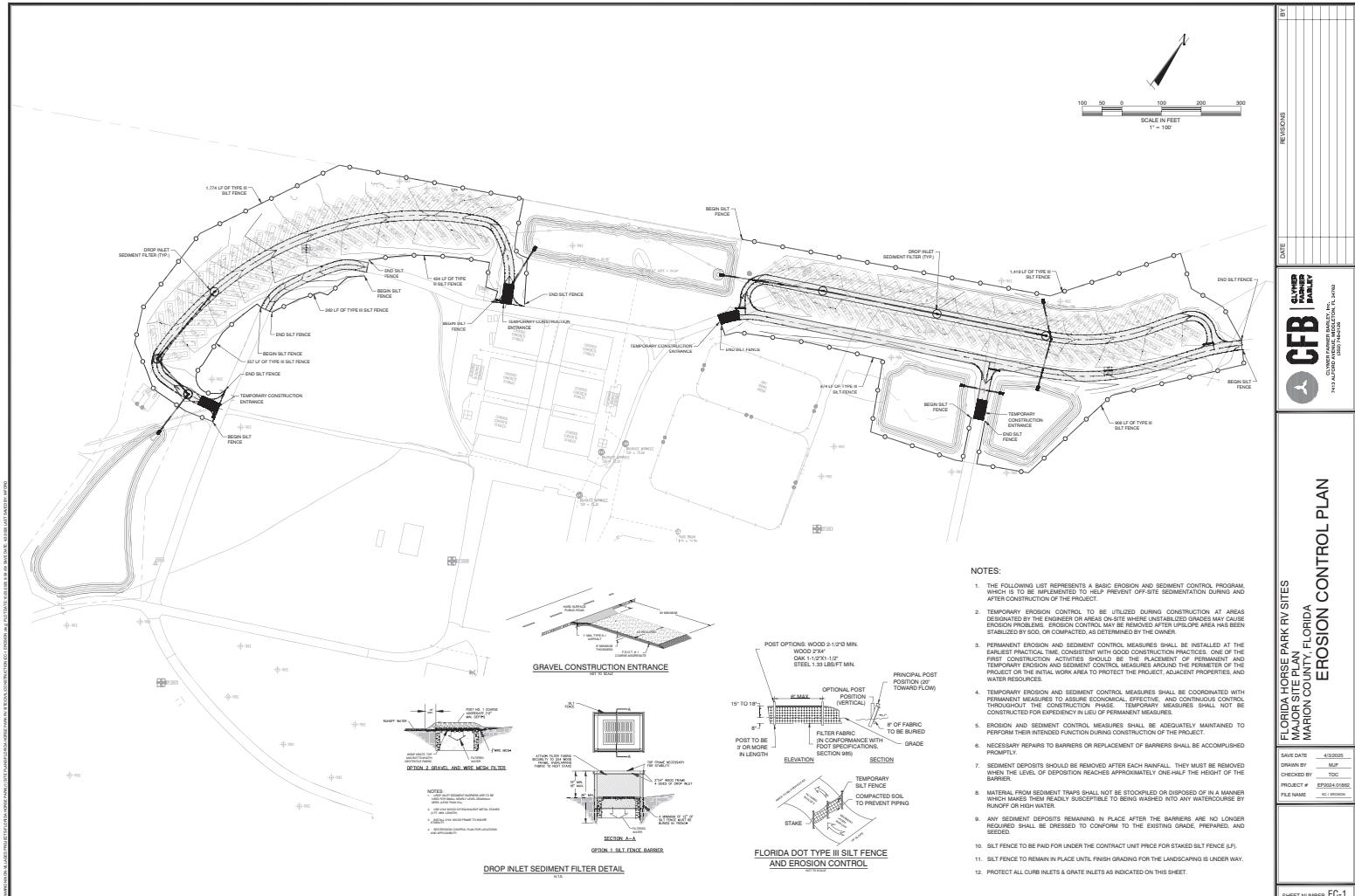
NOTE:
1. ALL DISTURBED AREAS TO BE SEDED/ SOODED
2. IF LIMESTONE IS ENCOUNTERED, THE CONTRACTOR SHALL
DREDGE/SCARIFY THE POND BOTTOM TO ENSURE A MINIMUM OF
FEET SEPARATION BETWEEN THE POND BOTTOM AND LIMESTONE
IF CLAY IS ENCOUNTERED, A MINIMUM OF 2 WILL BE OVER
EXCAVATED AND BACK FILLED WITH SUITABLE MATERIAL
3. ALL ON-SITE WELLS WILL BE ABANDONED BY A FLORIDA
LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH #
403-3.351(F) F.A.C.
4. ALL POND BOTTOMS TO BE SCARIFIED THREE TO SIX INCHES
BLOW GRADE AFTER CONSTRUCTION TO HELP REDUCE

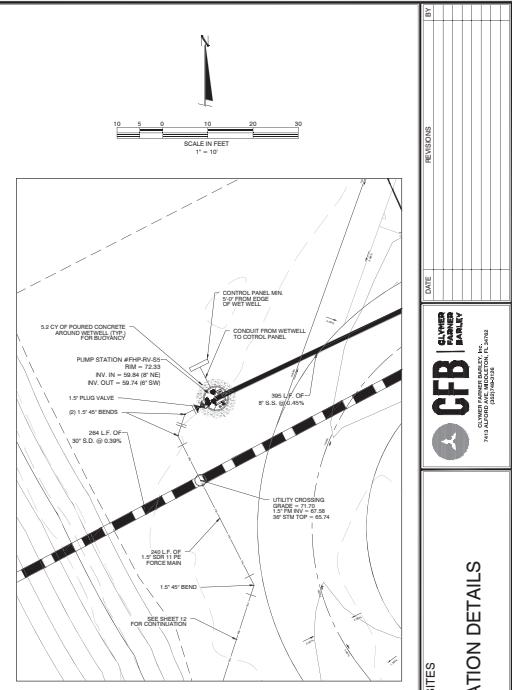
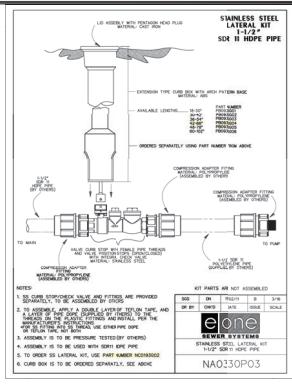
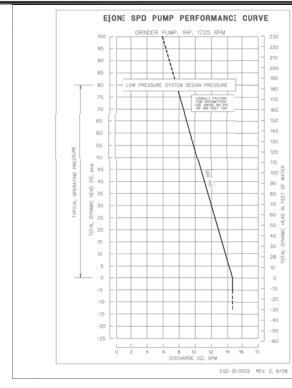
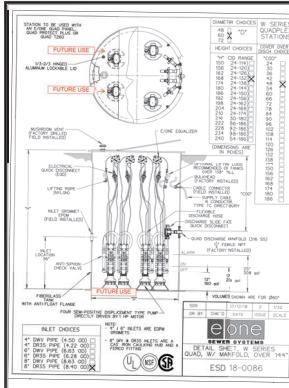
AN
TY, FLORIDA
POUND DETAIL SHEET

MAJOR SITE PLAN
MARION COUNTY, FLORIDA
POND DETAIL SHEET







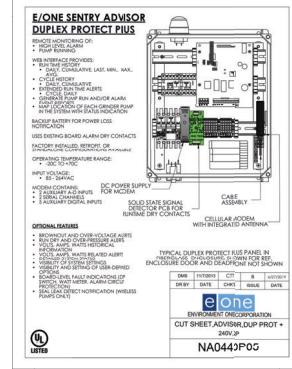
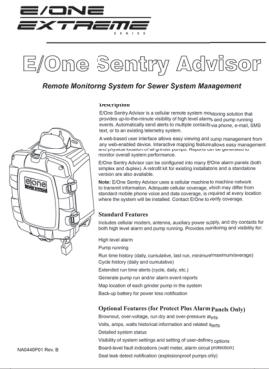


LIFT STATION SITE PLAN

| SUMMARY OF PUMP DATA | |
|-------------------------|----------------------|
| OPERATING CONDITION | 14.4 GPM @ 16 FT TDH |
| VELOCITY | 2.70 FPS |
| PUMP MANUFACTURER | E ONE |
| PUMP MODEL | E ONE SPD PUMP |
| SPEED | 1,725 RPM |
| PHASE (φ) & VOLTAGE (V) | 1φ, 240V |
| HORSEPOWER (HP) | 1.00 HP |

| ESTIMATED FLOW TO THE STATION | | |
|-------------------------------|--------|-----|
| MINIMUM | 2,250 | GPD |
| AVERAGE | 4,500 | GPD |
| MAXIMUM | 18,000 | GPD |

NOTES:



LIFT STATION DETAILS

הוּא מִתְּבָרֵךְ

CLAN
COUNTY, FLORIDA
LIFT STATION DETAILS

| | |
|--|-----------|
| FLORIDA HOMES MAJOR SITE PLANS MARION COUNTY | |
| SAVE DATE | 4/1/2022 |
| DRAWN BY | CP |
| CHECKED BY | TDC |
| PROJECT # | EP2024.05 |
| FILE NAME | LS-0 |
| SHEET NUMBER LS-0 | |

