

September 5, 2025

PROJECT NAME: MELODY PRESERVE  
PROJECT NUMBER: 2024100025  
APPLICATION: IMPROVEMENT PLAN #32515

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.22 - Stormwater Tract/Right-of-Way  
STATUS OF REVIEW: INFO  
REMARKS: Appropriate drainage tracts/ROW shall be on the final plat.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency  
STATUS OF REVIEW: INFO  
REMARKS: This criteria to be reviewed with resubmittal.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 7.1.3 Drainage Construction Specifications  
STATUS OF REVIEW: INFO  
REMARKS: Deviation request has been submitted to County Engineer for consideration. If approved, letter will be uploaded to eplans.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 4/4/25-add waivers if requested in future
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.2.A - Water Connection Requirements  
STATUS OF REVIEW: INFO  
REMARKS: 7/1/25 Secondary connection for water now connects North into Liberty Village. (2) Need to ensure that the sub division gets adequate fire flow from Liberty Village 10" connection, if the main connection off 80th is shut down, or there is a break. Previous comment. C06.04 Water line needs to be

closer to SW 77th Court and further away from the DRA. Easement may need to shift.

- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:  
STATUS OF REVIEW: INFO  
REMARKS: MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Manager: Alejandro Rad at 352-307-6012 or Alejandro.Rad@marionfl.org
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity  
STATUS OF REVIEW: INFO  
REMARKS: 7/1/25 Need to ensure that the sub division gets adequate fire flow from Liberty Village 10" connection, if the main connection off 80th is shut down, or there is a break. Previous comment: Need to model Fire flow to ensure adequate flow pressure. Info - Defer to Marion County Fire Rescue. Marion County Utilities will provide water.
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: INFO  
REMARKS: 7/1/25 Plan review for Version 2: \$130.00 4/17/25 Utilities Plan Review Fee: \$510.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 32515
- 12 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Central Sewer/Central Water  
Existing well to be abandoned must have a permit through the Department of Health in Marion County.
- 13 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.24 - Preliminary buffer plan/6.8.6 - Buffering  
STATUS OF REVIEW: INFO  
REMARKS: Initial Review: To ensure clarity for buffer type location, add buffer type labels (e.g., Modified Type E, Modified Type A, Type C, etc.) consistent with the approved buffers from Resolution No. 25-R-107. Ensure the same labels are added to the project's pre-plat to ensure consistency between the two applications. 7/7 Buffers have been added to sheet c01.02, Please be sure to remain consistent with approved preliminary plat.
- 14 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.10 - Show any known easements (i.e. ingress or egress, landscape or conservation)  
STATUS OF REVIEW: INFO  
REMARKS: Initial Review: Easements shown on Geometry Plan sheets. Staff will check for consistency with pre-plat once pre-plat is approved.
- 15 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Improvement Plan  
STATUS OF REVIEW: INFO  
REMARKS: IF APPLICABLE:  
Sec. 2.18.1.I - Show connections to other phases.  
Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters

STATUS OF REVIEW: NO

REMARKS: Design High water levels labeled on pond cross sections don't match ICPR outputs.

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.6 - Stormwater Quality Criteria

STATUS OF REVIEW: NO

REMARKS: Comment responses indicated a waiver for seed for pond bottoms was approved by DRC. Pond cross sections still indicate sod. Please clarify intent for project.

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis

STATUS OF REVIEW: NO

REMARKS: Tailwater elevation utilized in hydraulic calculations doesn't match the ICPR output tables included in the report. Please clarify.

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations

STATUS OF REVIEW: NO

REMARKS: Per grading, the access connection to SW 80th drains to 80th street. Please provide updated spread calcs for SW 80th inlets downstream of access point.

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.9 - Grading Criteria

STATUS OF REVIEW: NO

REMARKS: Proposed grading on the east side of the access point to 80th appears to have a low point in the radius. Please clarify intent.

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.

22 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 7/9/25 Right-of-way reservation geometries are insufficient. Update plans to reflect 70' right-of-way reservation throughout unless it can be determined another dimension is appropriate to achieve the 120' required right-of-way per PUD condition #10.

4/17/25 - 1) Typical sections required and are the primary reference for right-of-way dedication. Private local subdivision roads require 50' + 5' ROW easement each side. Waiver must be obtained, or evidence of an existing, applicable waiver must be sufficiently provided when a lesser right-of-way is proposed. 2) Right-of-way dedication along SW 80th St. is required as specified by approved PUD.

23 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 7/9/25 - Applicant indicated intent to seek waiver to pay fee in-lieu-of sidewalk construction along SW 80th St from site entrance to SW 77th Court based upon support of the County Engineer. If approved, fee comes out to \$14,375.

4/17/25 - 1) Sidewalks are required along one side of internal streets unless approved by staff-supported DRC waiver. 2) A multi-use path along SW 80th St., connecting to existing location west of development site and extending to SW 77th Court is required except where already approved by the BCC for fee-in-lieu of construction along SW 80th St from site access location to SW 77th Court. Fee-in-lieu of construction will be calculated when the extent of sidewalk is determined after DRC waiver review. Note: During the BCC approval on 3/18/25, OTOW representative indicated a willingness to extend multimodal path to main entrance as requested.

24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Additional Traffic comments

STATUS OF REVIEW: NO

REMARKS: 7/9/25 - Approval of improvement plan will be contingent upon 1) approval of preliminary plat and 2) approval of offsite improvement plan for SW 80th St. realignment construction to enable

incorporation of any changes needed.

25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.4 - Water Main Piping Installation

STATUS OF REVIEW: NO

REMARKS: 7/1/25 C06.01 WM service cannot be extended past parcel boundary to feed BLCCDD customers, without consent from BLCCDD. Remove extension and connection from plans. C06.04 - Change water line serving lots 23-25 a 4" or 2" with a cap and turn it into a service/ remove Gate valve. C06.01 - Why is the section of pipe on Street A on the south side of the road? (2) Need blow off if street B cul-de-sac stays piped how it was originally displayed.

26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.5 - Water Service and Connection

STATUS OF REVIEW: NO

REMARKS: 7/1/25 Please advise: C06.02 How are you going to get water across the street between lots 95 and 112. Sleeves and casings don't bend? Previous comment: C06.03 See changemarks for valve changes. C06.04 See changemarks for valve changes. C06.02 How are you going to get water across the street between lots 95 and 112. Sleeves and casings don't bend. (2) On lot 40, move service to street F. (3) Reduce connection at lot 37 to 10" x 8, which is the size of the Liberty Village main. (4) Move GV at the corner of Lot 85 to a Tee. C06.01 - Move GV to Tee on the corner of 194. (2) Move water service out of the driveway of lot 65.

27 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat

STATUS OF REVIEW: NO

REMARKS: Initial Review: Per LDC Sec. 2.1.3. - Order of plan approval.

"Plans listed below may be reviewed concurrently, but must be approved in the order listed below, when applicable and when the proper land use and zoning are in place:

A. Master Plan; B. Preliminary Plat; C. Improvement Plan; D. Final Plat; E. Major Site Plan;

However, a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application."

There is an approved Master Plan which was amended as part of Resolution No. 25-R-107. However, staff cannot confirm the improvement plan's consistency with the pre-plat until the pre-plat is approved. This item will remain [NO] until the pre-plat is approved.

28 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4) - Project is consistent with any and all zoning approvals, land use restrictions and developers agreements. Verify parcel is in compliance with LDR and Comprehensive Plan.

STATUS OF REVIEW: NO

REMARKS: Initial Review: Staff will confirm consistency with zoning approval once the pre-plat is approved.

29 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23 - Show typical setback layout for primary uses, as well as accessory uses, dimensions for all improvements

STATUS OF REVIEW: NO

REMARKS: Initial Review: Lot typicals shown on C03.01. Staff will check for consistency with the pre-plat once the pre-plat is approved.

30 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.9 - Location and dimensions of proposed right of ways and streets, including

easements, reservations or dedications

STATUS OF REVIEW: NO

REMARKS: Initial Review: Staff notes location/Dimensions of ROW are shown. Staff will check for consistency with pre-plat once pre-plat is approved. However, staff notes that dimensions for adjacent roadways SW 80th St and SW 80th Ave are not shown as required by 2.12.9. Add these to the applicable Geometry Plan sheets and state which sheets have been amended, reflect changes on pre-plat if needed. 7/7 SW 80th Street and SW 80th Avenue dimensions have been added to sheets c03.01 through c03.04- however, preplat is still under review at this time.

31 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.22 - Approximate location of all lot lines with dimensions and area in sq ft

STATUS OF REVIEW: NO

REMARKS: Initial Review: Lot lines shown on Geometry Plan sheets. Staff will check for consistency with pre-plat once pre-plat is approved.

32 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 - Provision for subdivision signs

STATUS OF REVIEW: NO

REMARKS: Initial Review: 2 monument signs (4 total) shown for each entrance on C08.01 and C08.03. Signs are not shown on the approved concept or master plan for Melody Preserve. Provide proof/documentation demonstrating approval for four monument signs. Otherwise, 2 subdivision signs maximum are allowed according to Sec. 4.4.4.E(1). In any case, demonstrate that there is a 5' setback from the front/side property line per Sec. 4.4.4.E(2) and verify the signs do not encroach into a sight triangle. State which sheets have been amended and which documents have been uploaded, as applicable. 7/7 Demonstrate setback from the property line and verify line of sight triangle has not been encroached by signage.

33 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: Sheet C01.04 – Labeled SW 78th St. Sheet C07.12 – SW 79th Ter is incorrectly labeled as Street H. Please label all roads accordingly on all future submittals.

34 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: NO

REMARKS: Sheet C01.00 - General Notes: The parcel number is labeled incorrectly as 353000-000-15. It should be 35300-000-15. Please update on all future submittals.

35 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments

STATUS OF REVIEW: NO

REMARKS: 1. no Draft HOA documents found in submittal - Provide HOA Documents - In new residential developments with more than 50 lots, the developer shall also promote the practices and principles of FFL as described in the Florida Yards and Neighborhoods Handbook, as amended. A program which promotes these principles shall be incorporated into and made part of the restrictive covenants and shall include:(1)Information about the applicable landscaping requirements under this division and under Division 6.8;(2)Procedures for future owners to follow when implementing FFL on individual lots, and(3)Water conservation and FFL educational materials to all new homeowners; and(4)Information regarding landscape irrigation scheduling as stipulated in Section 6.9.9. example @ [https://ffl.ifas.ufl.edu/media/fflifasufledu/docs/CCRs\\_Sept-20-2010\\_final.pdf](https://ffl.ifas.ufl.edu/media/fflifasufledu/docs/CCRs_Sept-20-2010_final.pdf)

36 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements  
STATUS OF REVIEW: NO  
REMARKS: unable to locate lighting plan exhibit in submittal - please clarify



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 8/21/2025 Parcel Number(s): 35300-000-15, 35474-000-00 Permit Number: 32515

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Melody Preserve Commercial  Residential   
Subdivision Name (if applicable): Melody Preserve  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): On Top of the World Communities, L.L.C.  
Signature: \_\_\_\_\_  
Mailing Address: 8445 SW 80th Street City: Ocala  
State: FL Zip Code: 34481 Phone # 352-387-7480  
Email address: ld\_permits@colenbuilt.net

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): On Top of the World Communities, L.L.C. Contact Name: Lisa Lazaro  
Mailing Address: 8445 SW 80th Street City: Ocala  
State: FL Zip Code: 34481 Phone # 352-387-7480  
Email address: ld\_permits@colenbuilt.net

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.12.12 - Sidewalks  
Reason/Justification for Request (be specific): Wavier request to pay fee in-lieu of sidewalk construction along SW 80th Street from site entrance to SW 77th Court per conversations with the County Engineer

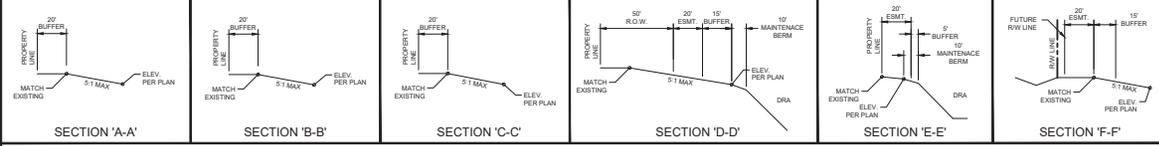
**DEVELOPMENT REVIEW USE:**

Received By: emailed 8/21/25 Date Processed: 8/21/2025 Project # 2024100025 AR # 32515

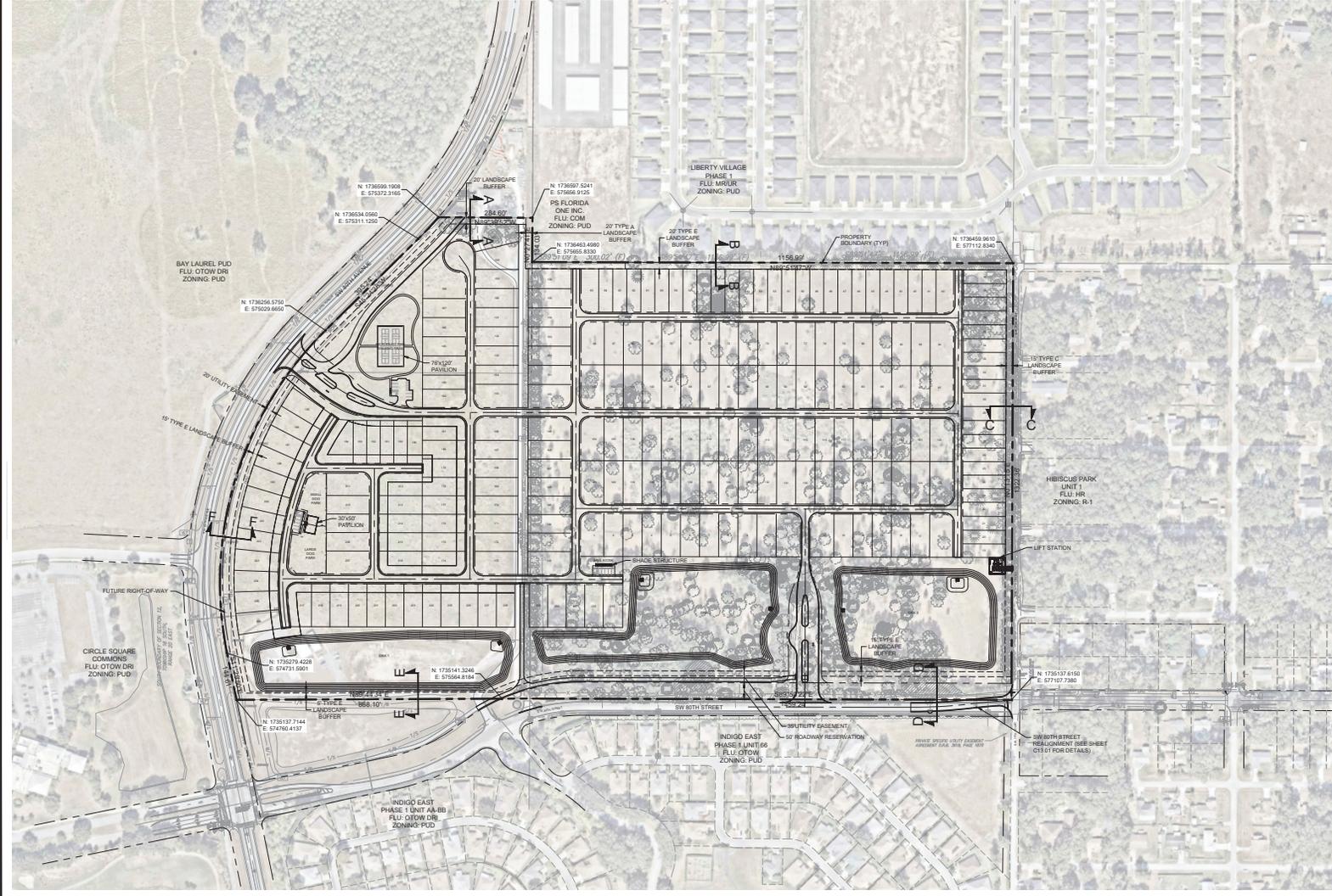
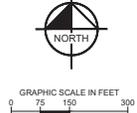
ZONING USE: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_







CALL 2 BUSINESS DAYS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



NO.	REVISIONS	DATE

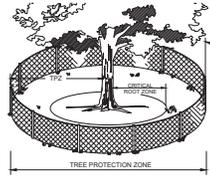
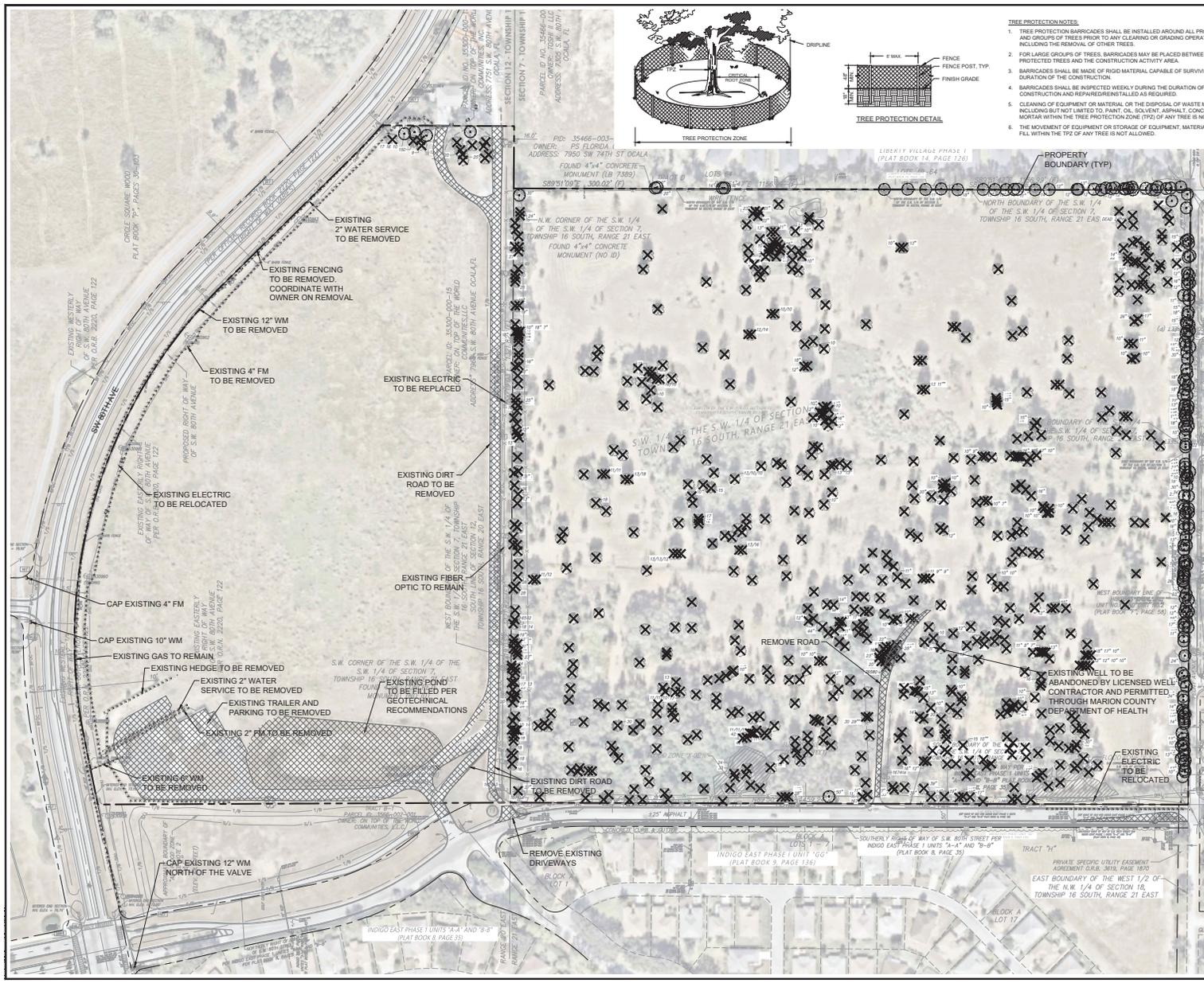
**Kimley-Horn**  
6320 N.W. 17TH AVENUE, SUITE 200  
FORT LAUDERDALE, FLORIDA 33411  
PHONE: 352-430-9000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 20108

LICENSED PROFESSIONAL  
GENE BRUNO LOGIOTI, P.E.  
FLORIDA LICENSE NUMBER 75547  
DESIGNED BY: KHA  
DRAWN BY: GJM  
CHECKED BY: GJM

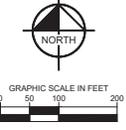
**MASTER DEVELOPMENT PLAN**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C01.02**



- TREE PROTECTION NOTES**
1. TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
  2. FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
  3. BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
  4. BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
  5. CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
  6. THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.



- LEGEND**
- X - EXISTING TREE TO BE REMOVED
  - - EXISTING TREE TO BE PRESERVED
  - ▨ - EXISTING BUILDING/CONCRETE/ASPHALT TO BE REMOVED
  - - EXISTING FEATURE TO BE REMOVED

**TREE PRESERVATION NOTE**  
 TREE PRESERVATION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY DEMOLITION ACTIVITIES.

- DEMOLITION NOTES**
1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
  2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE, UNLESS OTHERWISE NOTED. ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS, PILES, SIGNS, AND ALL APPURTEANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
  3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR EXISTING AND PROPOSED REMOVAL OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

TOTAL PROJECT AREA:	70.06 AC
TOTAL INCHES PRESERVED:	3167
PRE-DEVELOPMENT TOTAL INCHES:	4788
(OUTSIDE OF LOTS)	
PRE-DEVELOPMENT INCHES PER ACRE:	68.31
TOTAL INCHES PER ACRE PRESERVED:	45.20
TOTAL INCHES REMOVED:	1961
(OUTSIDE OF LOTS)	
TOTAL INCHES PER ACRE REMOVED:	22.85
(SUBJECT TO MITIGATION)	
REPLACEMENT TREE INCHES REQUIRED:	1031
INCHES OF TREES PROPOSED:	2640

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NO. PROJECT	242424010	
DATE	JUNE 2025	
SCALE	AS SHOWN	
DESIGNED BY	KHA	
DRAWN BY	GM	
CHECKED BY	GM	
DATE		
REVISIONS		
NO.	DATE	BY

**Kimley-Horn**  
 6320 WARELY HORN AND ASSOCIATES, INC.  
 1700 SE 17TH STREET, SUITE 200  
 MIAMI, FLORIDA 33141  
 PHONE: (305) 440-9000  
 WWW.KIMLEY-HORN.COM REBERTY NO. 20109

LICENSED PROFESSIONAL	GENE BRUNO LOBATO, P.E.
FLORIDA LICENSE NUMBER	75647

**EXISTING CONDITIONS AND DEMOLITION PLAN**

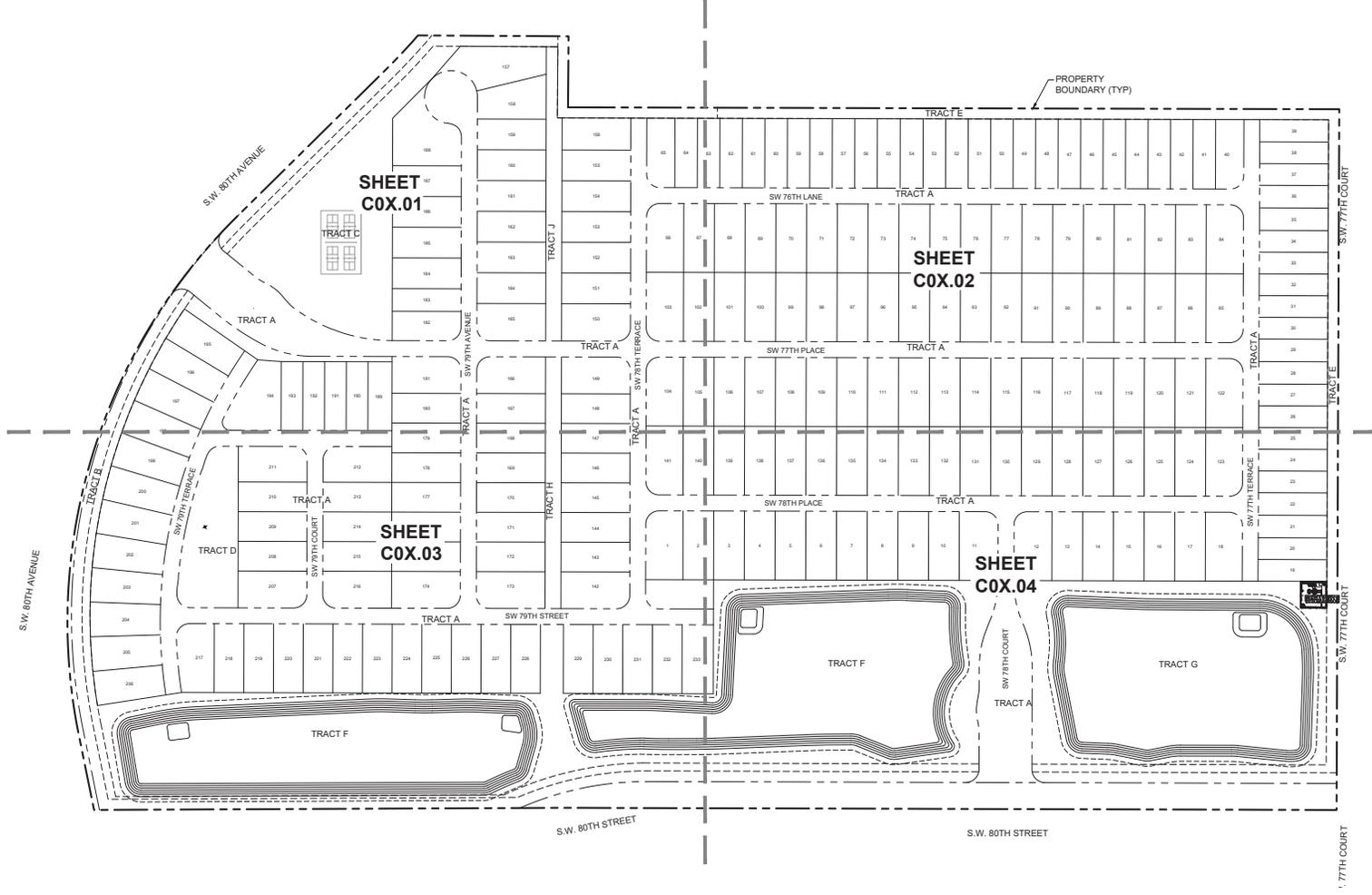
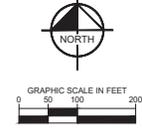
**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 FLORIDA  
 MARION COUNTY  
 MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C01.03**

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
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FLORIDA STATE ONE CALL OF FLORIDA, INC.



**REFERENCE SHEET**  
 C03.01 - C03.04 - GEOMETRY MASTER PLAN  
 C04.01 - C04.04 - STORM DRAINAGE MASTER PLAN  
 C05.01 - C05.04 - SANITARY SEWER MASTER PLAN  
 C06.01 - C06.04 - WATER DISTRIBUTION MASTER PLAN  
 C08.01 - C08.04 - SIGNING AND MARKING MASTER PLAN  
 C09.01 - C09.04 - GRADING PLAN



NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 ENGINEERS ARCHITECTS PLANNERS  
 6320 W. WEAVER ROAD, SUITE 100  
 TAMPA, FLORIDA 33611  
 WWW.KIMLEY-HORN.COM TELEPHONE 813.281.1000

LICENSED PROFESSIONAL  
 GENIE BRUNO LOSITO, P.E.  
 FLORIDA LICENSE NUMBER 75547  
 DRAWN BY: KHA  
 CHECKED BY: GBL

**MASTER PLAN SHEET REFERENCE**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C01.04**

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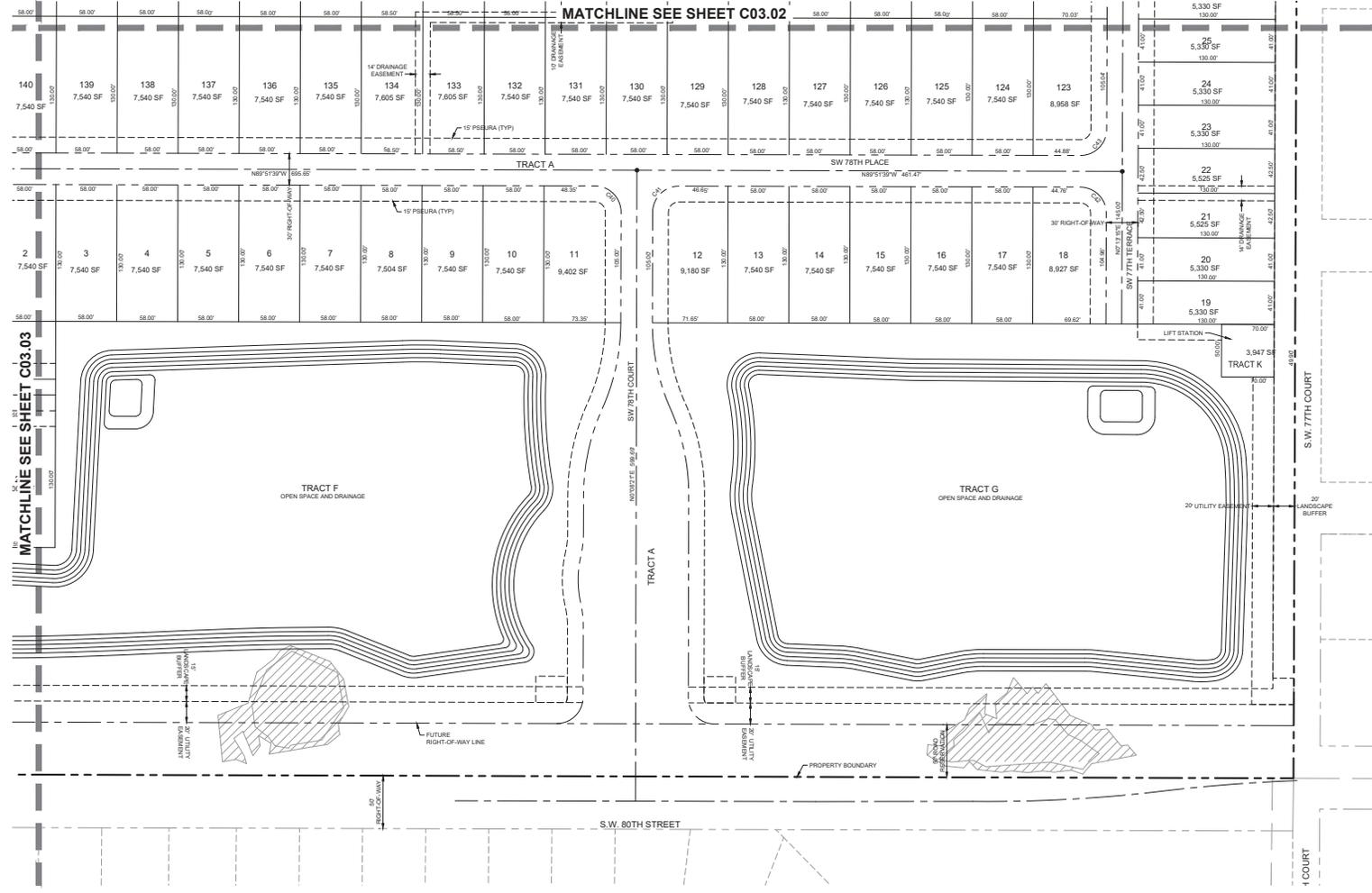
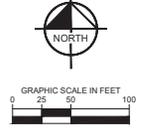
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C40	25.00'	39.27'	N44°51'39"W	35.36'	90°00'00"	25.00'
C41	25.00'	39.27'	N45°08'21"E	35.36'	90°00'00"	25.00'
C42	25.00'	39.31'	S44°49'12"E	35.38'	90°04'54"	25.04'
C43	25.00'	39.23'	S45°10'48"W	35.33'	89°55'00"	24.96'
C44	25.00'	39.31'	N44°49'12"W	35.38'	90°04'54"	25.04'
C45	25.00'	39.23'	S45°10'48"W	35.33'	89°55'00"	24.96'



NO.	REVISIONS	DATE
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1100 SE 17TH AVENUE, SUITE 100, FT. LAUDERDALE, FLORIDA 33411  
PHONE: 954-840-0000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

KHA PROJECT	242245010
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	CMW
CHECKED BY	GBL
LICENSED PROFESSIONAL	
GEORGE BRUNO COSTO P.E.	
FLORIDA LICENSE NUMBER	75447

# GEOMETRY MASTER PLAN

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.

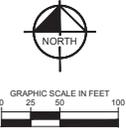
FLORIDA  
MARION COUNTY  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C03.04**

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DRAWN BY: CMW, CHECKED BY: GBL, DATE: 6/27/2025

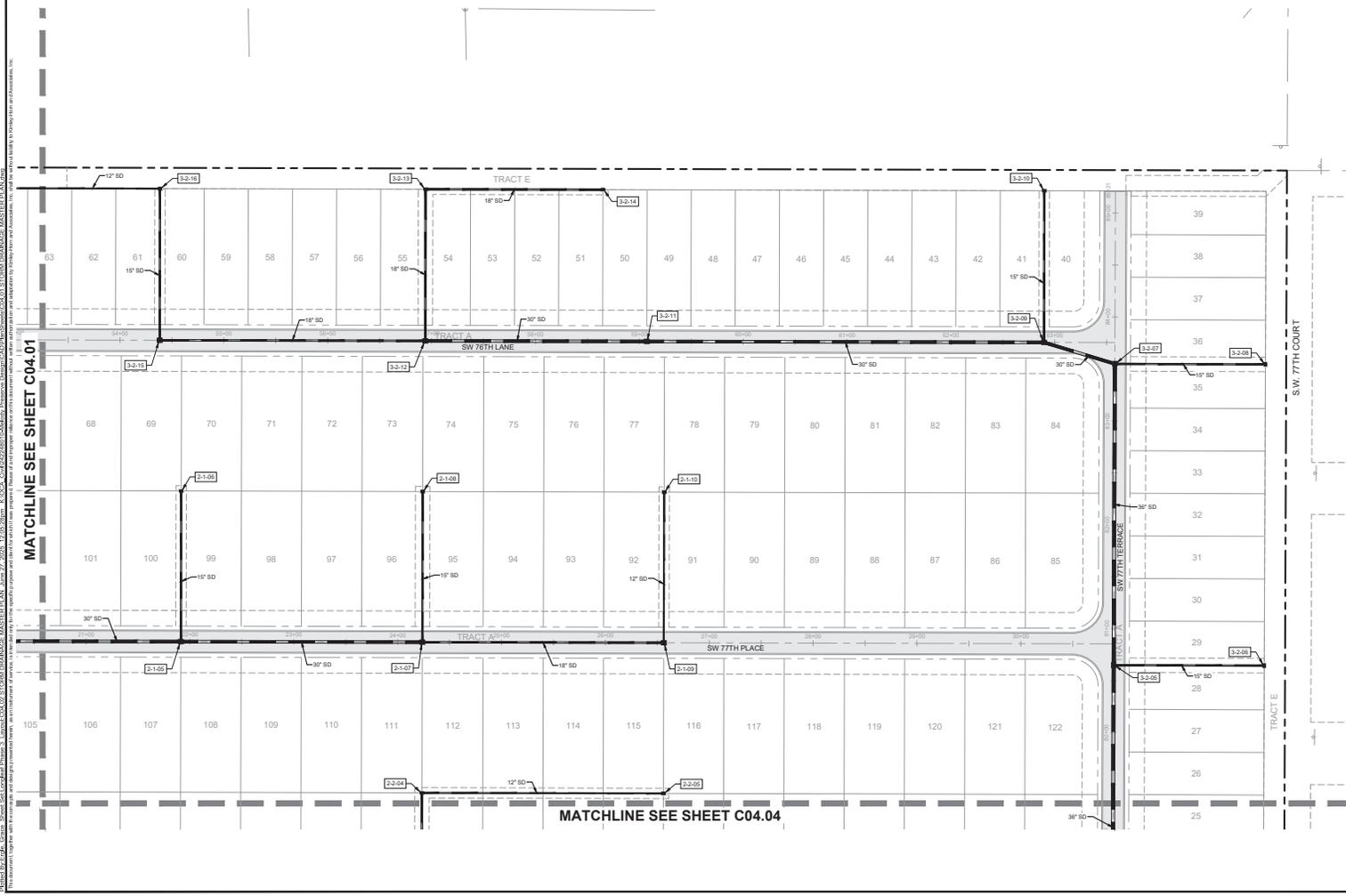


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NO.	REVISIONS	DATE

Prepared By: Staff, Client: Speed-Set-Corridor-Phase-3, Layout: C04.00, STORM DRAINAGE MASTER PLAN, June 27, 2025, 12:08:28pm, A:\CSA\_Cad\24248610\04\04\Storm Drainage Master Plan.dwg, Date Plotted: 06/27/2025 12:08:28pm, Plotter: HP DesignJet T1100e, Plot Scale: 1.0000, Plot Orientation: Landscape, Plot Range: All, Plot Color: Black, Plot Lineweight: As Shown, Plot Font: Arial, Plot Size: 36x48, Plot Units: Feet, Plot Style: Default, Plot Weight: 0.00, Plot Color: Black, Plot Lineweight: As Shown, Plot Font: Arial, Plot Size: 36x48, Plot Units: Feet, Plot Style: Default, Plot Weight: 0.00



- LEGEND**
- XXXXXX - STORM DRAINAGE STRUCTURE LABEL
  - - PROPOSED DRAINAGE INLET
  - - PROPOSED CURB INLET
  - - PROPOSED STORMWATER MANHOLE
  - - PROPOSED STORM PIPE

- NOTES:**
- STORM PIPE MATERIALS LABELED "SD" SHALL BE A-2000 PVC, 18" STORM RIGID WALL WATER TIGHT JOINT, OR FIP, AND CONFORM WITH THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. STORM PIPES WITH A REQUIRED SPECIFIC MATERIAL, ARE NOTED ON THE PLANS.
  - ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
  - SHOP DRAWINGS ARE TO BE REVIEWED BY THE ENGINEER OF RECORD.
  - DISCHARGE INTO DRAINAGE RETENTION AREAS REQUIRE INSTALLATION OF CONCRETE MITERED END SECTION PER FOOT (EICK 4882) AT 4:1 SLOPE. (SEE SHEETS C04.03 AND C04.04 FOR DETAIL OF RR-404 PAVE).
  - SEE DRAINAGE MASTER PLAN SHEETS AND DRA PLAN SHEETS FOR SPECIFIC POND INFORMATION.

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WWW.KIMLEY-HORN.COM REGISTRY NO. 310166

KHA PROJECT	LICENSED PROFESSIONAL
24248610	GENE BRUNO (05107)-E
DATE	FLORIDA LICENSE NUMBER
JUNE 2025	7547
SCALE	DRAWN BY
AS SHOWN	GM
DESIGNED BY	CHECKED BY
KHA	GM
DATE	DATE

**STORM DRAINAGE MASTER PLAN**

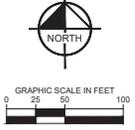
**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C04.02**



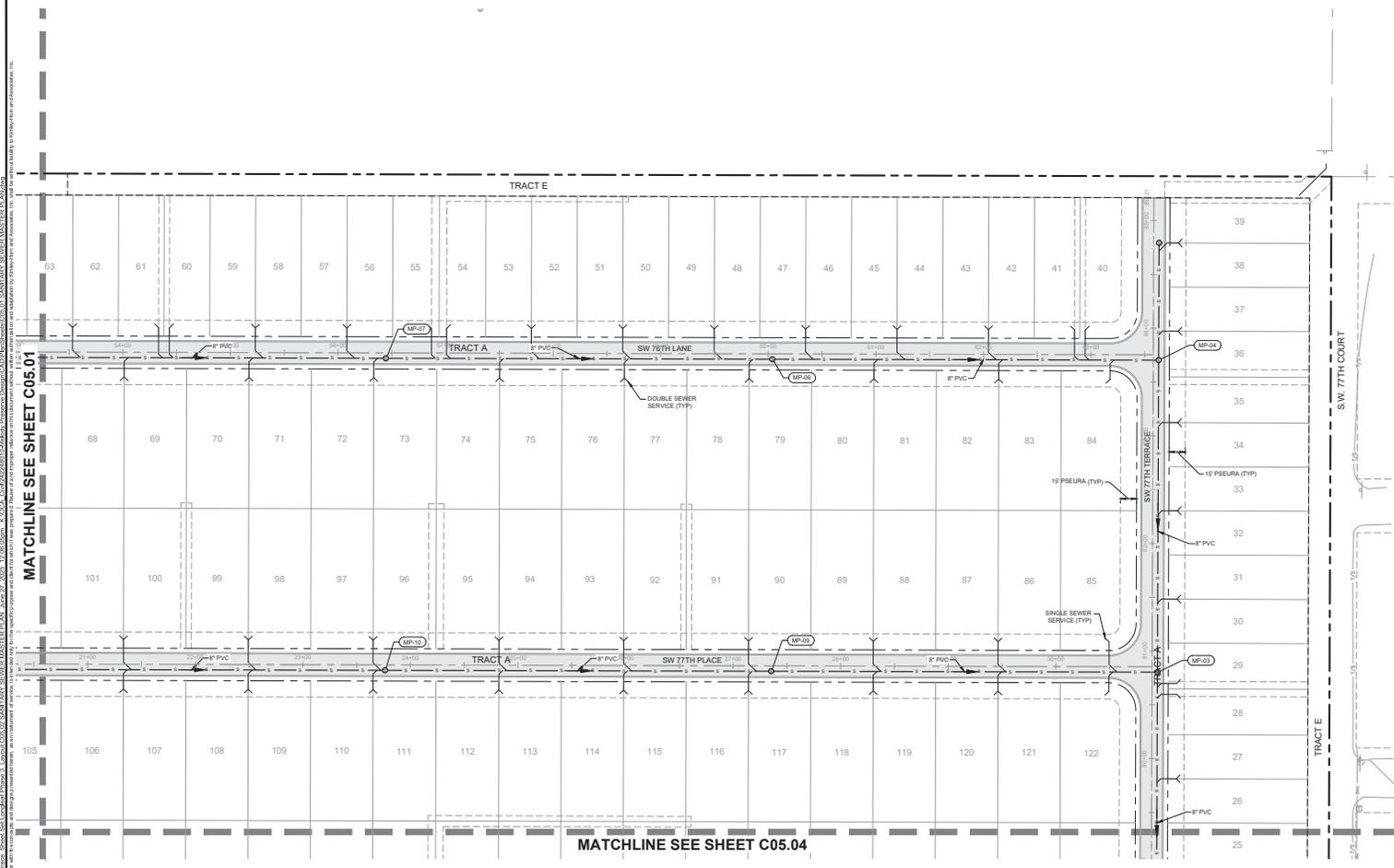






NO.	REVISIONS	DATE

Prepared By: Staff, Client: Speed, Sheet: Sanitary Sewer Master Plan, Date: 07/27/2023, 12:56:05pm, C:\CSO\_Cad\232228101\Sanitary Sewer Master Plan.dwg, Project: Sanitary Sewer Master Plan, Job: 23-005  
 This document is prepared for the use of the client and is not to be used for any other purpose. It is the responsibility of the client to ensure that the information contained herein is accurate and complete. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The information contained herein is based on the information provided by the client and is not to be used for any other purpose. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The information contained herein is based on the information provided by the client and is not to be used for any other purpose.



- LEGEND**
- PROPOSED SANITARY SEWER PIPE
  - PROPOSED SANITARY FORCE MAIN
  - PROPOSED SANITARY MANHOLE
  - PROPOSED DOUBLE SANITARY SEWER SERVICE
  - PROPOSED SINGLE SANITARY SEWER SERVICE
- SEE SHEETS C11.01 THROUGH C11.03 FOR DETAILS

- NOTES**
1. ALL UTILITY CONSTRUCTION SHALL CONFORM WITH THE MARION COUNTY LAND DEVELOPMENT CODE. THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL RULES AND STANDARDS CONTAINED THEREIN.
  2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
  3. PROPOSED SANITARY SEWER SYSTEM TO CONNECT TO THE EXISTING SANITARY SEWER SYSTEM. CONTRACTOR TO LOCATE AND VERIFY THE IN LOCATIONS PRIOR TO CONSTRUCTION.
  4. LIFT STATION AND FORCE MAIN WILL BE OWNED AND MAINTAINED BY MARION COUNTY.
  5. ALL SANITARY SEWER GRAVITY MAINS SHALL BE POLYVINYL CHLORIDE (PVC) 407M D-305A, SDR-35, DR18, 150 PSI PRESSURE RATING, UNLESS OTHERWISE NOTED.
  6. CONTRACTOR SHALL INSTALL EARLY WARNING TAPE 12" TO 18" ABOVE ALL FORCE MAINS. SEE MATERIAL SPECIFICATION 479-09-02-01.
  7. UTILITY AS-BUILT DRAWINGS, MEETING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUPPLIED TO THE COUNTY PRIOR TO PROJECT CLOSEOUT.
  8. ALL EXISTING OR PROPOSED WATER, SEWER, OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO PROJECT CLOSEOUT.



LICENSED PROFESSIONAL  
 ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 7547  
 DATE:

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MARION COUNTY  
 FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C05.02**

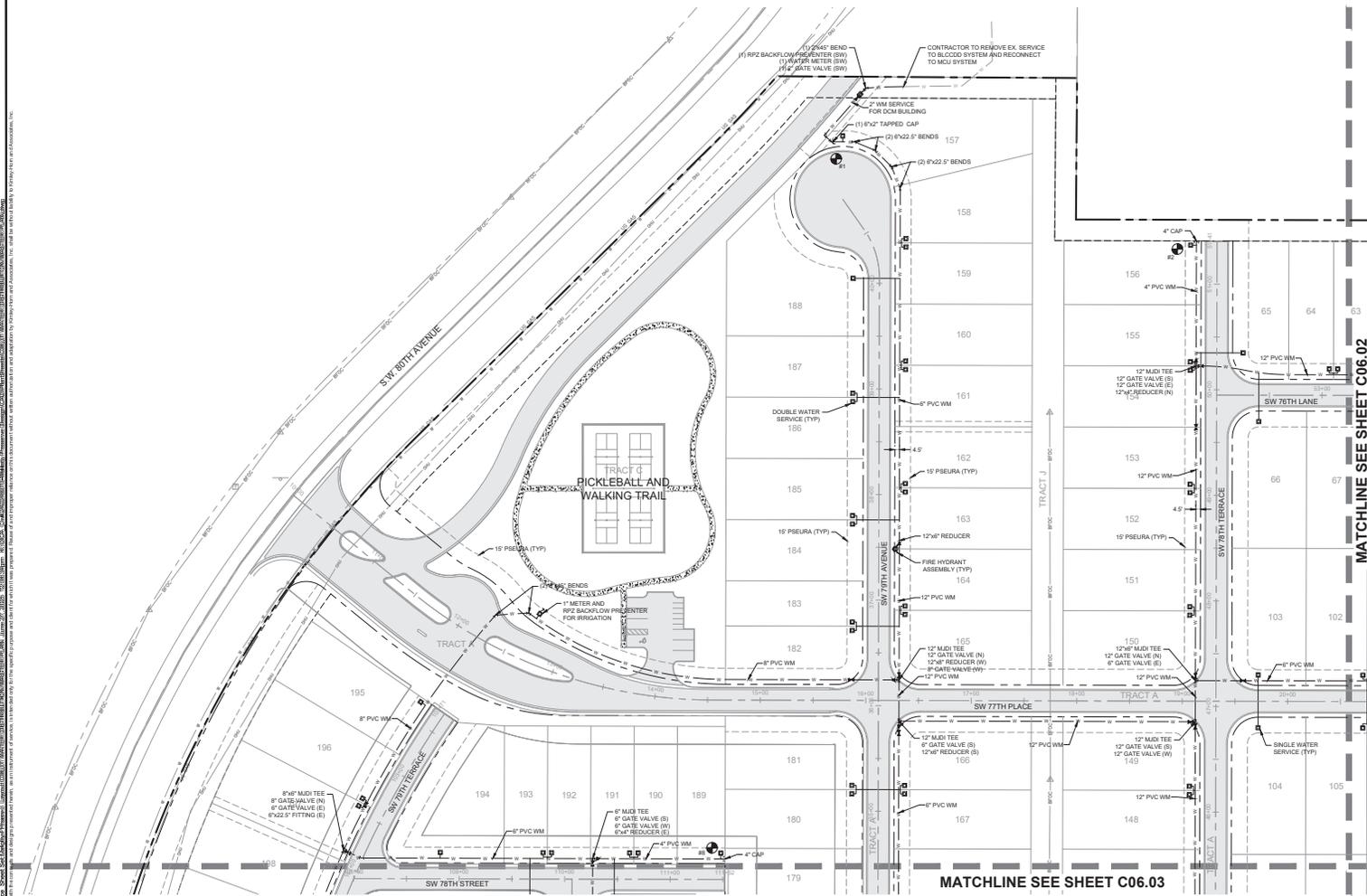
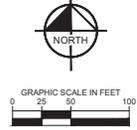




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- WATER DISTRIBUTION LEGEND**
- PROPOSED WATER MAIN
  - ⊗ PROPOSED GATE VALVE
  - ⊕ PROPOSED FIRE HYDRANT
  - ⊖ PROPOSED SINGLE WATER SERVICE
  - ⊗ PROPOSED DOUBLE WATER SERVICE
  - ⊕ PROPOSED WATER CAP
  - ⊖ PROPOSED M.J.D.I. TEE
  - ⊗ PROPOSED M.J.D.I. CROSS
  - ⊕ BACTERIAL TESTING SITE
  - ⊖ FULLY RESTRAINED WATER MAIN
- SEE SHEETS C11.01 THROUGH C11.03 FOR DETAILS

- NOTE**
1. ALL WATER SERVICES SHALL BE INSTALLED 12" FROM SACK OF CURB.
  2. ALL FIRE HYDRANT ASSEMBLIES TO BE CLOW MEDALLION 5-1/4" HYDRANTS WITH POWDER COATED CAPS AND BONNETS (COLOR TO BE DETERMINED BY FLOW TEST) AND PAINTED IN ACCORDANCE WITH NFPA RECOMMENDED PRACTICE FOR FLOW TESTING AND MARKING OF HYDRANTS.
  3. A METERED SAMPLING CONNECTION WITH AN RP2 BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE EXISTING WATER MAIN AND PROPOSED WATER MAIN LATE. ALL CLEARANCES HAVE BEEN APPROVED AND ACCEPTED BY BLOCCO. THE VALVE (OR VALVES) BE TWEEN EXISTING AND PROPOSED WATER MAINS SHALL REMAIN CLOSED UNTIL AUTHORIZED PERSONNEL OF BLOCCO DEEM APPROPRIATE TO PLACE INTO SERVICE.
  4. RESTRAIN ALL JOINTS AND FITTINGS IN ACCORDANCE WITH THE MARION COUNTY UTILITIES RESTRAINED PIPE DETAIL U7500 OR SHET C06.03.
  5. TOTAL IRRIGATED AREA = 68,464 SF.

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WWW.KIMLEY-HORN.COM REGISTRY NO. 30196

KHA PROJECT	242245710
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	CMW
CHECKED BY	CSB
LICENSED PROFESSIONAL	
GENE BRUNO (C107) P.E.	
FLORIDA LICENSE NUMBER	75447

**WATER DISTRIBUTION MASTER PLAN**

**MELODY PRESERVE PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C06.01**

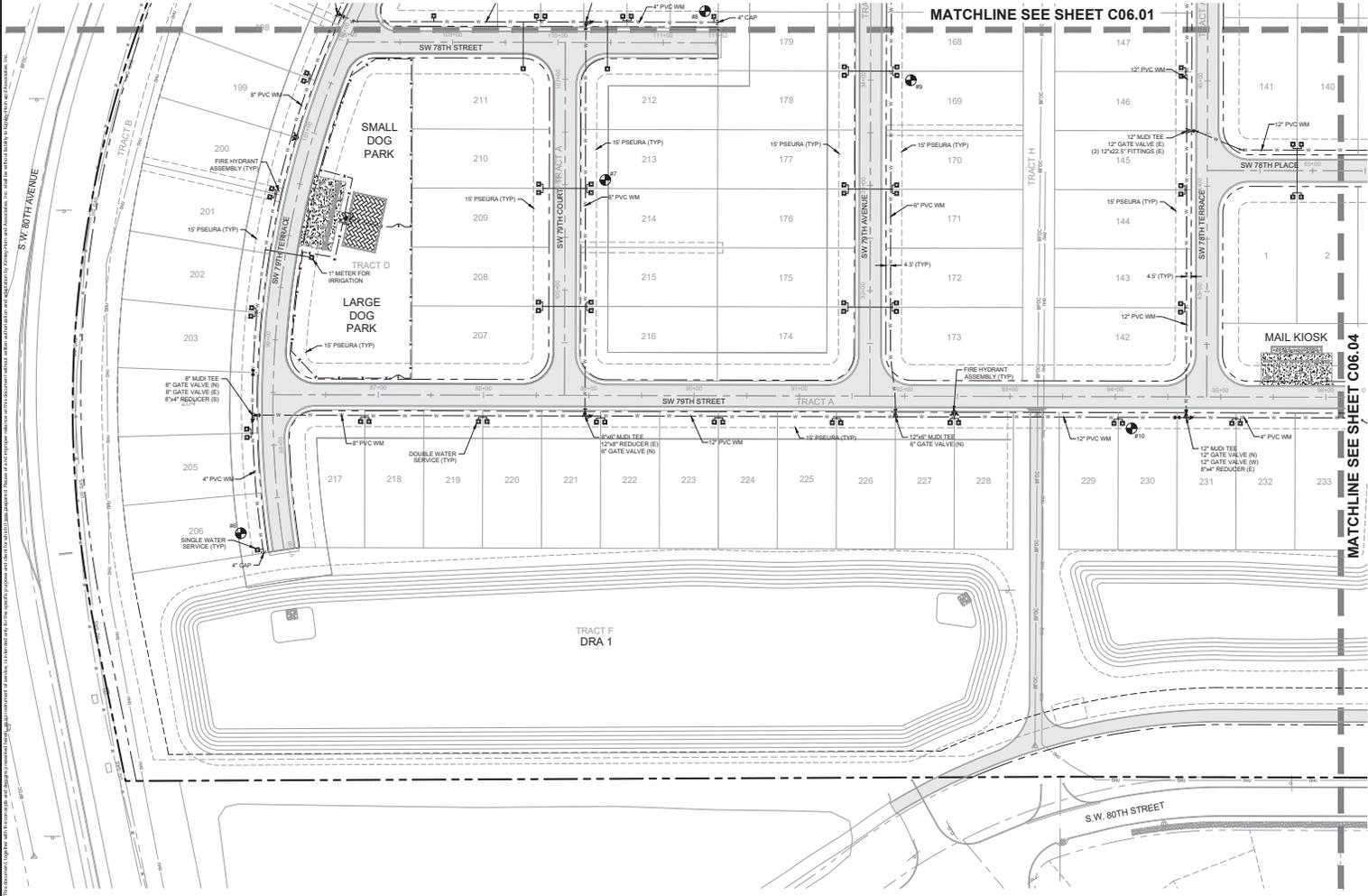
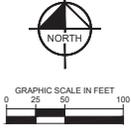
NO.	REVISIONS	DATE



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- WATER DISTRIBUTION LEGEND**
- PROPOSED WATER MAIN
  - PROPOSED GATE VALVE
  - PROPOSED FIRE HYDRANT
  - PROPOSED SINGLE WATER SERVICE
  - PROPOSED DOUBLE WATER SERVICE
  - PROPOSED WATER CAP
  - PROPOSED M.J.D.I. TEE
  - PROPOSED M.J.D.I. CROSS
  - BACTERIAL TESTING SITE
  - FULLY RESTRAINED WATER MAIN
- SEE SHEETS C11.01 THROUGH C11.03 FOR DETAILS

- NOTE**
1. ALL WATER SERVICES SHALL BE INSTALLED 12" FROM BACK OF CURB.
  2. ALL FIRE HYDRANT ASSEMBLIES TO BE CLOW MEDALLION 5-1/4" HYDRANTS WITH POWDER COATED CAPS AND BONNETS (COLOR TO BE DETERMINED BY FLOW TEST) AND PAINTED IN ACCORDANCE WITH NFPA RECOMMENDED PRACTICE FOR FLOW TESTING AND MARKING OF HYDRANTS.
  3. A METERED SWAMP CONNECTION WITH AN RP2 BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE EXISTING WATER MAIN AND PROPOSED WATER MAIN LATE. ALL CLEARANCES HAVE BEEN APPROVED AND ACCEPTED BY BLOCCO. THE VALVE (OR VALVES) BE TWEEN EXISTING AND PROPOSED WATER MAINS SHALL REMAIN CLOSED UNTIL AUTHORIZED PERSONNEL OF BLOCCO DEEM APPROPRIATE TO PLACE INTO SERVICE.
  4. RESTRAIN ALL JOINTS AND FITTINGS IN ACCORDANCE WITH THE MARION COUNTY UTILITIES RESTRAINED PIPE DETAIL U7500 ON SHEET C06.
  5. TOTAL IRRIGATED AREA = 68,464 SF.

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1700 SE 17TH AVENUE, SUITE 200  
FORT LAUDERDALE, FLORIDA 34471  
PHONE 352-430-9000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 30199

LICENSED PROFESSIONAL  
GENE BRUNO COSTO, P.E.  
FLORIDA LICENSE NUMBER  
75547

**WATER DISTRIBUTION MASTER PLAN**

**MELODY PRESERVE PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C06.03**

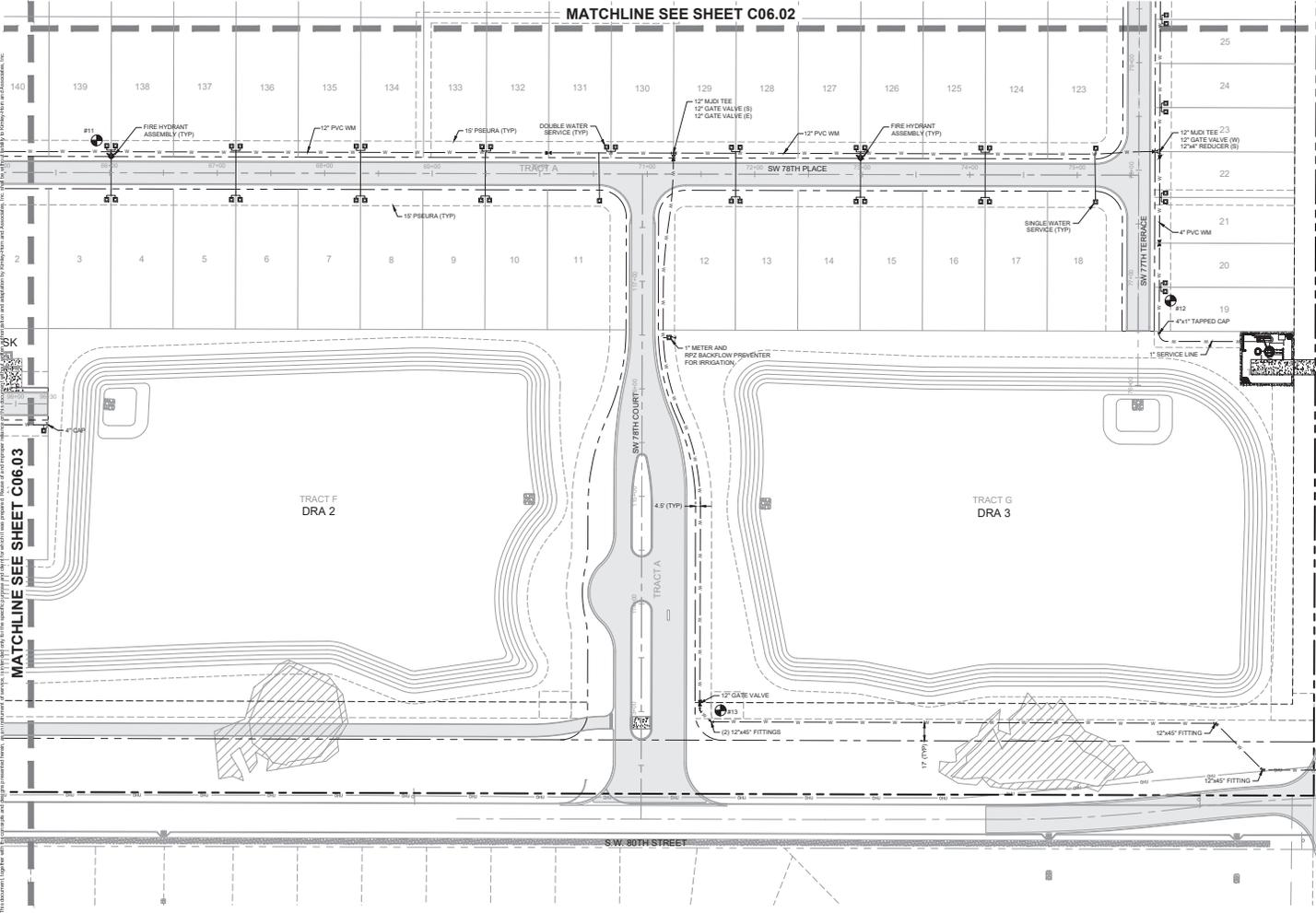
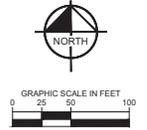
NO.	REVISIONS	DATE

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- WATER DISTRIBUTION LEGEND**
- PROPOSED WATER MAIN
  - PROPOSED GATE VALVE
  - PROPOSED FIRE HYDRANT
  - PROPOSED SINGLE WATER SERVICE
  - PROPOSED DOUBLE WATER SERVICE
  - PROPOSED WATER CAP
  - PROPOSED M.J.D.I. TEE
  - PROPOSED M.J.D.I. CROSS
  - BACTERIAL TESTING SITE
  - FULLY RESTRAINED WATER MAIN

SEE SHEETS C11.01 THROUGH C11.03 FOR DETAILS

- NOTE**
1. ALL WATER SERVICES SHALL BE INSTALLED 12" FROM SACK OF CURB.
  2. ALL FIRE HYDRANT ASSEMBLIES TO BE CLOW MEDALLION 5-1/4" HYDRANTS WITH POWDER COATED CAPS AND BARNETS (COLOR TO BE DETERMINED BY FLOW TEST) AND PAINTED IN ACCORDANCE WITH NFPA RECOMMENDED PRACTICE FOR FLOW TESTING AND MARKING OF HYDRANTS.
  3. A METERED JAMBO CONNECTION WITH AN RP2 BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE EXISTING WATER MAIN AND PROPOSED WATER MAIN LATE. ALL CLEARANCES HAVE BEEN APPROVED AND ACCEPTED BY BLOCCO. THE VALVE (OR VALVES) BE TWEEN EXISTING AND PROPOSED WATER MAINS SHALL REMAIN CLOSED UNTIL AUTHORIZED PERSONNEL OF BLOCCO DEEM APPROPRIATE TO PLACE INTO SERVICE.
  4. RESTRAIN ALL JOINTS AND FITTINGS IN ACCORDANCE WITH THE MARION COUNTY UTILITIES RESTRAINED PIPE DETAIL U7200 ON SHEET C06.
  5. TOTAL IRRIGATED AREA = 68,464 SF.

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PENSACOLA, FLORIDA 32503  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35196

LICENSED PROFESSIONAL	GENE BRUNO (C01072)
FLORIDA LICENSE NUMBER	7547

**WATER DISTRIBUTION MASTER PLAN**

**MELODY PRESERVE PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.**

MARION COUNTY, FLORIDA

MELODY PRESERVE - IMPROVEMENT PLANS

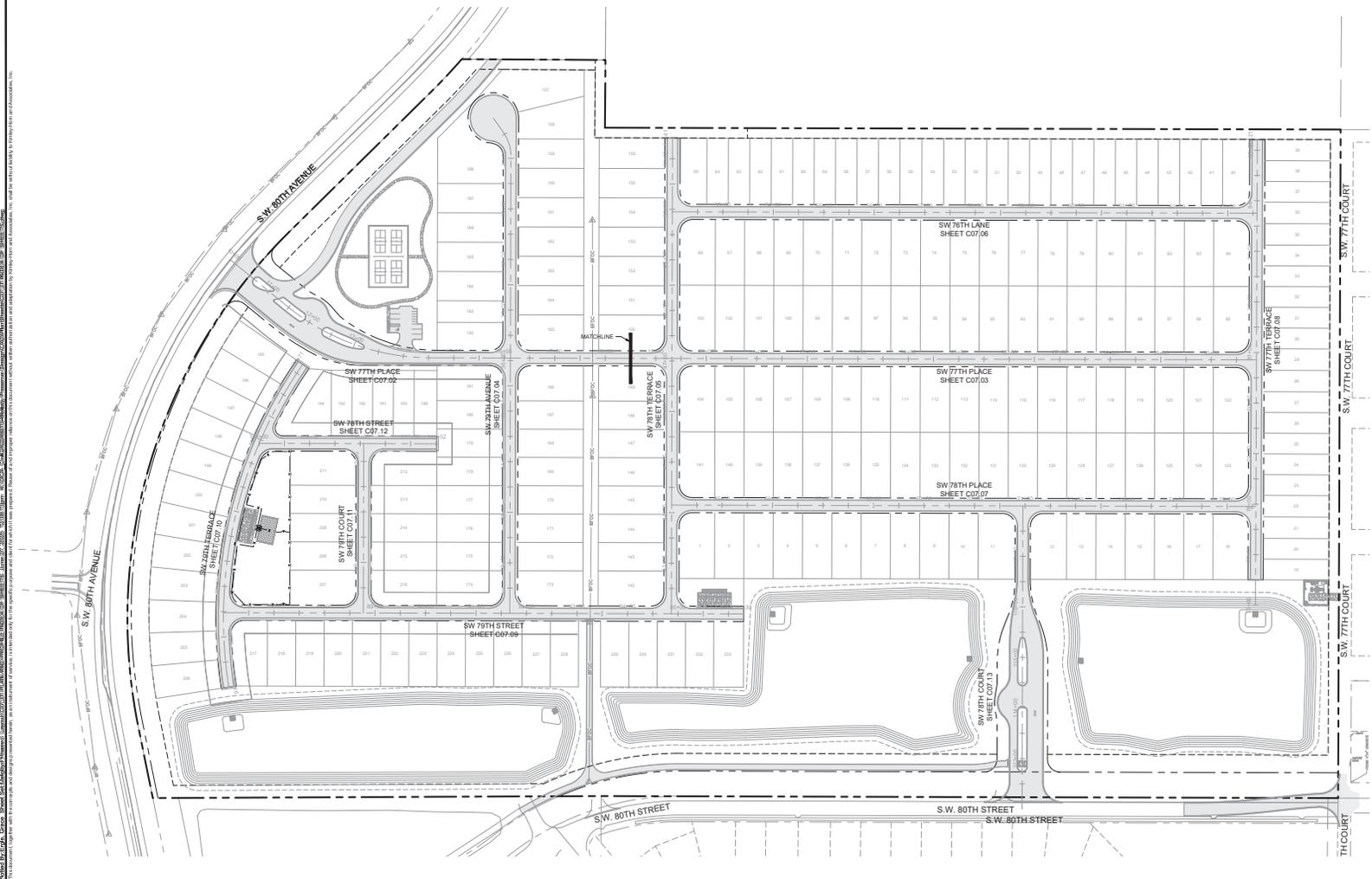
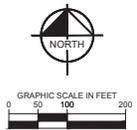
SHEET NUMBER  
**C06.04**

NO.	REVISIONS	DATE

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 PLOT SCALE: 1"=25'-0" (AS SHOWN)  
 PLOT SHEET: C06.04  
 PLOT TITLE: WATER DISTRIBUTION MASTER PLAN  
 PLOT USER: JHARRIS  
 PLOT DEVICE: HP DesignJet T1100e



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Prepared By: **Earth, Creek, Stone, Soils and Foundations**  
 KHA PROJECT: 242245010  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: CWM  
 CHECKED BY: GBL  
 DATE:

**Kimley-Horn**  
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 1700 SE 17TH AVENUE, SUITE 200  
 MIAMI, FL 33133  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 33196

LICENSED PROFESSIONAL  
 SERGE BRUNGLOSTOYE  
 FLORIDA LICENSE NUMBER  
 75447

**PLAN AND PROFILE INDEX OF SHEETS**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C07.01**

NO.	REVISIONS	DATE



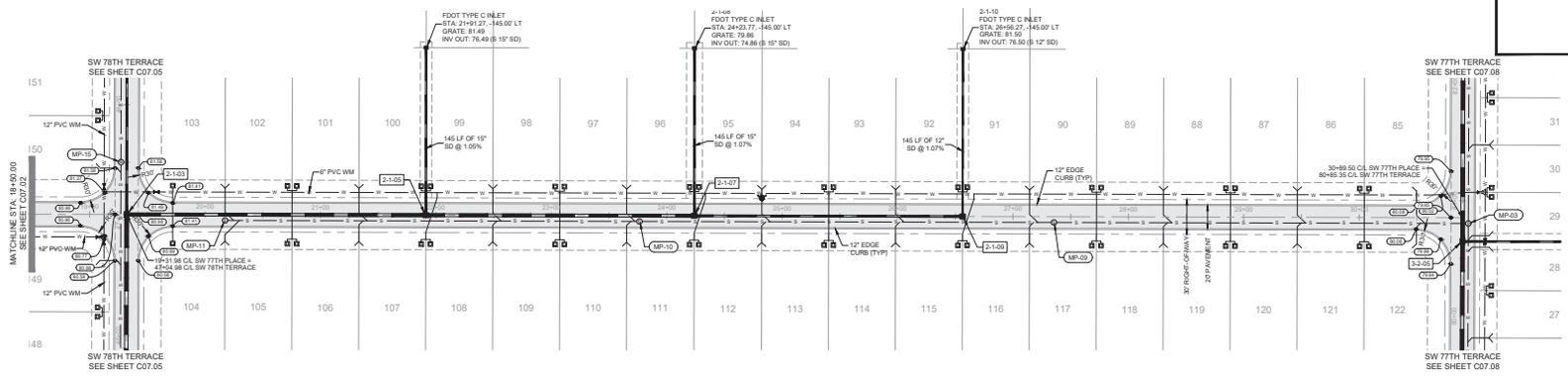
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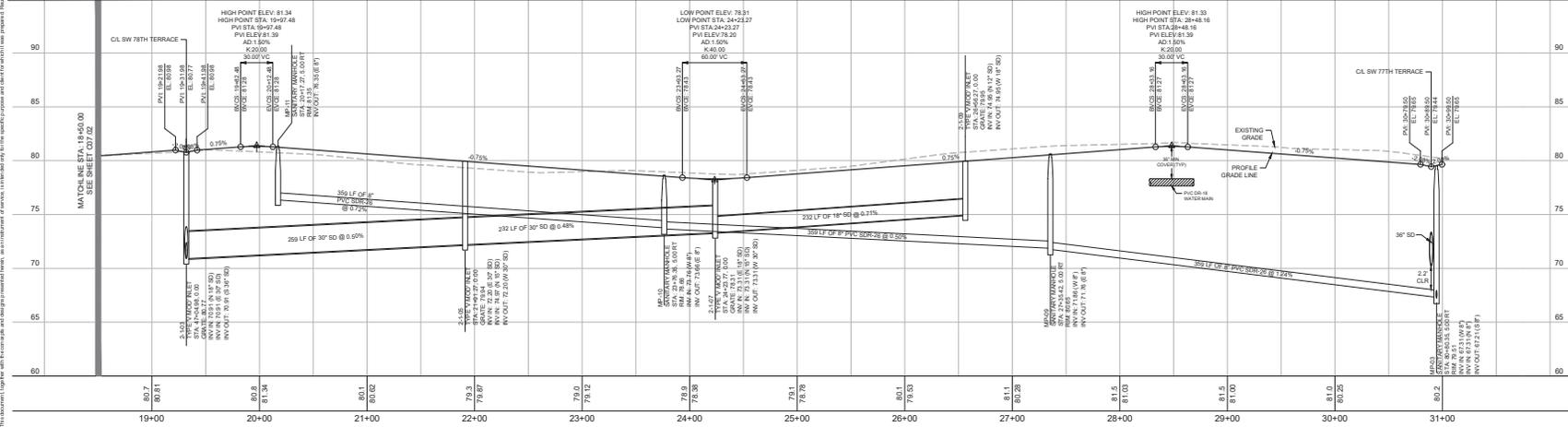
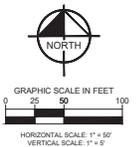
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SUNSHINE STATE THE CALL OF FLORIDA, INC.

STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDOT INDEX 425-001 & 425-002
MEIS	FDOT INDEX 430-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010



SW 77TH PLACE



NO.	REVISIONS	DATE

**Kimley-Horn**

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1700 SW 77TH STREET, SUITE 200, MIAMI, FLORIDA 33157  
PHONE: 305.444.3000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35199

KHA PROJECT	241224SB10
LICENSED PROFESSIONAL	JUNE 2005
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	CMV
CHECKED BY	GBL
DATE	

PLAN AND PROFILE  
SW 77TH PLACE

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.

SHEET NUMBER  
C07.03

FLORIDA  
MARION COUNTY  
MELODY PRESERVE - IMPROVEMENT PLANS

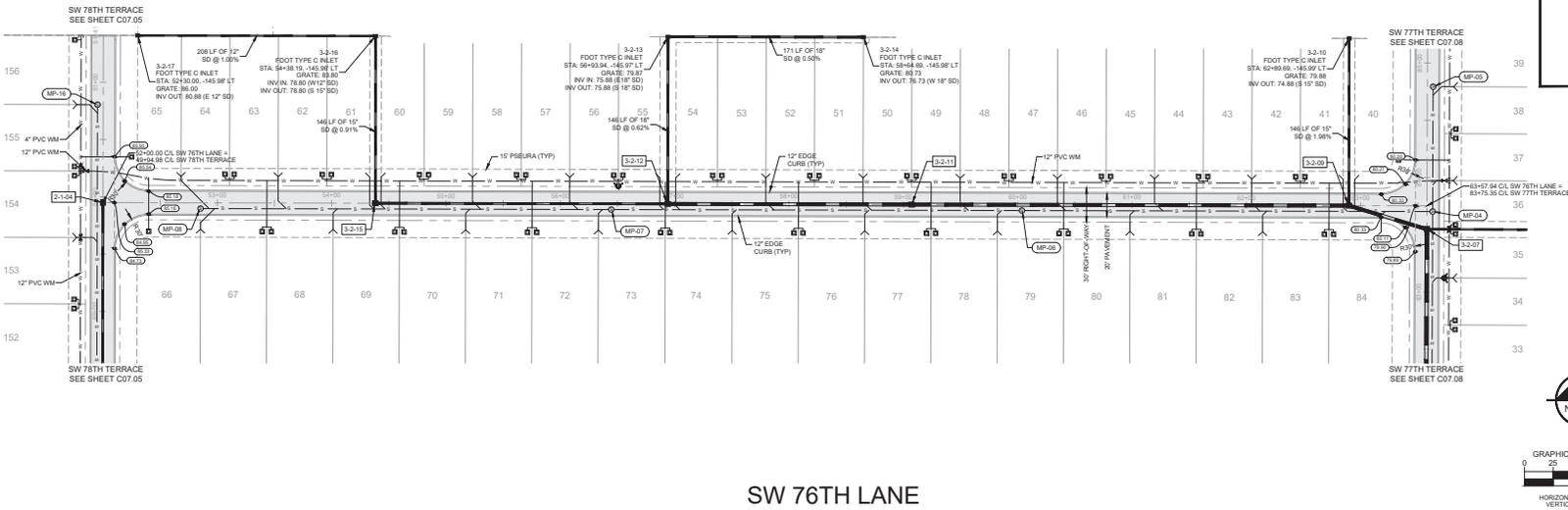




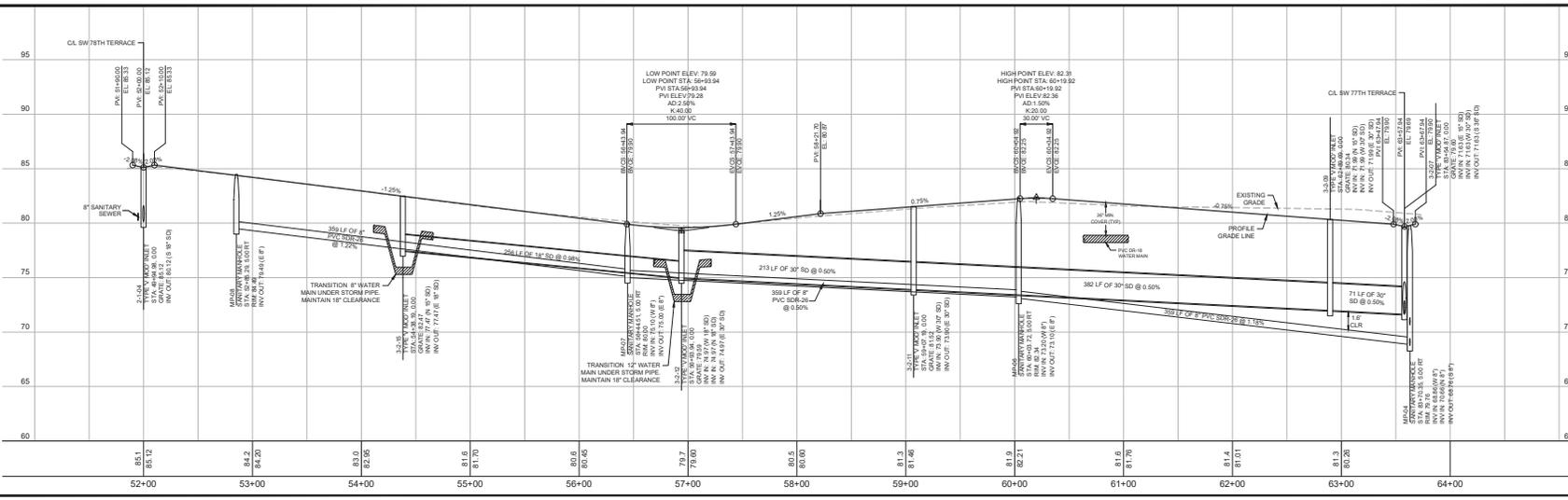
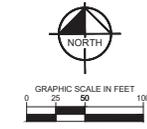
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



DRAINAGE STRUCTURE REFERENCE	
STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDOT INDEX 425-001 & 425-052
MEIS	FDOT INDEX 420-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010



SW 76TH LANE



NO.	REVISIONS	DATE

**Kimley-Horn**  
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FORT LAUDERDALE, FLORIDA 34411  
PHONE: 352-430-0000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 31016

KHA PROJECT: 242245010  
SCALE: AS SHOWN  
DESIGNED BY: KHA  
DRAWN BY: CWM  
CHECKED BY: GBL  
DATE: JUNE 2025  
LICENSED PROFESSIONAL ENGINEER  
FLORIDA LICENSE NUMBER: 7547

PLAN AND PROFILE  
SW 76TH LANE

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.  
FLORIDA  
MARION COUNTY  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
C07.06

K:\000\04245010\04245010\_Plan\_Profile.dwg, DATE PLOTTED: 06/11/2025 10:00:00 AM, PLOT SCALE: 1.0000, PLOT SHEET: 1 OF 2



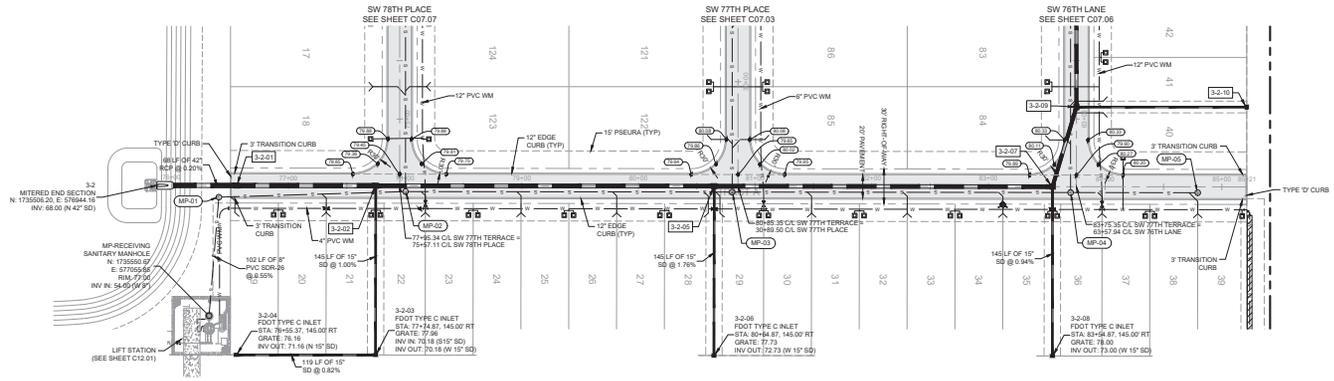
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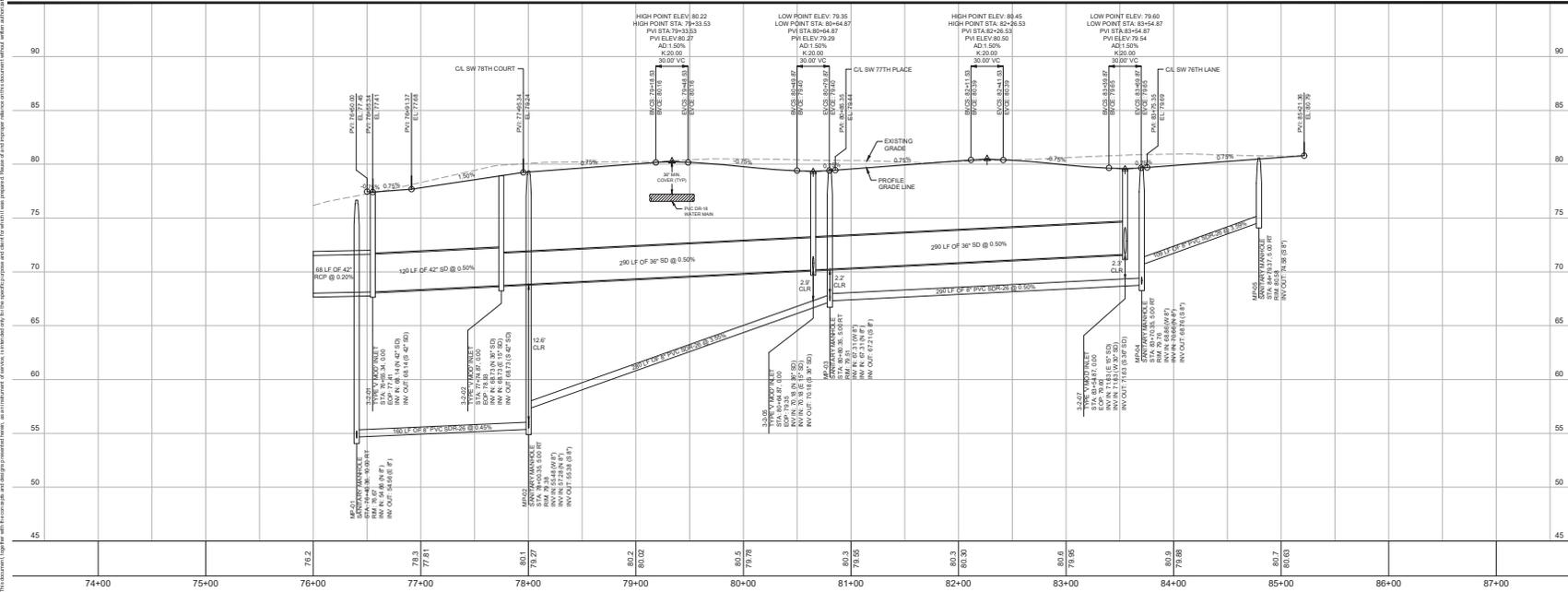
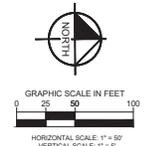
Know what's below. Call before you dig.

FLORIDA STATE ONE CALL OF FLORIDA, INC.

STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDOT INDEX 425-001 & 425-052
MEIS	FDOT INDEX 430-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010



SW 77TH TERRACE



Prepared by: **Kimley-Horn**, Checked by: **Scott**, Scale: **As Shown**, Date: **June 2005**, Project: **241245B10**, Client: **Melody Preserve**, Location: **Marion County, Florida**, Drawing No.: **C07.08**, Revision: **1**, Date: **06/20/05**, Scale: **As Shown**, Project: **241245B10**, Client: **Melody Preserve**, Location: **Marion County, Florida**, Drawing No.: **C07.08**, Revision: **1**, Date: **06/20/05**.

NO.	REVISIONS	DATE	BY

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WWW.KIMLEY-HORN.COM REGISTRY NO. 33166

LICENSED PROFESSIONAL	GENE BRUNDAGE, P.E.
FLORIDA LICENSE NUMBER	75447
CHECKED BY	DAWAYNY
DATE	

**PLAN AND PROFILE**  
**SW 77TH TERRACE**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C07.08**

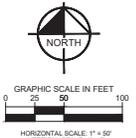
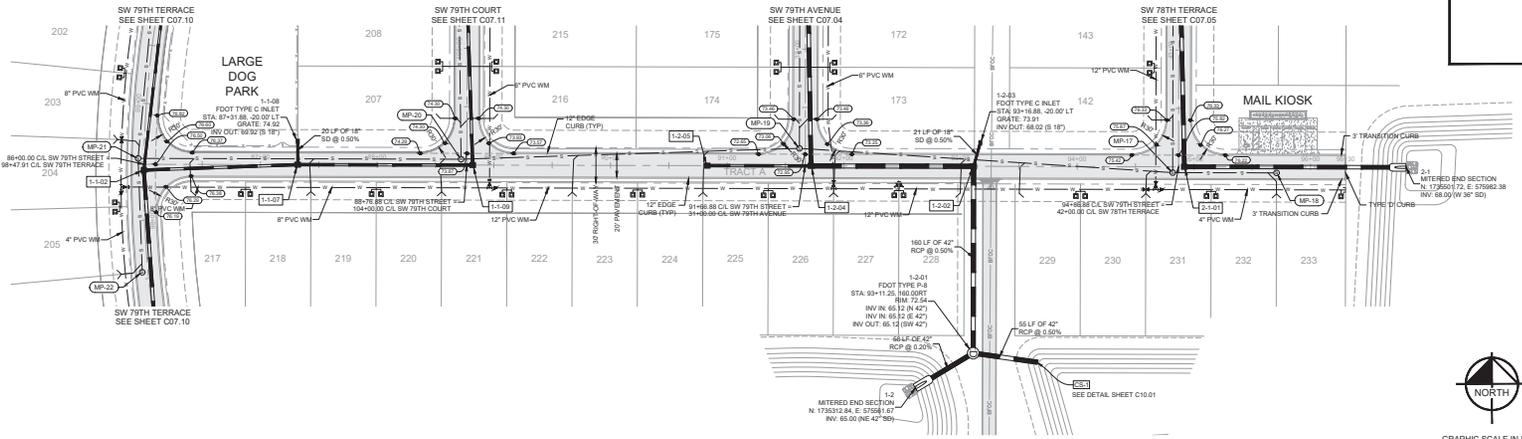
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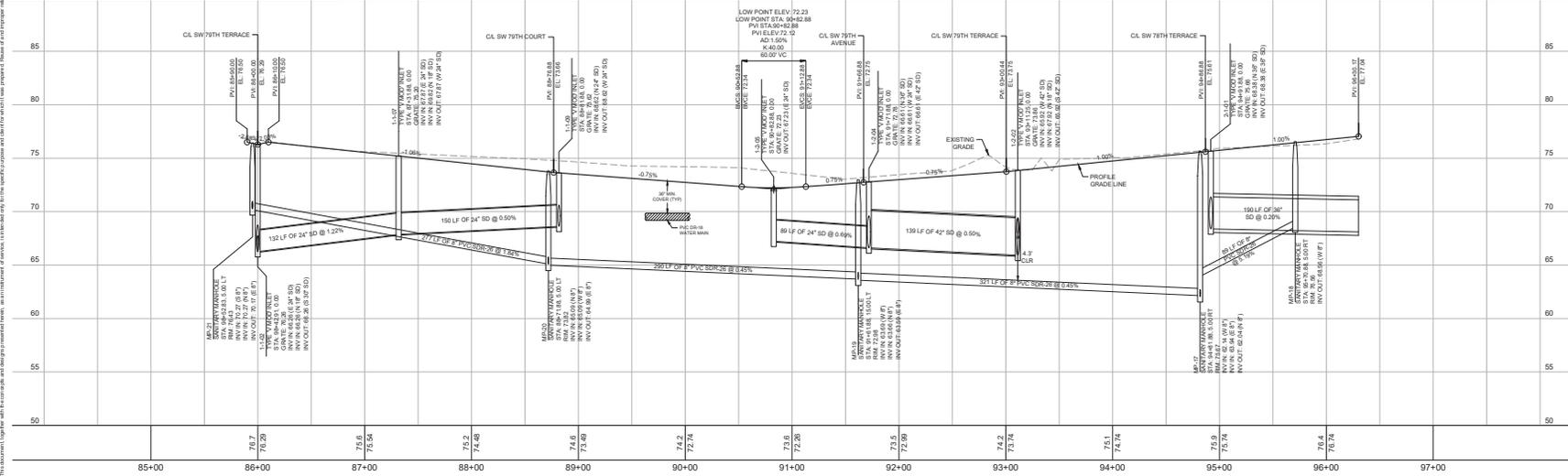
Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDOT INDEX 425-001 & 425-052
MEIS	FDOT INDEX 430-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010



SW 79TH STREET



REVISIONS	DATE	BY

**Kimley-Horn**

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WWW.KIMLEY-HORN.COM REGISTRY NO. 310166

LICENSED PROFESSIONAL	
GENE BRUNG (03107) P.E.	
FLORIDA LICENSE NUMBER	75447
CHECKED BY	
DRAWN BY	
CHECKED DATE	

PLAN AND PROFILE  
SW 79TH STREET

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.

SHEET NUMBER  
C07.09

FLORIDA  
MARION COUNTY  
MELODY PRESERVE - IMPROVEMENT PLANS

N:\2020\04\04\MELODY PRESERVE IMPROVEMENT PLANS\DWG\C07\SW 79TH STREET PLAN AND PROFILE.dwg, PLANNED BY: JACOBSON, DATE: 04/04/2020, PLOT DATE: 04/04/2020, PLOT SCALE: 1"=50', PLOT SHEET: C07.09, PLOT RANGE: 0' TO 1000'

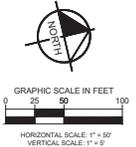
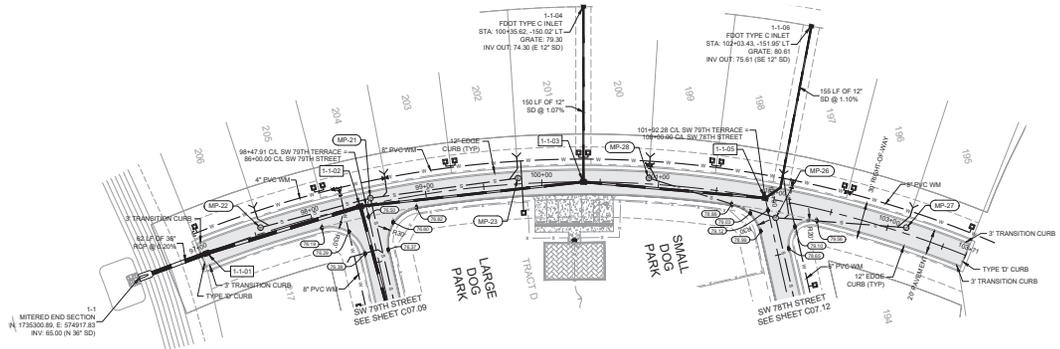
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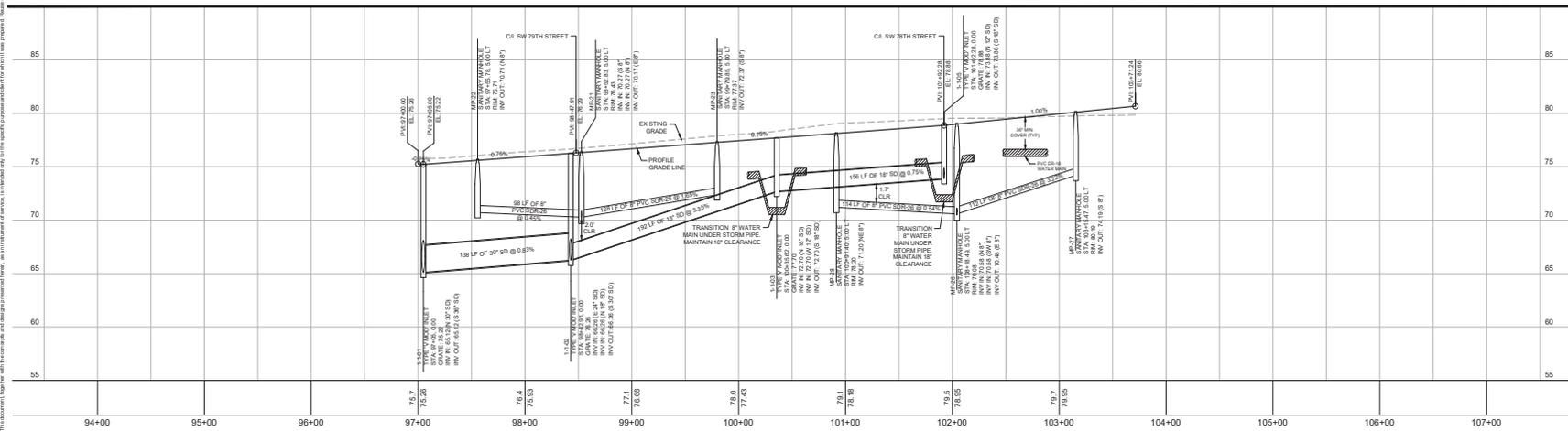
Know what's below. Call before you dig.

SUNSHINE STATE THE CALL OF FLORIDA, INC.

DRAINAGE STRUCTURE REFERENCE	
STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDDOT INDEX 425-001 & 425-052
MEIS	FDDOT INDEX 430-021
P-8 MANHOLE	FDDOT INDEX 425-001 & 425-010



SW 79TH TERRACE



NO.	REVISIONS	DATE	BY

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KHA PROJECT	2412245010
LICENSED PROFESSIONAL	SEE BRUNO LOHMEYER
SCALE	AS SHOWN
DESIGNED BY	KHA
CHECKED BY	CMV
DATE	

PLAN AND PROFILE  
SW 79TH TERRACE

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.

SHEET NUMBER  
C07.10

FLORIDA  
MARION COUNTY  
MELODY PRESERVE - IMPROVEMENT PLANS

N:\2024\04\01\MELODY PRESERVE - IMPROVEMENT PLANS\DWG\SW 79TH TERRACE PLAN AND PROFILE.dwg, PLOT DATE: 04/11/2024 10:00:00 AM, PLOT SCALE: 1\"/>

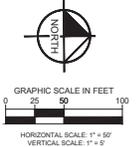
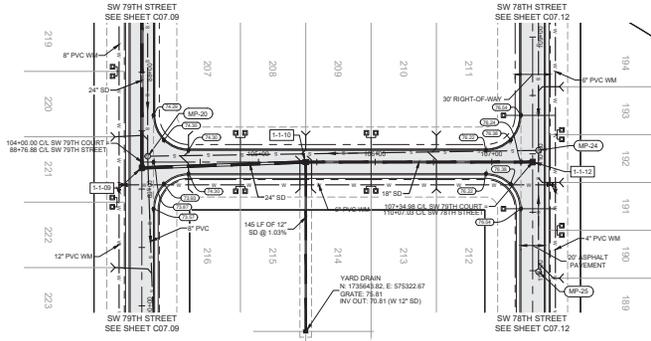
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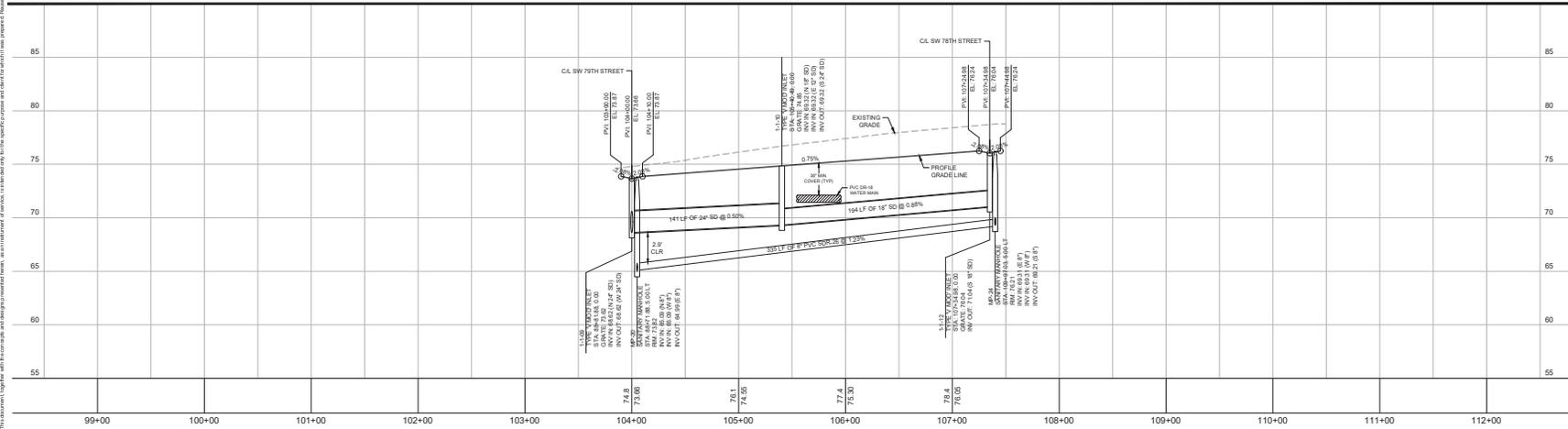
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DRAINAGE STRUCTURE REFERENCE	
STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDOT INDEX 425-001 & 425-052
MS	FDOT INDEX 430-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010



SW 79TH COURT




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WWW.KIMLEY-HORN.COM REGISTRY NO. 310166

KHA PROJECT	241224SB10
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	GMW
CHECKED BY	GBL
LICENSED PROFESSIONAL	
SEE BRIDGE LOG 107.E	
FLORIDA LICENSE NUMBER	75447

PLAN AND PROFILE  
SW 79TH COURT

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.  
MARION COUNTY, FLORIDA

SHEET NUMBER  
**C07.11**

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

N:\2024\06\24\241224SB10\Drawings\DWG\SW 79TH COURT PLAN AND PROFILE.dwg, PLOT DATE: 6/25/2025, PLOT TIME: 10:00:00 AM, PLOT BY: JACOBSON, PLOT SCALE: 1\"/>

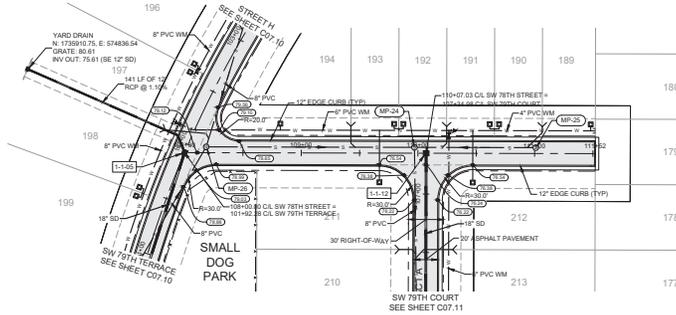
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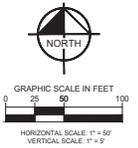
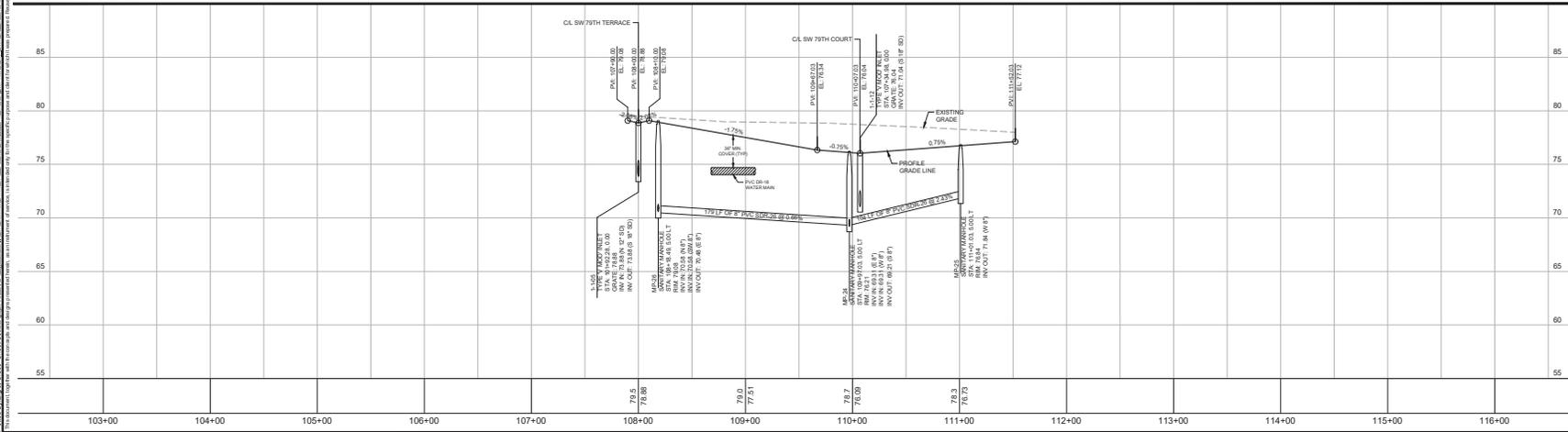
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

DRAINAGE STRUCTURE REFERENCE	
STRUCTURE TYPE	SPECIFICATIONS
P-6 MOD. INLET	DETAIL SHEET C10.03
V MOD. INLET	DETAIL SHEET C10.03
C INLET	FDOT INDEX 425-001 & 425-052
MS	FDOT INDEX 430-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010



SW 78TH STREET




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PH: 352-343-2000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	24122451/0
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	CMV
CHECKED BY	GBL
LICENSED PROFESSIONAL	
SEE BRINC LIST 07.2E	
FLORIDA LICENSE NUMBER	7547

PLAN AND PROFILE  
SW 78TH STREET

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.  
MARION COUNTY  
FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
C07.12

NO.	REVISIONS	DATE	BY

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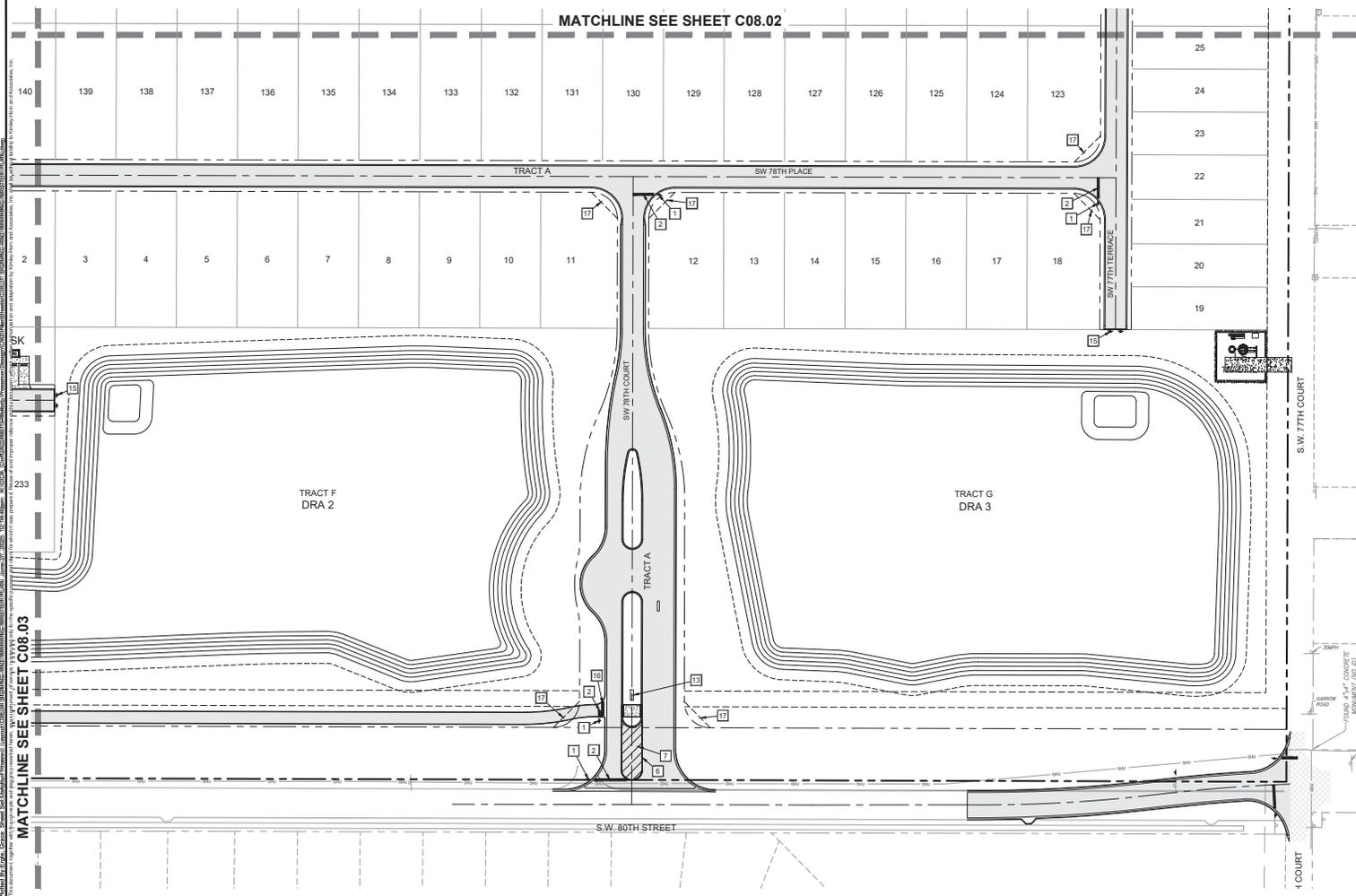
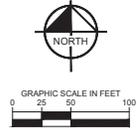




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MATCHLINE SEE SHEET C08.02

MATCHLINE SEE SHEET C08.03

- SIGN AND PAVEMENT MARKING LEGEND**
- 1 - 30" STOP SIGN (R1-1) WITH STREET NAME PADDLES.
  - 2 - 24" WHITE STOP BAR
  - 3 - SPEED LIMIT SIGN (S0 MPH)
  - 4 - O-M-I SIGN (OBJECT MARKER)
  - 5 - 6" WHITE STRIPE
  - 6 - 6" DOUBLE YELLOW STRIPE
  - 7 - 18" YELLOW STRIPE (10' O.C.)
  - 8 - DIRECTIONAL ARROW
  - 9 - 36"x12" ONE WAY SIGN (R6-1R)
  - 10 - 4" SOLID WHITE STRIPE
  - 11 - ADA PAVEMENT MARKINGS
  - 12 - ADA PARKING SPACE SIGN
  - 13 - MONUMENT SIGN
  - 14 - "AUTHORIZED PERSONNEL ONLY" SIGN
  - 15 - (D) TEMPORARY "END OF ROAD" MARKERS
  - 16 - DETECTABLE WARNING MAT PER FOOT INDEX
  - 17 - SIGHT TRIANGLE (SEE NOTE THIS SHEET)

- NOTES:**
- SEE DETAILS ON SHEET C10.03 FOR SUBDIVISION STREET NAME PADDLE INFORMATION, SIGN INSTALLATION, AND STRIPING INFORMATION.
  - ALL SIGNAGE TO BE IN ACCORDANCE WITH THE US DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
  - ALL STRIPING TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
- SIGHT TRIANGLE NOTE**  
THERE SHALL BE NO OBSTRUCTION TO VISION BETWEEN 2.0' AND 8' ABOVE THE ROADWAY CENTERLINE GRADE WITHIN A TRIANGLE FORMED BY THE RIGHT-OF-WAY INTERSECTION POINTS OF ALL ROAD INTERSECTIONS 30' ALONG THE RIGHT-OF-WAY LINES FROM THE POINT OF INTERSECTION.

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KHA PROJECT	24224510
LICENSED PROFESSIONAL	JUNE 2025
SCALE	AS SHOWN
DATE	JUNE 2025
DESIGNED BY	KHA
CHECKED BY	CMW
FLORIDA LICENSE NUMBER	75547
DATE	

**SIGNING AND MARKING MASTER PLAN**

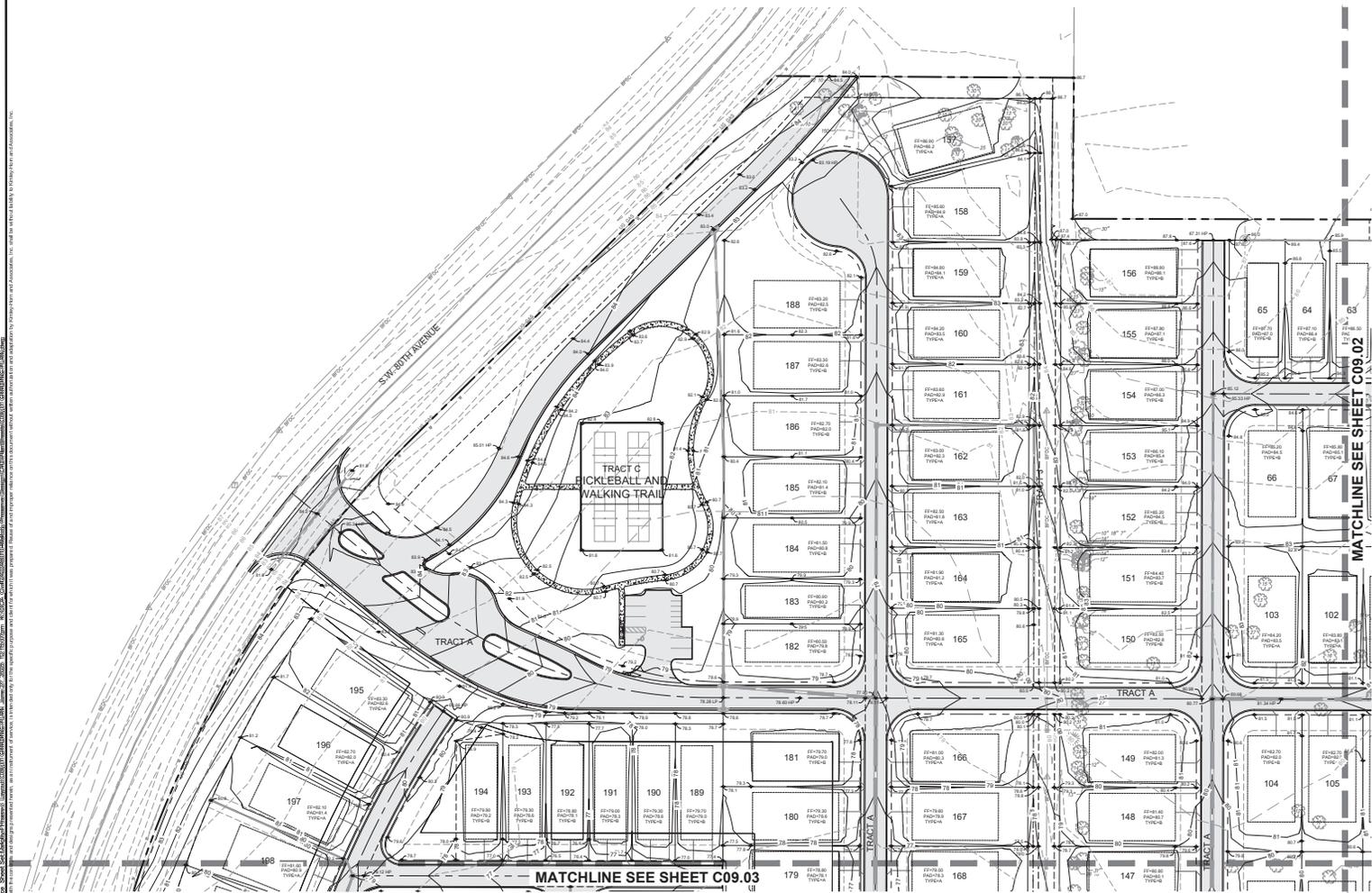
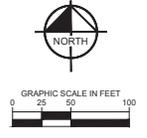
**MELODY PRESERVE PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C08.04**

NO.	REVISIONS	DATE

NOTED: ALL PAVEMENT MARKINGS, SIGNS, AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE MUTCD, LATEST EDITION, AND THE 2011 FDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, LATEST EDITION. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE MUTCD, LATEST EDITION, AND THE 2011 FDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, LATEST EDITION. ALL STRIPING SHALL BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.

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**PAVEMENT LEGEND**

- ASPHALT PAVEMENT (SEE DETAIL SHEET C10.01)
- CONCRETE SIDEWALK (SEE DETAIL SHEET C10.02)

**LEGEND**

- TREES TO BE PRESERVED
- 100.00 - PROPOSED SPOT ELEVATION
- SLV TW - STACKED BLOCK RETAINING WALL
- 80 - EXISTING CONTOURS
- 80 - PROPOSED CONTOURS
- CL SWALE
- \* - HOUSE REQUIRES SPECIAL FOOTING REVEAL

- NOTES:**
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED JANUARY 13, 2022, UPDATED NOVEMBER 27, 2023 BY JCH CONSULTING GROUP, INC.
  - SEE DRAINAGE RETENTION AREA TYPICAL SECTION AND POND CONSTRUCTION PROCEDURE NOTES ON SHEETS C09.06 AND C09.07.
  - SEE LOT GRADING DETAILS ON SHEET C10.02.
  - RR-RAP PADS SHALL BE PLACED A MINIMUM OF 30" THICK TO THE DIMENSIONS SHOWN ON THE PLANS AND FLUSH WITH THE ADJACENT GRADE. SEE DETAIL SHEET C09.07.
  - SHOULD LIMEROCK BE ENCOUNTERED DURING EXCAVATION OF POND SLOPES OR BOTTOMS, CONTRACTOR TO OVEREXCAVATE AND BACKFILL WITH CLEAN SAND TO PROVIDE A MINIMUM 2' SEPARATION BETWEEN LIMEROCK LAYER AND POND FINAL ELEVATION.
  - SEE TYPICAL SINK CHIMNEY REPAIR DETAIL ON SHEET C10.02.
  - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.0% (1:20).
  - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.0% (1:50).
  - FENCING REQUIRED ON ALL WALLS GREATER THAN 2'-4" IN HEIGHT. CONTRACTOR TO COORDINATE WITH OWNER ON FENCING PRODUCT SELECTION. FENCING MATERIAL MUST BE APPROVED BY THE ENGINEER OF RECORD.
  - ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED OR NOTED ON THE PLANS SHALL BE IMMEDIATELY STABILIZED FOLLOWING FINAL GRADING. SEE PLANS FOR NOTATION OF SOG AND SEED & MULCH LOCATIONS. ALLOW FOR THICKNESS OF SOG WITH A 2-INCH UNDERCUT. SOG SHALL BE ARGENTINA BAHIA AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.

Prepared By: J. G. ...  
 Checked By: J. G. ...  
 Date: ...

REVISIONS	DATE	BY

**Kimley-Horn**  
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**GRADING PLAN**

PROJECT NO. 242245710  
DATE: JUNE 2025  
SCALE: AS SHOWN  
DESIGNED BY: KHA  
DRAWN BY: CWM  
CHECKED BY: GBL

**GRADING PLAN**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA

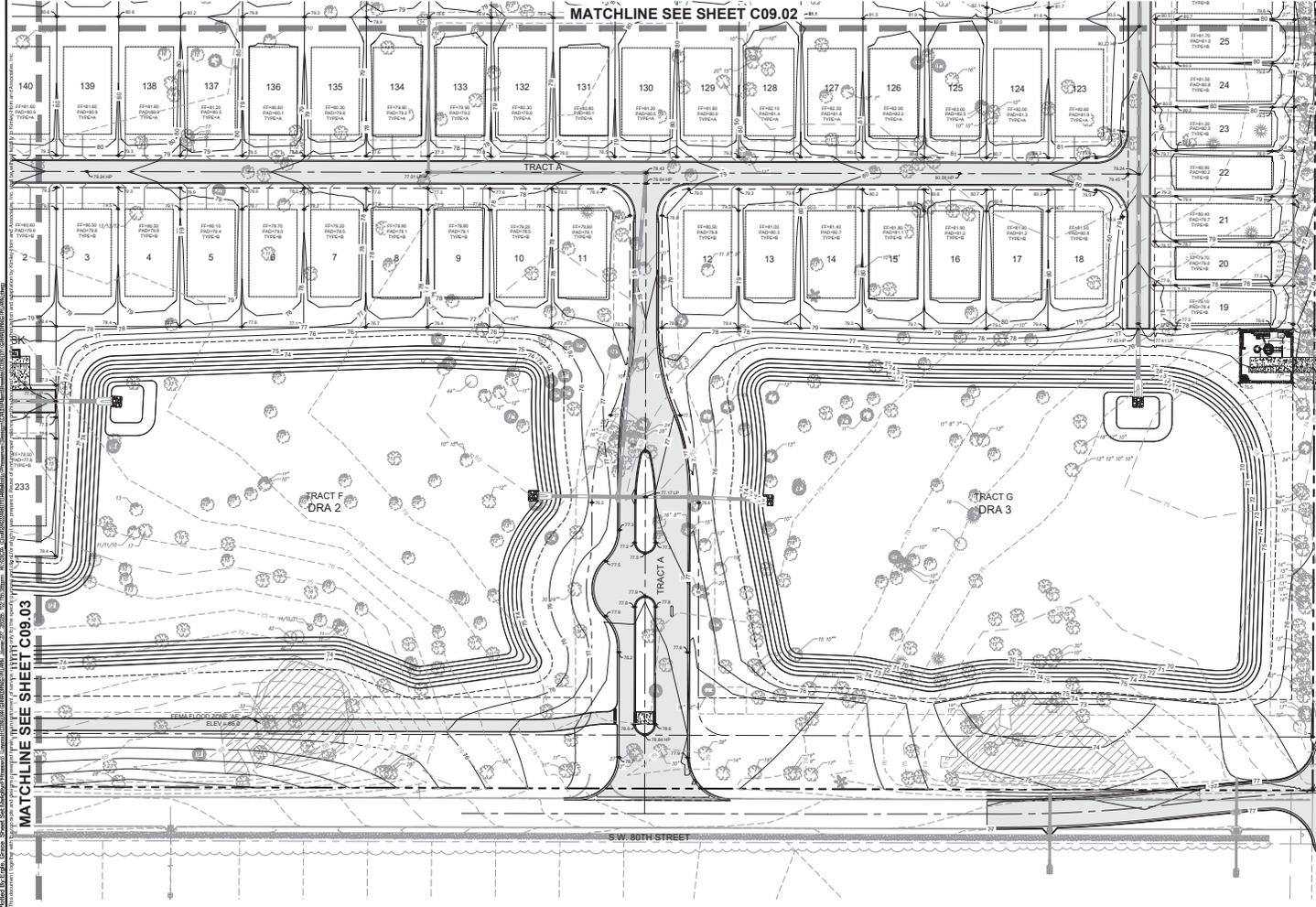
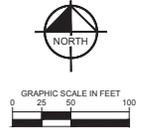
SHEET NUMBER  
**C09.01**

MELODY PRESERVE - IMPROVEMENT PLANS





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- PAVEMENT LEGEND**
- ASPHALT PAVEMENT (SEE DETAIL SHEET C10.01)
  - CONCRETE SIDEWALK (SEE DETAIL SHEET C10.02)
- LEGEND**
- TREES TO BE PRESERVED
  - 100.00 - PROPOSED SPOT ELEVATION
  - SLY TW - STACKED BLOCK RETAINING WALL
  - - EXISTING CONTOURS
  - - - - PROPOSED CONTOURS
  - CL - CL BIALE
  - \* - HOUSE REQUIRES SPECIAL FOOTING REVEAL

- NOTES:**
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED JANUARY 13, 2022, UPDATED NOVEMBER 27, 2023, BY JCH CONSULTING GROUP, INC.
  - SEE DRAINAGE RETENTION AREA TYPICAL SECTION AND POND CONSTRUCTION PROCEDURE NOTES ON SHEETS C09.06 AND C09.07.
  - SEE LOT GRADING DETAILS ON SHEET C10.02.
  - RE-RAP PADS SHALL BE PLACED A MINIMUM OF 3" THICK, TO THE OVERLAP SHOW ON THE PLAN, AND FLUSH WITH THE ADJACENT GRADE. SEE DETAIL SHEET C09.07.
  - SHOULD LIMEROCK BE ENCOUNTERED DURING EXCAVATION OF POND SLOPES OR BOTTOMS, CONTRACTOR TO OVEREXCAVATE AND BACKFILL WITH CLEAN SAND TO PROVIDE A MINIMUM 2' SEPARATION BETWEEN LIMEROCK LAYER AND POND FINAL ELEVATION.
  - SEE TYPICAL SWIRK CHIMNEY REPAIR DETAIL ON SHEET C10.02.
  - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.0% (1/20).
  - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.0% (1/50).
  - FENCING REQUIRED ON ALL WALLS GREATER THAN 2'-8" IN HEIGHT. CONTRACTOR TO COORDINATE WITH OWNER ON FENCING PRODUCT SELECTION. FENCING MATERIAL MUST BE APPROVED BY THE ENGINEER OF RECORD.
  - ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED OR NOTED ON THE PLANS SHALL BE IMMEDIATELY STABILIZED FOLLOWING FINAL GRADING. SEE PLANS FOR NOTATION OF SOG AND SEED & MULCH LOCATIONS. ALLOW FOR THICKNESS OF SOG WITH A 3-INCH UNDERCUT. SOG SHALL BE ARGENTINA BAHIA AND SHALL BE REGULARLY MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.

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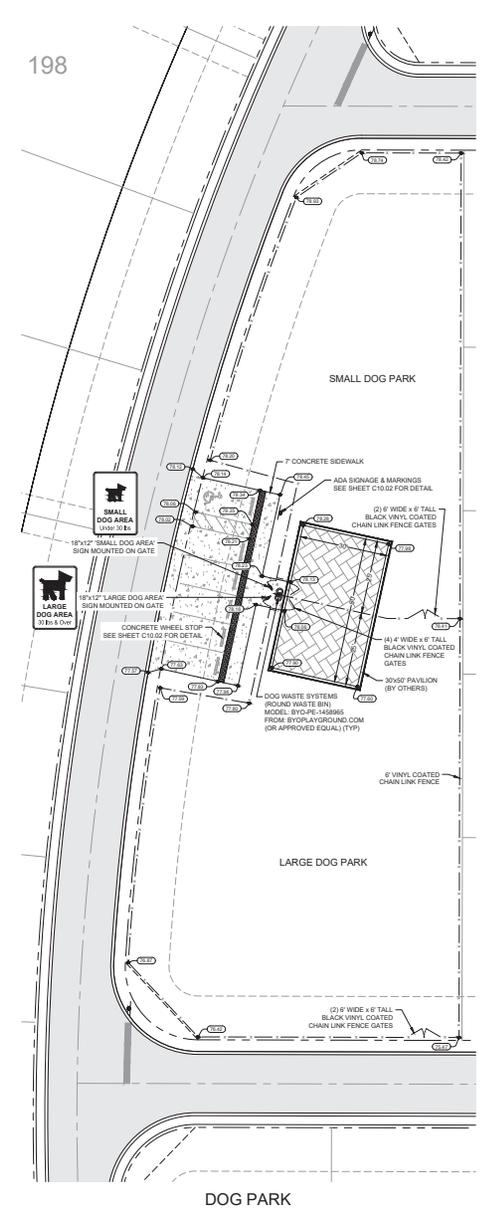
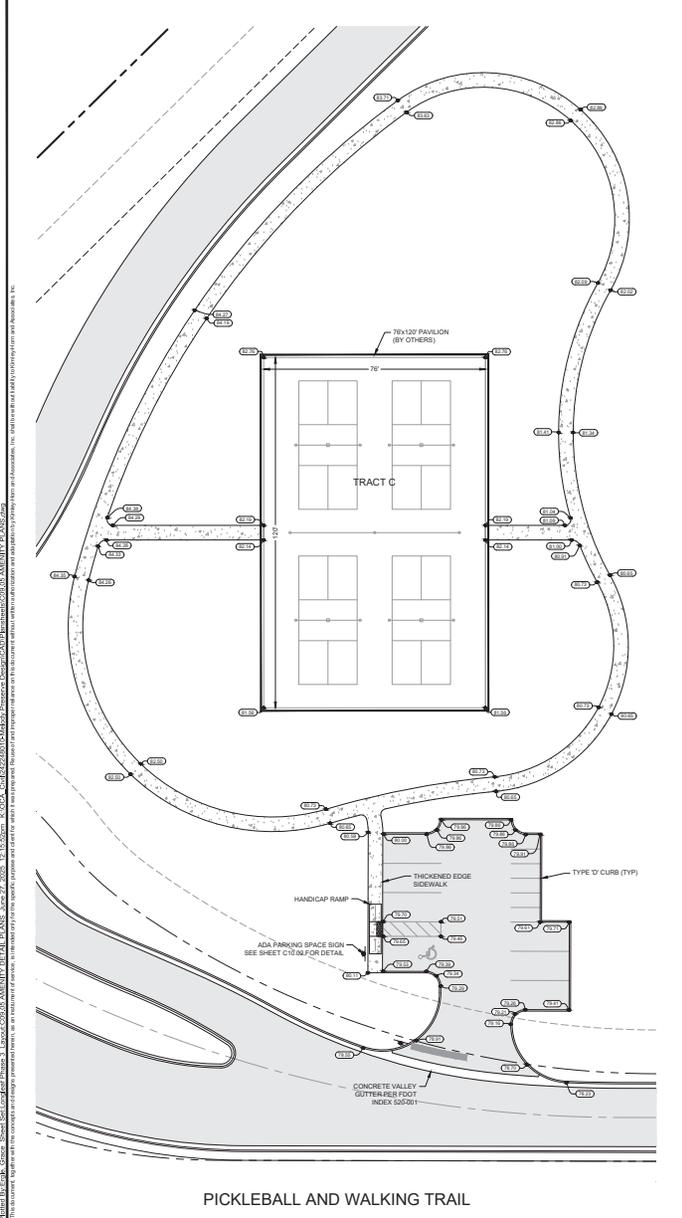
KHA PROJECT	242451/10
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	CLM
CHECKED BY	GBL
DATE	
LICENSED PROFESSIONAL	
ENGINEER LICENSE NO.	75447
FLORIDA LICENSE NUMBER	

**GRADING PLAN**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA

SHEET NUMBER  
**C09.04**

REVISIONS	DATE	BY



NORTH

GRAPHIC SCALE IN FEET  
0 10 20 40

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Prepared by: Kimley-Horn, Incorporated  
 Project: MELODY PRESERVE AMENITY DETAIL PLANS  
 Date: 06/20/2025  
 Scale: AS SHOWN  
 Designer: KHA  
 Drawn by: GJM  
 Checked by: GJM  
 Date: 06/20/2025

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

6320 N. WALKER HORN AND ASSOCIATES, INC.  
 1700 SE 17TH AVENUE, SUITE 200  
 FT. LAUDERDALE, FLORIDA 33411  
 PHONE: (754) 340-3000  
 WWW.KIMLEY-HORN.COM REBERTY NO. 20108

FLORIDA PROJECT 241248010	LICENSED PROFESSIONAL
JUNE 2025	GENE BRUNO LOBATO, P.E.
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 75547
DESIGNED BY KHA	CHECKED BY GJM
DRAWN BY GJM	DATE

**AMENITY DETAIL PLANS**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA

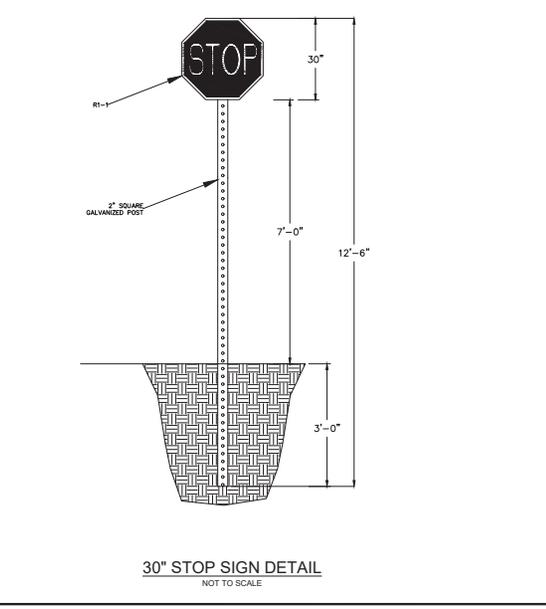
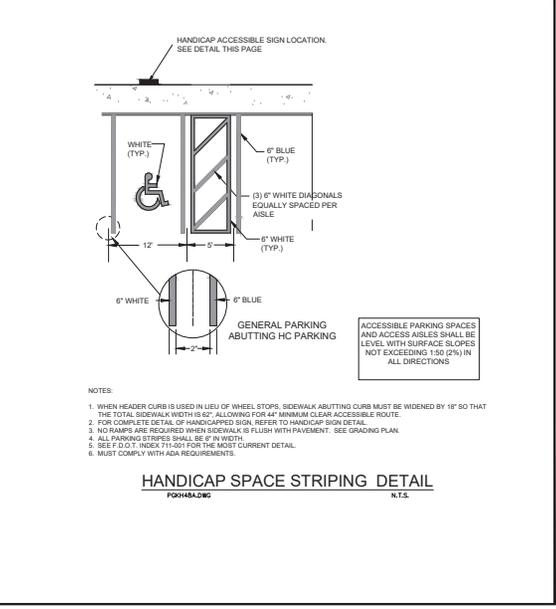
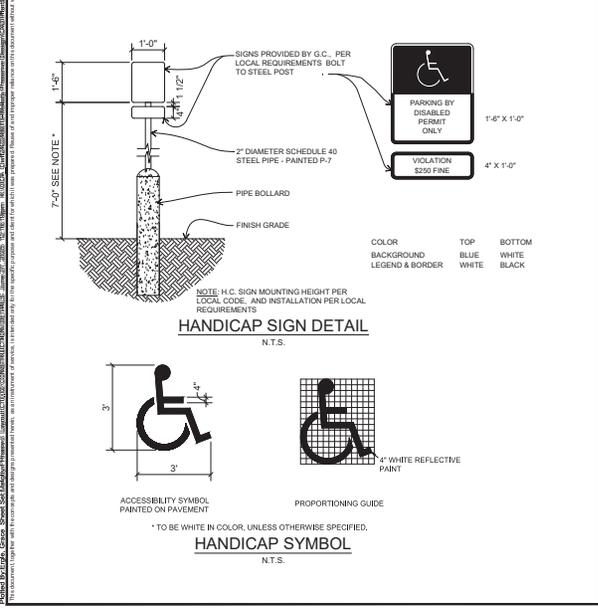
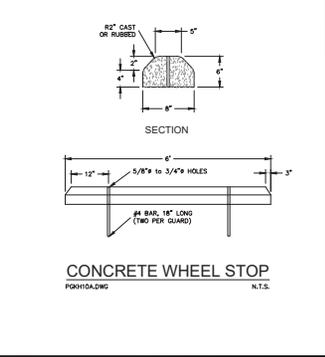
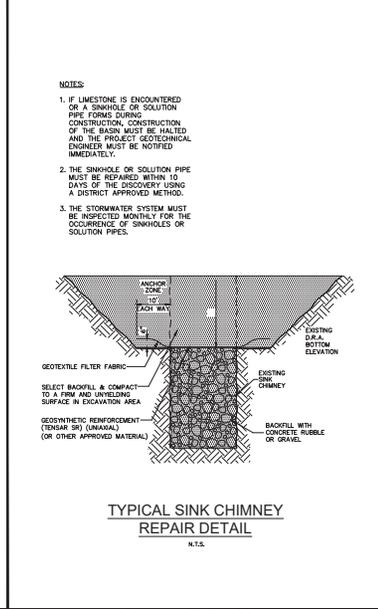
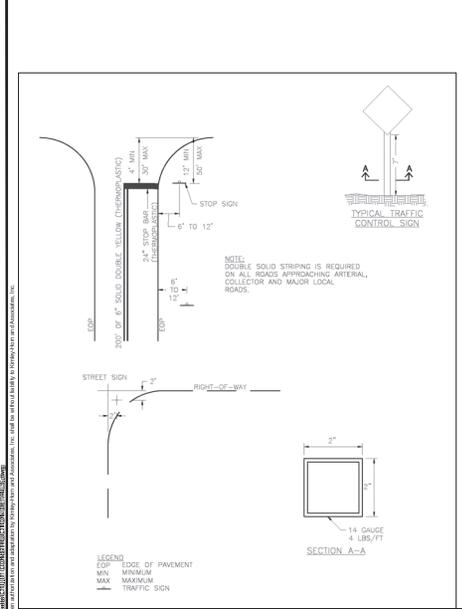
SHEET NUMBER  
**C09.05**

MELODY PRESERVE - IMPROVEMENT PLANS









NO.	REVISIONS	DATE

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LICENSED PROFESSIONAL  
SERGE BRUNGLOSTOFF  
FLORIDA LICENSE NUMBER  
75447

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
242245B110	JUNE 2025	AS SHOWN	KHA	CMV	GBL	

**CONSTRUCTION DETAILS**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**C10.02**







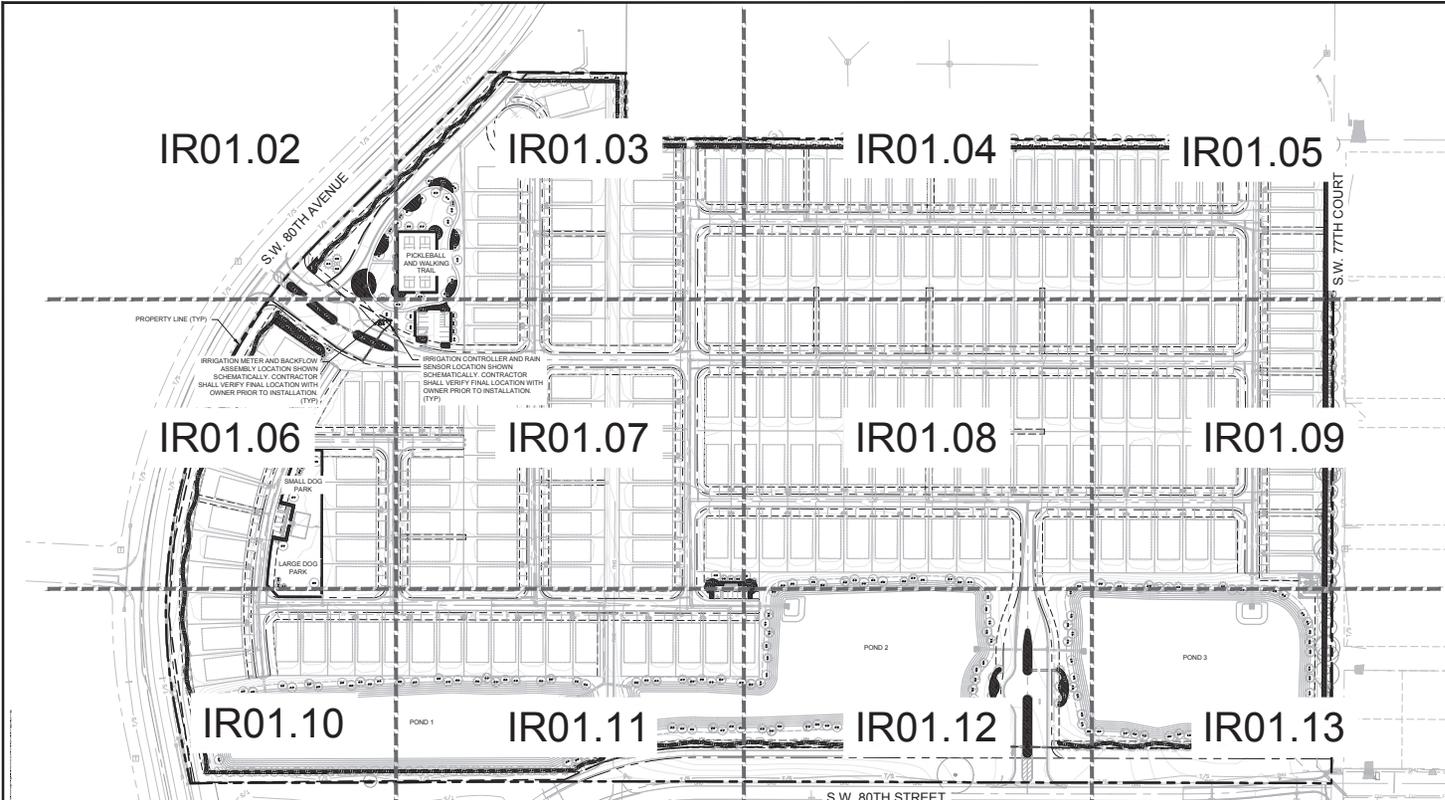








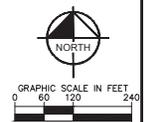




**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
▲	RAIN BIRD 1/2" AND FLOOR FIXED FLOW RATE 0.25 GPM - 2.0 GPM FULL CIRCLE BUBBLER, 1/2IN. FIPT.	1,026
■	AREA TO RECEIVE DRIFLINE RAIN BIRD XFCV 20-19 XFCV ON SCHEDULE LANDSCAPE DRIFLINE WITH A HEAVY DUTY 3.5 PSI CHECK VALVE, 0.5 GPM EMITTERS AT 18" O.C. DRIFLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFF SET FOR TRIANGULAR PATTERN. GREAT FOR ELEVATION CHANGE. SPECIFY X3 INSERT FITTINGS.	68,464 SF
Ⓜ	RAIN BIRD REB-PRS-D 1" 1IN., 1/2IN., 2IN., 3IN. PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW 1 OPERATING CAPABILITY. GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	1
Ⓢ	FESCO 850V 1" REDUCED PRESSURE BACKFLOW PREVENTER	1
ⓐ	RAIN BIRD ESPLMEX W1 (1) ESPLMEXM2 24 STATION, TRADITIONALLY WIRED, COMMERCIAL CONTROLLER, (1) ESPLMEX 12 STATION, INDOOR/OUTDOOR, PLASTIC WALL MOUNT ENCLOSURE W/ (1) ESPLMEXM1 - 12 STATION EXPANSION MODULES.	1
ⓑ	RAIN BIRD RSD-CBX RAIN SENSING DEVICE, CONDUIT MOUNT, WITH THREADED ADAPTER, EXTENSION WIRE.	1
ⓓ	RAIN BIRD FS-100-P 1/2" FLOW SENSOR, PLASTIC PVC MODEL, SUGGESTED OPERATING RANGE 0.4 GPM TO 0.4 GPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. RAIN BIRD COMPATIBLE CONTROLLERS (ESPLMEXM1) AND LXME (ZP) M3, OR CONTROLLERS ACCEPTING CUSTOM K-FACTOR AND OFFSET. INSTALL IN RAIN BIRD VALVE BOX.	1
Ⓜ	WATER METER 1" 1	1
---	IRRIGATION MAINLINE, PVC CLASS 200 SDR 21	7,555 LF
---	PIPE SLEEVE, PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVE MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING FOR CONSTRUCTION.	492.5 LF

- NOTES**
- SEE SHEET IR02.01 AND IR02.02 FOR IRRIGATION SPECIFICATIONS AND DETAILS.
  - IRRIGATION INSTALLATION PROFESSIONALS SHALL BE ACCOUNTABLE FOR THE PROPER INSTALLATION AND COMPLIANCE WITH THE CONDITIONS OF THE IRRIGATION PERMIT AND APPROVED PLANS.
  - UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR OR OWNER SHALL REQUEST AN INSPECTION BY THE IRRIGATION DESIGN PROFESSIONAL. PRIOR TO THE INSPECTION, THE IRRIGATION INSTALLATION PROFESSIONAL SHALL PRODUCE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM WHICH ACCURATELY REPRESENTS THE IRRIGATION SYSTEM WAS INSTALLED. THE DIAGRAM SHALL BE PRESENTED AND REVIEWED DURING THE FINAL INSPECTION. THE DIAGRAM MAY BE A MARKED UP COPY OF THE APPROVED IRRIGATION PLAN AND SHALL INCLUDE AT A MINIMUM:
    - LOCATIONS OF ALL MAINLINES AND MAINLINE VALVES;
    - LOCATIONS OF ALL REMOTE CONTROL VALVES;
    - WATER DEMAND PER ZONE IN GPM; AND
    - TOTAL WATER DEMAND PER OPERATING CYCLE.
  - THE IRRIGATION INSTALLATION PROFESSIONAL SHALL ALSO PROVIDE TO THE OWNER:
    - IRRIGATION SYSTEM SCHEDULING INFORMATION;
    - A COPY OF THE IRRIGATION CONTROLLER OWNER'S MANUAL;
    - IRRIGATION SYSTEM MAINTENANCE SCHEDULE, WHICH INCLUDES:
      - INSTRUCTIONS FOR SEASONAL ADJUSTMENTS OF CONTROLLER AND SENSORS;
      - INSTRUCTIONS COVERING HOW AND WHEN TO CHECK FOR LEAKS;
      - A SCHEDULE FOR CHECKING FOR PROPER IRRIGATION DISTRIBUTION COVERAGE.
  - WITHIN 60 DAYS AFTER INSTALLATION THE IRRIGATION CONTROLLER SHALL BE ADJUSTED TO BE SET IN ACCORDANCE WITH THE APPLICABLE IRRIGATION SCHEDULE SET FORTH IN THIS CODE.
  - UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL, AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT.



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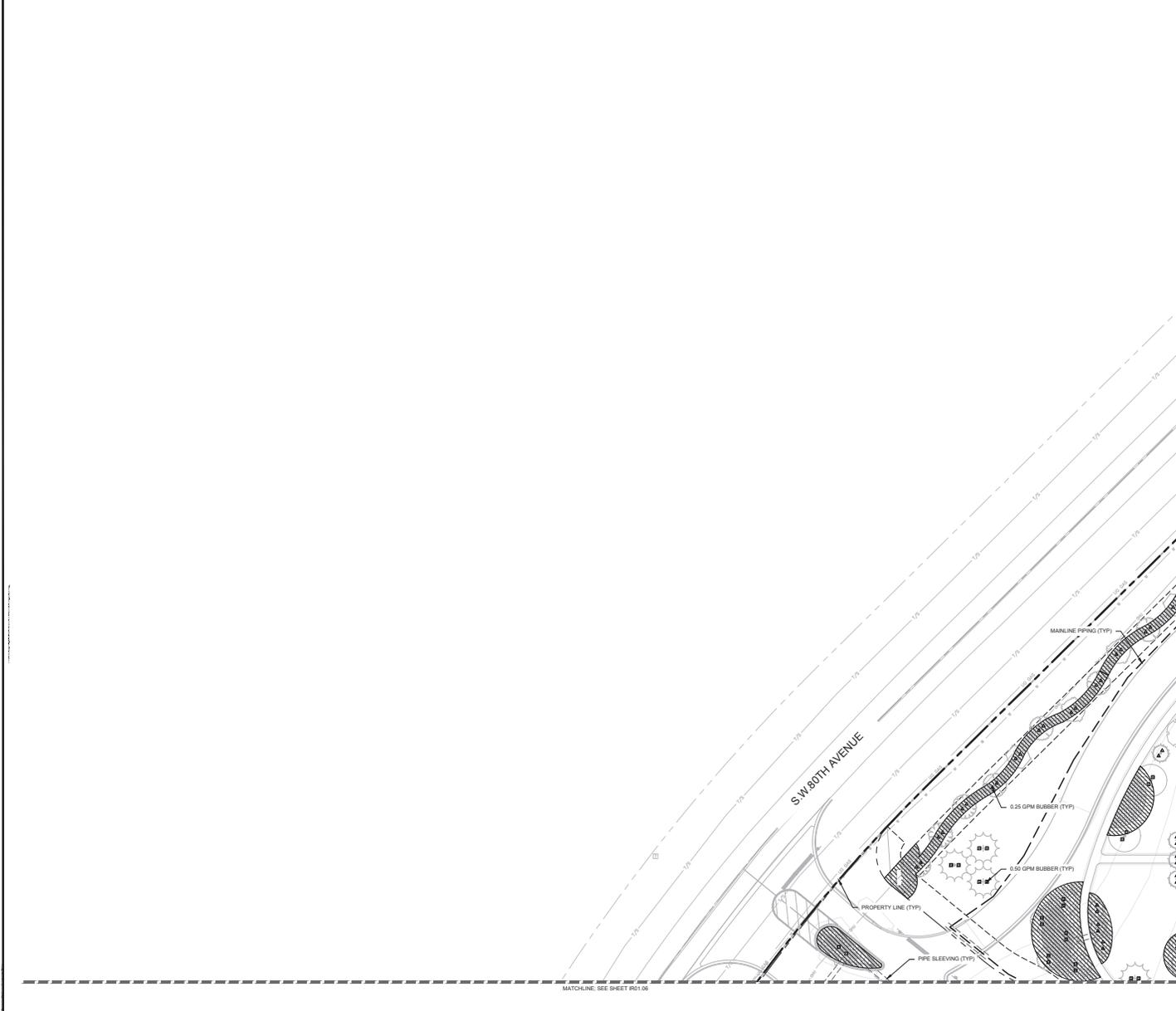
LICENSED PROFESSIONAL  
MATT HIGHT, D. JUAN, P.E.  
FLORIDA LICENSE NUMBER  
6867721  
DESIGNED BY: KHA  
DRAWN BY: KHA  
CHECKED BY: MDD  
DATE: 6/25/2025

**OVERALL SCHEMATIC IRRIGATION PLAN**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY, FLORIDA  
MELODY PRESERVE - IMPROVEMENT PLANS

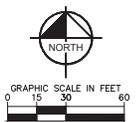
SHEET NUMBER  
**IR01.01**

NO.	REVISIONS	DATE



**SYMBOL KEY**

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD 1805-1400 FLOOD
	MANUFACTURER/MODEL AREA TO RECEIVE DRILINE RAIN BIRD XP-CV-08-18
	RAIN BIRD FEB-PRS-D 1"
	FEBCO 425Y 1"
	RAIN BIRD ESPLXME2 W/ (1) ESPLXMSM12
	RAIN BIRD RSD-CEX
	RAIN BIRD FS-100-P
	WATER METER 1"
	IRRIGATION MANLINE: PVC CLASS 200 SDR 21
	PIPE SLEEVE: PVC SCHEDULE 40



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PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY  
FLORIDA

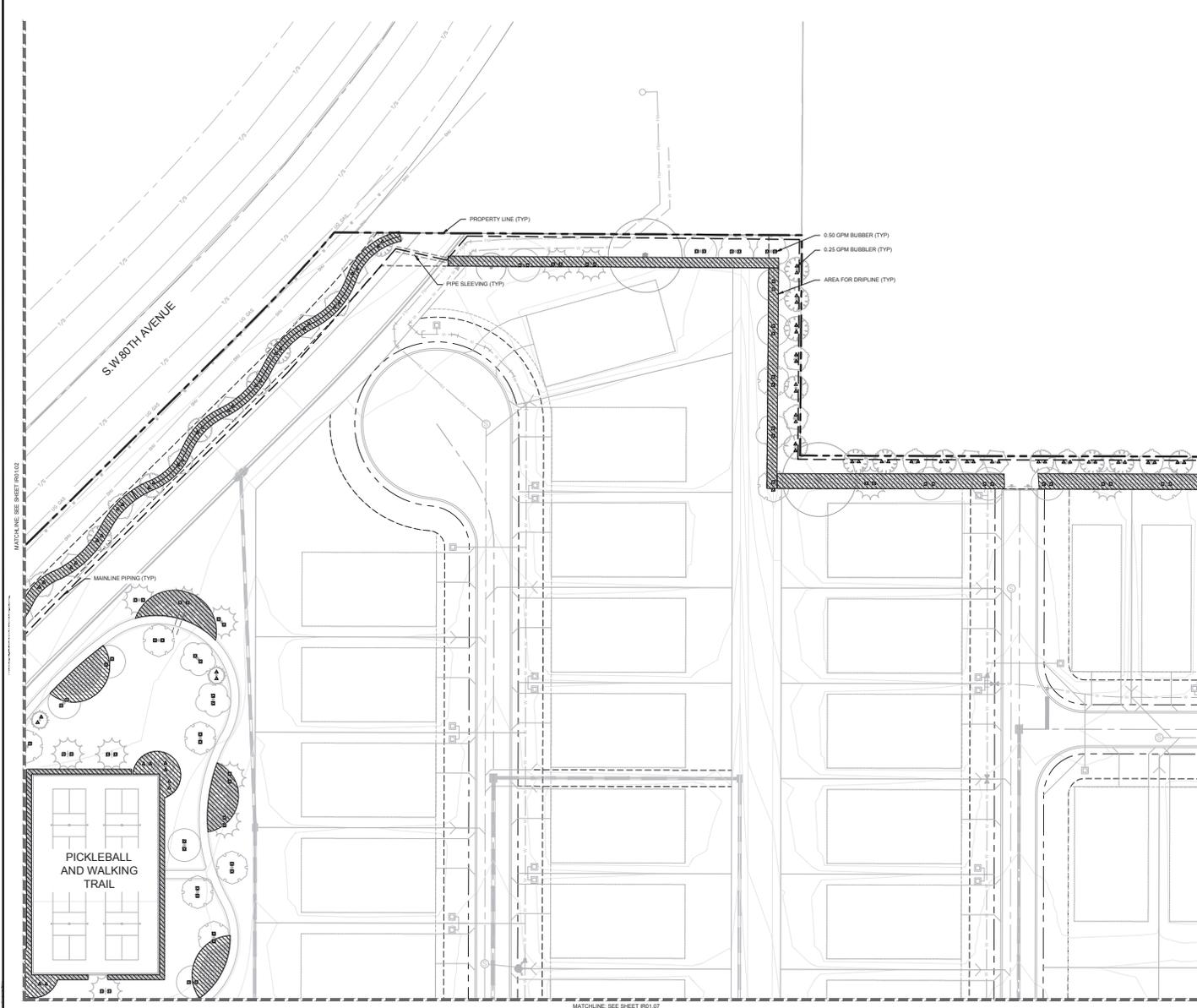
**SCHEMATIC IRRIGATION PLAN**

SHEET NUMBER  
**IR01.02**

**Kimley-Horn**  
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PHONE: 954.483.3000  
WWW.KIMLEY-HORN.COM | REGISTRY NO. 28368

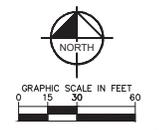
LICENSED PROFESSIONAL  
MATTHEW D. DUNN, P.E.  
FLORIDA LICENSE NUMBER  
6867721  
DATE: 6/25/2025

No.	REVISIONS	DATE	BY



**SYMBOL KEY**

SYMBOL	MANUFACTURER/MODEL
▲	RAIN BIRD 1805-1400 FLOOD
△	RAIN BIRD 1805-1400 FLOOD
SYMBOL	MANUFACTURER/MODEL
▬	AREA TO RECEIVE DRIPLINE
▬	RAIN BIRD XP-CV-08-18
SYMBOL	MANUFACTURER/MODEL
⊖	RAIN BIRD FEB-PRS-D 1"
⊖	RAIN BIRD FEB-PRS-D 1"
⊖	FEBCO 425Y 1"
⊖	RAIN BIRD ESPLAMEZ W/ (1) ESPLAMM12
⊖	RAIN BIRD RSD-CEX
⊖	RAIN BIRD FS-100-P
⊖	WATER METER 1"
---	IRRIGATION MAINLINE PVC CLASS 200 SDR 21
---	PIPE SLEEVE PVC SCHEDULE 40



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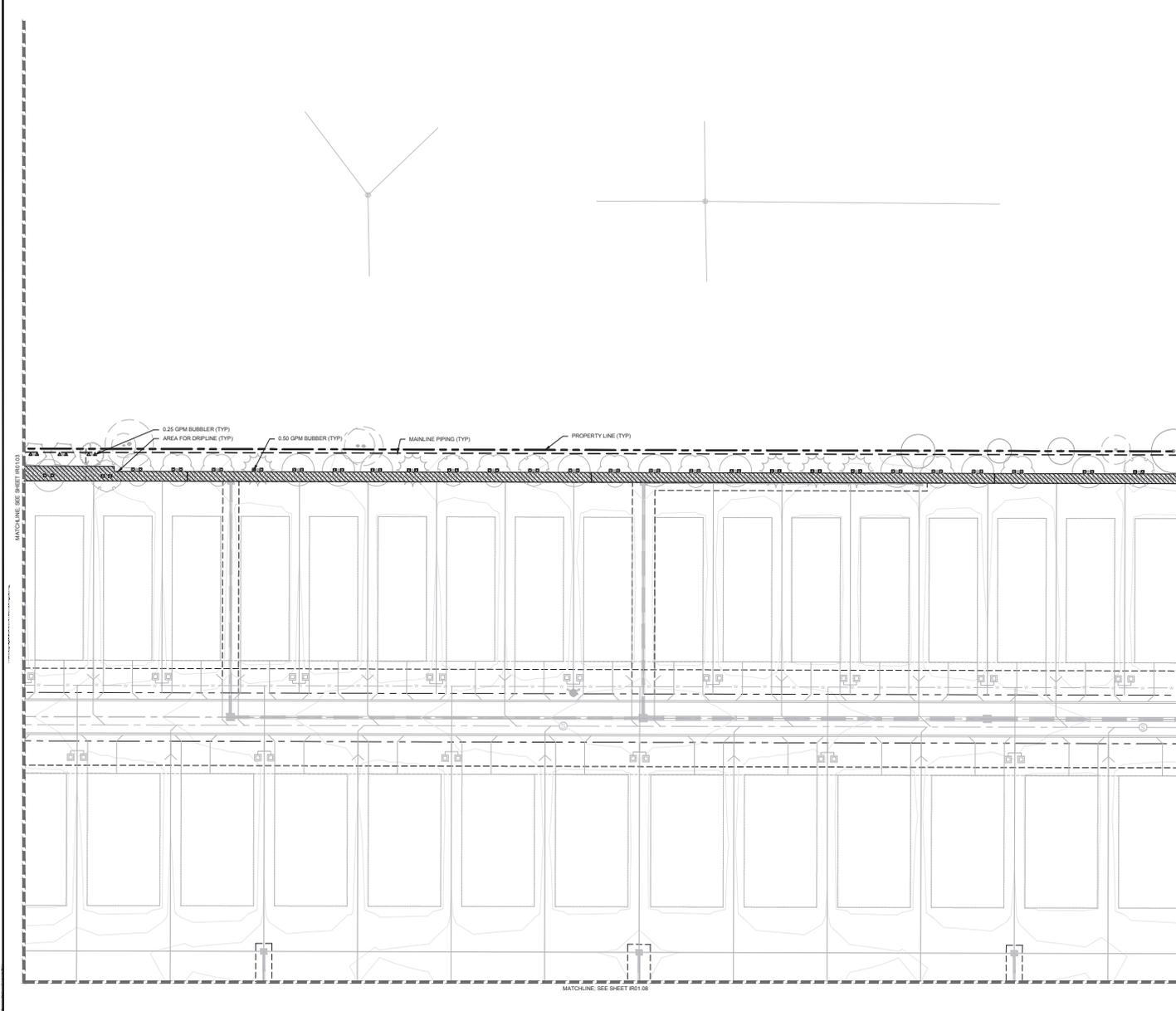
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 FLORIDA  
 SHEET NUMBER  
**IR01.03**

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KIM PROJECT: MEL0103  
 SHEET NO: IR01.03  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 DATE: 6/25/2025

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER: 6867721

No.	REVISIONS	DATE	BY



**SYMBOL KEY**

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD 1805-1400 FLOOD
	RAIN BIRD XP-CV-08-18
	RAIN BIRD FEB-PRS-D 1"
	FEBCO 425Y 1"
	RAIN BIRD ESPLAMEZ W/ (1) ESPLAMSM12
	RAIN BIRD RSD-CEX
	RAIN BIRD FS-100-P
	WATER METER 1"
	IRRIGATION MANLINE PVC CLASS 200 SDR 21
	PIPE SLEEVE PVC SCHEDULE 40

GRAPHIC SCALE IN FEET
   
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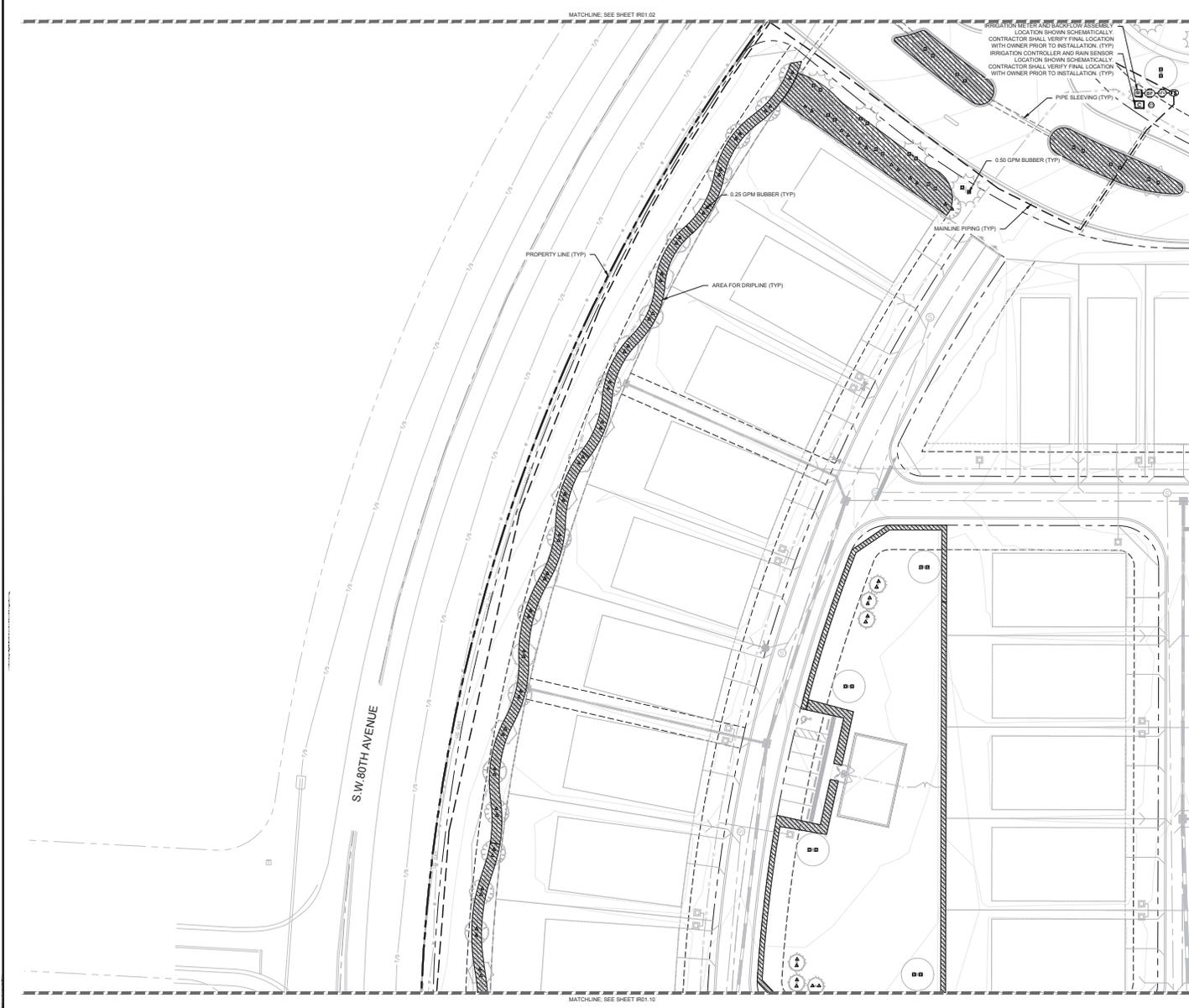
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 MARION COUNTY  
 FLORIDA  
**SCHEMATIC IRRIGATION PLAN**  
 SHEET NUMBER  
**IR01.04**

KHA PROJECT ZONE ID DATE SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY  
 24010101 JUNE 2025 KHA KHA KHA  
 LICENSED PROFESSIONAL MATTHEW D. DINN, P.E. FLORIDA LICENSE NUMBER 6867721  
 6/25/2025

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No.	REVISIONS	DATE	BY





**SYMBOL KEY**

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD 1805-1400 FLOOD
	MANUFACTURER/MODEL AREA TO RECEIVE DRIFLINE RAIN BIRD XP-CV-08-18
	RAIN BIRD FEB-PRS-D 1"
	FEBCO 425Y 1"
	RAIN BIRD ESPLX-M2 W/ (1) ESPLX-M2M12
	RAIN BIRD RSD-CEX
	RAIN BIRD FS-100-P
	WATER METER 1"
	IRRIGATION MAINLINE PVC CLASS 200 SDR 21
	PIPE SLEEVE PVC SCHEDULE 40

  
 GRAPHIC SCALE IN FEET  
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**SCHEMATIC IRRIGATION PLAN**

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**IR01.06**

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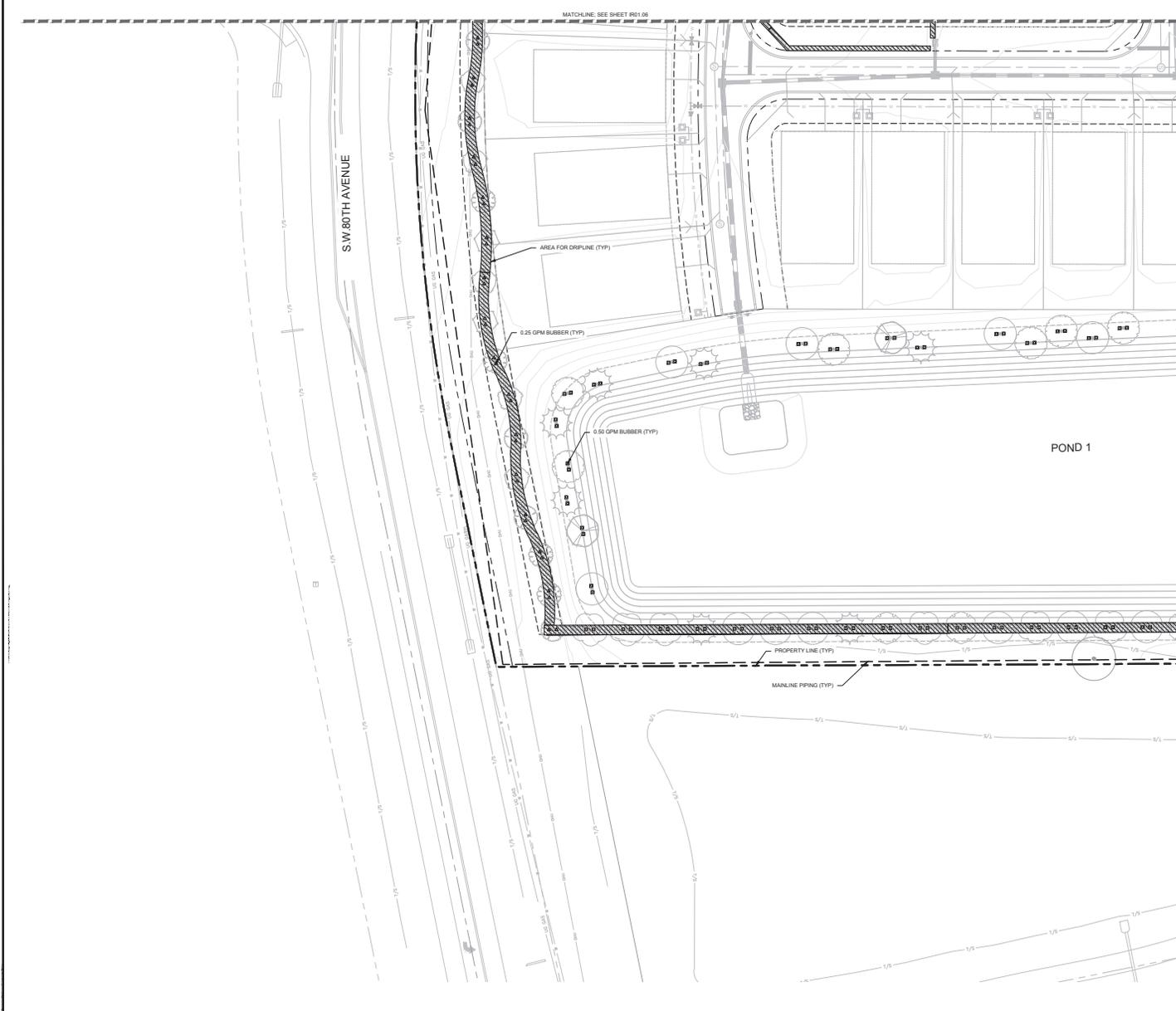
LICENSED PROFESSIONAL MATTHEW D. DUNN, P.E. FLORIDA LICENSE NUMBER 6867721

No.	REVISIONS	DATE









**SYMBOL KEY**

SYMBOL	MANUFACTURER/MODEL
▲	RAIN BIRD 1805-1400 FLOOD
△	RAIN BIRD 1805-1400 FLOOD
SYMBOL	MANUFACTURER/MODEL
▭	AREA TO RECEIVE DRIPLINE
▭	RAIN BIRD XF-CV-08-18
SYMBOL	MANUFACTURER/MODEL
○	RAIN BIRD FEB-PRS-D 1"
○	FEBCO 425Y 1"
○	RAIN BIRD ESPLAMEZ W/ (1) ESPLM5M12
○	RAIN BIRD RSD-CEX
○	RAIN BIRD FS-100-P
○	WATER METER 1"
○	IRRIGATION MANLINE: PVC CLASS 200 SDR 21
---	PIPE SLEEVE: PVC SCHEDULE 40

GRAPHIC SCALE IN FEET  
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MARION COUNTY  
FLORIDA

**SCHEMATIC IRRIGATION PLAN**

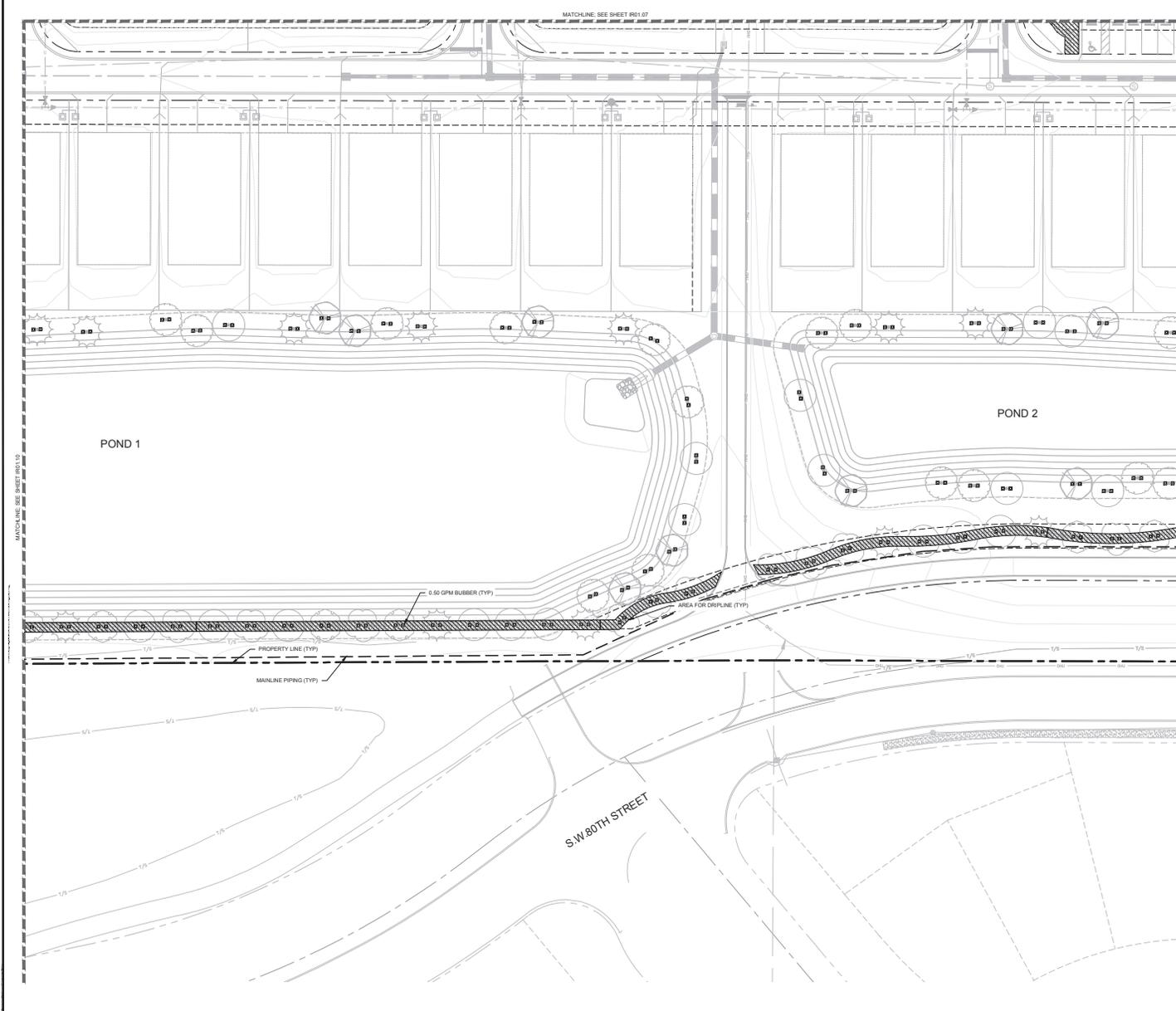
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LICENSED PROFESSIONAL  
MATTHEW D. DUNN, P.E.  
FLORIDA LICENSE NUMBER  
6867721

DESIGNED BY: KHA  
DRAWN BY: KHA  
CHECKED BY: MDD DATE: 6/25/2025

No.	REVISIONS	DATE



**SYMBOL KEY**

SYMBOL	MANUFACTURER/MODEL
▲	RAIN BIRD 1805-1400 FLOOD
△	RAIN BIRD 1805-1400 FLOOD
■	AREA TO RECEIVE DRIFLINE
□	RAIN BIRD XP-CV-08-18
SYMBOL	MANUFACTURER/MODEL
⊙	RAIN BIRD FEB-PRS-D 1"
⊙	FEBCO 425Y 1"
⊙	RAIN BIRD ESPLXME2 W/ (1) ESPLXMSM12
⊙	RAIN BIRD RSD-CEX
⊙	RAIN BIRD FS-100-P
⊙	WATER METER 1"
⊙	WATER METER 1"
---	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21
---	PIPE SLEEVE: PVC SCHEDULE 40

GRAPHIC SCALE IN FEET  
0 15 30 60

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FLORIDA

**SCHEMATIC IRRIGATION PLAN**

SHEET NUMBER  
**IR01.11**

**Kimley-Horn**  
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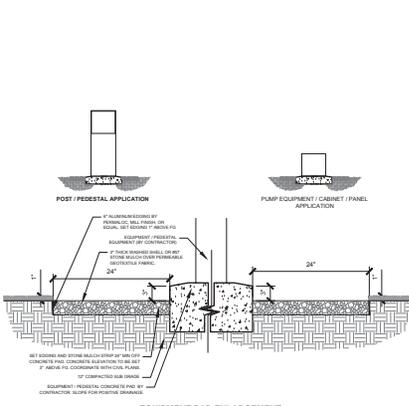
LICENSED PROFESSIONAL  
MATTHEW D. DUNN, P.E.  
FLORIDA LICENSE NUMBER 6867721  
CHECKED BY: MDD DATE: 6/25/2025

No.	REVISIONS	DATE	BY

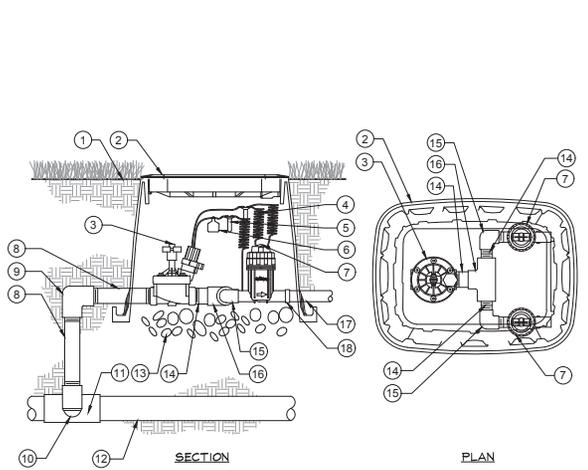






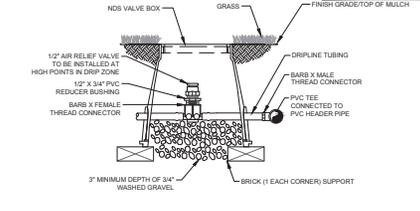


**1 SITE EQUIPMENT DETAIL**  
SECTION  
NTS

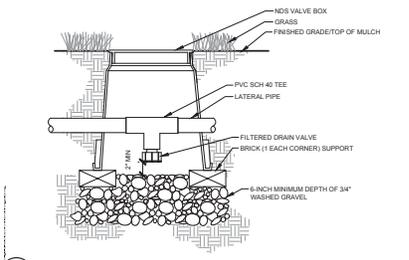


**2 DRIP ZONE VALVE KIT**  
SECTION / PLAN  
NTS

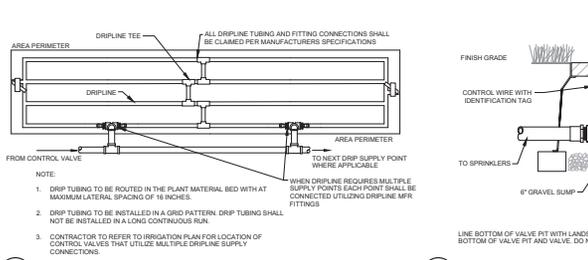
- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH LOCKING COVER
- 3 REMOTE CONTROL VALVE
- 4 30-INCH LINEAR LENGTH OF WIRE, COILED
- 5 WATERPROOF CONNECTION
- 6 ID TAG
- 7 PRESSURE REGULATING QUICK CHECK BASKET FILTER
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 MAINLINE PIPE
- 13 4-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC SCH 40 ELL
- 15 PVC SCH 40 TEE
- 16 LATERAL PIPE
- 17 PVC SCH 40 FEMALE ADAPTOR



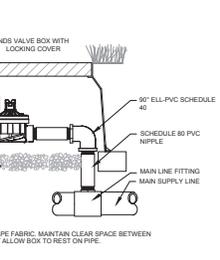
**3 AIR RELIEF VALVE IN DRIPLINE**  
SECTION  
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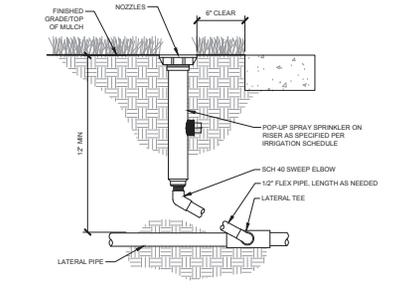
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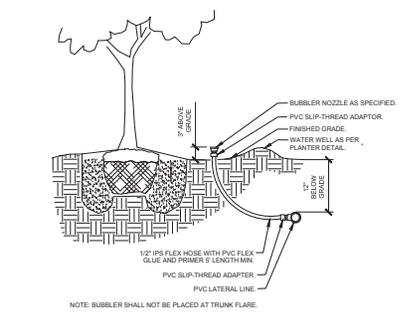
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PLAN  
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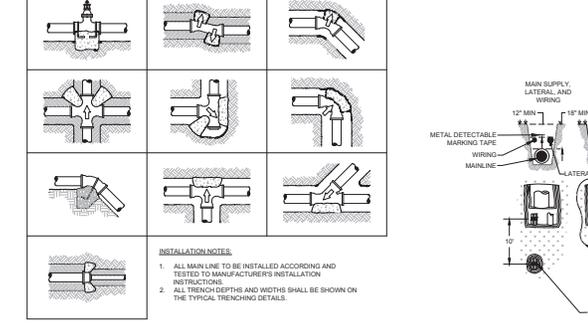
**6 TYPICAL CONTROL VALVE**  
SECTION  
NTS



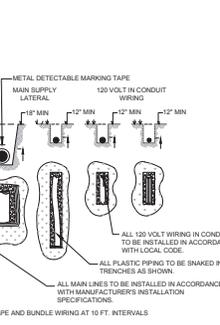
**7 TYPICAL SPRAY / ROTAR HEAD**  
SECTION  
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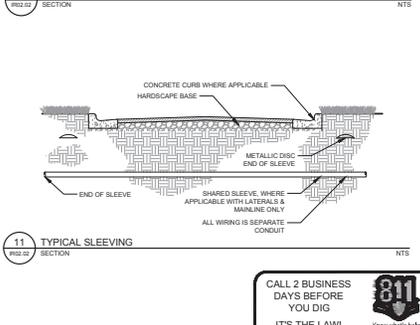
**8 TYPICAL BUBBLER**  
SECTION  
NTS



**9 TYPICAL THRUST BLOCK**  
SECTION  
NTS



**10 TYPICAL TRENCHING**  
SECTION  
NTS



**11 TYPICAL SLEEVING**  
SECTION  
NTS

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No.	REVISIONS	DATE

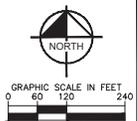
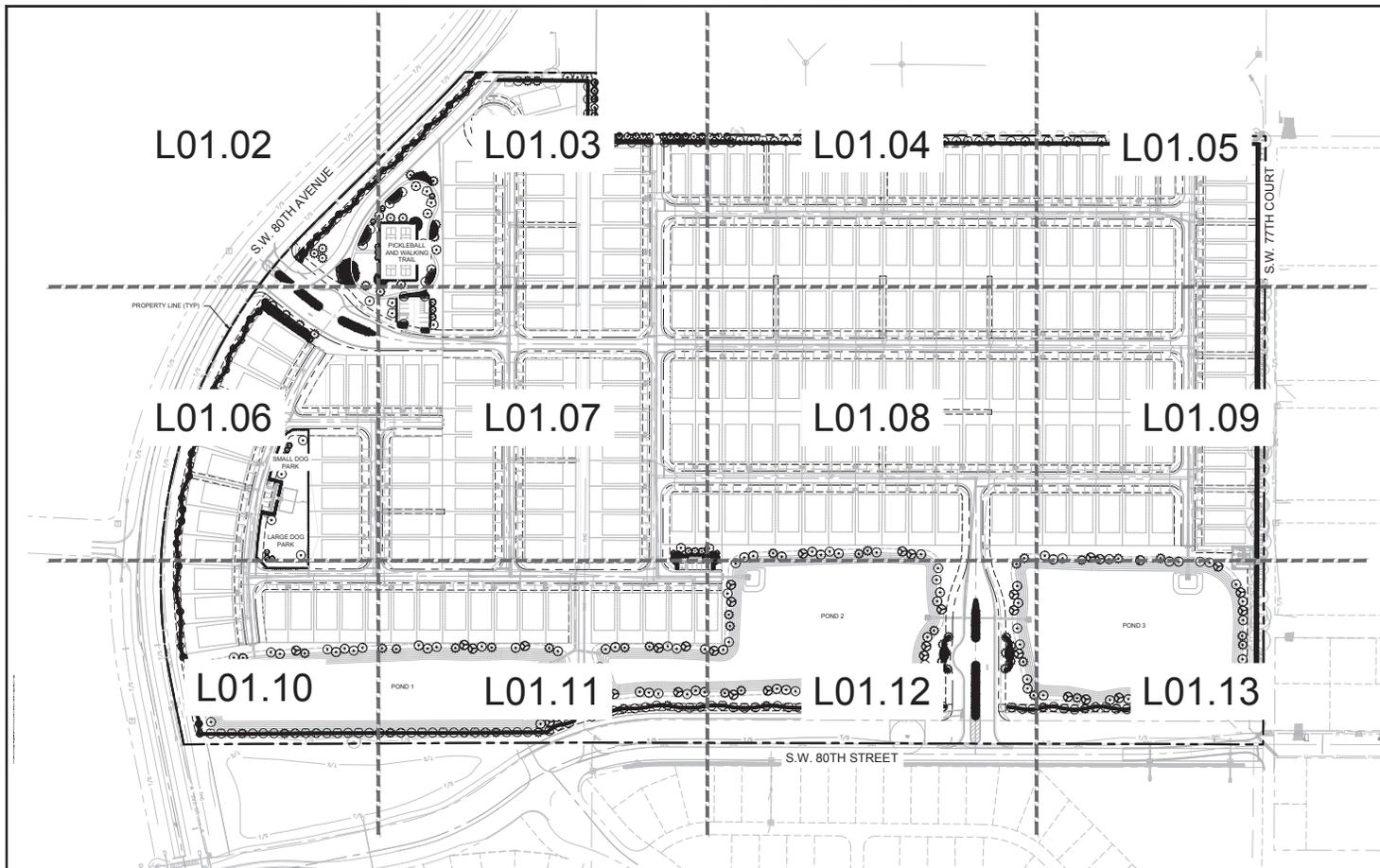
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PREPARED BY: KIM  
CHECKED BY: KIM  
DATE: 6/25/2025

LICENSED PROFESSIONAL  
MATHIEW D. DUNN, P.E.  
FLORIDA LICENSE NUMBER: 6887721  
DATE: 6/25/2025

**IRRIGATION DETAILS**

MELODY PRESERVE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.  
FLORIDA  
MARION COUNTY  
MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**IR02.02**



NO.	REVISIONS	DATE

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KHA PROJECT: 24248010  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 LICENSED PROFESSIONAL: MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER: 6867721  
 DATE: 6/25/2025

**OVERALL  
 LANDSCAPE PLAN**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD  
 COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

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**LANDSCAPE CALCULATIONS**  
 PER MARION COUNTY LAND DEVELOPMENT CODE

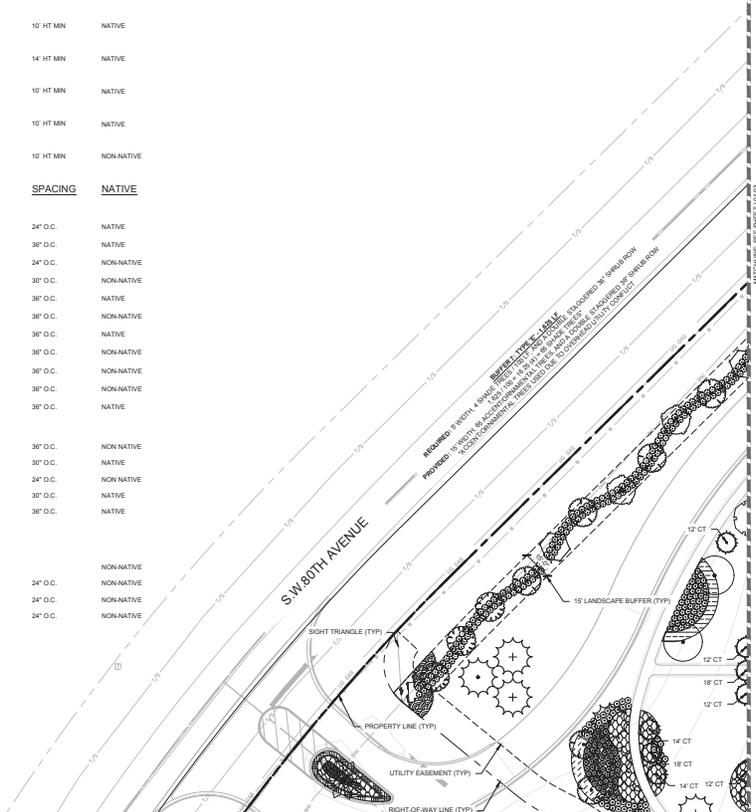
	REQUIRED	PROVIDED
<b>VEHICULAR USE AREAS</b>	1 SHADE TREE PER PARKING ISLAND 8 PARKING ISLANDS	8 PARKING ISLAND TREES
<b>SECTION 6.8.7 LANDSCAPE BUFFERS</b>	SEE SHEETS L01.01 - L01.13 FOR LANDSCAPE BUFFER REQUIREMENTS	SEE SHEETS L01.01 - L01.13 FOR LANDSCAPE BUFFER REQUIREMENTS
<b>SECTION 6.8.6 PLANTING REQUIREMENTS</b>	SHADE TREES: 3" CAL. ACCENT & ORNAMENTALS: MIN. 6" HT. & 4" SPREAD PALMS: 10' CLEAR TRUNK MIN. SHRUBS: 18" HT. MIN. 30" FT FOR BUFFER (SHRUBS) GROUNDCOVERS: MAX 24" HT. & 2'3" O.C.  MIN. 25% NATIVE SPECIES MIN. 50% NATIVE SHADE TREES MAX 50% ONE SPECIES OF SHADE TREES	REFER TO SHEET L01.02 FOR PLANT SCHEDULE.
<b>SECTION 6.8.10 LOT TREE REQUIREMENTS</b>	1 TREE PER RESIDENTIAL LOT 233 LOTS = 233 TREES	233 TREES @ 4" CALIPER LOCATION OF TREES MAY BE ADJUSTED AS NECESSARY DUE TO DRIVEWAY, BUILDING, AND UTILITY LOCATIONS. TREES SHALL BE A MINIMUM OF 10' FROM ALL UTILITIES.  102 TREES @ 2" CAL. (204) 81 TREES @ 4" CAL. (164) 233 LOT TREES @ 4" CAL. (937) + 20 TREES @ 2" CAL. (40) 2540 PROPOSED REPLACEMENT INCHES
<b>TREE REPLACEMENT INCHES</b>	TOTAL REPLACEMENT INCHES REQUIRED = 1,031 REPLACEMENT INCHES REQUIRED	
<b>SECTION 6.7.9</b>		

**NOTES**

- SEE SHEET L02.01 FOR LANDSCAPE SPECIFICATIONS AND PLANT SCHEDULE.
- SEE SHEET L02.02 FOR LANDSCAPE DETAILS.
- SEE SHEET L01.02 FOR FULL PLANTING SCHEDULE.
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROVIDE PLANT MATERIALS AND UPSIDE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
- ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BEDDING AND CONSTRUCTION.
- SOO ALL AREAS OF DISTURBANCE WITH BAHIA (PASPALUM NOTATUM), UNLESS OTHERWISE NOTED ON THE PLANS, AND HAND WATER THROUGH ESTABLISHMENT IN ACCORDANCE WITH LANDSCAPE SPECIFICATIONS.
- UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE
<b>ORNAMENTAL TREES</b>							
	IG	27	ILEX X 'EAGLESTON'	EAGLESTON HOLLY	FG	2" CAL MN	8' HT MIN NATIVE
	IV	17	ILEX VOMITORIA	YALPON HOLLY	FG	2" CAL MN	8' HT MIN NATIVE
	LJ	37	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	FG	2" CAL MN	8' HT MIN NON-NATIVE
	LM	21	LAGERSTROEMIA INDICA X 'FAURIE'	MUSKOGEE CRAPE MYRTLE	FG	2" CAL MN	8' HT MIN NON-NATIVE
<b>PALMS</b>							
	BL	13	BISMARCKIA NOBILIS	BISMARCK PALM	FG	HEAVY	16' CT MATCHED NON-NATIVE
	SS	27	SABAL PALMETTO	CABBAGE PALMETTO	FG	HEAVY, H.O. FULLY REGENERATED	12'-18" CT VARIES NATIVE
<b>SHADE TREES</b>							
	AF	39	ACER RUBRUM 'FLORIDA FLAME'	FLORIDA FLAME RED MAPLE	FG	4" CAL MN	10' HT MIN NATIVE
	MB	54	MAGNOLIA GRANDIFLORA 'BRACKENS BEAUTY'	BRACKENS BEAUTY SOUTHERN MAGNOLIA	FG	4" CAL MN	10' HT MIN NATIVE
	PD	76	PINUS ELLIOTTI	DENSA SLASH PINE	FG	4" CAL MN	10' HT MIN NATIVE
	PD2	20	PINUS ELLIOTTI	DENSA SLASH PINE	FG	5" CAL MN	14' HT MIN NATIVE
	QP	98	QUERCUS VIRGINIANA 'PARK SIDE'	PARK SIDE LIVE OAK	FG	4" CAL MN	10' HT MIN NATIVE
	TD	54	TAXODIUM DISTICHUM	BALD CYPRESS	FG	4" CAL MN	10' HT MIN NATIVE
	UE	30	ULMUS PARVIFOLIA 'EMER II'	ALLEE LACEBARK ELM	FG	4" CAL MN	10' HT MIN NON-NATIVE
<b>SHRUBS</b>							
	IE	68	ILEX 'SCHELLINGS'	SHELLINGS YALPON HOLLY	3 GAL	18" FULL	24" O.C. NATIVE
	MHR	109	MYRICANTHES FRAGRANS	SIMPSON'S STOPPER	7 GAL	24" HT MIN	36" O.C. NATIVE
	NER	132	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	3 GAL	18" HT MIN	24" O.C. NON-NATIVE
	POD	18	PODOCARPUS MACROPHYLLUS	JAPANESE YEW	7 GAL	24" HT MIN	30" O.C. NON-NATIVE
	SER	273	SERENIA REPENS 'CINERIA'	SILVER SAW PALMETTO	3 GAL	18" FULL	36" O.C. NATIVE
	THR	40	THRYALLIS GLAUCIA	THRYSALLIS	3 GAL	18" FULL	36" O.C. NON-NATIVE
	VIB	37	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	7 GAL	24" HT MIN	36" O.C. NATIVE
	VIO	4,502	VIBURNUM OCORATTISSIMUM	SWEET VIBURNUM	7 GAL	30" HT MIN	36" O.C. NON-NATIVE
	VIS	99	VIBURNUM SUSPENSUM	SANDANOWA VIBURNUM	7 GAL	30" HT MIN	36" O.C. NON-NATIVE
	ZAF	104	ZAMIA FURURACEA	CARDBOARD PALM	7 GAL	24" FULL	36" O.C. NON-NATIVE
	ZAM	253	ZAMIA FLORIDANA	FLORIDA COONITE	7 GAL	24" FULL	36" O.C. NATIVE
<b>SHRUB AREAS</b>							
	CEN	390	CENCHRUS ORIENTALIS	ORIENTAL FOUNTAIN GRASS	3 GAL	24" HT MIN	36" O.C. NON-NATIVE
	MUH	873	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL	18" HT MIN	30" O.C. NATIVE
	ROS	373	ROSA X 'MEIDIFLORA'	CORAL DRIFT ROSE	3 GAL	18" HT MIN	24" O.C. NON-NATIVE
	SBA	133	SPARTINA BAKERI	SAND CORDGRASS	3 GAL	18" HT MIN	30" O.C. NATIVE
	TRI	105	TRIPSACUM DACTYLOIDES NANA	DWARF FAKAHATCHEE GRASS	1 GAL	18" HT MIN	36" O.C. NATIVE
<b>GROUND COVERS</b>							
	ANN	2,295 SF	ANNUALS	ANNUALS	1 GAL		
	ARA	1,212 SF	ARACHIS GLABRATA	PERENNIAL PEANUT	800		NON-NATIVE
	EVO	94	EVOLVULUS GLOMERATUS 'BLU BLUE DAZE'	BRAZILIAN DWARF MORNING GLORY	1 GAL	12" SPREAD	24" O.C. NON-NATIVE
	LIR	316	LIRIODENDRON 'MUSCARI'	LILY TURF	1 GAL	12" HT MIN	24" O.C. NON-NATIVE
	TRA	316	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE'	CONFEDERATE JASMINE	1 GAL	12" HT MIN	24" O.C. NON-NATIVE



No.	REVISIONS	DATE	BY

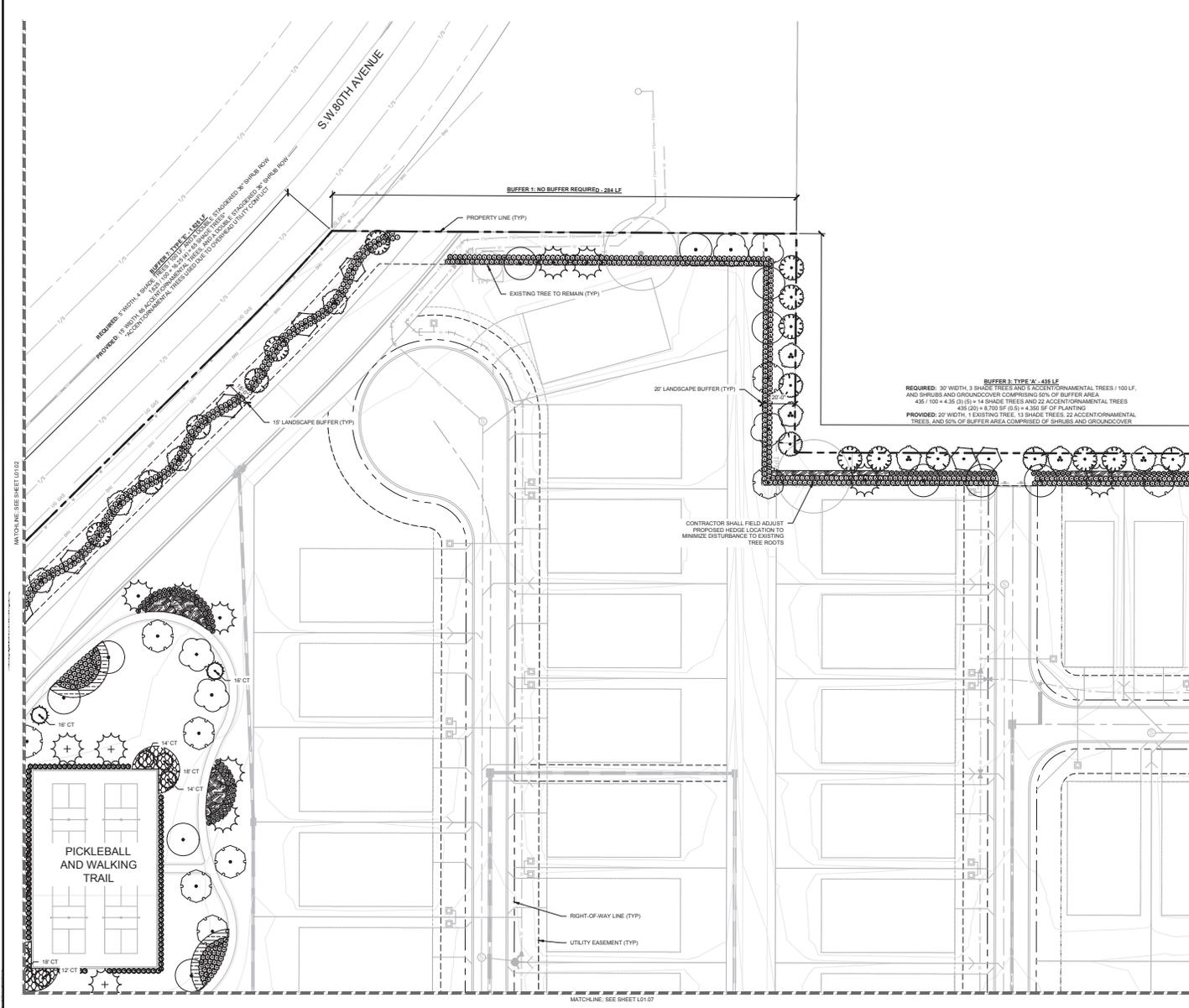
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 PHONE: 561-993-3000  
 WWW.KIMLEY-HORN.COM | REGISTRY NO. 25396

KHA PROJECT NO. 2400000001  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: NDD  
 DATE: 6/25/2025

LANDSCAPE PLAN

MELODY PRESERVE  
 PREPARED FOR  
 ON TOP OF THE WORLD  
 COMMUNITIES, L.L.C.  
 FLORIDA  
 MARION COUNTY  
 FLORIDA  
 SHEET NUMBER  
**L01.02**

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L01.03 SYMBOL KEY

SYMBOL	CODE	COMMON NAME
<b>ORNAMENTAL TREES</b>		
	EO	EAGLESTON HOLLY
	YV	YAUPOON HOLLY
	LJ	JAPANESE PRIVET
	LM	MUSKOGEE CREEPER MYRTLE
<b>PALMS</b>		
	SS	CABBAGE PALMETTO
<b>SHADE TREES</b>		
	MB	BRACKEN'S BEAUTY SOUTHERN MAGNOLIA
	PO	DENSA SLASH PINE
	PO2	DENSA SLASH PINE
	QP	PARK SIDE LIVE OAK
	UE	ALLEE LACEBARK ELM
<b>SHRUBS</b>		
	MYR	SIMPSON'S STOPPER
	SER	SILVER SAW PALMETTO
	VIO	SWEET VIBURNUM
	ZAM	FLORIDA COONITE
<b>SHRUB AREAS</b>		
	MUH	PINK MUHLY GRASS
	SPA	SAND CORDGRASS
	TRI	DWARF FAKAHATCHEE GRASS

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LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 DATE: 6/25/2025

KHA PROJECT  
 ZONE 10  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 DATE: 6/25/2025

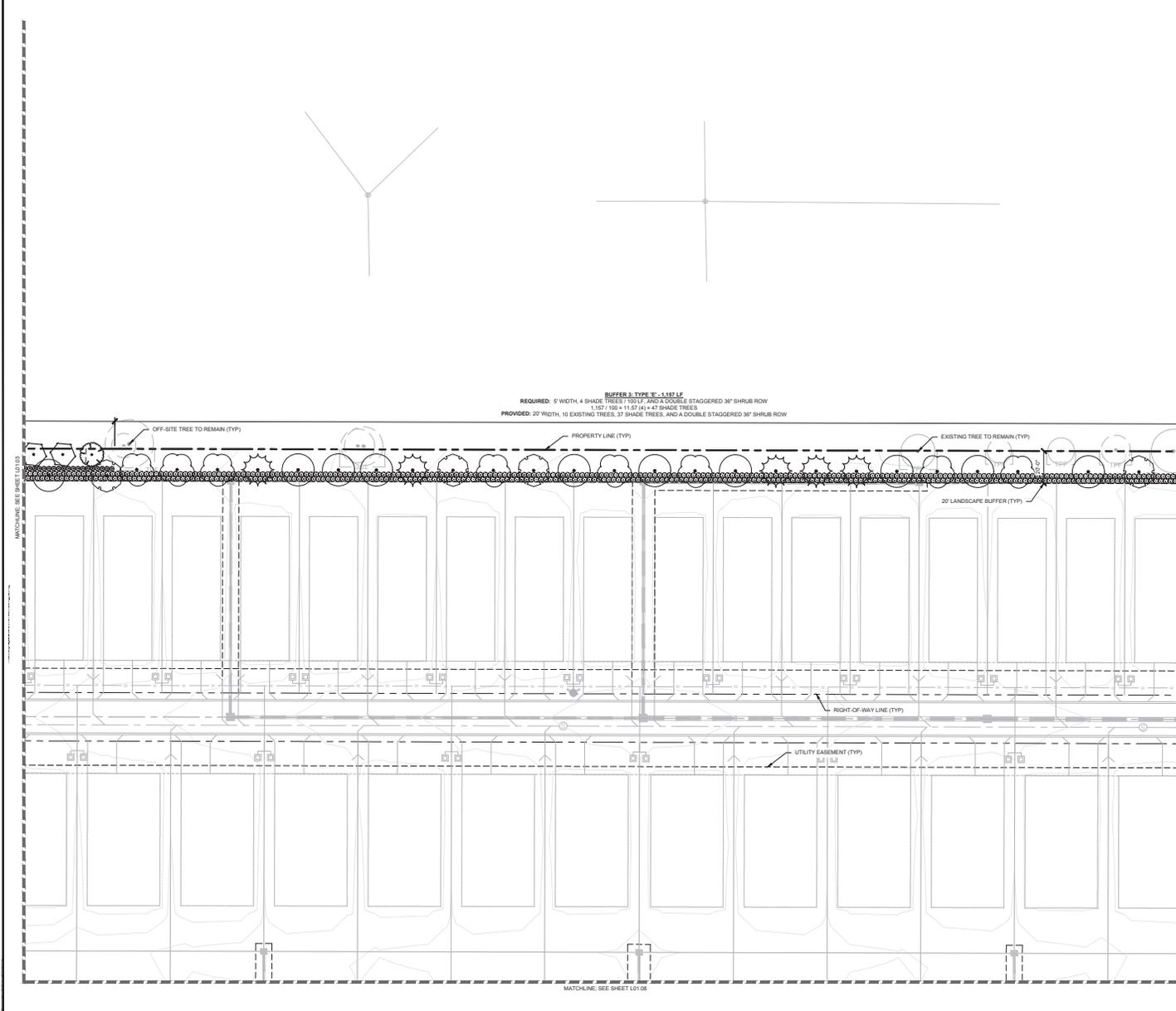
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 MARION COUNTY  
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SHEET NUMBER  
**L01.03**

No.	REVISIONS	DATE



**BUFFER 3, TYPE 3 - 1:157 LF**  
 REQUIRED: 5' WIDTH, 4 SHADE TREES (10' D), AND A DOUBLE STAGGERED 36" SHRUB ROW  
 1,157 / 100 = 11.57 (4) = 47 SHADE TREES  
 PROVIDED: 20' WIDTH, 10 EXISTING TREES, 37 SHADE TREES, AND A DOUBLE STAGGERED 36" SHRUB ROW



**L01.04 SYMBOL KEY**

SYMBOL CODE COMMON NAME

**ORNAMENTAL TREES**

- IV YAUPON HOLLY
- LJ JAPANESE PRIVET

**SHADE TREES**

- MB BRACKEN'S BEAUTY SOUTHERN MAGNOLIA
- PO DENSA SLASH PINE
- OP PARK SIDE LIVE OAK
- UE ALLEE LACEBARK ELM

**SHRUBS**

- SSR SILVER SAW PALMETTO
- VD SWEET VIBURNUM

No.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: KHA  
 DATE: 6/25/2025

KHA PROJECT  
 ZONE 10  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 DATE: 6/25/2025

**LANDSCAPE PLAN**

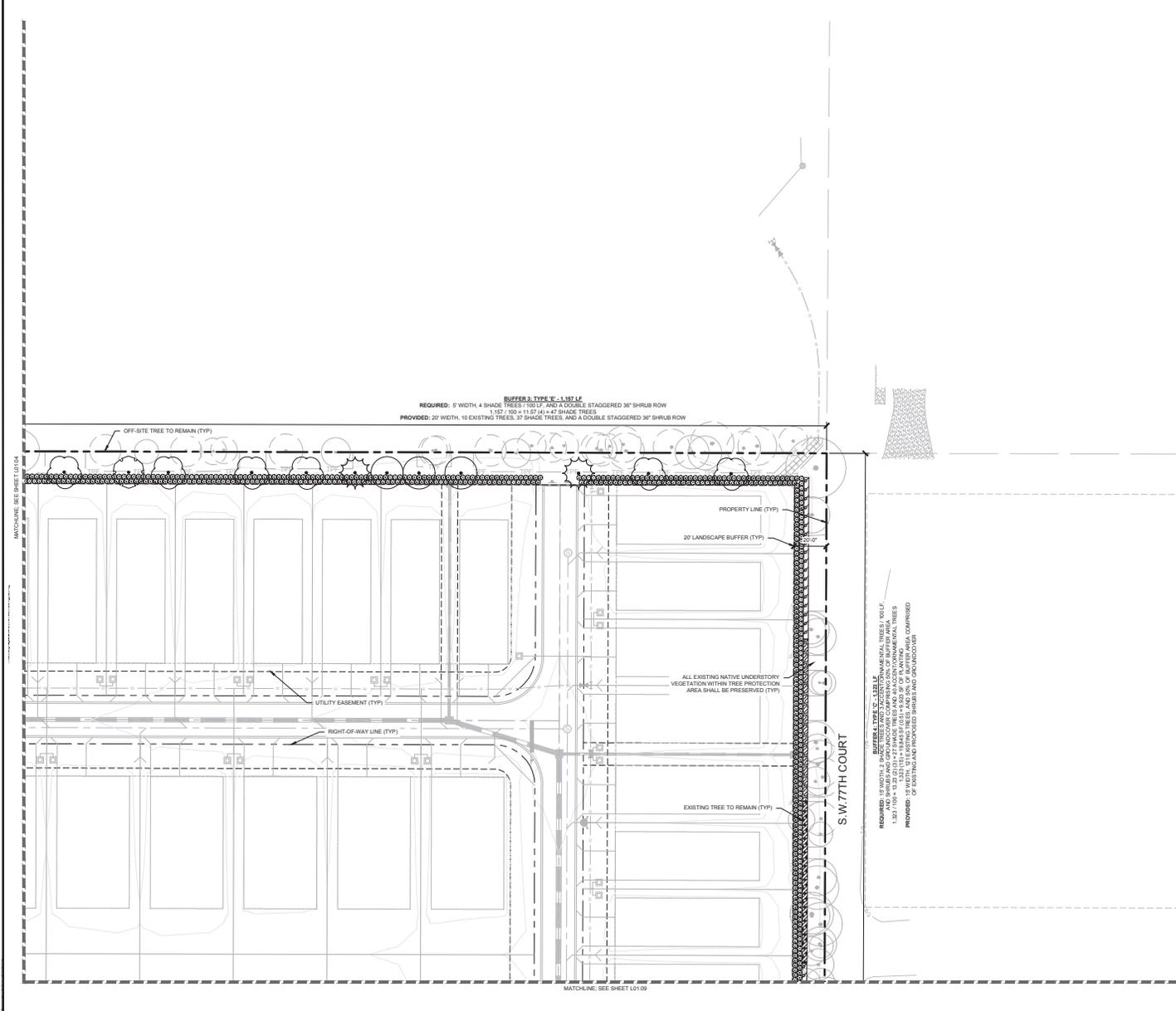
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 MARION COUNTY  
 FLORIDA

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SHEET NUMBER  
**L01.04**

MELODY PRESERVE - IMPROVEMENT PLANS



**BUFFER 3, TYPE "C", 1.157 LF**  
 REQUIRED: 5' WIDTH, 4 SHADE TREES 7'100 LF, AND A DOUBLE STAGGERED 30' SHRUB ROW  
 1.157' 100" = 11.57' @ 14' 47" SHADE TREES  
 PROVIDED: 20' WIDTH, 10 EXISTING TREES, 37 SHADE TREES, AND A DOUBLE STAGGERED 30' SHRUB ROW

**BUFFER 4, TYPE "C", 1.103 LF**  
 REQUIRED: 5' WIDTH AND 20' DOUBLE STAGGERED SHRUB ROW WITH TREES, 100 LF  
 1.103' 100" = 11.03' @ 11' 2" 20' SHRUBS @ 10' 0" SPACING WITH ENVIRONMENTAL TREES  
 PROVIDED: 20' WIDTH AND 20' DOUBLE STAGGERED SHRUB ROW WITH TREES, COMPRISED  
 OF 10' SPACING AND 20' DOUBLE STAGGERED SHRUB ROW WITH TREES

ALL EXISTING NATIVE UNDERSTORY  
 VEGETATION WITHIN TREE PROTECTION  
 AREA SHALL BE PRESERVED (TYP)



**L01.05 SYMBOL KEY**

SYMBOL	CODE	COMMON NAME
<b>SHADE TREES</b>		
	MB	BRACKEN'S BEAUTY SOUTHERN MAGNOLIA
	PD	DENSA SLASH PINE
	QP	PARK SIDE LIVE OAK
	UE	ALLEE LACEBARK ELM
<b>SHRUBS</b>		
	VO	SWEET VIBURNUM
<b>GROUND COVERS</b>		
	PA	PERENNIAL PEANUT
	LR	L'LYTURF
	TRA	CONFEDERATE JASMINE

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KHA PROJECT	05A	LICENSED PROFESSIONAL
DATE	JUNE 2025	MATTHEW D. DUNN, P.E.
SCALE	AS SHOWN	FLORIDA LICENSE NUMBER
DESIGNED BY	KHA	6867721
DRAWN BY	KHA	
CHECKED BY	NDD	DATE
		6/25/2025

**LANDSCAPE PLAN**

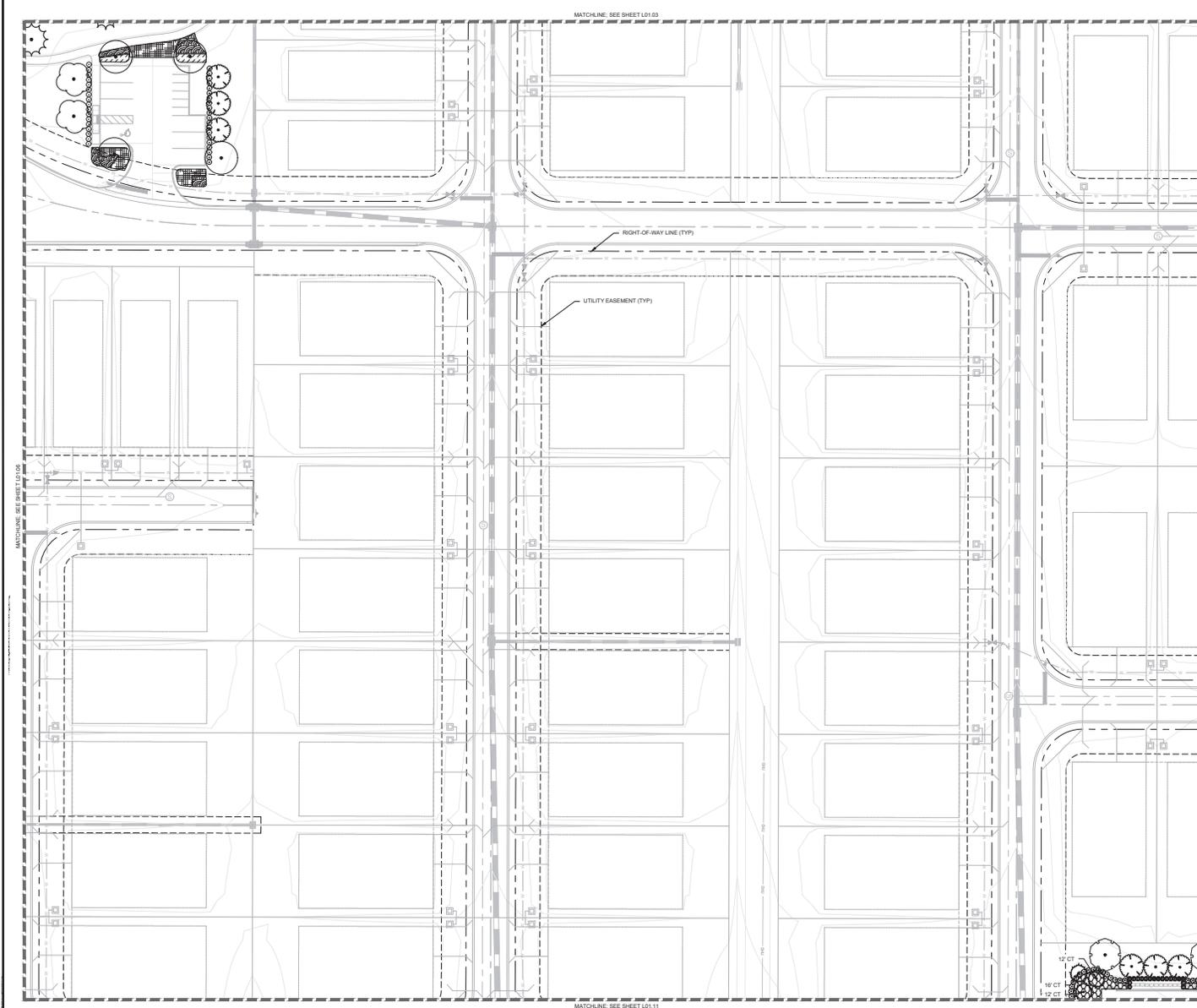
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SHEET NUMBER  
**L01.05**

No.	REVISIONS	DATE

MELODY PRESERVE - IMPROVEMENT PLANS





**L01.07 SYMBOL KEY**

SYMBOL CODE COMMON NAME

**ORNAMENTAL TREES**

LI JAPANESE PRIVET

**PALMS**

SS CABBAGE PALMETTO

**SHADE TREES**

MB BRACKEN'S BEAUTY SOUTHERN MAGNOLIA

PD DENSA SLASH PINE

QP PARK SIDE LIVE OAK

UE ALLEE LACEBARK ELM

**SHRUBS**

POD JAPANESE YEW

VIB WALTER'S VIBURNUM

ZAM FLORIDA COONHIE

**SHRUB AREAS**

CEH ORIENTAL FOUNTAIN GRASS

**GROUND COVERS**

ANN ANNUALS

EVO BRAZILIAN DWARF MORNING GLORY



**LANDSCAPE PLAN**

PROJECT NO: 2420000000  
DATE: JUNE 2025  
SCALE: AS SHOWN  
DESIGNED BY: KHA  
DRAWN BY: KHA  
CHECKED BY: MDD  
DATE: 6/25/2025

LICENSED PROFESSIONAL  
MATTHEW D. DUNN, P.E.  
FLORIDA LICENSE NUMBER: 6867721

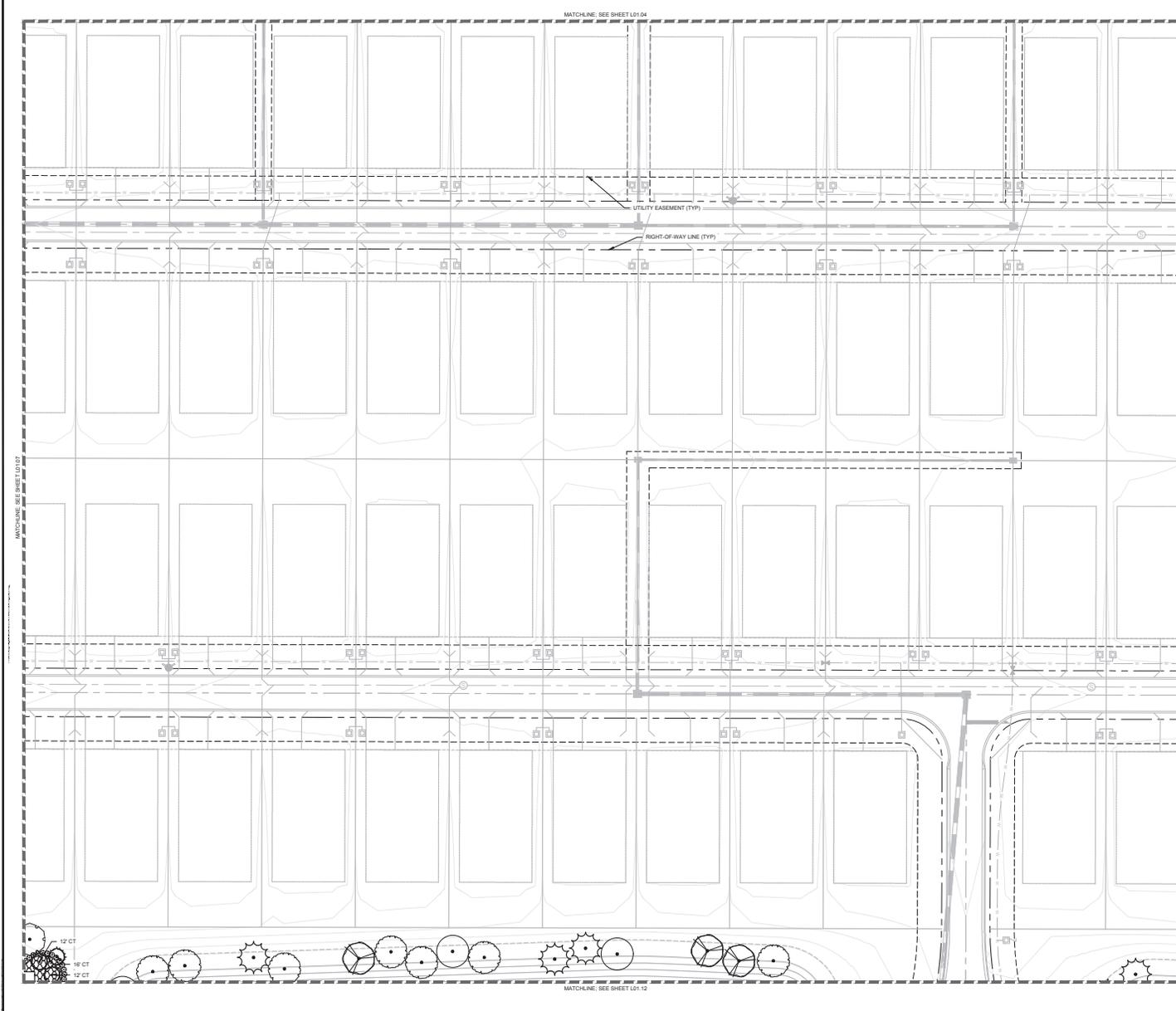
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MARION COUNTY  
FLORIDA

SHEET NUMBER  
**L01.07**

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**L01.08 SYMBOL KEY**

SYMBOL CODE COMMON NAME

**PALMS**

SS CABBAGE PALMETTO

**SHADE TREES**

AF FLORIDA FLAME RED MAPLE

PD DENSE SLASH PINE

OP PARK SIDE LIVE OAK

TD BALD CYPRESS

LE ALLEE LACEBARK ELM

**SHRUBS**

ZAM FLORIDA COONIE

MATCHLINE: SEE SHEET L0107

MATCHLINE: SEE SHEET L0109

MATCHLINE: SEE SHEET L0104

MATCHLINE: SEE SHEET L0112

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 FLORIDA LICENSE NUMBER  
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 DATE: 6/25/2025

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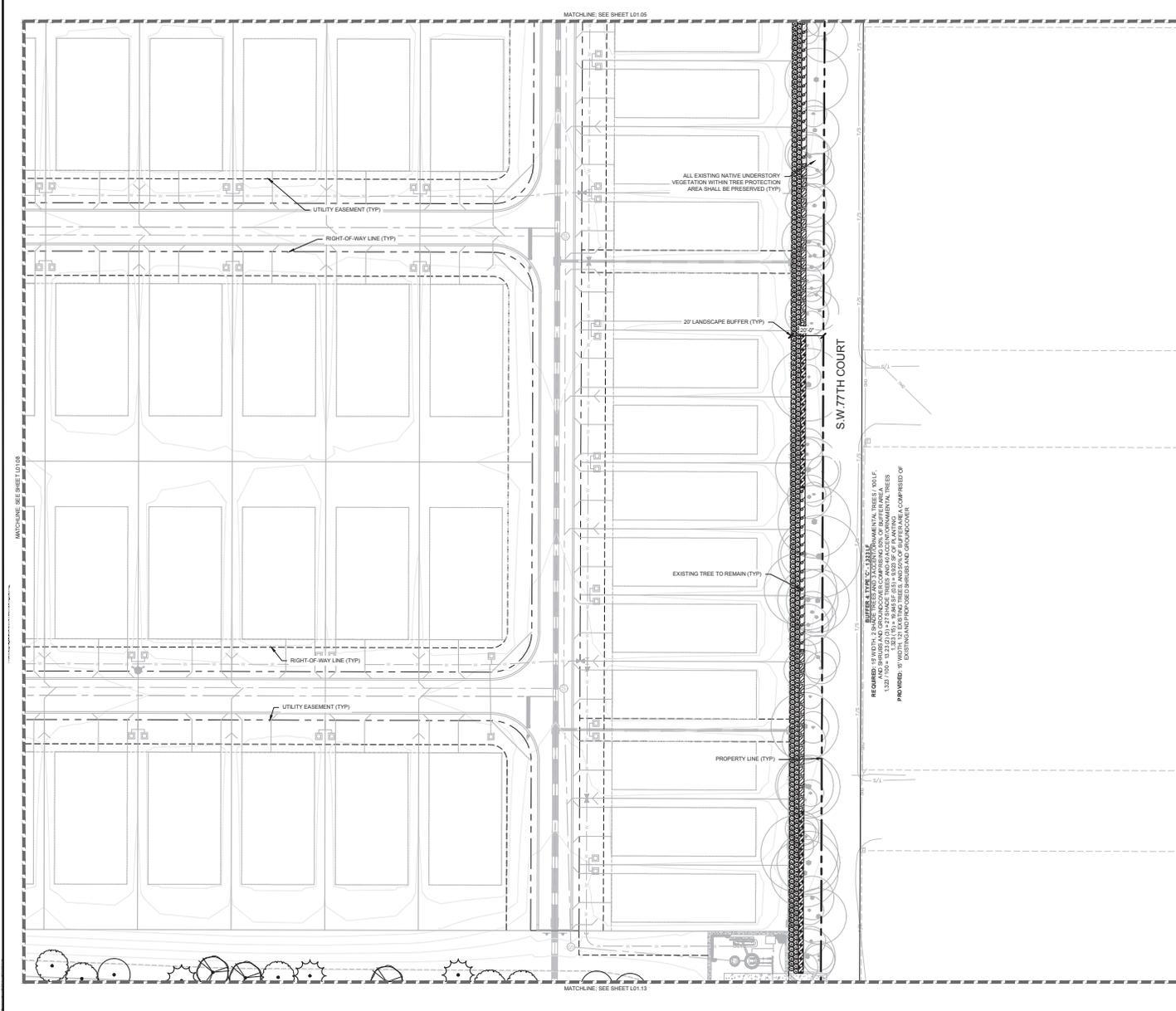
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SHEET NUMBER  
**L01.08**

No.	REVISIONS	DATE

MELODY PRESERVE - IMPROVEMENT PLANS



L01.09 SYMBOL KEY

SYMBOL	CODE	COMMON NAME
<b>SHADE TREES</b>		
	AF	FLORIDA FLAME RED MAPLE
	PD	DENSA SLASH PINE
	QP	PARK SIDE LIVE OAK
	TD	BALD CYPRESS
<b>SHRUBS</b>		
	VO	SWEET VIBURNUM
<b>GROUND COVERS</b>		
	ARA	PERENNIAL PEANUT
	LIR	LEYFLURP
	TRA	CONFEDERATE JASMINE

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LICENSING PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: MDD JAYE  
 DATE: 6/25/2025

**LANDSCAPE PLAN**

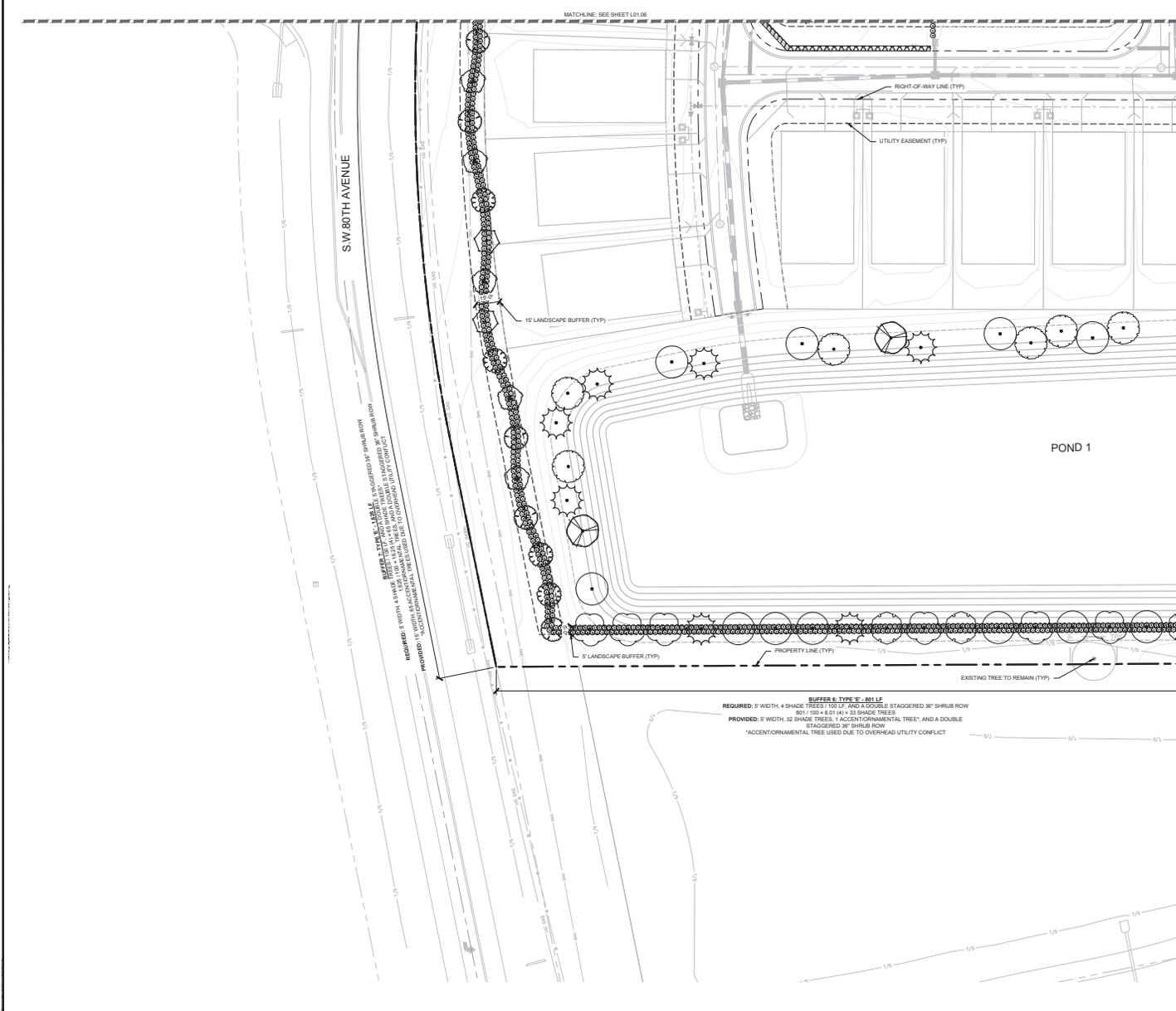
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SHEET NUMBER  
**L01.09**

No.	REVISIONS	DATE	BY

MELODY PRESERVE - IMPROVEMENT PLANS



L01.10 SYMBOL KEY

SYMBOL CODE COMMON NAME

ORNAMENTAL TREES

- IG EAGLESTON HOLLY
- IV YALPON HOLLY
- LJ JAPANESE PRIVET
- LM MUSKOGEE CRAPE MYRTLE

SHADE TREES

- AF FLORIDA FLAME RED MAPLE
- MB BRACKEN'S BEAUTY SOUTHERN MAGNOLIA
- PD DENSA SLASH PINE
- QP PARK SIDE LIVE OAK
- TD BALD CYPRESS
- UE ALLEE LACEBARK ELM

SHRUBS

- VIO SWEET VIBURNUM
- VIS SANDAKWA VIBURNUM

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 WWW.KIMLEY-HORN.COM TEL: 561.990.2500

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: MDD JAYE  
 DATE: 6/25/2025

LANDSCAPE PLAN

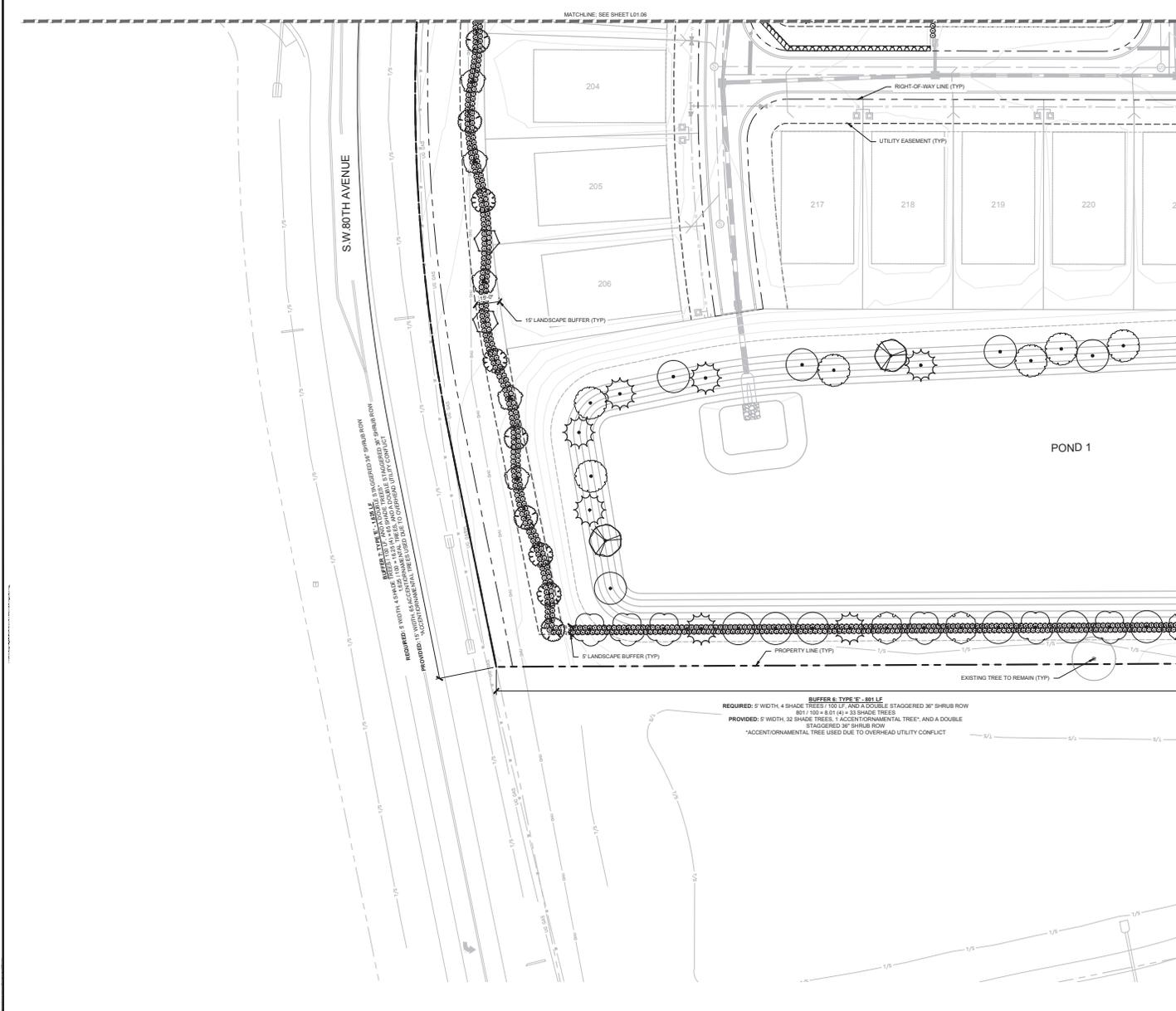
MELODY PRESERVE  
 PREPARED FOR  
 ON TOP OF THE WORLD  
 COMMUNITIES, L.L.C.  
 MARION COUNTY  
 FLORIDA

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 IT'S THE LAW! DIAL 811  
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 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SHEET NUMBER  
**L01.10**

No.	REVISIONS	DATE	BY

MELODY PRESERVE - IMPROVEMENT PLANS



L01.10 SYMBOL KEY

SYMBOL CODE COMMON NAME

ORNAMENTAL TREES

- IG EAGLESTON HOLLY
- IV YALPON HOLLY
- LJ JAPANESE PRIVET
- LM MUSKOGEE CRAPE MYRTLE

SHADE TREES

- AF FLORIDA FLAME RED MAPLE
- MB BRACKENS BEAUTY SOUTHERN MAGNOLIA
- PD DENSA SLASH PINE
- QP PARK SIDE LIVE OAK
- TD BALD CYPRESS
- UE ALLEE LACEBARK ELM

SHRUBS

- VO SWEET VIBURNUM
- VS SANDANKWA VIBURNUM

**Kimley-Horn**

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 PHONE: 561.994.3000  
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KHA PROJECT NO. 2400000000  
 DATE: MARCH 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 DATE: 3/10/2025

LICENSED PROFESSIONAL  
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 FLORIDA LICENSE NUMBER: 6867721

LANDSCAPE PLAN

MELODY PRESERVE  
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 ON TOP OF THE WORLD  
 COMMUNITIES, LLC  
 MARION COUNTY  
 FLORIDA

SHEET NUMBER  
**L01.10**

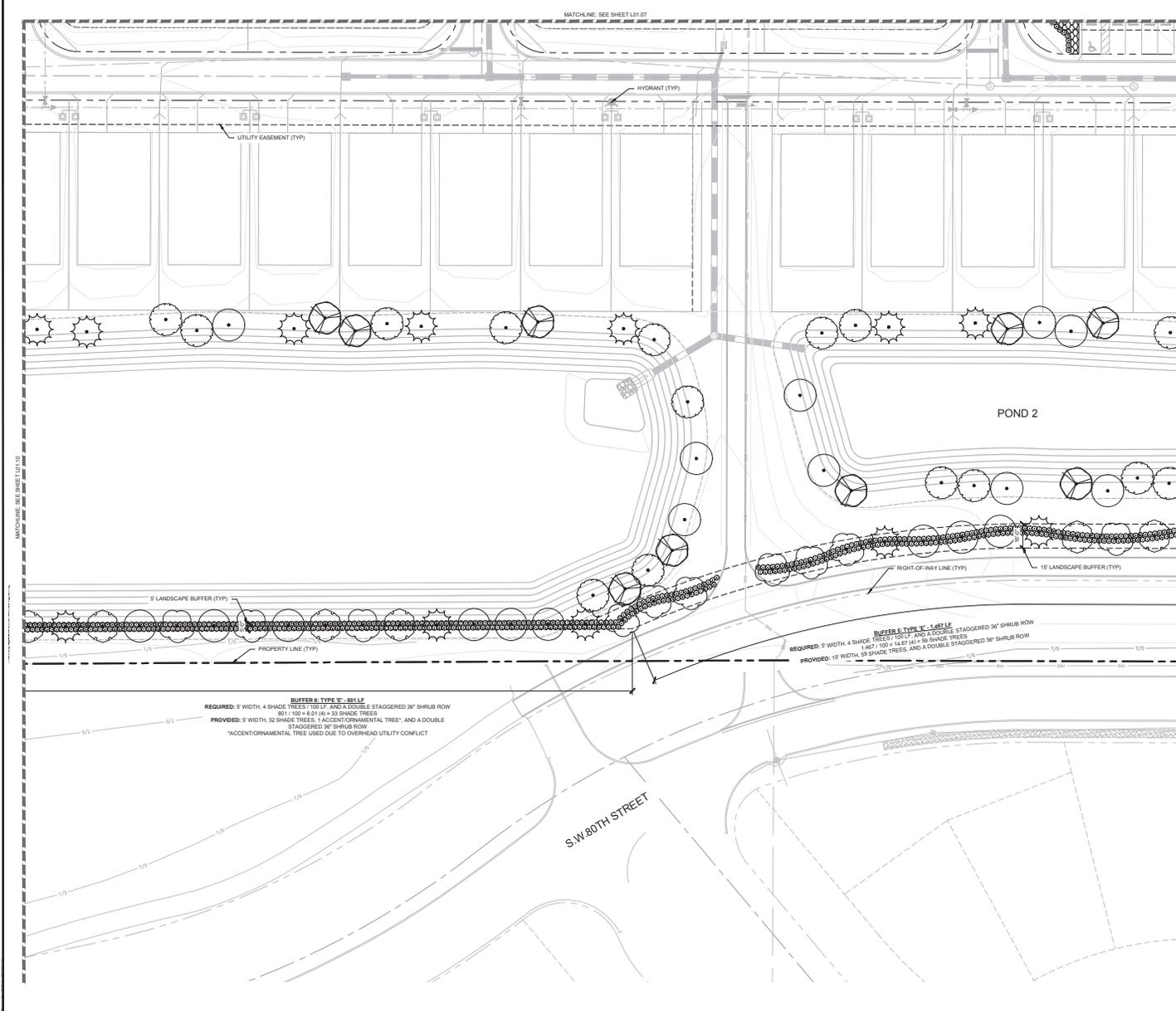
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No.	REVISIONS	DATE	BY

MELODY PRESERVE - CONSTRUCTION PLANS



L01.11 SYMBOL KEY

SYMBOL	CODE	COMMON NAME
<b>SHADE TREES</b>		
	AF	FLORIDA FLAME RED MAPLE
	MB	BRACKENS BEAUTY SOUTHERN MAGNOLIA
	PD	DENSA SLASH PINE
	QP	PARK SIDE LIVE OAK
	TD	BALD CYPRESS
	UE	ALLEE LACEBARK ELM
<b>SHRUBS</b>		
	VIO	SWEET VIBURNUM
	ZAM	FLORIDA COONITE
<b>SHRUB AREAS</b>		
	MUG	PINK MUHLY GRASS

No.	REVISIONS	DATE	BY

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 FLORIDA LICENSE NUMBER  
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 DATE: 6/25/2025

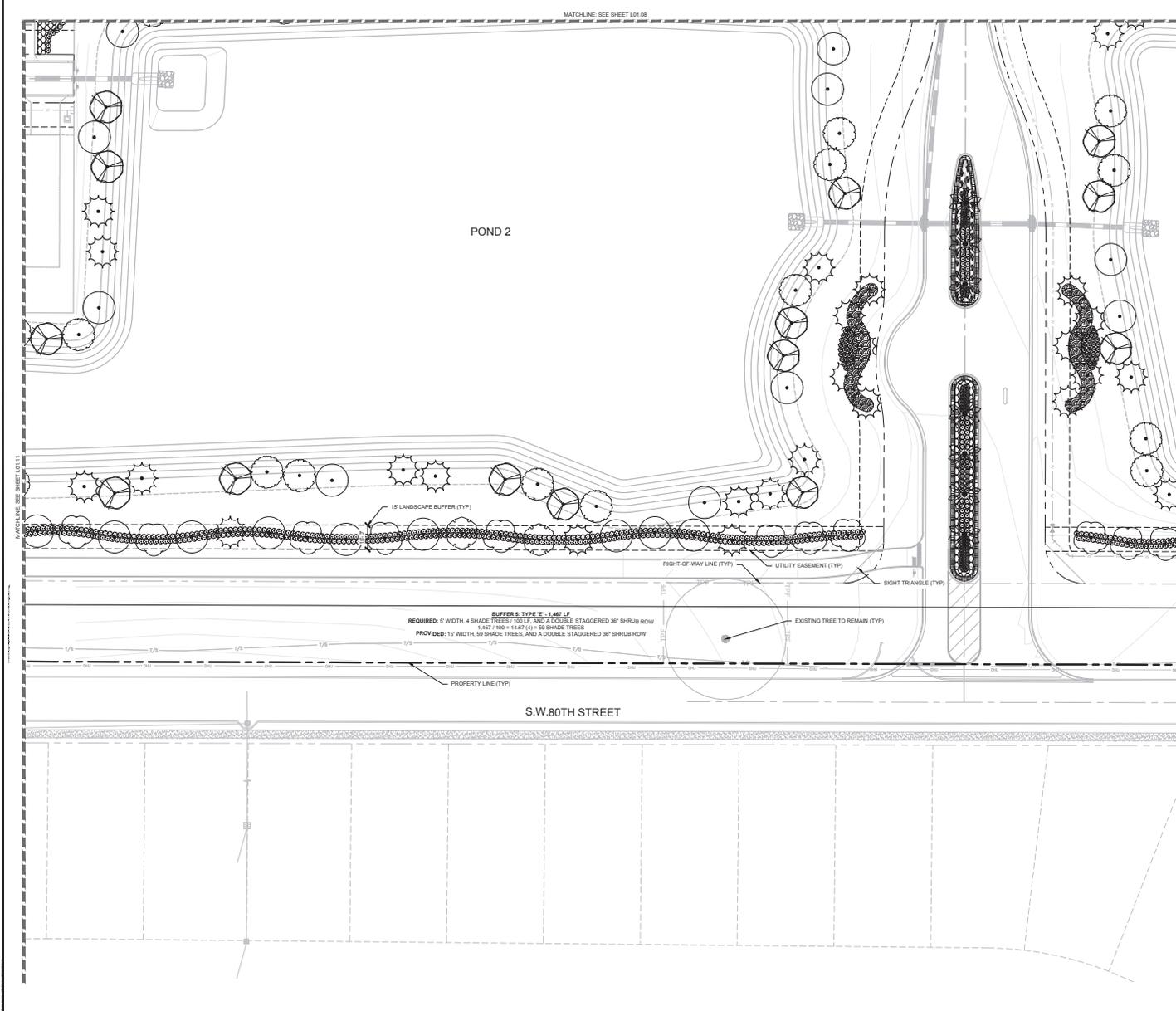
KHA PROJECT NO.  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 DATE: 6/25/2025

**LANDSCAPE PLAN**

MELODY PRESERVE  
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**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

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**L01.11**



L01.12 SYMBOL KEY

SYMBOL	CODE	COMMON NAME
<b>PALMS</b>		
	BL	BISMARK PALM
<b>SHADE TREES</b>		
	AF	FLORIDA FLAME RED MAPLE
	MB	BRACKEN'S BEAUTY SOUTHERN MAGNOLIA
	PD	DENSA SLASH PINE
	PD2	DENSA SLASH PINE
	QP	PARK SIDE LIVE OAK
	TD	BALD CYPRESS
	UE	ALLEEE LACEBARK ELM
<b>SHRUBS</b>		
	ILE	SCHILLINGS YAUPON HOLLY
	NER	PETITE PINK OLEANDER
	SER	SILVER SAW PALMETTO
	VIO	SWEET VIBURNUM
	ZAF	CAROBGARD PALM
	ZAM	FLORIDA COONOTE
<b>SHRUB AREAS</b>		
	CEN	ORIENTAL FOUNTAIN GRASS
	MUH	PINK MUHLY GRASS
	ROS	CORAL DRIFT ROSE
<b>GROUND COVERS</b>		
	ANN	ANNUALS

No.	REVISIONS	DATE	BY

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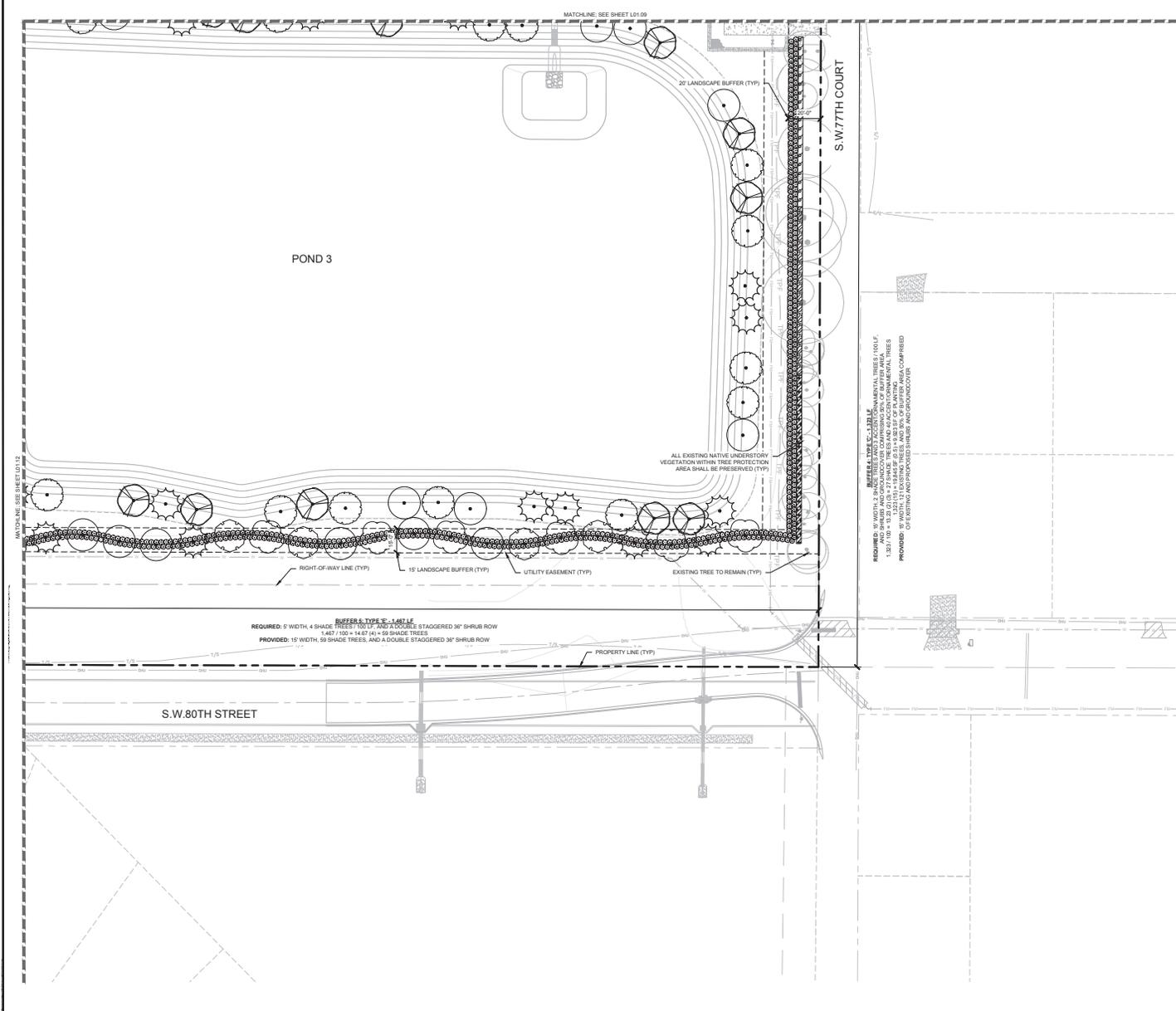
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 ZONE ID: 2401000001  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 LICENSED PROFESSIONAL:  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER:  
 6867721  
 DATE: 6/25/2025

**LANDSCAPE PLAN**

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 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

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SHEET NUMBER  
**L01.12**



L01.13 SYMBOL KEY

SYMBOL	CODE	COMMON NAME
<b>SHADE TREES</b>		
	AF	FLORIDA FLAME RED MAPLE
	MB	BRACKEN'S BEAUTY SOUTHERN MAGNOLIA
	PO	DENSA SLASH PINE
	OP	PARK SIDE LIVE OAK
	TO	BALD CYPRESS
	UE	ALLEE LACEBARK ELM
	VO	SWEET MYRTINUM
<b>SHRUBS</b>		
	VO	SWEET MYRTINUM
<b>GROUND COVERS</b>		
	ARA	PERENNIAL PEANUT
	LR	LILYTURF
	TRA	CONFEDERATE JASMINE



KHA PROJECT NO. 2020-001  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MDD  
 DATE: 6/25/2025

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER: 6867721

**LANDSCAPE PLAN**

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 PREPARED FOR  
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No.	REVISIONS	DATE	BY

# LANDSCAPE SPECIFICATIONS

## 1. SCOPE OF WORK

- 1.1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THESE PLANS.
- 1.2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- 1.3. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.

## 2. PROTECTION OF EXISTING AND PROPOSED SITE ELEMENTS

- 2.1. PROTECT ALL EXISTING SITE ITEMS, ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- 2.2. MAINTAIN ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- 2.3. WHERE APPLICABLE, SUBMIT A DETAILED SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY STANDARDS UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FOOT STANDARD PLANS FOR ROAD AND SIDEWALK CONSTRUCTION, INDEX 102-800.
- 2.4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO CONSTRUCTION ACTIVITIES. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UTILITIES IS APPROPRIATE. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF, REPAIRING ANY DAMAGE RESULTING FROM THE WORK, THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING WHEN ANY CONFLICT BETWEEN UTILITIES AND THESE PLANS EXISTS PRIOR TO PLANTING.
- 2.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO PLANT MATERIAL EXISTING OR OTHERWISE. THIS SHALL INCLUDE COMPACTING AND SPILLING OF ANY DEleterious MATERIALS WITHIN THE OR PLINE OF EXISTING TREES TO REMAIN, PLANT MATERIAL KILLED OR DAMAGED THAT IS MISHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED WITH LIKE SIZE AND KIND TO THE SATISFACTION OF THE OWNER OR REGULATORY AGENCY AT THE COST TO THE CONTRACTOR.
- 2.6. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

## 3. SUBMITTALS

- 3.1. SUBMIT MATERIAL SAMPLES LISTED BELOW FOR APPROVAL ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.
 

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) GALLON PLASTIC BAG
SOIL MIXTURE	ONE (1) GALLON PLASTIC BAG
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
- 3.2. SUBMIT TESTING RESULTS OF SOIL MIXTURE AS PER SECTION BELOW.

## 4. PLANT MATERIALS

- 4.1. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS INDICATED ON THE DRAWINGS AND SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT AND OWNER.
- 4.2. ALL TREE SPECIES INSTALLED SHALL BE MATCHED IN SIZE AND SHAPE UNLESS NOTED OTHERWISE.
- 4.3. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY TO THE SITE, DURING PROGRESS OF THE WORK AND/OR AFTER COMPLETION. REJECTED PLANTS SHALL BE REMOVED AND REPLACED IMMEDIATELY.

## 5. DIGGING AND HANDLING

- 5.1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. NO PLANT MATERIAL SHALL BE HANDLED BY STEMS.

## 6. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 6.1. TEST EXISTING SOIL, AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
- 6.2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. SUBMIT SAMPLES AND pH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- 6.3. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRINSECS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A pH BETWEEN 5.5 AND 7.0.
- 6.4. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- 6.5. PLANT TREES IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE. AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

## 7. WATER

- 7.1. PROVIDE WATER NECESSARY FOR PLANTING ESTABLISHMENT AND MAINTENANCE. WATER SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL, OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS.
- 7.2. WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY JURISDICTIONAL AUTHORITY.

## 8. FERTILIZER

- 8.1. PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DERIVED.
- 8.2. FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## 9. MULCH

- 9.1. MIXTEN MULCH MATERIAL, AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF THREE (3) INCHES. CONTRACTOR SHALL CLEAR MULCH FROM WITHIN A SIX (6) INCH RADIUS AROUND TRUNK / STEM FLARE. MULCH SHALL BE SPREDED, UNDYED MELALEUCA, FLORIDA, OR MULCH.
- 9.2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH PLANTING BED AND TREE RING (SIX (6) FOOT DIAMETER MINIMUM).

## 10. CONTAINER GROWN STOCK

- 10.1. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN IN ITS CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

- 10.2. INSUFFICIENT OR POORLY STRUCTURED ROOT SYSTEMS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 10.3. ROOTS PLUS GROWER (RPO) PRODUCTS SHALL BE USED WHERE SPECIFIED.

## 11. MATERIALS LIST

- 11.1. ALL QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO ORDERING AND CONSTRUCTION.

## 12. FINE GRADING

- 12.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING WHICH CONSISTS OF FINAL FINISHED GRADING (INCLUDING ADDITIONAL SOIL MIXTURE AS NEEDED) FOR LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH-GRADED BY OTHERS. FINISH GRADE SHALL ACCOUNT FOR THICKNESS OF SOIL AND/OR MULCH DEPTH.
- 12.2. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

## 13. PLANTING PROCEDURES

- 13.1. CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. REMOVE ALL MORTAR, CEMENT, AND TOXIC MATERIAL FROM THE SURFACE OF ALL PLANT BEDS. DO NOT MIX THESE MATERIALS WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH CONDITIONS BREAK THE SOIL, WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- 13.2. LOCATE, MAINTAIN AND PROTECT ALL UTILITIES ABOVE AND BELOW GROUND. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 13.3. NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF CONFLICTS) EXIST WITH PROPOSED TREE LOCATIONS AND EXISTING OVERHEAD POWER LINES IN ACCORDANCE WITH SETBACK REQUIREMENTS OF FPL'S "RIGHT TREE, RIGHT PLACE" PROGRAM. CONSULT THE UNIVERSITY OF FLORIDA'S "TREES AND POWER LINES" WEBSITE FOR TREE SIZE CATEGORIES.
- 13.4. NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF CONFLICTS) EXIST WITH PROPOSED TREE LOCATIONS AND EXISTING / PROPOSED LIGHT POLES. TREES INSTALLED IN CONFLICT WITH LIGHT POLES ARE SUBJECT TO RELOCATION AT THE EXPENSE OF THE CONTRACTOR.
- 13.5. REMOVE ALL EXISTING AND IMPORTED DELETERIOUS MATERIAL AND SUB-GRADE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF SIX (6) OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO PROPER FINISHED GRADE AS NEEDED WITH CLEAN SOIL MIXTURE.
- 13.6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- 13.7. EXCAVATE ALL PLANTING PITS IN ACCORDANCE WITH LANDSCAPE DETAILS PROVIDED. TEST ALL THREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. IF POOR DRAINAGE EXISTS, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING. NO ALLOWANCES WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL ENSURE ELIMINATION OF ALL POCKETS AROUND ROOTS.
- 13.8. SET TREES AND SHRUBS STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK-FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER AFTER TAMPING.
- 13.9. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM UPPER ONE THIRD (1/3) OF ROOT BALLS.
- 13.10. ALL SUCKER GROWTH AND BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT IN ACCORDANCE WITH AFB'S BEST PRACTICES.
- 13.11. SHRUBS AND GROUND COVER PLANTS SHALL BE SPACED IN ACCORDANCE WITH THE DRAWINGS, LANDSCAPE DETAILS AND AS INDICATED ON THE PLANT LIST.
- 13.12. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN A PLUMB AND UPRIGHT POSITION.
- 13.13. FAILURE TO FOLLOW THE ABOVE PLANTING PROCEDURE SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

## 14. LAWN SODDING

- 14.1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING NECESSARY TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 14.2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS TO A MINIMUM DEPTH OF THREE (3) INCHES. PROVIDE ONE (1) INCH OF TOPSOIL ACROSS ENTIRE LAWN BED AND MIX THOROUGHLY INTO TOP FOUR (4) INCHES OF SOIL. TO BRING THE GROUND TO AN EVEN GRADE, THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL TOPSOIL, AND THE SURFACE SHALL BE REGRABBED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 14.3. HAND RAKE LAWN BED UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 14.4. SOO AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 14.5. THE SOO SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- 14.6. SOO PANELS SHALL BE LAD TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOO SHALL BE LAD UNIFORMLY ALONG THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS.
- 14.7. IMMEDIATELY FOLLOWING SOO LAYING, ROLL LAWN AREAS WITH A LAWN ROLLER AND THEN THOROUGHLY IRRIGATED.
- 14.8. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOO PANELS AND TO EVEN OUT GROUND SURFACES IN THE SOO, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOO AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOO AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 14.9. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOO PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOO SHALL BE STACKED SO AS NOT TO BE DAMAGED BY EXCESSIVE HEAT AND MOISTURE.
- 14.10. WITHIN THE CONTRACT LIMITS, PRODUCE AND MAINTAIN A DENISE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARE AND RE-SODDING OF ALL LACEDS, GUMMERS OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRABBING IF NECESSARY).

## 15. CLEANUP

- 15.1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, REMOVE ALL MATERIAL EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

## 16. PLANT MATERIAL MAINTENANCE

- 16.1. ALL PLANT MATERIAL SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS STAKING OR REPAIRING) THAT SUPPORTS GROWTH AS NECESSARY TO INSURE HEALTHY AND VIGOROUS GROWING CONDITIONS BY THE CONTRACTOR UPON DELIVERING TO THE SITE AND UNTIL FINAL ACCEPTANCE OF WORK.

## 17. FINAL INSPECTION AND ACCEPTANCE OF WORK

- 17.1. ALL PLANT BEDS SHALL BE KEPT FREE OF WEEDS UNTIL FINAL ACCEPTANCE OF WORK. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE PER MANUFACTURER RECOMMENDATIONS (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- 17.2. PROVIDE WATERING/IRRIGATION SCHEDULE FOR ALL PLANT MATERIAL TO OWNER. OBSERVE ALL APPLICABLE WATERING

RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

- 17.3. UPON COMPLETION OF ALL WORK, A FINAL INSPECTION SHALL BE PERFORMED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE. ALL PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT SHALL BE INSPECTED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY ITEMS FOUND NOT TO BE IN COMPLIANCE SHALL BE CORRECTED AT THE COST OF THE CONTRACTOR.

## 18. WARRANTY

- 18.1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION AND ACCEPTANCE OF THE WORK BY THE OWNER AND/OR OWNER'S REPRESENTATIVE.
- 18.2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION THROUGHOUT THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. ANY REPLACED PLANT MATERIAL SHALL BE SUBJECT TO A NEW ONE (1) YEAR WARRANTY.
- 18.3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHALL VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

## 19. ABBREVIATIONS

- |     |                           |
|-----|---------------------------|
| B&B | BALLED AND BURLAPPED      |
| BR  | BARE ROOT                 |
| CA  | CAULIFLOWER               |
| CT  | CLEAR TRUNK               |
| DI  | DIAMETER AT BREAST HEIGHT |
| FG  | FIELD GROWN               |
| GW  | GUY TO GROUND             |
| HO  | HARDENED OFF              |
| OA  | OVERALL HEIGHT            |
| RPL | ROOTS PLUS GROWER         |

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
 ©2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 1700 SE 17TH STREET, SUITE 200A, FT. LAUDERDALE, FLORIDA 33404  
 PHONE: 954.344.3000  
 WWW.KIMLEY-HORN.COM | REGISTRY NO. 2518

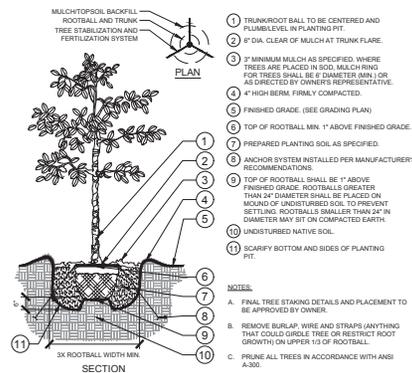
REGISTERED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867121  
 CHECKED BY: MDD  
 DATE: 6/25/2025

# LANDSCAPE SPECIFICATIONS

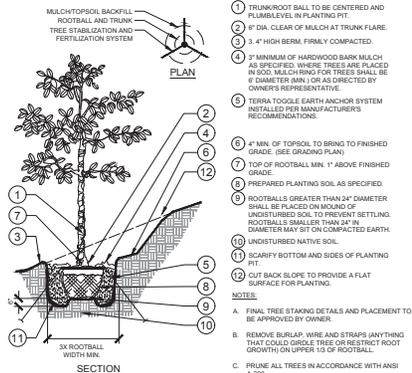
MELODY PRESERVE  
 PREPARED FOR  
 ON TOP OF THE WORLD  
 COMMUNITIES, L.L.C.  
 FLORIDA  
 MARION COUNTY  
 MELODY PRESERVE - IMPROVEMENT PLANS

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

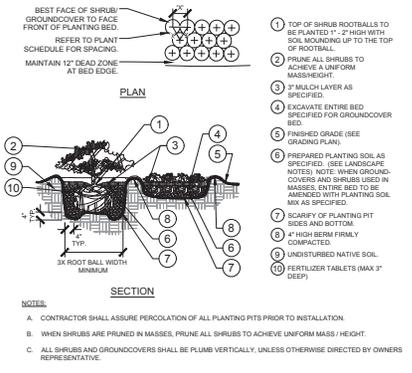
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**L02.01**



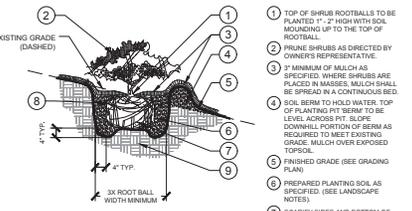
**1 TREE PLANTING**  
SECTION PLAN  
L02.02  
SAR-202-248-010-02



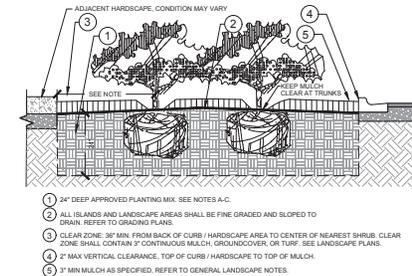
**2 TREE PLANTING ON A SLOPE**  
SECTION PLAN  
L02.03  
SAR-202-248-010-03



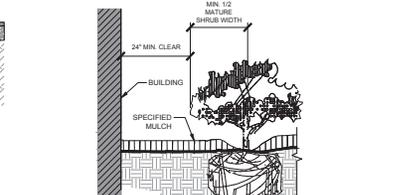
**3 SHRUB/GROUNDCOVER PLANTING**  
SECTION PLAN  
L02.04  
SAR-202-248-010-04



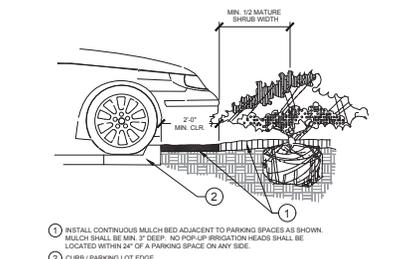
**4 SHRUB/GROUNDCOVER PLANTING ON A SLOPE**  
SECTION  
L02.05  
SAR-202-248-010-05



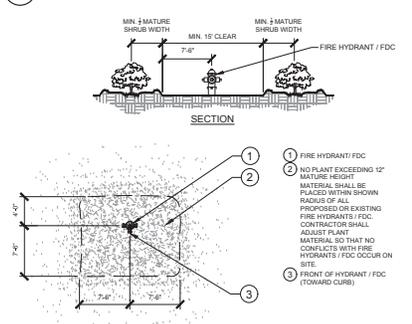
**5 PLANTED PARKING LOT ISLANDS/MEDIANS**  
SECTION  
L02.06  
SAR-202-248-010-06



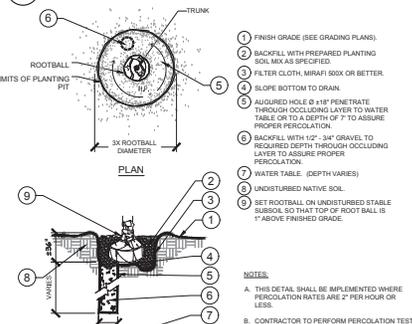
**6 PLANTINGS ADJACENT TO BUILDINGS**  
SECTION  
L02.07  
SAR-202-248-010-07



**7 PARKING SPACE/CURB PLANTING**  
SECTION  
L02.08  
SAR-202-248-010-08



**8 SHRUB PLANTING AT FIRE HYDRANT / FIRE DEPARTMENT CONNECTION**  
SECTION PLAN  
L02.09  
SAR-202-248-010-09



**9 POOR DRAINAGE CONDITION**  
SECTION PLAN  
L02.10  
SAR-202-248-010-10

No.	REVISIONS	DATE

**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
1700 W. 17TH STREET SUITE 200A - FLORIDA 33411  
PREPARED BY: JACOB J. HORN  
WWW.KIMLEY-HORN.COM TEL: 813.949.2500

LICENSED PROFESSIONAL  
DATE: JUNE 2025  
SCALE: AS SHOWN  
DESIGNED BY: KHA  
DRAWN BY: KHA  
CHECKED BY: KHA  
DATE: 6/25/2025

**LANDSCAPE DETAILS**

**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
MARION COUNTY  
FLORIDA

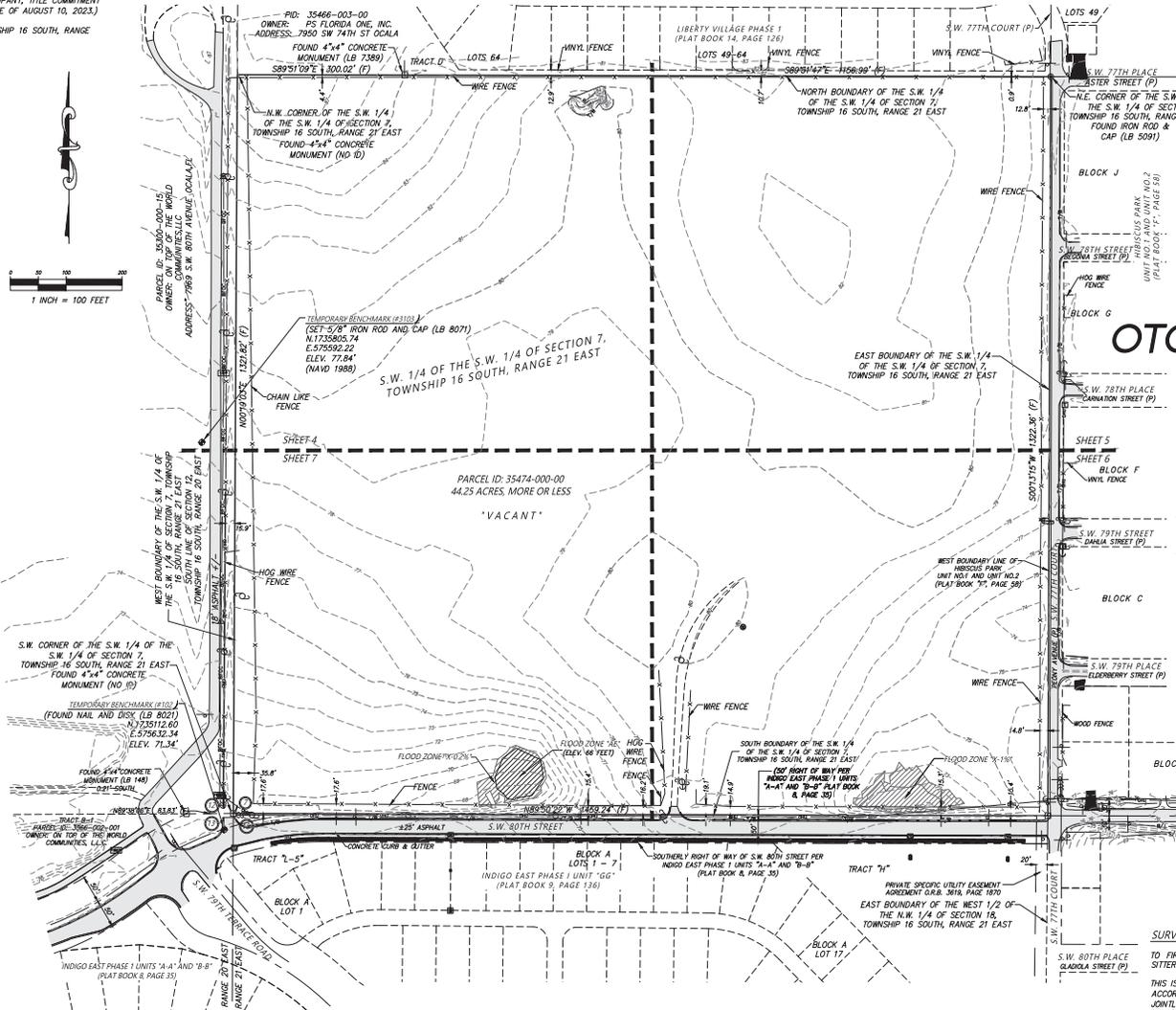
CALL 2 BUSINESS DAYS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



**LEGAL DESCRIPTION:**  
 (PER FIRST AMERICAN NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT FILE NUMBER: 110070008, BEARING AN EFFECTIVE DATE OF AUGUST 10, 2023.)  
 THE S.W. 1/4 OF THE S.W. 1/4 OF SECTION 7, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA.

**PROPERTY DATA:**  
 PARCEL ID: 35474-000-00  
 ADDRESS: 7875 S.W. 80TH STREET, OCALA, FL  
 OWNER: MEC OCALA LLC

- LEGEND AND ABBREVIATIONS:**
- MO OR LESS MORE OR LESS
  - EL. ELEVATION
  - LB LICENSED BUSINESS
  - NO. NUMBER
  - LS LAND SURVEYOR
  - LD IDENTIFICATION
  - ORB OFFICIAL RECORDS BOOK
  - G CENTERLINE
  - R RADIUS
  - L ARC LENGTH
  - Δ DELTA (CENTRAL ANGLE)
  - (P) PLAT MEASURE
  - (D) DEED MEASURE
  - (C) CALCULATED MEASURE
  - C.D. CHORD LENGTH
  - C.B. CHORD BEARING
  - P.O.C. POINT ON CURVE
  - P.O.L. POINT ON LINE
  - P.O.F. POINT OF COMPOUND CURVATURE
  - P.R.C. POINT OF REVERSE CURVATURE
  - P.C. POINT OF CURVATURE
  - P.T. POINT OF TANGENCY
  - P.I. POINT OF INTERSECTION
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.B. POINT OF BEGINNING
  - FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
  - DIP DUCTILE IRON PIPE
  - PVC POLYVINYL CHLORIDE
  - CMP CORRUGATED METAL PIPE
  - RCP REINFORCED CONCRETE PIPE
  - HOPE HIGH DENSITY POLYETHYLENE
  - NAVD NORTH AMERICAN VERTICAL DATUM
  - NGVD NATIONAL GEODETIC VERTICAL DATUM
  - PLAT BOOK (PAGES)
  - ORB OFFICIAL RECORDS BOOK
  - R/W RIGHT OF WAY
  - ESMT EASEMENT
  - SEC SECTION
  - FND FOUND
  - REC RECEIVED
  - CCR CERTIFIED CORNER RECORD
  - RLS REGISTERED LAND SURVEYOR
  - CM CONCRETE MONUMENT
  - IRC IRON ROD AND CAP
  - IR IRON ROD
  - IP IRON PIPE
  - CLF CHAIN LINK FENCE
  - CG CURB INLET GRATE
  - CB CATCH BASIN
  - SM STORM MANHOLE
  - ME MITERED END SECTION
  - YD YARD DRAINAGE
  - SM SANITARY MANHOLE
  - SC SANITARY CLEANOUT
  - EM ELECTRIC METER
  - ER ELECTRIC RISER BOX
  - CR CABLE TELEPHONE RISER BOX
  - TR TELEPHONE RISER BOX
  - UR UTILITY RISER
  - WELL
  - WS WATER SPIGOT
  - ICV IRRIGATION CONTROL VALVE
  - WM WATER METER
  - WV WATER VALVE
  - PH FIRE HYDRANT
  - BF BACK FLOW PREVENTER
  - ACF AIR CONDITIONER PAD
  - GV GAS VALVE
  - GM GAS METER
  - GLM GAS LINE MARKER
  - CU CONCRETE UTILITY POLE
  - MU METAL UTILITY POLE
  - WU WOOD UTILITY POLE
  - UP UTILITY POLE GUY ANCHOR
  - LL LIGHT POLE
  - SL SPOT/GROUND LIGHT
  - ET ELECTRIC TRANSFORMER
  - FV FIBER OPTIC VAULT
  - MF METLAND FLAG
  - HI HIGH
  - BOLLARD
  - FP FLAG POLE
  - MB MALE BOX
  - LINE FENCE
  - WIRE FENCE
  - OVERHEAD UTILITY
  - UNDERGROUND FIBER OPTIC
  - STORM DRAINAGE LINE
  - FOUND 3/8" IRON ROD & CAP (AS NOTED)
  - FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
  - FOUND NAIL & DISC (AS NOTED)



**SURVEY NOTES:**

- DATE OF FIELD SURVEY: SEPTEMBER 13, 2023.
- BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VERTICAL REFERENCE STATION NETWORK.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12083C0682, AND PANEL NO. 12083C0701, EFFECTIVE DATE OF APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA WITH REDUCED FLOOD HAZARD, AND ZONE "AE" AN AREA WITHIN THE 100 YEAR FLOOD HAZARD AREA. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
- NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION. THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON, (SUBURBAN) 1 FOOT IN 7,500 FEET.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR REPRODUCED BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM JCH CONSULTING GROUP, INC. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD. PUBLIC RECORDS NOT SEARCHED BY JCH CONSULTING GROUP, INC.
- ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.

SHEET 1 OF 7  
 ONE IS NOT COMPLETE WITHOUT THE OTHERS

**HORIZONTAL CONTROL:**  
 THE FLORIDA STATE PLANE COORDINATES SHOWN HEREON ARE NORTH AMERICAN DATUM OF 1983 (1980 ADJUSTMENT), FLORIDA WEST ZONE, AS DERIVED FROM GPS STATIC SURVEY AND TRADITIONAL TRAVERSE METHODS AND ESTABLISHED FROM MARION COUNTY, FLORIDA CORNER MONUMENTS "SARVET" AND "YORK", PURSUANT TO SECTION 177.151, FLORIDA STATUTES.  
 THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA - FOUND 4" x 4" CONCRETE MONUMENT WITH NAIL & DISC STAMPED 1 2 11 12.  
 NORTHING: 1740427.4009 FEET  
 EASTING: 570281.5670 FEET  
 CHORD: 29776.6260 FT  
 CHORD BEARING: 82°16'07.2360" W  
 CONVERGENCE: -00°07'36.71"  
 SCALE: 0.9999994  
 FOUND STAINLESS STEEL ROD STAMPED 1086 1980  
 NORTHING: 1745775.8082 FEET  
 EASTING: 543817.8667 FEET  
 LATITUDE: 29°08'08.2974" N  
 LONGITUDE: 82°21'06.9138" W  
 CONVERGENCE: -00°16'16.64"  
 SCALE: 0.9999994

**ALTA/NSPS LAND TITLE SURVEY FOR:  
 OTOW COMMUNITIES, L.L.C.  
 A PORTION OF SECTION 7, TOWNSHIP 16  
 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA**

**NOTES CORRESPONDING TO SCHEDULE B-II ITEMS:**  
 ABSTRACT INFORMATION WAS PROVIDED BY FIRST AMERICAN NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT FILE NUMBER: 110070008, BEARING AN EFFECTIVE DATE OF AUGUST 10, 2023. THE FOLLOWING SCHEDULE B-II ITEMS ARE NOTED RELATIVE TO PARCEL:

- ITEM 7:** EAST IN FAVOR OF SUNTER ELECTRIC RECORDED IN OFFICIAL RECORDS BOOK 354, PAGE 644 AND OFFICIAL RECORDS BOOK 6736, PAGE 1973. AFFECTS THE SUBJECT PARCEL AND IS NOT DEPICTED HEREON.
- ITEM 8:** RIGHTS OF ALL PERSONS CLAIMING BY, THROUGH OR UNDER SAME, OR WRIT OF RESERVATION, GRANT OR LEASE OF THE OIL, GAS AND/OR MINERALS LYING WITHIN THE LANDS DESCRIBED IN SCHEDULE "A", AS CONTAINED AND RECORDED APRIL 3, 1945 IN DEED 296, PAGE 396, RECORDED APRIL 12, 1945 IN DEED BOOK 261, PAGE 190, RECORDED FEBRUARY 4, 1948 IN DEED BOOK 280, PAGE 180, RECORDED MARCH 16, 1948 IN DEED BOOK 281, PAGE 47, RECORDED JUNE 15, 1948 IN DEED BOOK 281, PAGE 292, RECORDED MARCH 30, 1948 IN DEED BOOK 276, PAGE 292, RECORDED JANUARY 2, 1950 IN DEED BOOK 293, PAGE 65, RECORDED MAY 29, 1950 IN DEED BOOK 293, PAGE 209, RECORDED JANUARY 8, 1962 IN BOOK 94, PAGE 269, NOTICE OF CLAIM RECORDED NOVEMBER 12, 1968 IN BOOK 370, PAGE 713, RECORDED JULY 22, 1974 IN BOOK 644, PAGE 8, ASSIGNMENT RECORDED JULY 25, 1985 IN BOOK 1266, PAGE 1616, ASSIGNMENT RECORDED JULY 10, 1986 IN BOOK 1360, PAGE 1374, AND RECORDED APRIL 5, 2000 IN BOOK 2773, PAGE 102, FOR WHICH THE RIGHT OF ENTRY AND EXPLOITATION HAS BEEN RELEASED AND BARRED PURSUANT TO SECTION 704.05, FLORIDA STATUTES, AND CHAPTER 712, FLORIDA STATUTES. AFFECTS THE SUBJECT PARCEL AND IS NOT DEPICTED HEREON.

**SURVEYOR'S CERTIFICATE:**  
 TO FIRST AMERICAN NATIONAL TITLE INSURANCE COMPANY, STEARNS WEAVER MILLER WEISSLER ALHADEFF & SITTERSON, P.A., ON TOP OF THE WORLD COMMUNITIES, L.L.C., A FLORIDA LIMITED LIABILITY COMPANY, THAT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 10, 11, 13, 14, 16, 17, 18, 19, AND 20, OF TABLE A THEREOF.  
 THE FIELD WORK WAS COMPLETED: SEPTEMBER 13, 2023  
 DATE OF FINAL REVISION:

CHRISTOPHER J. HOWSON SIGNATURE DATE  
 FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553  
 THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS				
FB/PS	DATE	DRW/EN	CHK	
	08/20/24	M.A.	TOPOGRAPHIC AND TREE SURVEY	CJH
	04/03/25	---	ADDITIONAL TOPOGRAPHIC SURVEY	CJH

**JCH CONSULTING GROUP, INC.**  
 LAND DEVELOPMENT • SURVEYING & MAPPING  
 PLANNING • ENVIRONMENTAL • G.I.S.  
 4800 W. INTERNATIONAL AVENUE, SUITE 100, OCALA, FLORIDA 34773  
 PHONE: (352) 493-1482 • FAX: (352) 272-8333 • WWW.JCHGROUP.COM  
 1700 W. STATE STREET, SUITE 100, GAITHERSBURG, MD 20878

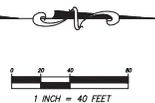
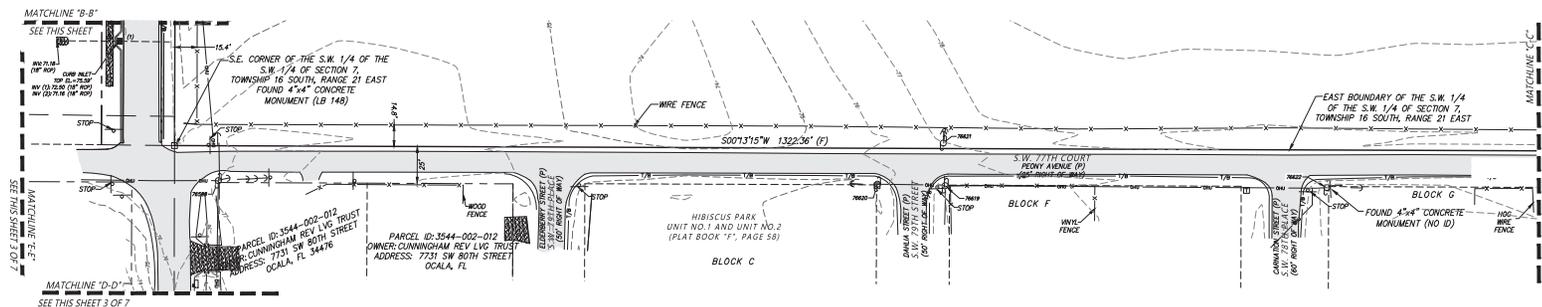
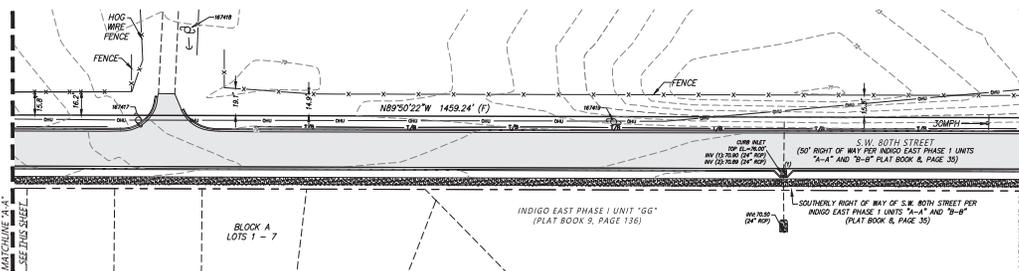
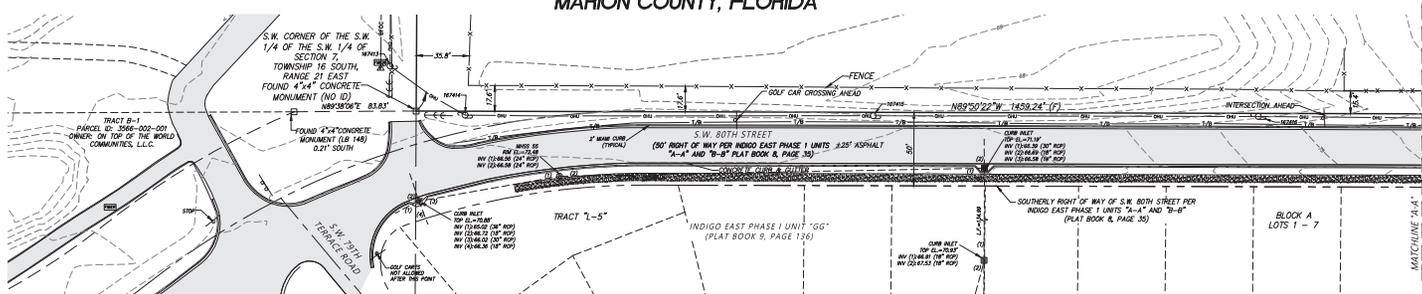
LOCATED IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA

ALTA/NSPS LAND TITLE SURVEY  
 -FOR-  
 ON TOP OF THE WORLD COMMUNITIES, L.L.C.

FB/PS	FIELD DATE	JOB NO.	1 OF 7
---	08/13/2023	15020TOPOR	
DRAWING DATE	BY	APPROVED	SCALE
04/11/2025	MA	CJH	1" = 100'

ALTA/NSPS LAND TITLE SURVEY FOR:  
**OTOW COMMUNITIES, L.L.C.**  
 A PORTION OF SECTION 7, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA

SHEET 2 OF 7  
 ONE IS NOT COMPLETE WITHOUT THE OTHERS



Drawing name: 217440115020 2024 - 01 - Project: Olow Communities (Blue Form & Single North) (Lump Sum) (Private) (20230908.dwg) SHEET 2 - 04/11/2025 11:37am by: maac

REVISIONS

FB/PG	DATE	DRAWN	REVISION	CHKD
	08/20/24	M.A.	TOPOGRAPHIC AND TREE SURVEY	C.J.H.
	04/03/25	---	ADDITIONAL TOPOGRAPHIC SURVEY	C.J.H.



**JCH**  
 CONSULTING GROUP, INC.  
 LAND DEVELOPMENT • SURVEYING & MAPPING  
 PLANNING • ENVIRONMENTAL • GIS  
 2535 17TH STREET, OCALA FLORIDA 34771  
 PHONE: 352.266.3400 FAX: 352.275.2333 www.jchgroup.com  
 01/20/2016-01/20/2025

LOCATED IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 21 EAST

MARION COUNTY, FLORIDA

ALTA/NSPS LAND TITLE SURVEY  
 -FOR-  
 ON TOP OF THE WORLD COMMUNITIES, L.L.C.

FB/PG	FIELD DATE	JOB NO.	
---	09/13/2023	15020TOPOR	
DRAWING DATE	BY	APPROVED	SCALE
04/11/2025	MA	C.J.H.	1" = 40'

2 OF 7

ALTA/NSPS LAND TITLE SURVEY FOR:  
**OTOW COMMUNITIES, L.L.C.**  
 A PORTION OF SECTION 7, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA

SHEET 4 OF 7  
 ONE IS NOT COMPLETE WITHOUT THE OTHERS

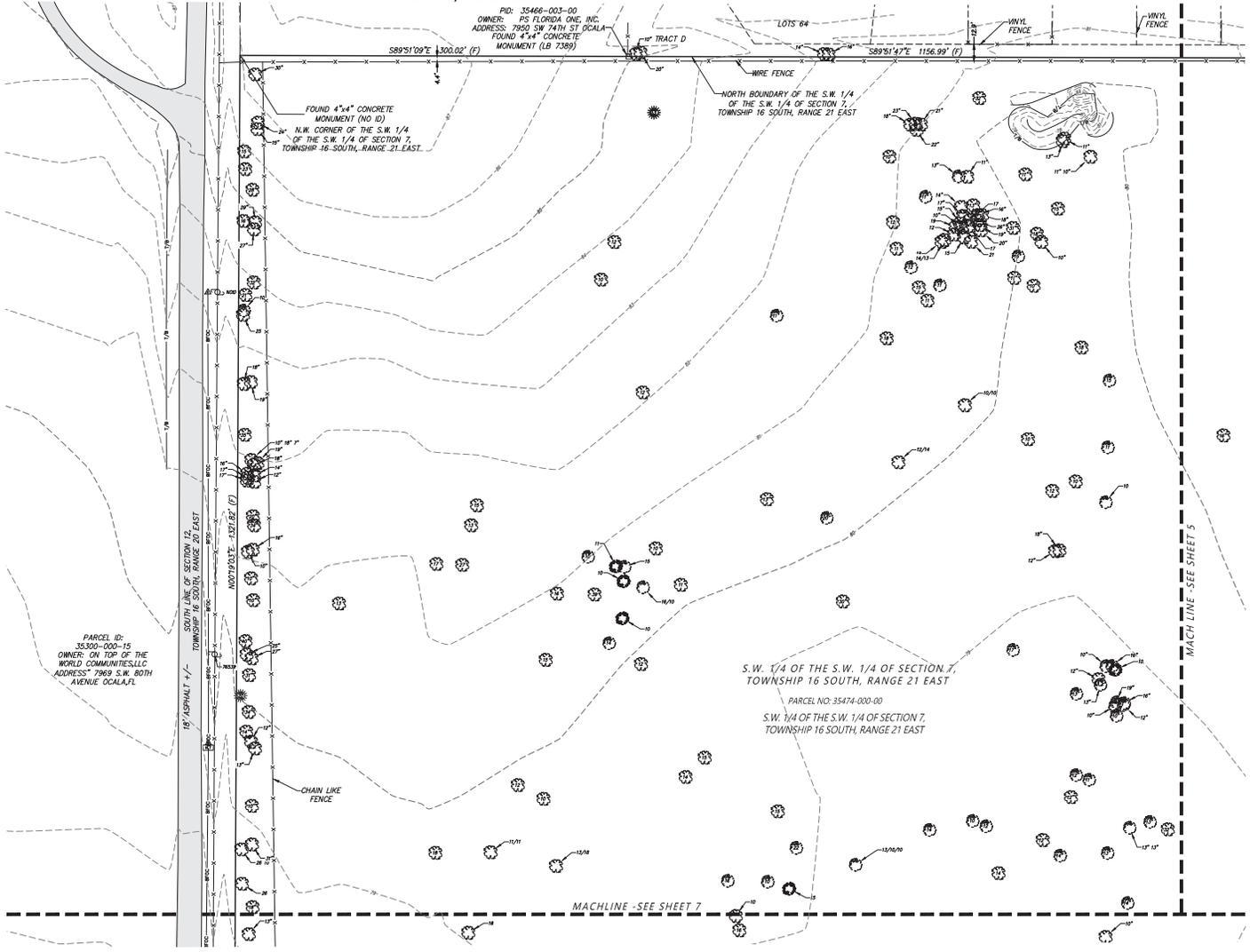
LEGEND AND ABBREVIATIONS:

- EL. ELEVATION
- LB. LICENSED BUSINESS
- NO. NUMBER
- LS. LAND SURVEYOR
- ID. IDENTIFICATION
- ORB. OFFICIAL RECORDS BOOK
- C. CENTERLINE
- R. RADIUS
- L. ARC LENGTH
- Δ. DELTA (CENTRAL ANGLE)
- (P). PLAT MEASURE
- (D). DEED MEASURE
- (C). CALCULATED MEASURE
- C.L. CHORD LENGTH
- C.B. CHORD BEARING
- P.O.C. POINT ON CURVE
- P.O.L. POINT ON LINE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.R.C. POINT OF REVERSE CURVATURE
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- P.I. POINT OF INTERSECTION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- FEMA. FEDERAL EMERGENCY MANAGEMENT AGENCY
- DIP. DUCTILE IRON PIPE
- PVC. POLYVINYL CHLORIDE
- CMP. CORRUGATED METAL PIPE
- ROP. REINFORCED CONCRETE PIPE
- HDPE. HIGH DENSITY POLYETHYLENE
- NAVD. NORTH AMERICAN VERTICAL DATUM
- NGVD. NATIONAL GEODETIC VERTICAL DATUM
- FB. PLAT BOOK
- ORB. OFFICIAL RECORDS BOOK
- PG(S). PAGE(S)
- R/W. RIGHT OF WAY
- ESMT. EASEMENT
- SEC. SECTION
- FND. FOUND
- REC. RECOVERED
- CCR. CERTIFIED CORNER RECORD
- RLS. REGISTERED LAND SURVEYOR
- CM. CONCRETE MONUMENT
- IRC. IRON ROD AND CAP
- IR. IRON ROD
- IP. IRON PIPE
- CLF. CHAIN LINK FENCE
- CG. CURB INLET GRATE
- CB. CATCH BASIN
- SM. STORM MANHOLE
- ME. MITERED END SECTION
- TD. TARD DRAINAGE
- SM. SANITARY MANHOLE
- SC. SANITARY CLEANOUT
- EM. ELECTRIC MANHOLE
- EM. ELECTRIC METER
- ER. ELECTRIC RISER BOX
- CR. CABLE TELEVISION RISER BOX
- TR. TELEPHONE RISER BOX
- UR. UTILITY RISER
- W. WELL
- WS. WATER SPIGOT
- ICV. IRRIGATION CONTROL VALVE
- WM. WATER METER
- WV. WATER VALVE
- FH. FIRE HYDRANT
- BFP. BACK FLOW PREVENTER
- ACP. AIR CONDITIONER PAD
- GV. GAS VALVE
- GM. GAS METER
- AL. GAS LINE MARKER
- CU. CONCRETE UTILITY POLE
- MU. METAL UTILITY POLE
- WU. WOOD UTILITY POLE
- UA. UTILITY POLE GUY ANCHOR
- LR. LIGHT RIG
- SL. SPOT/GROUND LIGHT
- ET. ELECTRIC TRANSFORMER
- FOV. FIBER OPTIC VAULT
- MF. METAL FLAG
- SI. SIGN
- B. BOLLARD
- FP. FLAG POLE
- M. MAILBOX
- LB. LINE BREAK
- WF. WIRE FENCE
- OU. OVERHEAD UTILITY
- UC. UNDERGROUND UTILITY
- UF. UNDERGROUND FIBER OPTIC
- SD. STORM DRAINAGE LINE
- . FOUND 5/8" IRON ROD & CAP (AS NOTED)
- ⊠. FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
- ⊙. FOUND NAIL & DISC (AS NOTED)



TREE LEGEND  
 (SIZE DENOTED INSIDE SYMBOL)

- BAY
- CAMPHOR
- CEDAR
- CREPE MYRTLE
- CITRUS
- CHERRY
- CHINABERRY
- CYPRESS
- DOGWOOD
- ELM
- GUM
- HICKORY
- HOLLY
- IRONWOOD
- LAUREL OAK
- LIVE OAK
- MAGNOLIA
- MAPLE
- MIMOSA
- MISC
- MULBERRY
- OAK
- PALM
- PECAN
- PINE
- SUGAR HACKBERRY
- SYCAMORE



Drawn by: J. P. (JCH) 10/20/24 M.A. (JCH) 04/03/25  
 Checked by: J. P. (JCH) 10/20/24 M.A. (JCH) 04/03/25  
 Date: 04/03/25  
 Scale: 1" = 40'  
 Project: ALTA/NSPS LAND TITLE SURVEY FOR OTOW COMMUNITIES, L.L.C. A PORTION OF SECTION 7, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA. SHEET 4 OF 7.

REVISIONS

FB/PS	DATE	DRAWN	REVISION	CHK
	08/20/24	M.A.	TOPOGRAPHIC AND TREE SURVEY	CH
	04/03/25		ADDITIONAL TOPOGRAPHIC SURVEY	CH

**JCH**  
 CONSULTING GROUP, INC.  
 LAND DEVELOPMENT • SURVEYING & MAPPING  
 PLANNING • ENVIRONMENTAL • G.I.S.  
 49-98 TERRY STREET, SUITE 100, PALM BACH, FLORIDA 32909  
 PHONE: (407) 492-1482 • FAX: (407) 492-1483 • WWW.JCHGROUP.COM  
 CDR.TERRY@JCH.COM • CDR.MIKE@JCH.COM • CDR.JULIE@JCH.COM

LOCATED IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 21 EAST

MARION COUNTY, FLORIDA

ALTA/NSPS LAND TITLE SURVEY  
 -FOR-  
 ON TOP OF THE WORLD COMMUNITIES, L.L.C.

FB/PS		FIELD DATE		JOB NO. 15020TOPOR	4 OF 7
---		09/13/2023			
DRAWING DATE	BY	APPROVED	SCALE		
04/11/2025	MA	CH	1" = 40'		







**HORIZONTAL CONTROL:**

THE FLORIDA STATE PLANE COORDINATES SHOWN HEREON ARE NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), FLORIDA WEST ZONE AS DERIVED FROM GPS STATIC SURVEY AND TRADITIONAL TRAVERSE METHODS AND ESTABLISHED FROM MARION COUNTY, FLORIDA CONTROL MONUMENTS "AR1852" AND "V086", PURSUANT TO SECTION 177.151, FLORIDA STATUTES.

THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA - FOUND 4" x 4" CONCRETE MONUMENT WITH NAIL & DISK STAMPED T 11 12.  
 NORTHING: 1740427.4009 FEET  
 EASTING: 570381.5670 FEET  
 LATITUDE: -89°17'16.02210" N  
 LONGITUDE: -82°16'07.23060" W  
 CONVERGENCE: -00°07'50.7"  
 SCALE: 0.99994961

FOUND STAINLESS STEEL ROD STAMPED V086 1990  
 NORTHING: 1745775.8082 FEET  
 EASTING: 543817.8807 FEET  
 LATITUDE: -89°18'08.21974" N  
 LONGITUDE: -82°21'06.91361" W  
 CONVERGENCE: -00°10'16.8"  
 SCALE: 0.99995564

**LEGEND AND ABBREVIATIONS:**

±	MORE OR LESS
EL	ELEVATION
LB	LICENSED BUSINESS
NO.	NUMBER
LS	LAND SURVEYOR
ID.	IDENTIFICATION
ORB	OFFICIAL RECORDS BOOK
C	CENTERLINE
R	RADIUS
L	ARC LENGTH
Δ	DELTA (CENTRAL ANGLE)
CD	CHORD LENGTH
C.B.	CHORD BEARING
PCC	POINT ON CURVE
POL	POINT ON LINE
PCC	POINT OF CURVATURE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PI	POINT OF INTERSECTION
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
DIP	DUCTILE IRON PIPE
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
NAVD	NORTH AMERICAN VERTICAL DATUM
NGVD	NATIONAL GEODETIC VERTICAL DATUM
PL	PLAT BOOK
(F)	FIELD MEASURE
ORB	OFFICIAL RECORDS BOOK
P(S)	PARCELS
R/W	RIGHT OF WAY
ESMT	EASEMENT
SD	SECTION
ND	FOUND
REC	RECOVERED
CCR	CORNER RECORD
RLS	REGISTERED LAND SURVEYOR
CM	CONCRETE MONUMENT
IRC	IRON ROD AND CAP
IP	IRON PIPE
CLP	CHAIN LINK FENCE
■	SET 4"x4" CONCRETE MONUMENT (LB 8071)
●	FOUND 4"x4" CONCRETE MONUMENT (LB 148)
●	FOUND 1/2" IRON ROD & CAP (0 MOORHEAD)
○	CONTROL/BENCHMARK AS DESCRIBED
⊕	CURB INLET GRATE
⊕	CATCH BASIN
⊕	STORM MANHOLE
⊕	SANITARY MANHOLE
⊕	SANITARY CLEANOUT
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC METER
⊕	ELECTRIC RISER BOX
⊕	CABLE TELEVISION RISER BOX
⊕	TELEPHONE RISER BOX
⊕	UTILITY RISER
⊕	WELL
⊕	WATER SPOUT
⊕	IRRIGATION CONTROL VALVE
⊕	WATER METER
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	AIR CONDITIONER PAD
⊕	VALVE
⊕	GAS METER
⊕	GAS LINE MARKER
⊕	CONCRETE UTILITY POLE
⊕	METAL UTILITY POLE
⊕	UTILITY POLE GUY ANCHOR
⊕	WIRE POLE
⊕	SPOT/GROUND LIGHT
⊕	ELECTRIC TRANSFORMER
⊕	VAULT
⊕	WETLAND FLAG
⊕	BOLLARD
⊕	FLAG
⊕	MALBOX
---	LINE BREAK
-x-	FENCE LINE AS NOTED
-o-o-	OVERHEAD UTILITY LINE
-w-w-	UNDERGROUND FIBER OPTIC LINE
-u-u-	UNDERGROUND WATER LINE
-s-s-	APPROXIMATE TOP OF BANK
-v-v-	APPROXIMATE TOE OF SLOPE
-e-e-	EXISTING CONTOUR

**REVISIONS**

FB/PG	DATE	DRAWN	REVISION	CHKD
	07/20/20	CH	ADDRESS STAFF COMMENTS	CJH
	01/31/24	CH	ADD EASEMENTS	CJH
	03/27/25	M.A.	ADD CALESA SALES CENTER ASBLT	CJH

**JCH**  
 CONSULTING GROUP, INC.  
 LAND DEVELOPMENT - SURVEYING & MAPPING  
 PLANNING - ENVIRONMENTAL - C.E.S.  
 25 SW 15TH STREET, OCALA FLORIDA 34703  
 PHONE: 352.266.1481 FAX: 352.275.3333 www.jchgroup.com

LOCATED IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST

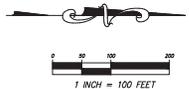
PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY  
 -FOR-  
 ON TOP OF THE WORLD COMMUNITIES, L.L.C.

MARION COUNTY, FLORIDA

**VERTICAL CONTROL:**

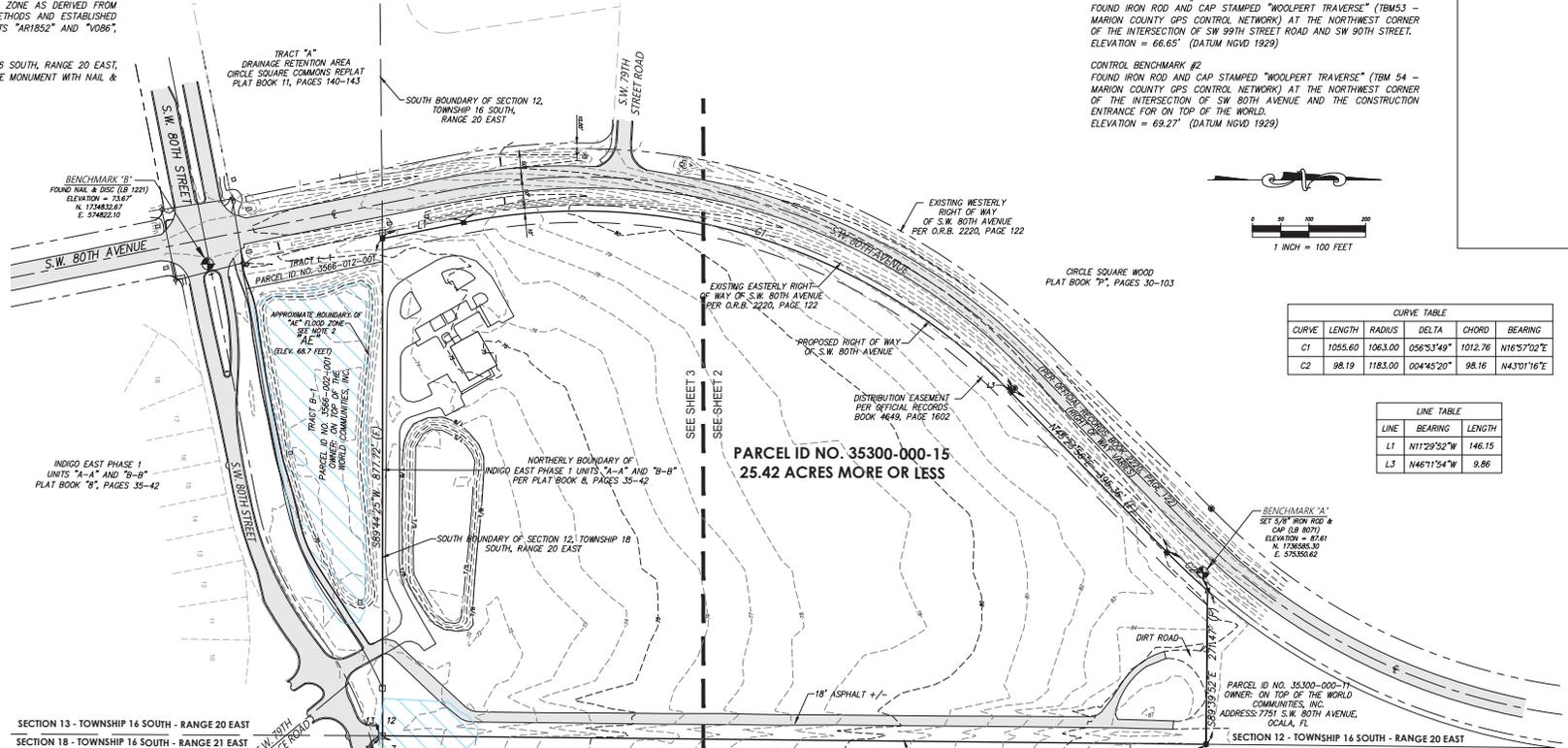
CONTROL BENCHMARK #1  
 FOUND IRON ROD AND CAP STAMPED "WOLPERT TRAVERSE" (TBM53 - MARION COUNTY GPS CONTROL NETWORK) AT THE NORTHWEST CORNER OF THE INTERSECTION OF SW 99TH STREET ROAD AND SW 90TH STREET. ELEVATION = 66.65' (DATUM NGVD 1929)

CONTROL BENCHMARK #2  
 FOUND IRON ROD AND CAP STAMPED "WOLPERT TRAVERSE" (TBM 54 - MARION COUNTY GPS CONTROL NETWORK) AT THE NORTHWEST CORNER OF THE INTERSECTION OF SW 80TH AVENUE AND THE CONSTRUCTION ENTRANCE FOR ON TOP OF THE WORLD. ELEVATION = 69.27' (DATUM NGVD 1929)



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	1055.60	1063.00	056°53'49"	1012.76 N16°57'02"E
C2	98.19	1183.00	004°45'20"	98.16 N43°01'16"E

LINE TABLE		
LINE	BEARING	LENGTH
L1	N11°29'52"W	146.15
L3	N46°11'54"W	9.86



**NOTES:**

- BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY BOUNDARY LINE OF INDIGO EAST 1 UNITS "A-A" AND "B-B", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGES 35 THROUGH 42, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, HAVING A BEARING OF S89°44'19"W.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBERS 1208308022, MARION COUNTY, FLORIDA, DATED AUGUST 28, 2008, THE PROPERTY DESCRIBED HEREON LIES IN FLOODS ZONE "X" AND FLOOD ZONE "AE" AND DOES LIE WITHIN THE 100 YEAR FLOOD PLAIN, BASED ON PRELIMINARY FLOOD INSURANCE RATE MAP 1208308022, APRIL 19, 2017 THE SUBJECT PARCEL DESCRIBED HEREON LIES IN FLOOD ZONE "X".
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, ADJOINERS OR OTHER INSTRUMENTS OF RECORD.
- UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AND ARE BASED ON GIS DATA.
- WETLAND AREAS WERE NOT ADDRESSED AS PART OF THIS SURVEY.
- THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON COMMERCIAL/HIGH RISK; 1 FOOT IN 10,000 FEET.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM JCH CONSULTING GROUP, INC.

**SHEET 1 OF 3**  
 ONE IS NOT COMPLETE WITHOUT THE OTHER  
**SEE SHEET 2 AND 3 FOR DETAIL OF TOPOGRAPHIC AND TREE INFORMATION**

**CERTIFIED TO:**  
 ON TOP OF THE WORLD COMMUNITIES, LLC

**SURVEYOR'S CERTIFICATE:**  
 I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE SJ17.050-052, FLORIDA ADMINISTRATIVE CODE.

CHRISTOPHER J. HONSON  
 FLORIDA LICENSED SURVEYOR & MAPPER NO. LS 6553

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FB/PG	DATE	FIELD DATE	JOB NO.
16-2/76, 77, 78, 79	03/02/17		15020R2
DRRAWING DATE	BY	APPROVED	SCALE
03/15/17	MA	CJH	1" = 100'

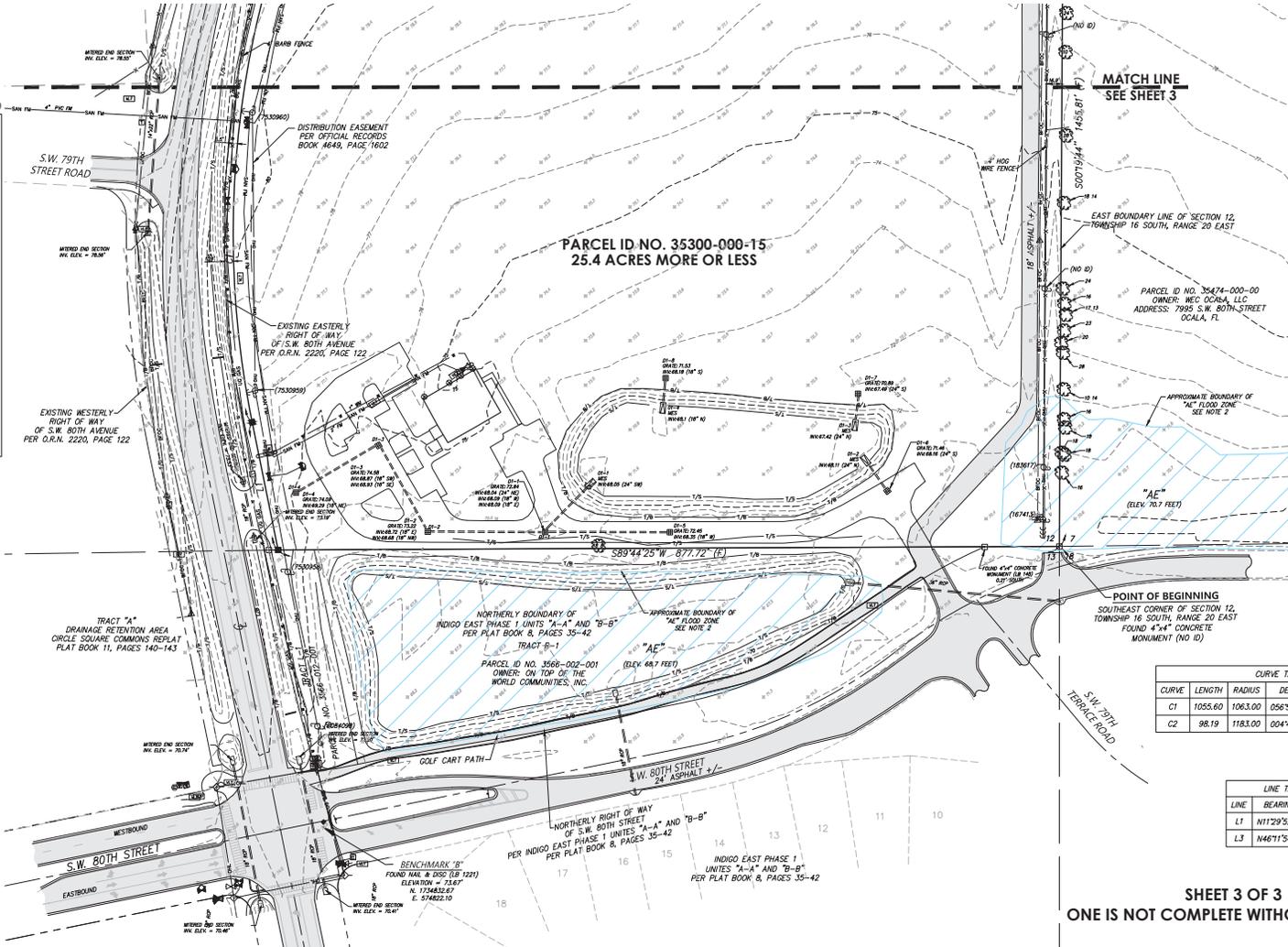
1 OF 3



**LEGEND AND ABBREVIATIONS:**

- ± MORE OR LESS
- EL ELEVATION
- LB LICENSED BUSINESS NUMBER
- LS LAND SURVEYOR
- LD IDENTIFICATION
- ORB OFFICIAL RECORDS BOOK
- C CENTERLINE
- R RADIUS
- L ARC LENGTH
- DELTA (CENTRAL ANGLE)
- C.D. CHORD LENGTH
- C.B. CHORD BEARING
- P.O.C. POINT ON CURVE
- P.O.C. POINT OF COMPOUND CURVATURE
- P.R.C. POINT OF REVERSE CURVATURE
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- P.I. POINT OF INTERSECTION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- DIP DUCTILE IRON PIPE
- PVC POLYVINYL CHLORIDE
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- NAVD NORTH AMERICAN VERTICAL DATUM
- NOID NATIONAL ORIGINIC VERTICAL DATUM
- PB PLAT BOOK
- FB FIELD MEASURE
- ORB OFFICIAL RECORDS BOOK
- PLG(S) PLAT(S)
- R.O.W. RIGHT OF WAY
- ESMT EASEMENT SECTION
- FND FOUND
- RCV RECOVERED
- CCR CERTIFIED CORNER RECORD
- RLS REGISTERED LAND SURVEYOR
- CM CONCRETE MONUMENT
- IRC IRON ROD AND CAP
- IR IRON ROD
- IP IRON PIPE
- CLF CHAIN LINK FENCE
- SET 4"x4" CONCRETE MONUMENT (LB 8071)
- FOUND 4"x4" CONCRETE MONUMENT (LB 148)
- FOUND 1/2" IRON ROD & CAP (O MOORHEAD)
- CONTROL/BENCHMARK AS DESCRIBED
- CURB INLET GRATE
- CATCH BASIN
- STORM MANHOLE
- SAINTY MANHOLE
- SANITARY CLEAFOUT
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC RISER BOX
- CABLE TELEVISION RISER BOX
- TELEPHONE RISER BOX
- UTILITY RISER
- WELL
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- AIR CONDITIONER PAD
- GAS VALVE
- GAS METER
- GAS LINE MARKER
- CONCRETE UTILITY POLE
- METAL UTILITY POLE
- WOOD UTILITY POLE
- UTILITY POLE BUY ANCHOR
- LIGHT POLE
- SPOTLIGHT LIGHT
- ELECTRIC TRANSFORMER
- VAULT
- METLAND FLAG
- SNOW
- ROLLAD
- FLAG POLE
- MAILBOX
- LINE BREAK
- FENCE LINE AS NOTED
- OVERHEAD UTILITY LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND WATER LINE
- APPROXIMATE TOP OF BANK
- APPROXIMATE 10% OF SLOPE
- EXISTING CONTOUR

- TREE LEGEND**  
(SIZE DENOTED INSIDE SYMBOL)
- CAMPHOR
  - CEDAR
  - CHERRY
  - CHINABERRY
  - CYPRESS
  - DOGWOOD
  - ELM
  - GUM
  - HICKORY
  - HOLLY
  - LAUREL OAK
  - LIVE OAK
  - MAGNOLIA
  - MAPLE
  - MIMOSA
  - MISC
  - OAK
  - PALM
  - PECAN
  - PINE TREE
  - SUGAR HACKBERRY
  - SYCAMORE



**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	1055.60	1063.00	056°3'49"	1012.76	N16°5'02"E
C2	98.19	1183.00	004°45'20"	98.16	N43°0'16"E

**LINE TABLE**

LINE	BEARING	LENGTH
L1	N11°29'52"W	146.15
L3	N46°11'54"W	9.66

**SHEET 3 OF 3**  
**ONE IS NOT COMPLETE WITHOUT THE OTHER**  
**SEE SHEET 1 OF 3 FOR DETAIL OF BOUNDARY, LEGAL NOTES**  
**SEE SHEET 2 OF 3 FOR DETAIL OF TOPOGRAPHIC AND TREE INFORMATION**

**REVISIONS**

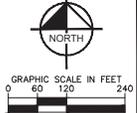
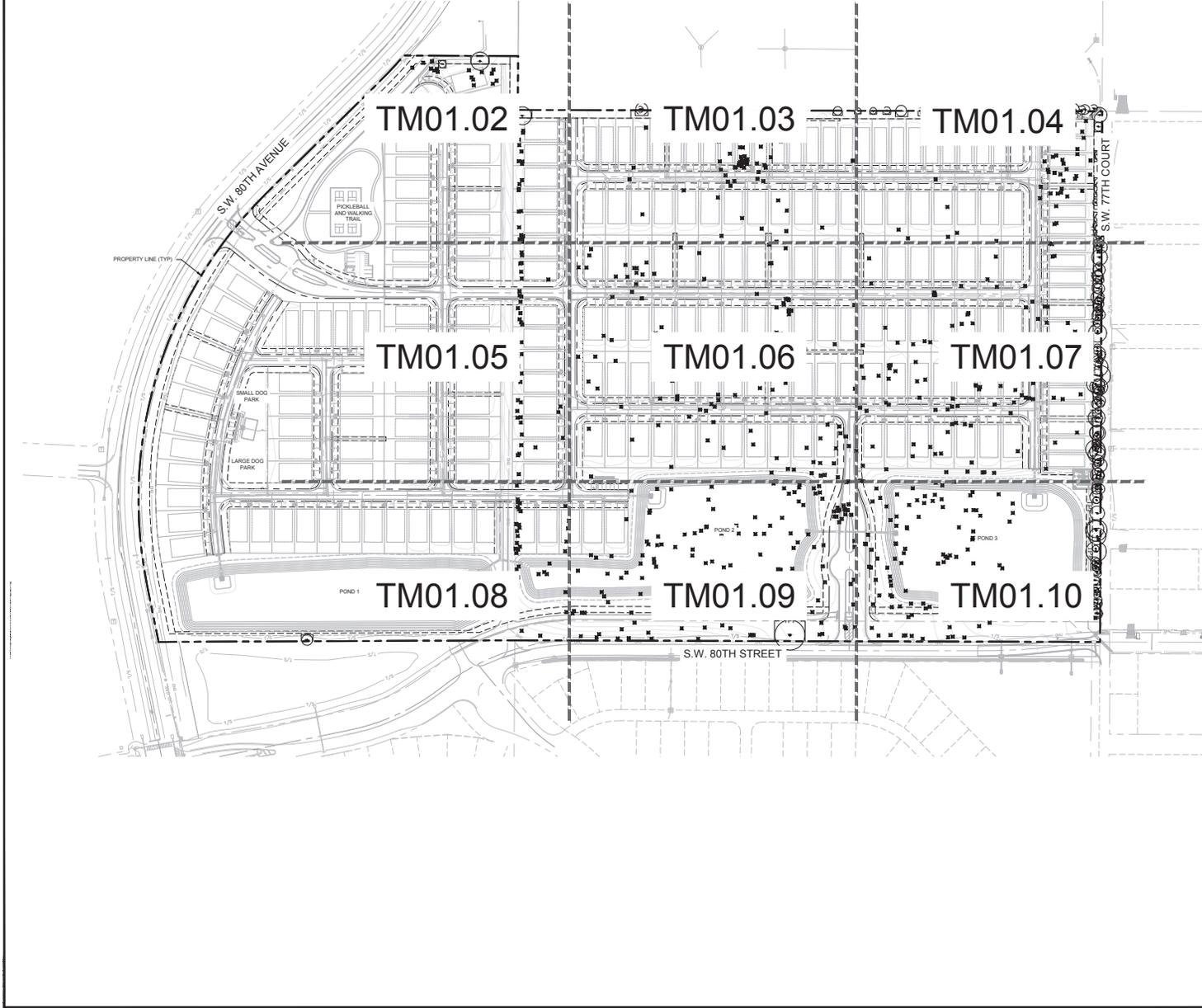
FB/PG	DATE	DRAWN	REVISION	CHKD
	01/31/24	CH	ADDED EASEMENTS	CH
	01/31/24	CH	ADD EASEMENTS	CH
	03/27/25	M.A.	ADD CALESA SALES CENTER ASBLAT	CH

**JCH**  
 CONSULTING GROUP, INC.  
 LAND DEVELOPMENT - SURVEYING & MAPPING  
 PLANNING - ENVIRONMENTAL - C.I.S.  
 25381 178TH STREET, OCALA FLORIDA 34771  
 PHONE: 352.466.3461 FAX: 352.275.2333 www.jchgroup.com

LOCATED IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
 MARION COUNTY, FLORIDA

PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY  
 -FOR-  
 ON TOP OF THE WORLD COMMUNITIES, L.L.C.

FB/PG	FIELD DATE	JOB NO.
16-2/76, 77, 78, 79	03/02/17	15020R2
DRAWING DATE	BY	APPROVED
03/16/17	MA	CH
SCALE		3 OF 3
1" = 60'		3



**SYMBOL KEY**

-  TREE TO BE REMOVED
-  TREE TO BE REMOVED (IN RESIDENTIAL LOT, DRN, OR PUBLIC RIGHT-OF-WAY)
-  TREE TO BE PRESERVED
-  OFF-SITE TREE TO BE PRESERVED
-  TPF — TREE PROTECTION FENCING

**NOTES**

1. SEE SHEET TM02.01 AND TM02.02 FOR TREE MITIGATION DATA TABLES AND CALCULATIONS.
2. SEE SHEET TM02.03 FOR TREE MITIGATION SPECIFICATIONS.

NO.	REVISIONS	DATE

**Kimley-Horn**  
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 1700 W. 17TH STREET, SUITE 200, A. FLORIDA, MIAMI, FL 33135  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35356

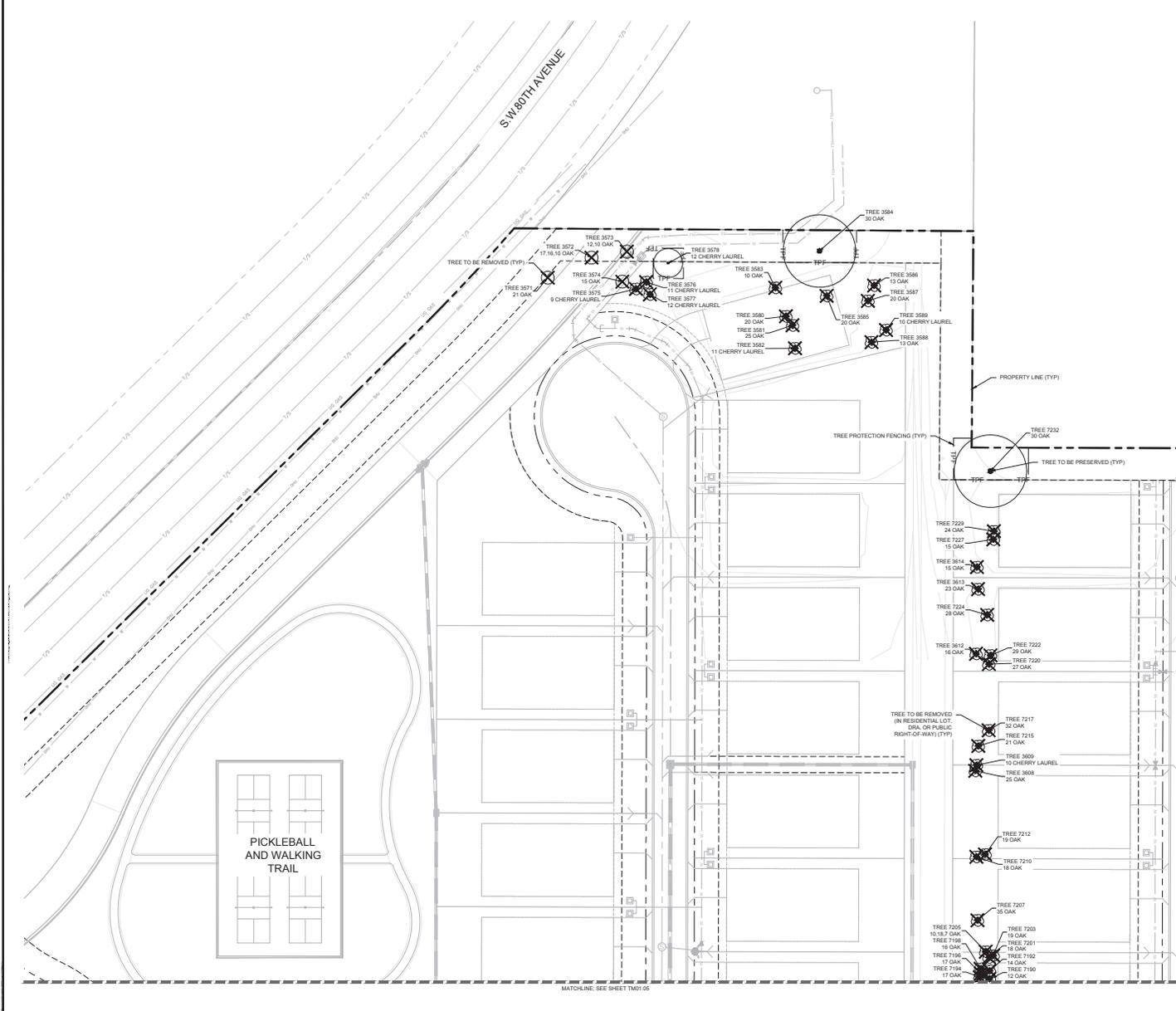
KHA PROJECT 24-248010	LICENSED PROFESSIONAL MATTHEW C. DUIN, P.E.
SCALE AS SHOWN JUNE 2025	FLORIDA LICENSE NUMBER 0887721
DESIGNED BY KHA	CHECKED BY KHA
DRAWN BY KHA	DATE 6/25/2025

**OVERALL TREE MITIGATION PLAN**

MELODY PRESERVE  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SHEET NUMBER  
**TM01.01**



**SYMBOL KEY**

- TREE TO BE REMOVED
- TREE TO BE REMOVED (IN RESIDENTIAL LOT, DRA. OR PUBLIC RIGHT-OF-WAY)
- TREE TO BE PRESERVED
- OFF-SITE TREE TO BE PRESERVED
- TPF — TREE PROTECTION FENCING

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE

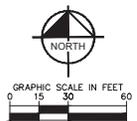
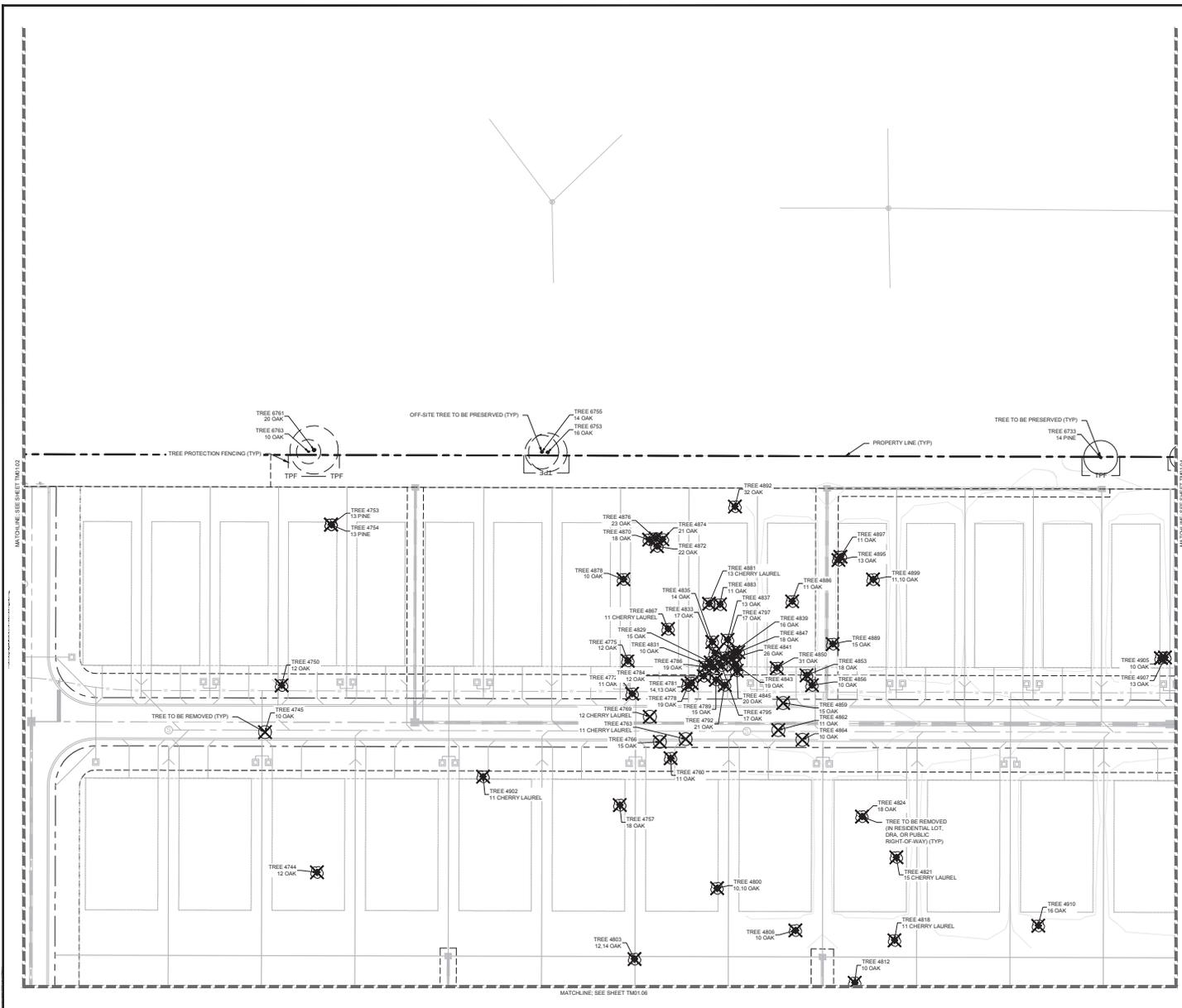
**Kimley-Horn**  
 ©2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 1700 SE 17TH STREET SUITE 3000 FLORIDA 33411  
 PHONE 888.484.3000  
 WWW.KIMLEY-HORN.COM REGISTERED PROFESSIONAL ENGINEER

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: NDA DATE: 6/25/2025

**TREE MITIGATION PLAN**

MELODY PRESERVE  
 PREPARED FOR  
 ON TOP OF THE WORLD COMMUNITIES, L.L.C.  
 FLORIDA  
 MARION COUNTY  
 MELODY PRESERVE - IMPROVEMENT PLANS

SHEET NUMBER  
**TM01.02**



**SYMBOL KEY**

- ⊗ TREE TO BE REMOVED
- ⊗ (with cross) TREE TO BE REMOVED (IN RESIDENTIAL LOT, DRA, OR PUBLIC RIGHT-OF-WAY)
- ⊗ (with circle) TREE TO BE PRESERVED
- ⊗ (with circle and cross) OFF-SITE TREE TO BE PRESERVED
- - - TREE PROTECTION FENCING

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 1700 SE 17TH STREET SUITE 2002, FLORIDA 33411  
 PHONE 407.483.3000  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 28398

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: MDD DATE: 6/25/2025

**TREE MITIGATION PLAN**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 FLORIDA  
 MARION COUNTY  
 MELODY PRESERVE - IMPROVEMENT PLANS

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

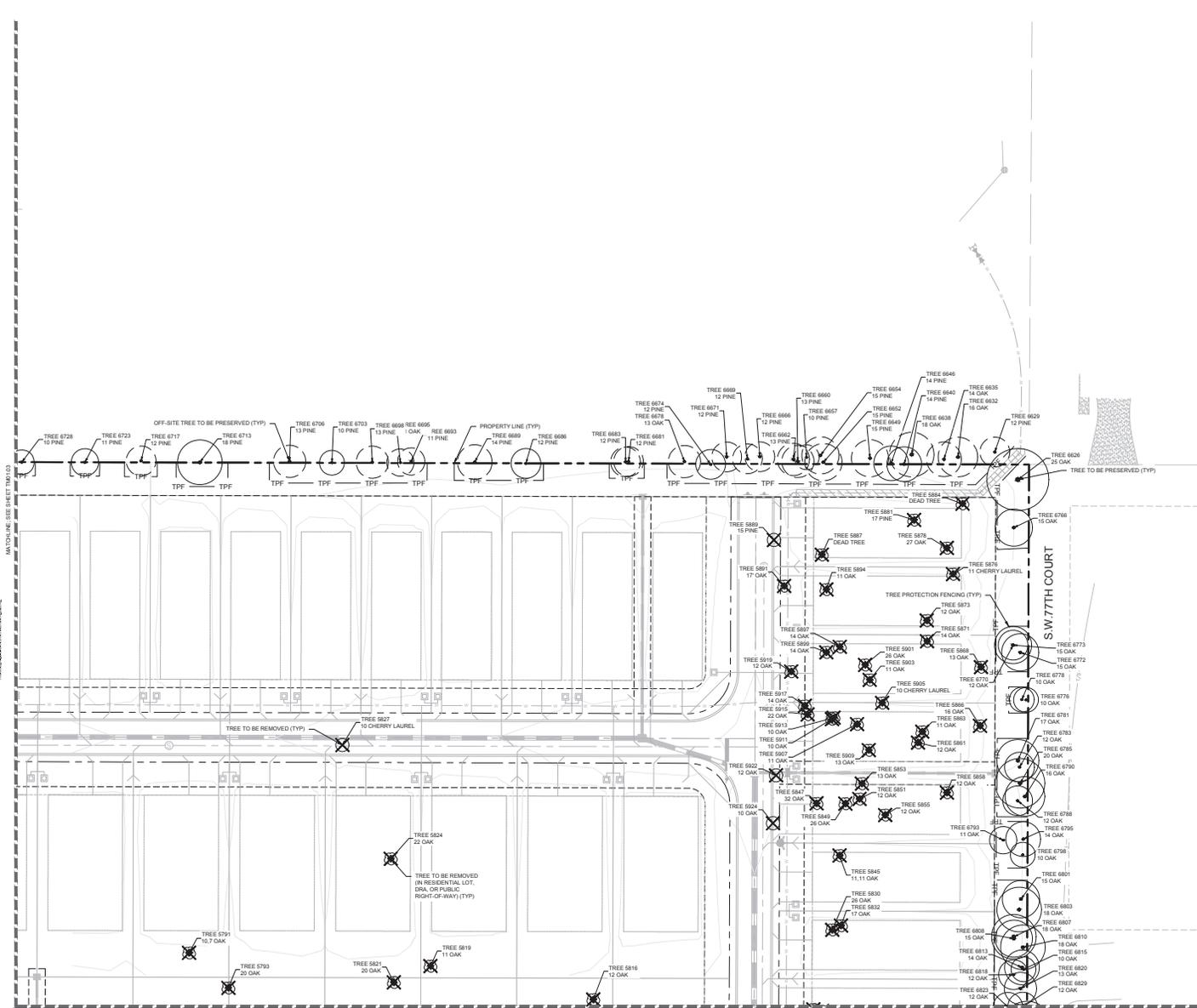
SHEET NUMBER  
**TM01.03**



No.	REVISIONS	DATE

**SYMBOL KEY**

- TREE TO BE REMOVED
- TREE TO BE REMOVED (IN RESIDENTIAL LOT, DRA. OR PUBLIC RIGHT-OF-WAY)
- TREE TO BE PRESERVED
- OFF-SITE TREE TO BE PRESERVED
- TREE PROTECTION FENCING



**Kimley-Horn**  
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 1700 SE 17TH STREET, SUITE 2000, FT. LAUDERDALE, FLORIDA 33411  
 PHONE: 954.483.3000  
 WWW.KIMLEY-HORN.COM | REGISTRY NO. 28398

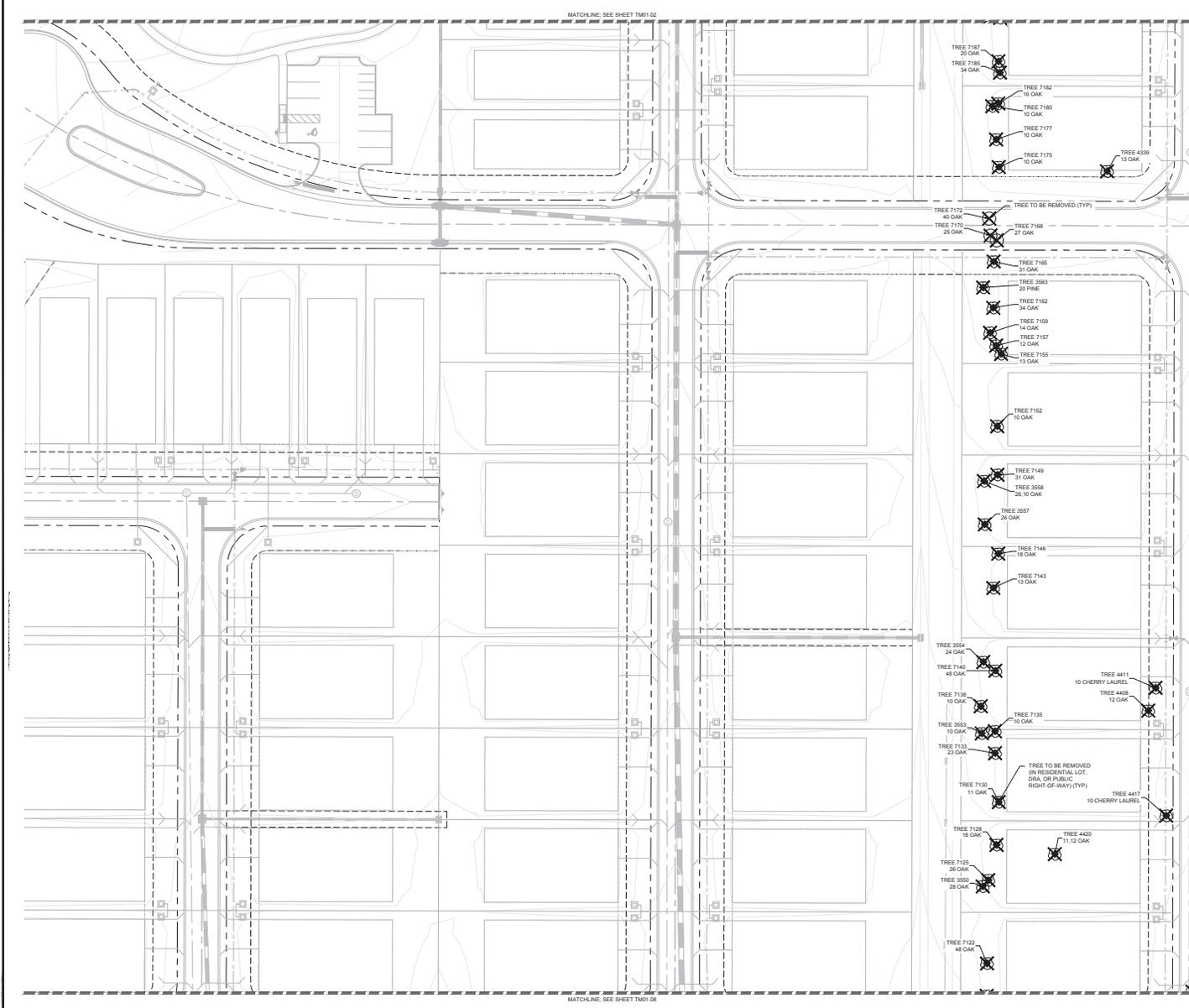
LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: MDD DATE: 6/25/2025

**TREE MITIGATION PLAN**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 FLORIDA  
 MARION COUNTY  
 MELODY PRESERVE - IMPROVEMENT PLANS

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.

SHEET NUMBER  
**TM01.04**



**SYMBOL KEY**

- TREE TO BE REMOVED
- TREE TO BE REMOVED (IN RESIDENTIAL LOT, DRA. OR PUBLIC RIGHT-OF-WAY)
- TREE TO BE PRESERVED
- OFF-SITE TREE TO BE PRESERVED
- TREE PROTECTION FENCING

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 1700 SE 17TH STREET, SUITE 2000, FLORIDA 33411  
 PHONE: 888.484.3000  
 WWW.KIMLEY-HORN.COM | FLORIDA REG. NO. 25396

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 NDA  
 NDA  
 NDD DATE: 6/25/2025

KHA PROJECT  
 ZONE 10  
 DATE: JUNE 2025  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: NDD DATE: 6/25/2025

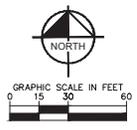
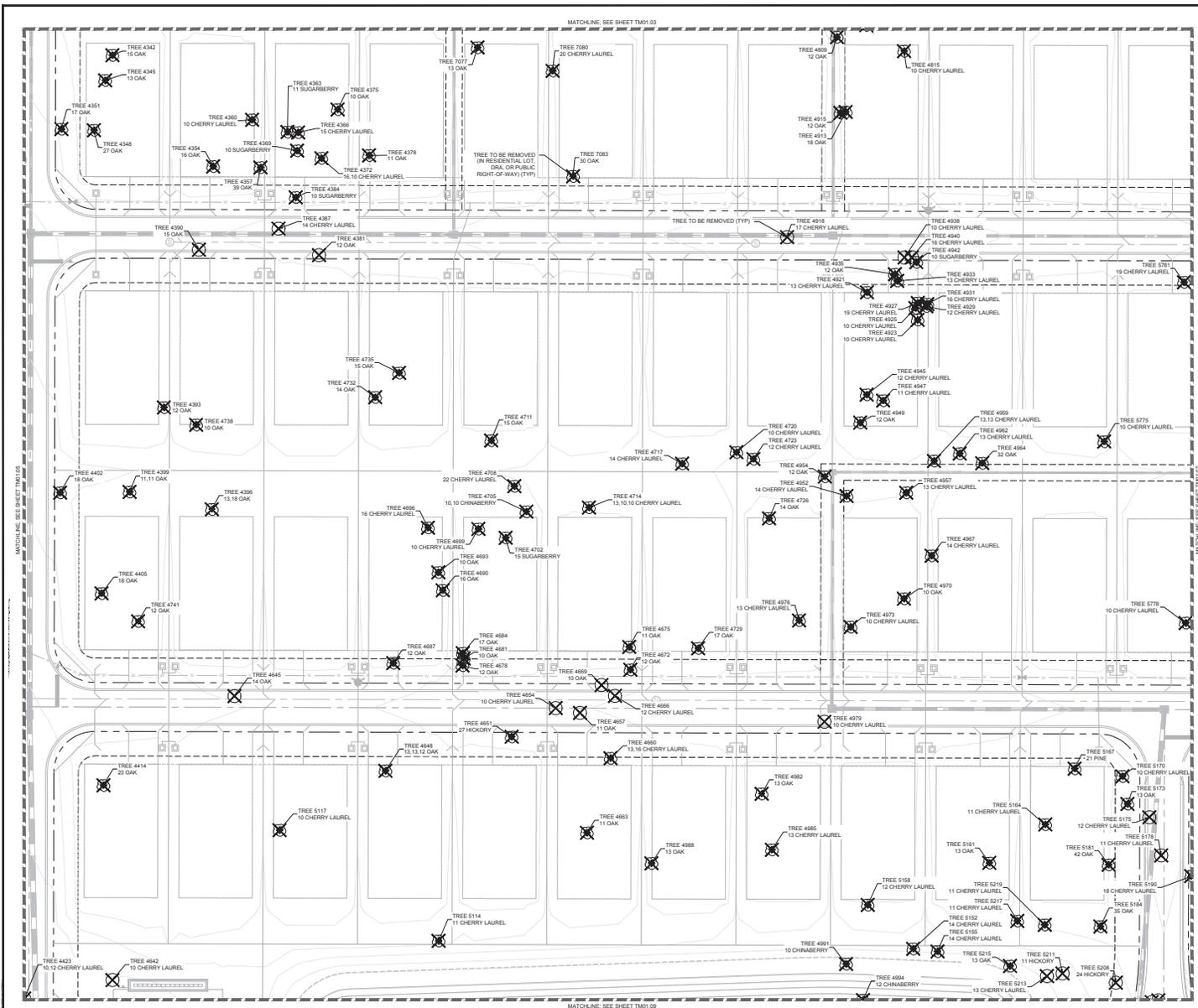
**TREE MITIGATION PLAN**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY  
 FLORIDA

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.

SHEET NUMBER  
**TM01.05**

MELODY PRESERVE - IMPROVEMENT PLANS



- SYMBOL KEY**
- TREE TO BE REMOVED
  - TREE TO BE REMOVED (IN RESIDENTIAL LOT, DRN, OR PUBLIC RIGHT-OF-WAY)
  - TREE TO BE PRESERVED
  - OFF-SITE TREE TO BE PRESERVED
  - TREE PROTECTION FENCING

No.	REVISIONS	DATE

**Kimley-Horn**

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1700 SE 17TH STREET, SUITE 3000, BOCA RATON, FLORIDA 33431  
WWW.KIMLEY-HORN.COM | TELEPHONE 561.996.2500

KIMLEY-HORN PROJECT NO.	2420210
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	KHA
CHECKED BY	MDD
DATE	6/25/2025

**TREE MITIGATION PLAN**

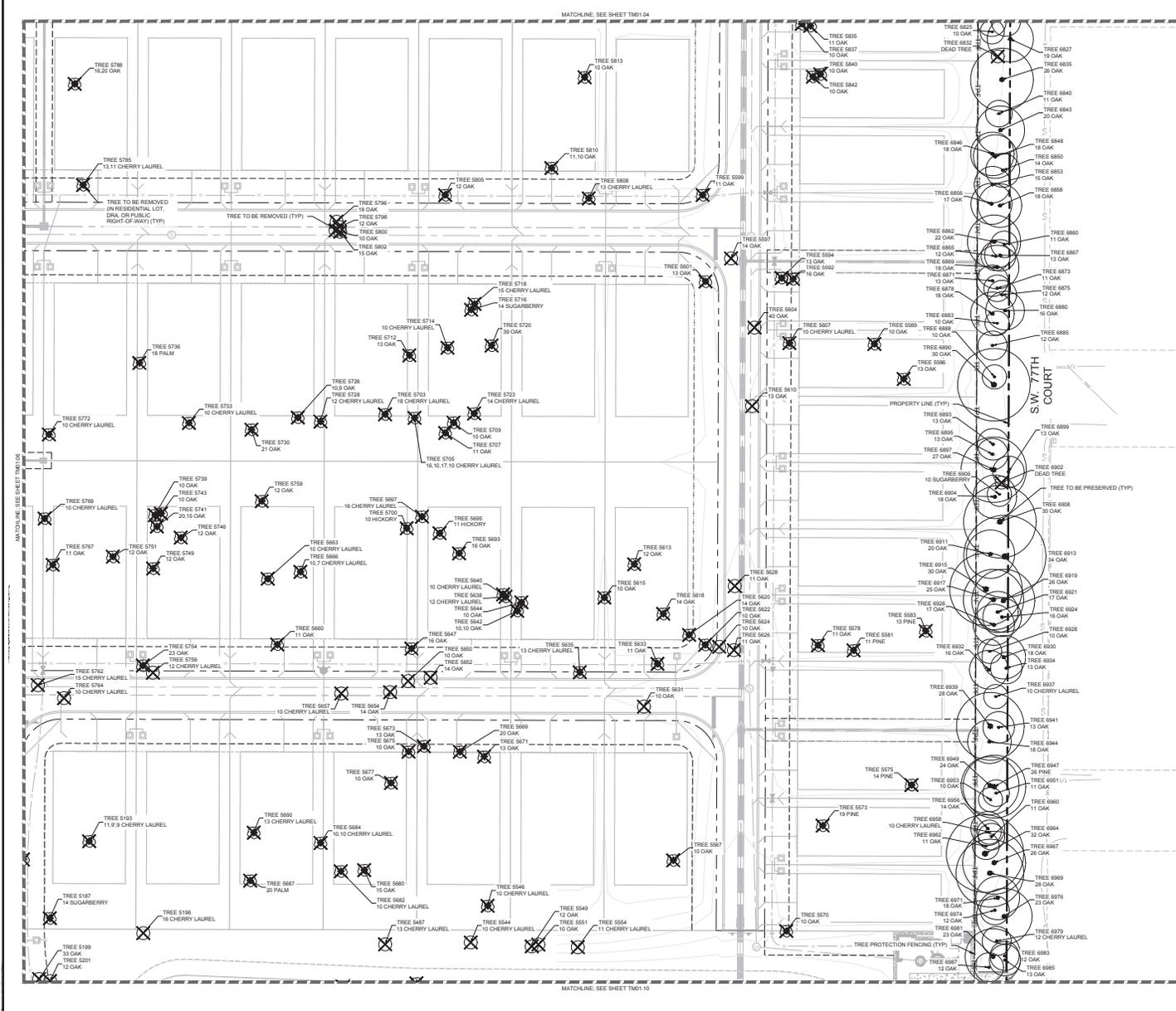
**MELODY PRESERVE**  
PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
FLORIDA  
MARION COUNTY

SHEET NUMBER  
**TM01.06**

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

MELODY PRESERVE - IMPROVEMENT PLANS



**SYMBOL KEY**

- TREE TO BE REMOVED
- TREE TO BE REMOVED IN RESIDENTIAL LOT, DRIVE OR PUBLIC RIGHT-OF-WAY
- TREE TO BE PRESERVED
- OFF-SITE TREE TO BE PRESERVED
- TREE PROTECTION FENCING

No.	REVISIONS	DATE

**Kimley-Horn**  
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 1700 SE 17TH STREET SUITE 2000, FORT LAUDERDALE, FLORIDA 33404  
 PHONE: 954.484.3000  
 WWW.KIMLEY-HORN.COM | REGISTRY NO. 25398

LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6867721  
 CHECKED BY: MDD  
 DATE: 6/25/2025

KHA PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
ZP202110	JUNE 2025	AS SHOWN	KHA	KHA	MDD

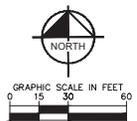
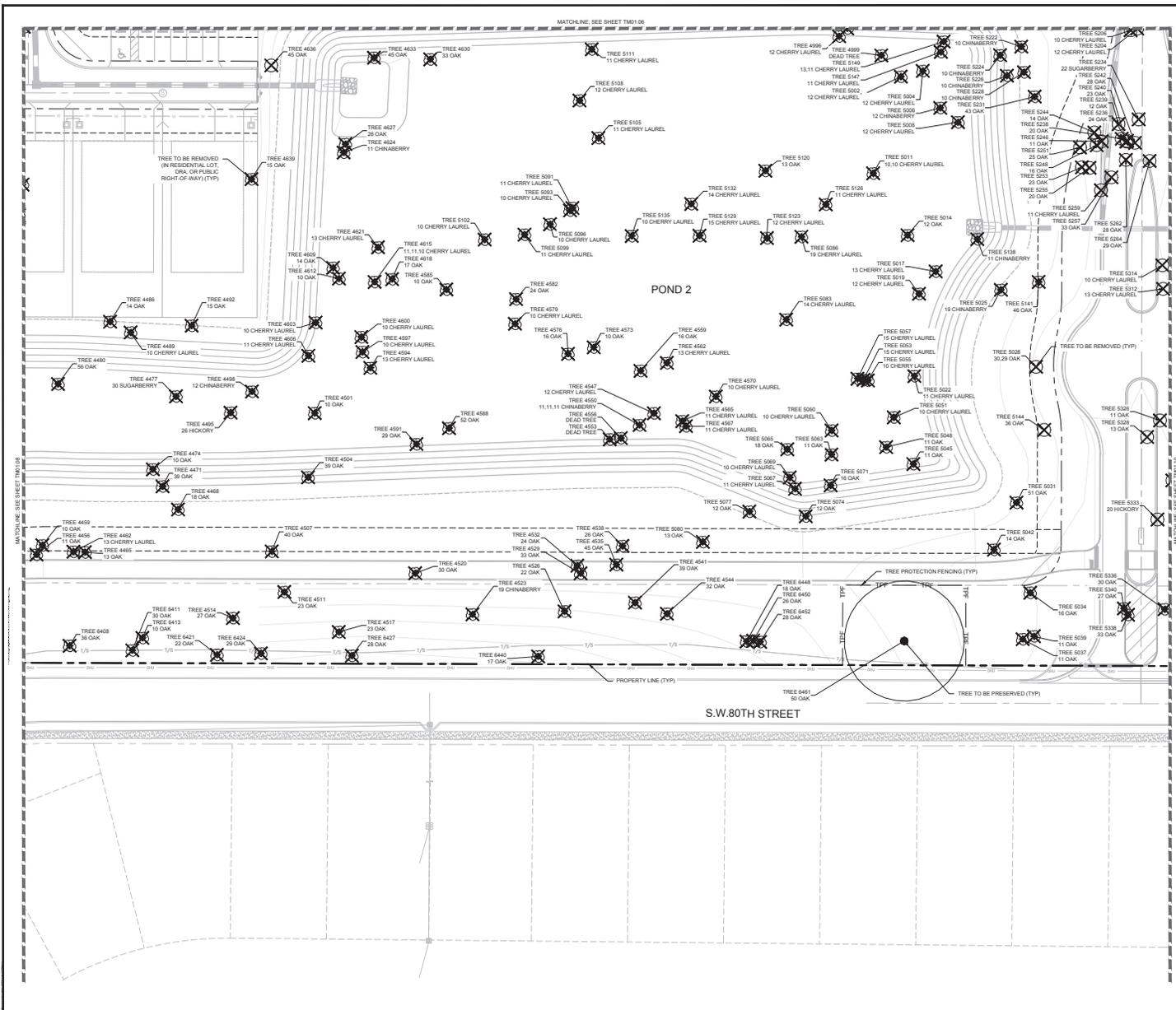
**TREE MITIGATION PLAN**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 FLORIDA  
 MARION COUNTY  
 MELODY PRESERVE - IMPROVEMENT PLANS

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
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SHEET NUMBER  
**TM01.07**





- SYMBOL KEY**
- TREE TO BE REMOVED
  - TREE TO BE REMOVED IN RESIDENTIAL LOT, DRA. OR PUBLIC RIGHT-OF-WAY
  - TREE TO BE PRESERVED
  - OFF-SITE TREE TO BE PRESERVED
  - TREE PROTECTION FENCING

No.	REVISIONS	DATE

**Kimley-Horn**  
 CONSULTING ENGINEERS AND ARCHITECTS, INC.  
 1700 SE 17TH STREET, SUITE 200, FORT LAUDERDALE, FLORIDA 33404  
 WWW.KIMLEY-HORN.COM | P. 0001 | TEL. 954.875.2500

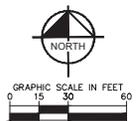
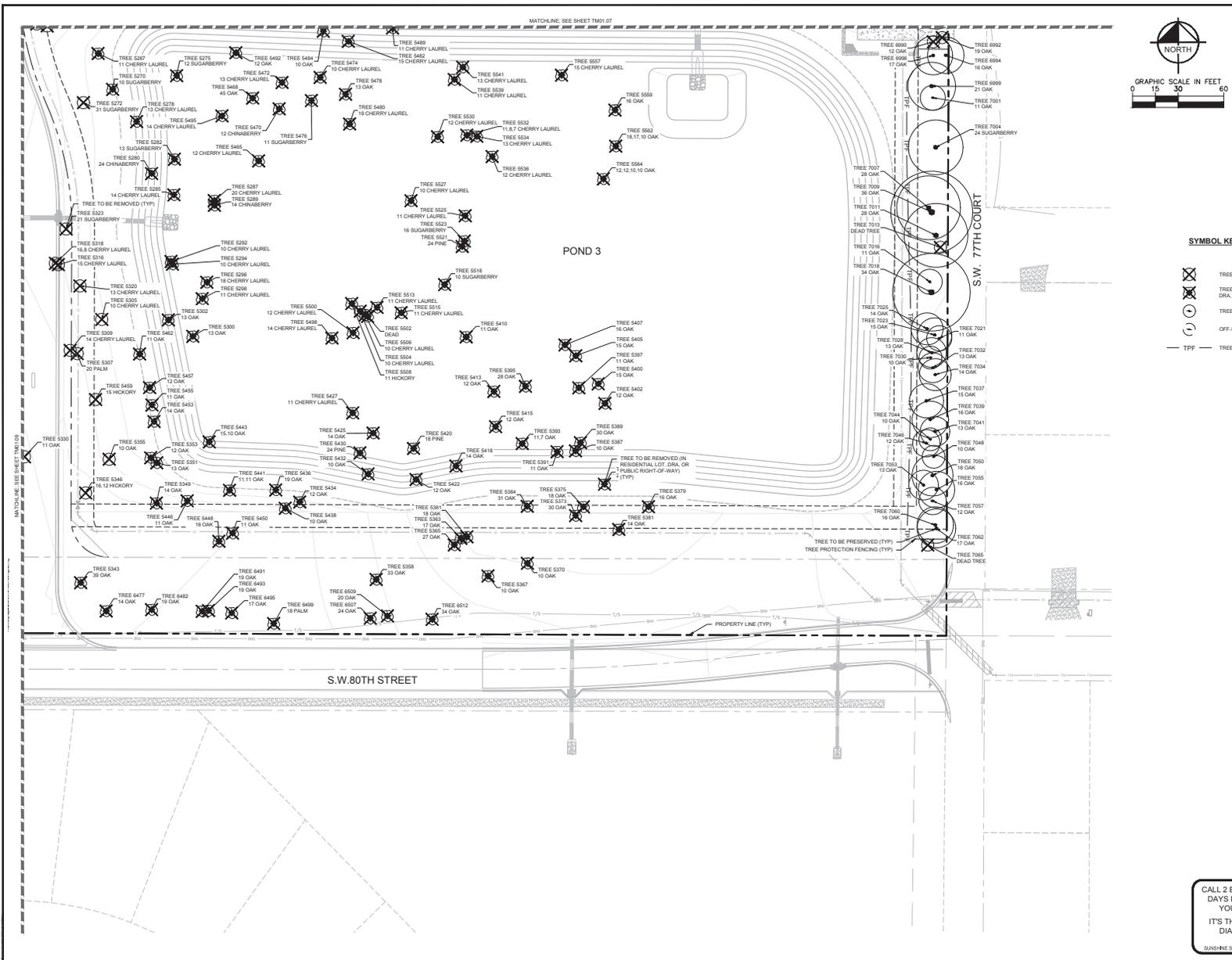
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DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KVA
DRAWN BY	KVA
CHECKED BY	NDD
DATE	6/25/2025

**TREE MITIGATION PLAN**

**MELODY PRESERVE**  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA

SHEET NUMBER  
**TM01.09**

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.



- SYMBOL KEY**
- TREE TO BE REMOVED
  - TREE TO BE REMOVED IN RESIDENTIAL LOT, DRA, OR PUBLIC RIGHT-OF-WAY
  - TREE TO BE PRESERVED
  - OFF-SITE TREE TO BE PRESERVED
  - TREE PROTECTION FENCING (TPF)

No.	REVISIONS	DATE

**Kimley-Horn**  
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LICENSED PROFESSIONAL  
 MATTHEW D. DUNN, P.E.  
 FLORIDA LICENSE NUMBER  
 6887721  
 DATE: 6/25/2025

**TREE MITIGATION PLAN**

MELODY PRESERVE  
 PREPARED FOR  
**ON TOP OF THE WORLD COMMUNITIES, L.L.C.**  
 MARION COUNTY, FLORIDA  
 MELODY PRESERVE - IMPROVEMENT PLANS

CALL 2 BUSINESS DAYS BEFORE YOU DIG  
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 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SHEET NUMBER  
**TM01.10**

POINT#	SIZE	SPECIES	STATUS	POINT#	SIZE	SPECIES	STATUS	POINT#	SIZE	SPECIES	STATUS	POINT#	SIZE	SPECIES	STATUS	POINT#	SIZE	SPECIES	STATUS	POINT#	SIZE	SPECIES	STATUS	POINT#	SIZE	SPECIES	STATUS
3521	16	OK	REMOVE	4559	16	OK	REMOVE	4880	32	OK	REMOVE	5208	24	HICKORY	REMOVE	5987	10	OK	REMOVE	6755	14	OK	REMOVE	7575	14	OK	PRESERVE / OFF-SITE
3528	18	OK	REMOVE	4562	13	CHERRY LAUREL	REMOVE	4895	13	OK	REMOVE	5215	11	HICKORY	REMOVE	5988	10	OK	REMOVE	6761	20	OK	PRESERVE / OFF-SITE				
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4414	21	OK	REMOVE	4756	18	OK	REMOVE	5066	18	OK	REMOVE	5356	17	OK	REMOVE	6065	10	OK	REMOVE	6917	17	OK	PRESERVE				
4417	10	CHERRY LAUREL	REMOVE	4759	10	OK	REMOVE	5069	11	OK																	



**TREE MITIGATION SPECIFICATIONS**

**A. GENERAL**

- CONTRACTOR SHALL ADHERE TO ALL TREE PROTECTION REQUIREMENTS LISTED IN THESE SPECIFICATIONS AND/OR THOSE LISTED IN THE CITY OR COUNTY ZONING CODE. TREE PROTECTION LATEST EDITION, WHICHEVER IS MORE STRINGENT SHALL APPLY.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATION MATERIAL THAT WILL WITHSTAND A REASONABLE TIME FRAME, DETRITUS, SOIL DISTURBANCE.
- NO SOILS BELLING PERMITS, WRITES OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE OR PALM. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES AND ARE BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
- CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE OR PALM WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
- FOR PROTECTED TREES OR PALMS BEING REMOVED, THE CONTRACTOR MUST OBTAIN THE PERMITTING AGENCY REASONABLE OPPORTUNITY TO RELOCATE TREES DESIGNATED FOR REMOVAL TO ANOTHER SITE AT THE PERMITTING AGENCY'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED APPLICATOR LICENSES, BUSINESS REGISTRATIONS AND INSURANCE. PESTICIDE LABELS AND MATERIAL DATA SAFETY SHEETS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR HAVING ALL SPILL CONTAINMENT MATERIALS AND REQUIRED PERSONAL PROTECTIVE EQUIPMENT FOR PESTICIDE APPLICATIONS AND ACCIDENTAL SPILLS ON SITE AT ALL TIMES. THE OWNER RESERVES THE RIGHT TO INSPECT EACH APPLICATION AND HAVE THESE MATERIALS PRESENTED BEFORE AND DURING ANY PESTICIDE TREATMENT.
- WHERE TRAFFIC AREAS ARE PROPOSED WITHIN THE DRIP LINE OF PROTECTED TREES AND LESS THAN FOUR (4) INCHES OF GRADE CHANGE ARE PROPOSED, PERMEABLE SURFACES THAT ALLOW AIR AND WATER INTO THE SOIL SHOULD BE USED INSTEAD OF ASPHALT OR OTHER SUCH IMPERVIOUS SURFACES.
- TREE WELLS OF AN APPROVED DESIGN SHALL BE CONSTRUCTED AROUND ALL TREES TO BE PRESERVED WHEN MORE THAN FOUR INCHES OF FILL IS TO BE DEPOSITED WITHIN THE DRIP LINE AREA OF THOSE TREES COORDINATE WITH PROJECT ARBORIST.
- THE SEQUENCE OF TREE MITIGATION AND PRESERVATION MEASURES IS IMPERATIVE TO THE HEALTH AND SURVIVABILITY OF THE SUBJECT TREES AND SHALL BE COORDINATED WITH THE OWNER SELECTED PROJECT ARBORIST. THE DESIRED SEQUENCE IS OUTLINED BELOW.
  - TREE PROTECTION FENCING.
  - ROOT PRUNING AND ROOT BARRIERS.
  - CLEARING.
  - TREE CANOPY PRUNING.
  - FERTILIZATION.
  - INSECTICIDE.
  - IRRIGATION.

**B. TREE PROTECTION FENCING**

- PRIOR TO THE ERECTION OF ANY TREE PROTECTION FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE AREA TO BE ENCLOSED BY THE FENCING. AFTER ERECTION OF THE FENCING NO SUCH MATERIAL OR LITTER SHALL BE PERMITTED TO REMAIN WITHIN THE PROTECTED AREA.
- TREE PROTECTION FENCING SHALL BE PLACED AROUND ALL PROTECTED TREES TO CREATE A PROTECTIVE ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING, LAND ALTERATION, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
- NATIVE GROUND COVER AND UNDERSTORY VEGETATION EXISTING WITHIN THE PROTECTED AREA SHALL REMAIN THROUGHOUT CONSTRUCTION. OTHER DESIGNATED VEGETATION SHALL BE REMOVED ONLY BY MANUAL LABOR UTILIZING HAND TOOLS, OR BY OTHER METHODS APPROVED BY THE PROJECT ARBORIST.
- TREE PROTECTION FENCING TYPES AND LOCATIONS SHALL BE ERECTED AS SHOWN ON THE TREE MITIGATION PLANS AND DETAILS, OR AS REQUESTED BY LOCAL AGENCY.
- FINAL LOCATIONS SHALL BE COORDINATED WITH AND APPROVED BY THE PROJECT ARBORIST.
- NO MATERIALS, EQUIPMENT, SPILL, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN 20 FEET OF THE TREE PROTECTION ZONE.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINES, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE.
- CONTRACTORS ACCESS TO FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
- EXCAVATION OR BRADING REQUIRED WITHIN THE PROTECTED AREA SHALL BE LIMITED TO THREE (3) INCHES OF CUT OR FILL COORDINATE WITH PROJECT ARBORIST.
- STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL BE COORDINATED WITH THE PROJECT ARBORIST.
- TREE PROTECTION FENCING AROUND TREES TO BE RELOCATED SHALL BE ERECTED UNTIL THE TREE IS READY TO BE RELOCATED AND NEW FENCING SHALL BE ERECTED AT THE TREE'S NEW LOCATION AND WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- IF TEMPORARY HALL OR ACCESS ROADS MUST PASS OVER THE PROTECTED AREA OF TREES TO BE PRESERVED, A ROAD BED OF SIX (6) INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A SIX (6) INCH ROAD BED AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL SUCH MATERIALS FROM THE SITE AS SOON AS TEMPORARY ACCESS IS NO LONGER NECESSARY.
- CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO THE REMOVAL OF ALL TREE PROTECTION FENCING.

**C. ROOT PRUNING/TRENCHING**

- TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
- TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED, AND SHALL BE APPROVED BY THE PROJECT ARBORIST. APPROVED EQUIPMENT WILL BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS. A MINIMUM DEPTH OF THREE FEET IS REQUIRED.
- INSTALL ROOT BARRIER WHERE DESIGNATED. SEE TREE MITIGATION PLAN AND DETAIL SHEETS.
- THE TRENCH SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED SOIL AND COMPACTED IMMEDIATELY.
- TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF TWELVE (12) WEEKS PRIOR TO TREE RELOCATION.
- WHEN THE TREE ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.

**D. CLEARING**

- ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND-OPERATED EQUIPMENT.
- CONTRACTOR SHALL CLEAR ALL TREE PROTECTION AREAS OF VINES, BRUSHES, GROUND COVERS, WEEDS, SAPLINGS, AND INVAASIVES LISTED ON THE LATEST EDITION OF THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE SPECIES.
- PROJECT ARBORIST MUST APPROVE METHODS OTHER THAN HAND CLEARING.

**4. A TWO (2) INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES DURING THE SITE CLEARING PHASE.**

**E. TREE CANOPY PRUNING**

- TREE PRUNING SPECIFICATIONS SHALL BE DEFINED BASED ON SPECIFIC RECOMMENDATIONS OF THE PROJECT ARBORIST. INFORMATION PRESENTED BELOW SHOULD BE USED AS A GUIDELINE.
  - CONTRACTOR SHALL VISIT THE SITE WITH THE PROJECT ARBORIST TO VERIFY THE EXTENT OF REQUIRED PRUNING.
  - ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFIED INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST OR AN AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA) REGISTERED CONSULTING ARBORIST (RCA).
  - AT LEAST ONE MEMBER OF THE PRUNING CREW SHALL BE AN ISA CERTIFIED ARBORIST.
  - WHILE IN THE TREE, THE ARBORIST SHALL PERFORM AN AERIAL INSPECTION TO IDENTIFY DEFECTS THAT REQUIRE TREATMENT. ANY ADDITIONAL WORK NEEDED SHALL BE REPORTED TO THE OWNER.
  - PRUNING CUTS SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A800 PRUNING STANDARD (AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS) AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI Z313.1 SAFETY STANDARD. PRUNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ISA'S BEST MANAGEMENT PRACTICES: TREE PRUNING.
  - WHOSE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, BRANCHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE ZONE.
  - NO MORE THAN 20 PERCENT OF LIVE FOLIAGE SHALL BE REMOVED WITHIN ANY TREE.
  - ALL TREES WITHIN THE PROJECT AREA SHALL BE PRUNED AS FOLLOWS:
    - LIVE BRANCH PRUNING SHOULD BE PERFORMED ONLY WHEN THE DANGER OF INSECT OR DISEASE INFESTATION IS NOT PRESENT.
    - REMOVE SLICES, CUTTING OUTSIDE THE WOUND WOOD TISSUE THAT HAS FORMED AROUND THE BRANCH.
    - THE SEQUENCING FOR THE SELECTIVE REMOVAL OF DEAD, DISEASED, BROKEN, OR CROSSING BRANCHES DOWN TO ONE INCH IN DIAMETER OR AS DIRECTED BY THE PROJECT ARBORIST.
    - PRUNING CUTS LARGER THAN 4 INCHES IN DIAMETER, EXCEPT FOR DEAD WOOD, SHALL BE AVOIDED.
    - PRUNING CUTS THAT EXPOSE HEARTWOOD SHALL BE AVOIDED WHENEVER POSSIBLE.
  - ALL TREES WITH CROWNS THAT PROJECT INTO PARKING LOT/ROADWAY AREAS SHALL BE RAISED TO 14 FEET ABOVE FINISHED GRADE.
    - ALL TREES WITH CROWNS THAT PROJECT INTO SIDEWALK AREAS SHALL BE RAISED TO A HEIGHT OF 8 FEET ABOVE FINISHED GRADE.
- TREES, WHOSE ROOT SYSTEMS WILL BE IMPACTED SHALL RECEIVE THE FOLLOWING PRUNING TO COMPENSATE FOR ROOT LOSS:
  - THE LOCATION AND SIZE OF BRANCHES FOR REDUCTION SHALL BE DEFINED BY THE PROJECT ARBORIST.
  - REDUCTION OR THE SELECTIVE PRUNING TO REDUCE TREE HEIGHT OR SPREAD.
    - REDUCE END WEIGHT ON HEAVY HORIZONTAL BRANCHES BY SELECTIVELY REMOVING SMALL DIAMETER BRANCHES, NO GREATER THAN 1 TO 2 INCHES, NEAR THE ENDS OF SCARFWOOD BRANCHES.
    - RAISING SHALL CONSIST OF SELECTIVE PRUNING TO PROVIDE VERTICAL CLEARANCE.
- PROPOSED REPLACEMENT TREES
  - PRUNING SHALL BE LIMITED TO CLEANING.
- BRUSH SHALL BE CHIPPED AND SPREAD, ONLY WHEN DISEASE OR INSECT INFESTATION IS NOT PRESENT) UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF THREE (3) INCHES, LEAVING THE TRUNK CLEAR OF MULCH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DEBRIS ON A DAILY BASIS.

**F. FERTILIZATION**

- CONTRACTOR SHALL COORDINATE FERTILIZATION PLAN, FOLLOWING BEST MANAGEMENT PRACTICES WITH THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.
- EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPLYING, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- ONLY TREES AFFECTED BY CONSTRUCTION OR AS SHOWN ON THE TREE MITIGATION PLAN AND TREE INVENTORY SCHEDULE SHALL BE TREATED.
- TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED AS FOLLOWS:
  - MIX FERTILIZER ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO A TANK WITH AGITATION CAPABILITY.
  - MIX WETTING AGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO SAME TANK WITH FERTILIZER, AGITATE MIX.
  - INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
  - THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND THE CRITICAL ROOT ZONE SHALL BE INJECTED, BUT NOT BEYOND ROOT PRUNING LOCATIONS.
  - FERTILIZER SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY AERATION SYSTEMS.
- EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY THE PROJECT ARBORIST PRIOR TO DISPOSAL.
- TRANSPLANT INOCULANT & BIODISTILLANT.
  - CONTRACTOR SHALL PROVIDE MYCORRHIZAL TRANSPLANT INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. MIX INOCULANT IN 1/2" WOOD TOPSOIL RING AROUND THE ROOT BALL.
  - CONTRACTOR SHALL PROVIDE INJECTABLE MYCORRHIZAL INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. AGITATE FOR 10 MINUTES.
  - INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
  - EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY PROJECT ARBORIST PRIOR TO DISPOSAL.
- TRANSPLANT MAINTENANCE
  - APPROXIMATELY ONE YEAR AFTER PLANTING, THE CONTRACTOR SHALL REPERFERTILIZE ALL TRANSPLANTS UTILIZING THE SAME PROCEDURES ABOVE.

**G. INSECTICIDE**

- NOTIFY PROJECT ARBORIST IF ANY INFESTATION IS NOTICED.
- FOLLOW PROJECT ARBORIST'S RECOMMENDED PROCEDURES.
- FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS CONCERNING APPLICATION. READ ALL WARNING LABELS.
- ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- ENSURE COMPLETE COVERAGE AND REAPPLY 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.

**H. IRRIGATION**

- EVERY EFFORT SHALL BE MADE TO WATER THE PRESERVED TREES AND TRANSPLANTS. CONTRACTOR SHALL IRRIGATE BY HAND OR BY TEMPORARY IRRIGATION.
- IRRIGATE AS REQUIRED BY PROJECT ARBORIST UNTIL PERMANENT IRRIGATION IS INSTALLED AND OPERATING.

**3. UNDERGROUND IRRIGATION SHALL NOT BE INSTALLED WITHIN THE DRIP LINES OF EXISTING TREES UNLESS ROOT PROTECTION MEASURES ARE PROVIDED AND APPROVED BY PROJECT ARBORIST.**

**I. TREE REMOVALS**

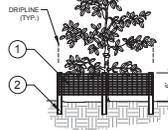
- PRIOR TO AND DURING LAND CLEARING, INCLUDING GRUBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED BY PROJECT ARBORIST WITH RED SURVEY RIBBONS AT 30 INCHES MINIMUM ABOVE GRADE.
- CONTRACTOR SHALL REMOVE ALL TREES AS SHOWN ON THE TREE MITIGATION PLANS AFTER THE TREE PROTECTION FENCING IS INSTALLED.
- ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GRUBBED IF BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED THAT IS IN AN AREA WHERE DIRECTION IS CRITICAL SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY CONTRACTOR.
- ALL WOOD AND STUMPS FROM REMOVALS SHALL BE HALVED FROM THE SITE THE SAME DAY EXCEPT FOR TOPS. ALL TOPS ARE TO BE MULCHED AND STOCKPILED OR HALLED DIRECTLY TO MULCHED AREAS FOR RELOCATED TREES IF SCHEDULING PERMITS. TOPS SHALL BE CHIPPED AND PILES IN THE TREE PROTECTION ZONE TO A DEPTH OF THREE (3) INCHES. ALL EXCESS WOOD CHIPS SHOULD BE HALLED OFF SITE AFTER TRANSPORTING IS COMPLETE.
- ALL BURN PITS IF APPLICABLE MUST BE APPROVED BY THE PROJECT ARBORIST AND OWNER.
- TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN MUST BE REMOVED BY A QUALIFIED CERTIFIED ARBORIST AND NOT BY DEMOLITION OR CONSTRUCTION CONTRACTORS. THE QUALIFIED ARBORIST SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TO REMAIN.
- TREES TO BE REMOVED LOCATED WITHIN THE TREE PROTECTION ZONE SHALL BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST. THE TREES SHALL BE CUT NEAR GROUND LEVEL AND THE STUMP GROUND OUT.
- MACHINE DUO TRANSPLANTING.
  - DUO TRANSPLANT RECEIVING HOLE.
  - SET SPACE DUO ROOT BALL INTO RECEIVING HOLE 4" ABOVE EXISTING GRADE.
  - WASH DRAIN TO TOPSOIL INTO AIR POCKETS BETWEEN ROOT BALL AND RECEIVING HOLE.
  - INSTALL TOPSOIL RING, 4" HIGH, 1/2" WIDE, AROUND PERIMETER OF ROOT BALL. MIX MYCORRHIZAL TRANSPLANT INOCULANT INTO TOPSOIL RING PER MANUFACTURER'S SPECIFICATIONS.
  - INSTALL THREE INCHES OF MULCH FROM PERIMETER OF ROOT BALL TO WITHIN 1" OF TREE TRUNK.
  - COVER TOPSOIL RING WITH 1" OF MULCH AND EXTEND MULCH 4" DEEP, AWAY FROM PERIMETER OF ROOT BALL.
  - WATER TRANSPLANT.
- HOLDING AREA FOR TRANSPLANTS
  - HOLDING AREAS SHOULD NOT BE NECESSARY. CONSTRUCTION PHASING SHOULD BE IMPLEMENTED SO THAT TREES ARE IMMEDIATELY RELOCATED TO THEIR PERMANENT LOCATION, COORDINATE WITH PROJECT ARBORIST AS NEEDED.
  - SHOULD A HOLDING AREA BE NECESSARY, TREE PROTECTION FENCING SHALL BE INSTALLED AT THE PERIMETER OF THE ENTIRE AREA.
  - CONTRACTOR SHALL COORDINATE LOCATION AND SPECIFICATIONS OF THE HOLDING AREA WITH PROJECT ARBORIST.
  - CONTRACTOR SHALL SUPPLY TEMPORARY IRRIGATION TO THE HOLDING AREA CONSISTING OF ABOVE GROUND PVC OR POLYETHYLENE PIPE, SPRAY OR ROTOR HEADS WITH HEAD TO HEAD COVERAGE AND A CONTROLLER. COORDINATE WITH PROJECT ARBORIST FOR CONTROLLER SETTINGS AND ALTERNATIVE WATERING METHODS.

**L. TOPSOIL**

- CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATIONS WITHIN TREE PROTECTION AREAS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ALL TOPSOIL SHALL BE NATURAL, FRABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
- TOPSOIL PH RANGE OF 5.5 TO 7.0, 3-5 PERCENT ORGANIC MATERIAL, FREE FROM SUBSOL, OBJECTIONABLE WEEDS, LITTER, LOGS, STEEL, CLAY, STONES LARGER THAN ONE (1) INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH.
- VERIFY AMOUNT STOCKPILED IF ANY, AND BURRY ADDITIONAL AS NEEDED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST FOUR (4) INCHES DEEP. DO NOT OPEN TOPSOIL FROM BOGS OR MARSHES.
- PROJECT ARBORIST SHALL APPROVE ALL TOPSOIL PRIOR TO PLACEMENT.

**M. REPAIR OF DAMAGED TREES**

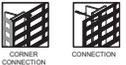
- IF DAMAGE TO ANY TREE SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE PROJECT ARBORIST SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR.
- IF ANY TREE DESIGNATED TO BE SAVED IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PROJECT ARBORIST SHALL APPRAISE THE TREE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPLACEMENT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE AND ANY FEES THAT MAY BE ASSESSED TO THE OWNER BY THE GOVERNING AGENCY.



- 1' 6" 'PERIMETER PLUS' CONSTRUCTION FENCE BY CONVED PLASTICS OR OWNERS REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
- 2' TALL METAL T" POSTS OR 2" x 2" x 8' PRESSURE TREATED WOOD POSTS WITH 2" BURNAL BELOW GRADE.

**INSTALLATION NOTES:**

- POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF THE FENCE WILL BE PLACED. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND GROUND CONTROL INSTALLATIONS. METAL T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
- POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
- SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
- SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONVED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH POSTS. WIRE MAY DAMAGE FENCE OVER TIME.

1 TREE PROTECTION FENCING ELEVATION/PLAN

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DESIGNED BY: KHA  
DRAWN BY: KHA  
CHECKED BY: MDD

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**TM02.03**