

From: [Kayla Oliver](#)
To: [Development Review](#)
Cc: [George Horton](#)
Subject: FW: Plan Number 31106 Major Site Plan will expire in 180 days
Date: Tuesday, May 19, 2026 3:49:50 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER

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Hi Development Review,

We are requesting a one-year extension for AR#31106. The DRA receiving runoff from the project site is still under construction. Please let us know when the time extension is approved.

Thank you,
Kayla Oliver
Permit Coordinator

Tillman & Associates

ENGINEERING, L.L.C.

Civil Engineering - Planning - GIS - Landscape Architecture - Environmental

1720 SE 16th Ave., Bldg 100 | Ocala FL 34471

Office: 352-387-4540 x235

KOliver@tillmaneng.com



From: DoNotReply EPL Permit Notify <DoNotReply-EPLPermitNotify@marionfl.org>

Sent: Friday, May 15, 2026 12:06 AM

To: Permits <Permits@Tillmaneng.com>

Subject: Plan Number 31106 Major Site Plan will expire in 180 days

Hello,

This plan will expire soon. You may view details online by visiting the [Marion County Civic Access Portal](#).

If an extension is needed, please reply to this email providing the reason for the request and the duration of the extension. Upon receipt of the request, we will begin processing for formal approval. Fees may apply.

This message was sent from an official Marion County Board of County Commissioners email account. If you have questions or believe this message was sent in error, please contact us

directly at +1 352 671 8686.

Thank you,

Office of the County Engineer
Marion County Board of County Commissioners
Ocala, Florida
[Empowering Marion for Success!](#)

DRC REQUESTED WAIVERS:

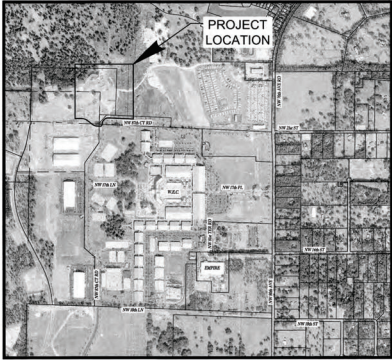
- LDC 2.21(A) - MAJOR SITE PLAN - 06/22/2024
LDC 2.11(A) - CURRENT BOUNDARY AND TOPOGRAPHIC SURVEY - 06/22/2024
LDC 4.11(A)(C) - STORMWATER CONVEYANCE CRITERIA - 06/22/2024
LDC 6.4.1(C) - PARKING AREAS AND VEHICULAR USE AREAS - 06/22/2024
LDC 6.2.1(A) - SHADE TREES - 06/22/2024
LDC 2.11(B) - TREES - 06/22/2024

- NOTES:
1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE MARION COUNTY UTILITY MANUAL AS APPLICABLE.
2. NW 88th AVENUE IS DESIGNATED A 'RURAL COLLECTOR'. NW 2nd STREET IS A 'SECTION-QUARTER-SECTION COLLECTOR'.

MAJOR SITE PLAN
GOLDEN OCALA - W.E.C.
NORTH TRAINING FIELDS - PHASE 2

A PORTION OF SECTIONS 1 & 12, TOWNSHIP 15 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

THIS SITE CONTAINS:
PROJECT LIMITS AREA = 36.14 ac
LOCATED IN A PORTION OF PARCEL: #210668-002-00, 12674-001-00
DESCRIPTION OF PURPOSE: PAVEMENT FOR VEHICULAR & PEDESTRIAN ACCESS
FOR OUTDOOR EQUESTRIAN TRAINING FIELDS (BUILT IN PH. 1)
FUTURE LAND USE: WORLD EQUESTRIAN CENTER (W.E.C.)
ZONING: PUD
EXISTING IMP. AREA (0.40-AC/17424-SF/111%)
EXISTING PERV. AREA (35.74-AC/1,556,834-SF/98.99%)
PROPOSED IMP. AREA (5.67-AC/246,985-SF/15.69%)
PROPOSED PERV. AREA (30.47-AC/1,327,273-SF/84.31%)



VICINITY MAP
SCALE: 1" = 1,000'

- UTILITY COMPANIES
WATER: MARION COUNTY UTILITIES
SEWER: MARION COUNTY UTILITIES
ELECTRIC: SEC O ENERGY
CABLE/PHONE/INTERNET: DIGITAL COMMUNICATION MEDIA
GAS: TECO
MARION COUNTY UTILITIES
MCU CUSTOMER SERVICE 24/7/365, (352) 307-6000
MARION COUNTY UTILITIES
MCU CUSTOMER SERVICE 24/7/365, (352) 307-6000
SEC O ENERGY
JERRY BOLDUC, (352) 569-9633
DIGITAL COMMUNICATION MEDIA
JORGE SANTAGO, (352) 873-4817
TECO
CHUCK HUMPHREY, (352) 401-3409

OWNER/APPLICANT:
GOLDEN OCALA EQUESTRIAN LAND, LLC
EQUESTRIAN OPERATIONS, LLC &
ARENA HORSE SHOWS OF OCALA, LLC
CONTACT: MARY ROBERTS, CHAIRMAN
600 GILLAM ROAD
WILMINGTON, OH 44177
PHONE: (352) 662-4586

PREPARED BY:
TILLMAN & ASSOCIATES ENGINEERING, LLC
CONTACT: GEORGE S. HORTON, P.E.
120 SE 3rd AVENUE, BLDG. 100
OCALA, FLORIDA 34717
PHONE: (352) 387-4546; FAX: (352) 387-4545

GEOTECHNICAL CONSULTANT:
GEO-TECH, INC.
CONTACT: CRAIG HAMPY
180 SE 3rd AVENUE
OCALA, FLORIDA 34717
PHONE: (352) 694-7711

ENVIRONMENTAL:
MODICA & ASSOCIATES, INC.
C/O ELAINE IMBURGLIA, PRESIDENT
302 MOHAWK ROAD
CLERMONT, FL 34715
PHONE: (352) 394-3000



Call 48 Hours before you dig
1-800-432-4770
It's the Law
Florida: Meet the Call of Florida, Inc.

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
APPLICATION #: 31106
APPROVAL DATE: 10/25/24
EXPIRATION DATE: 5/25/26

Tillman & Associates ENGINEERING, LLC
120 SE 3rd AVENUE, BLDG. 100
OCALA, FLORIDA 34717
PHONE: (352) 387-4540

INDEX OF SHEETS

Table with 2 columns: Sheet Number and Description. Includes sheets for COVER SHEET, GENERAL NOTES, AERIAL PHOTOGRAPHY, OVERALL SITE PLAN, GEOMETRY PLAN, MASTER DRAINAGE PLAN, GRADING & DRAINAGE PLAN, DRAINAGE RETENTION AREA DETAILS, UTILITY PLAN, PAVING & GRADING DETAILS, DRAINAGE DETAILS, EROSION CONTROL, TOPOGRAPHIC SURVEY, SKETCH OF DESCRIPTION, TREE PRESERVATION AND PROTECTION PLAN, TREE PLANTING PLAN, IRRIGATION PLAN, and SITE LIGHTING PLAN.

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC) AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

RODNEY K. ROGERS, P.S.M.
CERTIFICATE NO. 124294
STATE OF FLORIDA

APPLICANT'S/OWNER'S CERTIFICATION
I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS, IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREON AND ON THE APPROVED PLAN.

MARY ROBERTS, CHAIRMAN

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

GEORGE S. HORTON, P.E.
REGISTERED ENGINEER NO. 62858
STATE OF FLORIDA

COVER SHEET
DATE: 06/22/2024
DRAWN BY: GH
JOB NO.: 24-0005
MARION COUNTY LAND DEVELOPMENT CODE (LDC)
GOLDEN OCALA (W.E.C.) - N. TRAINING FIELDS - PH. 2
MARION COUNTY, FLORIDA
DATE: 06/22/2024
DRAWN BY: GH
JOB NO.: 24-0005
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
No. 62858
SHT. 01.01

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED INFORMATION FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND RELATED INFORMATION FROM THE RECORD DRAWINGS AND FIELD SURVEY.

PAVING AND DRAINAGE NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED INFORMATION FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND RELATED INFORMATION FROM THE RECORD DRAWINGS AND FIELD SURVEY.

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION.

WATER MAIN CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION AND MATERIALS TO BE INSTALLED, LINED AND MANHOLES.

FORCE MAIN NOTES

- 1. ALL FORCE MAIN CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR FORCE MAIN CONSTRUCTION AND MATERIALS TO BE INSTALLED, LINED AND MANHOLES.

AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL MAINTAIN A CURRENT AS-BUILT RECORD OF ALL CONSTRUCTION AND MATERIALS USED IN ACCORDANCE WITH MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR AS-BUILT RECORDS.

CLEANINGS

- 1. THE CONTRACTOR SHALL MAINTAIN A CURRENT AS-BUILT RECORD OF ALL CONSTRUCTION AND MATERIALS USED IN ACCORDANCE WITH MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR AS-BUILT RECORDS.

TABLE 3.0 - STORM PIPE COVER (RIGID PAVEMENT)

Table with 2 columns: JOINTS NOT EXPOSED OR POOR CONDITION (FRACKING) and JOINTS EXPOSED. Rows include 12" RIGID ROADS, 18" RIGID ROADS, 24" RIGID ROADS, 30" RIGID ROADS, 36" RIGID ROADS, 42" RIGID ROADS, 48" RIGID ROADS, 54" RIGID ROADS, 60" RIGID ROADS, 66" RIGID ROADS, 72" RIGID ROADS, 78" RIGID ROADS, 84" RIGID ROADS, 90" RIGID ROADS, 96" RIGID ROADS, 102" RIGID ROADS, 108" RIGID ROADS, 114" RIGID ROADS, 120" RIGID ROADS.

TABLE 2.0 - STORM PIPE COVER (UNPAVED)

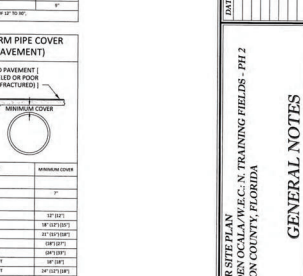
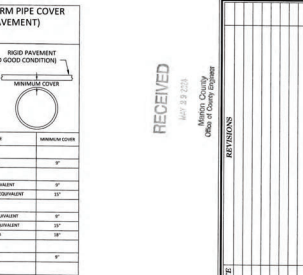
Table with 2 columns: UNPAVED and PAVED. Rows include 12" RIGID ROADS, 18" RIGID ROADS, 24" RIGID ROADS, 30" RIGID ROADS, 36" RIGID ROADS, 42" RIGID ROADS, 48" RIGID ROADS, 54" RIGID ROADS, 60" RIGID ROADS, 66" RIGID ROADS, 72" RIGID ROADS, 78" RIGID ROADS, 84" RIGID ROADS, 90" RIGID ROADS, 96" RIGID ROADS, 102" RIGID ROADS, 108" RIGID ROADS, 114" RIGID ROADS, 120" RIGID ROADS.

TABLE 4.0 - STORM PIPE COVER (FLEXIBLE PAVEMENT)

Table with 2 columns: JOINTS NOT EXPOSED OR POOR CONDITION (FRACKING) and JOINTS EXPOSED. Rows include 12" FLEXIBLE PAVEMENT, 18" FLEXIBLE PAVEMENT, 24" FLEXIBLE PAVEMENT, 30" FLEXIBLE PAVEMENT, 36" FLEXIBLE PAVEMENT, 42" FLEXIBLE PAVEMENT, 48" FLEXIBLE PAVEMENT, 54" FLEXIBLE PAVEMENT, 60" FLEXIBLE PAVEMENT, 66" FLEXIBLE PAVEMENT, 72" FLEXIBLE PAVEMENT, 78" FLEXIBLE PAVEMENT, 84" FLEXIBLE PAVEMENT, 90" FLEXIBLE PAVEMENT, 96" FLEXIBLE PAVEMENT, 102" FLEXIBLE PAVEMENT, 108" FLEXIBLE PAVEMENT, 114" FLEXIBLE PAVEMENT, 120" FLEXIBLE PAVEMENT.

DEVELOPMENT REVIEW COMMITTEE

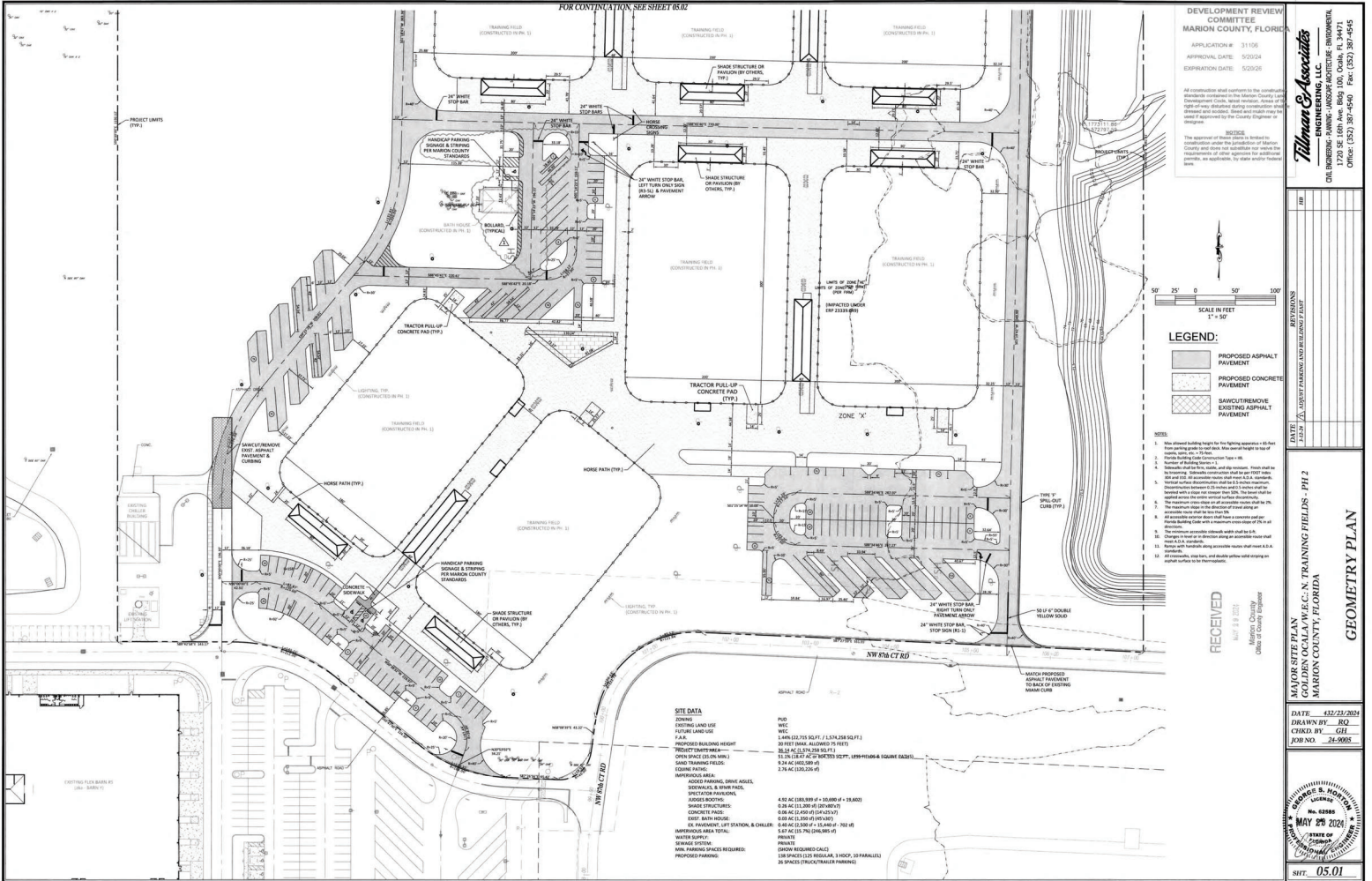
APPLICATION NO. 31108
EXPIRATION DATE: 9/20/26
APPROVED DATE: 9/20/26



DATE: 02/08/2024
DRAWN BY: RJC
CHECK BY: CBJ
JOB NO.: 24-5668

GENERAL NOTES
MAYOR SITE PLAN
GOLDEN OAK LAKE TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA

RECEIVED
MAY 23 2024
MARION COUNTY ENGINEERING



RECEIVED
MAY 29 2024
MARION COUNTY
COMMUNITY DEVELOPMENT

ILLMAN & ASSOCIATES
INC.
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 14th Ave. (Bldg. 100), Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

MAJOR SITE PLAN - C.E.C. N. TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA

GEOMETRY PLAN

DATE: 4/22/2024
DRAWN BY: RG
CHECKED BY: GH
JOB NO.: 24-9003

STATE OF FLORIDA
MAY 29 2024
MARION COUNTY

SHEET 05.01

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 31106
APPROVAL DATE: 5/20/24
EXPIRATION DATE: 5/20/28

All conditions shall conform to the conditions specified contained in the Marion County and Development Code, when written. Any use of high-voltage electrical during construction shall be approved and installed. Other uses shall not be used if approved by the County Engineer or his designee.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute any warranty or representation of other agencies for additional permits, as applicable, by state and/or federal laws.

Tilman & Associates
REGISTERED PROFESSIONAL ENGINEER
1726 SE 16th Ave, Box 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

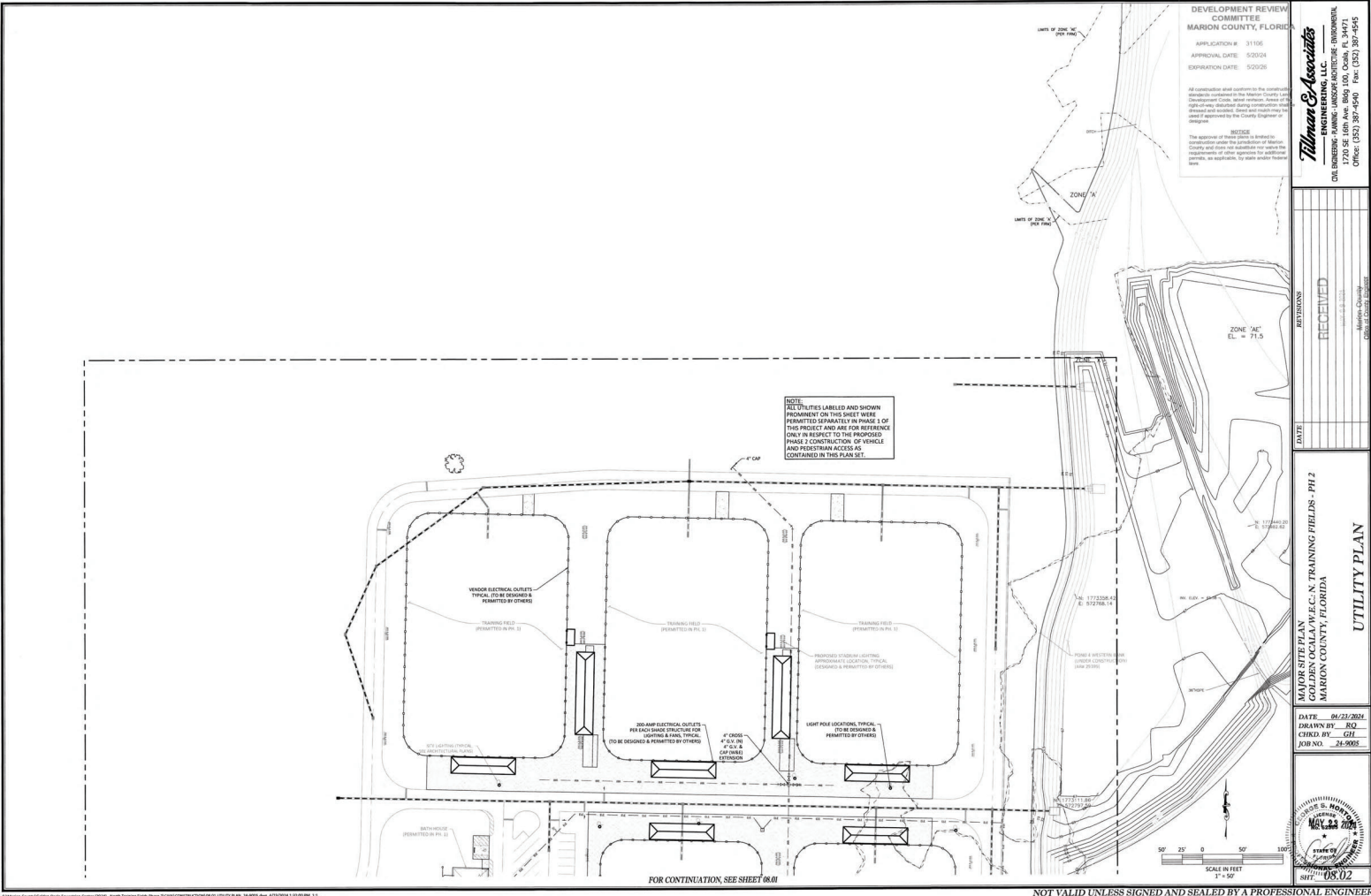
DATE	REVISION
	RECEIVED
	Marion County
	City of Ocala

MAJOR SITE PLAN
GOLDEN Ocala W.E.C. N. TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA
UTILITY PLAN

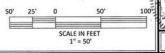
DATE: 06/23/2024
DRAWN BY: RQ
CHECK BY: GH
JOB NO.: 24-9005



SHT: 08.02

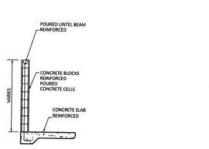


FOR CONTINUATION, SEE SHEET 08.01

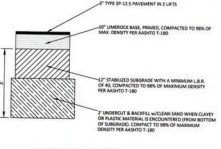


Marion County/Florida State Board of Engineers (2024) North Training Fields Phase 2/UTILITY CONSTRUCTION/08.02 UTILITY PLAN, 20 9005, Job, 6/23/2024 11:00 AM, 1:1

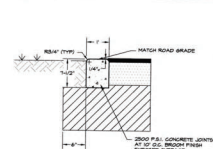
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



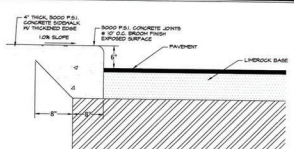
1. ALL WALLS AND CONCRETE SLABS SHALL BE DESIGNED AND PERMITTED SEPARATELY BY FLORIDA LICENSED STRUCTURAL ENGINEER.



PARKING LOT PAVEMENT SECTION
N.T.S.



RIBBON CURB DETAIL
N.T.S.



SIDEWALK DETAIL
N.T.S.

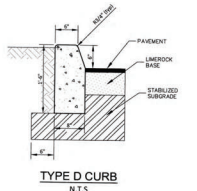
DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
APPLICATION # 31108
APPROVAL DATE 02/20/24
EXPIRATION DATE 02/20/26

ALL CONDITIONS SHALL CONFORM TO THE STANDARD SPECIFICATIONS CONTAINED IN THE MARION COUNTY AND STATE AND SHALL BE SUBJECT TO THE REQUIREMENTS OF OTHER AGENCIES FOR MULTIDISCIPLINARY PERMITS, AS APPLICABLE, BY STATE AND/OR FEDERAL LAW.

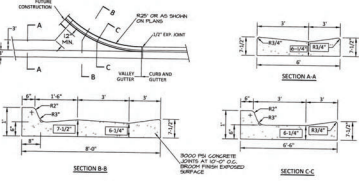
NOTICE: The approval of these plans is limited to the jurisdiction of Marion County and does not constitute an opinion or warranty of any kind for other agencies for individual permits, as applicable, by state and/or federal law.

Tilman & Associates
ENGINEERING, L.L.C.
1720 SE 16th Ave, Bldg. 100, Ocala, FL 34471
OFFICE: (352) 387-4540 FAX: (352) 387-4545

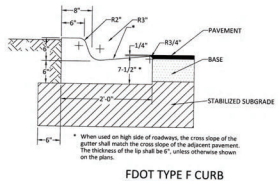
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER OR OWNER A COPY OF ALL PERTINENT PERMITS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL CONSTRUCTION ACTIVITIES ARE IN CONFORMANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS.
- GRASS AND MULCH OR SOIL SOIL ALL AREAS IN EXISTING RIGHTS-OF-WAY OBTAINED BY CONSTRUCTION.
- CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO, MARION COUNTY RIGHTS-OF-WAY TO MAINTAIN EXISTING UTILITIES AND THE MARKING OF ADJUSTMENTS.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.



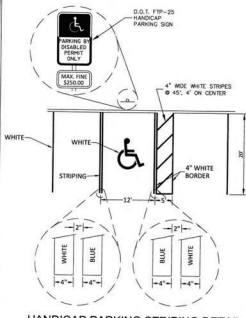
TYPE D CURB
N.T.S.



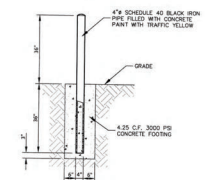
VALLEY GUTTER DETAIL
N.T.S.



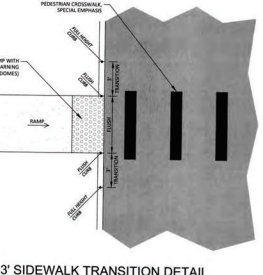
FDOT TYPE F CURB
N.T.S.



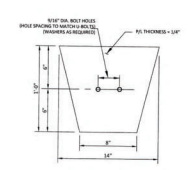
HANDICAP PARKING STRIPING DETAIL
N.T.S.



PIPE BOLLARD DETAIL
N.T.S.



3' SIDEWALK TRANSITION DETAIL
N.T.S.



ALUMINUM SOIL PLATE DETAIL
N.T.S.

- NOTES:
- ALUMINUM SOIL PLATE BOTTOM AT 2/3 OF FOUNDATION DEPTH.
 - SOFT UP TO 12\"/>

ALL UTILITY CONSTRUCTION TO MEET DEP & MARION COUNTY STANDARDS AND SPECIFICATIONS

ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.

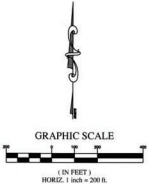
MAJOR SITE PLAN
GOLDEN Ocala M.E.C. N. TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA

SE 38 St

SE 38 St

DATE: 02/09/2024
DRAWN BY: RQ
CHECKED BY: GJH
JOB NO.: 24-9005

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



- LEGEND**
- WA-1 WETLAND FLAG
 - WA-1 WETLAND FLAG NUMBERS
 - W.R.A. WATER RETENTION AREA
 - D.R.A. DRAINAGE RETENTION AREA
 - P.B.S. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D.F. DRAINAGE FACILITY
 - TREE (SEE TREE SCHEDULE)
 - G.C. GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - IN. INVERT
 - T.S.B. TRAFFIC SIGNAL BOX
 - S.M. SANITARY MANHOLE
 - W.M. WATER METER
 - W.V. WATER VALVE
 - T.S. TRAFFIC SIGN
 - S.S. STREET SIGN
 - D.M. DOW MARKER
 - F.C.M. FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - L.P. LIGHT POLE
 - F.P. FIRE HYDRANT
 - T.P. TELEPHONE PEDESTAL
 - E.M. ELECTRIC METER
 - S.E. SPOT ELEVATIONS

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 31106
APPROVAL DATE: 5/20/24
EXPIRATION DATE: 5/20/26

All construction shall conform to the subdivision map and any other requirements of the Marion County and Development Codes, local ordinances. Areas of this plan or any portion thereof during construction shall be approved by the County Engineer or designee.

NOTICE
The applicant and those persons named in this plan shall be responsible for obtaining all necessary permits and approvals from the Marion County and other agencies for additional permits, as applicable, to meet applicable laws.

RECEIVED
MAY 13 2024
MARION COUNTY
COUNTY ENGINEER'S OFFICE

NO.	DATE	REVISIONS

Robert L. Rogers, P.E.
Professional Engineer
No. 12774
Marion County, Florida
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

NOTE:
THE WETLAND FLAGS SHOWN ON THIS SURVEY WERE SET BY CLARK MOORE OF MOORE & ASSOCIATES ON 8-18-2022, AND THEIR LOCATIONS SURVEYED BY THIS FIRM ON 8-23-2022.

SEE SHEET 4 FOR WETLANDS DETAIL MAP



ROONEY K.T. ROGERS
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A TOPOGRAPHIC SURVEY
FOR
EQUESTRIAN OPERATIONS, LLC
Reference Map

JOB NO.	22-MASTER
DATE	11-2-2022
SCALE	1" = 200'
SHEET	4 OF 8

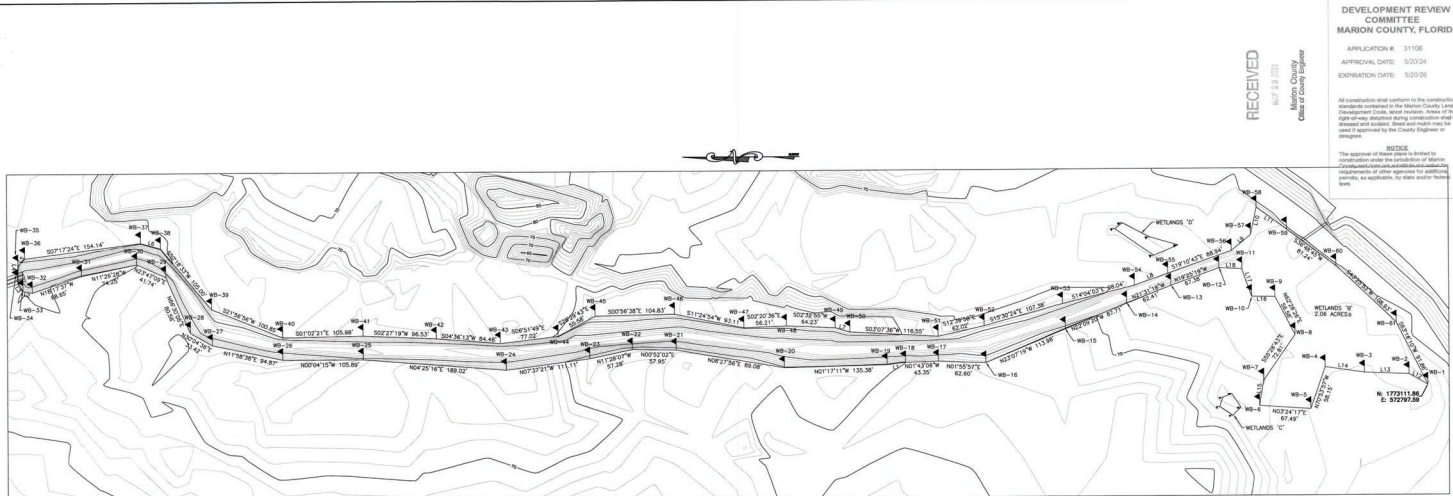
DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31105
APPROVAL DATE: 5/20/24
EXPIRATION DATE: 5/20/26

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way, including along construction right-of-way, shall be as shown. Other details may be used if approved by the County Engineer or engineer.

NOTES
The approval of these plans is limited to construction under the jurisdiction of Marion County. It does not constitute an endorsement, warranty, or other approval or disapproval, as applicable, by state or local agencies.

RECEIVED
MAY 23 2024
Marion County
County Engineer's Office

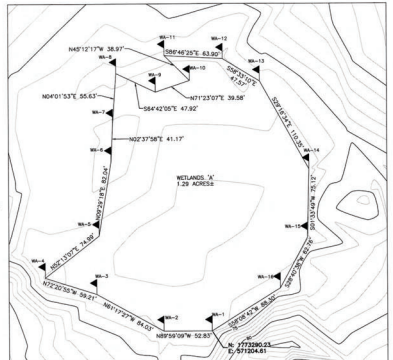


WETLANDS 'B' DETAIL
SCALE
1" = 60'

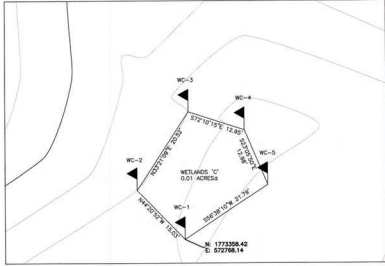
LINE TABLE FOR WETLAND 'B'

L1	N06°51'06"W	24.66'	L10	S78°17'38"E	58.85'
L2	N10°22'44"E	12.44'	L11	S35°07'10"W	48.88'
L3	N81°22'04"E	15.48'	L12	N29°25'00"E	28.48'
L4	S87°34'22"E	18.27'	L13	N05°17'58"E	58.85'
L5	S47°11'18"E	13.32'	L14	N07°58'00"E	52.00'
L6	S18°10'00"W	27.00'	L15	S00°30'00"E	34.00'
L7	S16°32'34"W	50.31'	L16	N00°58'41"E	38.51'
L8	S17°14'10"E	48.38'	L17	N72°32'34"E	38.51'
L9	S39°20'10"E	33.31'	L18	N02°22'13"E	30.52'

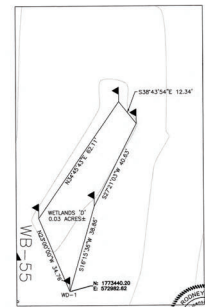
- LEGEND
- 1 WETLAND FLAGS
 - WB-1 WETLAND FLAG NUMBERS
 - WB-2 WATER RETENTION AREA
 - D.S.A. DRAINAGE RETENTION AREA
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - O.E. ORANGE EASEMENT
 - T.S. TREES (SEE TREE SCHEDULE)
 - G.C. GROUND CONTOUR
 - F.F. FINISH FLOOR ELEVATION
 - T.B.M. TEMPORARY BENCHMARK
 - I.V. INVERT
 - T.S.B. TRAFFIC SIGNAL BOX
 - S.M. SANITARY MANHOLE
 - W.M. WATER METER
 - T.S. TRAFFIC SIGN
 - S. STREET SIGN
 - G.M. GAS MARKER
 - F.O.C. FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - L.P. LIGHT POLE
 - F.H. FIRE HYDRANT
 - T.F. TELEPHONE FEDESTAL
 - E.M. ELECTRIC METER
 - S.E. SPOT ELEVATIONS



WETLANDS 'A' DETAIL
SCALE
1" = 50'



WETLANDS 'C' DETAIL
SCALE
1" = 10'



WETLANDS 'D' DETAIL
SCALE
1" = 20'



BROWN & ROBERTS
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 652-9314 • Fax. (352) 652-9314

A TOPOGRAPHIC SURVEY FOR EQUESTRIAN OPERATIONS, LLC
Maitland, Arac, Orlando

JOB No. 24-0000
DATE 11-2-2023
SCALE 1" = 300'
SHEET 1 OF 4

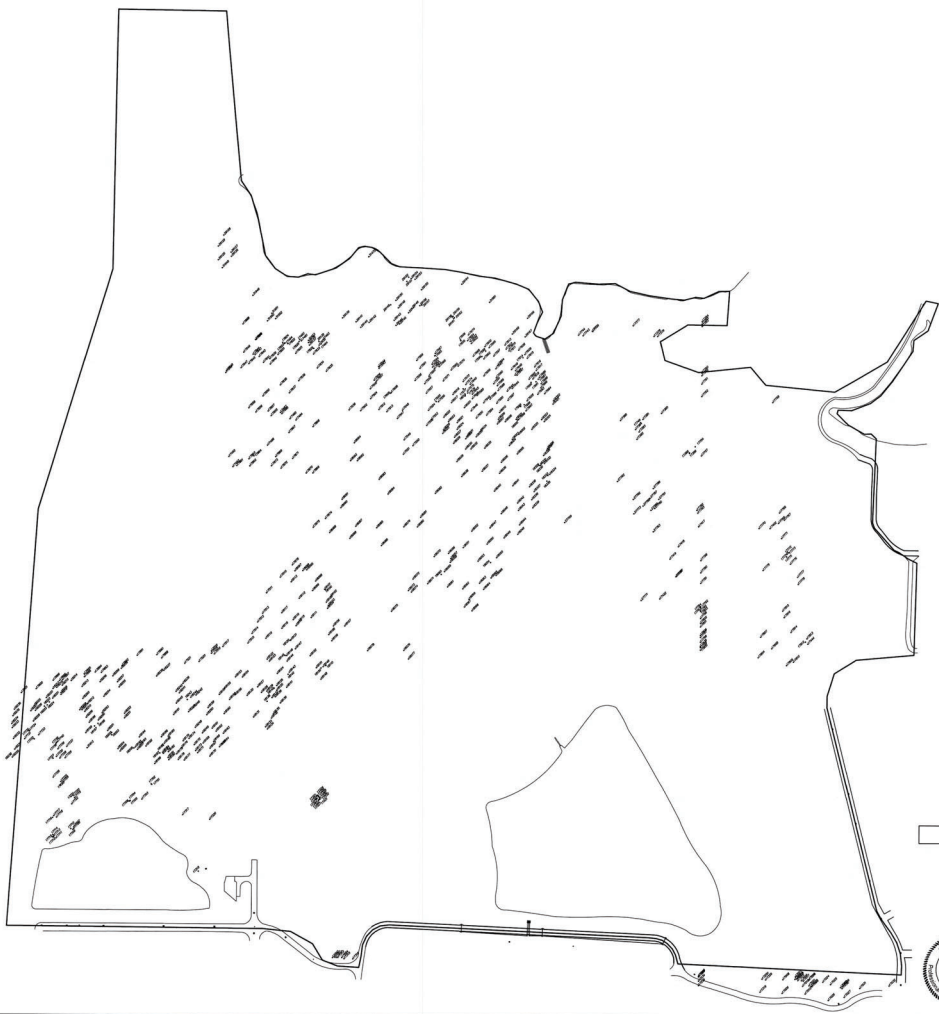
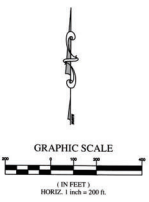
DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 31106
APPROVAL DATE 5/20/24
EXPIRATION DATE 5/20/26

All information and contents in this construction document contained in the Marion County Land Development Code, shall remain in force and effect until the date of expiration of the permit and shall not be subject to approval by the County Engineer or Designer.

NOTICE
The approval of these plans is limited to the information shown on the construction documents. The County will not be responsible for any other requirements of other agencies for additional permits, as applicable, for these work items.

NO.	DATE



RECEIVED
MAY 13 2024
MARION COUNTY
COUNTY ENGINEER

Robert L. Rogers, PE
Professional Engineer
No. 12345
Marion County, Florida
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Lic. No. 44074

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • P.L. 052 025214 • Lic. No. 44074

- LEGEND**
- W.R.A. WATER RETENTION AREA
 - D.R.A. DRAINAGE RETENTION AREA
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D.E. DRAINAGE EASEMENT
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INVERT
 - TRAF. SIGNAL BOX
 - SANITARY MANHOLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGN
 - STREET SIGN
 - GAS MARKER
 - FIBER OPTIC CABLE MARKER
 - CONCRETE METED END SECTION
 - LIGHT POLE
 - FIRE HYDRANT
 - TELEPHONE PEDestal
 - ELECTRIC METER
 - SPOT ELEVATIONS

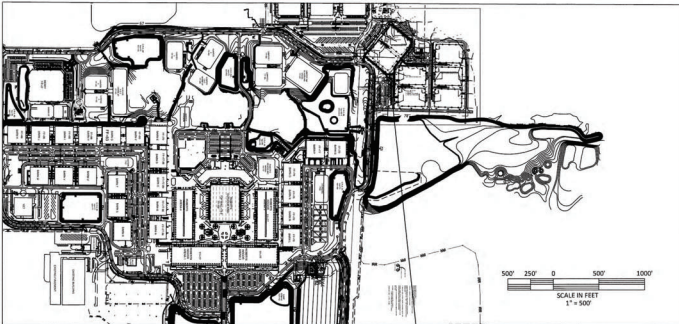
SEE SHEET 6 FOR TREE SCHEDULE



ROBERT L. ROGERS, PE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A TOPOGRAPHIC SURVEY FOR EQUESTRIAN OPERATIONS, LLC

Job No. 22-1002
Date 11-2-2022
Scale 1" = 200'
Sheet 5 of 6

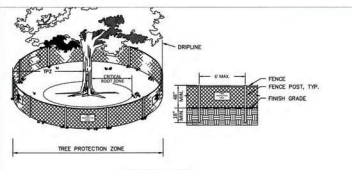


ALLOW 6' FROM ALL FIRE HYDRANTS OR FIRE CONNECTIONS ALLOW CLEAR PATH TO VEHICLE USE GRASS OR GROUND COVER CLEAR VISIBILITY

ALLOW 2' FROM REAR AND 4' FROM FRONT OF ALL TRANSFORMERS

MINIMUM LANDSCAPE REQUIREMENTS:
4-PARKING AREAS:
 PROJECT AREA-175,000 SF
 PARKING AND BUILDING AREA-125,000 SF
 TOTAL GREEN AREA-50,000 SF - 29% GREEN AREA
 BUFFERS PER PUD-300' FRONT 10' wide 50% planting
 WILL HAVE 2" PLANTING 2250SF - PROVIDED-3800SF
 NO SIDE OR REAR BUFFER REQUIRED
 BUILDING PUBLIC SIDE- NO BUILDINGS PROPOSED
 INTERIOR PARKING LOT ISLANDS:
 1-VEHICLE PARKING LOT- ISLANDS PROVIDED
 1-TRAILER PARKING LOT- NO CENTER ISLANDS-WAIVER REQUESTED
 SHADE TREES FOR INTERIOR ISLANDS RELOCATED TO EXTERIOR

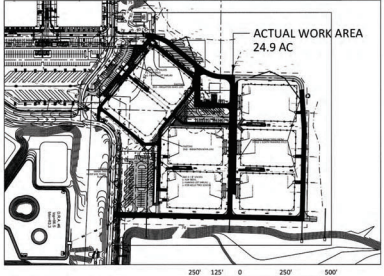
NEW LANDSCAPE AREA
 TOTAL PLANTED AREA- 8,000 SF- SHRUB AND PLANTED AREA
 BALANCE OF GREEN AREA- SAHRA SOD



EXISTING TREES AT PERIMETER TO REMAIN PROTECT WITH TREE FENCE

THIS PROJECT IS A MODIFICATION TO A PREVIOUS PROJECT. ORIGINAL APPLICATION # 30343 ALL TREE MITIGATION AND TREE CALCULATIONS WERE PROVIDED FOR AND WAIVERS SUPPLIED.

NO EXISTING TREES OR TREES PLANTED IN PHASE 1 WILL BE REMOVED OR ALTERED WITH THIS MODIFICATION.



- NOTES:**
1. TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY COMMENCEMENT OF GRADING OPERATIONS INCLUDING THE REMOVAL OF OTHER TREES.
 2. FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
 3. BARRICADES SHALL BE MADE OF FRESH MATERIALS, CAPABLE OF WITHSTANDING THE WEIGHT OF THE CONSTRUCTION EQUIPMENT.
 4. BARRICADES SHALL BE REINFORCED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REINFORCED AS REQUIRED.
 5. CONSTRUCTION EQUIPMENT OR MATERIALS SHALL NOT BE STORED OR PLACED WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE.
 6. THE REMOVAL OF EQUIPMENT OR STORAGE OF EQUIPMENT MATERIALS, SOILING, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.
 7. IF ANY TREE IS NOT PERMITTED FOR REMOVAL, IS DESTROYED, OR OTHERWISE INCURRED DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, THE OWNER SHALL PLACE TO LOCATE THESE TREES IN QUESTION, MUST BE REPLACED AT AN INCH TO INCH BASIS OF THE TOTAL CROWNED AREA OF THE TREES SO DESTROYED OR DAMAGED. THE REPLACEMENT TREES SHALL BE OF COMPARABLE SPECIES TO THE DESTROYED OR DAMAGED TREES WITH A MINIMUM CALIBER OF 3" CALIBER.
 8. REQUIRED SIGNS SHALL STATE "TREE PROTECTION ZONE".

NOTE: ALL PLANT MATERIAL SUBJECT TO CHANGE- OWNER WILL APPROVE ALL PLANT SPACING PRIOR TO INSTALL ALL TREES AND SHRUBS LAYOUT MAY BE ALTERED IN THE FIELD WITH OWNERS APPROVAL

RECEIVED

11/17/18

MARION COUNTY
Office of County Engineer

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31108
 APPROVAL DATE: 5/20/24
 EXPIRATION DATE: 5/20/28

All construction shall conform to the construction standards established by the Marion County and Metropolitan Council, based on the Florida Building Code, and approved by the Marion County and Metropolitan Council. The applicant shall be responsible for obtaining all necessary permits, as applicable, for state and local laws.

NOTICE
 The approval of these plans is limited to the Marion County and does not constitute an approval for additional permits, as applicable, for state and local laws.

MARION COUNTY APPROVAL STAMP

- LANDSCAPE NOTES:** (SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS)
1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADING AND STANDARDIZATION SPECIFICATIONS, SECTION OF PLANT PRODUCTS, FURNISHMENT OF PLANT MATERIALS AND CONSTRUCTION ASSOCIATION, LATEST EDITION.
 2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES AND SHRUBS. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLANT MATERIALS. QUANTITIES FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
 4. ALL LANDSCAPE INSTALLATION MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 5. THE CONTRACTOR SHALL MAINTAIN EXISTING SITE CONDITIONS AND PROTECT ALL UTILITIES AND EXISTING CONSTRUCTION CONTRACTS, PILES, CABLES, UTILITIES, ETC. TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSES FROM TO INSTALLATION OF PLANTING, AND SHALL MAINTAIN ALL ANALYSES COMPLETE TO PROTECTION.
 6. THE CONTRACTOR SHALL ACQUIRE PERMITS WITH THE SITE AND ALL UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SERVICES. THE CONTRACTOR SHALL CALL, LOCATE, EXPOSE AND MARK ALL UTILITIES NOT LISTED ON THE SITE PLAN. THE EXACT LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SERVICES, SHALL BE OBTAINED AND MARKED. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PRESERVE UTILITIES OR DAMAGE TO EXISTING UTILITIES AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIS OR HIS CONTRACTOR'S USE OF HIS CONTRACTOR.
 7. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR CORRESPONDING REPLACEMENT IF DAMAGED BY HIM OR HIS CONTRACTOR'S USE OF HIS CONTRACTOR.
 8. ALL TREE MATERIAL SHALL BE CONTAINERS GROWN UNLESS OTHERWISE SPECIFIED.
 9. SOIL PROVIDED SHALL BE FREE OF LIMES, ROCKS, OR OTHER CONSTRUCTION DEBRIS.
 10. ALL PLANTING BEDS SHALL RECEIVE A 2" LAYER OF MULCH (1" OVER ROOTBALL), REAPPLIED AFTER EACH HAS SETTLING.
 11. ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT THE TIME OF INSPECTION BY LANDSCAPE ARCHITECT OWNER INSPECTION.
 12. MAINTENANCE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE FLORIDA TREES & NURSERY/SHRUBS STANDARDS, NEW PUBLICATIONS.
 13. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE FLORIDA TREES & NURSERY/SHRUBS STANDARDS, NEW PUBLICATIONS.
 14. PRELIMINARY LANDSCAPE PLAN SHALL COMPLY WITH MARION COUNTY LDC SEC. 8.1.1.
 15. ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC SEC. 8.1.1.
 16. ALL CONSTRUCTION AND DESIGN OF LANDSCAPE PROFESSIONALS AND DESIGNATION INSTALLATION MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 8.1.1 AND 8.1.2.
- LANDSCAPE COMPLETION INSPECTION REQUIREMENTS**
1. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT A COPY OF THE ACTUAL INSTALLATION OF THE LANDSCAPE AND SIGNATURE OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT A COPY OF THE ACTUAL INSTALLATION OF THE LANDSCAPE AND SIGNATURE OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT A COPY OF THE ACTUAL INSTALLATION OF THE LANDSCAPE AND SIGNATURE OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT A COPY OF THE ACTUAL INSTALLATION OF THE LANDSCAPE AND SIGNATURE OF THE LANDSCAPE ARCHITECT.
 2. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS A MINIMUM: (1) THE APPROVAL OF THE DESIGN PROFESSIONAL, IT IS REQUIRED FOR ANY DESIGN CHANGES (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.) TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 3. THE CONTRACTOR SHALL PROVIDE COORDINATION THAT THE OWNER HAS RECEIVED: (1) LETTERS MAINTENANCE, PRUNING, AND WEED CONTROL INSTRUCTIONS AND SCHEDULE.
- IRRIGATION COMPLETION INSPECTION REQUIREMENTS**
- LOCAL COORDINATION OF THE IRRIGATION SYSTEM AND COMPLETION OF THE AS-BUILT IRRIGATION SYSTEM SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 8.1.1 AND 8.1.2.
- OWNER RESPONSIBILITY**
- THE OWNER IS RESPONSIBLE FOR OBTAINING SURVEIL OF THE ALIENS
- PRE LDC SECTION 8.1.1- LANDSCAPE INSTALLATION SHALL BEAN SURVEIL IN PERMITS AND REQUIREMENT IF NECESSARY OF ALL MATERIALS, SOIL AND/OR OTHER PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.
- ADDITIONAL NOTES**
1. ALL PLANTS SHALL BE 1" IN CALIBER. PLANTS SHALL MEET OR EXCEED ALL MINIMUM HEIGHT, SPREAD, AND CALIPER SPECIFICATIONS BASED ON PLANT TYPE AS DESCRIBED IN PLANS AND STANDARDS (SEE LANDSCAPE NOTES).
 2. ALL TREES SHALL MEET MINIMUM CALIBER AND SPREAD REQUIREMENTS, UNLESS OTHERWISE SPECIFIED IN THE PLANS. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL PLANTS, INCLUDING CALIBER, SPREAD, AND CALIPER, THROUGH APPROVED ROOTS PLUS CROWN (RWC).

CYPRESS MANAGEMENT AND DESIGN
 900 SW 30th Street - Suite 200
 Gainesville, FL 32609

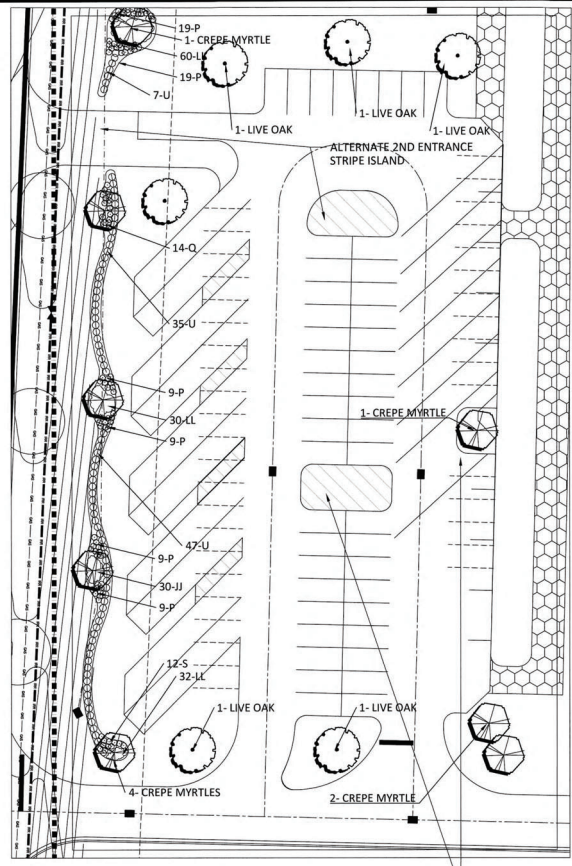
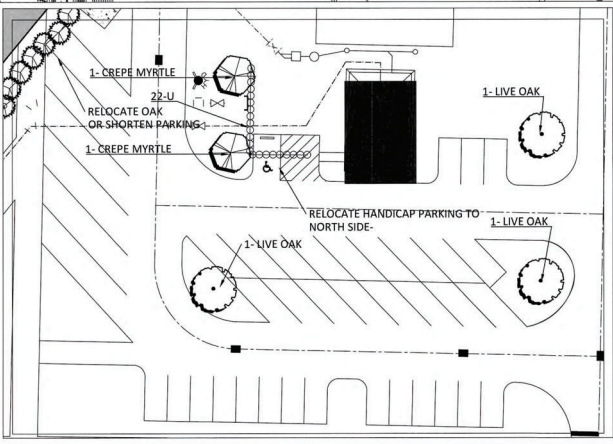
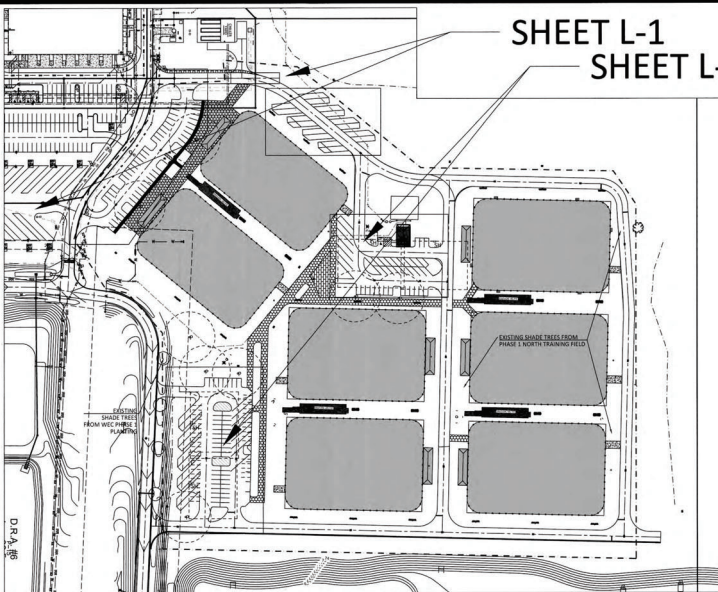
WORLD EQUESTRIAN CENTER
NORTH TRAINING FIELDS
NORTH TRAINING FIELD

DATE: 5-22-2024
 CHECKED BY: _____
 JOB NO. _____

CYPRESS MANAGEMENT AND DESIGN
 P.O. BOX 888 PLAINFIELD, IL 62554

SHT LC-0

SHEET L-1
SHEET L-2



- U- LIGUSTRUM JAPONICA- 36" X 36" 3' O.C
- S- RAPHIOLEPSIS INDICA- 18 X 24" 32" O.C
- JJ- AGGAPANTHUS AFRICANUS- ST CL. 4-5 BIB- 18" O.C.
- LL- LIRIOPE- EVERGREEN GIANT- ST CL. 4-5 BIB- 18" O.C.

ALTERNATE PARKING LOT- USED FOR CARS OR HORSE TRAILERS--NO CENTER ISLANDS-- SHADE TREES RELOCATED TO OUTSIDE EDGE

ARGENTINE BAHIA SOD ALL DISTURBED AREAS



DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
APPLICATION #: 31109
APPROVAL DATE: 6/20/24
EXPIRATION DATE: 6/20/26

All construction shall conform to the construction standards established by the Marion County Land Development Code. While review, review of the right-of-way indicated during construction shall be allowed and approved. Said and notes may not be used if approved by the County Engineer or Designer.

NOTICE: The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute our acceptance of the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

MARION COUNTY APPROVAL STAMP



ALL NEW TREES ARE LABELED. ALL OTHER TREES SHOWN ARE EXISTING FROM PREVIOUS STAGES

CYPRESS MANAGEMENT AND DESIGN
1001 W. UNIVERSITY BLVD. SUITE 100
ORLANDO, FL 32806
904.759.9276 - SITE@CPMDESIGN.COM

NO.	DATE	DESCRIPTION
1	6/20/24	ISSUED FOR PERMIT

WORLD EQUESTRIAN CENTER
NORTH TRAINING FIELDS
NORTH TRAINING FIELD

DATE: 2-13-2024
DRAWN BY:
CHKD. BY:
JOB NO.:



SHT. LC-2

