

August 19, 2025

PROJECT NAME: COMMERCIAL LOT NEW OFFICE

PROJECT NUMBER: 2024080065

APPLICATION: MINOR SITE PLAN #31909

1 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit? Verify if in primary springs protection zone. Will it need an enhanced septic system?

STATUS OF REVIEW: INFO

REMARKS: Initial review: Please show water and sewer connections.

3/4/25 - Defer to Marion County Utilities.

2 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.

STATUS OF REVIEW: INFO

REMARKS: Initial review: Will there be a sign or will the sign be permitted later?

3/4/25 - Applicant acknowledged on comment response letter (submitted 2/21/2025) that a sign is not provided for this minor site plan application and may be permitted at a later date.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning Comments

STATUS OF REVIEW: INFO

REMARKS: 3/4/25 - [INFO] Please move the waiver request/approval text from the site plan sheet to the cover sheet. Include the relevant LDC section from which the waiver is being requested, along with a brief description of the waiver in one to two complete sentences. Upload the request/approval documents sent to/from DRC to the supplemental folder in ePlans.

4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Central Sewer/Central Water

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: How is building accessed? All walkways and sidewalks should be shown on the plan.

6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5 A(8) - Submittal Reqs - Connection to existing sanitary system

STATUS OF REVIEW: INFO

REMARKS: 4.22.25 Listed in response letter. No acknowledgement. Previous comment. Each unit shall have its own sewer lateral.

7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.6.D - Meter Location

STATUS OF REVIEW: INFO

REMARKS: 4.22.25 Site Plan - Can combine PWS meters for uniformity and place near North lot line.

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.6.E - Meter Easements

STATUS OF REVIEW: INFO

REMARKS: 4.22.25 Site Plan - Meters must be in ROW or provided an easement

9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Article 7 - Construction Standards - PLAN NOTE:

STATUS OF REVIEW: INFO

REMARKS: This is a plan note: All facilities constructed on the developer's property prior to interconnection with Marion County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).

10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities Comments

STATUS OF REVIEW: INFO

REMARKS: 4.22.25 - Site Plan - indicate the end of County maintenance limits on the plans.

11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities Comments

STATUS OF REVIEW: INFO

REMARKS: Please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896. All of Utilities "NO" comments remained unaddressed. Overlay feature in ePlans show changes were made from Version 2 to Version 3 on the Site Plan, but no Utility Changes were made?

12 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)

STATUS OF REVIEW: NO

REMARKS: Initial review: Please submit an environmental assessment for listed species consistent with (Article 6, Division 5, Sec. 6.5.4)

3/4/25 - This item will remain NO until the Applicant completes one of two options: (1) Submit an environmental assessment for listed species consistent with Marion County Land Development Code Sec. 6.5.4; or (2) Submit an exemption request consistent with Sec. 6.5.3.C.

Please note: Environmental assessments are a state requirement. No waivers shall be granted by the County's Development Review Committee. Please remove waiver request text from the site plan sheet.

13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions

STATUS OF REVIEW: NO

REMARKS: 4/24/25-Title block shall be shown on ALL sheets denoting type of application (Minor Site Plan); project name, location, county, and state; and date of original and all revisions

2/24/25-Title block shall be shown on ALL sheets denoting type of application (Minor Site Plan); project name, location, county, and state; and date of original and all revisions

8/27/24-Title block shall be shown on ALL sheets denoting type of application (Minor Site Plan); project name, location, county, and state; and date of original and all revisions

14 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.A - Type of application

STATUS OF REVIEW: NO

REMARKS: 2/24/25-Type of application - Minor Site Plan

2/24/25-Type of application - Minor Site Plan

8/27/24-Type of application - Minor Site Plan

15 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.L(1) - Parcel number

STATUS OF REVIEW: NO

REMARKS: 4/24/25-No Parcel Number found

2/24/25-No Parcel Number found

8/27/24-No Parcel Number found

16 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.3 - Traffic Impact Analysis

STATUS OF REVIEW: NO

REMARKS: 4/30/25 - No traffic impact analysis provided.

3/4/25 - Provide a traffic statement indicating expected peak hour trips. Reference the ITE Trip Generation Manual, 11th Ed.

9/11/24 - Traffic statement indicating expected peak hour trips is minimally required.

17 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.4.B - Cross access

STATUS OF REVIEW: NO

REMARKS: 4/30/25 - Provide evidence of recorded easement when available.

3/4/25 - Cross access as shown must be recorded prior to final plan approval.

9/11/24 - 24' paved cross access and easement is required parallel to Marion Oaks Blvd and must be recorded prior to final plan approval. The template for the required easement can be obtained by contacting Cheryl Weaver in the Right-of-Way Office at 352-671-8679.

18 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.9.B - Traffic signs

STATUS OF REVIEW: NO

REMARKS: 4/30/25 - "No left turn" sign in median is not indicated on plans. Refer to LDC Sec. 7.3.1 TS030 and MUTCD for sign construction details and provide detailed description. Contact OCE Traffic with questions.

3/4/25 - Show stop sign, no left turn sign, and sign construction details on plans.

9/11/24 - Stop sign will be required at driveway exit and should be positioned 4' behind required sidewalk. No left turn sign in the median is also required.

19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.9.C - Pavement marking

STATUS OF REVIEW: NO

REMARKS: 4/30/25 - Refer to LDC Sec. 7.3.1 TS030 and MUTCD for pavement marking details and provide detailed description. Contact OCE Traffic with questions.

3/4/25 - Show stop bar and right turn arrow on plans.

9/11/24 - Stop bar and right turn arrow is required at driveway exit location.

20 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 4/30/25 - Reiterating original comment: Sidewalks are required along Marion Oaks Blvd. Staff supports fee-in-lieu of construction waiver. If approved, the fee comes out to \$1,900 and must be paid prior to final inspection.

3/4/25 - DRC waiver approval required to authorize fee-in-lieu of construction for sidewalks in the amount of \$1,900.

9/11/24 - Sidewalks are required along Marion Oaks Blvd. Staff supports fee-in-lieu of construction waiver. If approved, the fee comes out to \$1,900 and must be paid prior to final inspection.

21 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: NO

REMARKS: Sheet A200 still has Units A & B that need to be corrected to Units 1 & 2.

22 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A - Water Connection Requirements

STATUS OF REVIEW: NO

REMARKS: 4.22.25 REMAINS UNADDRESSED. SHOW EXISTING WATER MAIN ON PLANS, CALL OUT METERS AND SIZES. SEE PREVIOUS COMMENTS 2.22.25 Need to show services, meter boxes and details. - Previous comment: show water services & meter boxes; show tap of existing main & method

23 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2 A - Sewer Connection Requirements

STATUS OF REVIEW: NO

REMARKS: 4.22.25 REMAINS UNADDRESSED. Site is NOT permitted to install septic system(s). MUST CONNECT TO PUBLIC SEWER. SHOW CONNECTIONS, METHOD AND DETAILS. 2.25.25 - Remains unaddressed. Need to show sewer connection, existing sewer and details. - Previous comment. Sewer laterals; show tap of existing main & method

24 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified

STATUS OF REVIEW: NO

REMARKS: 4.22.25 Site Plan - REMAINS UNADDRESSED 2.25.25 - The irrigation meter and tap must be shown on the Utility plan (Labeled as site plan with this project.) (2) MCU will need total irrigated square foot to calculate capacity charges. - Previous Comment: is irrigation required? If so, how is it being served (irrigation meter or private irrigation well)?

25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.A(1) - Submittal Reqs - Existing on-site & off-site mains and service connections

STATUS OF REVIEW: NO

REMARKS: 4.22.25 REMAINS UNADDRESSED. See Previous comment 2.25.25 Remained unaddressed - Previous comment - show existing water & sewer mains, including pipe size and tapping locations for new services

26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.A(3) - Submittal Reqs - Lift Stations layout, elevations, schedules

STATUS OF REVIEW: NO

REMARKS: 4.22.25 - Connection to Gravity sewer is required. ANR Septic will not be permitted when public sewer is available. 2.22.25 - Gravity sewer is available at alley road, E of the property; Lift station should not be required.

27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version

STATUS OF REVIEW: NO

REMARKS: 4.22.25 - REMAINS UNADDRESSED. PLAN MUST HAVE DETAIL SHEET WITH MCU DETAILS LISTED 2.25.25 - MCU Utility Details must be shown on on Utility Plan or separate plan sheet - Previous comment: Find MCU updated UT details as of 4/13/23 Code revision here: <https://utilities.marionfl.org/i-want-to/find-construction-related-forms>

28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:

STATUS OF REVIEW: NO

REMARKS: 4.22.25 - REMAINS UNADDRESSED. Plans will not be approved without note listed on Site Plan. 2.20.25 Remains Unaddressed: Add note to utility page. Previous comment: "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."

29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.5 - Water Service and Connection

STATUS OF REVIEW: NO

REMARKS: 4.22.25 Site Plan - REMAINS UNADDRESSED. 2.20.25 - Remains Unaddressed - Previous comment: show water service size and tapping method to existing main

30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.6.A - Potable Water Metering - individual/banked, size

STATUS OF REVIEW: NO

REMARKS: 4.22.25 Site Plan - REMAINS UNADDRESSED. See Previous comment. 2.25.25 - Remains Unaddressed - Previous comment: show meter sizes - there will be two separate accounts to serve this parcel based on the building permit interior floorplan of two uses/separate offices

31 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.6.B - Irrigation Water Metering - size

STATUS OF REVIEW: NO

REMARKS: 4.22.25 Site Plan - 3/4" Meter from IR.01 needs to be shown on site plan. Include method of connection and backflow prevention

32 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention

STATUS OF REVIEW: NO

REMARKS: 4.22.25 - Need to show backflow protection after meters. .

33 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]

STATUS OF REVIEW: NO

REMARKS: 4/29/25: An environmental assessment report or letter explaining exemption from this requirement must be submitted for this rejection to be removed.

Neither an EALS or EALS Exemption Letter Request has been provided. They must be provided in order to obtain site plan approval. Be advised that this area in the Marion Oaks community has been identified as an area where the listed Florida Scrub Jay IS present. (The applicant's response to comments does not provide any response to the prior review remark.)

PRIOR COMMENT: Please provide an environmental assessment or exemption.

34 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?

STATUS OF REVIEW: NO

REMARKS: If, during assessment, listed species are found a mitigation plan to be provided.

35 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?

STATUS OF REVIEW: NO

REMARKS: 4/29/25: Required note as provided below is still not included on cover page.

Revise the plan Cover Sheet to provide the following note:

"This proposed project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the property are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, Building Permit review."

PRIOR COMMENT: This note is required to be placed on the cover page.

36 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Minor Site Plan

STATUS OF REVIEW: NO

REMARKS: 4/30/25 We still need the executed and cross access easement for review. HR

3/10/25 We still need the executed and cross access easement for review. HR

9.25.24 Execute and submit cross access easement to OCE (Property Mgmt) for review and approval. AL
--**IF APPLICABLE**--

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

31909

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 8-18-2025 Parcel Number(s): 8001-0248-06 Permit Number: 31909

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Commercial Lot New Office Commercial Residential

Subdivision Name (if applicable): _____

Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): _____

Signature: _____

Mailing Address: 10877 N US Hwy 301 City: Oxford

State: FL Zip Code: 34484 Phone # _____

Email address: _____

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Menadier Engineering, LLC Contact Name: William A. Menadier

Mailing Address: 13800 Tech City Circle, Bldg. D, Suite 302 City: Alachua

State: FL Zip Code: 32615 Phone # 386-347-5133

Email address: wmenadier@menadier.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ Sec. 6.12.12 Sidewalks

Reason/Justification for Request (be specific): Waiver to authorize fee-in-lieu of construction for sidewalks on Marion Oaks Boulevard.

DEVELOPMENT REVIEW USE:

Received By: emailed 8/19/25 Date Processed: 8/19/25 Project # 2024080065 AR # 31909

ZONING USE: Parcel of record: Yes No

Eligible to apply for Family Division: Yes No

Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No

Date Reviewed: _____ Verified by (print & initial): _____

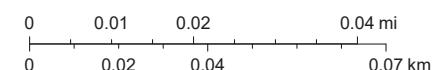
MCBCC Interactive Map - Internal



8/19/2025, 4:03:10 PM

1:1,128

- Parcels
- Streets
- Blue: Band_3
- Marion County
- Aerial 2024
- Red: Band_1
- County Road Maintenance
- Green: Band_2
- OCE Maintained Paved



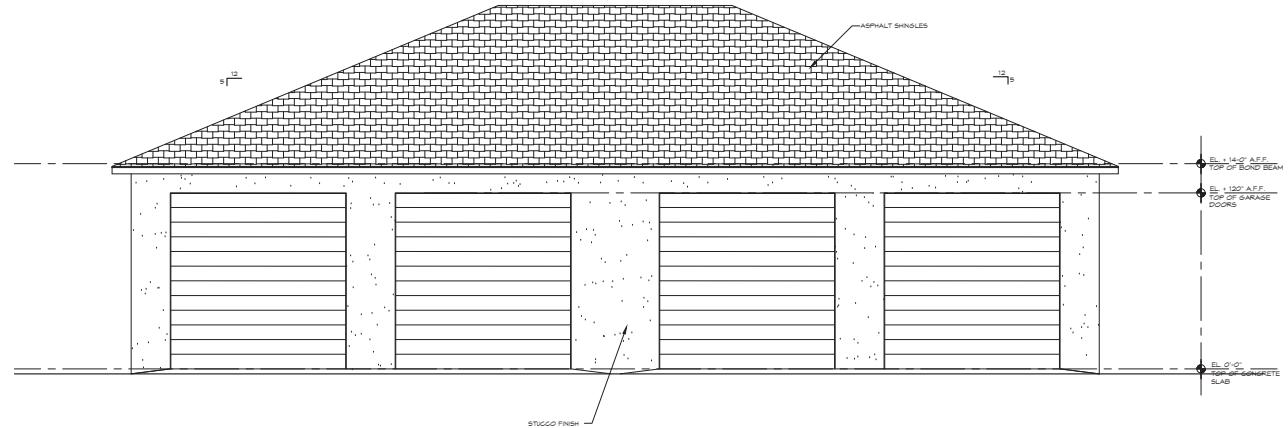
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, OCE, Marion County BOCC

NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA



ROLANDO SOSA
2025.02.14
16:06:05 -05'00"

A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA



EAST ELEVATION

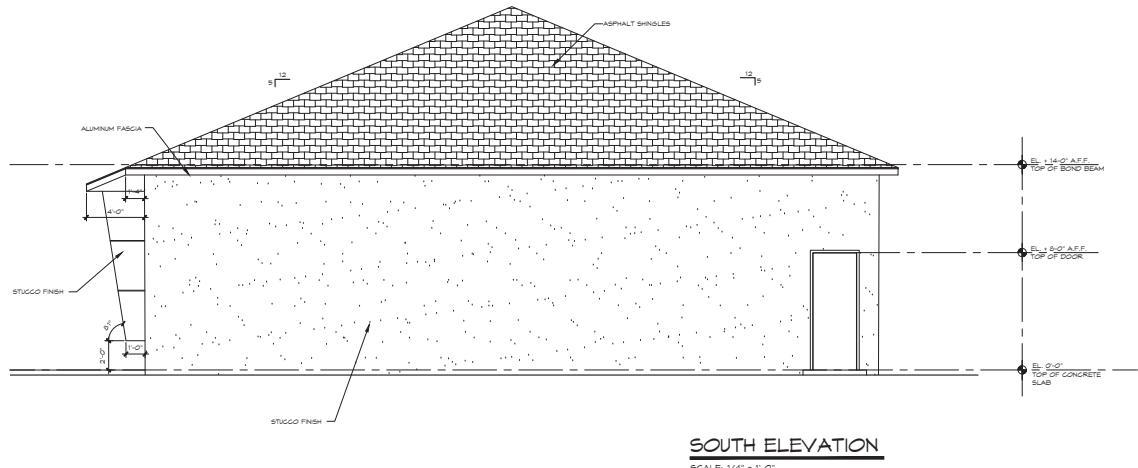
SCALE: 1/4" = 1'-0"

01.29.25
by
SG project no.
2446 sheet no.

A300



"Built for Yesterday, Planning for a Lifetime of Luxury."

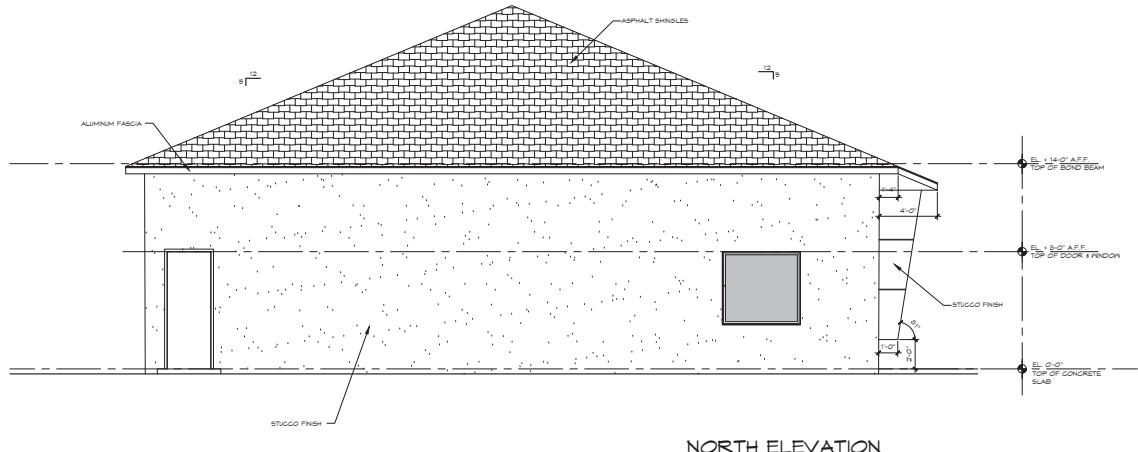


Rolando Sosa
2025.02.14
16:06:28 -05'00'

ROLANDO SOSA, ARCHITECT
FL LICENSE #C-90254
ROLANDO SOSA ARCHITECT
1823 east fort king st., suite 102, ocala, fl. 34471
301.352.4444 | 352.352.4444 | info@shamrockconstruction.com | 866.602.2570
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DRAWING.

A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA.



01.29.25
by
SG project no.
2446 sheet no.

A301

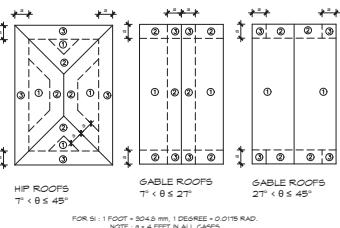
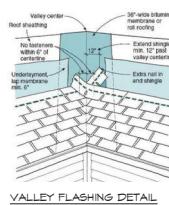


FIGURE 1604.3
COMPONENT AND CLADDING PRESSURE ZONES
ROOF SHEATHING PLAN
SCALE: N.T.S.

ZONE	SIZE	NAIL SPACING	NOTES
①	R5R509	8" O.C. EDGE, 4" O.C. INTERMEDIATE	HOT DIPPED GALVANIZED RING SHANK NAILS
②	R5R505	4" O.C. EDGE, 8" O.C. INTERMEDIATE	HOT DIPPED GALVANIZED RING SHANK NAILS
③	R5R505	4" O.C. EDGE, 4" O.C. INTERMEDIATE	HOT DIPPED GALVANIZED RING SHANK NAILS

NOTES:
1. INSTALL ROOF PEAK SHEATHING WITH LONG DIMENSION PERPENDICULAR TO FRAMING AND WITH JOINTS STRAIGHT. PROVIDED ROOF CLIPS ON UNSUPPORTIVE EDGES.
2. ROOF SHEATHING SHALL BE 1/2" COX FLYWOOD OR 1/2" OSB. SHEATHINGS, NAILINGS PATTERN SHALL COMPLY WITH 2020 IBC 602.
3. CLOSED VALLEY FLASHING AS PER ASTM D224.



VALLEY FLASHING DETAIL

1603.3 FLASHING
FLASHING SHALL BE USED TO SEAL ROOFING SYSTEMS, WHERE THE SYSTEM IS INTERRUPTED OR TERMINATED, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WALL AND ROOF THROUGH JOINTS IN CORNERS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.

1603.3.1 LOCATIONS
FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE TREATED WITH A COATING THAT IS A THICKNESS OF NOT LESS THAN THOSE LISTED IN TABLE 1603.3 OR AS SPECIFIED BY THE MANUFACTURER.

1603.3.2 VALLEYS
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED:
EXCEPTION: FLASHING IS NOT REQUIRED AT HIP AND RIDGE JUNCTIONS.

1601.2.4 FLASHINGS

FLASHINGS AND SHINGLES SHALL COMPLY WITH THIS SECTION OR RAS 111. FLASHING SHALL BE APPLIED IN ACCORDANCE WITH THIS SECTION, THE ASPHALT SHINGLE MANUFACTURER'S INSTRUCTIONS OR RAS 111.

1601.2.5 VALLEYS
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED:

LEGEND



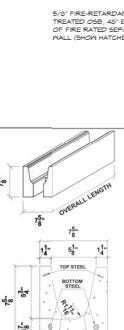
L1 LINTEL SYMBOL

LINTEL SCHEDULE

8" PRECAST U-LINTELS | STANDARD LENGTHS

OVERALL LENGTH	TOP STEEL	BOTTOM STEEL
2'-0"	2-7/32" wire	2-45 rebar
3'-4"	2-7/32" wire	2-45 rebar
4'-0"	2-7/32" wire	2-45 rebar
4'-6"	2-7/32" wire	2-45 rebar
5'-0"	2-7/32" wire	2-45 rebar
5'-4"	2-7/32" wire	2-45 rebar
6'-0"	2-7/32" wire	2-45 rebar
6'-4"	2-7/32" wire	2-45 rebar
6'-8"	2-7/32" wire	2-45 rebar
7'-2"	2-7/32" wire	2-45 rebar
8'-0"	2-45 rebar	2-45 rebar
8'-4"	2-45 rebar	2-45 rebar
9'-4"	2-45 rebar	2-45 rebar
10'-0"	2-45 rebar	2-45 rebar
10'-4"	2-45 rebar	2-45 rebar
11'-4"	2-45 rebar	2-45 rebar
12'-0"	2-45 rebar	2-45 rebar
12'-4"	2-45 rebar	2-45 rebar
13'-0"	2-45 rebar	2-45 rebar
14'-0"	2-45 rebar	2-45 rebar

Additional lengths available by special order



Rebar: ASTM A615 Grade 60
Wire: ASTM A510
Concrete Strength: 4000 psi
Average Self Weight: 33 plf
Blocks

SAFE LOADS (PLF)

8" PRECAST U-LINTELS

CAST-CONCRETE	TYPE OF LINTEL	UPLIFT				LATERAL			
		SP-17	SP-17	SP-17	SP-17	SP-17	SP-17	SP-17	SP-17
2'-0" to 3'-6"	PRECAST	1669	2655	3524	4394	5283	6132	7091	1025 1024 1098
3'-0" to 3'-6"	PRECAST	1669	2655	3524	4394	5283	6132	7091	
3'-0" to 4'-0"	PRECAST	1293	2095	3115	3975	4875	5720	6679	765 763 1309
4'-0" to 4'-6"	PRECAST	1267	2048	3107	3775	4643	5471	6379	595 691 1073
4'-0" to 5'-0"	PRECAST	1267	2048	3107	3775	4643	5471	6379	
5'-0" to 5'-10"	PRECAST	1016	1715	2276	2833	3399	3961	4522	411 411 745
5'-0" to 5'-10"	PRECAST	929	1567	2080	2693	3167	3620	4133	340 339 616
5'-10" to 6'-6"	PRECAST	835	1467	1885	2329	2796	3231	3712	507 721 495
6'-7" to 7'-6"	PRECAST	777	1065	1624	2033	2426	2937	3228	224 534 363
7'-7" to 9'-4"	PRECAST	737	1234	1824	2029	2426	2827	3228	330 912 230
9'-4" to 10'-6"	PRECAST	591	862	1116	1423	1989	2294	2619	284 401 180
10'-6" to 11'-4"	PRECAST	539	575	916	1185	1461	1736	2011	
11'-4" to 12'-0"	PRECAST	474	458	724	938	1153	1309	1585	244 402 137
12'-1" to 13'-4"	PRECAST	428	460	780	1159	1419	1653	1887	217 324 116

Additional lengths available by special order

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1603.4.1 ROOFING
ROOFING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

1603.4.2 ROOF SHEATHING
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1603.4.3 ROOF FLASHING
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1603.4.4 ROOFING SUPPORTS
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1603.4.5 ROOFING MEMBRANE
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1603.4.6 ROOFING UNDERLAYMENT
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1603.4.7 ROOFING INSULATION
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1603.4.8 ROOFING COATINGS
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1603.4.9 ROOFING VENTILATION
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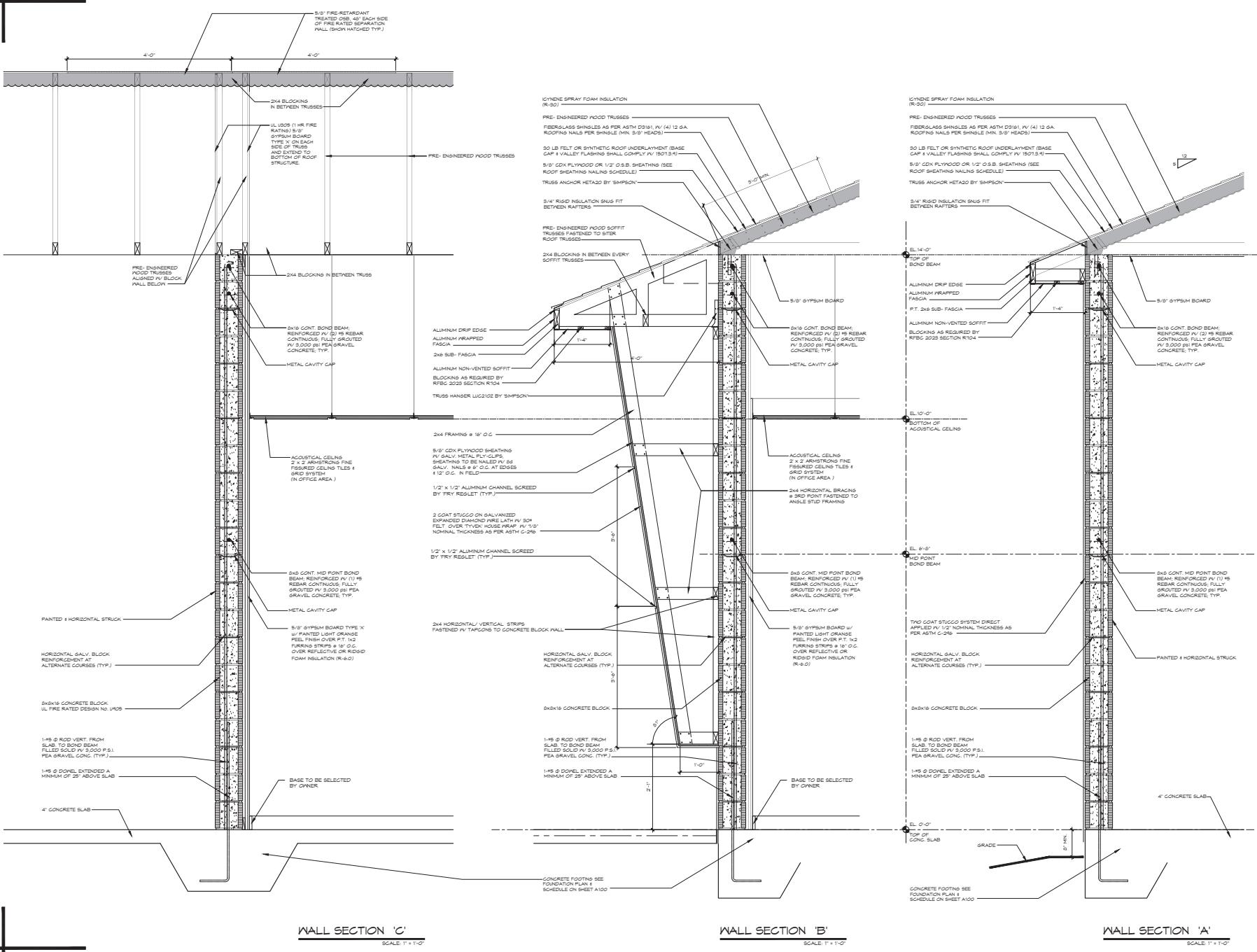
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A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA

A500

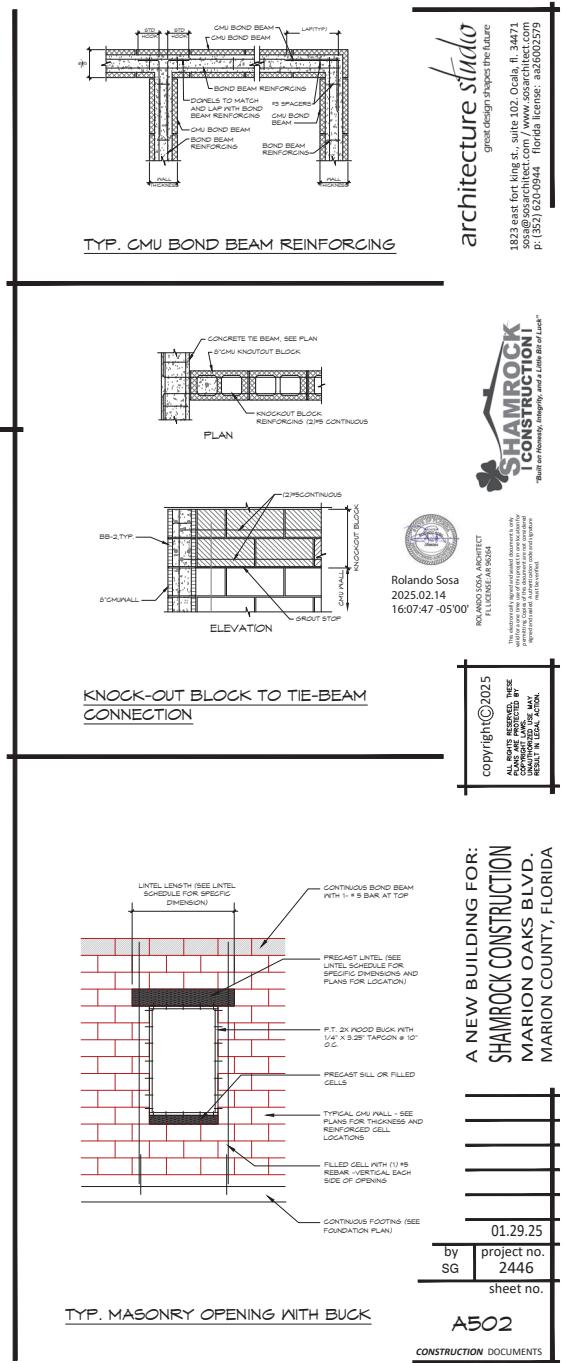
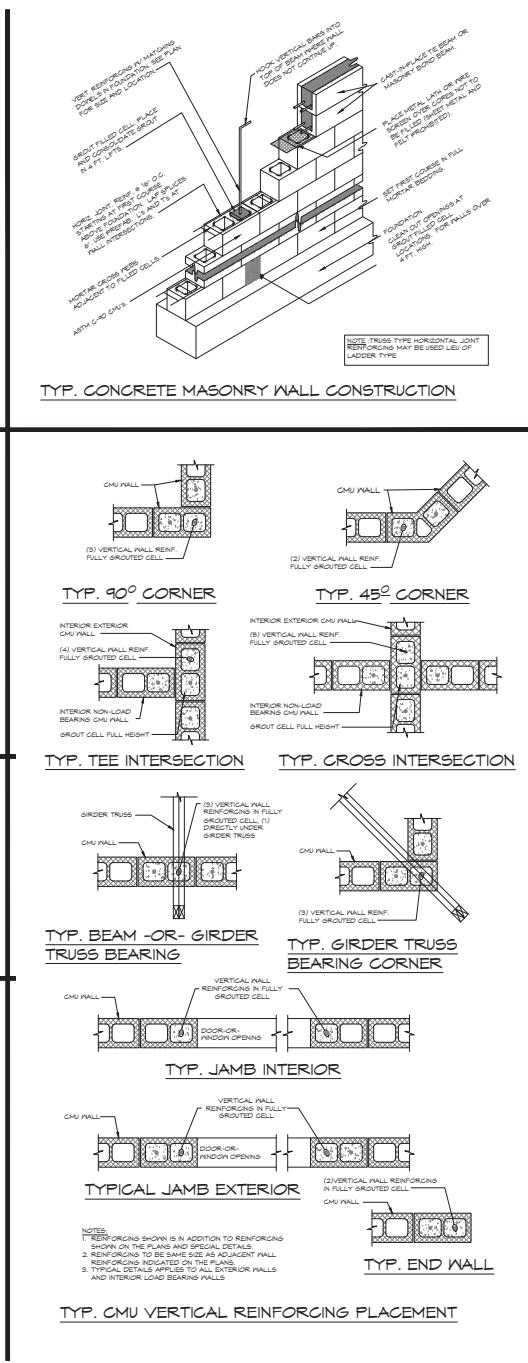
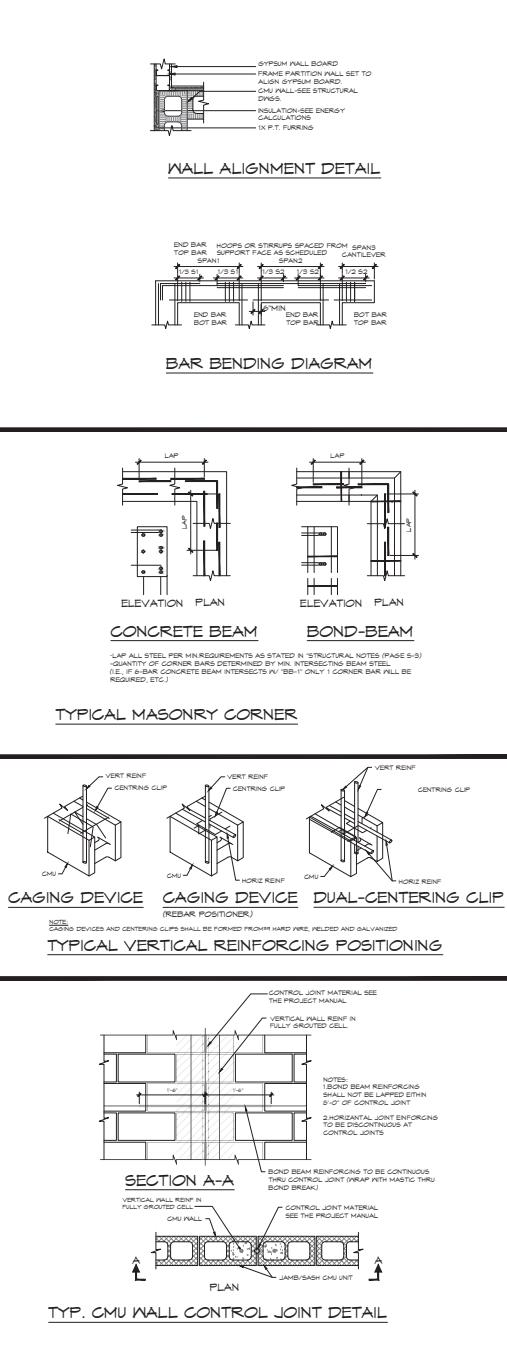
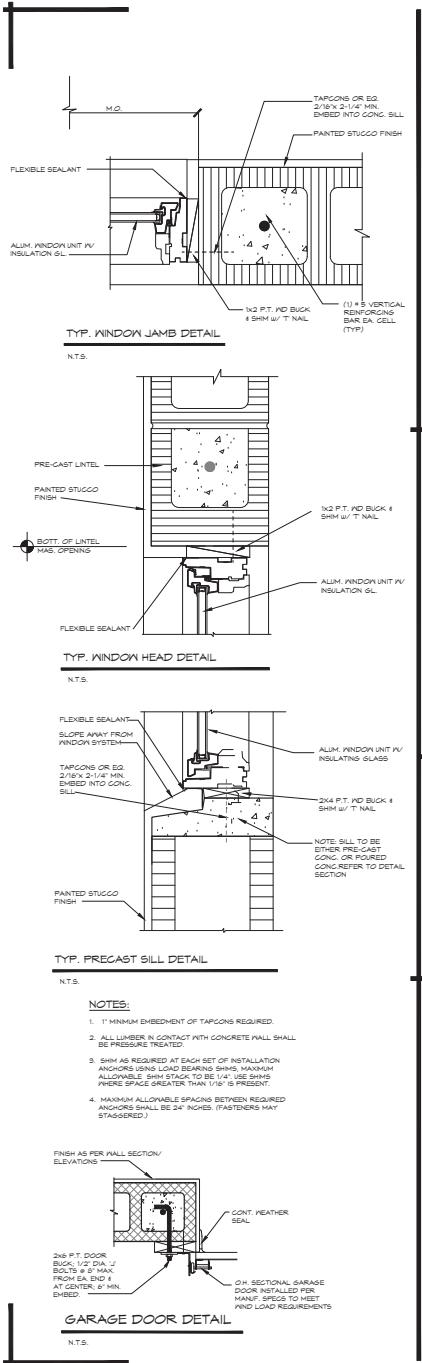
CONSTRUCTION DOCUMENTS

ROLANDO SOSA, ARCHITECT
FL LICENSE# AR 96264
sosa

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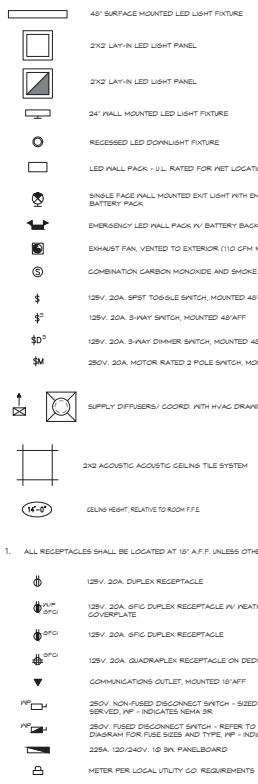
A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA

01.29.25
by
SG
project no.
2446
sheet no.

A600

CONSTRUCTION DOCUMENTS

SYMBOL LEGEND:



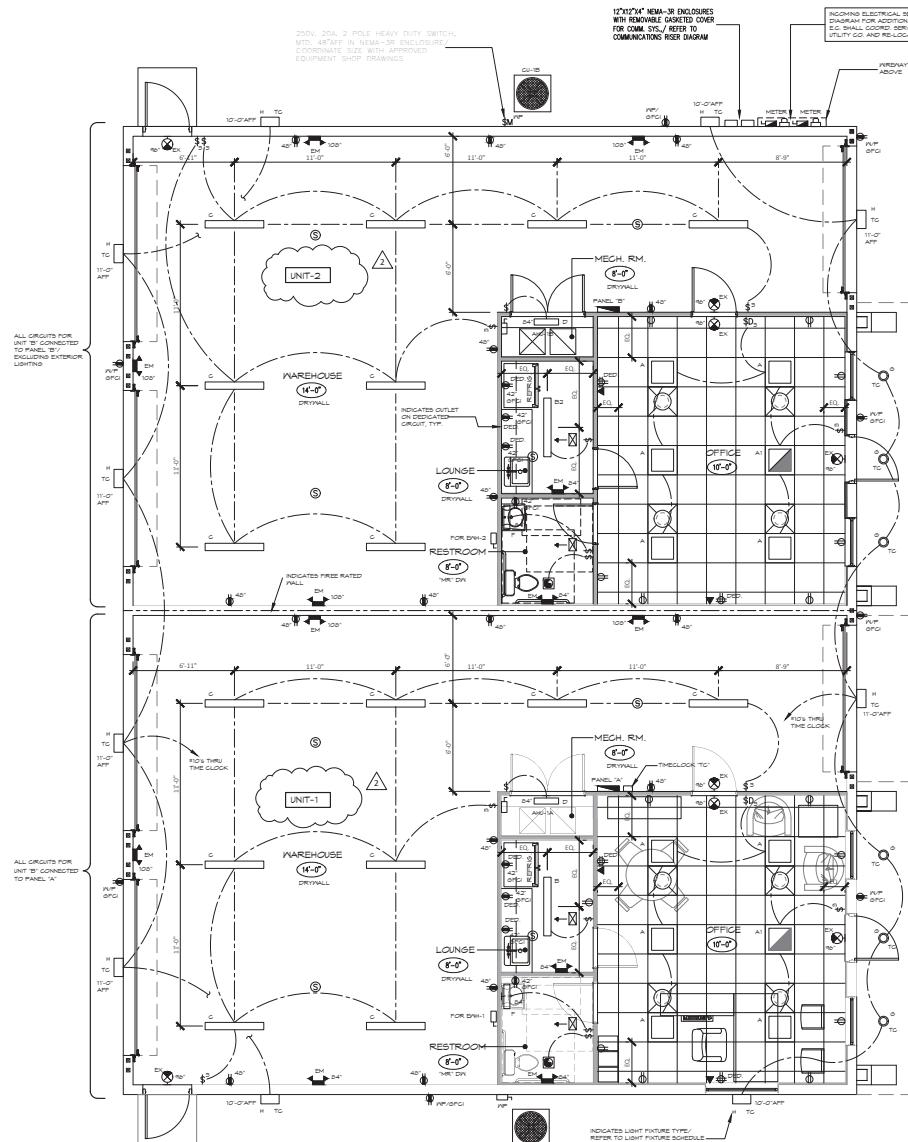
GENERAL NOTES

- INSTALLATION SHALL BE PERFORMED BY A LICENSED FLORIDA ELECTRICIAN. ELECTRICAL CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS, LICENSES, UTILITY COORDINATION, AND INSPECTIONS AS REQUIRED BY THE CITY, COUNTY, OR OTHER LOCAL GOVERNMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EQUIPMENT REQUIRED BY UTILITY COMPANY AND SHOULD INCLUDE NECESSARY COSTS IN BID.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AND PROPER ELECTRICAL DESIGN, LOADING AND INSTALLATION OF ELECTRICAL SYSTEM.
- ELECTRICAL CONTRACTOR SHALL FURNISH CONNECTED AND DEMAND LOADING CALCULATIONS FOR FINAL EQUIPMENT SELECTIONS.
- ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO 2020 NFPA 70, NATIONAL ELECTRICAL CODE.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND MAKE ALL NECESSARY ADJUSTMENTS PRIOR TO SUBMITTAL FOR ACTUAL EQUIPMENT FURNISHED AND BUDGETED.
- VERIFY OWNER'S REQUIREMENTS FOR ALL OTHER APPLICABLE COMMUNICATIONS SYSTEMS INCLUDING TELEPHONE, INTERNET/FI-FI, SECURITY AND AUDIO/VISUAL.
- PROVE AND INSTALL SMOKER/CARBON MONOXIDE DETECTORS. THE DETECTORS MUST BE HARNESSED WITH BATTERY BACK-UP. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE INCORPORATION OF ONE ALARM WILL ALARM ALL ALARMS AND WILL BE AUDIBLE WHERE REQUIRED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA). REFER TO LIGHTING POWER PLAN FOR SUGGESTED LOCATIONS.
- REFER TO ELECTRICAL RISER DIAGRAM FOR FEEDER AND PANELBOARD SIZES.
- SERVICE FEEDERS AND FEEDERS TO ELECTRICAL PANELS SHALL BE COPPER WITH 75C THHN INSULATED. ALL OTHER SERVICE CIRCUITS SHALL BE COPPER WITH 75C THHN INSULATED WIRE UNLESS OTHERWISE NOTED. #14 AWG AND #12 AWG FOR LIGHTING AND NON-APPLIANCE CIRCUITS.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES REFER TO ARCHITECTURAL, STRUCTURAL, LANDSCAPE, PLUMBING AND MECHANICAL DRAWINGS IN ORDER TO BE AWARE OF CONDITIONS AFFECTING ELECTRICAL WORK.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ONE TIME REVERSE BIAS WITH NEUTERED CONNECTIONS WITHIN 25' OF EXTERIOR HVAC UNIT. COORDINATE EACH LOCATION WITH NEUTERED CONTRACTOR PRIOR TO REVERSE.
- CALCULATE WIRE SIZE USING 3% VOLTAGE DROP, MAKE NECESSARY ADJUSTMENTS TO WIRE AND CONDUIT AS REQUIRED PRIOR TO BID.
- CONTRACTOR SHALL VERIFY AND COORDINATE MOUNTING HEIGHT AND EXACT LOCATION OF ALL OUTLETS AND DEVICES WITH GENERAL CONTRACTOR AND/OR OWNER CONTRACTOR TO AVOID CONFLICTS WITH OTHER CONTRACTORS. CONTRACTOR SHALL FURNISH COORDINATED OUTLET PLATES AND COORDINATE COORDINATE AND COVER PLATE COORDINATE WITH OWNER. LEGIBLY IDENTIFIED CIRCUIT NUMBER BY MEANS OF BLACK PERMANENT MARKER OR MARKER PEN.
- INCABINET ENCLOSURES, BOXES, ETC. SHALL BE KEPT PROTECTED AGAINST ENTRY OF CONSTRUCTION DUSTS. RE-COVER ALL BOXES AFTER WIRE PULLS TO PROTECT FROM PAINT OVERSPRAY. DO NOT INSTALL DEVICES UNTIL PAINTING OF WALLS IS COMPLETED.
- PROVE HAIR TYPE CIRCUIT BREAKER FOR HVAC EQUIPMENT.
- PROVE 20A, 120V, 15A, 3-WIRE GND CIRCUIT FOR EXTERIOR SERVICE EQUIPMENT. LOAD, INTERIOR LOCATION DETAILS / OUTLET COORDINATE NUMBER FOR EXTERIOR SERVICE EQUIPMENT. PROVIDE 1/2" PVC UNDERGROUND CONDUIT FROM EXTERIOR SERVICE BOX TO UTILITY SERVICE PERESTAL AND TO MAIN INTERIOR LOCATION. PROVIDE 3/4" PVC FROM ROUTER LOCATION TO EACH COMMUNICATION OUTLET BOX. PROVIDE FULL STRIKE IN EACH CONDUIT. WIRING AND INSTALLATION PER NFPA 70, 2020.
- LIGHT FIXTURE SCHEDULE IS FOR DESIGN PURPOSES ONLY. ALL LIGHT FIXTURES TO BE SELECTED BY OWNER. LIGHT FIXTURES SHALL BE CLEAN FREE OF SMUDGES OR FINGERPRINTS AT THE TIME OF FINAL INSPECTION.
- CONTRACTOR SHALL VERIFY WITH OWNER ALL FIXTURE LOCATIONS, TYPES AND MOUNTING HEIGHTS PRIOR TO INSTALLATION. CONTRACTOR SHALL FURNISH COORDINATED OUTLET PLATES AND COORDINATE COORDINATE AND COVER PLATE COORDINATE AS NECESSARY, KEEPING TO DESIGN intent AND MAINTAINING A UNIFORM PATTERN. ALL FIXTURES SHALL BE PROPERLY AND CAREFULLY SUPPORTED AND PLACED, PROVIDED ADDITIONAL BLOCKING/SUPPORT FOR FIXTURES AND/OR CEILING FAN AS RECOMMENDED PER MANUFACTURER.
- PROVE 1/2" FLEXIBLE WIRING FOR LIGHT FIXTURE TYPES "A" AND "B" (72'L MAX). TO PROVIDE LATITUDE OF ONE ACOUSTICAL CEILING TIE IN ANY DIRECTION MINIMUM.
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR ELECTRICAL SERVICE WITH LOCAL ELECTRIC UTILITY COMPANY PRIOR TO REVERSE.
- PROVE EQUIPMENT GROUND CONDUCTOR TO ALL LIGHT FIXTURES AND WIRING DEVICES.
- SURFACE MOUNTED LIGHT FIXTURES SHALL BE SECURED TO EXTERIOR SURFACE AND TO EXTERIOR LIGHT FIXTURES LOCATED ON ONE MASONRY WALL.
- ALL OUTLET BOXES SHALL BE RIBBLY MOUNTED AND SHALL BE EQUIPPED WITH SUITABLE SCREW FASTENERS. OPEN KNOCKOUTS OR HOLES IN BOXES SHALL BE PLUGGED WITH SUITABLE SINKING DEVICES.
- ELECTRICAL CONTRACTOR SHALL LEGIBLY IDENTIFY BRANCH CIRCUITS ON INSIDE OF COVERS/PLATES OF FIXTURES AND OUTLET BOXES WITH BLACK PERMANENT MARKER.
- PROVE 1/2" FLEXIBLE WIRING FOR LIGHT FIXTURE TYPES "A" AND "B" (72'L MAX). TO PROVIDE LATITUDE OF ONE ACOUSTICAL CEILING TIE IN ANY DIRECTION MINIMUM.

LIGHT FIXTURE SCHEDULE		ALL FIXTURES SHALL BE SELECTED BY OWNER
DESIGN	DESCRIPTION	
A	2' X 2' LAY-IN LED, FLAT PANEL, WITH WHITE ALUM. FRAME, PLASTIC ACRYLIC OPAL DIFFUSER, 6,000 LUMENS, 40W, 35K LED, PACKAGE, INTEGRATED DIMMING DRIVER, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	
A1	2' X 4' LAY-IN LED, FLAT PANEL, WITH WHITE ALUM. FRAME, PLASTIC ACRYLIC OPAL DIFFUSER, 6,000 LUMENS, 40W, 35K LED, PACKAGE, INTEGRATED DIMMING DRIVER AND EMERGENCY BATTERY BACK-UP DRIVER, 120V.	
B	48" SURFACE MOUNTED LOW-PROFILE WIRING-LED, LIGHT FIXTURE WITH WHITE POWDER COAT FINISH, 6,000 LUMENS, 40W, 35K LED, PACKAGE, WIDE BEAM OPTICS, DRIVER, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	
C	48" SURFACE MOUNTED LED, LINEAR INDUSTRIAL, TUBE LIGHT FIXTURE WITH WHITE POWDER COAT FINISH, 7,000 LUMENS, 40W, 35K LED, PACKAGE, WIDE BEAM OPTICS, 120V, WIRING-LED, SURFACE MOUNTED, VERSATILE, ADJUSTABLE, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	
D	24" SURFACE MOUNTED LED, LINEAR TUBE LIGHT FIXTURE WITH WHITE POWDER COAT FINISH, 1,500 LUMENS, 17W, 35K LED, PACKAGE, DRIVER, 120V, WIRING-LED.	
DM	WALL MOUNTED INDUSTRY LIGHT FIXTURE, WITH BUILT-IN SURGE PROTECTION, SOLID STATE CIRCUIT, (2) 1M ADJUSTABLE LED, HIGH OUTPUT LAMP, SEALED NICKEL CADMIUM 3.6V BATTERY, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	
DX	SINGLE FACE UNIVERSAL MOUNTED INDUSTRY LIGHT FIXTURE WITH HIGH OUTPUT LED LAMP, IMPACT RESISTANT THERMOPLASTIC HOUSING, MAINTENANCE FREE, SEALED NICKEL CADMIUM BATTERY, REED LETTERING ON WHITE HOUSING.	
F	24" LED VANTY LIGHT WITH OPAL, MATT ACRYLIC LENS AND 2,300 LUMENS/ 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	
G	4" DIA. RECESSION LED DOWNLIGHT WITH 20.6A, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	
H	LED WALL PACK WITH DIE-CAST ALUMINUM TRAPEZOIDAL HOUSING, SINGLE PHASE, 120V, 15A, 120V, 15A, 3-WIRE GND CIRCUIT, 120V, 1.5A, 120V, 15A, 3-WIRE GND CIRCUIT.	

LIGHTING / POWER PLAN

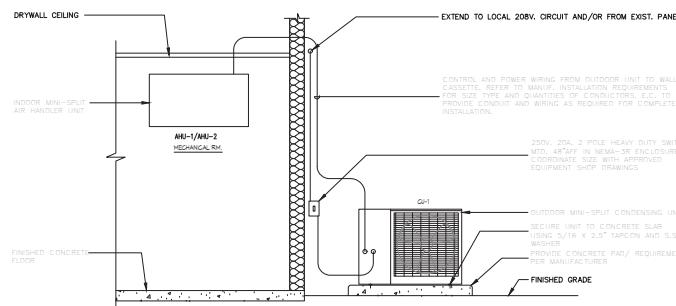
SCALE: 1/4" = 1'-0"



PANEL	"A"	RATING: 225A, M.L.D.	LUG LOCATION: BOTTOM	SHORT CIRCUIT RATING: 10K
SERVICE:	120/240V, 1Ø, 3W.	MOUNTING: SURFACE		
LOAD DESCRIPTION	KVA	BKR	CKT	A B
LIGHTING - EXTERIOR THRU TIME CLOCK	0.4	20/1	1	
LIGHTING - WAREHOUSE, MECH.RM.	0.4	20/1	3	
LIGHTING - OFF., RESTROOM, LOUNGE	0.3	20/1	5	
SPARE	--	20/1	7	
SPARE	--	20/1	9	
SPARE	--	20/1	11	
SPARE	--	20/1	13	
SPARE	--	20/1	15	
SPACE	--	20/1	17	
SPACE	--	20/1	19	
SPACE	--	20/1	21	
AIR HANDLING UNIT "AHU-1" / "CU-1"	1.8	20/2*	23	
	1.8	20/2*	25	
ELECTRIC WATER HEATER "EWH-1"	6.5	60/2*	27	
	6.5	60/2*	29	
			30/2*	30
				30/2*
SERVES	CONN. LOAD	DF.	RATED LOAD	
LIGHTING	1.1 KVA	1.0	1.1 KVA	
RECEPT. - GENERAL	4.0 KVA	1.0	4.0 KVA	
RECEPT. - COMPUTER	2.4 KVA	1.0	2.4 KVA	
RECEPT. - APPLIANCE	4.0 KVA	1.0	4.0 KVA	
INSTANTANEOUS WATER HEATER	13.0 KVA	1.0	13.0 KVA	
MECHANICAL EQUIPMENT	-- KVA	**	3.6 KVA	
TOTAL	23.5 KVA		28.4 KVA	
SPARE	--	1.0	5.0 KVA	
MAIN RATING			33.3 KVA	

PANEL	"B"	RATING: 225A, M.L.D.	LUG LOCATION: BOTTOM	SHORT CIRCUIT RATING: 10K
SERVICE:	120/240V, 1Ø, 3W.	MOUNTING: SURFACE		
LOAD DESCRIPTION	KVA	BKR	CKT	A B
LIGHTING - WAREHOUSE, MECH.RM.	0.4	20/1	1	
LIGHTING - OFF., RESTROOM, LOUNGE	0.3	20/1	3	
SPARE	--	20/1	5	
SPARE	--	20/1	7	
SPARE	--	20/1	9	
SPARE	--	20/1	11	
SPARE	--	20/1	13	
SPARE	--	20/1	15	
SPARE	--	20/1	17	
SPACE	--	20/1	19	
SPACE	--	20/1	21	
AIR HANDLING UNIT "AHU-2" / "CU-2"	1.8	20/2*	23	
	1.8	20/2*	25	
ELECTRIC WATER HEATER "EWH-2"	6.5	60/2*	27	
	6.5	60/2*	29	
			30/2*	30
				30/2*
SERVES	CONN. LOAD	DF.	RATED LOAD	
LIGHTING	0.7 KVA	1.0	0.7 KVA	
RECEPT. - GENERAL	3.8 KVA	1.0	3.8 KVA	
RECEPT. - COMPUTER	2.4 KVA	1.0	2.4 KVA	
RECEPT. - APPLIANCE	4.0 KVA	1.0	4.0 KVA	
ELECTRIC WATER HEATER	13.0 KVA	1.0	13.0 KVA	
MECHANICAL EQUIPMENT	-- KVA	**	3.6 KVA	
TOTAL	22.9 KVA		26.5 KVA	
SPARE	--	1.0	6.8 KVA	
MAIN RATING			33.3 KVA	

ELECTRICAL LOAD CALCULATIONS				
LOAD DESCRIPTION	CONNECTED LOAD	DIVERSITY FACTOR	ESTIMATED LOAD	
LIGHTING	1.8 KVA	1.0	1.8 KVA	
RECEPT. - GENERAL	7.8 KVA	1.0	7.8 KVA	
RECEPT. - COMPUTER	4.8 KVA	1.0	4.8 KVA	
RECEPT. - APPLIANCE	8.0 KVA	1.0	8.0 KVA	
WATER HEATER	26.0 KVA	1.0	26.0 KVA	
SUB-TOTAL	48.4 KVA	1.0	48.4 KVA	
MECHANICAL EQUIPMENT	13.2 KVA	*	7.2 KVA	
* NON-CONDIMENTAL LOADS				
SUB-TOTAL	61.6 KVA	1.0	55.6 KVA	
SPARE	--		23.4 KVA	
TOTAL			79.0 KVA	



1 DETAIL - MINI-SPLIT AIR CONDITION UNIT WIRING

NOT TO SCALE

2 DETAIL - TRANSIENT VOLTAGE SURGE SUPPRESSOR INSTALLATION

NOT TO SCALE

ELECTRICAL RISER DIAGRAM

SCALE: NONE

- ELECTRICAL CONTRACTOR SHALL COORDINATE METER REQUIREMENTS WITH LOCAL UTILITY
- ESTIMATE AGC RATING INTO LOCAL UTILITY COMPANY / ADJUST PANEL RATING AND BRANCH BREAKERS AS REQUIRED
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION AND PROPER LOADING OF PANEL
- ELECTRICAL CONTRACTOR SHALL PROVIDE SURGE PROTECTION DEVICES FROM ADVANCED PROTECTION TECHNOLOGIES (APT) PROVIDED RECESSED NEMA 1 ENCLOSURE WHEREVER REQUIRED. PROVIDE CIRCUIT BREAKER SIZE AS RECOMMENDED BY MANUFACTURER AND MANTAIN THE SHORTEST LEAD LENGTH AS POSSIBLE
- ELECTRICAL CONTRACTOR SHALL TYPE A WRITTEN INDEX IN PANEL DOOR SLEEVE DESCRIBING LOAD AND LOCATION

2/200 WATT 1600 WATT IN 2 1/2" PVC C.

BUILDING STEEL 3/4" x 30' GND ROD (F. METALIC)

2/200 WATT 1600 WATT IN 2 1/2" PVC C.

1/0 ANG. CU. STRANDED GROUND

FINISHED GRADE OR FLOOR

TO LOCAL UTILITY CO. TRANS. 2/200 WATT 1600 WATT IN 2 1/2" PVC C.

NET PER LOCAL UTILITY CO. REQUIREMENTS - TIP. 2

NEMA-1R SERVICE DISCONNECT PROV. CLASS RWT CURRENT LIMITING FUSES - TIP. 2

2/200 WATT 1600 WATT IN 2 1/2" PVC C.

1/0 ANG. CU. STRANDED GROUND

FINISHED GRADE OR FLOOR

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Built for Yesterday, Preparing for Tomorrow and Living for Today

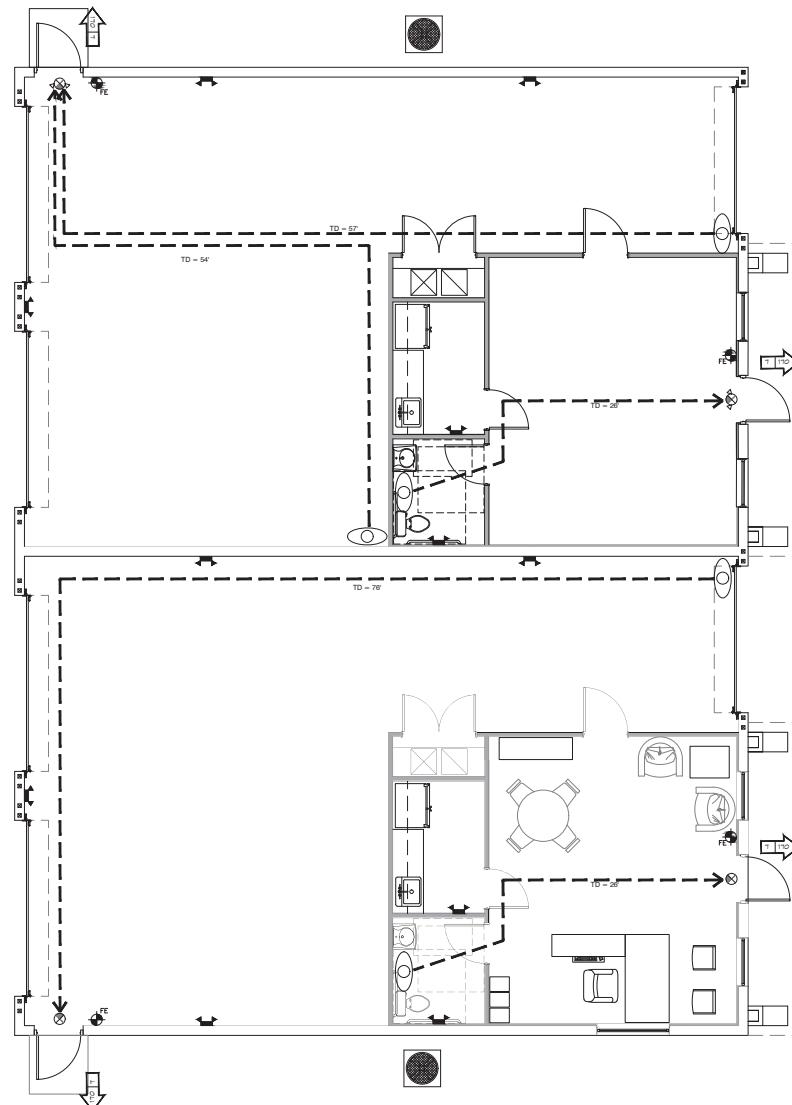
A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA



Rolando Sosa
2025.02.14
16:08:53 -05'00"

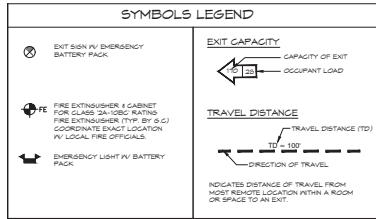
FLORIANO SOSA, ARCHITECT
LICENSURE #A-90254
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ARCHITECT.



01.29.25
by
SG
project no.
2446
sheet no.

LS100



GENERAL BUILDING LIMITATIONS (IFBC TABLE 504.3)

GROUP B	TYPE I B (UNPROTECTED/UNSPLASHED)	ALLOWABLE	PROVIDED
MAX HEIGHT	68'-0"	10'-0"	
MAX STORES	5	1	
MAX AREA	28,000 SF (GROSS)	3,300 SF (GROSS)	

FIRE SPRINKLER REQUIREMENTS:

IFBC 403, NFPA 131

Fire Sprinkler is not required in this building per applicable codes.

FIRE ALARM REQUIREMENTS:

IFBC 403, NFPA 72

Fire Alarm is not required in this building per applicable codes.

MEANS OF EGRESS (IFBC CHAPTER 10)

POPULATION OCCUPANCY LOAD (FROM TABLE 1004.5)

USE	AREA	AREA/POPULATION	POPULATION
STORAGE			
UNIT A & B	1,168 SF (EACH)	500 GROSS	(3) PERSONS EA. X (2) SUITES +6 TOTAL
BUSINESS			
UNIT A & B	468 SF (EACH)	150 GROSS	(4) PERSONS EA. X (2) SUITES +6 TOTAL
BLDG. TOTAL	3,300 SF.	3,300 SF.	14 PERSONS

MEANS OF EGRESS

IFBC CHAPTER 10)

OCUPANCY CLASSIFICATION	UNSPRINKLED	
BUSINESS / STORAGE	REQUIRED	PROVIDED
MAXIMUM TRAVEL DISTANCE (IFBC TABLE 1017.2)	200 FT	76'-0" MAX
TOTAL # OF EXITS PER TENANT (SECTION 1006)	2 REQUIRED	2
EGRESS WIDTH PER PERSON (IFBC TABLE 1009.3.2)	0.2 FACTOR Pop X 0.24 + 18.8	9 @ 36" EA.
MINIMUM CLEAR OPENING WIDTH DOORS (TABLE 1010.1)	32"	36"

HANDBAUL NUMBER OF EXITS

IFBC CHAPTER 1002.1
OCCUPANT LOAD 1500. MINIMUM # OF EXITS SHALL BE (2).

BUSINESS OCCUPANCY
MINIMUM NUMBER OF PLUMBING FACILITIES (IFBC TABLE P409.1)

1 PERSONS PER UNIT

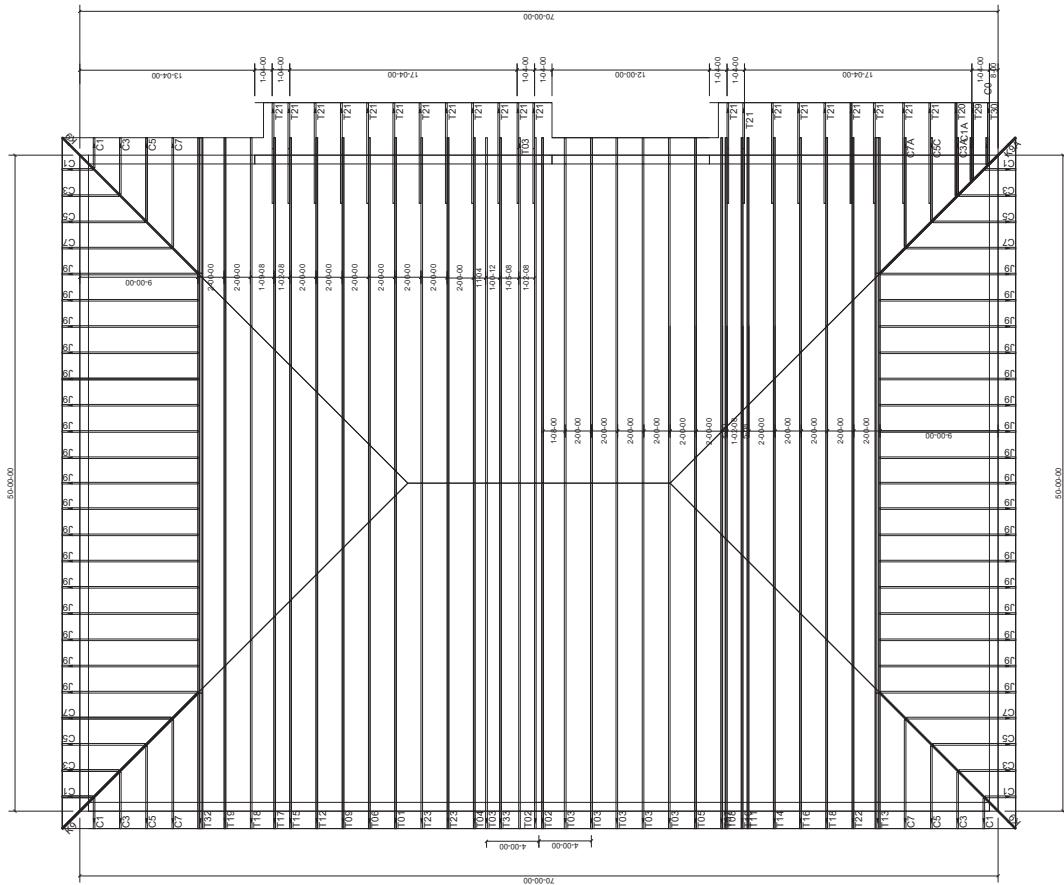
BUSINESS/ STORAGE	WATER FOUNTAINS	LAVS	DRINKING FOUNTAINS	SERVICE SINKS
REQUIRED:	CO-ED	CO-ED	—	—
	1/25 + 1 EACH	1/40 + 1 EACH	—	—
PROVIDED:	1	1	NOT REQUIRED	NOT REQUIRED

2023 FLORIDA BUILDING CODE, PLUMBING, 8TH EDITION
SECTION 409

FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, SERVICE SINKS SHALL NOT BE REQUIRED

410.2 SMALL OCCUPANCIES

DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER



RoMac BUILDING SUPPLY

200 East Main Street
Shamrock Construction
Job Name _____

34748 Shamrock Office

Ph: 352-787-5334
Fx: 352-326-2404
Designer James F.
Job # 240539

3/28/2024

James F. Job #

EnergyGaugeSummit® 8.0
INPUT DATA REPORT

Project Information

Project Name: Shamrock

Orientation: 0 Deg Clockwise. Walls &
Windows will be rotated

Project Title: Shamrock Construction

Building Type: Office
accordingly

Address: Shamrock Construction

Building Classification: New Finished building

TBD S.W. 164th Place Road

No.of Stories: 1

State: Florida

GrossArea: 941 SF

Zip: 34475

Owner: Shamrock Construction

Zones

No	Acronym	Description	Type	Area [sf]	Multiplier	Total Area [sf]	
1	Shamrock	Shamrock	CONDITIONED	941.0	1	941.0	<input type="checkbox"/>

Spaces

No	Acronym	Description	Type	Depth [ft]	Width [ft]	Height [ft]	Multi plier	Total Area [sf]	Total Volume [cf]
----	---------	-------------	------	---------------	---------------	----------------	----------------	--------------------	----------------------

In Zone: Shamrock										
1	Office 1	Office 1	Office - Open Plan	20.00	18.00	10.00	1	360.0	3600.0	<input type="checkbox"/>
2	Office 2	Office 2	Office - Open Plan	20.00	18.00	10.00	1	360.0	3600.0	<input type="checkbox"/>
3	Lounge 1	Lounge 1	Food Service - Kitchen	9.50	6.50	10.00	1	61.8	617.5	<input type="checkbox"/>
4	Lounge 2	Lounge 2	Food Service - Kitchen	9.50	6.50	10.00	1	61.8	617.5	<input type="checkbox"/>
5	RR 1	RR 1	Toilet and Washroom	7.50	6.50	10.00	1	48.8	487.5	<input type="checkbox"/>
6	RR 2	RR 2	Toilet and Washroom	7.50	6.50	10.00	1	48.8	487.5	<input type="checkbox"/>

Lighting

No	Type	Category	No. of Luminaires	Watts per Luminaire	Power [W]	Control Type	No.of Ctrl pts
In Zone: Shamrock							
In Space: Office 1	1 LED	General Lighting	1	275	275	Manual On/Off	1 <input type="checkbox"/>
In Space: Office 2	1 LED	General Lighting	1	175	175	Manual On/Off	1 <input type="checkbox"/>
In Space: Lounge 1	1 LED	General Lighting	1	60	60	Manual On/Off	1 <input type="checkbox"/>
In Space: Lounge 2	1 LED	General Lighting	1	60	60	Manual On/Off	1 <input type="checkbox"/>
In Space: RR 1	1 LED	General Lighting	1	25	25	Manual On/Off	1 <input type="checkbox"/>
In Space: RR 2	1 LED	General Lighting	1	25	25	Manual On/Off	1 <input type="checkbox"/>

Walls (Walls will be rotated clockwise by building rotation value)

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Orientation	Conductance [Btu/hr. sf. F]	Heat Capacity [Btu/sf.F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]

In Zone: Shamrock													
1	West	8"CMU/3/4"ISO BTWN24"oc/5/8 Gyp	40.00	10.00	1	400.0	West	0.1510	9.696	62.72	6.6	<input type="checkbox"/>	
2	North	8"CMU/3/4"ISO BTWN24"oc/5/8 Gyp	24.50	10.00	1	245.0	North	0.1510	9.696	62.72	6.6	<input type="checkbox"/>	

Windows (Windows will be rotated clockwise by building rotation value)

No	Description	Orientation	Shaded	U [Btu/hr sf F]	SHGC	Vis.Tra	W [ft]	H (Effec) [ft]	Multi plier	Total Area [sf]	
In Zone: Shamrock											
In Wall: North											
1	North	North	No	0.4500	0.25	0.40	5.00	5.00	1	25.0	<input type="checkbox"/>
In Wall: West											
1	West	West	No	0.4500	0.25	0.40	3.33	5.00	4	66.6	<input type="checkbox"/>

Doors

No	Description	Type	Shaded?	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Dens. [lb/cf]	Heat Cap. [Btu/sf. F]	R-Value [h.sf.F/Btu]	
In Zone: Shamrock												
In Wall: West												
1	West	Polyurethane core (24 ga steel) 2	No	3.00	8.00	2	24.0	0.2410	0.00	0.00	4.15	<input type="checkbox"/>

Roofs

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Tilt [deg]	Cond. [Btu/hr. Sf. F]	Heat Cap [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]	
In Zone: Shamrock												
1	Office 1	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	18.00	20.00	1	360.0	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>

2	Office 2	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	18.00	20.00	1	360.0	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
3	Lounge 1	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	9.50	1	61.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
4	Lounge 2	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	9.50	1	61.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
5	RR 1	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	7.50	1	48.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
6	RR 2	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	7.50	1	48.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>

Skylights

No	Description	Type	U [Btu/hr sf F]	SHGC	Vis. Trans	W [ft]	H (Effec) [ft]	Multiplier	Area [Sf]	Total Area [Sf]	
In Zone:											
In Roof:											
<input type="checkbox"/>											

Floors

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Heat Cap. [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]	
In Zone: Shamrock											
1	Office 1	Concrete floor, carpet and rubber pad	18.00	20.00	1	360.0	0.5987	9.33	140.00	1.67	<input type="checkbox"/>

2	Office 2	Concrete floor, carpet and rubber pad	18.00	20.00	1	360.0	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
3	Lounge 1	Concrete floor, carpet and rubber pad	6.50	9.50	1	61.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
4	Lounge 2	Concrete floor, carpet and rubber pad	6.50	9.50	1	61.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
5	RR 1	Concrete floor, carpet and rubber pad	6.50	7.50	1	48.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
6	RR 2	Concrete floor, carpet and rubber pad	6.50	7.50	1	48.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>

Systems

18 K HP Split	18 K HP Split	Constant Volume Air Cooled Split System < 65000 Btu/hr	No. Of Units	2
Component	Category	Capacity	Efficiency	IPLV
1	Cooling System	18000.00	21.00	8.00
2	Heating System	21600.00	10.70	
3	Air Handling System -Supply	600.00	0.32	
4	Air Handling System - Return	600.00	0.32	
5	Air Distribution System (Sup)		6.00	
6	Air Distribution System (Ret)		6.00	

Plant

Equipment	Category	Size	Inst.No	Eff.	IPLV
					<input type="checkbox"/>

Water Heaters

W-Heater Description	Capacity Cap.Unit	I/P Rt.	Efficiency	Loss	
1 Electric Storage water heater (1 units)	30 [Gal]	13 [kW]	0.9450 [Ef]	%	<input type="checkbox"/>
2 Electric Storage water heater (1 units)	30 [Gal]	13 [kW]	0.9450 [Ef]	%	<input type="checkbox"/>

Ext-Lighting

Description	Category	No. of Luminaires	Watts per Luminaire	Area/Len/No. of units [sf/ft/No]	Control Type	Wattage [W]	
							<input type="checkbox"/>

Piping

No	Type	Operating Temperature [F]	Insulation Conductivity [Btu-in/h.sF]	Nominal pipe Diameter [in]	Insulation Thickness [in]	Is Runout?
						<input type="checkbox"/>

Fenestration Used

Name	Glass Type	No. of Panes	Glass Conductance [Btu/h.sF]	SHGC	VLT	
Double	User Defined	2	0.4500	0.2500	0.4000	<input type="checkbox"/>

Materials Used

Mat No	Acronym	Description	Only R-Value Used	RValue [h.sf.F/Btu]	Thickness [ft]	Conductivity [Btu/h.ft.F]	Density [lb/cf]	SpecificHeat [Btu/lb.F]	
151	Mat151	CONC HW, DRD, 140LB, 4IN	No	0.4403	0.3333	0.7570	140.00	0.2000	<input type="checkbox"/>
178	Mat178	CARPET W/RUBBER PAD	Yes	1.2300					<input type="checkbox"/>
287	Mat287	Polyurethane core (24 ga steel) 2	Yes	4.1500					<input type="checkbox"/>

Constructs Used

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]	
1004	Concrete floor, carpet and rubber pad	No	No	0.60	9.33	140.00	1.7	<input type="checkbox"/>
Layer								
	Material No.	Material		Thickness [ft]	Framing Factor			
1	151	CONC HW, DRD, 140LB, 4IN		0.3333	0.000			<input type="checkbox"/>
2	178	CARPET W/RUBBER PAD			0.000			<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]	
1014	8"CMU/3/4"ISO BTWN24"oc/5/8 Gyp	Yes	No	0.15	9.70	62.72	6.6	<input type="checkbox"/>
<input type="checkbox"/>								

PLANT SCHEDULE				
CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
CANOPY TREES				
GV/3	6	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	65 GAL. OR RFG, 12'-13' HT., 6'-1' SPR. 3.5 CAL. MN.
EVERGREEN ACCENTS				
OL/30	2	ILEX X OAK LEAF	OAK LEAF HOLLY	30 GAL / 7 BBL, 6'-7' HT. X 3' SP RD
SHRUB AREAS				
RIS	20	RAPHIOLEPIS INDICA ALBA	WHITE INDIAN HAWTHORN	3 GAL. 15"-18" HT, 10"-13" SPR., 30" O.C.
VO/3	18	VIBURNUM ODEURATISSIMUM	SWEET VIBURNUM	3 GAL. 18"-24" X 18"-24" 3' O.C.
VS/3	14	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL. 18"-24" X 18"-24" HT MN. FULL 36" O.C.
ORNAMENTAL GRASSES				
MG/1	43	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL. 18" HT. X 18"-20" 18" HT MN. SPR. 36" O.C.

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

1. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV. 8, SEC. 6.8.1).
2. UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
3. WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

THE CONTRACTOR SHALL MARK UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION. (NOTE: PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.)

- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED: WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

GENERAL NOTES: (REFER TO SPECIFICATION SHEET FOR COMPLETE REQUIREMENTS)

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY STOCKS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
4. ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
5. THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WETNESS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
6. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE 811 AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY CONDITIONS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
8. ALL TREE MATERIAL SHALL BE CONTAINED GROUN UNLESS OTHERWISE SPECIFIED.
9. SOIL PROVIDED SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER CONSTRUCTION DEBRIS.
10. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
11. ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC. AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
12. MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://flta.usfl.edu>
13. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
14. FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
15. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, OPERATED, AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 8 IRRIGATION 6.8.6 AND ALL OTHER STATE AND LOCAL STATUTES THAT APPLY. AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT. IF REQUIRED, IRRIGATION DESIGN AND AS-BUILT PLANS SHALL BE PROVIDED BY OTHERS, UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND ACCEPTANCE OF THE AS-BUILT PLANS AND OPERATIONAL INFORMATION, A FINAL LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY.
16. ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.15 AND SEC. 6.9.10.
17. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE AS-BUILT SKETCH, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY, AND THE FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS BEEN RECEIVED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION PER MARION COUNTY LDC SEC. 6.8.1.

NATIVE PLANT CALCULATIONS

TOTAL PLANTS (TREES/SHRUBS/GROUNDCOVER) 102
TOTAL NATIVE PLANTS (TREES/SHRUBS/GROUNDCOVER) 41 (46% NATIVE)

SITE TREE REQUIREMENTS:

PROJECT AREA = 0.4 ACRES (11,413 SF)

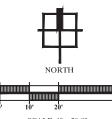
OPEN SPACE REQUIRED : 11,413 x 20 = 228.25 SF.
OPEN SPACE PROVIDED: 10,075 SF.

SITE SHADE TREES

1 SHADE TREE PER 3,000 SF OF PROJECT AREA

REQUIRED = 6 SHADE TREES (11,416 / 3,000 SF = 6)

SHADE TREES PROVIDED: 6 PROPOSED SHADE TREES



SCALE: 1" = 2040'

