

August 19, 2025

PROJECT NAME: COMMERCIAL LOT NEW OFFICE

PROJECT NUMBER: 2024080065

APPLICATION: MINOR SITE PLAN #31909

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit? Verify if in primary springs protection zone. Will it need an enhanced septic system?
STATUS OF REVIEW: INFO
REMARKS: Initial review: Please show water and sewer connections.
3/4/25 - Defer to Marion County Utilities.
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Initial review: Will there be a sign or will the sign be permitted later?
3/4/25 - Applicant acknowledged on comment response letter (submitted 2/21/2025) that a sign is not provided for this minor site plan application and may be permitted at a later date.
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning Comments
STATUS OF REVIEW: INFO
REMARKS: 3/4/25 - [INFO] Please move the waiver request/approval text from the site plan sheet to the cover sheet. Include the relevant LDC section from which the waiver is being requested, along with a brief description of the waiver in one to two complete sentences. Upload the request/approval documents sent to/from DRC to the supplemental folder in ePlans.
- 4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: How is building accessed? All walkways and sidewalks should be shown on the plan.
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5 A(8) - Submittal Reqs - Connection to existing sanitary system
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 Listed in response letter. No acknowledgement. Previous comment. Each unit shall have its own sewer lateral.
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.D - Meter Location
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 Site Plan - Can combine PWS meters for uniformity and place near North lot line.

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.E - Meter Easements
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 Site Plan - Meters must be in ROW or provided an easement
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Article 7 - Construction Standards - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: This is a plan note: All facilities constructed on the developer's property prior to interconnection with Marion County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 - Site Plan - indicate the end of County maintenance limits on the plans.
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: INFO
REMARKS: Please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896. All of Utilities "NO" comments remained unaddressed. Overlay feature in ePlans show changes were made from Version 2 to Version 3 on the Site Plan, but no Utility Changes were made?
- 12 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)
STATUS OF REVIEW: NO
REMARKS: Initial review: Please submit an environmental assessment for listed species consistent with (Article 6, Division 5, Sec. 6.5.4)
3/4/25 - This item will remain NO until the Applicant completes one of two options: (1) Submit an environmental assessment for listed species consistent with Marion County Land Development Code Sec. 6.5.4; or (2) Submit an exemption request consistent with Sec. 6.5.3.C.
Please note: Environmental assessments are a state requirement. No waivers shall be granted by the County's Development Review Committee. Please remove waiver request text from the site plan sheet.
- 13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
STATUS OF REVIEW: NO
REMARKS: 4/24/25-Title block shall be shown on ALL sheets denoting type of application (Minor Site Plan); project name, location, county, and state; and date of original and all revisions
2/24/25-Title block shall be shown on ALL sheets denoting type of application (Minor Site Plan); project name, location, county, and state; and date of original and all revisions
8/27/24-Title block shall be shown on ALL sheets denoting type of application (Minor Site Plan); project name, location, county, and state; and date of original and all revisions

- 14 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.A - Type of application
STATUS OF REVIEW: NO
REMARKS: 2/24/25-Type of application - Minor Site Plan
2/24/25-Type of application - Minor Site Plan
8/27/24-Type of application - Minor Site Plan
- 15 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.L(1) - Parcel number
STATUS OF REVIEW: NO
REMARKS: 4/24/25-No Parcel Number found
2/24/25-No Parcel Number found
8/27/24-No Parcel Number found
- 16 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.3 - Traffic Impact Analysis
STATUS OF REVIEW: NO
REMARKS: 4/30/25 - No traffic impact analysis provided.
3/4/25 - Provide a traffic statement indicating expected peak hour trips. Reference the ITE Trip Generation Manual, 11th Ed.
9/11/24 - Traffic statement indicating expected peak hour trips is minimally required.
- 17 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.4.B - Cross access
STATUS OF REVIEW: NO
REMARKS: 4/30/25 - Provide evidence of recorded easement when available.
3/4/25 - Cross access as shown must be recorded prior to final plan approval.
9/11/24 - 24' paved cross access and easement is required parallel to Marion Oaks Blvd and must be recorded prior to final plan approval. The template for the required easement can be obtained by contacting Cheryl Weaver in the Right-of-Way Office at 352-671-8679.
- 18 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.B - Traffic signs
STATUS OF REVIEW: NO
REMARKS: 4/30/25 - "No left turn" sign in median is not indicated on plans. Refer to LDC Sec. 7.3.1 TS030 and MUTCD for sign construction details and provide detailed description. Contact OCE Traffic with questions.
3/4/25 - Show stop sign, no left turn sign, and sign construction details on plans.
9/11/24 - Stop sign will be required at driveway exit and should be positioned 4' behind required sidewalk. No left turn sign in the median is also required.
- 19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.C - Pavement marking
STATUS OF REVIEW: NO
REMARKS: 4/30/25 - Refer to LDC Sec. 7.3.1 TS030 and MUTCD for pavement marking details and provide detailed description. Contact OCE Traffic with questions.
3/4/25 - Show stop bar and right turn arrow on plans.
9/11/24 - Stop bar and right turn arrow is required at driveway exit location.
- 20 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.12 - Sidewalks
STATUS OF REVIEW: NO

REMARKS: 4/30/25 - Reiterating original comment: Sidewalks are required along Marion Oaks Blvd. Staff supports fee-in-lieu of construction waiver. If approved, the fee comes out to \$1,900 and must be paid prior to final inspection.

3/4/25 - DRC waiver approval required to authorize fee-in-lieu of construction for sidewalks in the amount of \$1,900.

9/11/24 - Sidewalks are required along Marion Oaks Blvd. Staff supports fee-in-lieu of construction waiver. If approved, the fee comes out to \$1,900 and must be paid prior to final inspection.

21 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: NO

REMARKS: Sheet A200 still has Units A & B that need to be corrected to Units 1 & 2.

22 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A - Water Connection Requirements

STATUS OF REVIEW: NO

REMARKS: 4.22.25 REMAINS UNADDRESSED. SHOW EXISTING WATER MAIN ON PLANS, CALL OUT METERS AND SIZES. SEE PREVIOUS COMMENTS 2.22.25 Need to show services, meter boxes and details. - Previous comment: show water services & meter boxes; show tap of existing main & method

23 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2 A - Sewer Connection Requirements

STATUS OF REVIEW: NO

REMARKS: 4.22.25 REMAINS UNADDRESSED. Site is NOT permitted to install septic system(s). MUST CONNECT TO PUBLIC SEWER. SHOW CONNECTIONS, METHOD AND DETAILS. 2.25.25 - Remains unaddressed. Need to show sewer connection, existing sewer and details. - Previous comment. Sewer laterals; show tap of existing main & method

24 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified

STATUS OF REVIEW: NO

REMARKS: 4.22.25 Site Plan - REMAINS UNADDRESSED 2.25.25 - The irrigation meter and tap must be shown on the Utility plan (Labeled as site plan with this project.) (2) MCU will need total irrigated square foot to calculate capacity charges. - Previous Comment: is irrigation required? If so, how is it being served (irrigation meter or private irrigation well)?

25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.A(1) - Submittal Reqs - Existing on-site & off-site mains and service connections

STATUS OF REVIEW: NO

REMARKS: 4.22.25 REMAINS UNADDRESSED. See Previous comment 2.25.25 Remained unaddressed - Previous comment - show existing water & sewer mains, including pipe size and tapping locations for new services

26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.A(3) - Submittal Reqs - Lift Stations layout, elevations, schedules

STATUS OF REVIEW: NO

REMARKS: 4.22.25 - Connection to Gravity sewer is required. ANR Septic will not be permitted when public sewer is available. 2.22.25 - Gravity sewer is available at alley road, E of the property; Lift station should not be required.

- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version
STATUS OF REVIEW: NO
REMARKS: 4.22.25 - REMAINS UNADDRESSED. PLAN MUST HAVE DETAIL SHEET WITH MCU DETAILS LISTED 2.25.25 - MCU Utility Details must be shown on on Utility Plan or separate plan sheet - Previous comment: Find MCU updated UT details as of 4/13/23 Code revision here:
<https://utilities.marionfl.org/i-want-to/find-construction-related-forms>
- 28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:
STATUS OF REVIEW: NO
REMARKS: 4.22.25 - REMAINS UNADDRESSED. Plans will not be approved without note listed on Site Plan. 2.20.25 Remains Unaddressed: Add note to utility page. Previous comment: "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."
- 29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.5 - Water Service and Connection
STATUS OF REVIEW: NO
REMARKS: 4.22.25 Site Plan - REMAINS UNADDRESSED. 2.20.25 - Remains Unaddressed - Previous comment: show water service size and tapping method to existing main
- 30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.A - Potable Water Metering - individual/banked, size
STATUS OF REVIEW: NO
REMARKS: 4.22.25 Site Plan - REMAINS UNADDRESSED. See Previous comment. 2.25.25 - Remains Unaddressed - Previous comment: show meter sizes - there will be two separate accounts to serve this parcel based on the building permit interior floorplan of two uses/separate offices
- 31 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.B - Irrigation Water Metering - size
STATUS OF REVIEW: NO
REMARKS: 4.22.25 Site Plan - 3/4" Meter from IR.01 needs to be shown on site plan. Include method of connection and backflow prevention
- 32 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention
STATUS OF REVIEW: NO
REMARKS: 4.22.25 - Need to show backflow protection after meters. .
- 33 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]
STATUS OF REVIEW: NO
REMARKS: 4/29/25: An environmental assessment report or letter explaining exemption from this requirement must be submitted for this rejection to be removed.
Neither an EALS or EALS Exemption Letter Request has been provided. They must be provided in order to obtain site plan approval. Be advised that this area in the Marion Oaks community has been identified as an area where the listed Florida Scrub Jay IS present. (The applicant's response to comments does not provide any response to the prior review remark.)
PRIOR COMMENT: Please provide an environmental assessment or exemption.

34 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?

STATUS OF REVIEW: NO

REMARKS: If, during assessment, listed species are found a mitigation plan to be provided.

35 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?

STATUS OF REVIEW: NO

REMARKS: 4/29/25: Required note as provided below is still not included on cover page.

Revise the plan Cover Sheet to provide the following note:

“This proposed project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the property are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, Building Permit review.”

PRIOR COMMENT: This note is required to be placed on the cover page.

36 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Minor Site Plan

STATUS OF REVIEW: NO

REMARKS: 4/30/25 We still need the executed and cross access easement for review. HR

3/10/25 We still need the executed and cross access easement for review. HR

9.25.24 Execute and submit cross access easement to OCE (Property Mgmt) for review and approval. AL

--**IF APPLICABLE**--

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

31909

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 8-18-2025 Parcel Number(s): 8001-0248-06 Permit Number: 31909

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Commercial Lot New Office Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): _____
Signature: _____
Mailing Address: 10877 N US Hwy 301 City: Oxford
State: FL Zip Code: 34484 Phone #: _____
Email address: _____

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Menadier Engineering, LLC Contact Name: William A. Menadier
Mailing Address: 13800 Tech City Circle, Bldg. D, Suite 302 City: Alachua
State: FL Zip Code: 32615 Phone #: 386-347-5133
Email address: wmenadier@menadier.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ Sec. 6.12.12 Sidewalks
Reason/Justification for Request (be specific): Waiver to authorize fee-in-lieu of construction for sidewalks on Marion Oaks Boulevard.

DEVELOPMENT REVIEW USE:




Received By: emailed 8/19/25 Date Processed: 8/19/25 Project #: 2024080065 AR #: 31909


ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____


MCBCC Interactive Map - Internal




8/19/2025, 4:03:10 PM

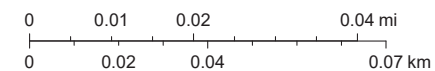
 Parcels
  Streets
  Blue: Band_3

 Marion County
 Aerial 2024

County Road Maintenance
  Red: Band_1

 OCE Maintained Paved
  Green: Band_2

1:1,128



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, OCE, Marion County BOCC

NEW BUILDING FOR: SHAMROCK CONSTRUCTION

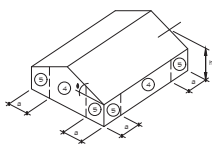
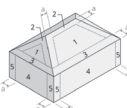
MARION OAKS BLVD.
MARION COUNTY, FLORIDA

WIND LOADING CRITERIA:	CODE REFERENCE	BUILDING DATA:	LOCATION ARCHITECTURAL PLAN
<p>FBC TABLE 1604.3(1)</p> <p>BASIC WINDSPEED: (140) MPH</p> <p>WIND IMPORTANCE FACTOR: (1)</p> <p>WIND EXPOSURE: (C)</p> <p>APPLICABLE INTERNAL PRESSURE COEFFICIENT: 0.18 FOR ENCLOSED STRUCTURES AND 0.89 FOR COVERED ENTRIES. At 3'-0"</p>	<p><u>APPLICABLE CODES:</u></p> <p>ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES, BUT NOT LIMITED TO:</p> <p>FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 BUILDING FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 PLUMBING FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 MECHANICAL FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 FUEL GAS FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 ACCESSIBILITY FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 RESIDENTIAL FLORIDA BUILDING CODE (FBC) 8TH EDITION 2023 ENERGY CONSERVATION CODE FLORIDA FIRE PREVENTION CODE, 8TH EDITION, 2023 INCLUDES: NFPA 1: FIRE CODE, 2024 EDITION NFPA 10 CODE 2023 NATIONAL ELECTRIC CODE 2020</p>	<p>A NEW OFFICE / STORAGE BUILDING</p> <p><u>INDEX OF DRAWINGS</u></p> <p>A000 COVER, PROJECT INFORMATION L5100 LIFE SAFETY PLAN A100 FOUNDATION PLAN A300 FLOOR PLAN A500 EXTERIOR ELEVATIONS A301 EXTERIOR ELEVATIONS A400 ROOF PLAN A501 SECTION A502 DETAILS A600 POWER & LIGHTING PLAN A601 PANELS, DETAILS AND DIAGRAM F100 PLUMBING PLANS, RISERS AND NOTES</p> <p><u>GENERAL NOTES</u></p> <p>ALL WORK SHALL BE DESIGNED IN ACCORDANCE WITH ALL GOVERNING NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.</p> <p>PROVIDE CONTINUOUS SEALANT TO PROVIDE "WATER AND AIR-TIGHT" CONDITION AT THE PERIMETER OF THE BUILDING. THIS INCLUDES BUT IS NOT LIMITED TO ALL DOORS AND DOOR FRAMES, INTERIOR AND EXTERIOR WINDOW FRAMES AND COMPONENTS, PLUMBING FIXTURES, TOILET ACCESSORIES (BOTH RECESSED & SURFACE MOUNTED), FIRE EXTINGUISHER CABINETS, FIRE DEPARTMENT VALVE CABINETS.</p> <p>ALTHOUGH EVERY EFFORT HAVE BEEN MADE TO PROVIDE CLEAR AND CONVEY DOCUMENTS, ANY CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS CLARIFICATION OR DETERMINATION OF PRIORITY CONFLICT (MATERIAL / CALCULATIONS OR DETAILS) SHALL GOVERN. IF THE ARCHITECT IS NOT NOTIFIED OF CONFLICTS THEN THE MOST STRINGENT WILL BE USED AS DETERMINED BY THE ARCHITECT.</p> <p>ALL BUILDING ELEMENTS SHALL BE INSTALLED STRAIGHT, LEVEL, PLUMB AND SQUARE. ALL SYSTEM WALL BOARDING SHALL BE INSTALLED VERTICALLY IN / NO HORIZONTAL JOINTS.</p> <p>DUE TO MATERIAL TOLERANCES THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS WITH ACTUAL CONDITIONS ON THE SITE AND REPORT ANY DIFFERENCES TO THE ARCHITECT FOR INTERPRETATION AND RESOLUTION PRIOR TO COMMENCEMENT OF WORK.</p> <p><u>BY OTHERS</u></p> <p>1. COMPONENT & GLAZING - MANUFACTURERS OF DOORS, WINDOWS AND OTHER GLAZING COMPONENTS PROVIDE STANDARD SIGNED AND SEALED ENGINEERING CERTIFICATION FOR PRODUCT INSTALLATIONS TO MEET LOADS NOTED ON THE FLOOR PLAN.</p> <p>2. TRUSS SUMMARY NOTES SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THIS STATE WITH SPLIT REACTIONS FOR EACH TRUSS AND SPECIFICATION OF EACH HURRICANE ANCHOR. SUBMIT WITH THESE DOCUMENTS FOR PERMITTING.</p> <p>3. SUBMIT 3 COPIES UPON COMPLETION SIGNED & SEALED FINAL TRUSS ENGINEERING DOCUMENTS WITH CALCULATIONS AND TRUSSING PLANS TO THE PERMITTING AUTHORITY. PROVIDE ARCHITECT WITH 2 COPIES OF DOCUMENTS FOR REVIEW & APPROVAL PRIOR TO ISSUING FINAL SETS.</p> <p>4. SOIL TESTING SHALL BE COMPLETED AND PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO THE START OF ANY WORK.</p>	<p>LOT 5</p> <p>PROPERTY LINE N 50°10'00"E 140.15' (R)</p> <p>PROPOSED OFFICE</p> <p>AREA OF WORK</p> <p>LOT 5</p> <p>LOCATION PLAN N.T.S.</p>

Corner Zone Width
 $a = 5 ft, 0 in$

Wind Pressures
 $p =$

Zone	Positive Wind Pressure p^+ (psf)	Negative Wind Pressure p^- (psf)
1	33.8	-60.7
2	33.8	-83.7
3	33.8	-83.7
4	45.3	-49.2
5	45.3	-60.7



For $b = 1.000 + 304.8 mm$; $1 degree = 0.0175 radians$; $a = 4$ feet in all cases.

WALL COMPONENT AND GLAZING PRESSURE ZONES

architecture *studio*
great design shapes the future

1823 East Fort King Rd., Suite 103, Ocala, FL 34471
sosa@shamrockconstruction.com / www.shamrockconstruction.com
P: (352) 220-0944 Florida license: sz66002579



Rolando Sosa
2023.02.26
09:26:03
-05'00"

02.25.25
REVISION
A

copyright © 2025
ALL RIGHTS RESERVED. THESE
DRAWINGS ARE THE PROPERTY OF
SHAMROCK CONSTRUCTION, INC.
NO REUSE OR REPRODUCTION
WITHOUT WRITTEN PERMISSION.

A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA

01.29.25
by SG project no. 2446
sheet no.

A000

CONSTRUCTION DOCUMENTS

FOUNDATION PLAN LEGEND

EL. 0'-0" INDICATES ASSUMED FINISH FLOOR ELEVATION

■ INDICATES (1) NO. 5 DIA. VERTICAL STEEL ROD REINFORCING FROM FOOTING TO TOP BOND BEAM IN 3,000 PSI PEA GRAVEL AROUND FILLED BLOCK CELLS. PROVIDE 6" MIN. EMBEDMENT AND STANDARD HOOK TOP AND BOTTOM AND 30" MINIMUM LAP / SPLICES.

■ INDICATES (1) NO. 1 DIA. VERTICAL STEEL ROD REINFORCING FROM FOOTING TO TOP BOND BEAM IN 3,000 PSI PEA GRAVEL AROUND FILLED BLOCK CELLS. PROVIDE 6" MIN. EMBEDMENT AND STANDARD HOOK TOP AND BOTTOM AND 42" MINIMUM LAP / SPLICES.

(SLB-1) NEW 4" 3,000 PSI CONC. SLAB REINFD IV 6#8 * 10/10 W/M OR COMMERCIAL FIBERESH MIX OVER 10 MIL POLYETHYLENE VAPOR BARRIER OVER CLEAN 18% COMPACTED FOSION TREATED EARTHEN FILL.

(SLB-2) 4" 3,000 PSI CONC. SLAB REINFD IV 6#8 * 10/10 W/M AND COMMERCIAL FIBERESH MIX OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER CLEAN 18% COMPACTED FOSION TREATED EARTHEN FILL. PROVIDE NON SLIP BROOM FINISH AT ALL SLAB IV SLOPE TO SHED WATER.

FOOTING SYMBOL

GJ SAW CUT JOINT, MIN CUT 1/4" OF THE THICKNESS OF FINISH CONCRETE SLAB

FOUNDATION NOTES

1. PROVIDE 3,000 PSI CONC. MIN. UNLESS NOTED OTHERWISE.
2. TOP OF WALL AND COLUMN PAD FOOTINGS SHALL BE SET 10" BELOW THE FINISH GRADE MINIMUM.
3. PROVIDE STEEL REINFORCING IN 2" MIN. CONCRETE COVER AT ALL FOOTINGS AND ANY REINFORCED CONCRETE BELOW THE FINISH GRADE.
4. FOOTINGS SHALL BE CENTERED ON LOAD WALLS, COLUMN WALLS / LOADS.
5. FOUNDATION DESIGN IS BASED ON ASSUMED SHALLOW SOIL CONDITIONS AND A SOIL BEARING CAPACITY OF 2,000 PSF. IF OTHER CONDITIONS SHOULD OCCUR, THE OWNER SHALL RETAIN THE SERVICES OF A GEOTECHNICAL ENGINEER TO EVALUATE TEST AND RECOMMEND FOOTING DESIGNS SUITABLE FOR CONDITIONS FOUND. ARCHITECT SHALL BE NOTIFIED OF SUCH CONDITIONS AND SHALL BE PROVIDED IV COPIES OF ALL RELATED TECHNICAL REPORTS, INCLUDING SOIL TESTS AND PROPOSED FOOTING DESIGN.
6. ALL EXTERIOR SLABS TO RECEIVE A BROOM FINISH.
7. VERIFY ALL FINISH FLOOR MATERIALS AND LOCATIONS WITH THE OWNER TO ESTABLISH CONDITIONS THAT WILL REQUIRE THE SLAB TO BE EXPRESSED TO PROVIDE A FLUSH TRANSITION BETWEEN FINISH FLOOR MATERIALS. IF THIS CONDITION EXISTS, CONTACT ARCHITECT FOR SLAB REDESIGN.
8. SAWCUT CONTROL JOINTS AND EXPANSION JOINTS SHALL BE LOCATED AS SHOWN. THE GENERAL CONTRACTOR CAN INSTALL ADDITIONAL JOINTS IF REQUIRED TO CONTROL CRACKS OF THE SLAB AND TO INSURE PROPER SLAB CONSTRUCTION, FLATNESS, LEVELNESS AND DIFFERENTIAL SETTLEMENT.
9. FOUNDATIONS SHALL BE VERIFIED AND MAY BE ADJUSTED AS PER SELECTED TRUSS MANUFACTURER'S DESIGN, LOAD UPLIFTS PRIOR TO COMMENCEMENT OF WORK AND TRUSS ORDER. LOADING POINTS AND ADDITIONAL BEARING WALLS MAY BE REQUIRED. IF TRUSS DESIGN IS CHANGED BY MANUFACTURER:
 - A. VERIFY LOADING POINTS FROM THE TRUSS MANUFACTURER AND FROM THE FINAL TRUSS LAYOUT PRIOR TO CONSTRUCTION.
 - B. PROVIDE ADDITIONAL BEARING WALLS, COLUMNS, AND MONOLITHS OR STRIP TYPE FOOTINGS AND FOR COLUMN PADS AS REQUIRED TO MEET LOADING CONDITIONS AND APPLICABLE BUILDING CODES.
10. PROVIDE A/C VAPOR CHASES AS REQUIRED FOR EACH A/C CONDITIONING UNIT. VERIFY LOCATION WITH A/C CONTRACTOR.
11. PROVIDE SLAB SLOPE TO FLOOR DRAIN IF APPLICABLE TO EXTERIOR OF BUILDING OR AWAY FROM BUILDING IF EXTERIOR SLAB.
12. CONTRACTOR TO SECURE SOIL TESTS PRIOR TO COMMENCEMENT OF WORK AND TO PROVIDE ARCHITECT A COPY OF REPORT FOR REVIEW AND RECOMMENDATION.
13. CONTRACTOR TO VERIFY ALL CURRENT SITE CONDITIONS WITH SITE DOCUMENTS BY OTHERS AS WELL AS FINISHED FLOOR REQUIREMENTS AND CUT AND FILL OF SITE AS TO PROVIDE A STABLE AND SECURE HIGH AND DRY RESIDENCE.
14. VERIFY FLOOR DRAIN LOCATIONS IV PLUMBING PLANS I PROVIDED POSITIVE SLOPE TO ALL DRAINS.

NO PLUMBING/CHASE PIPES ARE ALLOWED TO BE INSTALLED WITHIN ANY FOOTINGS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT

FOOTING SCHEDULE

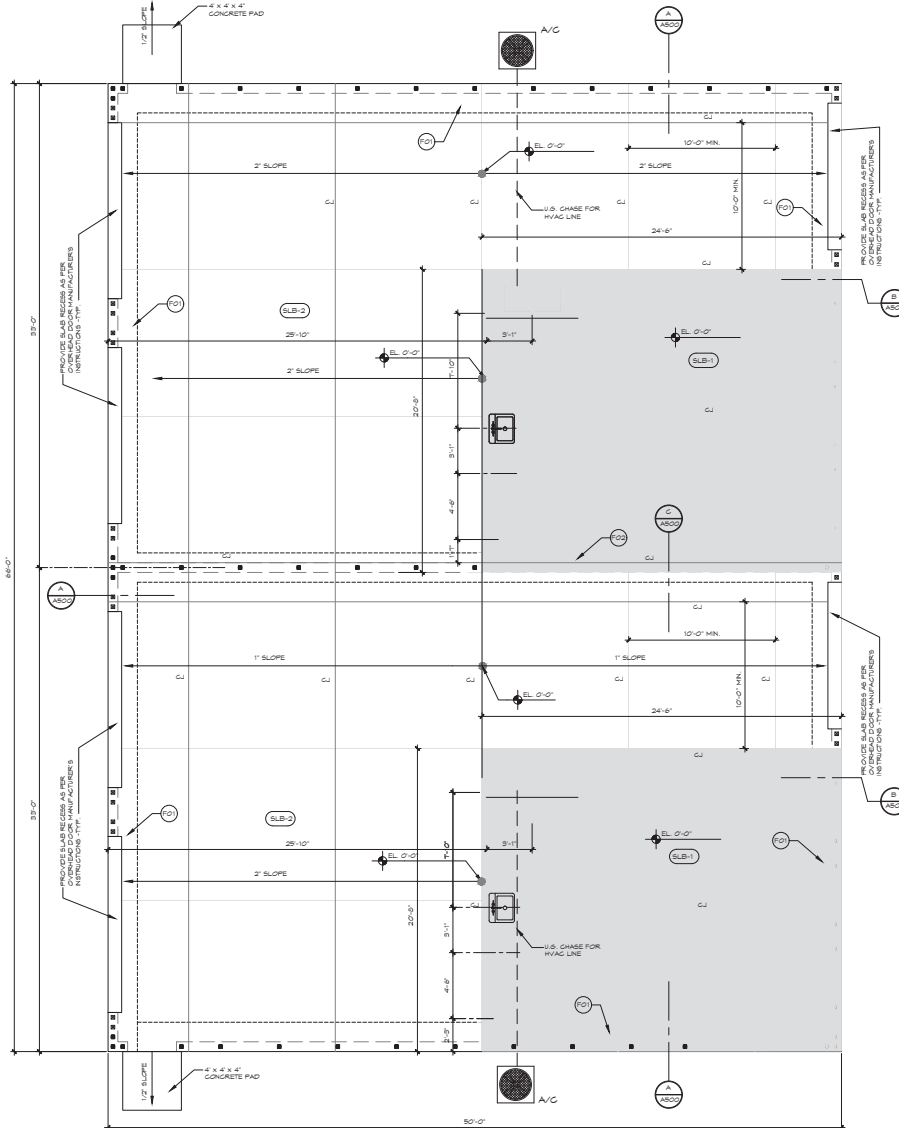
MARK	SIZE - H x W	TYPE	REINFORCING
(F1)	2'-0" x 1'-0"	MONOLITHIC	3 - #8 @ BARS CONTINUOUS
(F2)	2'-0" x 1'-0"	MONOLITHIC	3 - #8 @ BARS CONTINUOUS

MINIMUM REQUIRED LAP SPLICES FOR REINFORCING RODS (GRADE 60 STEEL)

ROD DIA.	LAP / SPLICE	ROD DIA.	LAP / SPLICE	ROD DIA.	LAP / SPLICE
NO. 3	18"	NO. 6	36"	NO. 8	50"
NO. 4	24"	NO. 7	42"	NO. 10	65"
NO. 5	30"	NO. 9	50"	NO. 11	70"



SAW CUT JOINT DETAIL (GJ)
NOT TO SCALE



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

LEGEND

NOTE: SEE WALL SECTIONS FOR MORE INFORMATION

- INTERIOR PARTITION WALL (NON LOAD BEARING) :
 - 1/2" OR 5/8" SIPFORM BOARD ON EACH SIDE OF 2x4 POOD STUD @ 16" O.C. IN 2x4 TOP PLATE AND PT. 2x4 BASE PLATE SECURED TO FLOOR / SLAB, 2x4 BLOCKING @ 48" O.C. VERTICALLY
- EXTERIOR MASONRY WALL:
 - 8" CMU EXTERIOR BLOCK WALL REINFORCED W/ #5 @ VERTICAL REBAR @ 4'-0" O.C. MAX.
- EXTERIOR MASONRY WALL:
 - 8" CMU EXTERIOR BLOCK WALL REINFORCED W/ #5 @ VERTICAL REBAR @ 4'-0" O.C. MAX.
 - 5/8" SIPFORM BOARD ON 1/2 FT. FURRING STRIPS @ 16" O.C. WITH P-FOLD R-4.1 STAPLED TO FACE OF PT. 1x4.
- INDICATES (1) NO. 5 DIA. VERTICAL STEEL ROD REINFORCING FROM FOOTING TO TOP BOND BEAM IN 3,000 PSI FEA GRAVEL ARCUT FILLED BLOCK CELLS. PROVIDE 6" MIN. EMBEDMENT AND STAGGERED JOINTS TOP AND BOTTOM AND 50" MINIMUM LAPS / SPLICES.
- WINDOW SYMBOL
- DOOR SYMBOL

NOTES:

DOOR INSTALLATION AS PER TABLE 1001

TABLE 1001.1

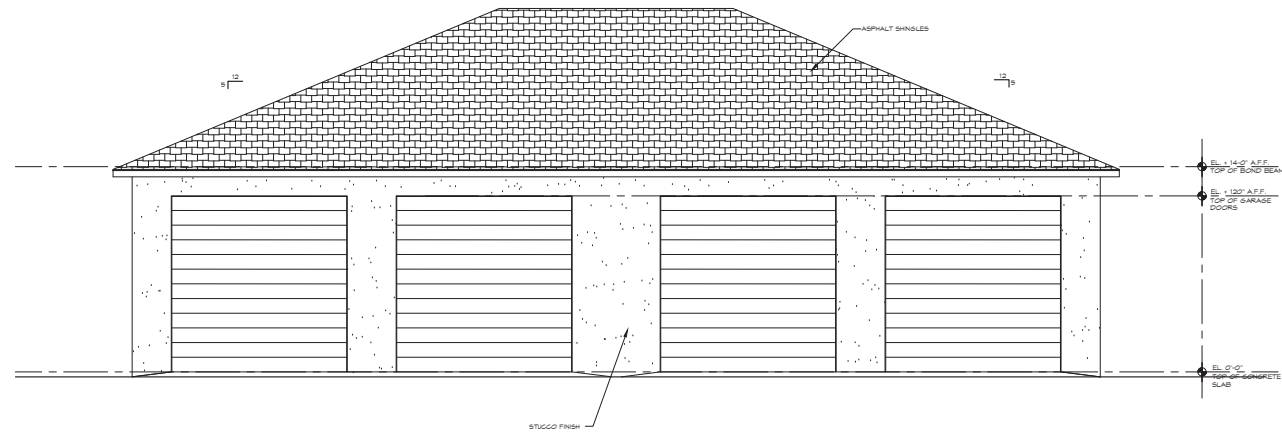
NOMINAL (ASD) GARAGE DOOR AND ROLLING DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (PPF) 15.3.4.3

		ULTIMATE DESIGN WIND SPEEDS (ASD) OR THURNOED IN ACCORDANCE WITH SECTION 1603.5.6PPF - 3 SECOND DURATION									
		100 MPH	110 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH	190 MPH
		WIND ANGLE > 15 DEGREES									
WIND DIR.	WIND S.P.	100 MPH	110 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH	190 MPH
5	7	115.0	121.4	128.0	134.7	141.5	148.3	155.1	161.9	168.7	175.5
15	7	115.0	121.4	128.0	134.7	141.5	148.3	155.1	161.9	168.7	175.5
25	7	115.0	121.4	128.0	134.7	141.5	148.3	155.1	161.9	168.7	175.5

For 50, 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 7700, 7750, 7800, 7850, 7900, 7950, 8000, 8050, 8100, 8150, 8200, 8250, 8300, 8350, 8400, 8450, 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WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



Rolando Sosa
2025.02.14
16:06:05 -05'00'

ROLANDO SOSA ARCHITECT
FL LICENSE #181904
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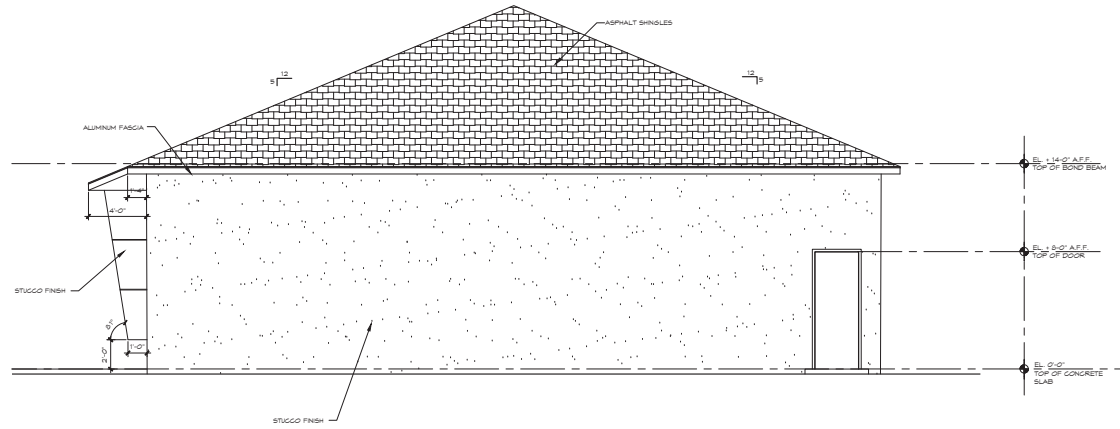
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MARION COUNTY, FLORIDA

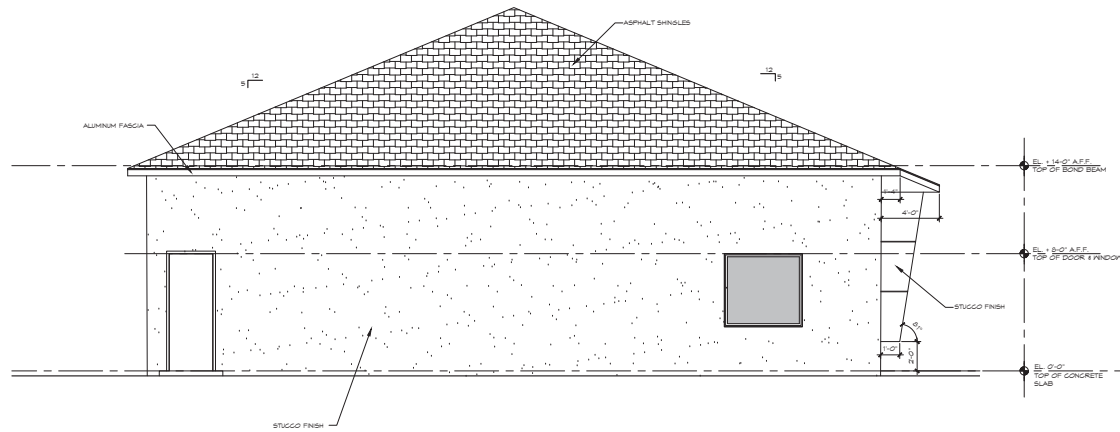
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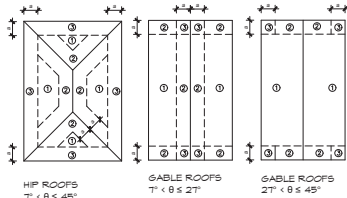
CONSTRUCTION DOCUMENTS



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



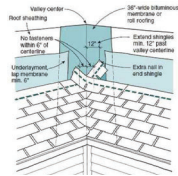
FOR 5:1 FOOT = 304.8 mm, 1 DEGREE = 0.0175 RAD.
NOTE: 1:8 = 4 FEET ALL CASES

FIGURE 1609.3
COMPONENT AND CLADDING PRESSURE ZONES
ROOF SHEATHING PLAN
SCALE: N.T.S.

ROOF SHEATHING NAILING SCHEDULE			
ZONE	SIZE	NAIL SPACING	NOTES
1	8" O.C. EDGE, 6" O.C. INTERMEDIATE		HOT DIPPED GALVANIZED RING SHANK NAILS
2	8" O.C. EDGE, 6" O.C. INTERMEDIATE		HOT DIPPED GALVANIZED RING SHANK NAILS
3	8" O.C. EDGE, 4" O.C. INTERMEDIATE		HOT DIPPED GALVANIZED RING SHANK NAILS

NOTES:

- INSTALL ROOF DECK SHEATHING WITH LONG DIMENSION PERPENDICULAR TO FRAMING AND WITH JOINTS STAGGERED. PROVIDE ROOF CLIPS ON UNSUPPORTED EDGES.
- ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD OR 1/2" O.S.B. SHEATHING, NAILING PATTERN SHALL COMPLY WITH 2020 ICC 600.
- CLOSED VALLEY FLASHINGS AS PER ASTM D224.



VALLEY FLASHING DETAIL

- 1803.2 FLASHING.
FLASHINGS SHALL BE USED TO SEAL ROOFING SYSTEMS, WHERE THE SYSTEM IS INTERRUPTED OR TERMINATED AND SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPETS, WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
- 1803.2.1 LOCATIONS.
FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. INVERSE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN PROVIDED IN TABLE 1803.2 OR IN COMPLIANCE WITH RAS 111.
- EXCEPTION: FLASHING IS NOT REQUIRED AT HIP AND RIDGE JUNCTIONS.
- 1803.2.4 FLASHINGS.
FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH THIS SECTION OR RAS 111. FLASHINGS SHALL BE APPLIED IN ACCORDANCE WITH THIS SECTION. THE ASPHALT SHINGLE MANUFACTURER'S INSTRUCTIONS OR RAS 111.
- 1803.2.4.2 VALLEYS.
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED.

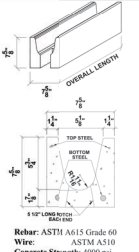
LEGEND



LINTEL SCHEDULE

8" PRECAST U-LINTELS STANDARD LENGTHS

OVERALL LENGTH	TOP STEEL	BOTTOM STEEL	
3'-0"	2-#3 wire	2-#3 rebar	
3'-6"	2-#3 wire	2-#3 rebar	
3'-6"	2-#3 wire	2-#3 rebar	
4'-0"	2-#3 wire	2-#3 rebar	
4'-6"	2-#3 wire	2-#3 rebar	
4'-6"	2-#3 wire	2-#3 rebar	
5'-0"	2-#3 wire	2-#3 rebar	
5'-6"	2-#3 wire	2-#3 rebar	
6'-0"	2-#3 wire	2-#4 rebar	
6'-6"	2-#3 wire	2-#4 rebar	
7'-0"	2-#3 wire	2-#4 rebar	
7'-6"	2-#3 wire	2-#4 rebar	
8'-0"	2-#3 rebar	2-#4 rebar	
8'-6"	2-#3 rebar	2-#4 rebar	
9'-0"	2-#3 rebar	2-#4 rebar	
10'-0"	2-#3 rebar	2-#4 rebar	
10'-6"	2-#3 rebar	2-#5 rebar	
11'-0"	2-#3 rebar	2-#5 rebar	
12'-0"	2-#3 rebar	2-#5 rebar	
13'-0"	2-#3 rebar	2-#5 rebar	
14'-0"	2-#3 rebar	2-#5 rebar	



Rebar: ASTM A615 Grade 60
Wire: ASTM A510
Concrete Strength: 4000 psi
Average Self Weight: 33 plf
Finish: Grey Block

SAFE LOADS (lb/ft²) 8" PRECAST U-LINTELS

OVERALL LENGTH	TYPE OF LINTEL	UPLIFT						LATERAL
		8F8-1T	8F10-1T	8F16-1T	8F20-1T	8F24-1T	8F28-1T	
2'-4" to 3'-6"	PRECAST	1500	1500	3204	4204	5203	6102	1025
3'-6" to 4'-0"	PRECAST	1363	1363	3040	3815	4679	5335	6079
4'-0" to 4'-6"	PRECAST	1287	1287	2767	3375	4043	4711	5379
4'-6" to 5'-0"	PRECAST	1287	1287	2767	3375	4043	4711	5379
5'-0" to 5'-6"	PRECAST	1010	1115	2276	2838	3399	3961	4522
5'-6" to 6'-0"	PRECAST	899	1007	2080	2593	3157	3620	4133
6'-0" to 6'-6"	PRECAST	835	1007	2080	2593	3157	3620	4133
6'-6" to 7'-0"	PRECAST	727	1224	1624	2025	2426	2827	3228
7'-0" to 7'-6"	PRECAST	691	788	1138	1474	1815	2157	2500
7'-6" to 8'-0"	PRECAST	691	862	1198	1541	1889	2284	2619
8'-0" to 10'-6"	PRECAST	530	675	916	1189	1461	1736	2011
10'-6" to 11'-4"	PRECAST	474	594	806	1037	1274	1514	1755
11'-4" to 12'-0"	PRECAST	474	594	806	1037	1274	1514	1755
12'-0" to 13'-4"	PRECAST	428	460	725	916	1103	1305	1497

GIRDER TRUSS - WALL REINFORCEMENT

TRUSS PLANS WERE NOT AVAILABLE AT THE TIME OF THESE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL PROVIDE THE FOLLOWING AT EACH GIRDER TRUSS LOCATION:

- PROVIDE (2) CONCRETE BLOCK FILLED CELLS REINFORCED WITH #5 DIA. STEEL REINFORCING ROD IN EACH CELL, FILLED WITH 5,000 PSI FEA GRAVEL CONCRETE, CENTERED UPON EACH GIRDER TRUSS BEARING POINT.
- IF A GIRDER TRUSS BEARING POINT FALLS ON TOP OF A WINDOW OR DOOR OPENING, LINTELS AT THESE LOCATIONS SHALL BE RE-DESIGNED TO ACCEPT THE NEW LOAD.

TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR LOCAL DEPARTMENT APPROVAL AS REQUIRED. TRUSS MANUFACTURER SHALL SITE VERIFY ALL DIMENSIONS. DIMENSIONS THAT HAVE NOT BEEN SITE VERIFIED SHALL NOT BE USED.

ALL FRAMING CONNECTIONS SHALL BE BY SHIMON STRONG-TIE OR APPROVED EQUAL.

CONTRACTOR SHALL COORDINATE WITH TRUSS MANUFACTURER AND MECHANICAL CONTRACTOR AS REQUIRED TO PROVIDE NECESSARY CLEARANCES FOR DUCTWORK.

TRUSSES SHALL BE DESIGNED BY A FLORIDA REGISTERED TRUSS ENGINEER USING THE FOLLOWING LOADINGS:

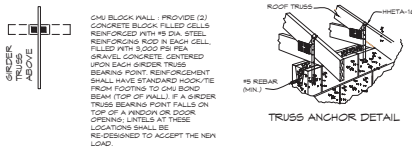
ROOF TRUSS LOADS	
TO LL	20.0 PSF
TO DL	1.0 PSF
BC DL	5.0 PSF
BC LL	0.0 PSF
TOT DL	91.0 PSF
DLR FAC	1.25
SPACING	24.0"

DEFLECTION MEETS L/840 AND L/240 TOTAL LOAD

ADVANCED TRUSS MANUFACTURERS SHALL SUBMIT TRUSS LAYOUT TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. SHOP DRAWINGS SHALL CONTAIN ALL STRUCTURAL AND FINISHING INFORMATION REQUIRED TO DETERMINE ALL LOADINGS. DESIGN PARAMETERS FOR LOADING CONDITIONS SHALL BE BASED ON CLEAR SPAN CONDITIONS UNLESS SHOWN OTHERWISE ON ARCHITECT'S CONSTRUCTION DOCUMENTS. ANY PROPOSED DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SHOP DRAWING REVIEW. IF THE ARCHITECT IS NOT NOTIFIED IN ADVANCE, THE GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL COST OF ADDITIONAL WORK THAT IS REQUIRED, INCLUDING BUT NOT LIMITED TO ADDITIONAL COLUMNS, FOOTINGS, BEAMS, AND RE-WORK OF EXISTING WORK IN PLACE.

ENGINEERED TRUSS PLACEMENTS ON THIS DRAWING ARE DIAGNOSTIC TO SHOW ARCHITECTS INTENT. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR FINAL INSTALLATION LOCATIONS. VERIFY BEARING LOCATIONS ON WALLS, BEAMS, & COLUMNS.

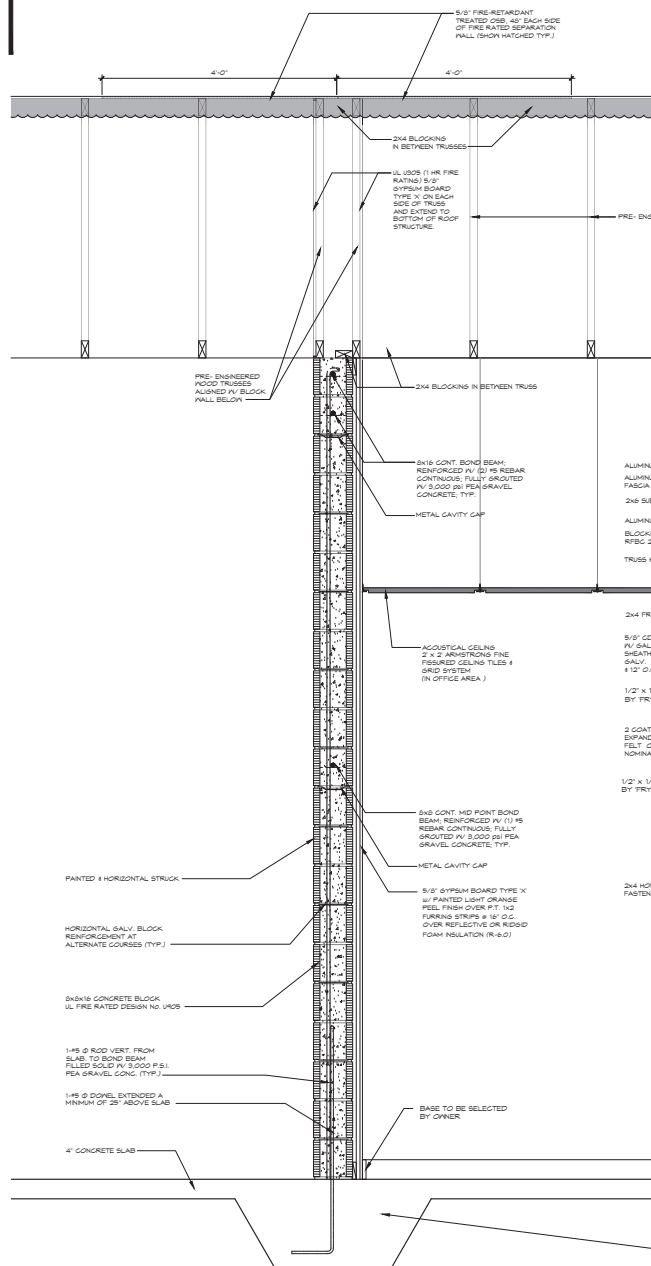
GIRDER TRUSS NOTE:



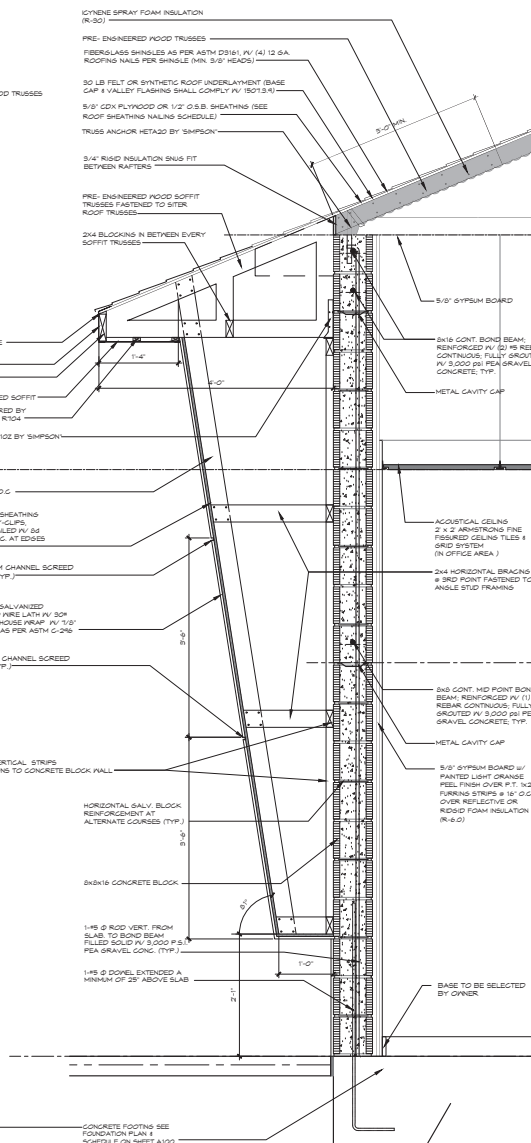
ROOF PLAN

SCALE: 1/4" = 1'-0"

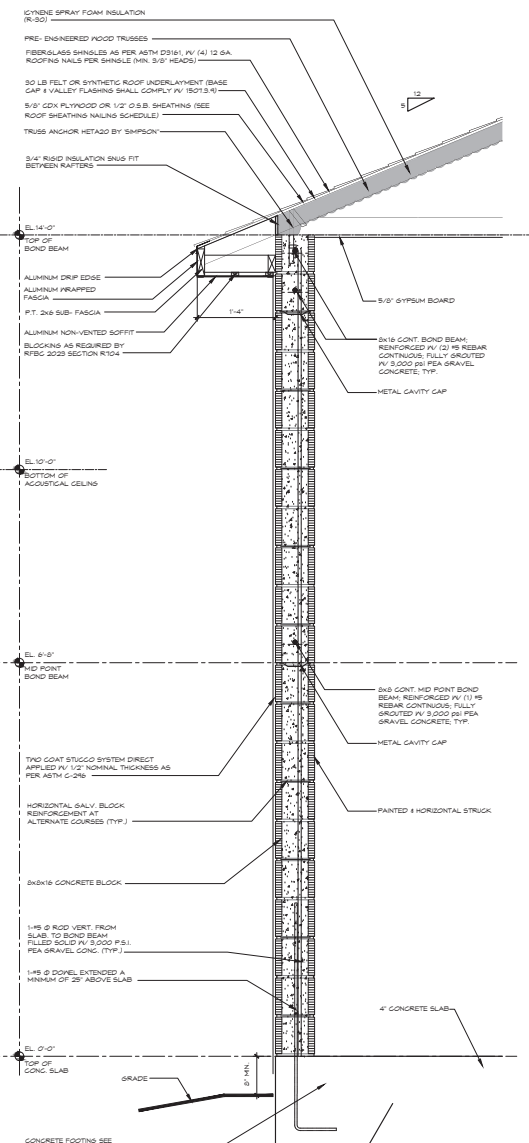




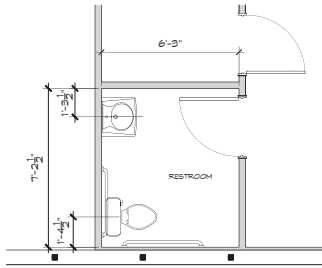
WALL SECTION 'C'
SCALE: 1" = 1'-0"



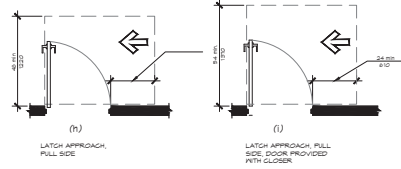
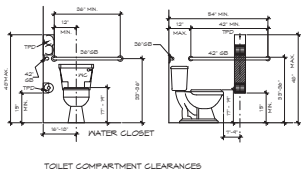
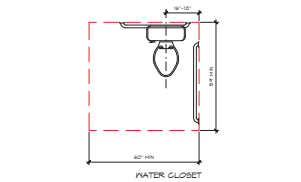
WALL SECTION 'B'
SCALE: 1" = 1'-0"



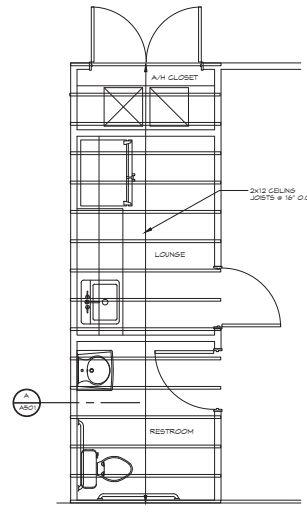
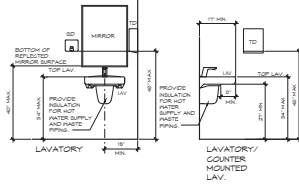
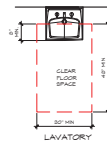
WALL SECTION 'A'
SCALE: 1" = 1'-0"



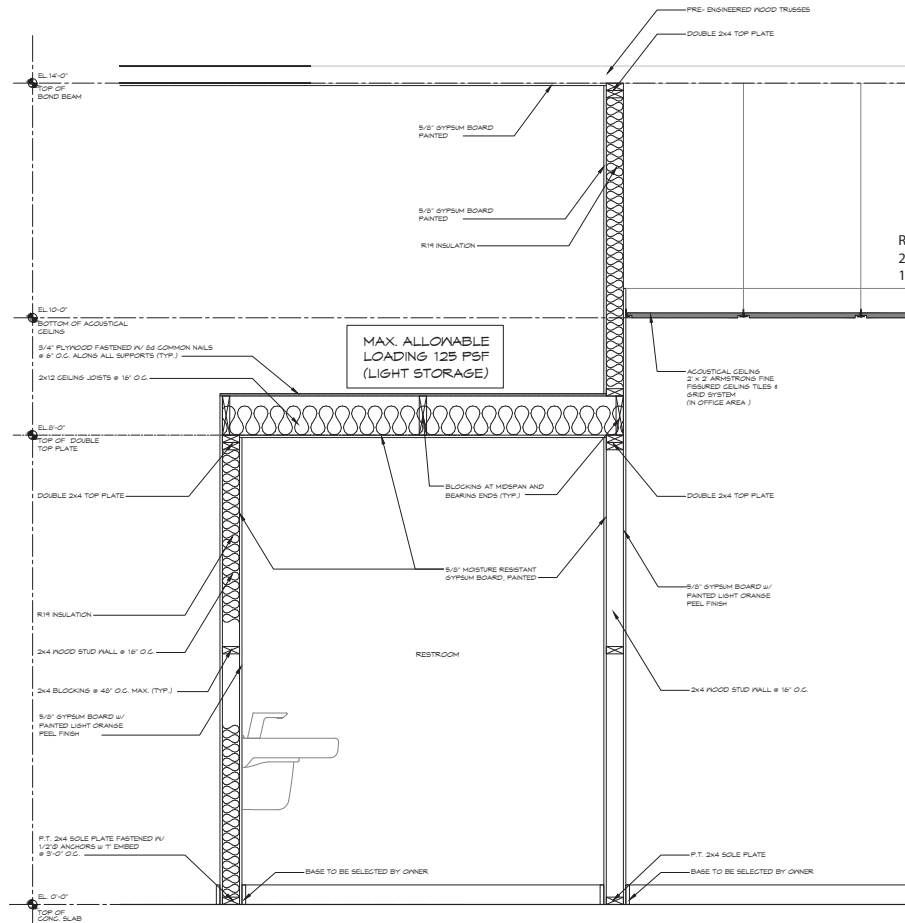
RESTROOM FLOOR PLAN - B (TYP.)
SCALE: 3/8" = 1'-0"



CLEAR WIDTH OF DOORWAYS
SCALE: 3/8" = 1'-0"



CEILING JOIST PLAN
SCALE: 3/8" = 1'-0"



WALL SECTION 'A'
SCALE: 1" = 1'-0"



- N.T.S.



-LAP ALL STEEL PER MIN. REQUIREMENTS AS STATED IN "STRUCTURAL NOTES (PAGE 5-3).
-QUANTITY OF CORNER BARS DETERMINED BY MIN. INTERSECTING BEAM STEEL
(I.E., IF 6-BAR CONCRETE BEAM INTERSECTS W/ "BB-1" ONLY 1 CORNER BAR WILL BE
REQUIRED, ETC.)

CAOING DEVICES AND CENTERING CLIPS SHALL BE FORMED FROM HARD WIRE, WELDED AND GALVANIZED

TYPICAL VERTICAL REINFORCING POSITIONING



TYP. MASONRY OPENING WITH BUCK



Rolando Sosa
2025.02.14
16:07:47 -05'0

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A NEW BUILDING FOR:
SHAMROCK CONSTRUCTION
MARION OAKS BLVD.
MARION COUNTY, FLORIDA

01.29.25

by SG	project no 2446
sheet no	

A502

CONSTRUCTION DOCUMENTS

SYMBOL LEGEND:

	48" SURFACE MOUNTED LED LIGHT FIXTURE
	2'x2" LAY-IN LED LIGHT PANEL
	2'x2" LAY-IN LED LIGHT PANEL
	24" HALL MOUNTED LED LIGHT FIXTURE
	RECESSED LED DOWNLIGHT FIXTURE
	LED PAIL PACK - UL RATED FOR VET LOCATIONS
	SINGLE FACE HALL MOUNTED EXIT LIGHT WITH EMERGENCY BATTERY PACK
	EMERGENCY LED HALL PACK IV BATTERY BACK-UP
	EXHAUST FAN, VENTED TO EXTERIOR (110 CFM MIN) BROWN AET10
	COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR
	120V 20A SPST TOGGLE SWITCH, MOUNTED 48" AFF
	120V 3-WAY SWITCH, MOUNTED 48" AFF
	120V 20A 3-WAY DIMMER SWITCH, MOUNTED 48" AFF
	250V 20A MOTOR RATED 2 POLE SWITCH, MOUNTED 48" AFF
	SUPPLY DIFFUSERS/COORD. WITH HVAC DRAWINGS
	2x2 ACOUSTIC ACOUSTIC CEILING TILE SYSTEM
	CEILING HEIGHT, RELATIVE TO ROOM F.F.E

1. ALL RECEPTACLES SHALL BE LOCATED AT 10" A.F.F. UNLESS OTHERWISE NOTED

	120V 20A DUPLEX RECEPTACLE
	120V 20A 3-WAY DUPLEX RECEPTACLE WITH WEATHERPROOF COVERPLATE
	120V 20A 3-WAY DUPLEX RECEPTACLE
	120V 20A 3-WAY DUPLEX RECEPTACLE ON DEDICATED CIRCUIT
	COMMUNICATIONS OUTLET, MOUNTED 10" AFF
	250V NON-FUSED DISCONNECT SWITCH - SIZED FOR EQUIPMENT SERVED; REFER TO ELECTRICAL RIBER DIAGRAM FOR FUSE SIZES AND TYPE, REFER TO INDICATED NEMA 3R
	225A 120/240V 10 3/4" PANELBOARD
	METER PER LOCAL UTILITY CO. REQUIREMENTS

GENERAL NOTES

1. INSTALLATION SHALL BE PERFORMED BY A LICENSED FLORIDA ELECTRICAL CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS, LICENSES, UTILITY COORDINATION, AND INSPECTIONS AS REQUIRED BY THE CITY, COUNTY, OR UTILITY COMPANY. OWNER WILL PAY FEES. CONTRACTOR IS RESPONSIBLE FOR ALL EQUIPMENT REQUIRED BY UTILITY COMPANY AND SHOULD INCLUDE NECESSARY COSTS IN BID.
2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AND PROPER ELECTRICAL DESIGN, LOADING AND INSTALLATION OF ELECTRICAL SYSTEMS.
3. ELECTRICAL CONTRACTOR SHALL FURNISH CONNECTED AND DEMAND LOAD CALCULATIONS FOR FINAL EQUIPMENT SELECTIONS.
4. ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) 2020 NFPA 70, NATIONAL ELECTRICAL CODE.
5. ELECTRICAL CONTRACTOR SHALL COORDINATE HVAC EQUIPMENT REQUIREMENTS AND MAKE ALL NECESSARY ADJUSTMENTS PRIOR TO SUBMITTAL FOR ACTUAL EQUIPMENT FURNISHED AND RIG-IN-ALL.
6. VERIFY OWNER'S REQUIREMENTS FOR ALL OTHER APPLICABLE COMMUNICATIONS SYSTEMS INCLUDING TELEPHONE, INTERNET/IN-FL, SECURITY AND AUDIO/VISUAL.
7. PROVIDE AND INSTALL SMOKE/ CARBON MONOXIDE DETECTORS. THE DETECTORS MUST BE HARDWIRED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS AND WILL BE ALARMS WHERE REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) REFER TO LIGHTING/ POWER PLAN FOR SUGGESTED LAYOUT.
8. REFER TO ELECTRICAL RIBER DIAGRAM FOR FEEDER AND PANELBOARD SIZES.
9. SERVICE FEEDERS AND FEEDERS TO ELECTRICAL PANELS SHALL BE COPPER WITH 75% THIN INSULATED. ALL OTHER BRANCH WIRING SHALL BE COPPER WITH 75% THIN INSULATED. UNLESS OTHERWISE NOTED, #14 CU AWG MIN. SIZE WIRE FOR LIGHTING AND NON-APPLIANCE CIRCUITS.
10. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES. REFER TO ARCHITECTURAL, STRUCTURAL, LANDSCAPE, PLUMBING AND MECHANICAL DRAWINGS IN ORDER TO BE AWARE OF CONDITIONS AFFECTING ELECTRICAL WORK.
11. ELECTRICAL CONTRACTOR SHALL PROVIDE GFCI TYPE RECEPTACLES WITH WEATHERPROOF COVERPLATE WHEN 2' OF EXTERIOR HVAC LINE, COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO RIG-IN-ALL.
12. CALCULATE WIRE SIZE USING 3% VOLTAGE DROP, MAKE NECESSARY ADJUSTMENTS TO WIRE AND CONDUIT AS REQUIRED PRIOR TO BID.
13. CONTRACTOR SHALL VERIFY AND COORDINATE MOUNTING HEIGHT AND EXACT LOCATION OF ALL OUTLETS AND DEVICES WITH GENERAL CONTRACTOR AND OWNER PRIOR TO RIG-IN-ALL. PROVIDE (1) 1" PVC UNDERGROUND CONDUIT FROM EXTERIOR SERVICE BOX TO UTILITY SERVICE PRESTAL AND TO MAIN INTERIOR LOCATION. PROVIDE 3/4" PVC FROM ROUTER LOCATION TO EACH COMMUNICATION OUTLET BOX. PROVIDE PAIL STRING IN EACH CONDUIT. WIRING AND INSTALLATION PER OWNER'S VENDOR.
14. RACEWAYS, ENCLOSURES, BOXES, ETC. SHALL BE KEPT PROTECTED AGAINST ENTRY OF CONSTRUCTION DEBRIS. BE COVER ALL BOXES AFTER WIRE PULLS TO PROTECT FROM PAIL OVERSIGHT. DO NOT INSTALL DEVICES UNTIL PAINTING OF WALLS IS COMPLETED.
15. PROVIDE HACR TYPE CIRCUIT BREAKERS FOR HVAC EQUIPMENT
16. PROVIDE 20A 120V DEDICATED CIRCUIT FOR INTERNET SERVICE EQUIPMENT, COORD. INTERIOR LOCATION/ DETAILS W/ OWNER AND OWNER'S VENDORS PRIOR TO RIG-IN-ALL. PROVIDE (1) 1" PVC UNDERGROUND CONDUIT FROM EXTERIOR SERVICE BOX TO UTILITY SERVICE PRESTAL AND TO MAIN INTERIOR LOCATION. PROVIDE 3/4" PVC FROM ROUTER LOCATION TO EACH COMMUNICATION OUTLET BOX. PROVIDE PAIL STRING IN EACH CONDUIT. WIRING AND INSTALLATION PER OWNER'S VENDOR.
17. LIGHT FIXTURE SCHEDULE IS FOR DESIGN PURPOSES ONLY. ALL LIGHT FIXTURES TO BE SELECTED BY OWNER/ FINAL PACKAGE PER OWNER/ CONTRACTOR AGREEMENT. EXTERIOR LIGHT FIXTURES SHALL BE ALL SITED FOR MET LOCATIONS. USE 3000K-4000K L.E.D. LIGHTING PACKAGE, REFLECTORS AND TRIM FINES SELECTED BY OWNER.
18. LIGHTING FIXTURES SHALL BE CLEAN FREE OF SHADES OR FINGERPRINTS AT THE TIME OF FINAL INSPECTION.
19. CONTRACTOR SHALL VERIFY WITH OWNER ALL FUTURE LOCATIONS, TYPES AND MOUNTING HEIGHTS PRIOR TO INSTALLATION. COORDINATE LOCATION OF RECESSED LIGHT FIXTURES WITH FINAL RIBER AND 3D/ 4D/ 5D/ 6D/ 7D/ 8D/ 9D/ 10D/ 11D/ 12D/ 13D/ 14D/ 15D/ 16D/ 17D/ 18D/ 19D/ 20D/ 21D/ 22D/ 23D/ 24D/ 25D/ 26D/ 27D/ 28D/ 29D/ 30D/ 31D/ 32D/ 33D/ 34D/ 35D/ 36D/ 37D/ 38D/ 39D/ 40D/ 41D/ 42D/ 43D/ 44D/ 45D/ 46D/ 47D/ 48D/ 49D/ 50D/ 51D/ 52D/ 53D/ 54D/ 55D/ 56D/ 57D/ 58D/ 59D/ 60D/ 61D/ 62D/ 63D/ 64D/ 65D/ 66D/ 67D/ 68D/ 69D/ 70D/ 71D/ 72D/ 73D/ 74D/ 75D/ 76D/ 77D/ 78D/ 79D/ 80D/ 81D/ 82D/ 83D/ 84D/ 85D/ 86D/ 87D/ 88D/ 89D/ 90D/ 91D/ 92D/ 93D/ 94D/ 95D/ 96D/ 97D/ 98D/ 99D/ 100D/ 101D/ 102D/ 103D/ 104D/ 105D/ 106D/ 107D/ 108D/ 109D/ 110D/ 111D/ 112D/ 113D/ 114D/ 115D/ 116D/ 117D/ 118D/ 119D/ 120D/ 121D/ 122D/ 123D/ 124D/ 125D/ 126D/ 127D/ 128D/ 129D/ 130D/ 131D/ 132D/ 133D/ 134D/ 135D/ 136D/ 137D/ 138D/ 139D/ 140D/ 141D/ 142D/ 143D/ 144D/ 145D/ 146D/ 147D/ 148D/ 149D/ 150D/ 151D/ 152D/ 153D/ 154D/ 155D/ 156D/ 157D/ 158D/ 159D/ 160D/ 161D/ 162D/ 163D/ 164D/ 165D/ 166D/ 167D/ 168D/ 169D/ 170D/ 171D/ 172D/ 173D/ 174D/ 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PANEL "A"		RATING: 225A, M.L.O.		LUG LOCATION: BOTTOM		SHORT CIRCUIT RATING: 10K	
		SERVICE: 120/240V, 1Ø, 3W,		MOUNTING: SURFACE			
LOAD DESCRIPTION		KVA	BKR	OKT	KVA	LOAD DESCRIPTION	
LIGHTING - EXTERIOR THRU TIMECLOCK	0.4	20/1	1	2	20/1	1.0	RECEPT. - OFF., RESTROOM - GEN.
LIGHTING - WAREHOUSE, MECHRM.	0.4	20/1	3	4	20/1	0.8	RECEPT. - OFF., LOUNGE - GEN.
LIGHTING - OFF., RESTROOM, LOUNGE	0.3	20/1	5	6	20/1	1.2	RECEPT. - OFFICE - COMPUTER
SPARE	---	20/1	7	8	20/1	1.2	RECEPT. - OFFICE - COMPUTER
SPARE	---	20/1	9	10	20/1	1.5	RECEPT. - LOUNGE - COFFEE
SPARE	---	20/1	11	12	20/1	1.5	RECEPT. - LOUNGE - MICROWAVE
SPARE	---	20/1	13	14	20/1	1.0	RECEPT. - LOUNGE - REFRIGERATOR
SPARE	---	20/1	15	16	20/1	1.0	RECEPT. - WAREHOUSE, EXTERIOR
SPARE	---	20/1	17	18	20/1	1.2	RECEPT. - WAREHOUSE, EXTERIOR
SPARE	---	---	19	20	---	---	SPACE
SPARE	---	---	21	22	---	---	SPACE
AIR HANDLING UNIT "AHU-1" / "CU-1"	1.8	20/2+	23	24	---	---	SPACE
	1.8	20/2+	25	26	---	---	SPACE
ELECTRIC WATER HEATER "EWH-1"	6.5	60/2+	27	28	30/2+	---	TRANSIENT VOLTAGE SURGE SUPPRESSOR, TYPE 1
	6.5	60/2+	29	30	---	---	
SERVES	CONN. LOAD	DF.	RATED LOAD	CONNECTED LOAD (KVA)			
LIGHTING	1.1 KVA	1.0	1.1 KVA				
RECEPT. - GENERAL	4.0 KVA	1.0	4.0 KVA				
RECEPT. - COMPUTER	2.4 KVA	1.0	2.4 KVA				
RECEPT. - APPLIANCE	4.0 KVA	1.0	4.0 KVA	A# 14.9			
INSTANTANEOUS WATER HEATER	13.0 KVA	1.0	13.0 KVA				
MECHANICAL EQUIPMENT	---	---	3.6 KVA	B# 13.2			
TOTAL	23.5 KVA		28.1 KVA				
SPARE			5.2 KVA				
MAIN RATING			33.3 KVA				
				NOTES			
				1. SQUARE D HODD PANELBOARD			
				* COORD. WITH APPROVED SHOP DWGS./ADJUST AS REQUIRED			
				** CONCENTRAL LOADS			

PANEL "B"		RATING: 225A, M.L.O. SERVICE: 120/240V, 1ø, 3ø		LUG LOCATION: BOTTOM SURFACING: SURFACE		SHORT CIRCUIT RATING: 10K			
LOAD DESCRIPTION		KVA	BKR	OKT	BKR	KVA	LOAD DESCRIPTION		
LIGHTING - WAREHOUSE, MECHRM.	0.4	20/1	1	2	20/1	1.0	RECEPT. - OFF., RESTROOM - GEN.		
LIGHTING - OFF., RESTROOM, LOUNGE	0.3	20/1	3	4	20/1	0.8	RECEPT. - OFF., LOUNGE - GEN.		
SPARE	---	20/1	5	6	20/1	1.2	RECEPT. - OFFICE - COMPUTER		
SPARE	---	20/1	7	8	20/1	1.2	RECEPT. - OFFICE - COMPUTER		
SPARE	---	20/1	9	10	20/1	1.5	RECEPT. - LOUNGE - COFFEE		
SPARE	---	20/1	11	12	20/1	1.5	RECEPT. - LOUNGE - MICROWAVE		
SPARE	---	20/1	13	14	20/1	1.0	RECEPT. - LOUNGE - REFRIGERATOR		
SPARE	---	20/1	15	16	20/1	0.8	RECEPT. - WAREHOUSE, EXTERIOR		
SPARE	---	20/1	17	18	20/1	1.2	RECEPT. - WAREHOUSE, EXTERIOR		
SPACE	---	---	19	20	---	---	SPACE		
SPACE	---	---	21	22	---	---	SPACE		
AIR HANDLING UNIT "AHU-2" / "CU-2"	1.8	20/2+	23	24	---	---	SPACE		
	1.8	25		26	---	---	SPACE		
ELECTRIC WATER HEATER "EWH-2"	6.5	60/2+	27	28	30/2+		TRANSIENT VOLTAGE SURGE SUPPRESSOR, TYPE 1		
			29	30					
SERVES				CONN. LOAD		DF.	RATED LOAD	CONNECTED LOAD (KVA)	NOTES
LIGHTING		0.7	KVA	1.0	0.7	KVA			1. SQUARE D HODD PANELBOARD
RECEPT. - GENERAL		3.6	KVA	1.0	3.6	KVA			
RECEPT. - COMPUTER		2.4	KVA	1.0	2.4	KVA			
RECEPT. - APPLIANCE		4.0	KVA	1.0	4.0	KVA			
ELECTRIC WATER HEATER		13.0	KVA	1.0	13.0	KVA			
MECHANICAL EQUIPMENT		---	KVA	++	3.6	KVA			
TOTAL		22.9	KVA		26.5	KVA			
SPARE				1.0	6.8	KVA			
MAIN RATING					33.3	KVA			

A#

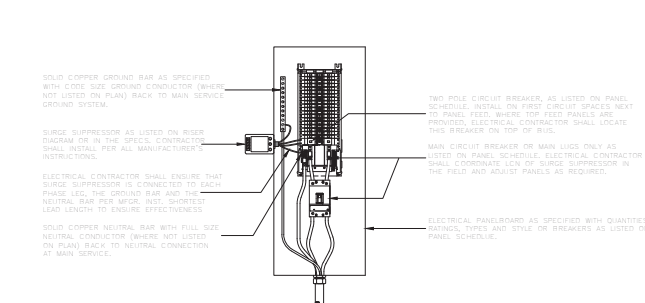
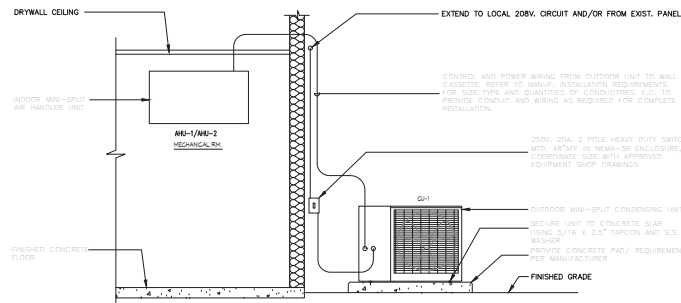
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B#

9.3

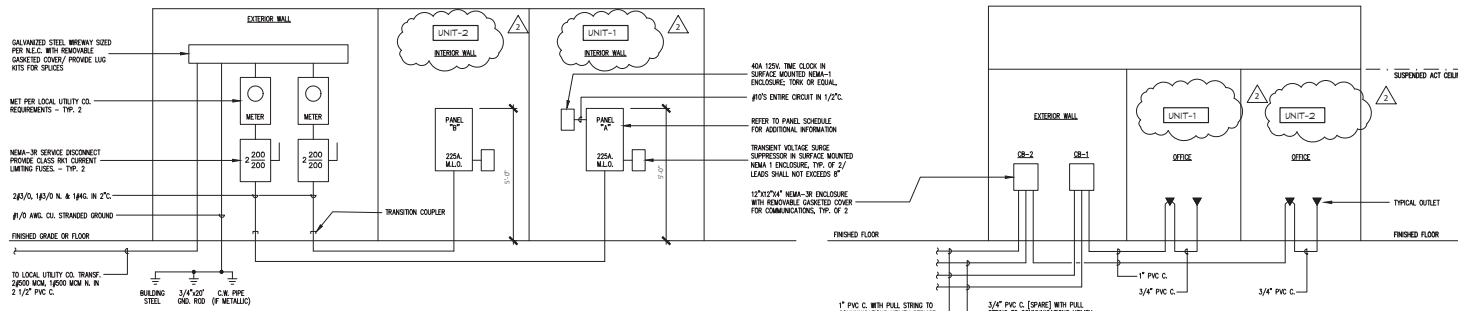
* COORD. WITH APPROVED SHOP DWGS./ADJUST AS REQUIRED
** CENTRAL LOADS

ELECTRICAL LOAD CALCULATIONS			
LOAD DESCRIPTION	CONNECTED LOAD	DIVERSITY FACTOR	ESTIMATED CONNECTED LOAD
LIGHTING	1.8 KVA	1.0	1.8 KVA
RECEPT. - GENERAL	7.8 KVA	1.0	7.8 KVA
RECEPT. - COMPUTER	4.8 KVA	1.0	4.8 KVA
RECEPT. - APPLIANCE	8.0 KVA	1.0	8.0 KVA
WATER HEATER	26.0 KVA	1.0	26.0 KVA
SUB-TOTAL	48.4 KVA	1.0	48.4 KVA
MECHANICAL EQUIPMENT	13.2 KVA	*	7.2 KVA
* NON-CONCENTRAL LOADS			
SUB-TOTAL	61.6 KVA	1.0	55.6 KVA
SPARE			23.4 KVA
TOTAL			79.0 KVA
USE 380A, 120/240V, 1 PHASE, 3 WIRE ELECTRICAL SERVICE			



1 DETAIL - MINI-SPLIT AIR CONDITION UNIT WIRING
NOT TO SCALE

2 DETAIL - TRANSIENT VOLTAGE SURGE SUPPRESSOR INSTALLATION
NOT TO SCALE

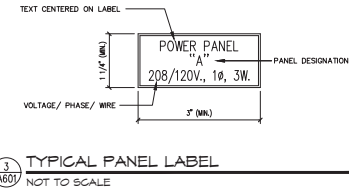


ELECTRICAL RISER DIAGRAM
SCALE: NONE

- ELECTRICAL CONTRACTOR SHALL COORDINATE METER REQUIREMENTS WITH LOCAL UTILITY.
- COORDINATE ALL RATING WITH LOCAL UTILITY COMPANY/ADJUST PANEL RATING AND BRANCH CIRUIT BREAKERS ACCORDINGLY.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION AND PROPER LOADING OF ELECTRICAL EQUIPMENT.
- ELECTRICAL CONTRACTOR SHALL PROVIDE SURGE PROTECTION DEVICES FROM ADVANCED TECHNOLOGIES (APT) PROVIDED RECESSED NEMA-1 ENCLOSURE WHERE REQUIRED. PROVIDE CIRCUIT BREAKER AND WIRE SIZE AS RECOMMENDED FOR MANUFACTURER AND MAINTAIN THE SHORTEST LEAD LENGTH AS POSSIBLE.
- ELECTRICAL CONTRACTOR SHALL A TYPE WRITTEN INDEX IN PANEL DOOR SLEEVE DESCRIBING LOAD AND LOCATION.

COMMUNICATIONS RISER DIAGRAM
SCALE: NONE

- ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF IN-COMING SERVICE WITH FINAL SITE LAYOUT AND ALL REQUIREMENTS PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR SHALL COORDINATE COMMUNICATION SERVICE REQUIREMENTS WITH OWNER AND/OR OWNERS VENDOR. MAKE ALL NECESSARY ADJUSTMENTS TO SERVICE WIRING AS REQUIRED.
- PROVIDE PULL-STRIPS IN ALL CONDUITS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL CAT 5 CABLE FROM EACH OUTLET TO TERMINAL BOARD TO COMMUNICATION TERMINAL BOARD. ALL EXPOSED CAT 5 CABLES SHALL BE NEATLY BUNDLED AND SECURED TO EXISTING STRUCTURAL MEMBERS CLEARLY IDENTIFY EACH CABLE WITH ADHESIVE LABEL AT EACH END. ALL DEVICES AND TERMINATIONS BY ELECTRICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL PROVIDE 25' OF 16 AWG SLACK CABLE COILED AND TIE-WRAPPED GROUND PINE FROM SERVICE GROUND TO TELEPHONE TERMINAL BOARD IN 12".



3 TYPICAL PANEL LABEL
NOT TO SCALE

- NOTE:
- BLACK PHENOLIC LABEL WITH WHITE (3/16 MIN.) ENGRAVED LETTERING.
 - EDGES TO BE REVEALED WITH 1/64" TO 1/32" CHAMFER.
 - APPLY LABEL USING EPOXY ADHESIVE, CENTERED ON PANELBOARD COVER.
 - RETRACTED FROM WEATHER BY 1/4" TO RESULTS IN ACCESSIBLE SPECIFIED INFORMATION.

SYMBOLS LEGEND	
	EXIT SIGN (V) EMERGENCY BATTERY PACK
	FIRE EXTINGUISHER (X) CABINET FOR CLASS 2A-10BC RATINGS FIRE EXTINGUISHER (TYP. BY 6 G.) COORDINATE EXACT LOCATION (V) LOCAL FIRE OFFICIALS
	EMERGENCY LIGHT (V) BATTERY PACK
EXIT CAPACITY	
	CAPACITY OF EXIT OCCUPANT LOAD
TRAVEL DISTANCE	
	TRAVEL DISTANCE (TD) TD = 100' DIRECTION OF TRAVEL
INDICATES DISTANCE OF TRAVEL FROM MOST REMOTE LOCATION WITHIN A ROOM OR SPACE TO AN EXIT	

GENERAL BUILDING LIMITATIONS (FBC TABLE 504.3)

GROUP B	TYPE I-B (UNPROTECTED) UNSPRINKLED	ALLOWABLE	PROVIDED
MAX HEIGHT	65'-0"	15'-0"	
MAX STORIES	5	1	
MAX AREA	35,500 SF (GROSS)	3,500 SF (GROSS)	

FIRE SPRINKLER REQUIREMENTS

FBC 905.10 (FPA 10) FIRE SPRINKLER IS NOT REQUIRED IN THIS BUILDING PER APPLICABLE CODES.

FIRE ALARM REQUIREMENTS

FBC 907.10 (FPA 10) FIRE ALARM IS NOT REQUIRED IN THIS BUILDING PER APPLICABLE CODES.

MEANS OF EGRESS (FBC CHAPTER 10)

POPULATION / OCCUPANT LOAD (FROM TABLE 1004.5)

USE	AREA	AREA/POPULATION	POPULATION
STORAGE			
UNIT A & B	1,165 S.F. (EACH)	500 GROSS	(3) PERSONS EA. X (2) SUITES
			=6 TOTAL
BUSINESS			
UNIT A & B	408 S.F. (EACH)	150 GROSS	(4) PERSONS EA. X (2) SUITES
			=8 TOTAL
BLDG. TOTAL	3,300 SQ. FT.		14 PERSONS

MEANS OF EGRESS (FBC CHAPTER 10)

OCCUPANCY CLASSIFICATION	UNSPRINKLED	
	REQUIRED	PROVIDED
BUSINESS / STORAGE		
MAXIMUM TRAVEL DISTANCE (TABLE 1011.2)	200 FT	16'-0" MAX
TOTAL # OF EXITS PER TENANT (SECTION 1006)	2 REQUIRED	2
EGRESS WIDTH PER PERSON (LEVEL) (TABLE 1009.3.2)	0.2 FACTOR FOR 400-20' 15.0	3 # 36" EA
MINIMUM CLEAR OPENINGS OF EXIT DOORS (TABLE 1010.1.1)	32"	36"

MINIMUM NUMBER OF EXITS

FBC CHAPTER 1009.3.3.1 OCCUPANT LOAD 1500; MINIMUM # OF EXITS SHALL BE (2).

BUSINESS OCCUPANCY

MINIMUM NUMBER OF PLUMBING FACILITIES (FBC TABLE P403.1)

1 PERSONS PER UNIT

BUSINESS/ STORAGE	WATER CLOSETS	LAWS	DRINKING FOUNTAINS	SERVICE SINKS
REQUIRED:	GO-ED	GO-ED		
	1/28 + 1 EACH	1/40 + 1 EACH		
PROVIDED:	1	1	NOT REQUIRED	NOT REQUIRED

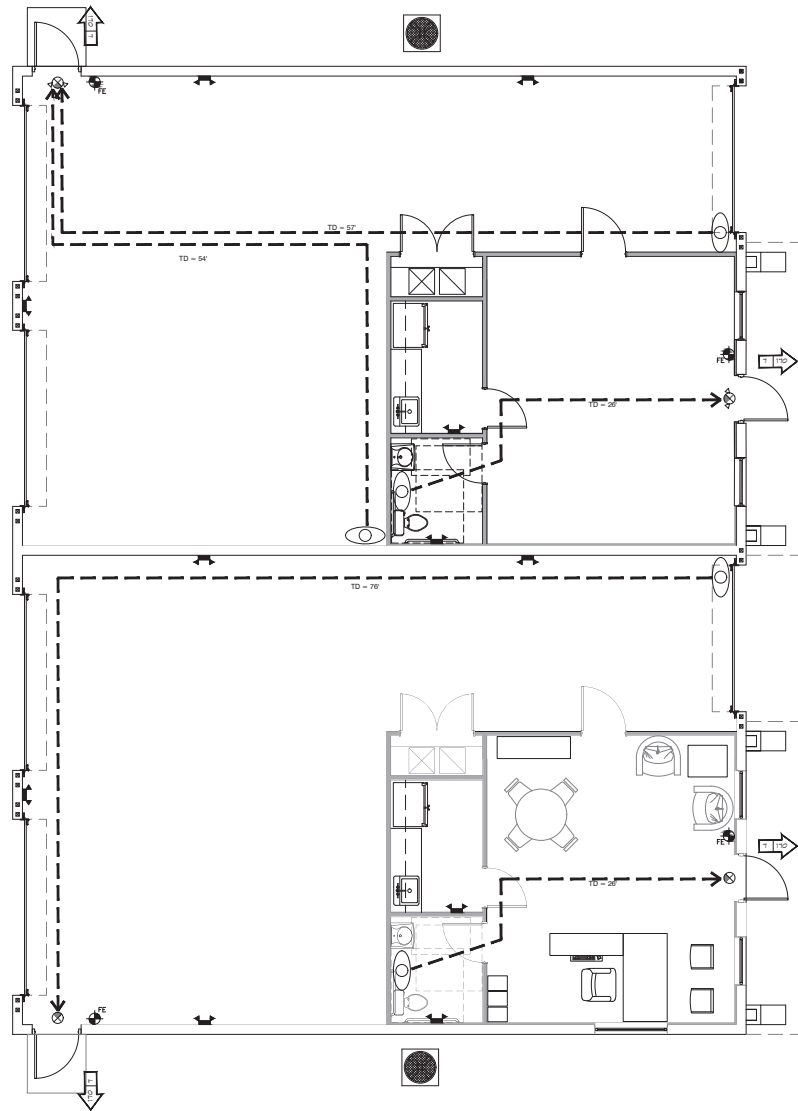
2023 FLORIDA BUILDING CODE, PLUMBING, 8TH EDITION

SECTION 403

FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, SERVICE SINKS SHALL NOT BE REQUIRED.

410.2 SHALL OCCUPANCIES.

DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.

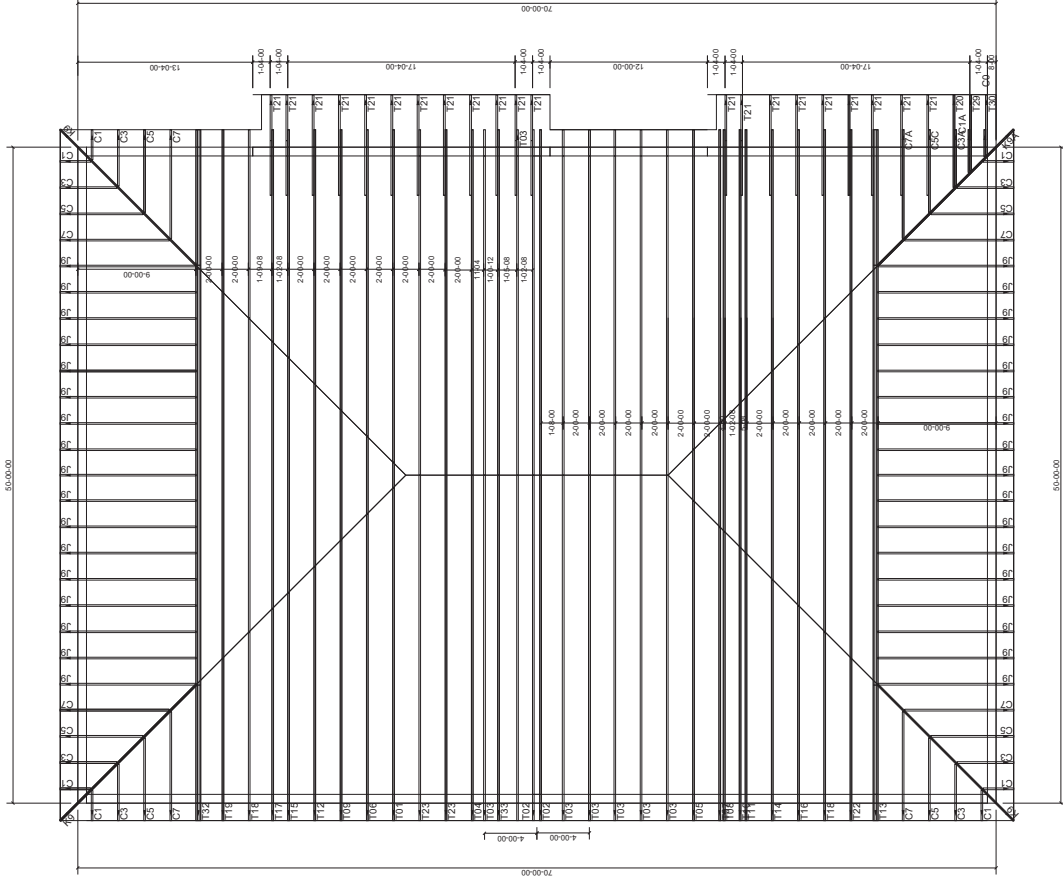


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by project no.
SG 2446
sheet no.

LS100



	Customer Name	Shamrock Construction
	Job Name	Shamrock Office
	Designer	James Pettit
	Job #	240539
		3/28/2024
200 East Main Street Leesburg, FL 34748 Ph: 352-787-5334 Fx: 352-326-2404		

EnergyGaugeSummit® 8.0
INPUT DATA REPORT

Project Information

Project Name: Shamrock

Project Title: Shamrock Construction

Address: Shamrock Construction
TBD S.W. 164th Place Road

State: Florida

Zip: 34475

Owner: Shamrock Construction

Orientation: 0 Deg Clockwise. Walls &

Windows will be rotated

Building Type: Office
accordingly

Building Classification: New Finished building

No.of Stories: 1

GrossArea: 941 SF

Zones

No	Acronym	Description	Type	Area [sf]	Multiplier	Total Area [sf]	
1	Shamrock	Shamrock	CONDITIONED	941.0	1	941.0	<input type="checkbox"/>

Spaces

No	Acronym	Description	Type	Depth [ft]	Width [ft]	Height [ft]	Multi plier	Total Area [sf]	Total Volume [cf]
----	---------	-------------	------	---------------	---------------	----------------	----------------	--------------------	----------------------

In Zone: Shamrock										
1	Office 1	Office 1	Office - Open Plan	20.00	18.00	10.00	1	360.0	3600.0	<input type="checkbox"/>
2	Office 2	Office 2	Office - Open Plan	20.00	18.00	10.00	1	360.0	3600.0	<input type="checkbox"/>
3	Lounge 1	Lounge 1	Food Service - Kitchen	9.50	6.50	10.00	1	61.8	617.5	<input type="checkbox"/>
4	Lounge 2	Lounge 2	Food Service - Kitchen	9.50	6.50	10.00	1	61.8	617.5	<input type="checkbox"/>
5	RR 1	RR 1	Toilet and Washroom	7.50	6.50	10.00	1	48.8	487.5	<input type="checkbox"/>
6	RR 2	RR 2	Toilet and Washroom	7.50	6.50	10.00	1	48.8	487.5	<input type="checkbox"/>

Lighting										
No	Type	Category	No. of Luminaires	Watts per Luminaire	Power [W]	Control Type	No. of Ctrl pts			
In Zone: Shamrock										
In Space: Office 1										
1	LED	General Lighting	1	275	275	Manual On/Off	1			<input type="checkbox"/>
In Space: Office 2										
1	LED	General Lighting	1	175	175	Manual On/Off	1			<input type="checkbox"/>
In Space: Lounge 1										
1	LED	General Lighting	1	60	60	Manual On/Off	1			<input type="checkbox"/>
In Space: Lounge 2										
1	LED	General Lighting	1	60	60	Manual On/Off	1			<input type="checkbox"/>
In Space: RR 1										
1	LED	General Lighting	1	25	25	Manual On/Off	1			<input type="checkbox"/>
In Space: RR 2										
1	LED	General Lighting	1	25	25	Manual On/Off	1			<input type="checkbox"/>

Walls (Walls will be rotated clockwise by building rotation value)											
No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Orientation	Conductance [Btu/hr. sf. F]	Heat Capacity [Btu/sf.F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]

In Zone:		Shamrock										
1	West	8"CMU/3/4"ISO BTWN24"oc/5/8 Gyp	40.00	10.00	1	400.0	West	0.1510	9.696	62.72	6.6	<input type="checkbox"/>
2	North	8"CMU/3/4"ISO BTWN24"oc/5/8 Gyp	24.50	10.00	1	245.0	North	0.1510	9.696	62.72	6.6	<input type="checkbox"/>

Windows (Windows will be rotated clockwise by building rotation value)

No	Description	Orientation	Shaded	U [Btu/hr sf F]	SHGC	Vis.Tra	W [ft]	H (Effec) [ft]	Multi plier	Total Area [sf]	
In Zone:		Shamrock									
In Wall:		North									
1	North	North	No	0.4500	0.25	0.40	5.00	5.00	1	25.0	<input type="checkbox"/>
In Wall:		West									
1	West	West	No	0.4500	0.25	0.40	3.33	5.00	4	66.6	<input type="checkbox"/>

Doors

No	Description	Type	Shaded?	Width [ft]	H (Effec [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Dens. [lb/cf]	Heat Cap. [Btu/sf. F]	R-Value [h.sf.F/Btu]	
In Zone:	Shamrock											
In Wall:	West											
1	West	Polyurethane core (24 ga steel) 2	No	3.00	8.00	2	24.0	0.2410	0.00	0.00	4.15	<input type="checkbox"/>

Roofs

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Tilt [deg]	Cond. [Btu/hr. Sf. F]	Heat Cap [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]	
In Zone:	Shamrock											
1	Office 1	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	18.00	20.00	1	360.0	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>

2	Office 2	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	18.00	20.00	1	360.0	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
3	Lounge 1	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	9.50	1	61.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
4	Lounge 2	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	9.50	1	61.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
5	RR 1	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	7.50	1	48.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>
6	RR 2	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	6.50	7.50	1	48.8	0.00	0.0270	1.50	8.22	37.0	<input type="checkbox"/>

Skylights

No	Description	Type	U [Btu/hr sf F]	SHGC	Vis.Trans	W [ft]	H (Effec) [ft]	Multiplier	Area [Sf]	Total Area [Sf]	
In Zone:											
In Roof:											
<input type="checkbox"/>											

Floors

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Heat Cap. [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]	
In Zone: Shamrock											
1	Office 1	Concrete floor, carpet and rubber pad	18.00	20.00	1	360.0	0.5987	9.33	140.00	1.67	<input type="checkbox"/>

2	Office 2	Concrete floor, carpet and rubber pad	18.00	20.00	1	360.0	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
3	Lounge 1	Concrete floor, carpet and rubber pad	6.50	9.50	1	61.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
4	Lounge 2	Concrete floor, carpet and rubber pad	6.50	9.50	1	61.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
5	RR 1	Concrete floor, carpet and rubber pad	6.50	7.50	1	48.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>
6	RR 2	Concrete floor, carpet and rubber pad	6.50	7.50	1	48.8	0.5987	9.33	140.00	1.67	<input type="checkbox"/>

Systems											
18 K HP Split		18 K HP Split		Constant Volume Air Cooled Split System < 65000 Btu/hr				No. Of Units 2			
Component	Category		Capacity		Efficiency		IPLV				
1	Cooling System		18000.00		21.00		8.00				
2	Heating System		21600.00		10.70						
3	Air Handling System -Supply		600.00		0.32						
4	Air Handling System - Return		600.00		0.32						
5	Air Distribution System (Sup)				6.00						
6	Air Distribution System (Ret)				6.00						

Plant					
Equipment	Category	Size	Inst.No	Eff.	IPLV

Water Heaters					
W-Heater Description	Capacity Cap.Unit	I/P Rt.	Efficiency	Loss	
1 Electric Storage water heater (1 units)	30 [Gal]	13 [kW]	0.9450 [Ef]	%	<input type="checkbox"/>
2 Electric Storage water heater (1 units)	30 [Gal]	13 [kW]	0.9450 [Ef]	%	<input type="checkbox"/>

Ext-Lighting						
Description	Category	No. of Luminaires	Watts per Luminaire	Area/Len/No. of units [sf/ft/No]	Control Type	Wattage [W]
						<input type="checkbox"/>

Piping						
No	Type	Operating Temperature [F]	Insulation Conductivity [Btu-in/h.sf.F]	Nomonal pipe Diameter [in]	Insulation Thickness [in]	Is Runout?
						<input type="checkbox"/>

Fenestration Used					
Name	Glass Type	No. of Panes	Glass Conductance [Btu/h.sf.F]	SHGC	VLT
Double	User Defined	2	0.4500	0.2500	0.4000
					<input type="checkbox"/>

Materials Used									
Mat No	Acronym	Description	Only R-Value Used	RValue [h.sf.F/Btu]	Thickness [ft]	Conductivity [Btu/h.ft.F]	Density [lb/cf]	SpecificHeat [Btu/lb.F]	
151	Matl151	CONC HW, DRD, 140LB, 4IN	No	0.4403	0.3333	0.7570	140.00	0.2000	<input type="checkbox"/>
178	Matl178	CARPET W/RUBBER PAD	Yes	1.2300					<input type="checkbox"/>
287	Matl287	Polyurethane core (24 ga steel) 2	Yes	4.1500					<input type="checkbox"/>

Constructs Used										
No	Name			Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]	
1004	Concrete floor, carpet and rubber pad			No	No	0.60	9.33	140.00	1.7	<input type="checkbox"/>
		Layer	Material No.	Material		Thickness [ft]	Framing Factor			
		1	151	CONC HW, DRD, 140LB, 4IN		0.3333	0.000	<input type="checkbox"/>		
		2	178	CARPET W/RUBBER PAD			0.000	<input type="checkbox"/>		
No	Name			Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]	
1014	8"CMU/3/4"ISO BTWN24"oc/5/8 Gyp			Yes	No	0.15	9.70	62.72	6.6	<input type="checkbox"/>
										<input type="checkbox"/>

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]	
1036	Polyurethane core (24 ga steel) 2	No	Yes	0.24			4.2	<input type="checkbox"/>
	Layer	Material No.	Material	Thickness [ft]	Framing Factor			
	1	287	Polyurethane core (24 ga steel) 2		0.000			<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]	
1038	Shngl/1/2"WD Deck/WD Truss/Spray Foam/Gyp Brd	Yes	No	0.03	1.50	8.22	37.0	<input type="checkbox"/>
								<input type="checkbox"/>

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:

- ### IRRIGATION WATERING RESTRICTIONS, NON-RESIDENTIAL

- NOTE: IRRIGATION OF A NEW LANDSCAPE IS ALLOWED AT ANY TIME OF DAY FOR THE INITIAL THIRTY (30) DAYS, AND EVERY OTHER DAY FOR THE NEXT THIRTY (30) DAYS, FOR A TOTAL OF ONE SIXTY (60) DAY PERIOD.

SYMBOL	MANUFACTURER / MODEL
--------	----------------------

LATERAL ZONE LINE PIPE SIZING DOWNSTREAM OF EACH ZONE VALVE (UNLESS OTHERWISE NOTED ON THESE PLANS)	
THE BELOW GUIDE GIVES A GENERAL OUTLINE FOR LATERAL ZONE LINE PIPE SIZING. SIZING SHOULD BE STARTED FROM THE FURTHEST RIGHT EXTREMITY OF EACH ZONE AND WORKED BACK TO EACH ZONE VALVE. CARE SHOULD BE TAKEN TO TOTAL EACH INTERSECTION OF LATERAL ZONE LINE TO KEEP AN ACCURATE ACCOUNT OF GPM ALL THE WAY BACK TO THE GPM FOR EACH ZONE IS QUOTED AT EACH VALVE CALCULATED ON THE PLANS.	
GALLONS PER MINUTE (GPM)	APPROXIMATE PIPE SIZE
0-10 GPM	3/8" PVC
11-16 GPM	1" PVC
17-25 GPM	1 1/4" PVC
26-35 GPM	1 1/2" PVC
36-55 GPM	2" PVC
56-85 GPM	2 1/2" PVC
86-120 GPM	3" PVC
121-220 GPM	4" PVC

NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS.

THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPURTENANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.

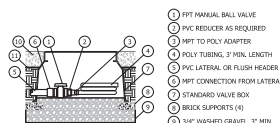
ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES.

PRESSURE LOSS NOT TO EXCEED 5 PSI

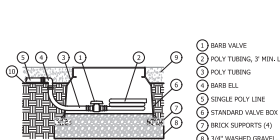
Flow GPM	1" Globe	1½" Globe	2" Globe
1	1.1		
5	1.9		
10	1.9		
15	1.6		
20	3.3		
30	9.1	3	1
35	16	3	1
40	20	3	2
50		4	1
60		5	2
80		5.5	3
100		9	5
120		11.5	6
135			8
150			10

Diagram of a valve symbol with labels: VALVE NUMBER, VALVE FLOW (GPM), and VALVE SIZE (IN).

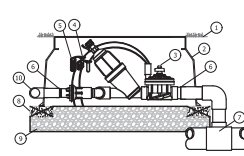
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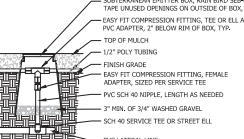
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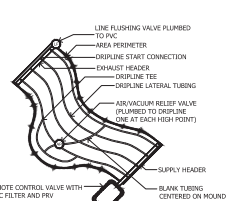
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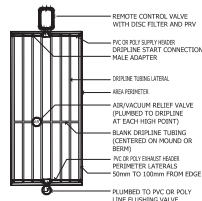
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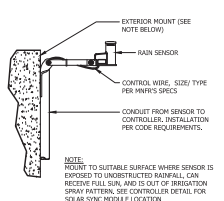
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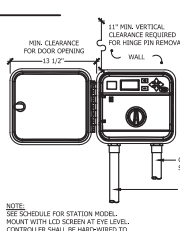
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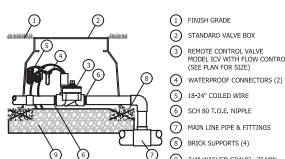
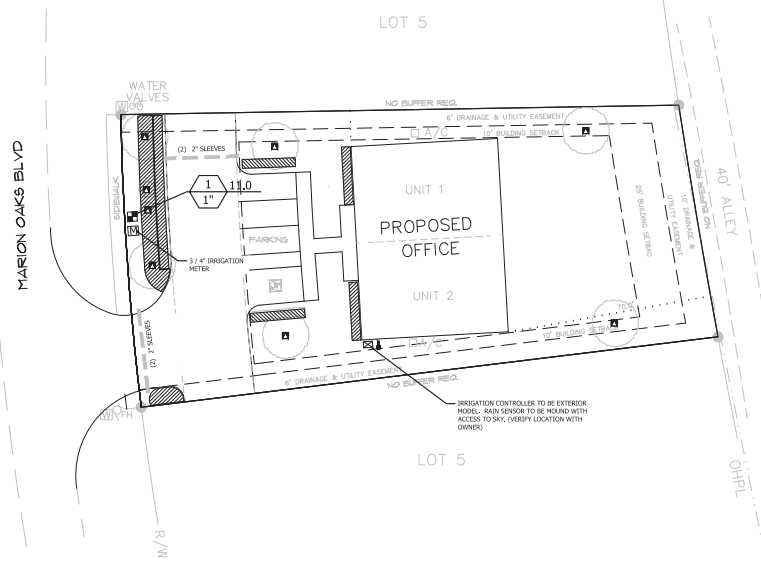
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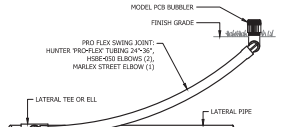
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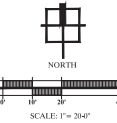
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Shamrock Construction Office

MINOR SITE PLAN

IRRIGATION PLAN



DATE: 07-16-24
PROJECT NO.: SHA024-02.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

SHEET NO.
IR.01

2025-04-14 14:39

ABBREY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
MULCH		Hardwood Mulch	Min. 3" Thick Layer
500	Paspalum Notatum 'Argentine'	Argentine Bahia	

SHEET NO.
L.01



DESCRIPTION:

LOT 6, BLOCK '248' MARION OAKS UNIT ONE,
ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT
BOOK 0, PAGE 001, OF THE PUBLIC RECORDS OF MARION COUNTY,
FLORIDA.

SURVEY REPORT

LEGEND:

- A/C AIR CONDITIONER
- B.F. BOARD FENCE
- C/L CENTER LINE
- C.L.F. CHAIN LINK FENCE
- CONC. CONCRETE
- D. CENTRAL ANGLE
- F.C. FENCE CORNER
- M.E.A. MARION ENGINEERING & ASSOC.
- M.E.C. MOORHEAD ENGINEERING CO.
- N.P. NOT PERMANENT
- O.R. OFFICIAL RECORDS (BOOK & PAGE)
- P.C.P. PERMANENT CONTROL POINT
- P.O.B. POINT-OF-BEGINNING
- P.O.C. POINT-OF-COMMENCEMENT
- PP. POWER POLE
- P.R.M. PERMANENT REFERENCE MONUMENT
- R. RADIUS
- R/W RIGHT-OF-WAY
- SAT. SATELLITE
- (D) DESCRIPTION
- (F) FIELD MEASURED
- (PP) POWER POLE
- (R) RADIAL
- OHPL. OVERHEAD POWER LINE
- V.F. VINYL/PVC FENCE
- W.F. WIRE FENCE
- 4"X4" CONCRETE MONUMENT
- IRON ROD
- NAL & DISK
- BREAK IN LINE
- FIRE HYDRANT
- TELEPHONE BOX
- WM WATER METER BOX
- X/MR. UTILITY TRANSFORMER BOX
- INDICATOR OF PROPOSED DRAINAGE FLOW

NOTES:

1. THIS SURVEY IS BASED ON THE PROPERTY DESCRIPTION PROVIDED BY THE CLIENT.
2. ASSUMED NORTH IS BASED ON THE BEARING FOR THE LINE SHOWN WITH (**).
3. UNDERGROUND ENCROACHMENTS WERE NOT LOCATED UNLESS OTHERWISE SHOWN.
4. THE LOCATIONS OF ANY EASEMENTS, OR RIGHTS-OF-WAY OF RECORD, OTHER THAN THOSE SHOWN ON RECORDED PLATS ARE NOT SHOWN.
5. ALL STREETS OR STREET RIGHTS-OF-WAY SHOWN ARE PHYSICALLY OPEN UNLESS OTHERWISE SHOWN.
6. ALL DISTANCES ARE EITHER DEED OR PLAT UNLESS OTHERWISE SHOWN.
7. ALL IMPROVEMENTS SHOWN WITHIN THE BOUNDARIES OF THE PARCEL DESCRIBED ARE PROPOSED ONLY.
8. PROPOSED USE WILL NOT REQUIRE INDUSTRIAL PRE-TREATMENT OR GREASE TRAPS.

FLOOD STATEMENT:

THE PROPERTY SHOWN HEREON LIES WITHIN
"ZONE X" AS PER THE FLOOD INSURANCE RATE
MAP COMMUNITY-PANEL NUMBER: 12083 C
0220D EFFECTIVE ON AUGUST 28, 2008.
NO WETLAND IDENTIFIED ON PARCEL.

SITE DETAILS:

ZONING CLASSIFICATION: B2 (COMMUNITY BUSINESS)
LAND USE: COMMERCIAL (COM)
LAND AREA: 17,508 SQFT. (0.40± ACRES)
PROPOSED IMPERVIOUS: 5,395 (31.7%)
(BUILDING PORTION OF TOTAL LAND AREA: 18.8%)
PARKING SPACES: 4 (3 STD. & 1 ACCESSIBLE)

SITE AND ELEVATION NOTES:

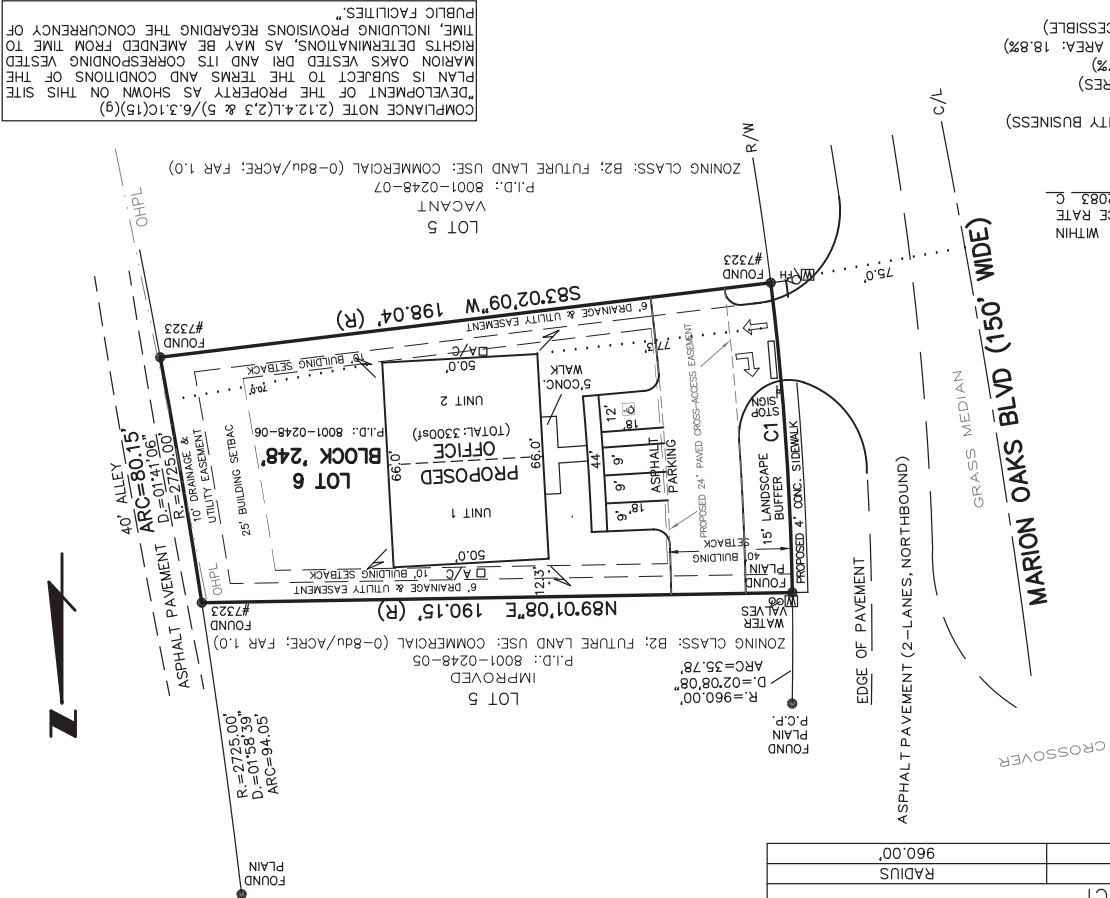
PARCEL TO BE SERVICED BY CENTRAL WATER AND SEWER SYSTEM. (WATER WILL BE PROVIDED BY MCU)
ALL IMPROVEMENTS SHOWN WITHIN THE BOUNDARIES OF THE PARCEL DESCRIBED ARE PROPOSED ONLY.
ALL ELEVATIONS ARE FIELD MEASURED (*) EXCEPT AS SHOWN TO BE PROPOSED AND BASED ON COUNTY-PROVIDED DRAINAGE PLAN (LGP). EL = ELEVATION AT POINT SHOWN (IN FEET)
ELEVATION MEASUREMENTS ACQUIRED USING TOPCON HIPER-SR ANTENNA, CORRECTED WITH DATA FROM F.D.O.T. F.P.R.N. REFERENCE STATION "OCLA".
DATUM: NAVD-88; STATE PLANE COORDINATE ZONE: WEST (0902).
SEPTIC SYSTEM IDENTIFIED AS A.N.R. IS AEROBIC NITROGEN REDUCTION SYSTEM. (AVAILABILITY OF GRAVITY SEWER EXISTS ALONG ALLEY ROAD).
PARCEL LIES IN SECONDARY SPRINGS PROTECTION ZONE.

MINOR SITE PLAN

SHAMROCK CONSTRUCTION COMMERCIAL OFFICE
TBD MARION OAKS BLVD., MARION COUNTY, OCALA, FL
BOUNDARY SURVEY DATE: APRIL 16, 2021
SITE PLAN: JULY 2, 2024
SITE PLAN REVISION: SEPTEMBER 22, 2024
ADD CROSS-ACCESS, MOVE BUILDING FOOTPRINT, REMOVE WAIVER REQUEST, COMPLETE
LANDSCAPE AREA: FEBRUARY 2, 2025
ADDRESS COUNTY COMMENTS FROM 3/25/25: APRIL 22, 2025

ANDREW W. CARBAUGH, LICENSE NUMBER 6787
BOARD CERTIFIED SURVEYOR AND MAPPER
STATE OF FLORIDA

CURVE DATE - C1		
ARC LENGTH	100.00'	
DELTA ANGLE	05°58'06"	
RADIUS	960.00'	



COMPLIANCE NOTE (2.12.4(L)(2)(J & 5)/6.3.1(C)(15)(g)
"DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE
PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE
MARION OAKS VESTED DRI AND ITS CORRESPONDING VESTED
RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO
TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCE OF
PUBLIC FACILITIES."

SITE
PLAN

CERTIFIED TO:

SHAMROCK CONSTRUCTION, INC.
crystal@shamrockconstruction.com
321.299.2602

C & A SURVEY, INC.
CERTIFICATE OF AUTHORIZATION NO. LB #7872
3106 E. FORT KING STREET OCALA, FLORIDA 34470
352.694.6566 CandAsurvey.com

SCALE: 1"=40'
F.B.: 472 PG.: 15
FILE: 1240575

ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR SURVEY REPORT ARE PROHIBITED.
THIS SURVEY MAP AND REPORT, OR COPIES THEREOF, ARE NOT VALID WITHOUT THE
ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. NO
ONE OTHER THAN THE PARTY OR PARTIES NAMED HEREON SHALL RELY ON THIS SURVEY.