

June 1, 2023

PROJECT NAME: FLOOR & DECOR - SUMMERFIELD

PROJECT #2023020085

APPLICATION: MAJOR SITE PLAN #29780

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 3/20/23 - add waivers if requested in the future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

29780

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 02/15/2023

A. PROJECT INFORMATION:

Project Name: Floor & Decor - Summerfield

Parcel Number(s): 6200-100-402

Section 33 Township 17S Range 23E Land Use Retail Zoning Classification PUD - Commercial

Commercial ☒ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☐ Other ☐

Type of Plan: MAJOR SITE PLAN

Property Acreage 7.35 Number of Lots 1 Miles of Roads n/a

Location of Property with Crossroads approx 700' NW of the intersection of SE 109th Terrace Rd. & SE 172 Rd.

Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

☒ Engineer:

Firm Name: Thomas Engineering Group Contact Name: Edward McDonald

Mailing Address: 1502 W Flecher Ave, Suite 101 City: Tampa State: FL Zip Code: 33612

Phone # 813-379-4100 Alternate Phone # _____

Email(s) for contact via ePlans: jburroughs@thomaseg.com, Emcdonald@thomaseg.com

☐ Surveyor:

Firm Name: EBI Surveying Contact Name: Thomas Serbu

Mailing Address: 8415 Sunstate Street City: Tampa State: FL Zip Code: 33634

Phone # 813-886-6080 Alternate Phone # _____

Email(s) for contact via ePlans: thomas@ebisurveying.com

Property Owner:

Owner: Butters Real Estate Fund VII LLLP, et al Contact Name: Malcom Butters

Mailing Address: 68201 Lyons Technology Cir. Ste 100 City: Coconut Creek State: FL Zip Code: 33073

Phone # _____ Alternate Phone # _____

Email address: _____

Developer:

Developer: Floor and Decor Outlets of America, INC Contact Name: Brandy Crawford

Mailing Address: 2500 Windy Ridge Pkwy SE City: Atlanta State: GA Zip Code: 30339

Phone # 404-556-8077 Alternate Phone # _____

Email address: brandy.crawford@flooranddecor.com

Revised 6/2021

GENERAL NOTES

- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND THE ENGINEER. THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE THAT AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER AND ENGINEER IMMEDIATELY.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE MARION COUNTY UTILITIES AND ONE CALL SYSTEM AT 811 AND COORDINATING FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING AND UTILITY WORK. COORDINATE EXACT LOCATIONS AND ENTRY POINTS INTO BUILDING WITH ARCHITECTURAL AND MEP PLANS.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND THESE PLANS.
- THE CONTRACTOR SHALL PRESERVE ALL SURVEY CONTROL.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL WORK SHALL CONFORM TO APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
- ALL ESTIMATES OF QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR / SUBCONTRACTOR WHO SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND PROVIDING THE WORK AND MATERIALS AS SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL, ALL SITE VISITORS, AND THE GENERAL PUBLIC WHO MAY BE AFFECTED BY THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING IMPROVEMENTS AND LANDSCAPING CAUSED BY CONSTRUCTION ACTIVITIES, TO EQUAL OR BETTER CONDITIONS.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS RESULTING FROM WORK UNDER THIS CONTRACT TO AN APPROVED DUMP SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER AND ENGINEER WITH A MARKED SET OF CONSTRUCTION DRAWINGS SHOWING ALL CHANGES MADE DURING CONSTRUCTION.
- EXCEPT WHERE OTHERWISE PROVIDED FOR IN THESE PLANS AND ASSOCIATED PROJECT MANUAL, FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND SPECIFICATIONS AND THE MARION COUNTY RULES & REGULATIONS, LATEST EDITIONS, SHALL APPLY TO CIVIL WORK.
- EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF CURB LINE IN CURBED AREA, EXTERIOR FACE OF BUILDING AND TO CENTERLINE OF UTILITIES, UNLESS OTHERWISE SPECIFIED.
- USE THE DIMENSIONS THAT ARE GIVEN, DO NOT SCALE DRAWINGS. INFORM ENGINEER OF ALL DISCREPANCIES AND MISSING INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ADJACENT PARCELS DURING ALL HOURS OF OPERATION FOR THE BUSINESSES LOCATED ON THOSE PARCELS.
- CONTRACTOR TO OBTAIN TEMPORARY POWER, TELEPHONE AND WATER FOR THE SITE AS NEEDED.
- CONTRACTOR TO REFER TO DRAWINGS ISSUED BY THE ARCHITECT TO ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS. NOTIFY ARCHITECT OF ALL DISCREPANCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD, TECHNIQUES OR PROCEDURES FOR THE WORK DEPICTED ON THESE PLANS AND ANY SCOPE REVISIONS THAT RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS/METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY OWNER AND ENGINEER IF A DISCREPANCY IS FOUND.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF COUNTY ENGINEER.
- DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE STONECREST DEVELOPMENT OF REGIONAL IMPACT (DRI) DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES, AND THE ALLOCATION OF USES AS SPECIFIED IN THE STONECREST DRI BUILT-OUT AGREEMENT RECORDED AT OR BOOKPAGE: 65961134-150."

SPRING PROTECTION ZONE:

PROJECT IS LOCATED IN A SECONDARY SPRINGS PROTECTION ZONE

FEMA MAP INFORMATION:

THE PROPERTY SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 120105, PANEL NUMBER 0605, SUFFIX D, EFFECTIVE AUGUST 28, 2009, FOR MARION COUNTY, FLORIDA.

BATUM NOTE:

BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983. ADJUSTMENT OF 2011 FLORIDA WEST ZONE RESULTING IN A BEARING OF 54°13'38"W ALONG THE SOUTHEAST LINE OF THE SUBJECT PARCEL.

BENCHMARK:

CONTROL BENCHMARK: STATION IS A NAIL ENCASED ROD (P.O. 025998). THE MARK IS ABOUT 17.0 MILES SOUTHWEST OF SILVER SPRINGS, 5.0 MILES SOUTHWEST OF OLANAKA, 3.2 MILES WEST OF WERDLE, IN SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST, E. 16.97' (NAV08).

TBM #1: STATION IS A NAIL AND DISK STAMPED "18-7652" LOCATED 66.00' SOUTHWEST OF THE WESTERMOST CORNER OF SUBJECT PARCEL, (E. 100.92' (NAV08)).

TBM #2: STATION IS A NAIL AND DISK STAMPED "18-7652" LOCATED 276.1' NORTHEAST OF THE WESTERMOST CORNER OF SUBJECT PARCEL, (E. 130.15' (NAV08)).

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

SIGNATURE _____ DATE _____

PRINT NAME _____ TITLE _____

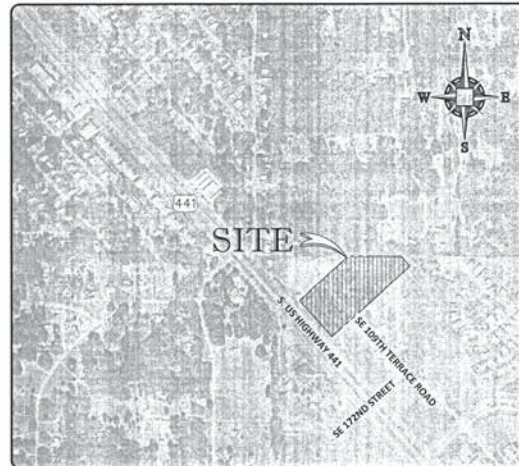
LICENSED DESIGN PROFESSIONAL CERTIFICATION:

I, ENGINEER PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

SIGNATURE _____ DATE _____

PRINT NAME _____ TITLE _____

MAJOR SITE PLAN CIVIL CONSTRUCTION PLANS FOR FLOOR & DECOR - LADY LAKES US 441 & 109TH TERRACE ROAD SUMMERFIELD, FLORIDA, 34491 SECTION 35, TOWNSHIP 17 S, RANGE 23 E MARION COUNTY



VICINITY MAP
SCALE: 1"=250'

PROJECT TEAM

APPLICANT FLOOR & DECOR OUTLETS OF AMERICA, INC. 2000 WINDY RIDGE PARKWAY, SE ATLANTA, GA 30339	LANDSCAPE ARCHITECT THOMAS ENGINEERING GROUP 8300 NW 31st AVE. FT. LAUDERDALE, FLORIDA 33309 MICHAEL GROSSWORTH, P.L.S., A.S.L.A., I.S.A. 954.202.7000
ARCHITECT SBLM ARCHITECTS 33 WALT WHITMAN RD SUITE 300A HUNTINGTON STATION, NY 11748 PH: 631.682.5588 CONTACT: OMARI LATMORE	PHOTOMETRICISTS C.E.D. NATIONAL ACCOUNTS 3209 ALTA MERE DR FORT WORTH, TX - 76115 SHAWN CAMPBELL 678.215.3065
CIVIL ENGINEER THOMAS ENGINEERING GROUP 1502 W. FLETCHER AVE. SUITE 101 TAMPA, FLORIDA 33612 EDWARD M. McDONALD, P.E. 813.379.4100	GEOTECHNICAL ENGINEERING INTERTEK PROFESSIONAL SERVICE INDUSTRIES, INC. 1748 33RD STREET ORLANDO, FL 32839 MAX S. MCGAGHAN, P.E. 407.304.5550
SURVEYOR EBI SURVEYING 8415 SUNSTATE STREET TAMPA, FL 33634 THOMAS P. BERBIL, P.S.M. 813.886.6262	

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LEGAL DESCRIPTION

LOT 2, STONECREST CENTER PHASE IV, PARTIAL REPLAT II ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, PAGE 115 OF THE PUBLIC RECORDS OF MARION COUNTY.

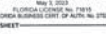
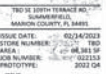
SITE AREA DATA:

TOTAL SITE AREA:	7.35 AC OR (320,300.41 SF)
ON-SITE AREA BREAKDOWN:	EXISTING: 11,537 SF (0.26 AC) IMPERVIOUS AREA: 106,194 SF (2.42 AC) 90.37% BUILDING AREA: 3209 ALTA MERE DR PROPOSED: 84,398 SF (1.93 AC) 20.00% PERVIOUS AREA AREA: 111,473 SF (2.56 AC) 4.47% SIDEWALK/CURB/ETC: 14,326 SF (0.33 AC) 1.97%
PERVIOUS AREA:	303,289 SF (6.93 AC) 130,181 SF (2.98 AC) 45.52%
OFF-SITE AREA - STORMWATER CONVEYANCE ON OR THROUGH SITE:	
OFF-SITE AREA BREAKDOWN:	EXISTING: 6,032 SF (0.14 AC) IMPERVIOUS AREA: 3.46 (AC)
PERVIOUS AREA:	3.46 (AC)
OFF-SITE IMPERVIOUS ASSUMES THAT LOTS 3, 4, AND 5 (PARCEL ID: 6200-100-40R, 6200-100-40S, AND 6200-100-40T) WILL BE BUILT TO 80% IMPERVIOUS AND BUILD 3 SIDEWALK WITHIN THE SOUTH BE 10TH TERRACE ROAD ROW AND WITHIN TRACT C.	

CAUTION - NOTICE TO CONTRACTOR

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.



COVER SHEET

C-1.0

POLLUTION PREVENTION NOTES:

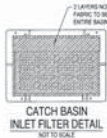
1. EROSION AND SEDIMENT CONTROL MEASURES IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING INTO ADJACENT PROPERTIES OR ROADWAYS. OFF SITE EROSION CONTROL MEASURES ON RECEIVING WATERWAYS OR ON SITE RETENTION AND SURFACE WATERWAYS SHALL BE DEVELOPED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO PREVENT COMPLIANCE.
2. OFF SITE SURFACE WATER DISCHARGES OR DISCHARGES TO EXISTING WATERWAYS OR SURFACE WATERS IN EXCESS OF 20 GALLONS PER MINUTE (GPM) SHALL BE IMMEDIATELY REPORTED TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND THE FLORIDA DEPARTMENT OF AGRICULTURE AND FORESTRY (FDACS). THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTION TAKEN.
3. THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND BLOWN, OR EMISSIONS OF UNDESIRABLE PARTICULATE MATTER IN ACCORDANCE WITH RULE 62.001, F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
4. FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 20 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER FUEL AND OTHER PETROLEUM PRODUCT SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
5. IF CONTAMINATED SOIL AND/OR UNDERGROUND IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
6. PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.

MAINTENANCE NOTES:

1. N.P.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY AN INSPECTOR QUALIFIED INSPECTOR AND RECORDING INSPECTIONS EVERY 14 DAYS OF ANY REMEDIATION OF THE SITE. EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.
2. THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUSCLET FENCES (ONTO EXISTING FOOT ROADS FROM THE SITE DUE TO CONSTRUCTION) SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR.
3. CATCH BASIN INLET AND CONCRETE PUMP FILTER SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLE OR IS DAMAGED WITHIN 24 HOURS, THE FILTER SHALL BE REPLACED.
4. CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED AS NECESSARY. REPAIRS/REPLACEMENTS AS NECESSARY. LATER FILL WITH BRICKS/STONES/ROCKS. A NEW LAYER WILL BE ADDED IF 3-4 LAYERS BECOME COMPACTED.
5. SILT FENCE IS TO BE INSPECTED BY THE CONTRACTOR AND EVERY 7 CALENDAR DAYS BY AN INSPECTOR QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHALL BE MAINTAINED AS NECESSARY. REPAIRS/REPLACEMENTS AS NECESSARY. LATER FILL WITH BRICKS/STONES/ROCKS. A NEW LAYER WILL BE ADDED IF 3-4 LAYERS BECOME COMPACTED.
6. INSPECTIONS AND RECORDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
7. REMOVE ANY VISIBLE SEDIMENT FROM THE POND BOTTOM TO KEEP THE POND DESIGNED INFILTRATION PERFORMANCE.
8. THE CONTRACTOR SHALL CONTRACTUALLY INSURE THAT THE PERFORMANCE OF THE SITE, INCLUDING CONSTRUCTION, REMAINS AS DESIGNED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RUNOFF. A SILENT LOG SHALL BE MAINTAINED AND UPDATED DURING THE CONSTRUCTION PERIOD. BY RECORDING DOCUMENTS CONTRACTOR ACKNOWLEDGES RESPONSIBILITY AS AWARE OF NOTES, GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSURES SILENT RESPONSIBILITY FOR THEM IMPROVED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

FEMA MAP INFORMATION:

THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 120160, PANEL NUMBER 0004, SURF D, EFFECTIVE AUGUST 28, 2008, FOR MARION COUNTY, FLORIDA.



CATCH BASIN INLET FILTER DETAIL
NOT TO SCALE

PROVIDE DOUBLE LAYER FILTER FABRIC CATCH BASIN PROTECTION
(SEE DETAIL THIS SHEET)

PROVIDE DOUBLE LAYER FILTER FABRIC CATCH BASIN PROTECTION
(SEE DETAIL THIS SHEET)

CONSTRUCTION ENTRANCE DEVELOP TEMPORARY SOIL TRACKING PREVENTION MAT
(SEE DETAIL THIS SHEET)



SOIL TRACKING PREVENTION MAT DETAIL
NOT TO SCALE

CAUTION - NOTICE TO CONTRACTOR

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND/OR ELEVATION OF ALL UTILITIES AT THE PROJECT SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

PROPOSED FLOOR & DECOR

64,361 SF FFE = 103.50 N.A.V.D.

PROVIDE DOUBLE LAYER FILTER FABRIC CATCH BASIN PROTECTION
(SEE DETAIL THIS SHEET)

TEMPORARY EROSION CONTROL 32.100 LF SILT FENCE (TYP)
(SEE DETAIL THIS SHEET)



DATUM NOTE:

BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011, FLORIDA WEST ZONE, RESULTING IN A BEARING OF 54°13'18" W ALONG THE SOUTHEAST LINE OF THE SUBJECT PARCEL.

CONTROL BENCHMARK: STATION IS A NGS FLANGE ENCASED ROD (P.D. 009598). THE MARK IS ABOUT 13.0 MILES SOUTHEAST OF SILVER SPRING, 0.8 MILES SOUTHWEST OF OKLAHOMA, 3.2 MILES WEST OF WILBURDALE, IN SECTION 26, TOWNSHIP 37 SOUTH, RANGE 23 EAST, EL: 63.37' (NAVD83).

TRM #1: STATION IS A NAIL AND DISK STAMPED "TRM 1B-763" LOCATED 66.00' SOUTHWEST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. EL: 130.60' (NAVD83).

TRM #2: STATION IS A NAIL AND DISK STAMPED "TRM 1B-763" LOCATED 276.1' NORTHEAST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. EL: 130.13' (NAVD83).

LEGEND:

- PROPERTY LINE
- EXISTING CATCH BASIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SILT FENCE / CONSTRUCTION FENCE
- PROPOSED TREE PROTECTION FENCE
- PROPOSED ALLEY / STRUCTURE PROTECTION
- PROPOSED STORM SEWER
- PROPOSED ROOF DRAIN
- SOIL TRACKING PREVENTION MAT
- FLOW ARROW

NOTE TO SILT FENCE INSTALLERS:

TO FACILITATE "EFFECTIVE" PRESERVATION OF TREES (THOSE WITH DRIP LINES DEPICTED ON PLAN) SILT FENCE SHALL NOT BE TRENCHED IN WITHIN DRIP LINES OF TREES WHERE AVAILABLE. IF UNAVOIDABLE THEN EITHER INSTALL SILT FENCE AT GRADE (NO TRENCHING) OR USE HAY BALES IN THESE LOCATIONS.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT RELIABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DISTRICTS AND SHORES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT SHALL NOT PERMIT SILT TO LEAVE THE PROJECT COMPLETION OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL EROSION CONTROL DEVICES, PILES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT ALL TIMES.
5. WHEN BALE SHALL BE USED OVER THE DRAINAGE AREA TO THAT THE BALE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE SILT STRUCTURE. SUFFICIENT CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS SHALL BE USED, IF MORE THAN ONE STRIP OF BALE IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
6. FOOTING 1/2" COVERED AGGREGATE SHALL BE PLACED OVER THE BALE MESH AS INDICATED ON-DRAW. THE DRAIN OF THE BALE SHALL BE AT LEAST 12 INCHES OVER THE EXISTING INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 6 INCHES ON ALL SIDES.
7. IF THE STONE FILL BECOMES CLOUSED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
8. BALES SHALL BE EITHER WIRE BOUND OR STRUNG TOGETHER WITH THE BROWNS ORIENTED AROUND THE INSIDE RATHER THAN OVER AND UNDER THE BALES.
9. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
10. THE FILTER BARRIER SHALL BE EXTENDED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. AFTER THE BALES ARE STABLE, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED TO ORIGINAL GRADE.
11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STRIPS OR REBAR DRIVEN THROUGH THE BALE.
12. LOCATE OTHER BALE BARRIERS TO PREVENT FLOW FROM EXISTING BARRIERS.
13. STRAIN BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
14. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RAILS AND UNDERCUTTING BENEATH BALES.
15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
16. ANY REMOVED DEBRIS OR BARRIERS IN PLACE AFTER THE STRAIN BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
17. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
18. SHOULD THE FABRIC OR SILT FENCE OR FILTER BARRIER DISAPPEAR OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED LEASE OR USE OF THE BARRIER, THE FABRIC SHALL BE REPLACED.
19. REMOVED DEBRIS OR BARRIERS IN PLACE AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEBRIS IS READY APPROXIMATELY ONE (1) HOURS THE HEIGHT OF THE BARRIER.
20. ANY REMOVED DEBRIS OR BARRIERS IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
21. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS MADE AS NECESSARY.
22. SEDIMENT SHALL BE REMOVED AND THE TRENCH RESTORED TO ITS ORIGINAL DRAINAGE WHEN THE SEDIMENT HAS ACCUMULATED TO THE DESIGN DEPTH OF THE TRENCH. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
23. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLAN, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT OPERATIONS AND LITERATURE.
24. FOR ADDITIONAL INFORMATION ON EROSION AND SEDIMENT CONTROL, REFER TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION, OR THE FLORIDA DEPARTMENT OF AGRICULTURE AND FORESTRY.
25. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WEAVING AREAS WHERE THERE IS POTENTIAL FOR CONCENTRATED WATER QUALITY DEGRADATION. ALL DISTURBED AREAS IN THE FOOT PRINT OF WAY SHALL BE SEED.
26. ALL DISTURBED AREAS SHALL BE GRASS, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED. ALL DISTURBED AREAS IN THE FOOT PRINT OF WAY SHALL BE SEED.
27. SOIL SHALL BE PLACED IN AREAS WHICH MAY REQUIRE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
28. ANY DISCHARGE FROM CONSTRUCTION ACTIVITY SHALL BE A TRENCH AND CONVEYED TO THE DUTTY HILL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING DUTTY HILL.
29. OPERATING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A COMPENSATORY USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
30. ALL DISTURBED AREAS TO BE STABILIZED THROUGH CONSTRUCTION, SILT BARRIERS, BALES, AND GRASSING. ALL FULL BLOWS 1' OR GREATER TO RECEIVE STATED SOIL LOSS.
31. ALL DISTURBED AREAS SHALL BE STABILIZED TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
32. THE PLAN INDICATES THE EROSION PROTECTION AND SEDIMENT BARRIERS REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY STANDARDS AND MAY NEED TO IN ALL ADDITIONAL CONSTRUCTION.
33. THE CONTRACTOR SHALL BE REQUIRED TO REPORT TO ALL WATER MANAGEMENT DISTRICT INSPECTION, RELATIVE TO COMPLIANCE OF SURVIVAL FOR EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.

FLOOR & DECOR
2300 WINDY RIDGE
HAWAII, HI 96709
PROJECT MANAGER
FLOOR & DECOR - SUBMITTED
APPLICATION FOR THE 2024 PLAN
FLOOR & DECOR - SUBMITTED

SBLM
33 West Midway Road
Suite 200
Hawthorne Station, NY 11748
Telephone: 631-883-5088
Fax: 631-883-5091

Y. SCHWAB & ASSOCIATES
1000 CENTRAL EXPRESSWAY
SUITE 200, TAMPA, FL 33601
PH: 813-281-1000
FAX: 813-281-1001

CCI
CONSTRUCTION CONSULTING INC.
1000 CENTRAL EXPRESSWAY
SUITE 200, TAMPA, FL 33601
PH: 813-281-1000
FAX: 813-281-1001

THOMAS
THOMAS ENGINEERING GROUP
1000 W. KATHLEEN AVE., SUITE 100
TAMPA, FL 33613
PH: 813-281-1000
FAX: 813-281-1001

PROJECT

FLOOR & DECOR
LADY LAKE, FL

1000 CENTRAL EXPRESSWAY
SUITE 200, TAMPA, FL 33601
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FAX: 813-281-1001

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EROSION CONTROL PLAN

C-2.1



FLOOR & DECOR
 2100 WINDY RIDGE
 PARKWAY SE
 ATLANTA, GA 30339
 PROJECT NAME:
 FLOOR & DECOR - SUMMERFIELD
 APPLICATION TYPE: MAJOR SITE PLAN
 PARCEL ID: 0200 020 002

SBLM
 S.B.M. WILKINSON & ASSOCIATES
 33 West Wilshire Road
 Suite 300A
 Huntington Station, NY 11746
 Telephone: 516 523 5068
 Fax: 516 523 5067

J. J. KIRWAN & ASSOCIATES
 10000 CENTRAL AVENUE
 WEST PALM BEACH, FL 33411
 Telephone: 561 833 1111
 Fax: 561 833 1111

cdi
 CONSULTING DESIGN INCORPORATED
 10000 CENTRAL AVENUE
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THOMAS
 THOMAS ENGINEERING GROUP
 1102 W. FULTON AVE., SUITE 100
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 (813) 276-4000

THOMAS
 THOMAS ENGINEERING GROUP
 1102 W. FULTON AVE., SUITE 100
 TAMPA, FL 33610
 (813) 276-4000

PROJECT:

FLOOR & DECOR
 LADY LAKE, FL

10016 LADY LAKE RD. N.W.
 SUMMERFIELD
 MARION COUNTY, FL 32081
 ISSUE DATE: 08/04/2013
 STUDY NUMBER: 1780
 AREA: 64,561 SF
 JOB NUMBER: 1780-02215
 PROJECT: 2013 GA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/04/2013
2	REVISION	
3		
4		
5		
6		
7		
8		
9		
10		



EDWARD M. McDONALD, P.E.
 FLORIDA LICENSE NO. 71815
 LADY LAKE, FL 32081
 SHEET

OVERALL
 SITE PLAN

C-2.2

ADA ACCESSIBILITY NOTES:

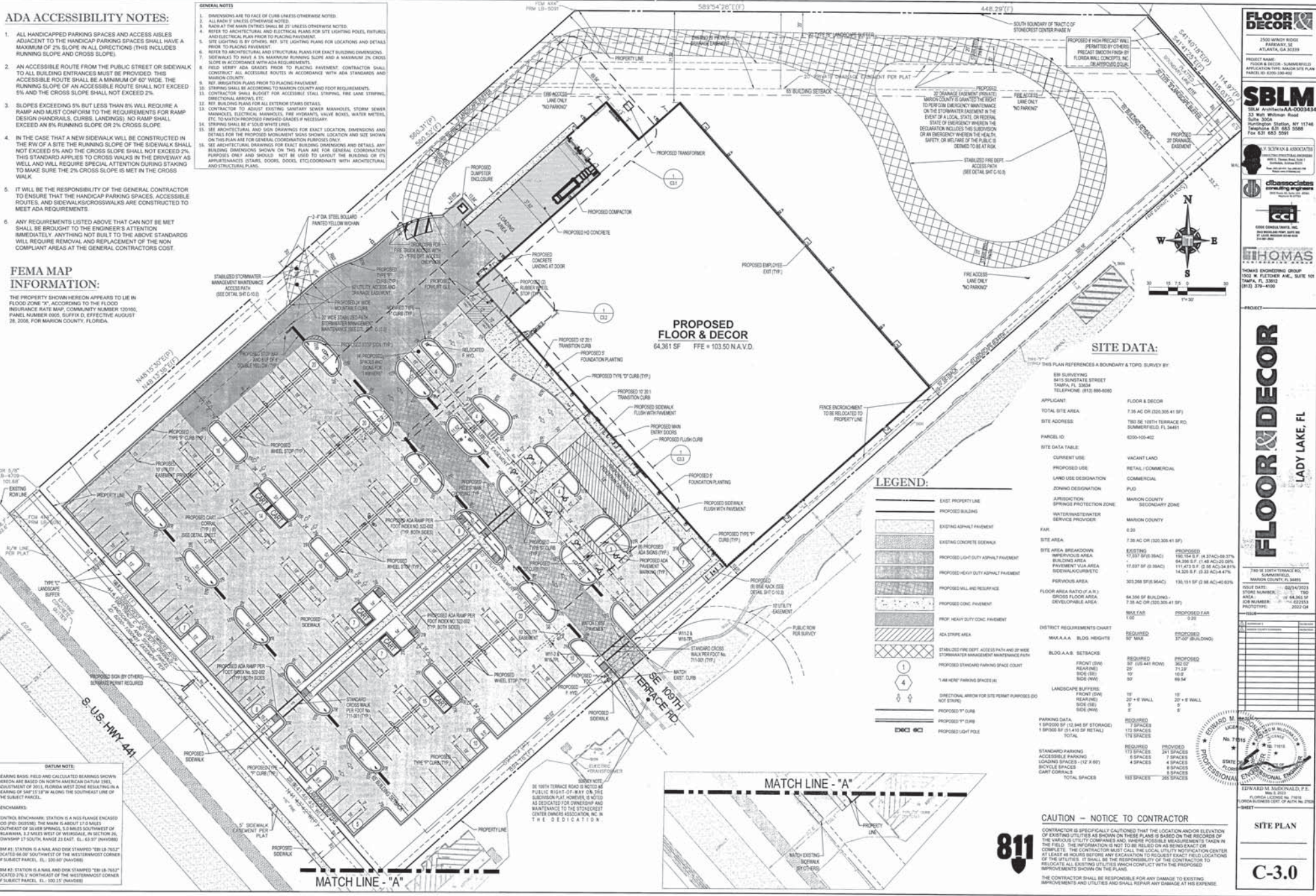
1. ALL HANDICAPPED PARKING SPACES AND ACCESSIBLE ADJACENT TO THE HANDICAPPED PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS SLOPES IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

FEMA MAP INFORMATION:

THE PROPERTY SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 10040, PANEL NUMBER 0004, SUPPLEMENT EFFECTIVE AUGUST 28, 2006, FOR MARION COUNTY, FLORIDA.

GENERAL NOTES:

1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL LAND'S UNLESS OTHERWISE NOTED.
3. RADIUS AT THE MAIN ENTRIES SHALL BE 20' UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR SITE LIGHTING, POLES, FIXTURES AND ELECTRICAL PLAN PRIOR TO PLACING PAVEMENT.
5. SITE LIGHTING IS BY OTHERS. REF. SITE LIGHTING PLANS FOR LOCATIONS AND DETAILS PRIOR TO PLACING PAVEMENT.
6. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR EXACT BUILDING DIMENSIONS. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR EXACT BUILDING DIMENSIONS.
7. SIDEWALKS TO HAVE A 5% MAXIMUM RUNNING SLOPE AND A MAXIMUM 2% CROSS SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
8. FIELD VERIFY ADA GRADES PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND MARION COUNTY.
9. SEE IRRIGATION PLANS PRIOR TO PLACING PAVEMENT.
10. STORMING SHALL BE ACCORDING TO MARION COUNTY AND FOOT REQUIREMENTS.
11. CONTRACTOR SHALL REQUEST FOR ACCESSIBLE STALL STORMING, FIRE LANE STORMING, DIRECTIONAL ARROWS, ETC.
12. SEE BUILDING PLANS FOR ALL EXTERIOR STAIRS DETAILS.
13. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, STORM SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, WATER MAINS, WATER METER, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.
14. STORMING SHALL BE 4" SLOPE WHITE LINE.
15. SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR EXACT LOCATION, DIMENSIONS AND DETAILS FOR THE PROPOSED MONUMENT SIGN SHOWING LOCATION AND SET WORK ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY.
16. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS. ANY BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY AND SHOULD NOT BE USED TO LAYOUT THE BUILDING OR ITS APPURTENANCES (STAIRS, DOORS, DOCKS, ETC) COORDINATE WITH ARCHITECTURAL AND STRUCTURAL PLANS.



FLOOR & DECOR
3500 WINDY RIDGE
FARMERS, SE
ATLANTA, GA 30339

PROJECT NAME: FLOOR & DECOR, MARION COUNTY
SUBJECT: FLOOR & DECOR, MARION COUNTY
APPLICATION TYPE: MAJOR SITE PLAN
SCALE: 1/8" = 1'-0"

SBLM
SBLM Architects AA-0003434
33 West Windsor Ave.
Suite 200A
Tomball, TX 77476
Phone: 281.352.1008
Fax: 281.352.1001

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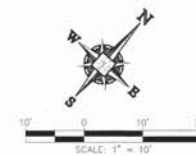
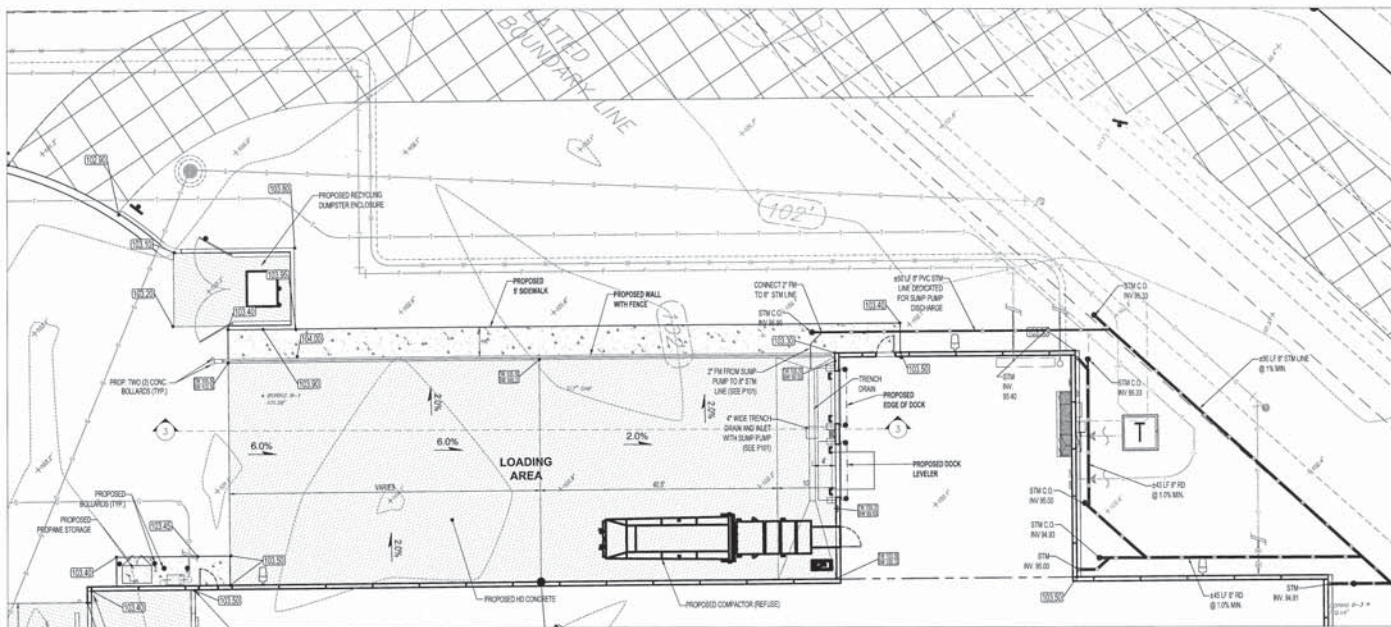
CAUTION - NOTICE TO CONTRACTOR

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE MARION COUNTY UTILITY COMMISSION AND, WHERE AVAILABLE, THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

SITE PLAN

C-3.0

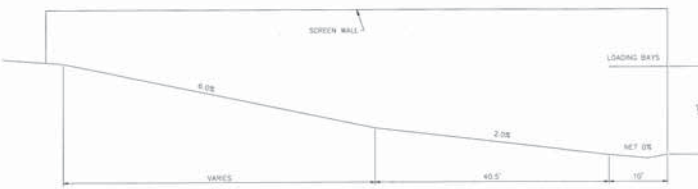


LEGEND:

[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED RACING
[Symbol]	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
[Symbol]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	EXISTING SIDEWALK BY OTHERS
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED HEAVY DUTY CONCRETE
[Symbol]	GRAVEL
[Symbol]	EXISTING SIDEWALK AREA
[Symbol]	PROPOSED 12" CURB
[Symbol]	PROPOSED 12" CURB

1 LOADING BAYS, COMPACTOR & RECYCLE ENCLOSURE

SCALE: 1"=10'



3 SECTION: TYPICAL LOADING DOCK RAMP

SCALE: 1"=10'

LOADING BAYS AND COMPACTOR NOTES TO DESIGNER:

1. LOADING BAYS WILL BE 48" BELOW FINISH FLOOR.
2. COMPACTOR WILL BE 48" BELOW FINISH FLOOR.
3. THE FIRST 10' WILL HAVE A NET SLOPE OF 0% MINIMUM SLOPE TO TRENCH DRAIN IS 1.5%.
4. NEXT 40.5' WILL HAVE A SLOPE OF 2%.
5. THE REST OF THE CONCRETE AREA WILL HAVE A 6% SLOPE.
6. COMPACTOR LONGITUDINAL SLOPE WILL BE 5.0% MAX.
7. COMPACTOR CROSS SLOPE WILL BE 1.0% MAX.

DATUM NOTE:

BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011, FLORIDA WEST ZONE RESULTING IN A BEARING OF S48°15'36"W ALONG THE SOUTHEAST LINE OF THE SUBJECT PARCEL.

BENCHMARKS:

CONTROL BENCHMARK: STATION IS A NGS FLANGE ENCASED ROD (PID: 005988). THE MARK IS ABOUT 17.0 MILES SOUTHWEST OF SILVER SPRING, 5.0 MILES SOUTHWEST OF OLANAHUA, 3.2 MILES WEST OF WINTERGARDEN, IN SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST. E.L. 63.97' (NAVD83).

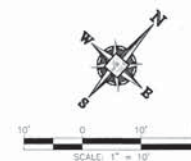
TBM #1: STATION IS A NAIL AND DISK STAMPED "EB 18-7657" LOCATED 66.00' SOUTHWEST OF THE WESTERNMOST CORNER OF SUBJECT PARCEL. E.L. 100.60' (NAVD83).

TBM #2: STATION IS A NAIL AND DISK STAMPED "EB 18-7657" LOCATED 276.1' NORTHEAST OF THE WESTERNMOST CORNER OF SUBJECT PARCEL. E.L. 100.33' (NAVD83).

CAUTION - NOTICE TO CONTRACTOR

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE ANY LOCATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.





	KERFITY ONE
	PROPOSED BUILDING
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	EXISTING SIDEWALK (BY OTHERS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY CONCRETE
	GRAVEL
	NON-CROSSWALK AREA
	PROPOSED 12' CURB
	PROPOSED 10' CURB

DATUM NOTE:

BEARING BASED FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON THE 1983 NORTH AMERICAN DATUM 1983. ADJUSTMENT OF 2011, FLORIDA WEST ZONE RESULTING IN A BEARING OF S45°18'W ALONG THE SOUTHEAST LINE OF THE SUBJECT PARCEL.

BENCHMARKS:

CONTROL BENCHMARK: STATION IS A WGS FINGERED ROCK (PID: D09588)
THE MARK IS ABOUT 17.0 MILES SOUTHWEST OF SILVER SPRING, 0.5 MILES SOUTHWEST OF OLANAHAWA, 3.2 MILES WEST OF WERDGALE, IN SECTION 26, TOWNSHIP 17° SOUTH, RANGE 23 EAST, E1 - 63.87° NAD83

T&M #1: STATION IS A NAIL AND DISK STAMPED "EB 18-7653"
LOCATED 66.00' SOUTHWEST OF THE WESTERMOIST COAST OF SUBJECT PARCEL E1, 100.60' (NAD83)

T&M #2: STATION IS A NAIL AND DISK STAMPED "EB 18-7653"
LOCATED 278.1' NORTHEAST OF THE WESTERMOIST COAST OF SUBJECT PARCEL E1, 100.15' (NAD83)

81

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST A C.A.T. FIELD SURVEY OF THE LOCATION OF THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

PROJECT _____

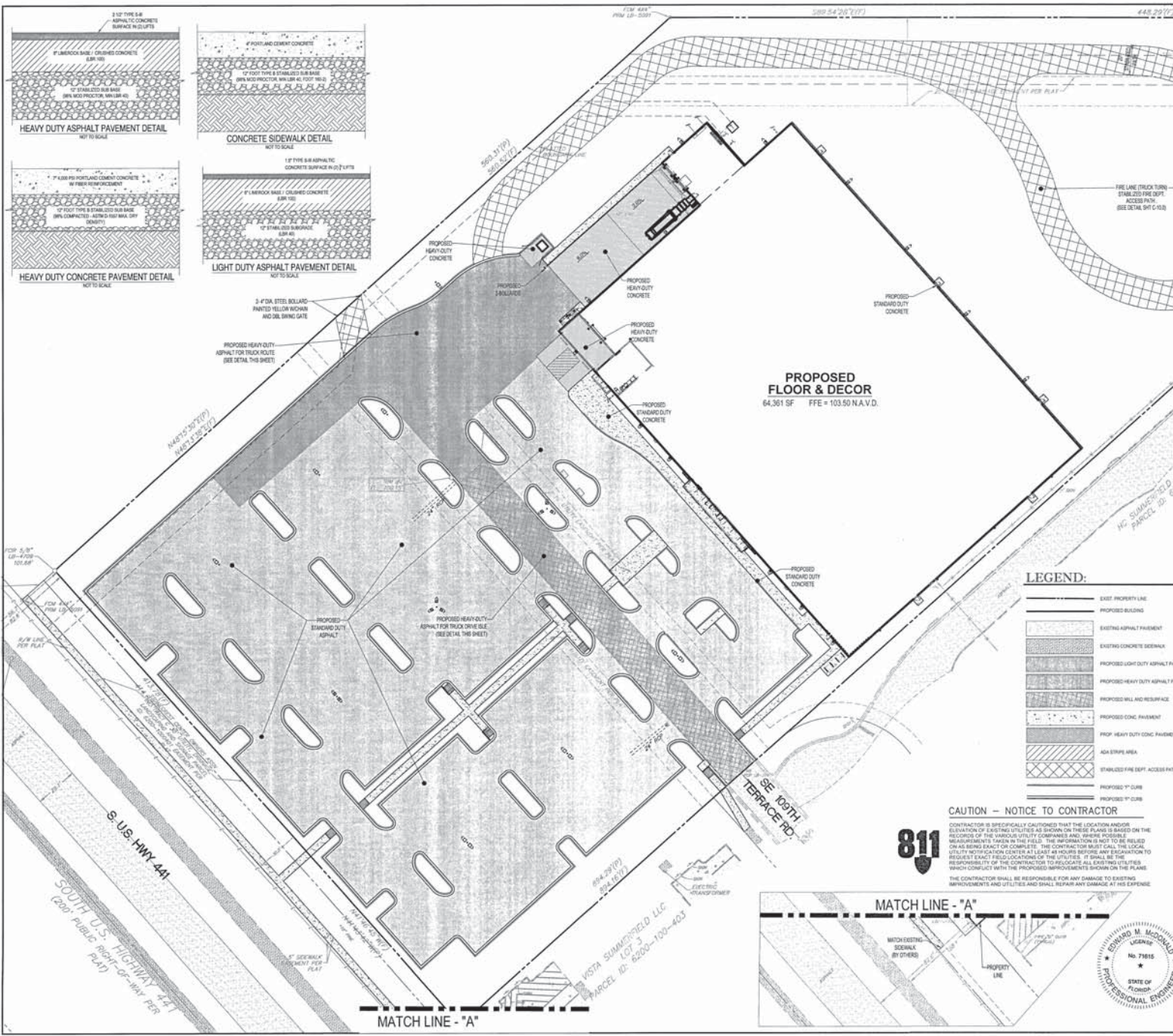
ISSUE DATE: 02/14/2022
STORE NUMBER: 643613
AREA: 02215
JOB NUMBER: 2022 Q
PROTOTYPE: 2022 Q

[illegible]

EDWARD M. McDONALD, P.
May 3, 2023
FLORIDA LICENSE NO. 73818
FLORIDA BUSINESS CERT. OF AUTH. NO.
SHEET

ENLARGED SITE
PLANS

C-3.2



FEMA MAP INFORMATION:

THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12010, PANEL NUMBER 0005, SUFFIX D, EFFECTIVE AUGUST 28, 2008, FOR MARION COUNTY, FLORIDA.

DATUM NOTE:

BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983. ADJUSTMENT OF 2011, FLORIDA WEST ZONE RESULTING IN A BEARING OF 58°15'18"W ALONG THE SOUTHEAST LINE OF THE SUBJECT PARCEL.

BENCHMARKS:

CONTROL BENCHMARK: STATION IS A NAIL FLANGE ENCASED ROD (PID: D05986). THE MARK IS ABOUT 17.0 FEET SOUTHWEST OF SILVER SPRING, 0.0 MILES SOUTHWEST OF ORLANDO, 3.2 MILES WEST OF WERDLE, IN SECTION 26, TOWNSHIP 27 SOUTH, RANGE 23 EAST, E.L. 100.47 (NAVD83).
TBM #1: STATION IS A NAIL AND DISK STAMPED "TBM 1B-7652" LOCATED 66.00' SOUTHWEST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. E.L. 100.40 (NAVD83).
TBM #2: STATION IS A NAIL AND DISK STAMPED "TBM 1B-7652" LOCATED 276.1' NORTHEAST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. E.L. 100.15 (NAVD83).

PAVING PLAN NOTES:

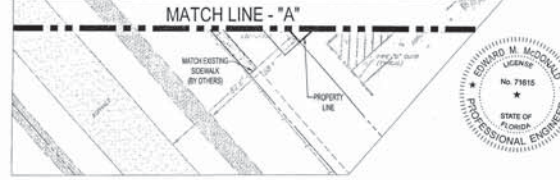
- STANDARD DUTY PAVEMENT AREAS SHALL BE PORTLAND CEMENT CONCRETE. DETAILS OF THE STANDARD DUTY CONCRETE PAVEMENT ARE PROVIDED ON DETAIL SHEETS.
- NOTIFY OWNER 3 DAYS PRIOR TO POUR OF INITIAL SECTION OF DRIVEWAY PAVING. FLOOR & DECOR REPRESENTATIVE TO ARRIVE WITH POLAR.
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY APPROVED BY THE OWNER FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" LATEST EDITION.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE STATE DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. CONTRACTOR SHALL REVIEW ALL TRAFFIC CONTROL DEVICES WITH DOT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING.
- SEE IRRIGATION PLAN AND MEP PLANS PRIOR TO PAVING FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS. EXTRA CONDUIT SHALL BE PLACED UNDER DRIVEWAYS FOR FUTURE USE.
- ALL HANDICAPPED PARKING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1990.
- CONTRACTOR SHALL INSTALL CONSTRUCTION/PAVING JOINTS AT THE END OF A DAYS POUR AT ALL RADIUS POINTS, OR MAXIMUM 30' C/C SPACING. CONTROL JOINTS SHALL BE PLACED AT MAXIMUM 18' IN BOTH DIRECTIONS.
- CONTRACTOR TO SUBMIT A JOINTING PLAN TO THE CONSTRUCTION MANAGER PRIOR TO THE BEGINNING OF ANY PAVING WORK.
- PAVING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR THE SCREENING WALLS AND THE DUMPSITE PAGES.
- ALL DISCREPANCIES FOUND BY CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF OWNER AND ENGINEER PRIOR TO PLACEMENT OF ANY PAVING. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN SUBGRADE OF AREAS TO BE PAVED, AND NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND PRIOR TO INSTALLATION OF ANY PAVING.
- EXISTING MANHOLE TOPS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES. IF NECESSARY, RE-ADJUSTMENTS SHALL BE PERFORMED UPON COMPLETION OF PAVING AND THE GRADING TO ENSURE A SMOOTH TRANSITION. ALL JOINTS SHALL EXTEND THROUGH THE CURB.
- COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- ALL PAVEMENT TO BE SLOPED FOR POSITIVE DRAINAGE.

CAUTION - NOTICE TO CONTRACTOR

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

MATCH LINE - "A"



FLOOR & DECOR
2500 WINDY RIDGE
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ATLANTA, GA 30339

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TAMPA, FL 33612
Tel: 813.276.4100

PROFESSIONAL ENGINEER
EDWARD M. McDONALD, P.E.
FLORIDA LICENSE NO. 71815
EXPIRATION DATE: 06/30/2023
ISSUE DATE: 02/03/2023
PROJECT NO.: 2022-03
SHEET NO.: 10-01

PAVING PLAN
C-4.0

SANITARY SEWER NOTES:

- GENERAL
 1. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURE.
 2. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEVIEW EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEVIEW THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBNS WITHIN LINE.
 3. ALL UNDERGROUND UTILITY WORK IN THE COUNTY EASEMENT OR ROW MUST BE COMPLETED BY UNDERGROUND UTILITY CONTRACTOR LICENSED BY THE STATE OF FLORIDA.
- MATERIALS
 1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 35, WITH PUSH-ON RUBBER GASKET JOINTS.
 2. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.
 3. ALL SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE A LID THAT IS NO LOWER THAN THE FINISH GRADE.
- INSTALLATION
 1. PIPE AND FITTINGS
 - a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2021, AND THE UN-BELL PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.
 - b. BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1/4" IN DIAMETER. FEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNDESIRABLE BEDDING EXISTS. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
 2. CLEANOUTS
 - a. CLEANOUTS SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
 - b. ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
 3. SERVICE
 - a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE 1/8%.
 - b. EACH SERVICE CONNECTION SHALL BE PUGHED WATER-TIGHT WITH AN APPROVED PUGH.
 - c. CONNECTION OF SERVICES TO BUILDINGS PLUMBING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
 4. TESTING
 - a. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INSPECTION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
 - b. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
 - c. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED.
 - d. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO THE CERTIFICATION TO ANY AGENCY.

DATUM NOTE:
BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983. ADJUSTMENT OF 2021, FLORIDA WEST ZONE RESULTING IN A BEARING OF 348°15'13"W ALONG THE SOUTHWEST LINE OF THE PROJECT PARCEL.

BENCHMARKS:
CONTROL BENCHMARK: STATION IS A NIS FLANGE ENCASED ROD (P.D. 050998). THE MARK IS ABOUT 17.0 FEET SOUTHEAST OF SEVER SPRING, 5.0 MILES SOUTHWEST OF DULUTH, 1.2 MILES WEST OF WERDOLKE, IN SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST, EL. 63.97 (NAVD83).

TRM #1: STATION IS A NAIL AND DISK STAMPED "B1 LB 7552" LOCATED 66.00' SOUTHWEST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. EL. 300.60' (NAVD83)
TRM #2: STATION IS A NAIL AND DISK STAMPED "B1 LB 7552" LOCATED 276.1' NORTHEAST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. EL. 300.53' (NAVD83)

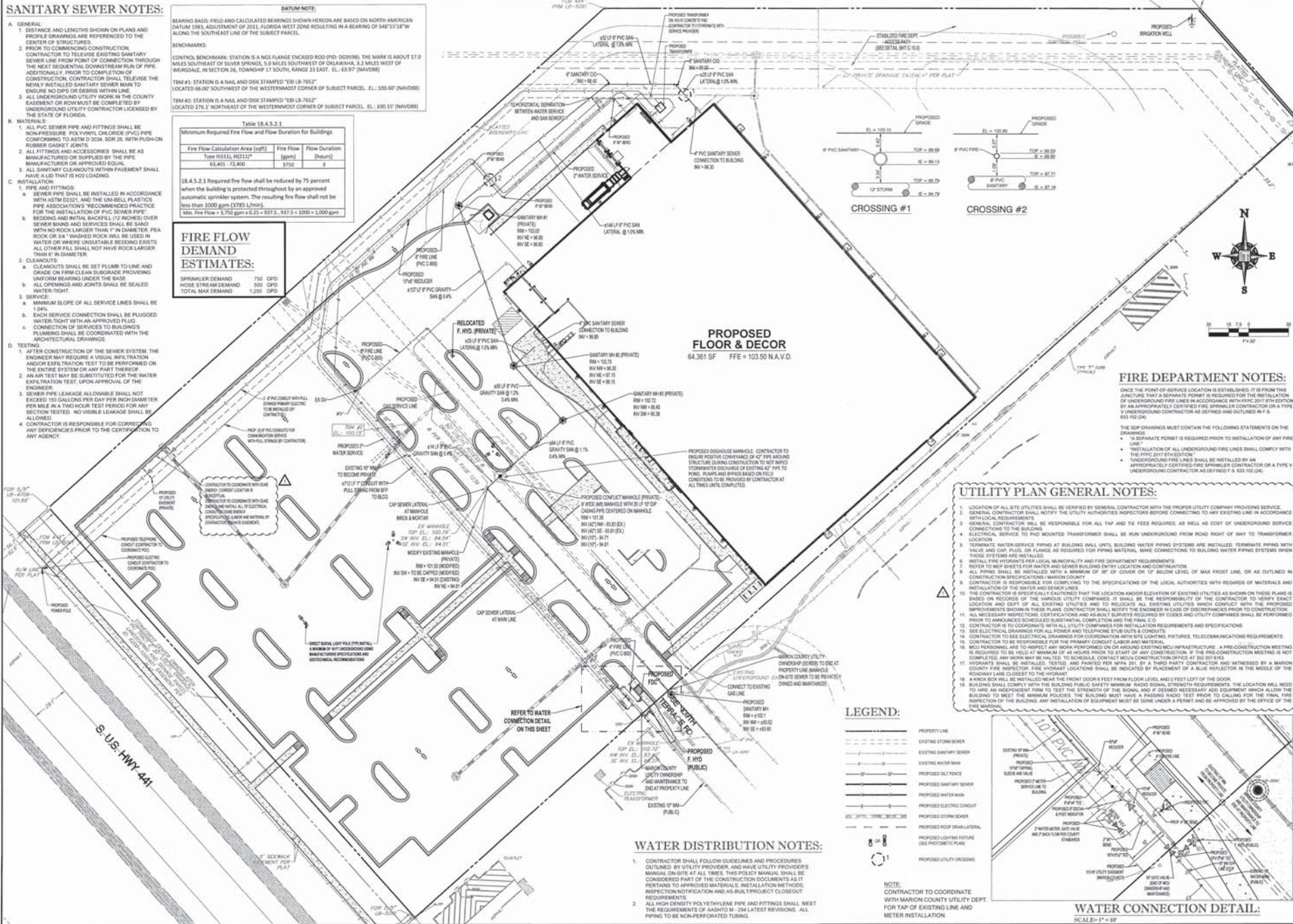
Table 18.4.5.2.1
Minimum Required Fire Flow and Flow Duration for Buildings

Fire Flow Calculation Area (sqft)	Fire Flow (gpm)	Flow Duration (hours)
Typical (10,000 - 100,000)	1,500	2
6,000 - 72,000	1,200	2

18.4.5.2.1 Required fire flow shall be reduced by 75 percent when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow shall not be less than 1,000 gpm (7.25 L/min).

FIRE FLOW DEMAND ESTIMATES:

SPRINKLER DEMAND	750 GPD
HOSE STREAM DEMAND	500 GPD
TOTAL MAX DEMAND	1,250 GPD



LEGEND:

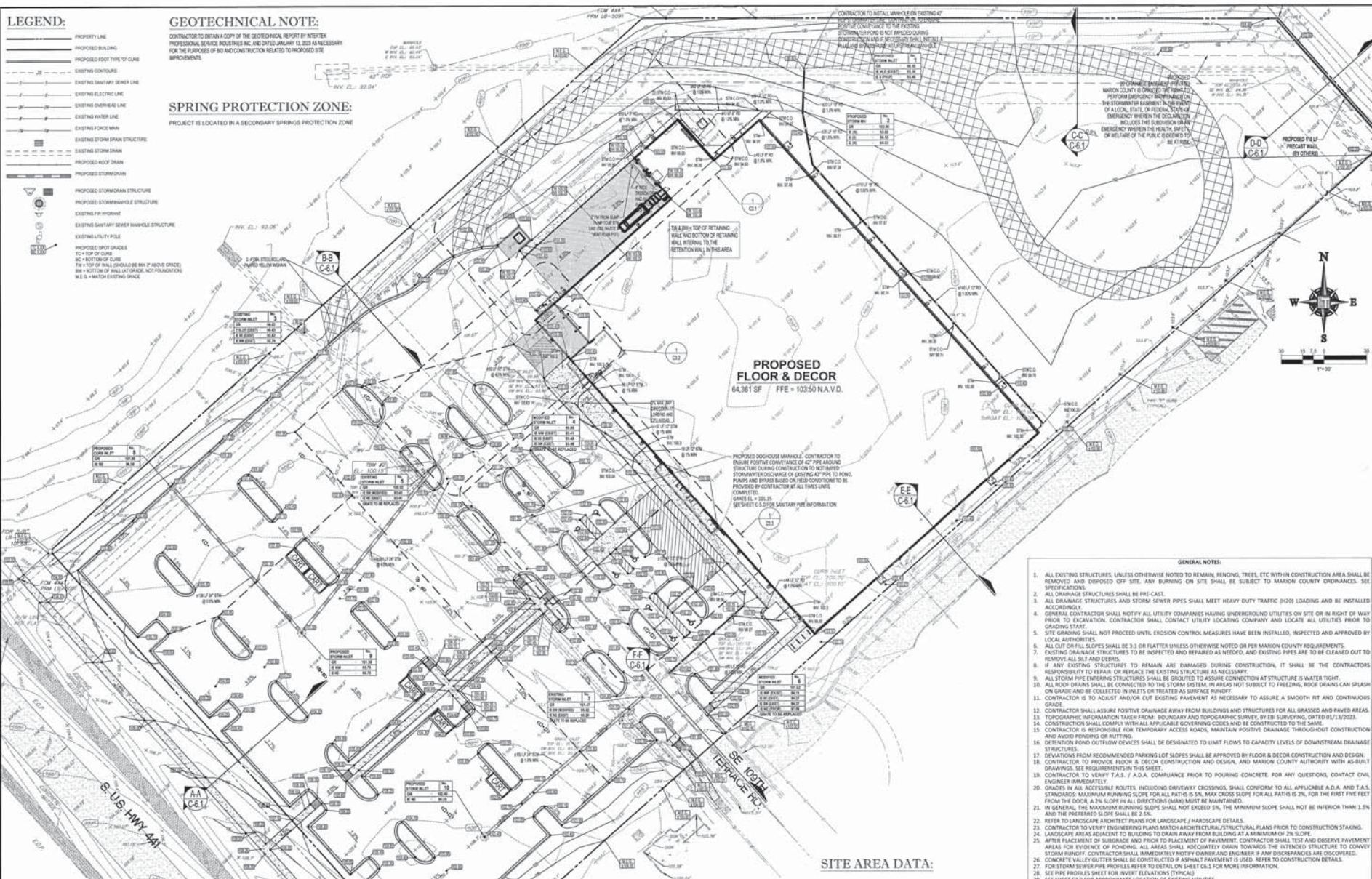
- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED FOOT PATH TO CURB
- EXISTING CONTOURS
- EXISTING SANITARY SEWER LINE
- EXISTING ELECTRIC LINE
- EXISTING OVERHEAD LINE
- EXISTING WATER LINE
- EXISTING FORCE MAIN
- EXISTING STORM DRAIN STRUCTURE
- EXISTING STORM DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN STRUCTURE
- PROPOSED STORM DRAIN MANHOLE STRUCTURE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE STRUCTURE
- EXISTING UTILITY POLE
- PROPOSED SPOT GRADES TO TOP OF CURB
- ALL ELEVATIONS ARE IN FEET ABOVE GRADE
- THE TOP OF WALL SHOULD BE MIN 7' ABOVE GRADE
- MIN 1' NOTION OF WALL SHOULD BE MIN 7' ABOVE GRADE
- MIN 1' MATCH EXISTING GRADE

GEOTECHNICAL NOTE:

CONTRACTOR TO OBTAIN A COPY OF THE GEOTECHNICAL REPORT BY INTERTECH PROFESSIONAL SERVICE INDUSTRIES INC. AND DATED JANUARY 13, 2023 AS NECESSARY FOR THE PURPOSES OF ANY AND ALL CONSTRUCTION RELATED TO PROPOSED SITE IMPROVEMENTS.

SPRING PROTECTION ZONE:

PROJECT IS LOCATED IN A SECONDARY SPRING PROTECTION ZONE



PROPOSED FLOOR & DECOR
64,361 SF FFE = 103,550 N.A.V.D.

PROPOSED DOORHOUSE MANHOLE: CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF 42" PIPE AROUND STRUCTURE DURING CONSTRUCTION TO NOT IMPAIR STORMWATER DISCHARGE OF EXISTING 42" PIPE TO POND. PUMP AND PUMP BASES ON OVER CONCRETE TO BE PROVIDED BY CONTRACTOR AT ALL TIMES UNTIL COMPLETED.
GRAVE EL. = 35.25
SEE SHEET C-6.0 FOR SANITARY PIPE INFORMATION

SITE AREA DATA:

TOTAL SITE AREA:	1.36 AC (93,335.41 SF)
EXISTING	PROPOSED
502,154 S.F. (7.27 AC) @ 48.37%	64,361 S.F. (1.48 AC) @ 20.00%
11,037 S.F. (0.26 AC)	11,475 S.F. (0.26 AC) @ 14.81%
303,268 S.F. (6.94 AC)	14,325 S.F. (0.33 AC) @ 4.47%
130,151 S.F. (2.99 AC) @ 43.63%	
OFFSITE AREA - STORMWATER CONVEYANCE ON OR THROUGH SITE	
EXISTING	
6,117 AC	
PERVIOUS AREA:	3.46 AC
OFFSITE IMPERVIOUS ASSUMES THAT LOT'S 3, 4 AND 6 PARCELS ARE 6200-100-450, 6200-100-400, AND 6200-100-410 VALL BE BUILT TO 60% IMPERVIOUS AND BUILD 5 SIDEWALK WITHIN THE 500TH AND 510TH TERRACE ROAD ROW AND WITHIN TRACT C	

GENERAL NOTES:

- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO MARION COUNTY ORDINANCES. SEE SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC [HDS] LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT OF WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR PER MARION COUNTY REQUIREMENTS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE EXTERIOR STRUCTURES SHALL BE CONSTRUCTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- ALL ROOF DRAINS SHALL BE CONNECTED TO THE STORM SYSTEM IN AREAS NOT SUBJECT TO FREEZING. ROOF DRAINS CAN SPLASH ON GRADE AND BE COLLECTED IN HULDS OR TREATED AS SURFACE RUNOFF.
- CONTRACTOR IS TO ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS DRAIN.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION TAKEN FROM: BOUNDARY AND TOPOGRAPHIC SURVEY, BY EBI SURVEYING, DATED 01/13/2023.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS, MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING.
- DETENTION POND OUTFLOW DEVICES SHALL BE DESIGNATED TO LIMIT FLOWS TO CAPACITY LEVELS OF DOWNSTREAM DRAINAGE STRUCTURES.
- DEVIATIONS FROM RECOMMENDED PARKING LOT SLOPES SHALL BE APPROVED BY FLOOR & DECOR CONSTRUCTION AND DESIGN.
- CONTRACTOR TO PROVIDE FLOOR & DECOR CONSTRUCTION AND DESIGN AND MARION COUNTY AUTHORITY WITH AS-BUILT DRAWINGS. SEE REQUIREMENTS IN THIS SHEET.
- CONTRACTOR TO VERIFY T.A.S. / A.D.A. COMPLIANCE PRIOR TO POURING CONCRETE. FOR ANY QUESTIONS, CONTACT CIVIL ENGINEER IMMEDIATELY.
- GRADES IN ALL ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSINGS, SHALL CONFORM TO ALL APPLICABLE A.D.A. AND T.A.S. STANDARDS. MAXIMUM RAMPING SLOPE FOR ALL PATHS IS 5%, MAX CROSS SLOPE FOR ALL PATHS IS 2%, FOR THE FIRST FIVE FEET FROM THE DOOR, A 2% SLOPE IN ALL DIRECTIONS (MAX) MUST BE MAINTAINED.
- IN GENERAL, THE MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5%, THE MINIMUM SLOPE SHALL NOT BE FLATTER THAN 1.5% AND THE PREFERRED SLOPE SHALL BE 2.5%.
- REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPE / HARDSCAPE DETAILS.
- CONTRACTOR TO VERIFY ENGINEERING PLANS MATCH ARCHITECTURAL / STRUCTURAL PLANS PRIOR TO CONSTRUCTION STAKING.
- LANDSCAPE AREAS ADJACENT TO BUILDING TO DRAIN AWAY FROM BUILDING AT A MINIMUM OF 2% SLOPE.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED IF ASPHALT PAVEMENT IS USED. REFER TO CONSTRUCTION DETAILS.
- FOR STORM SEWER PIPE PROFILES REFER TO DETAIL ON SHEET C-6.1 FOR MORE INFORMATION.
- SEE PIPE PROFILES SHEET FOR INVERT ELEVATIONS (TYPICAL).
- SEE SHEET C-2 FOR APPROXIMATE LOCATION OF EXISTING UTILITIES.
- ALL THE ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR TO SUBTRACT PAVEMENT THICKNESS AND FLOOR SLAB THICKNESS FOR SUBGRADE ELEVATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL VESTIBULES/ENTRANCES, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- TERMINATE SPRAY IF NEEDED IS TO BE PROVIDED FOR FOUNDATION BY FOUNDATION CONTRACTOR.
- SITE PREPARATION TO BE PROVIDED BY CONTRACTOR TO INCLUDE:
 - PROTECTING EXISTING VEGETATION TO REMAIN.
 - REMOVING EXISTING VEGETATION.
 - CLEARING AND GRUBBING.
 - STRIPPING AND STOCKPILING TOPSOIL.
 - REMOVING ROCKS AND BELOW-GRADE SITE IMPROVEMENTS.
 - DISCONNECTING, CAPPING OR SEALING SITE UTILITIES.
 - TEMPORARY EROSION AND SEDIMENTATION CONTROL.
 - RETAINING WALL TO HAVE 2" DIAMETER PIPES AT 4' - 6' O.C., 18" ABOVE BOTTOM OF WALL GRADE, WITH POROUS BACK FILL BEHIND THE WALL FOR WATER FLOW.

FLOOR & DECOR
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FARMINGTON, CT 06030
PROJECT NAME:
FLOOR & DECOR - SUMMERFIELD
PROJECT NO.: 6200-100-400

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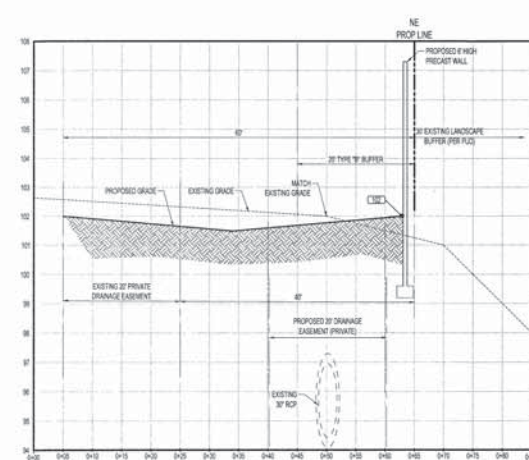
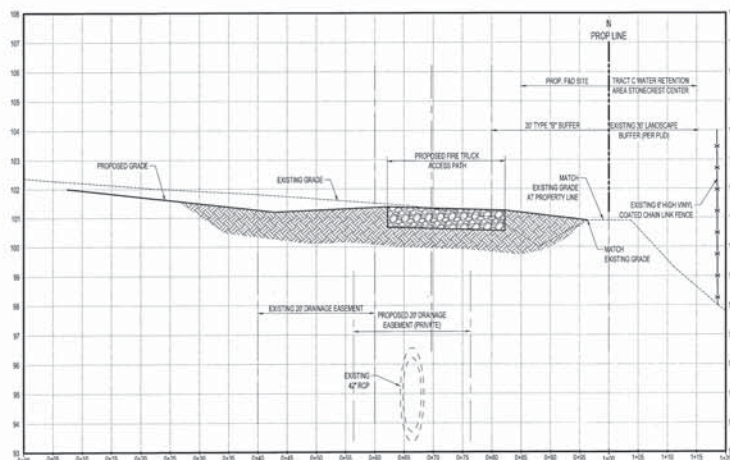
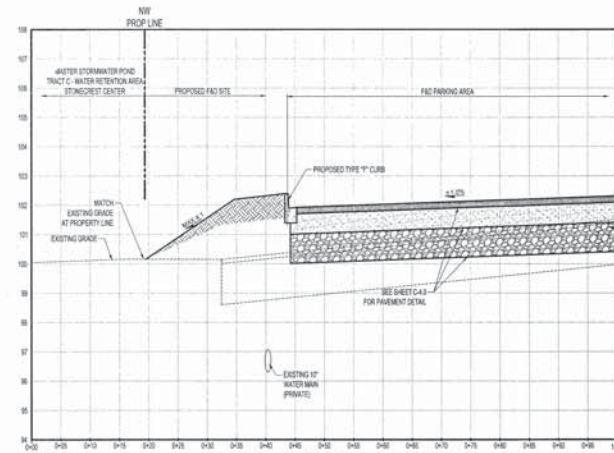
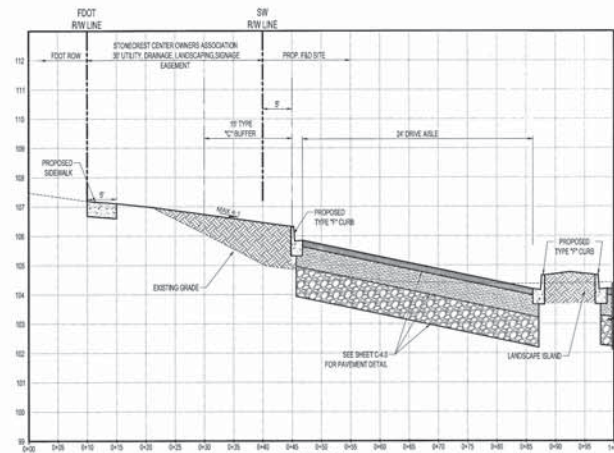
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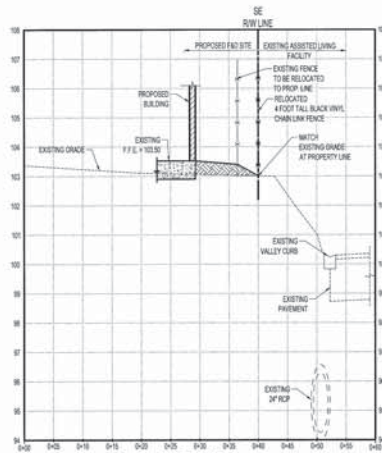
PROJECT
FLOOR & DECOR
LADY LAKE, FL

FLOOR & DECOR
LADY LAKE, FL

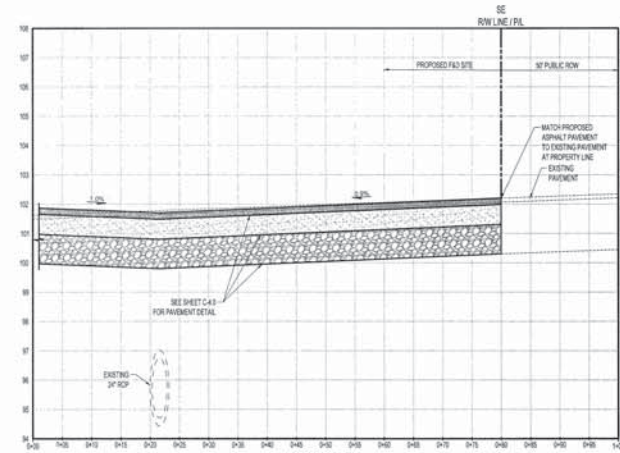
GRADING PLAN
C-6.0

EDWARD M. MCNEAL, P.E.
FLORIDA LICENSE NO. 17852
EXPIRATION DATE: 01/31/2025
SHEET





SECTION E-E
HORIZ. SCALE: 1"=10'
VERT. SCALE: 1"=2'



SECTION F-F
HORIZ. SCALE: 1"=10'
VERT. SCALE: 1"=2'

FLOOR & DECOR

2500 WINTER RIDGE
FARMWAY, SE
ATLANTA, GA 30329

PROJECT NAME:
FLOOR & DECOR - SUMMERFIELD
APPLICATION FOR THE MAJOR SITE PLAN
PARCEL ID: 0300-000-000

SBLM

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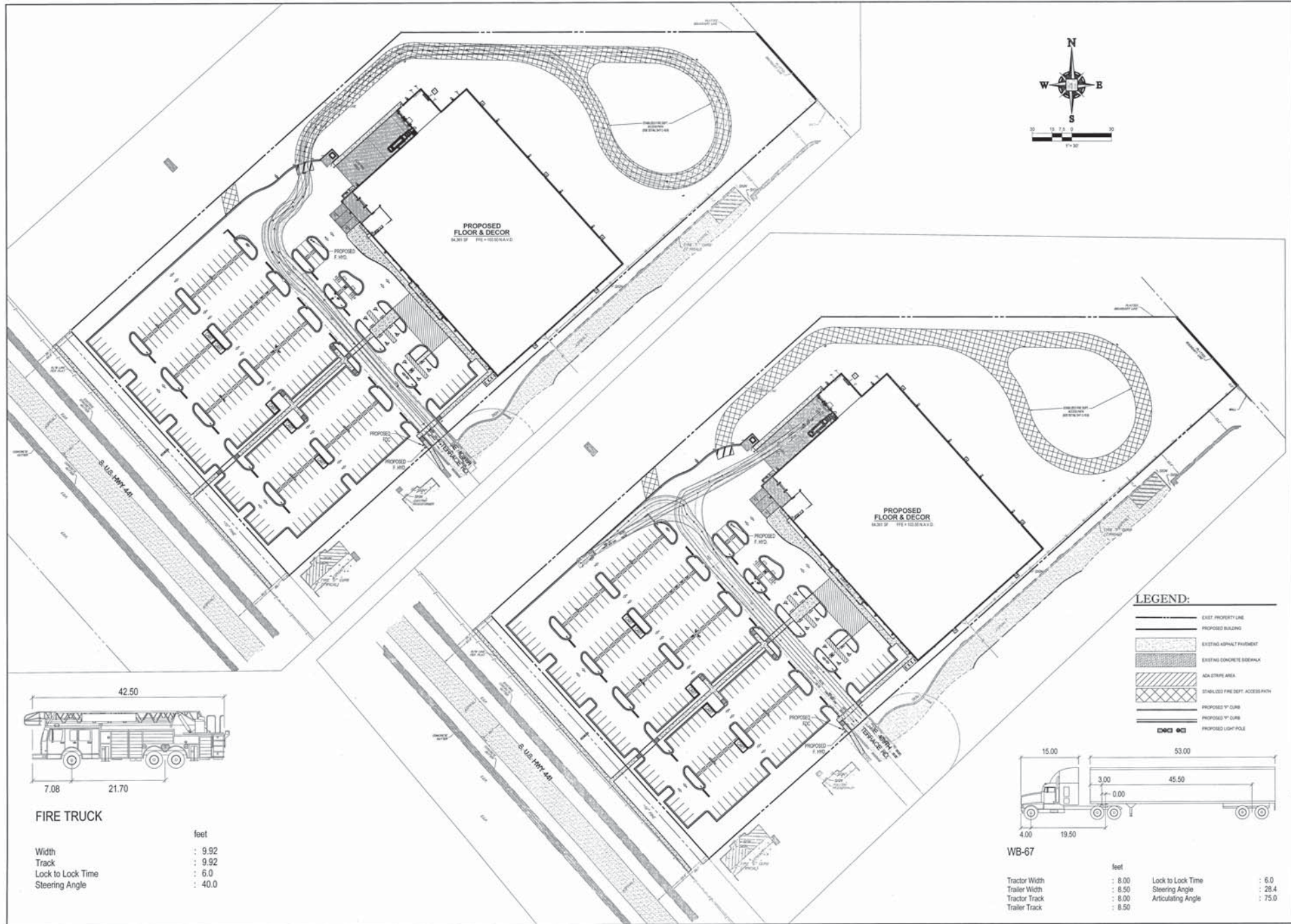
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FLOOR & DECOR

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PROJECT NAME: FLOOR & DECOR - SUNDERLAND
APPROXIMATE: 100-10000000
PARCEL NO: 100-10000000

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Tampa, FL 33610

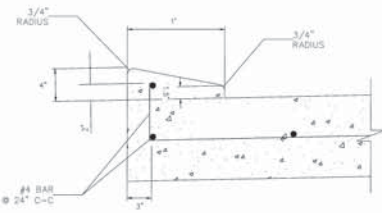
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100-10000000
Tampa, FL 33610

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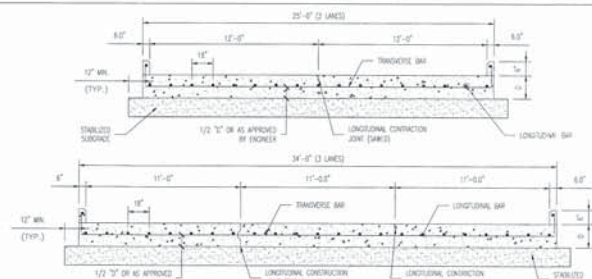
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Tampa, FL 33610

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Tampa, FL 33610

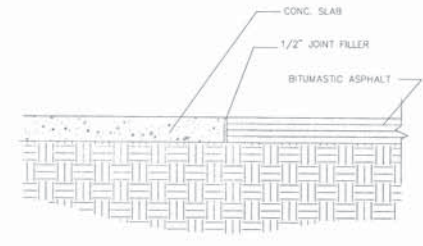
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100-10000000
Tampa, FL 33610



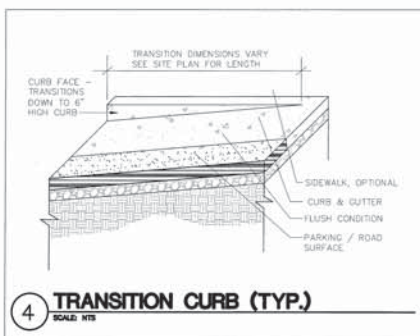
1 **MONOLITHIC CURB (TYP.)**
SCALE: NTS



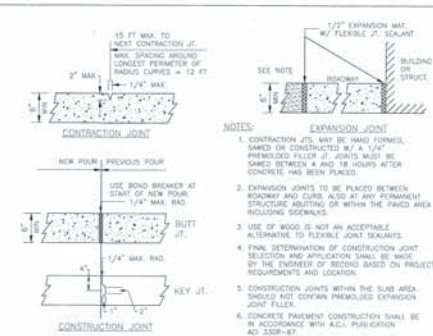
2 **STEEL REBAR & LONGITUDINAL JOINT SPACING (TYP.)**
SCALE: NTS



3 **FLUSH CURB CONNECTION (TYP.)**
SCALE: NTS

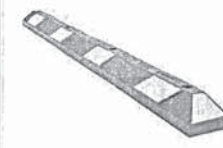


4 **TRANSITION CURB (TYP.)**
SCALE: NTS



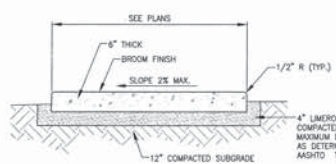
5 **CONCRETE JOINT (TYP.)**
SCALE: NTS

Parking Stops - 6', Rubber, Black/Yellow



- End concrete crumbling and chipping forever.
- 100% recycled material;
 - Maintenance free. No painting;
 - Weather resistant. Impervious to sunlight or road salt;
 - Conforms to uneven surfaces. Reflective stripes;
 - H-2397 Concrete or H-2398 Asphalt Installation Hardware available.

MODEL NO.	DESCRIPTION	DIMENSIONS L x W x H	WT. (LBS.)	PRICE EACH		ADD TO CART
				1	5+	
H-4508B/Y	6' Rubber	72 x 6 x 4"	34	\$70	\$65	ADD



1. THE PROPOSED FILL SHALL BE COMPACTED IN 12" LIFTS TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180 AND THE ENGINEER'S SPECIFICATIONS.
2. SUBGRADE SHALL BE SAND, COMPACTED TO A FIRM EVEN SURFACE, TRUE TO GRADE AND CROSS-SECTION, AND BE MOIST WHEN CONCRETE IS PLACED.
3. SIDEWALK SHALL HAVE CONTRACTION JOINTS AT 5' INTERVALS AND AN EXPANSION JOINT EVERY 120' MAXIMUM.

TYPICAL SIDEWALK SECTION
(WITHIN PUBLIC AND PRIVATE RIGHT-OF-WAY)
N.T.S.



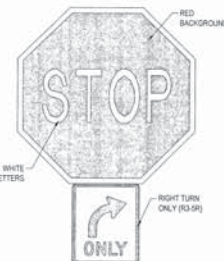
1. SEE SITE PLAN FOR SPECIFIC NOTING.
2. CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL, SUCH AS CLAY AND ROOTS PER AGENCY REQUIREMENTS.

STABILIZED PATH SECTION



30"x30" STOP SIGN DETAIL (R1-1)
SCALE: NONE

6 **30"x30" STOP SIGN**
SCALE: NONE



36"x36" STOP SIGN (R1-1) W/RIGHT TURN ONLY

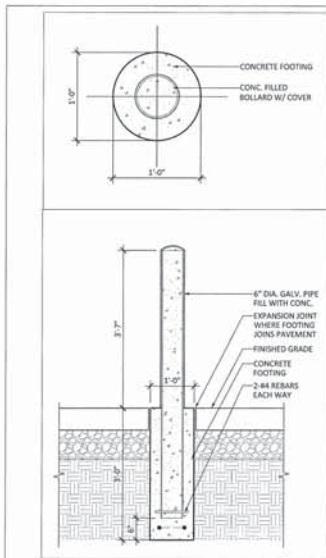
7 **36"x36" STOP SIGN**
SCALE: NONE



36"x12" TYPICAL ONE WAY SIGN DETAIL (R6-1R)



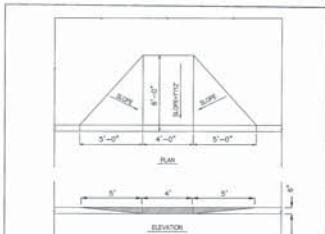
8 **ONE WAY/STOP BAR DTL**
SCALE: NONE



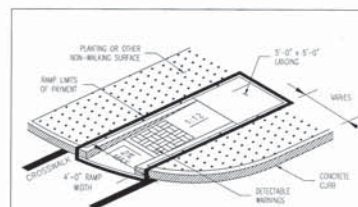
1 SITE BOLLARD (TYP.)
SCALE: NTS



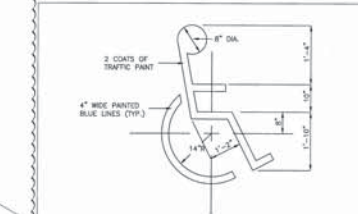
2 LOADING ZONE SIGN
SCALE: NTS



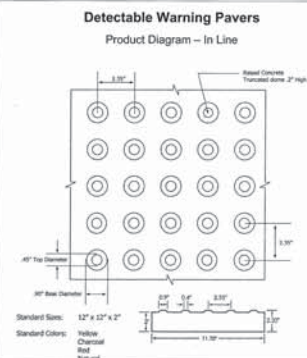
3 FIRE ACCESS ROAD SIGNS
SCALE: NTS



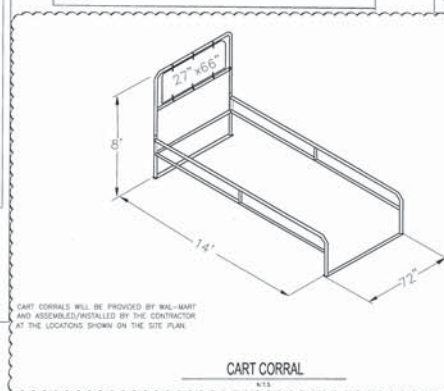
8 HANDICAP RAMP (TYP.)
SCALE: NTS



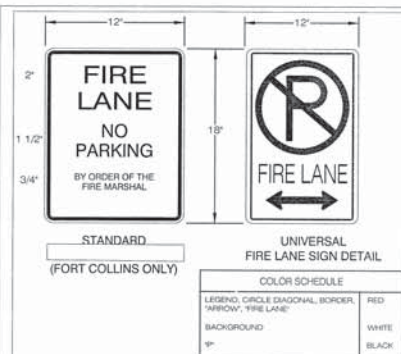
9 HANDICAP PARKING SPACE
SCALE: NTS



6 TRUNCATED DOMES (TYP.)
SCALE: NTS

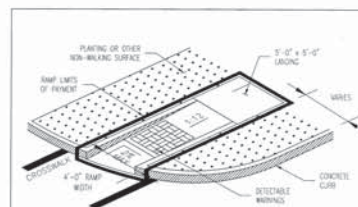


CART CORRAL
SCALE: NTS

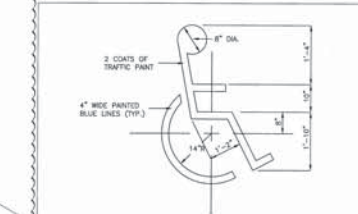


- NOTES:
1. THE SIGN PLATE SHALL BE A MINIMUM OF 12"x18" WITH A THICKNESS OF .080 ALUMINUM CONSTRUCTION.
 2. THE SIGN FACE SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED LEGEND. USE THE STANDARD 3M SCOTCHLITE SIGN FACE NUMBER R7-32 OR EQUIVALENT, WITH RED LETTERING AS SHOWN ABOVE.
 3. ARROWS MAY BE NEEDED (LEFT, RIGHT OR DOUBLE), TO DESIGNATE BEGIN AND END OF NO PARKING AREA.

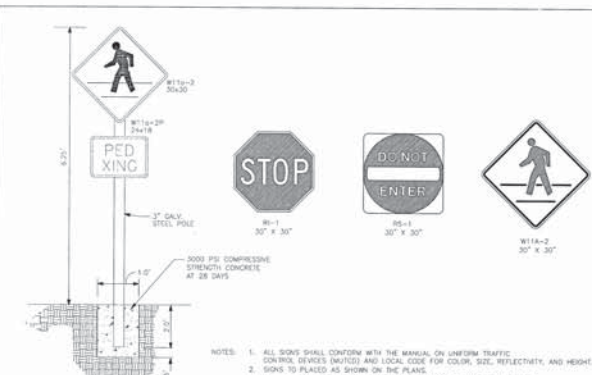
3 FIRE ACCESS ROAD SIGNS
SCALE: NTS



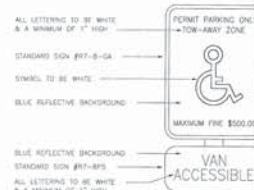
8 HANDICAP RAMP (TYP.)
SCALE: NTS



9 HANDICAP PARKING SPACE
SCALE: NTS

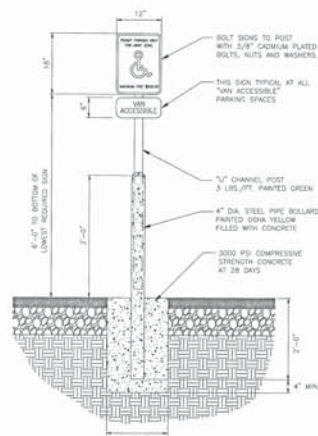


4 TYPICAL SIGNS
SCALE: NTS



- NOTES:
1. ALL SIGNS SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROLS, DEVICES (MUTCD) AND LOCAL CODES FOR COLOR, SIZE, REFLECTIVITY, AND HEIGHT.
 2. SIGNS TO BE PLACED AS SHOWN ON THE PLANS.
 3. FOR SIGNS NOT PROTECTED BY A STANDARD PARKING BUMPER OR BEHIND THE CURB PLATE STEEL POLE IN BOLLARD PER THE HANDICAP PARKING SIGN DETAIL.

5 HANDICAP PARKING SIGN (TYP.)
SCALE: NTS



FLOOR & DECOR
2500 WINDY RIDGE
FARMWAY, SE
ATLANTA, GA 30339

PROJECT NAME:
FLOOR & DECOR - SUMMERFIELD
APPLICATION TYPE: MAJOR SITE PLAN
FLOOR & DECOR

SBLM
SBLM Architects AA-0003434
33 West Midway Road
Suite 200A
Tomball, TX 77375
Tel: 281-363-5581
Fax: 281-363-5581

BY: J. SCHWAB & ASSOCIATES
REGISTERED PROFESSIONAL ARCHITECT
ARCHITECTS AT LARGE
SBLM Architects AA-0003434
Tomball, TX 77375
Tel: 281-363-5581
Fax: 281-363-5581

ccci
CONSTRUCTION CONSULTANTS, INC.
REGISTERED PROFESSIONAL ENGINEERS
AT LARGE
SBLM Architects AA-0003434
Tomball, TX 77375
Tel: 281-363-5581
Fax: 281-363-5581

THOMAS
THOMAS ENGINEERING GROUP
1000 W. ALBUQUERQUE AVE., SUITE 101
TAMPA, FL 33607
(813) 278-4100

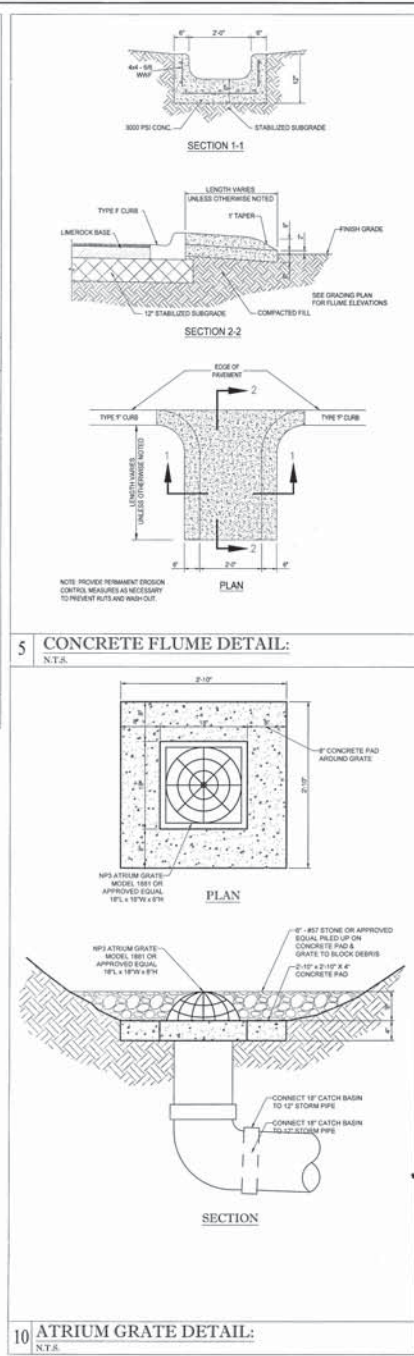
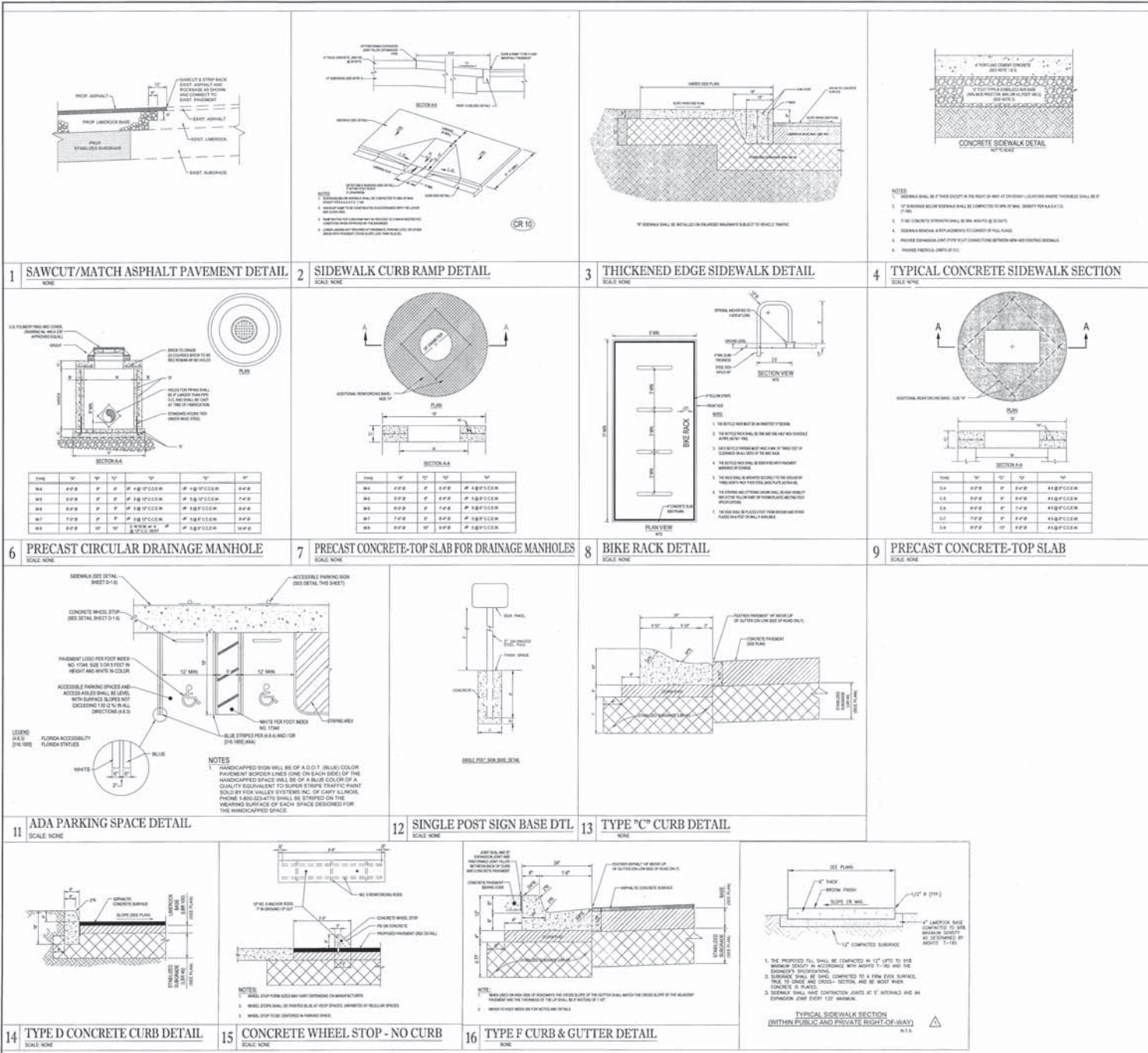
PROJECT: **FLOOR & DECOR**
LADY LAKE, FL

DATE: 06/04/2003
STAMP NUMBER: 1750
AREA: 14,746 S.F.
JOB NUMBER: 00000000000000000000
PROJECT: 2003-04

EDWARD M. McDONALD, P.E.
MIN. 5,000
FLORIDA LICENSE NO. 7818
FOR A FULL LIST OF PROJECTS, VISIT OUR WEBSITE AT: WWW.FLOORANDDECOR.COM

SITE
CONSTRUCTION
DETAILS

C-10.1



2700 WINDY RIDGE
PARKWAY, SE
ATLANTA, GA 30339

PROJECT NAME:
SLOVE & SLOVE SUBMITTED
APPLICATION FOR MAJOR SITE PLAN
PERMIT IN KIDZ USA-AGE

SBLM
SBLM Architects-0003434
31 West Whiteland Road
Suite 300A
Columbia, SC 29208
Phone: 803.733.5501
Fax: 803.733.5501

1. SLOVE & SLOVE ASSOCIATES
ARCHITECTS
1000 N. FORT MYERS AVE., SUITE 101
TAMPA, FL 33610
313.779-6100

PROJECT:

FLOOR DECOR
LADY LAKE, FL

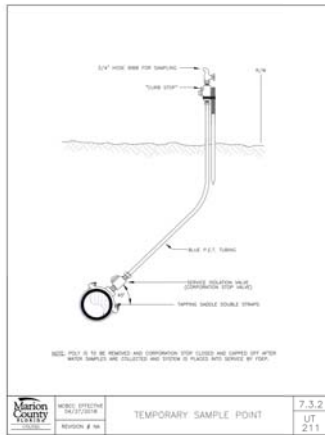
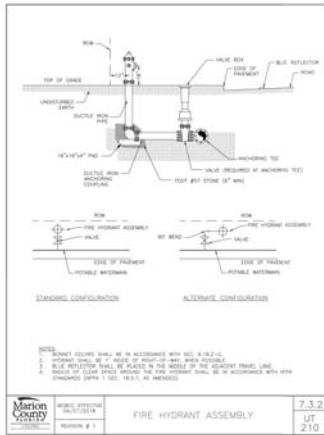
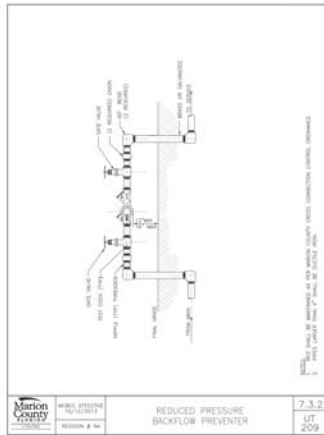
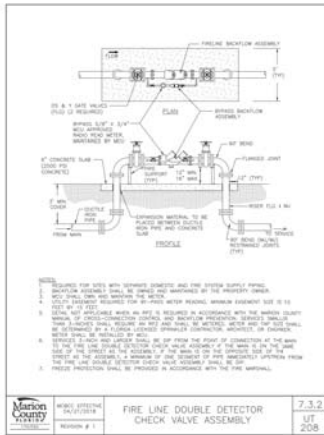
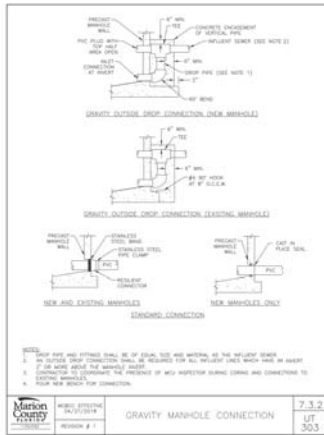
THIS IS SLOVE TERRACE, INC. SUBMITTED FOR
REVIEW AND APPROVAL BY THE
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT)

ISSUE DATE: 02/24/2023
SCALE: 1/8" = 1'-0"
JOB NUMBER: 2023-04

EDWARD M. MCKINLEY, P.E.
FLORIDA LICENSE NO. 71952
LADY LAKE BUSINESS CENTER, 1000 N. FORT MYERS AVE., SUITE 101
TAMPA, FL 33610
313.779-6100

SITE CONSTRUCTION DETAILS

C-10.3

[illegible]



Technical drawings of a 1/2 inch diameter ball. The top view shows a circular ball with a central hole. The side view shows the ball's profile with dimensions: total diameter 1/2 inch, hole diameter 1/8 inch, and hole depth 1/4 inch. The side view also shows the ball's length is 1/2 inch.

NOTES:

1. GROUP CONNECTIONS ARE REQUIRED WHENEVER HEIGHT OF RADIANT TUBES IS 24" OR MORE ABOVE THE SURFACE OF THE MASSIVE, SEE GROUP WAREHOUSE CONNECTION DETAIL 07310.
2. ECONOMY CODE DESIGN MAY BE USED FOR COMPACT CONNECTIONS WITH WELL APPROVED.
3. ALL CONNECTIONS SHALL BE DESIGNED TO RESIST ALL LOADS TO DIRECT REPLY AND FLOW STRESS.
4. LET ALL THROUGH GROUPS ARE NOT PERMITTED.
5. USE EXTENSIVE GROUP TO FACTOR WARP MASSIVE AROUND CLOSING JOINTS AND APPLY MAX JOINTS TO FACTOR TUBES TO EFFECTIVELY TIE, TIE IN GROUP JOINTS, GROUPS, ALL EXTENSIVE WARP SHOWN GROUPS SHALL BE REJECTED IN PERSON, ON THROUGH A WELL APPROVED METHOD, IF A WELL CONSTRUCTION REPRESENTATIVE.
6. RADIANT TUBES GROUP SHALL BE REQUIRED FOR ALL WAREHOUSES.
7. HAVE REASONABLE GROUPS MAY BE SUBSTITUTED FOR GROUPS GROUPS.
8. SECTION HEIGHTS MAY BE REQUIRED, AND BE AVAILABLE.

1. CLEARANCE OF 30" FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
2. AREAS SUPPORTING CONCRETE CURB OR SLAB SHALL BE PROPERLY COMPACTED.
3. TOP OF MANHOLE SHALL BE 1" ABOVE FINISHED GRADE, CROWN OF ADJACENT ROADWAY, OR 100 YEAR FLOOD ELEVATION, WHICHEVER IS GREATER.

Figure 1 is a schematic diagram of the proposed system, showing a horizontal beam with a central support. On the left, a 'BALANCE FLANGER' is connected to a 'CABLE' (labeled 'CABLE NOTE 1') and a 'CABLE NOTE 2'. On the right, a 'TOWER BASE' is connected to a 'CABLE' (labeled 'CABLE NOTE 3') and a 'CABLE NOTE 4'. A 'CABLE NOTE 5' is also shown. The diagram is labeled 'PLAN' at the bottom.

[illegible]

1. HEIGHT OF SERVICE LATERAL SHALL NOT EXCEED SEVEN FEET BELOW SPRING LINE.
2. WPI TO BE NO GREATER THAN 2-FOOT AND NO GREATER THAN 3-FOET.
3. SERVICE LATERAL ARE TO BE INSTALLED AT 45 DEGREE ANGLES.
4. SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY ETCHING OR STAMPING AN "X" IN THE GROUND SURFACE UNDER THE LATERAL, WHEN NO GROUND EXIST, LOCATION SHALL BE MARKED BY SPECIFICATION OF ADJACENT ROAD OR SIDEWALK.
5. BUILDER'S PLUMBER WILL MONITOR PLUMB, INSTALL, CLEANOUT, AND CONNECT SERVICE LATERAL TO HOUSE.
6. LATERAL SHALL BE INSTALLED AT THE PROPERTY LINE AND SET A MINIMUM OF 2" ABOVE THE FINISHED GRADE.
7. DURING CONSTRUCTION SERVICE LATERAL AND CLEANOUTS SHALL BE STUBBED OUT A MINIMUM OF 18" AND SHALL BE COVERED BY A 12" X 12" X 12" HIGH CONCRETE UTILITY. PROPERTY IS OWNED AND CONNECTION TO CENTRAL SEWER IS MADE.

FLOOR DECOR &
2500 WINDY RIDGE PARKWAY,
SE
ATLANTA, GA 30339

SBLM

SBM Architects
33 Wall Whitman Road
Suite 300A
Huntington Station, NY 11746
Telephone 631 683 5588
Fax 631 683 5591

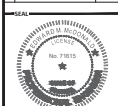


THOMAS ENGINEERING GROUP
1502 W. FLETCHER AVE., SUITE 101
TAMPA, FL 33612
(813) 379-4100

FLOOR DECOR
LADY LAKE, FLORIDA

TBD, US-442,
MARION COUNTY, FL 34492

ISSUE DATE: 12/14/22
STORE NUMBER: T.B.D.
TOTAL GROSS AREA: 64,946 SF
JOB NUMBER: TBD
PROTOTYPE: 2022 Q3

[illegible]

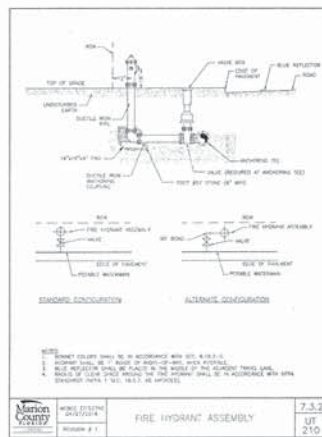
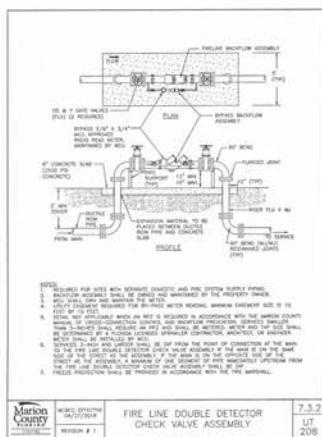
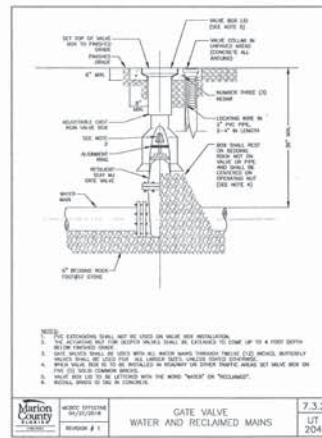
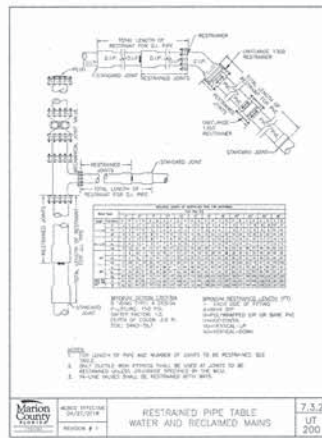
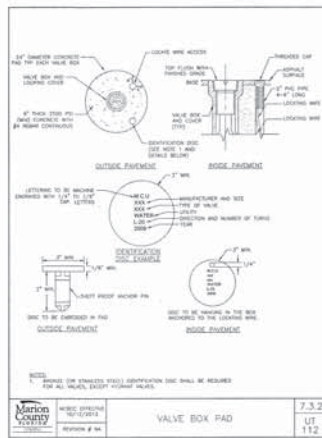
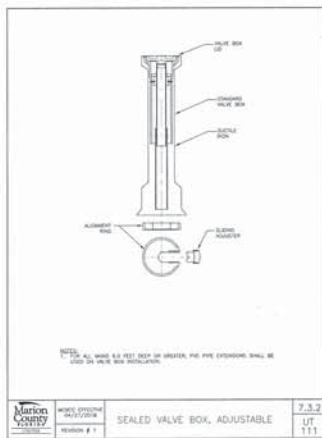
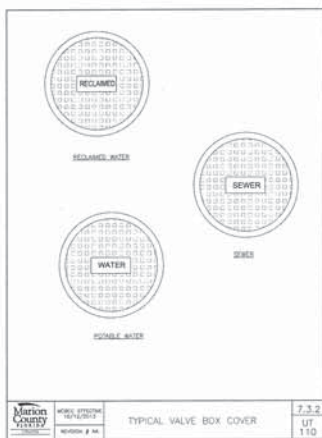
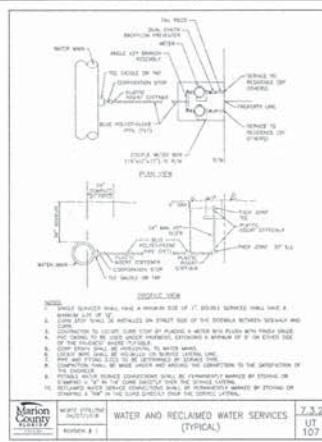
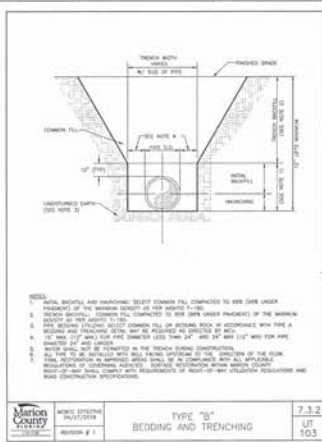
EDWARD M. McDONALD, P.E.
February 14, 2023
FLORIDA LICENSE No. 71615
FLORIDA BUSINESS CERT. OF AUTH. No. 27626

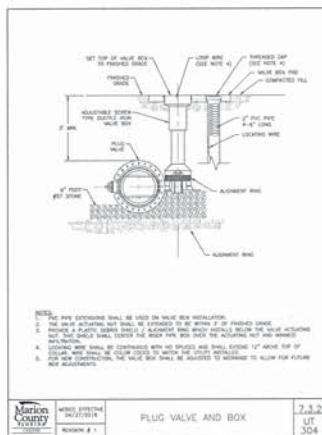
SHEET

SITE CONSTRUCTION DETAILS

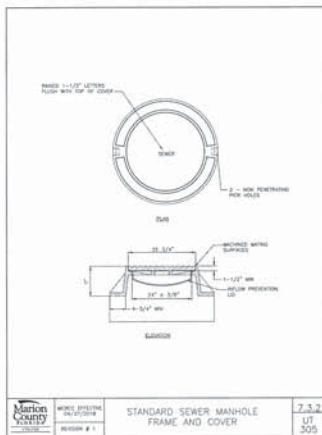
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CHECKED: EMM

C-10.5

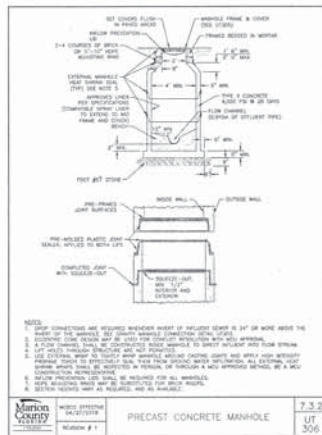




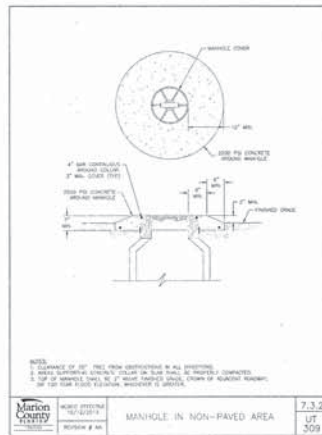
7.3.2	PLUG VALVE AND BOX	UT
304		



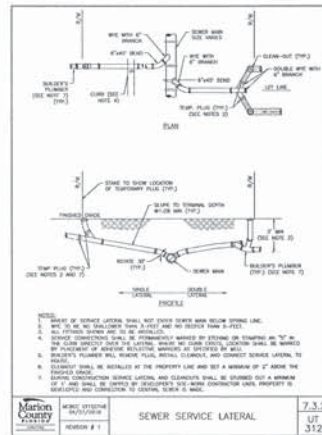
7.3.2	STANDARD SEWER MANHOLE	UT
305		



7.3.2	PRECAST CONCRETE MANHOLE	UT
306		



7.3.2	MANHOLE IN NON-PAVED AREA	UT
309		



7.3.2	SEWER SERVICE LATERAL	UT
312		

FLOOR & DECOR

2000 WINDY RIDGE
PARKWAY, SE
ATLANTA, GA 30339

PROJECT NAME:
JACKSON & SONS - SUMMERFIELD
LOCATION: 1100 SUMMERFIELD DRIVE
PARCEL ID: 0020 000 000

SBLM

33 West Windy Road
Suite 100A
Huntington Station, NY 11746
Telephone: 631 483 5088
Fax: 631 483 5081

V. STOKAN & ASSOCIATES
CONSULTING ENGINEERS
10000 BAYVIEW BLVD
SUITE 100
BAYVIEW, FL 33154
Phone: 305 444 1111
Fax: 305 444 1112

CCCI
CONSULTING ENGINEERS
10000 BAYVIEW BLVD
SUITE 100
BAYVIEW, FL 33154
Phone: 305 444 1111
Fax: 305 444 1112

THOMAS
THOMAS ENGINEERING GROUP
1100 N. FLETCHER AVE., SUITE 100
TAMPA, FL 33612
(813) 376-4000

PROJECT

FLOOR & DECOR

LADY LAKE, FL

1100 N. FLETCHER AVE., SUITE 100
TAMPA, FL 33612
(813) 376-4000

ISSUE DATE: 02/01/2013
STORY NUMBER: 1
AREA: 1
JOB NUMBER: 0020 000 000
PROTOTYPE: 2012 04

EDWARD M. McDONALD, P.E.
FLORIDA LICENSE NO. 11012
FLORIDA BOARD OF PROFESSIONAL ENGINEERS

C-11.1

PERIMETER PARKING BUFFER SHALL BE PROVIDED WITH SHRUBS TO FORM A THREE (3) FEET HEIGHT HEDGE WITHIN ONE YEAR OF PLANTING.

THE AREA BETWEEN LANDSCAPE SCREENING AND THE END OF PARKING STALL SHALL BE MULCHED AND CONTAIN NO VERTICAL IRRIGATION COMPONENTS.

REFER TO SHEET L-2.1 FOR LANDSCAPE SCHEDULE AND DETAILS, AND SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES.

PER MARION COUNTY CODE SECTION 6.8.11.2 INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY OF ALL MATERIALS, ISLAND AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.

PER MARION COUNTY CODE SECTION 6.8.12 UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

ALL AREAS LABELED AS SOD SHALL BE STENOTAPHRUM SECUNDATUM FLOREATUM - ST. AUGUSTINE GRASS, UNLESS OTHERWISE NOTED.

PROPOSED FLOOR & DECOR

64,361 SF FFE = 103.50 N.A.V.D.

FEMA MAP INFORMATION:

THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12010, PANEL NUMBER 090, SUPPLY D, EFFECTIVE AUGUST 28, 2008, FOR MARION COUNTY, FLORIDA.

DATUM NOTE:

BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011, FLORIDA WEST ZONE RESULTING IN A BEARING OF 548°13'18"W ALONG THE SOUTHEAST LINE OF THE SUBJECT PARCEL.

BENCHMARKS:

CONTROL BENCHMARK: STATION IS A NGS FLANGE ENCASED ROD (PID: D09598). THE MARK IS ABOUT 17.0 MALES SOUTHEAST OF SILVER SPRINGS, 5.0 MALES SOUTHWEST OF ORLANDO, 3.2 MALES WEST OF WERDSDALE, IN SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST. EL.: 63.97' (NAVD83)

TBM #1: STATION IS A NAIL AND DISK STAMPED "TBI LB-7652" LOCATED 66.00' SOUTHWEST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. EL.: 100.60' (NAVD83)

TBM #2: STATION IS A NAIL AND DISK STAMPED "TBI LB-7652" LOCATED 276.1' NORTHEAST OF THE WESTERMOST CORNER OF SUBJECT PARCEL. EL.: 100.32' (NAVD83)

PLANT SCHEDULE

PLANT	CODE	QTY	COMMON NAME	BOTANICAL NAME
ACCENT TREES				
CF2	14	Flowering Dogwood	Corvus florida	
LI	11	Crape Myrtle	Lagerstrœmia indica 'Tussock'	
LJ	9	Japanese Privet	Ligustrum japonicum	
RELOCATED TREES				
QV-R	1	Southern Live Oak	Quercus virginiana	
SHADE TREES				
IO	37	American Holly	Ilex opaca	
LM	17	Moraine Sweet Gum	Liquidambar styraciflua 'Moraine'	
MV	12	Southern Magnolia	Magnolia virginiana	
PO	15	Slash Pine	Pinus ellioti	
QV	14	Southern Live Oak	Quercus virginiana	
UA	12	Winged Elm	Ulmus alata	
SHRUBS				
IPM	144	Anise	Illicium parviflorum	
MVR	712	Wax Myrtle	Myrica cerifera	
POD	31	Shrubby Yew	Podocarpus macrophyllus maki	
VB	660	Water's Vitumnium	Viburnum nitidum	
SHRUB AREAS				
HNC	214	Dwarf Boule de Boule	Hematis patens 'Compacta'	
GROUND COVERS				
ARA	518	Perennial Peanut	Aeschia glabrata	
DTN	420	Dwarf Flax Lily	Diorella isomacra 'Nana'	
MUH	368	Pink Muhly Grass	Muhlenbergia capillaris	
MISCELLANEOUS				
PAS	25,671	Bahia Grass	Paspalum notatum	



SBLM

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33 West Whitman Road
Suite 200A
Tampa, FL 33605
Telephone: (813) 883-5085
Fax: (813) 883-5087



THOMAS
THOMAS ENGINEERING GROUP
1000 W. FLORISSA AVE., SUITE 100
TAMPA, FL 33613
(813) 370-4100

FLOOR DECOR
LADY LAKE, FLORIDA

TBD, US 441
MARION COUNTY, FL 34455

ISSUE DATE: 12/04/22
JOB NUMBER: 17-0-0
TOTAL GROSS AREA: 64,361 SF
JOB NUMBER: 170
PROTOTYPE: 2022 03

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/04/22
2	ISSUED FOR CONSTRUCTION	12/04/22
3	ISSUED FOR AS-BUILT	12/04/22
4	ISSUED FOR FINAL	12/04/22



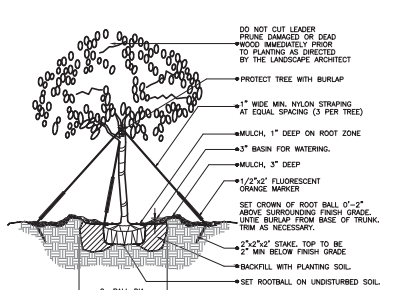
Michael D. Grossman
Professional Engineer
Florida License No. 18887

SHEET

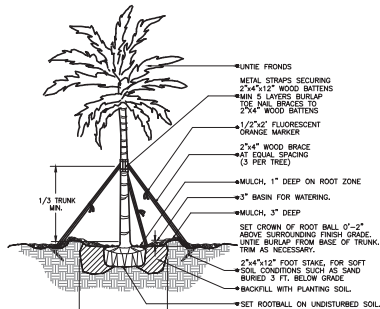
LANDSCAPE PLAN

DATE: 12/04/22

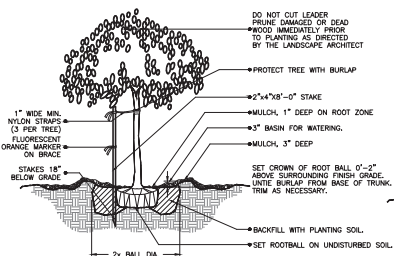
L-1.0



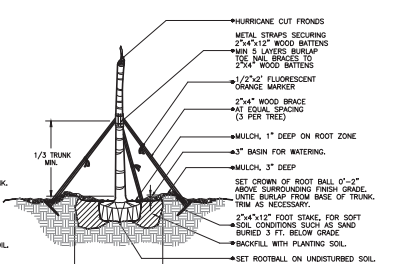
(2' cal. and over)
LARGE TREE PLANTING DETAIL



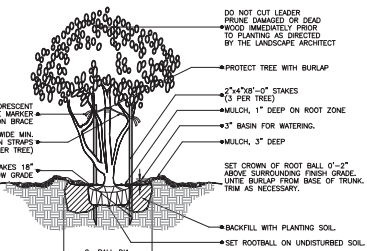
LARGE PALM PLANTING DETAIL



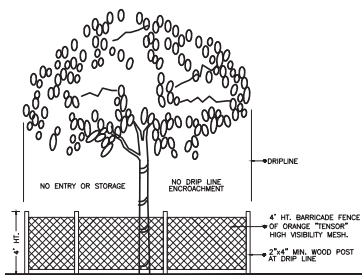
(2' cal. and under)
SMALL TREE PLANTING DETAIL



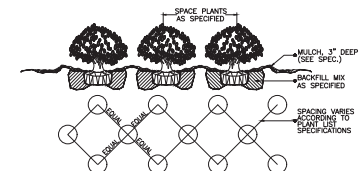
**CIGARED SABAL
PALM PLANTING DETAIL**



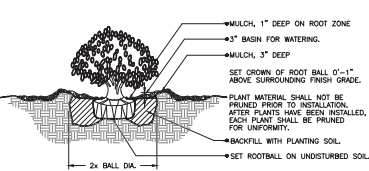
**MULTI- TRUNK AND SMALL TREE
(2' cal. and under) PLANTING DETAIL**



**TREE PRESERVATION
BARRICADE FENCING DETAIL**



**SHRUB / GROUNDCOVER
SPACING / PLANTING DETAIL**



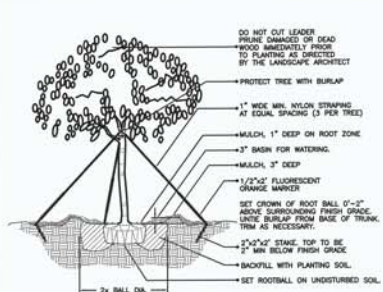
SHRUB PLANTING DETAIL

PLANT SCHEDULE

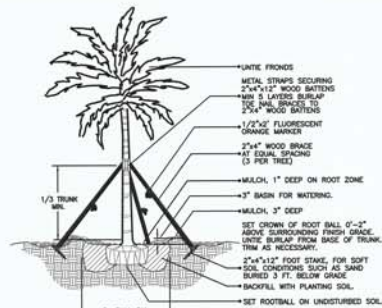
ACCENT TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
CF2	14	Flowering Dogwood	Cornus florida	15 gal	2" Cal	6' H.	4'	Yes	Hgh		
LI	11	Crape Myrtle	Lagerstroemia indica 'Tuskegee'	15 gal	2" Cal	6' H.	4'	No	Hgh		30" ct. Standard
LJ	9	Japanese Privet	Ligustrum japonicum	8 B & B	2" Cal	6' H.	4'	No	Hgh		
RELOCATED TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
DV-R	1	Southern Live Oak	Quercus virginiana	8 B & B					Yes	Hgh	5' CT
SHADE TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
IO	37	American Holly	Ilex opaca	8 B & B	3.5" Cal	12' H.	4'-5'	Yes	Hgh	5' ct	
LM	17	Mossy Sweet Gum	Liquidambar styraciflua 'Mortoni'	8 B & B	3.5" Cal	12-14' H.	4'-5'	Yes	Medium	5' CT	
MV	12	Southern Magnolia	Magnolia virginiana	8 B & B	3.5" Cal	12-14' H.	4'-5'	Yes	Medium	5' CT	
PD	15	Slash Pine	Pinus ellioti	8 B & B	3.5" Cal	12-14' H.	4'-5'	Yes	Hgh	5' ct Min.	
UV	14	Southern Live Oak	Quercus virginiana	8 B & B	3.5" Cal	12-14' H.	4'-5'	Yes	Hgh	5' CT	
UA	12	Winged Elm	Ulmus alata	8 B & B	3.5" Cal	12-14' H.	4'-5'	Yes	Hgh	5' CT	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
PM	144	Arise	Bloom pavlovskii	n/a	24"	24"	24"	Yes	Hgh	Full to base	
MY	712	Wax Myrtle	Myrica caroliniana	n/a	36"	36"	24-30"	Yes	Hgh	Full to base	
PDR	31	Shrubby Yew	Podocarpus macrophyllus 'mali'	n/a	24"	24"	24"	No	Medium	Full to base	
VB	650	Walter's Viburnum	Viburnum ovalatum	n/a	24"	24"	24"	Yes	Hgh	Full to base	
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
HAC	214	Dwarf Scarlet Bush	Hamelia patens 'Compacta'	n/a	20"	24"	18-24"	Yes	Hgh	Full to base	
GROUND COVER	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
ARA	518	Perennial Peanut	Arachis glabrata	n/a	12"	8"	8"	Yes	Hgh		
DTN	420	Dwarf Flax Lily	Diastelis tomentosa 'Nana'	n/a	16"	14-18"	10-12"	No	Hgh		
MDH	368	Pink Mundy Grass	Muhlenbergia capillaris	n/a	36"	14-18"	14-18"	Yes	Hgh	Full to base	
GRASSLANDS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
PAS	20,671 sf	Bahia Grass	Paspalum notatum	sod							

LANDSCAPE CODE COMPLIANCE CHART

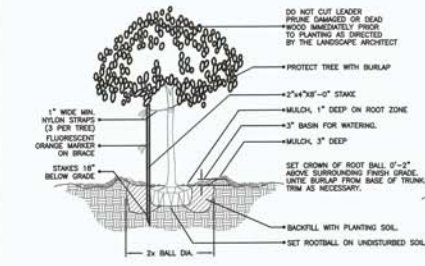
Floor & Decor Lady Lake - Marion County, Florida			
SITE AREA:	220,892 SQ. FT. (1.7-18 Acres)	SITE WORK AREA:	430 AC
LANDSCAPE AREA:	64,583 SQ. FT.	LANDSCAPE AREA:	64,583 SQ. FT. (22.3%)
LAND DEVELOPMENT CODE, ARTICLE 4 TECHNICAL STANDARDS, DIVISION 8 - LANDSCAPING			
Shade Trees:	Min. 3" Cal	Shrubs:	18" height
Groundcovers:	Min. 6" H. 3" spread	Groundcovers:	24" height max. 24"-36" spacing
Min. 10' x 10' x 10' shall be planted			
Sec. 8.7.1: Shade Trees	One shade tree per 3,000 square feet of developed site (required buffer and area trees may be counted). Preserved trees may be credited @ 2:1		
Sec. 8.8.1: Non-Residential Development	Min. 25% of developed area shall be landscaped	320,802 +/- 0.20	64,100 +/- 0.4
Sec. 8.8.2: Buffers	AC Common-Res: 110' linear feet (Overseeded PUG)		
1. 5' x 5' Buffers:	2' Shade Trees, 3' Accents @ 100' ft	4 ACENTS	3 TREES
2. 5' x 5' Buffers:	2' Shade Trees, 3' Accents @ 100' ft	58 SHRUBS/GCS	4 ACENTS/58 SHRUBS
3. 5' x 5' Buffers:	2' Shade Trees, 3' Accents @ 100' ft	14 ACENTS	9 TREES
4. 5' x 5' Buffers:	2' Shade Trees, 3' Accents @ 100' ft	225 SHRUBS/GCS	14 ACENTS/225 SHRUBS/GCS
Sec. 8.8.3: Type C Buffer:	Center Right of way		
12' wide	13 ACENTS	9 TREES	9 TREES
2' Shade Trees, 3' Accents @ 100' ft	13 TREES	207 SHRUBS/GCS	207 SHRUBS
Shrubs and groundcovers shall be 50%			
Sec. 8.8.7: Parking areas and vehicular use areas	Min. 5' with landscape area consisting of shrubs and gas		
a. One island of 200 sq ft @ 10' parking spaces	287 parking stalls	29 ISLANDS	61 ISLANDS
b. All trees shall be shade trees		61 TREES	61 TREES
c. All islands shall contain one tree, if possible, one or two second trees	61 ISLANDS	61 TREES	61 TREES
d. If all lighting features are disabled, one or two second trees			
e. If all island contains signage plant species in tree of shrub trees may be planted			
f. Shade medium min. 8' wide			
One shade tree @ 50' ft of median	154.34 F	4 TREES	4 TREES
Sec. 8.8.8: Building Landscaping	Landscape areas within 25' of building along 60% of total length of facade		
Min. 5' wide	1,094.49 LF	606.1 F	328.53 LF
Combination of Trees, palms, shrubs and gas			
Sec. 8.8.9: Service and equipment areas	2' wide and 3' height landscape screen		
6' height hedges for example areas			
Trees and shrubs 9' from any fire service connection			
All conditions away from public view min. height of 3'			
Sec. 8.9.1: Protected Tree Replacement calculations	Property owner must replace trees 10' to equal pre-development number of inches		
Trees 10' to 19' in height shall be replaced 2:1 DBH	NA	NA	NA
Min. 3.5" Cal replacement trees			
TOTAL TREES		107 TREES	107 TREES
MIN. 50% SHALL BE SHADE TREES	54/107 TREES	54/107 TREES	54/107 TREES
MAX. 50% OF SHADE TREES SHALL BE SAME SPECIES	54/107 TREES	54/107 TREES	54/107 TREES (MAX)
TOTAL HISTORY	31 ACENTS	31 ACENTS	31 ACENTS
TOTAL NATURAL	106 SHRUBS	106 SHRUBS	106 SHRUBS
***** twenty-two (22) additional trees required per SEC. 8.7.1			
***** these accounts meeting both tree sized requirement			



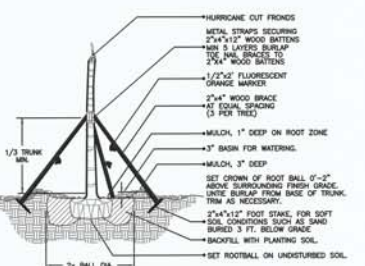
(2' cal. and over)
LARGE TREE PLANTING DETAIL



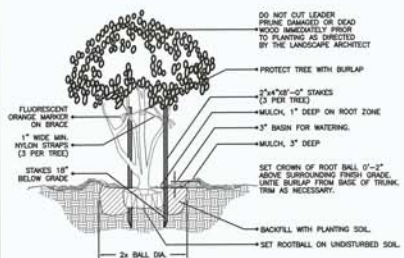
LARGE PALM PLANTING DETAIL



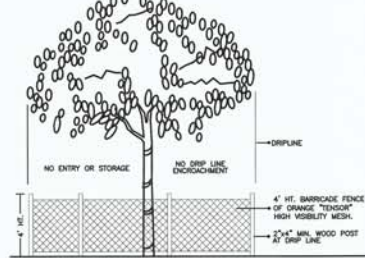
(2' cal. and under)
SMALL TREE PLANTING DETAIL



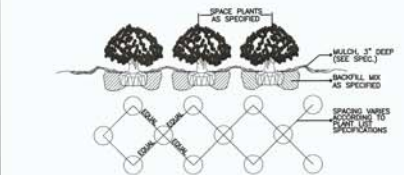
CIGARED SABAL
PALM PLANTING DETAIL



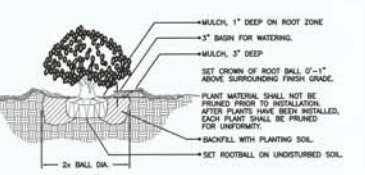
MULTI- TRUNK AND SMALL TREE
(2' cal. and under) PLANTING DETAIL



TREE PRESERVATION
BARRICADE FENCING DETAIL



SHRUB / GROUNDCOVER
SPACING PLANTING DETAIL



SHRUB PLANTING DETAIL

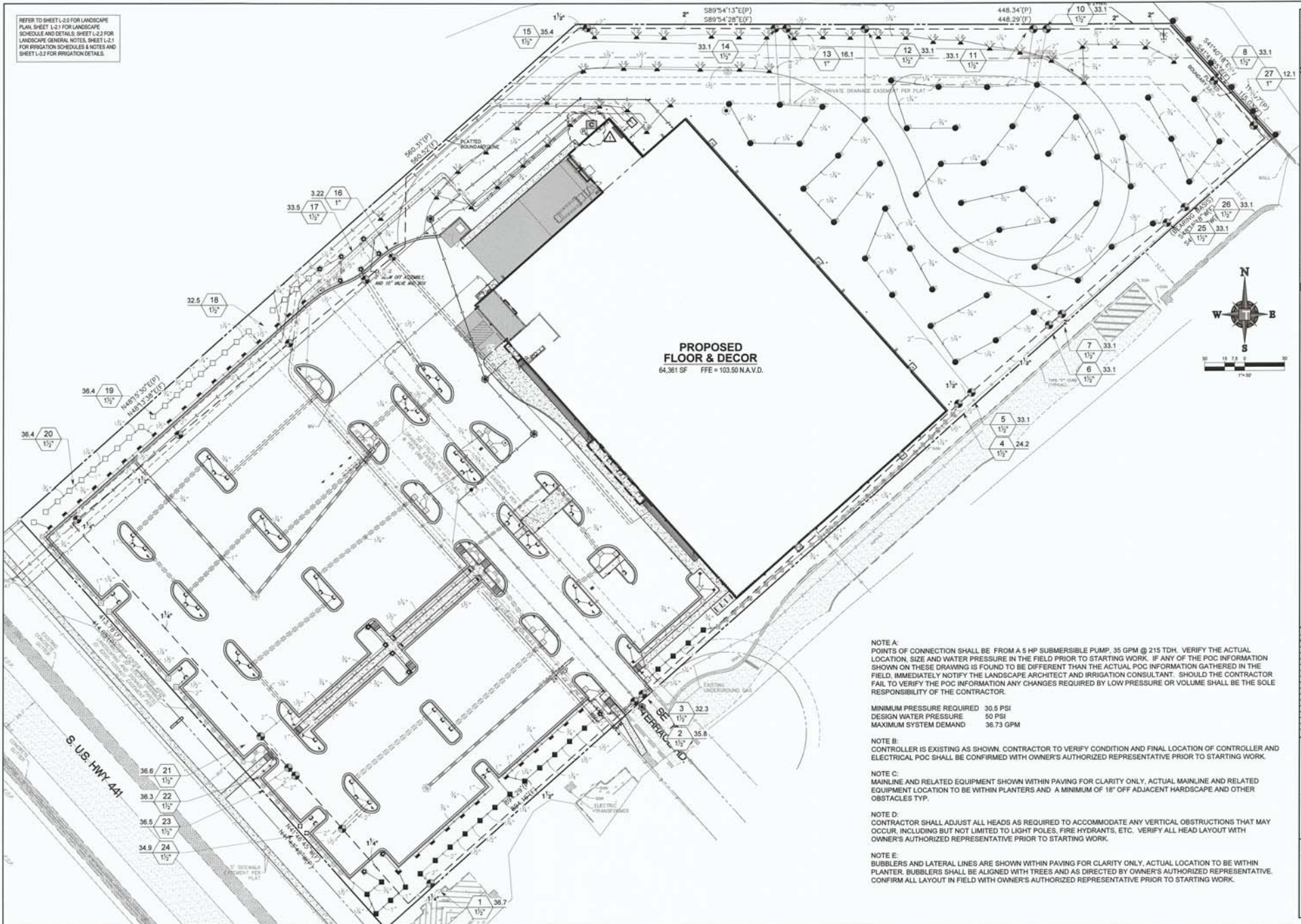
PLANT SCHEDULE

ACCENT TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALIBER	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
○	CP2	17	Flowering Dogwood	Cornea florida	10 gal	2" Cal	8' H.	4'	Yes	Hgh	
○	LI	17	Crape Myrtle	Lagerstroemia indica "Tusilage"	10 gal	2" Cal	8' H.	4'	No	Hgh	30' at Standoff
○	LJ	14	Japanese Privet	Ligustrum japonicum	0.8 B	2" Cal	8' H.	4'	No	Hgh	
○	QV-R	1	Southern Live Oak	Quercus virginiana	0.8 B				Yes	Hgh	5' CT
SHADE TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALIBER	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
○	JO	37	American Holly	Ilex opaca	0.8 B	3.5" Cal	12' H.	4'-5'	Yes	Hgh	5' H
○	LM	17	Morone Sweet Gum	Liquidambar styraciflua "Morone"	0.8 B	3.5" Cal	12-14' H.	4'-5'	Yes	Medium	5' CT
○	MY	12	Southern Magnolia	Magnolia virginiana	0.8 B	3.5" Cal	12-14' H.	4'-5'	Yes	Medium	2' CT
○	PD	15	Slash Pine	Pinus ellisii	0.8 B	3.5" Cal	12-14' H.	4'-5'	Yes	Hgh	5' at Min.
○	QV	14	Southern Live Oak	Quercus virginiana	0.8 B	3.5" Cal	12-14' H.	4'-5'	Yes	Hgh	5' CT
○	UA	12	Winged Elm	Ulmus alata	0.8 B	3.5" Cal	12-14' H.	4'-5'	Yes	Hgh	5' CT
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
○	PM	144	Arise	Bolton panicum	1/4"	24"	24"	24"	Yes	Hgh	1/4" to base
○	MYR	715	Wax Myrtle	Myrica cerifera	1/4"	30"	30"	24-30"	Yes	Hgh	1/4" to base
○	POD	31	Shrubby Yew	Podocarpus macrophyllus mini	1/4"	24"	24"	24"	No	Medium	Full to base
○	VB	650	Valer's Viburnum	Viburnum obtusatum	1/4"	24"	24"	24"	Yes	Hgh	Full to base
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
○	HAC	214	Dwarf Scarlet Bush	Hamelia patens "Compact"	1/4"	20"	24"	18-24"	Yes	Hgh	Full to base
○	JAS	763	Southern Wax Jasmine	Jasminum strabocephalum	1/4"	24"	20"	18"	No	Medium	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
○	ANA	567	Perennial Peanut	Arachis glabra	1/4"	12"	8"	8"	Yes	Hgh	
○	DTN	1,063	Dwarf Flax Lily	Diella leiantha "Nana"	1/4"	18"	14-18"	10-12"	No	Hgh	
○	MAH	763	Pink Mundy Grass	Muhlenbergia capillaris	1/4"	30"	14-18"	14-18"	Yes	Hgh	Full to base
VERBENACEAE	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERC	REMARKS
○	PAS	25,871	Stella Grass	Paspalum notatum	1/4"						

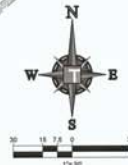
LANDSCAPE CODE COMPLIANCE CHART

Floor & Decor Lady Lake - Marion County, Florida			
SITE AREA:	220,892.50 SQ. FT. (11.73 AC)	NET WORK AREA:	4,931 AC
BUILDING AREA:	84,381 sq. ft.	LANDSCAPE AREA:	95,542 (44.23%)
LAND DEVELOPMENT CODE, ARTICLE 4 TECHNICAL STANDARDS, DIVISION 4 LANDSCAPING			
Tree Type:	Min. 3.5" Cal	10' height	
Shrub Type:	Min. 6" H, 3" S spread	Groundcovers: 24" height max. 24"-30" spacing	
Grass:	Min. 10" x 10" what be plants		
Sec. 4.7.1.1: Shade Trees			
One shade tree per 5,000 square feet of developed site (required buffer and tree lines may be counted). Preserved trees may be credited @ 2:1			
	20% of developed area shall be landscaped	300,000 ± 0.25	64,120.4 ft
Sec. 4.7.1.2: Non-Residential Development			
	Min. 20% of developed area shall be landscaped	300,000 ± 0.25	64,120.4 ft
Sec. 4.7.1.3: Buffers			
a. Type A Buffer:			
30' wide buffer with wall of height:			
2 Shade Trees, 3 Accents @ 100' ±			
(Shrubs and groundcovers shall be 50% (min. 10' wide)			
b. Type B Buffer:			
10' wide			
2 Shade Trees, 3 Accents @ 100' ±			
(Shrubs and groundcovers shall be 50% (min. 10' wide)			
c. Type C Buffer:			
10' wide			
2 Shade Trees, 3 Accents @ 100' ±			
(Shrubs and groundcovers shall be 50% (min. 10' wide)			
Sec. 4.7.1.4: Parking areas and outdoor use areas			
a. 5' wide (minimum) area consisting of shrubs and grass			
Min. 2' height hedge			
b. One island of 200 sq. ft. @ 10' parking spaces			
c. Trees within parking areas			
* All trees shall be shade trees			
* All shrubs shall contain one tree, if double tree lines			
* If all lighting fixtures are proposed, one or two accent trees			
* If island contains signage palm species in line of shade trees may be planted			
f. Shrub median min. 8' wide			
One shade tree @ 50' ± of median			
Sec. 4.7.1.5: Building Landscaping			
Landscaping areas within 20' of building along 100' of side length of facade			
Min. 1' wide			
Combination of Trees, palms, shrubs and grass			
Sec. 4.7.1.6: Service and equipment areas			
3' wide and 2' height landscape screen			
If height hedge for computer areas			
Trees and shrubs 8' from any fire service connection			
All conditions view from public view with min. height of 3'			
Sec. 4.7.1.7: Protected Tree Replacement requirements			
Property owner shall replace trees to equal pre-development number of inches			
Trees of 10 inches - 10 inches shall be replaced 2" - 1" DBH			
Min. 3.5" Cal replacement trees			
Includes acreage clearing toward tree stand requirements			
TOTAL TREES			
MIN. 50% SHALL BE SHADE TREES			
MAX. 50% OF SHADE TREES SHALL BE SAME SPECIES			
TOTAL UNIFORM			
TOTAL SHRUBS			

REFER TO SHEET L-2.0 FOR LANDSCAPE PLAN, SHEET L-2.1 FOR LANDSCAPE SCHEDULE AND DETAILS, SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES, SHEET L-2.3 FOR IRRIGATION SCHEDULES & NOTES AND SHEET L-2.4 FOR IRRIGATION DETAILS.



**PROPOSED
FLOOR & DECOR**
64,361 SF FFE = 103.50 N.A.V.D.



NOTE A:
POINTS OF CONNECTION SHALL BE FROM A 5 HP SUBMERSIBLE PUMP, 35 GPM @ 215 TDH. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

MINIMUM PRESSURE REQUIRED 30.5 PSI
DESIGN WATER PRESSURE 50 PSI
MAXIMUM SYSTEM DEMAND 36.73 GPM

NOTE B:
CONTROLLER IS EXISTING AS SHOWN. CONTRACTOR TO VERIFY CONDITION AND FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
MAINLINE AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE AND RELATED EQUIPMENT LOCATION TO BE WITHIN PLANTERS AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.

NOTE D:
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:
BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER. BUBBLERS SHALL BE ALIGNED WITH TREES AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

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REFER TO SHEET L-2.1 FOR LANDSCAPE
SCHEDULE AND DETAILS, AND SHEET L-2.2
FOR LANDSCAPE GENERAL NOTES.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1806-PRS 15 Drop Series Turf Spray 6" pop-up with pressure regulator.	27	30
	Rain Bird 1806-PRS 8 Series MPR Turf Spray 6" pop-up with pressure regulator.	71	30
	Rain Bird 1806-PRS 12 Series MPR Turf Spray 6" pop-up with pressure regulator.	61	30
	Rain Bird 1806-PRS 15 Series MPR Turf Spray 6" pop-up with pressure regulator.	43	30
	Rain Bird 1806-PRS ADJ Turf Spray 6" pop-up with pressure regulator.	54	30
	Rain Bird 5006-AMPR 25 Turf Rotor, 6" pop-up, matched precipitation rotor, arc and radius as per symbol. 25 ft. long, 30 ft. long, 35 ft. long	4	35
	Rain Bird 5006-AMPR 30 Turf Rotor, 6" pop-up, matched precipitation rotor, arc and radius as per symbol. 25 ft. long, 30 ft. long, 35 ft. long	2	35
	Rain Bird 5006-AMPR 35 Turf Rotor, 6" pop-up, matched precipitation rotor, arc and radius as per symbol. 25 ft. long, 30 ft. long, 35 ft. long	50	35
	Rain Bird 3500-S 1.0 Shrub Rotor adjustable and full circle	22	25 0.77 20'
	Rain Bird 3500-S 1.5 Shrub Rotor adjustable and full circle	6	25 1.06 22'
	Rain Bird 3500-S 2.0 Shrub Rotor adjustable and full circle	1	25 1.4 27'
	Rain Bird 3500-S 3.0 Shrub Rotor adjustable and full circle	13	25 2.17 28'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird KCC-100-PRF-BF Drip Control Kit, 1" (25mm) DV valve, 1" (25mm) pressure regulating back flush filter.	2	
	Rain Bird MDC/CAP Dripless Flush Valve cap in compression fitting coupler.	2	
	Rain Bird AR Valve Kit 1" Air Relief Valve kit with 6" drip valve box.	2	
	Area to Receive Dripless Flush Valve (TLV-18) Landscape Dripless Flush Valve with 0.5 gph emitters at 18" (4.5 m) with check valve, pressure compensation, 14 Type 100, 1/2 SOD max. (1 to 3.5 bar). Dripless laterals spaced at 18" (4.5 m) apart, with emitters offset for triangular pattern.	684.8	s.f.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird ESP/MSM2 w/ (2) ESP/MSM12 36 Station, Traditionally-Wired, Commercial Controller, (1) ESP/MSM2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure w/ (2) ESP/MSM12 - 12-Station Expansion Modules.	1	
	Rain Bird RSD-BEV Rain Sensor, with bracket, extension wire.	1	
	Point of Connection 5" 5 hp Submersible Pump (38 GPM, 215TDH, 50 PSI), 5" cased Well.	1	
	Irrigation Lateral Line: PVC Class 160 SDR 26	7,938	l.f.
	Irrigation Mainline: PVC Class 200 SDR 21	2,366	l.f.
	Pipe Sleeve: PVC Schedule 80 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	1,278	l.f.



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	PIPE	WIRE	DESIGN PSI	FRICTION LOSS	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1-1/2"	Turf Spray	36.73	14	222.3	1.175	30	2.92	36.5	46.7	1.01 in/h
2	Rain Bird PEB	1-1/2"	Turf Spray	36.78	17	252.7	1.250	30	3.1	36.0	46.5	1.08 in/h
3	Rain Bird PEB	1-1/2"	Turf Spray	32.25	20	262.7	1.347	30	2.18	35.8	43.9	0.93 in/h
4	Rain Bird PEB	1-1/2"	Turf Spray	24.15	23	208.9	823.0	30	2.84	36.7	40.5	0.78 in/h
5	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	240.1	912.2	35	2.71	41.3	44.4	0.58 in/h
6	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	186.0	942.6	35	2.38	40.9	42.9	0.57 in/h
7	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	250.4	822.2	35	2.89	41.6	43.5	0.53 in/h
8	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	186.4	942.6	35	2.22	40.8	41.3	0.55 in/h
10	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	178.0	418.9	35	2.17	40.7	41.4	0.56 in/h
11	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	218.7	408.8	35	2.57	41.1	41.9	0.55 in/h
12	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	228.6	282.1	35	2.92	41.5	43.0	0.54 in/h
13	Rain Bird PEB	1"	Shrub Rotor	16.09	15	330.4	223.3	25	2.8	30.1	30.5	0.21 in/h
14	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	193.5	214.6	35	2.3	40.9	42.7	0.57 in/h
15	Rain Bird PEB	1-1/2"	Shrub Rotor	36.42	26	679.5	214.6	25	8.4	35.8	36.6	0.22 in/h
16	Rain Bird KCC-100-PRF-BF	1"	Area for Dripless	3.22		304.1	457.0	40	4.28	44.3	44.3	0.45 in/h
17	Rain Bird PEB	1-1/2"	Turf Spray	33.48	27	787.0	453.9	30	4.91	43.5	48.6	0.9 in/h
18	Rain Bird PEB	1-1/2"	Turf Spray	32.51	11	160.4	558.0	30	1.9	35.5	40.7	1.09 in/h
19	Rain Bird PEB	1-1/2"	Turf Spray	36.35	16	209.4	666.1	30	2.4	35.9	43.4	1.18 in/h
20	Rain Bird PEB	1-1/2"	Turf Spray	36.35	16	209.1	785.0	30	2.39	35.9	50.8	1.17 in/h
21	Rain Bird PEB	1-1/2"	Turf Spray	36.63	34	708.2	684.0	30	3.56	37.1	46.1	1.01 in/h
22	Rain Bird PEB	1-1/2"	Turf Spray	36.31	42	368.3	1.016	30	3.21	36.8	54.9	1.02 in/h
23	Rain Bird PEB	1-1/2"	Turf Spray	36.48	21	253.6	1.024	30	2.52	36.1	54.5	1.05 in/h
24	Rain Bird PEB	1-1/2"	Turf Spray	34.94	44	826.2	1.077	30	5.79	39.3	47.2	0.95 in/h
25	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	182.6	717.8	35	2.78	41.3	42.8	0.54 in/h
26	Rain Bird PEB	1-1/2"	Turf Rotor	33.1	5	211.0	699.0	35	2.48	41.0	42.4	0.6 in/h
27	Rain Bird PEB	1"	Turf Rotor	12.1	8	125.1	2.356	35	2.46	39.5	40.2	0.31 in/h

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN/WEEK	MIN/WEEK	GAL/WEEK	GAL/DAY
1	Rain Bird PEB	Turf Spray	1.01 in/h	1	80	2,204	
2	Rain Bird PEB	Turf Spray	1.08 in/h	1	56	2,004	
3	Rain Bird PEB	Turf Spray	0.93 in/h	1	65	2,096	
4	Rain Bird PEB	Turf Spray	0.78 in/h	1	79	1,908	
5	Rain Bird PEB	Turf Rotor	0.58 in/h	1	133	3,408	
6	Rain Bird PEB	Turf Rotor	0.57 in/h	1	106	3,509	
7	Rain Bird PEB	Turf Rotor	0.53 in/h	1	114	3,773	
8	Rain Bird PEB	Turf Rotor	0.55 in/h	1	110	3,641	
10	Rain Bird PEB	Turf Rotor	0.56 in/h	1	118	3,379	
11	Rain Bird PEB	Turf Rotor	0.55 in/h	1	109	3,608	
12	Rain Bird PEB	Turf Rotor	0.54 in/h	1	112	3,707	
13	Rain Bird PEB	Shrub Rotor	0.21 in/h	1	287	4,618	
14	Rain Bird PEB	Turf Rotor	0.57 in/h	1	106	3,509	
15	Rain Bird PEB	Shrub Rotor	0.22 in/h	1	273	9,070	
16	Rain Bird KCC-100-PRF-BF	Area for Dripless	0.45 in/h	0.75	100	322	
17	Rain Bird PEB	Turf Spray	0.8 in/h	1	76	2,545	
18	Rain Bird PEB	Turf Spray	1.09 in/h	1	55	1,788	
19	Rain Bird PEB	Turf Spray	1.18 in/h	1	51	1,854	
20	Rain Bird PEB	Turf Spray	1.17 in/h	1	52	1,890	
21	Rain Bird PEB	Turf Spray	1.01 in/h	1	60	2,198	
22	Rain Bird PEB	Turf Spray	1.02 in/h	1	59	2,142	
23	Rain Bird PEB	Turf Spray	1.05 in/h	1	58	2,116	
24	Rain Bird PEB	Turf Spray	0.95 in/h	1	64	2,236	
25	Rain Bird PEB	Turf Rotor	0.54 in/h	1	113	3,740	
26	Rain Bird PEB	Turf Rotor	0.6 in/h	1	100	3,310	
27	Rain Bird PEB	Turf Rotor	0.31 in/h	1	191	2,311	
	TOTALS:				2,687	77,691	

CRITICAL ANALYSIS

Generated:	2023-05-03 15:17
P.O.C. NUMBER: 01	
Water Source Information:	5 hp Submersible Pump (38 GPM, 215TDH, 50 PSI), 5" cased Well.
FLOW AVAILABLE	
Point of Connection Size:	5"
Flow Available:	318.75 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	55 PSI
Pressure Available:	55 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	36.73 GPM
Flow Available at POC:	318.75 GPM
Residual Flow Available:	282.02 GPM
Critical Station:	22
Design Pressure:	30 PSI
Friction Loss:	2.92 PSI
Fittings Loss:	0.29 PSI
Elevation Loss:	0 PSI
Loss through Valve:	3.54 PSI
Pressure Req. at Critical Station:	36.8 PSI
Loss for Friction:	1.65 PSI
Loss for Main Line:	16.5 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	0 PSI
Critical Station Pressure at POC:	54.9 PSI
Pressure Available:	55 PSI
Residual Pressure Available:	0.58 PSI

IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. THOMAS ENGINEERING GROUP RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
- CONTRACTOR TO RECERTIFY EXISTING PUMP AND PVB IF APPLICABLE.

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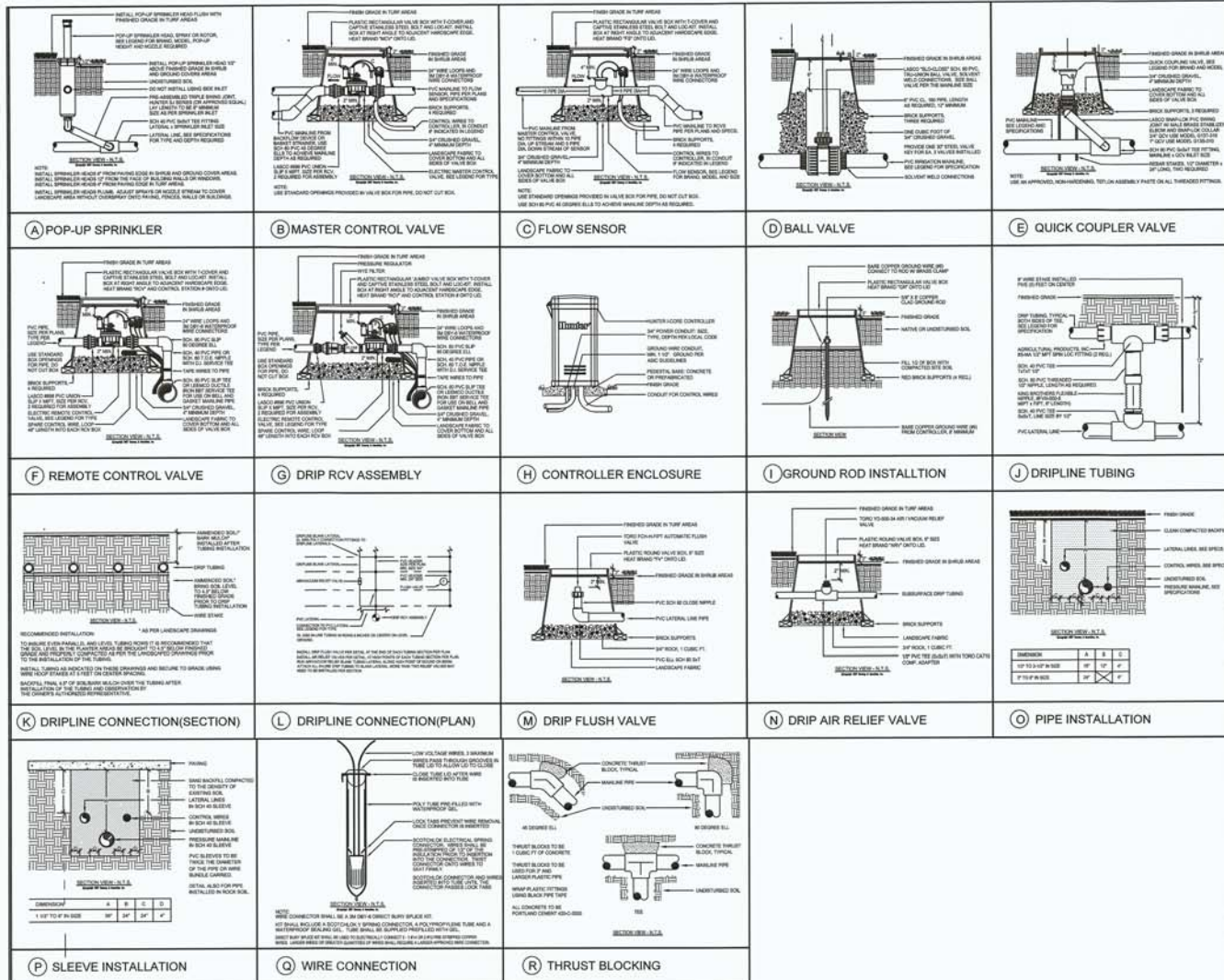
TEL: 352.461.1111
MARKING COUNTY, FL 34401
ISSUE DATE: 12/16/23
TOTAL SHEETS: 44, 44.02
JOB NUMBER: 1902
PROJECT: 2023.03

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/16/23
2	ISSUED FOR PERMIT	12/16/23
3	ISSUED FOR PERMIT	12/16/23
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42	ISSUED FOR PERMIT	12/16/23
43	ISSUED FOR PERMIT	12/16/23
44	ISSUED FOR PERMIT	12/16/23

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L-2.1



NOTE: DISCHARGE PIPES & HEADERS TO IRRIGATION MAIN SHALL BE SCHED 40 GALVANIZED STEEL PIPE WITH GALV. ROLL GROOVE FITTINGS. PUMP DROP PIPE SHALL BE WPOE HEAT TREATED OR SCHED 40 GALV. STEEL. SET PUMP 60" ON 2" PIPE. INSTALL MOTOR CABLE SPLICE BETWEEN MOTOR AND CONTROL PANEL IN NEMA 4X JUNCTION BOX ADJACENT TO WELL IN ACCORDANCE WITH ELECTRICAL CODES.

WELL DRILLER SHALL NOTIFY THE PUMP SYSTEM MANUFACTURER IN WRITING WITHIN 24 HOURS OF DEVELOPING THE WELL IF THE WELL PUMPING LEVEL IS GREATER THAN 50' BELOW FINISHED GRADE AFTER 8 HOURS OF CONTINUOUS PUMPING AT 1/2 GPM OF THE DESIGN FLOW BELOW.

PROVIDE MINIMUM OF 4" CLEARANCE ON ALL SIDES OF PUMP SYSTEM

* OPTIONAL FEATURES ARE INCLUDED IF MARKED WITH AN "X"

8 VARIABLE FREQUENCY DRIVE

1 IRRIGATION CONTROLLER - STATIONS, WITH RAIN SENSOR ON 8" POLE

1 PRESSURE TANK FOR PRESSURE DEMAND SYSTEM

SAFETY FEATURES:

- CLOCK START
- LOSS OF PRIME
- OVERHEAT
- TRANSIENT SURGE

MAINTAIN 3/8" CLEARANCE IN FRONT OF CONTROL PANEL AND 4" ALL SIDES OF PUMP SYSTEM.

1 5" x 8" FIBERGLASS REINFORCED ENCLOSURE, FOREST GREEN GELCOAT FINISH

2 5.5 1/2" x 5.5 1/2" REINFORCED CONCRETE PAD (4" THICK)

3 JUNCTION BOX WITH 110VAC POWER AND PUMP START CIRCUIT FOR CUSTOMER FURNISHED AND INSTALLED IRRIGATION CONTROLLER

4 WELL SEAL

5 WELL, JUNCTION BOX & DISCHARGE PIPE

6 SUBMERSIBLE PUMP MOTOR ASSEMBLY 5 HP (NOT SHOWN)

7 CHECK VALVE

8 GALV. STEEL DISCHARGE

9 VARIABLE FREQUENCY DRIVE

10 FLOW METER OUTSIDE ENCLOSURE ON DISCHARGE

11 PRESSURE TRANSDUCER

12 CONTROL PANEL ASSEMBLY AS LISTED MAINTAIN 4" CLEARANCE MOUNTED ON BACK OF ENCLOSURE

13 DISCHARGE VALVE

14 1" x 3/8" PVC SCH 40 GROOVED NIPPLE FOR FOR TE-IN TO IRRIGATION MAINLINE

15 LOCKABLE HANDLE

PLAN VIEW NTS

ELECTRIC SERVICE TO BE, IN ORDER OF PREFERENCE:

480V 3-PHASE, 230V CLOSED-DELTA 3-PHASE, 208 VYE 3-PHASE, 230 1-PHASE, 208V 1-PHASE, 230 OPEN-DELTA 3-PHASE

PUMP PERFORMANCE:

55 GPM @ 215 TCM, 50 PSI DISCHARGE PRESSURE

MINIMUM FLOW 12 GPM

HOOVER PUMPING MODEL: HSF-SCSV-208/1-M.V.2

FILE: PH14553.DWG 07/28/17

Pompano Beach, Florida, Tel: 954-971-7350

SUBMERSIBLE PUMP SYSTEM DETAIL

FIBERGLASS ENCLOSED SINGLE WELL SUCTION

VARIABLE FREQUENCY DRIVE (VFD) CLOCK START

HOOVER GREEN

S SUBMERSIBLE PUMP (OR APPROVED EQUAL)

FLOOR & DECOR

205 WINDY ROAD PARKWAY
ATLANTA, GA 30328

SBLM

SBLM Architects
11111 N. 111th St.
Suite 300A
Tampa, FL 33613
Phone: 813 683 5588
Fax: 813 683 2001

THOMAS

THOMAS ENGINEERING GROUP
1402 N. ALPHONSE AVE., SUITE 100
TAMPA, FL 33613
(813) 376-4100

FLOOR & DECOR

LADY LAKE, FLORIDA

7801 US HWY.
NARROW COUNTY, FL 34881

SALE DATE: 12/24/12
TOTAL GROSS AREA: 12.5
TOTAL GROSS AREA: 64,616 SF
JOB NUMBER: 7801
PROTOTYPE: 2012 01

LANDSCAPE SCHEDULE & DETAILS

DRAWN: JRM
CHECKED: JRM

L-2.2

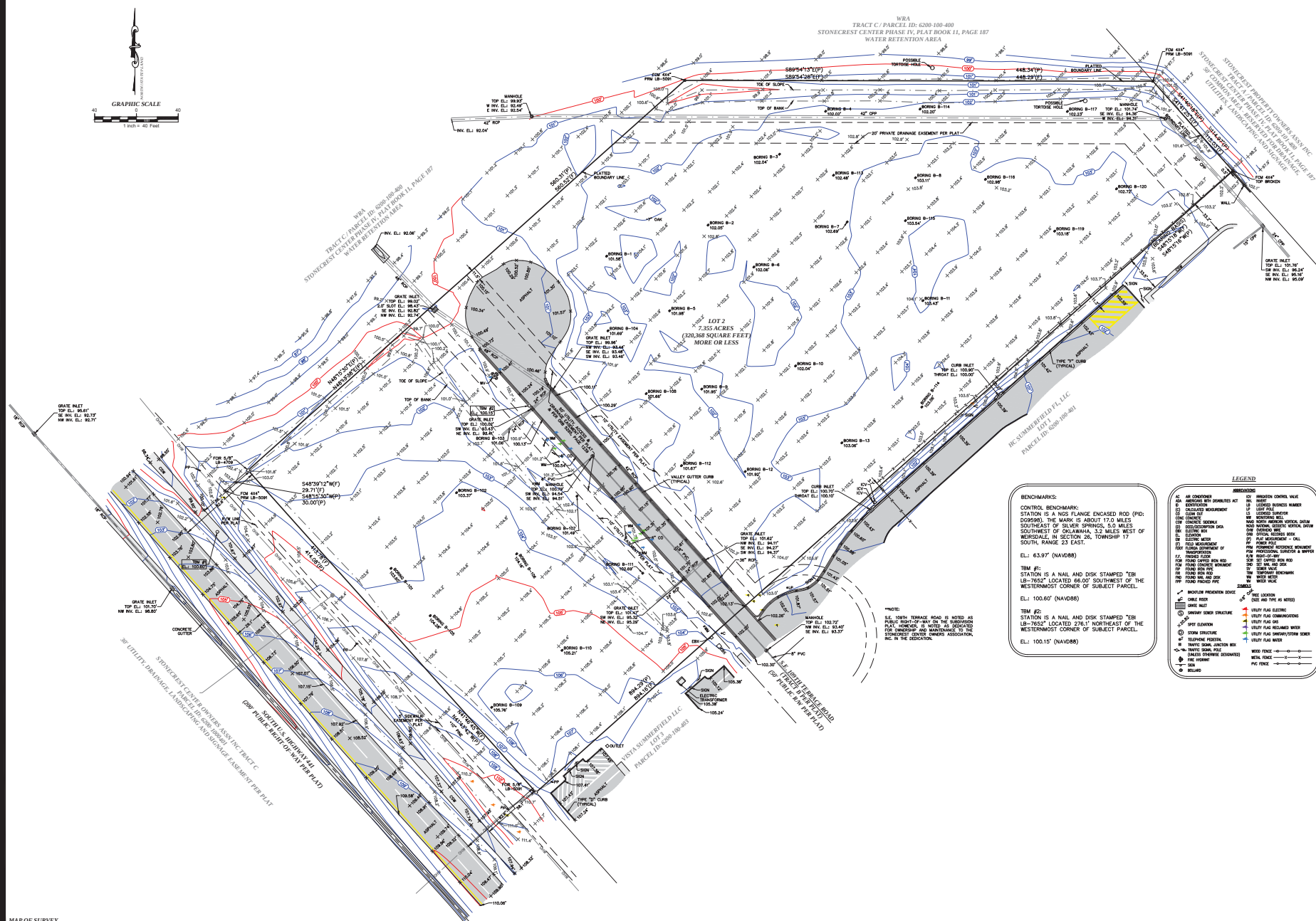
Existing Lighting Survey Notes

- Readings are shown in units of maintained footcandles.
- Total Light Loss Factor (LLF) = Estimated to accurately reflect measured light level calculations
- Test Plane = 5' AFF
- Building Height = 30' AFF
- Building Footprint = 10/10/10
- Future Spacing = See Future Locations Schedule
- This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
- These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

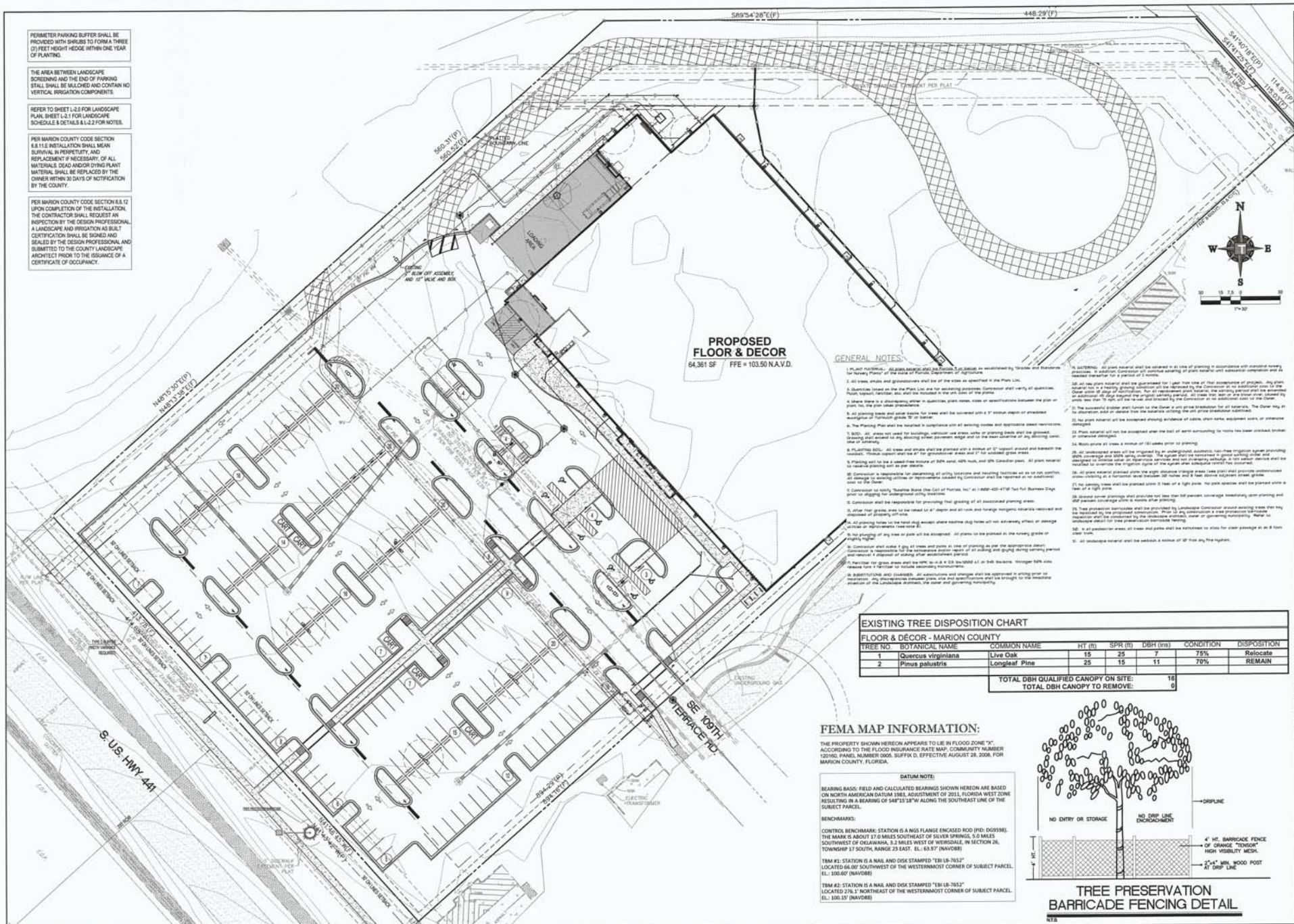
Luminaire Locations										
No.	Label	X	Y	Z	MM	Orientation	Tilt	X	Y	Z
1	S2-2HS	1251.26	245.72	30.00	30.00	315.00	0.00	1251.26	244.84	0.00
2	S2-2HS	1249.53	246.50	30.00	30.00	315.00	0.00	1250.38	244.84	0.00
3	S2-2HS	1249.53	246.50	30.00	30.00	315.00	0.00	1250.38	244.84	0.00
4	S2-2HS	1251.26	247.49	30.00	30.00	135.00	0.00	1251.26	246.61	0.00
5	S2-2HS	1251.26	247.49	30.00	30.00	135.00	0.00	1251.26	246.61	0.00
6	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
7	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
8	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
9	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
10	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
11	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
12	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
13	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
14	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
15	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
16	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
17	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
18	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
19	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
20	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
21	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
22	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
23	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
24	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
25	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
26	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
27	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
28	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
29	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
30	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
31	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
32	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
33	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
34	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
35	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
36	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
37	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
38	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
39	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
40	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
41	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
42	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
43	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
44	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
45	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
46	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
47	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
48	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
49	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
50	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
51	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
52	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
53	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
54	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
55	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
56	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
57	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
58	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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61	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
62	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
63	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
64	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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66	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
67	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
68	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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78	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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80	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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85	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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87	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
88	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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91	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
92	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
93	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
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95	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
96	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
97	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
98	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
99	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00
100	S2-2HS	1251.26	251.26	30.00	30.00	315.00	0.00	1251.26	250.38	0.00

Statistics									
Description	Symbol	Aug	Max	Min	Max/Min	Aug/Min	Max/Min	Aug/Min	Max/Min
Prop Area	4	3.3%	25.4%	0.0%	N/A	N/A	N/A	N/A	N/A
Property Boundary	4	3.3%	25.4%	0.0%	N/A	N/A	N/A	N/A	N/A

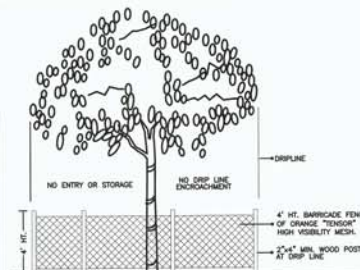




PER MARION COUNTY CODE SECTION 8.8.12
UPON COMPLETION OF THE INSTALLATION,
THE CONTRACTOR SHALL REQUEST AN
INSPECTION BY THE DESIGN PROFESSIONAL
A LANDSCAPE AND IRRIGATION AS BUILT
CERTIFICATION SHALL BE SIGNED AND
SEALED BY THE DESIGN PROFESSIONAL AND
SUBMITTED TO THE COUNTY LANDSCAPE
ARCHITECT PRIOR TO THE ISSUANCE OF A
CERTIFICATE OF OCCUPANCY.



TOTAL DBH QUALIFIED CANOPY ON SITE:	18
TOTAL DBH CANOPY TO REMOVE:	0



NTB

FLOOR & DECOR 200 VINCE ROBEY AVENUE, SUITE 300A KATY, TEXAS 77450	
SBLM SBLM Architects 33 West Wilshire Road Suite 300A Northridge Station, NY 11748 Telephone: 631 683 5588 Fax: 631 683 5588	
 AIA, SCVA & ASSOCIATES 1000 West 10th Street, Suite 100 Houston, Texas 77001	 CCI 1000 West 10th Street, Suite 100 Houston, Texas 77001
 THOMAS ENGINEERING GROUP 1000 W. FLORENCE AVE., SUITE 100 TAMPA, FL 33613 (813) 376-0000	
FLOOR & DECOR LADY LAKE, FLORIDA	
TD-104-66, MARSHALL COUNTY, FL, 32651	
SBLM 11/24/79 TOTAL NUMBER: 178.0 TOTAL GROSS AREA: 54,983.59 JOB NUMBER: 1780 PROJECT: 2027.02	11/24/79 178.0 54,983.59 1780 2027.02
SBLM	
 MICHAEL W. CROSS, ARCHITECT REGISTERED ARCHITECT IN ALL STATES (EXCEPT CALIFORNIA AND TEXAS)	
SBLM	
DISPOSITION PLAN	
DESIGN: CHANGED:	SEE: (MM)
TD-1.0	