

December 4, 2024

PROJECT NAME: MSP 8003-0319-15

PROJECT NUMBER: 2024100026

APPLICATION: MINOR SITE PLAN #32094

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.  
STATUS OF REVIEW: INFO  
REMARKS: will there be a sign?
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.27 - Show location of outside storage areas  
STATUS OF REVIEW: INFO  
REMARKS: outdoor storage is not permitted
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 10/17/24-add waivers if requested in future
- 4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Total Flow  
STATUS OF REVIEW: INFO  
REMARKS:  $.46 \times 2500 = 1150\text{gpd}$  authorized  
Proposed home 300gpd per sheet  
Proposed duplex 400gpd per sheet  
 $300 + 400 = 700\text{gpd}$  estimated
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Each septic system will require a septic permit through the Department of Health in Marion County.
- 6 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements  
STATUS OF REVIEW: INFO  
REMARKS: Please clarify where overhead electric will be placed? If OHE is placed on the east ROW, some trees being preserved in buffer may need to be removed
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate  
STATUS OF REVIEW: INFO  
REMARKS: invoiced by MCU Permitting at time of building permit review
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified  
STATUS OF REVIEW: INFO  
REMARKS: invoiced by MCU Permitting at time of irrigation meter request through Customer Service.

- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate  
STATUS OF REVIEW: INFO  
REMARKS: invoiced by MCU Permitting at time of building permit review
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)  
STATUS OF REVIEW: INFO  
REMARKS:
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity  
STATUS OF REVIEW: INFO  
REMARKS: defer to MCFR; public water available by MCU
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention  
STATUS OF REVIEW: INFO  
REMARKS: Backflow preventers are not required for residential meters. The irrigation meter WILL require a backflow.
- 13 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?  
STATUS OF REVIEW: INFO  
REMARKS: No wetlands or floodplain.
- 14 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Minor Site Plan  
STATUS OF REVIEW: INFO  
REMARKS: --IF APPLICABLE--  
Sec. 2.18.1.I - Show connections to other phases.  
Sec.2.19.2.H – Legal Documents  
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.  
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)  
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."  
Sec. 6.3.1.B.2 – Required Right of Way Dedication  
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."  
Sec. 6.3.1.D.3 - Cross Access Easements  
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."  
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)  
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the

public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

15 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.20.2.B - \$150.00 Minor Site Plan fee payable to Marion County BCC effective July 8, 2019

STATUS OF REVIEW: NO

REMARKS: Please pay the minor site plan fee for Growth Services

16 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23/4.2 - Setbacks, dimensions for all improvements, and easements

STATUS OF REVIEW: NO

REMARKS: Please show setbacks and dimensions for all improvements

17 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)

STATUS OF REVIEW: NO

REMARKS: Please provide an environmental assessment for listed species

18 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions

STATUS OF REVIEW: NO

REMARKS: 10/17/24-missing type of application(MINOR SITE PLAN) in Title Block of additional sheets (C002 & C003)

19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 10/28/24 - Sidewalks along street are required and must provide internal connectivity to include single family home. Ensure sidewalk paths are a minimum of 5 feet wide.

- 20 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 2.12.28 - Correct road names supplied  
STATUS OF REVIEW: NO  
REMARKS: Sheet C001 - Under General Purpose there is an incorrect street name of NW SW 29th Terrace Rd. Please correct on future submittals.
- 21 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale  
STATUS OF REVIEW: NO  
REMARKS: Sheets C002 & C003 –North arrows are pointing in the wrong direction.
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.3 - Tree protection  
STATUS OF REVIEW: NO  
REMARKS: 1. Show tree protection graphically on the plan 2. Existing trees to remain shall comply with the assessment requirement in this section 6.7.3.(5).
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)  
STATUS OF REVIEW: NO  
REMARKS: Show size, spacing, botanical name and cultivar on plant schedule
- 24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.3 - Landscape design standards  
STATUS OF REVIEW: NO  
REMARKS: Identify 5 plants in South buffer not labeled
- 25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas  
STATUS OF REVIEW: NO  
REMARKS: Shade tree required in terminus island, north of duplex parking - 20' min. from structure
- 26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)  
STATUS OF REVIEW: NO  
REMARKS: Provide irrigation plan
- 27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements  
STATUS OF REVIEW: NO  
REMARKS: Will there be outdoor lighting? if so, a photometric plan is required
- 28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: Additional Landscape comments  
STATUS OF REVIEW: NO  
REMARKS: Landscape and irrigation plans shall be signed and sealed for submittals (Sec 6.2.1. & Sec 6.9.2.C)

- 29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.C - DEP permit for water mains to be constructed/owned by developer  
STATUS OF REVIEW: NO  
REMARKS: EoR to confirm DEP PWS permit or exemption for more than one meter to be served off/tapped from the main
- 30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:  
STATUS OF REVIEW: NO  
REMARKS: "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."
- 31 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911?  
STATUS OF REVIEW: NO  
REMARKS: The intended use for this site is listed as (1) duplex and (1) single-family home. The plans show a (4) unit structure, a quadplex, and (1) single-family home.
- 32 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]  
STATUS OF REVIEW: NO  
REMARKS: Please provide.
- 33 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?  
STATUS OF REVIEW: NO  
REMARKS: Please provide.



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**AR 32094**

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 12-3-24 Parcel Number(s): 8003-0319-15 Permit Number: 2024100026

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: MSP 8003-0319-15 Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit 03 Block 0319 Lot 15 Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Enrique Schaerer GSG Multifamily LLC  
Signature: \_\_\_\_\_  
Mailing Address: 1929 Dumfries Ct. City: Saint Johns  
State: FL Zip Code: 32259 Phone # 702-274-5501  
Email address: \_\_\_\_\_

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): MCA Consulting Engineers, Inc Contact Name: Miles Anderson P.E.  
Mailing Address: 2403 SE 17th St., Suite 502 City: Ocala  
State: FL Zip Code: 34471 Phone # 352-629-5591  
Email address: miles.anderson@mca-engineers.com

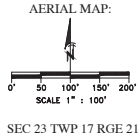
**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.12.12 Sidewalks  
Reason/Justification for Request (be specific): There are no sidewalks in the developed adjacent lots and will have minimal service to the neighborhood. Client will pay fee-in-lieu of construction prior to final inspection to

**DEVELOPMENT REVIEW USE:**

Received By: Email Date Processed: 12/4/24 BM Project # 2024100026 AR # 32094  
12/3/24

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M.: \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**GENERAL PURPOSE:**  
 THE PROPOSED MINOR SITE PLAN IN THIS SUBMITTAL INCLUDES A 0.46 ACRE, THE SITE ADDRESS IS NW SW 29TH TERRACE RD Ocala, FL. THE DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SILVER SPRINGS SHORES VESTED DRN AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.

**CONCURRENCY:**  
 THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

**UTILITY PLAN:**  
 ACCORDING TO LDC 7.1.3 (D)(3), DIRECTIONAL DRILLING OR JACKING AND BORING OF PIPE UNDER EXISTING PAVEMENT IS REQUIRED. NO JETTING OF PIPE IS PERMITTED. DIRECTIONAL DRILLING SHALL MEET THE REQUIREMENTS OF SECTION 555 OF THE FOOT STANDARD SPECIFICATIONS. IN ACCORDANCE WITH LDC 7.5.10.09, JACK AND BORE METHOD OR DIRECTIONAL DRILLING UNDER EXISTING PAVEMENT MUST BE 48" MINIMUM DEPTH. A RIGHT-OF-WAY UTILIZATION PERMIT IS REQUIRED FOR ALL CONSTRUCTION, HERBICIDE/PESTICIDE SPRAYING, TREE CLEARING, AND ALL TEMPORARY PRIVATE USE OF PUBLIC RIGHT-OF-WAY.

**MARION COUNTY UTILITIES:**  
 A BILL OF SALE IS REQUIRED POST CONSTRUCTION AND BEFORE FINAL INSPECTION HOLD RELEASED FOR THIS BUILDING PERMIT. THE BILL OF SALE (BoS) REQUIRES A DETAIL OF ASSETS FOR WATER SERVICE, AND AN AS-BUILT IN ACCORDANCE WITH ALL LDC REVISION EFF. 4/13/25.

# MINOR SITE PLAN

SW 29TH TERRACE RD  
 MARION COUNTY, FL

PROJECT NAME: MSP 8003-0319-15  
 ALDANA CONTRACTING LLC.  
 SITE AREA = 0.46 AC

**SITE DISTANCE NOTE:**  
 SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY LDC REQUIREMENTS.

**GENERAL NOTES:**

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN MARION COUNTY LAND DEVELOPMENT REGULATIONS.
- NO CHANGE TO THE WORK AS SHOWN ON THIS PLAN SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE COUNTY AND PROJECT ENGINEERS.
- BOUNDARY, TOPOGRAPHY AND TREE INFORMATION IS BASED ON A SURVEY BY C & A SURVEY, INC.
- BUILDINGS SHALL BE HANDICAP ACCESSIBLE AS PER THE STATE OF FLORIDA REGULATIONS, THE ARCHITECT/ENGINEER SHALL PROVIDE BUILDING PLANS, CLEAN AND SUITABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF THE BUILDING FOUNDATION AND SHALL BE COMPACTED TO A BOX MAXIMUM DENSITY WITH TERMITES TREATMENT.
- ALL PARKING SPACES SHALL BE STRIPPED WITH 6" WHITE LINES. HANDICAP SPACES SHALL BE SIGNED AND SHALL HAVE ADDITIONAL 6" BLUE LINES INSIDE EACH SPACE AT 2" FROM WHITE LINES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH FOOT STANDARDS. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FC CHAPTER 11.
- THE SITE, ACCESS & R.O.W.'S ARE TO BE KEPT CLEAN & FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES DURING CONSTRUCTION. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
- IF A RETENTION IMPROVEMENTS AND STORM SEWER SYSTEMS EXISTING AND PROPOSED MUST BE COMPLETE PRIOR TO CONSTRUCTION OF IMPROVEMENTS. AS WELL AS, IF A KINKHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE PROCEDURES OUTLINED IN THE "APPLICANTS HANDBOOK-KARST SENSITIVE AREAS", SURV. MAY 1988, SHALL BE FOLLOWED.
- MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3000 PSI AT 28 DAYS OR AS OTHERWISE NOTED. ALL VEHICLE PARKING AREAS SHALL BE PAVED W/ AUTO PAVEMENT (SEE PAVEMENT STRUCTURE THICKNESS TABLE ON COO3). ALL OTHER PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH TRUCK PAVEMENT AS PER PAVEMENT STRUCTURE THICKNESS TABLE ON COO3. ALL CONCRETE TRUCK LOADINGS APPROX SHALL BE 3000 PSI CONCRETE UNO. GEO-TECH TO FIELD VERIFY DURING CONSTRUCTION.
- PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
- ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO FOOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATION."
- COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO ANY CONSTRUCTION OF UTILITIES SHOWN ON THESE PLANS.
- ALL DESIGNED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON EXISTING DATA SUPPLIED BY THE SURVEYOR.
- FOR ANY CONSTRUCTION WITHIN THE STATE OF FLORIDA OR COUNTY R/W THE CONTRACTOR SHALL OBTAIN THE REQUIRED RIGHT-OF-WAY PERMITS BEFORE COMMENCING WITH THIS CONSTRUCTION.
- ALL ACCESS AND PARKING SHALL COMPLY WITH 1997 FAC.
- AS BUILT DRAWINGS OR CERTIFICATION OF COMPLETION REQUIRED PRIOR TO C.O.
- THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.
- THERE WILL BE NO OUTSIDE STORAGE.

**SITE DATA:**  
 TOTAL SITE AREA (WITHIN BOUNDARY) = 20,000 (0.46 AC)  
 AREAS FOR TOTAL SITE:  
 PROPOSED BUILDING = 5,738 SF  
 PROPOSED ON SITE IMPROVEMENTS AREA = 3,272 SF  
 TOTAL IMPROVEMENTS AREA = 9,010 SF  
 IMPROVISED PERCENT OF COVERAGE = 34.77%  
 REMOVED AREA (OPEN AREA) = 15,044 SF  
 REMOVED AREA PERCENT OF COVERAGE = 85.23%  
 LANDSCAPED AREA PERCENT = 33.00% SF = 330,000

THIS SITE IS IN THE SECONDARY SPRINGS PROTECTION ZONE.  
 THIS SITE IS IN FLOOD ZONE-X ON FEMA FIRM PANEL 270388R.

INTENDED USE FOR THIS SITE - (1) DUPLEX BUILDING & (1) SINGLE FAMILY HOME.  
 THIS SITE DOES NOT LIE IN THE ESQZ OVERLAY ZONE.

**PARCEL NUMBER:** 8003-0319-15  
**PROJECT ADDRESS:** SW 29TH TERRACE RD  
**OCALA, FL.**  
**ZONING:** R-PUD  
**FLH: HIGH RESIDENTIAL (HR)**  
**OWNER:** GSG Multifamily LLC  
 1929 Dumfries Ct.  
 St Johns, FL 32258

**PARKING & TRAFFIC REQUIREMENTS**

2.0 SPACES PER UNIT  
 2.0 SPACES X 4 UNITS = 8 SPACES REQUIRED  
 TOTAL PARKING SPACES REQUIRED = 8  
 TOTAL PARKING SPACES PROVIDED = 9 (INCLUDES 1 HANDICAP SPACE)  
 PARKING SPACE SIZES: 9'X18'

**TRAFFIC STATEMENT**  
 USING THE CODE 220 MULTI-FAMILY LOW RISE THIS SITE IS PROJECTED TO GENERATE 29 DAILY TRIPS AND 5 PEAK HOUR TRIPS

**SETBACKS**

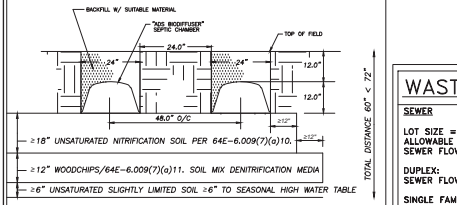
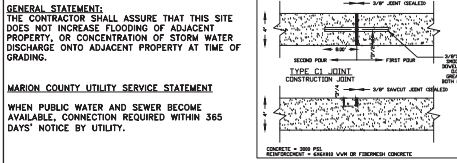
FRONT = 25 FEET  
 REAR = 25 FEET  
 NORTH SIDE = 10 FEET  
 SOUTH SIDE = 10 FEET

**SIDEWALK CONSTRUCTION:**  
 THE CONTRACTOR SHALL INSTALL 24" OF 5" WIDE SIDEWALK. SIDEWALK SHALL BE RAISED TO THE EXISTING SIDEWALK. STOP AND CHAIRMAN SIGN SHALL BE RELOCATED TO THE EDGE OF THE SIDEWALK. SIDEWALK SHALL BE FIELD VERIFIED AND SHALL AVOID CURB WIS, CABLE BOX, MANHOLE COVER.

**OUT DOOR LIGHTING / EXTERIOR LIGHTING:**  
 THE PROPOSED BUILDING CONSTRUCTION HAS AN OUTDOOR LIGHTING (EXTERIOR LIGHTING) ON THE FACES OF THE BUILDING NEXT TO EACH OF THE ENTRY DOORS. THE LIGHTS SHALL HAVE A 60 WATT BULB AND SHALL BE SHIELDED. THE PHOTOMETRIC LIGHT SPREAD SHALL NOT OVER SHADOW ONTO THE ADJACENT PROPERTIES, AND COMPLY WITH MARION COUNTY SECTIONS 6.19.3 AND 6.19.4 OF THE LDC.

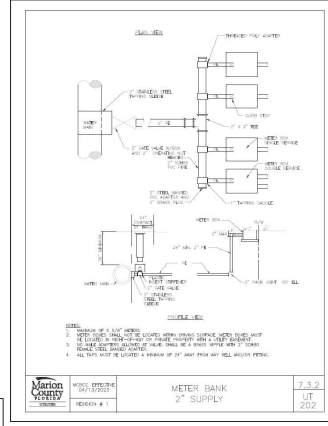
PARCEL: 8003-0319-14  
 LU = HIGH RESIDENTIAL (HR)  
 ZONE : R-PUD  
 VACANT

**SIDEWALK CONSTRUCTION:**  
 THE CONTRACTOR SHALL CUT THE BACK CURB OFF OF THE EXISTING SIDEWALK AT THE CORNER AND CAST THE NEW 5" WIDE SIDEWALK FLUSH WITH THE EXISTING SIDEWALK. THE SIDEWALK SHALL FOLLOW THE EXISTING PAVEMENT CURVE AND BE CAST FLUSH WITH THE PAVEMENT AND 45 DEGREE BACK TO PARALLEL THE NORTH R/W LINE ALONG SW 8TH PLACE. SEE DIMENSIONS ON PLAN. SHALL SIDEWALK TO FOLLOW EXISTING NATURAL GRADES. SLOPES SHALL NOT EXCEED 2% CHANGES. SHALL CONTRACTOR SHALL FIELD VERIFY PLACEMENT. SEE JOINT TYPE C, AND C1, BELOW.



**WASTE WATER CALCULATIONS**

SEWER	DRAINFIELD LOADING (W/ IN GROUND NITROGEN REDUCTION SYSTEM)	DRAINFIELD LOADING (W/ IN GROUND NITROGEN REDUCTION SYSTEM)
LOT SIZE = 0.46 AC'S ALLOWABLE SEWER D.O.H. = 2,500 GPD PER AC SEWER FLOW ALLOWABLE = 1,150 GPD	DUPLEX GIVEN INFORMATION: INFILTRATION RATE = 0.80 GAL/SF REQUIRED DRAINFIELD SIZE = 400 GPD / 0.80 GAL/SF = 500 SF FLORIDA RATING FOR THE EQUIVALENT DRAINAGE AREA OF AN "A" ARC LEACHFIELD CHAMBER: CHAMBER IS 15.0 SF. 500 SF / 15.0 SF PER CHAMBER = 34 CHAMBERS USE 34 CHAMBERS / 9 CHAMBERS PER ROW = 4 ROWS LENGTH OF CHAMBERS = 5.00 FT WIDTH OF CHAMBER = 22" - 24" SPACING OF CHAMBERS = 40" THE DRAINFIELD SHALL BE 45'-6" LONG BY 20' WIDE = 900 SF (BED AREA) SEPIC TANK MINIMUM EFFECTIVE CAPACITY, PER F.A.C. 6A2-6.008 (2)- FOR 400 GPD = 1050 GALLON MIN EFFECTIVE CAPACITY USE (1) 1200 GAL TANK (RECOMMENDED 1200 GALLON TANK)	SINGLE FAMILY HOME GIVEN INFORMATION: INFILTRATION RATE = 0.80 GAL/SF REQUIRED DRAINFIELD SIZE = 300 GPD / 0.80 GAL/SF = 375 SF FLORIDA RATING FOR THE EQUIVALENT DRAINAGE AREA OF AN "A" ARC LEACHFIELD CHAMBER: CHAMBER IS 15.0 SF. 375 SF / 15.0 SF PER CHAMBER = 25 CHAMBERS USE 25 CHAMBERS / 9 CHAMBERS PER ROW = 3 ROWS LENGTH OF CHAMBERS = 5.00 FT WIDTH OF CHAMBER = 22" - 24" SPACING OF CHAMBERS = 40" THE DRAINFIELD SHALL BE 45'-6" LONG BY 18' WIDE = 720 SF (BED AREA) SEPIC TANK MINIMUM EFFECTIVE CAPACITY, PER F.A.C. 6A2-6.008 (2)- FOR 375 GPD = 1050 GALLON MIN EFFECTIVE CAPACITY USE (1) 1200 GAL TANK (RECOMMENDED 1200 GALLON TANK)
DUPLEX: SEWER FLOW PROPOSED = 400 GPD SINGLE FAMILY HOME: SEWER FLOW PROPOSED = 300 GPD		
TOTAL = 700 GPD		



**MARION COUNTY ROW UTILIZATION PERMIT:**  
 AFTER PLAN APPROVAL, THE CONTRACTOR SHALL SUBMIT FOR A ROW UTILIZATION PERMIT WITH APPROPRIATE FEE FOR PROCESSING, AND INCLUDE TWO (2) SIGNED & SEALED APPROVED PLANS.  
 CONTACT ROW PERMITTING AT THE OFFICE OF THE COUNTY ENGINEER AT 352-871-8888.

**WATER DISTRIBUTION SYSTEM:**  
 THE UTILITY CONTRACTOR SHALL MAINTAIN THE MINIMUM REQUIRED SEPARATION OF TAPS PER 6.15.4 LDC. - SEE UT 107 DETAIL ON THIS SHEET.  
 WATER METER SIZE SHALL BE 3/4" X 3/4". METER AND BFP IN R/W ARE MAINTAINED BY MCO. METERS AND BFP ON SITE ARE MAINTAINED BY LAND OWNER.

**INDEX**

COO3	COVER
COO2	LANDSCAPE & TREE REMOVAL
COO5	BIOGRADING

ENGINEER'S CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

DATE: \_\_\_\_\_  
 MILES C. ANDERSON, P.E.  
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 39383  
 C.A. # 00009842

**OPERATION AND MAINTENANCE STATEMENT**  
 I HEREBY CERTIFY THAT MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

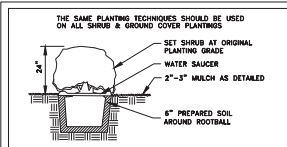
MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.  
 CIVIL - STRUCTURAL - LAND PLANNING - GOLF COURSE DESIGN  
 1515 SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591  
 Ocala, Florida 34470 FAX (352) 629-4402

**MINOR SITE PLAN**

ALDANA CONTRACTING  
 PROJECT: MSP 8003-0319-15  
 SECTION 25, TWP-17, RNC-21  
 MARION COUNTY, FLORIDA  
 Ocala, Florida

DATE:	5-7-24	DESIGN:	MCA	PROJ. ALDANA CONTRACTING.
SCALE:	AS SHOWN	DRAWN:	MS	JOB NUMBER: 24-000
DATE:	5-14-24	CHECKED:	MCA	FILED: ALDANA CONTRACTING.
DATE:	5-14-24	APPROVED:	MCA	FILED: ALDANA CONTRACTING.

ENRIQUE SCHAEFER  
 GSG MULTIFAMILY LLC  
 1929 DUMFRIES CT.  
 SAINT JOHNS, FL. 32259-7280  
 Tel: 702-274-5501



TYPICAL SHRUB INSTALLATION DETAIL



TYPICAL TREE GUYING DETAIL

**LANDSCAPE NOTES**

1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
2. ALL LANDSCAPED AREAS SHALL BE MULCHED WITH CRYPRESS BARK MULCH. PINE STRAW SHALL NOT BE USED.
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES.
4. ALL MATERIAL INSTALLED SHALL MEET THE 2020 GRADERS AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. ALL NEW TREES MUST BE GUYED OR STAKED AS DETAILED.
6. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION.
7. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
8. DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60-80 GPD TO ALL NEW TREES.
9. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
10. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA.
11. SEED AND MULCH SHALL BE INSTALLED IN ALL DISTURBED AREAS.
12. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
13. ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z603.1).
14. PLANT MATERIAL MUST MEET ALL SIZE SPECIFICATIONS, NOT JUST CONTAINER SIZE.
15. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 6.7.12 SHALL BE COMPLETED WITH NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
16. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 6.7.3 SHALL BE COMPLETED WITH ALL CONTRACTORS OPERATING ON SITE.
17. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 6.7.12 SHALL BE COMPLETED WITH NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
18. NOTES HAVE BEEN SHOWN REGARDING LICENSING (6.8.1.1) & 6.9.10. TREE PROTECTION (6.7.3), MAINTENANCE (6.8.1.3 & 6.8.6), FERTILIZER USE (6.8.4), AND WATERING (6.9.9).
19. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.4 REGARDING FERTILIZER AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLETED WITH THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
20. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUIRE AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
21. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.1.3 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLETED WITH THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
22. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.1.9 REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSING AND CERTIFICATION SHALL BE COMPLETED WITH.

**SHADE TREE CALCULATIONS**

TOTAL PROJECT AREA = 20,000 SF (0.46 AC)  
 SHADE TREES REQUIRED = 7 (1 PER 3,000 S.F.)  
 EXISTING TREES = 6 (1.5 CAL. MIN.)  
 NEW TREES PROVIDED = 1 (8.0V)  
 TOTAL SHADE TREES PROVIDED = 7 (7.0V)  
 ORNAMENTAL TREES IN LIST OF SHADE TREES SHALL BE 3:1 MINIMUM ORNAMENTAL TREES DBH = 1.25"

**OPEN SPACE REQUIRED:**

TOTAL PROJECT AREA = 20,000 SF (0.46 AC)  
 REQUIRED OPEN SPACE = 12,366 S.F. @ 2.0 = 4,000 SF  
 TOTAL OPEN SPACE PROVIDED = 13,046 SF  
 TOTAL LANDSCAPED OPEN SPACE PROVIDED = 1,119 SF

**TYPE C - BUFFER CALCULATIONS**

TYPE 'C' BUFFER (15' WIDE) TOTAL LENGTH = 100 FT LESS DRIVEWAY (20LF) = 80 LF  
 SHADE TREES REQUIRED = (2/100 LF) PROVIDE 2 TREES  
 ORNAMENTAL TREES REQUIRED = 3 (3/100 LF)  
 ORNAMENTAL TREES PROVIDED = 6 U'  
 TOTAL BUFFER AREA = 1,200 SF  
 LANDSCAPE/PLANT MATERIAL AREA REQUIRED = 623 SF (50%)  
 LANDSCAPE/PLANT MATERIAL AREA PROVIDED = 804 SF  
 PLANT MATERIAL AREA PROVIDED = 376.50, 420 MULCHED LANDSCAPED AREA

Type	Callout	Name	Sq Ft	Plant/ SF	Total Plants	Native (Y/N)	
Trees	PT	Pine Tree	N/A	1.0	7	Y	
	QV	Live Oak	N/A	1.0	7	Y	
	AF	Florida Maple	N/A	1.0	0	Y	
	CP	Sabal Palmetto	N/A	1.0	0	Y	
Ornamentals	LI	Oxeye/Myrtle	N/A	1.0	6	Y	
	VC	Viburnum	420	1.0	62	Y	
Hedge	LC	Clarise Charm	42	1.0	63	Y	
	BS	Blowwood	281	1.0	63	Y	
	JP	Blue Pacific Juniper	0	1.0	2.0	N	
	SG	Stard Cord Grass	376	1.0	2.0	188	Y
Ground Cover	HD	Beach Sun Flower	0	1.0	2.0	0	Y
	JM	Azalea Jasmine	0	1.0	2.0	0	Y
	SP	Sod (Bahia Grass)	Open Space	N/A	N/A	N/A	Y

**TREE IDENTIFICATION CHART**

TREE #	TYPE	DBH	REMOVAL
1	PINE	14"	YES
2	PINE	17"	ND
3	PINE	15"	ND
4	PINE	20"	YES
5	PINE	12"	YES
6	PINE	10"	ND
7	DAK	10"	ND
8	PINE	10"	ND
9	PINE	10"	ND
10	PINE	10"	ND
11	PINE	10"	ND

TOTAL DBH PRESERVED = 60"

TREE PLAN:  
SCALE: 1" = 20'

**EXISTING TREE STATEMENT:**

EXISTING TREES NOT SHOWN ALL TREES ON THIS SITE ARE PINE TREES AND SHALL BE REMOVED.

**TOTAL DBH REQUIRED CALCULATIONS**

INCHES DBH REQUIRED = 100 INCHES / AC = 46"  
 EXISTING INCHES PRESERVED = 60"  
 REPLACEMENT INCHES = 0 INCHES REQUIRED  
 TOTAL PROVIDED: 60"

**NEW OAK - 6 X 3.5" = 21"**  
**CRYPE WHITILE - 6 (2 X 3.5) = 7"**  
**Total = 88"**

**FLORIDA-FRIENDLY MATERIAL CALCULATIONS**

TOTAL PLANT MATERIAL USED = 322  
 FF MATERIAL REQUIRED = 161 (50%)  
 FF MATERIAL PROVIDED = 322 (100%)

**NATIVE MATERIAL CALCULATIONS**

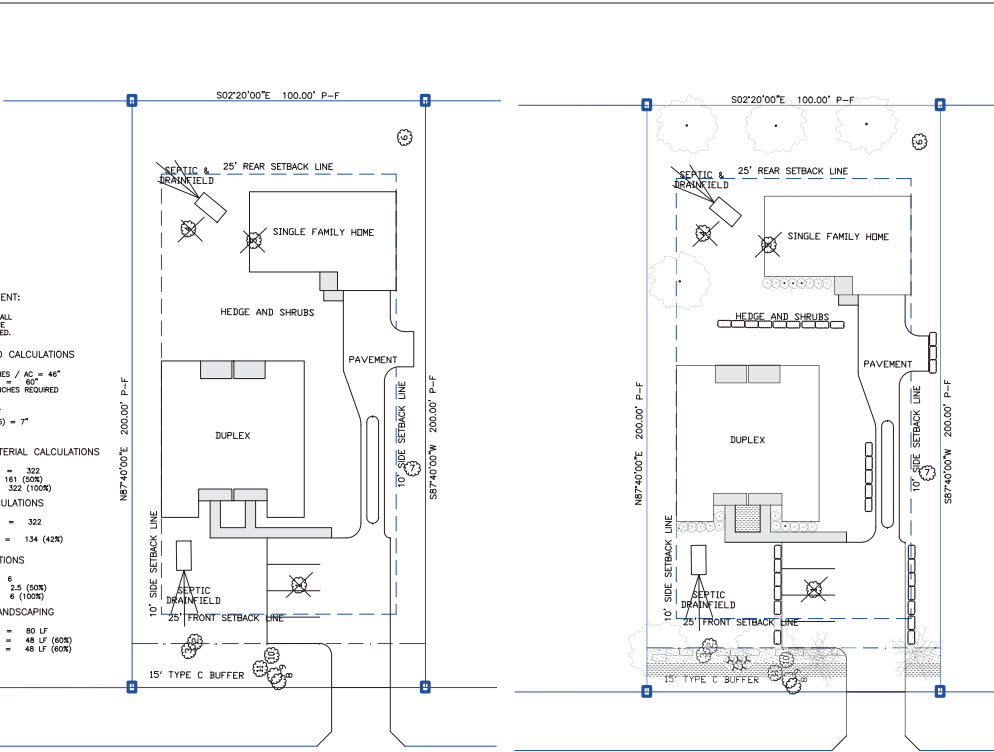
TOTAL PLANT MATERIAL USED = 322  
 NATIVE MATERIAL PROVIDED = 134 (42%)

**NATIVE TREE CALCULATIONS**

TOTAL NEW TREES = 6  
 NATIVE TREES REQUIRED = 2.0 (50%)  
 NATIVE TREES PROVIDED = 4 (100%)

**BUILDING FRONTAGE LANDSCAPING**

TOTAL BUILDING FRONTAGE LANDSCAPE AREA REQUIRED = 80 LF  
 LANDSCAPE AREA PROVIDED = 48 LF (60%)



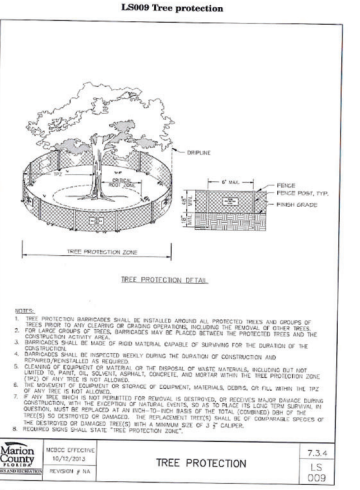
SW 29TH TERRACE ROAD ~ 60' R/W

SW 29TH TERRACE ROAD ~ 60' R/W

**IRRIGATION NOTES**

1. THE OWNER SHALL BE RESPONSIBLE FOR IRRIGATING ALL NEW LANDSCAPE MATERIAL UNTIL ESTABLISHED.
2. ALL NEW IRRIGATION SHALL BE MICRO-SPRAY HEADS, DRIP-IRRIGATION, AND/OR BUBBLER HEADS.
3. A MINIMUM OF TWO (2) BUBBLER HEADS SHALL BE INSTALLED AT EACH NEW TREE PLANTING.
4. IRRIGATION SHALL BE SET SO THERE IS NO OVERSPRAY ONTO ANY PAVED AREAS.
5. THE OWNER SHALL BE RESPONSIBLE FOR WATERING THE SEEDED AREAS UNTIL ESTABLISHMENT.
6. RAIN-CHECK MONITOR SHALL BE INSTALLED ON ANY PERMANENT IRRIGATION SYSTEM.
7. BACK-FLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE CONNECTION OF ANY WELL OR METER.
8. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 6.9.6 SHALL BE COMPLETED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
9. ALL REQUIREMENTS IN SECTION 6.8.9 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLETED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM.
10. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.9 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLETED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
11. ALL REQUIREMENTS OUTLINED IN SECTION 6.9.10 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLETED WITH.
12. NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (6.8.6) WATERING INSTALLATION (6.8.9) AND INSTALLATION LICENSING REQUIREMENTS (6.9.10).
13. BUBBLERS FOR TREES SHALL BE STAKED IN THEIR PROPERTY LOCATIONS.

LANDSCAPE PLAN:  
SCALE: 1" = 20'

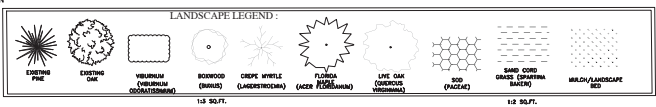


TREE PROTECTION

**LANDSCAPE AND IRRIGATION NOTES CONTINUED:**

PERMIT WILL BE ISSUED FROM THE MARION COUNTY BUILDING DIVISION PRIOR TO INSTALLATION OF IRRIGATION SYSTEMS. UPON COMPLETION OF THE LANDSCAPE AND/OR IRRIGATION INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL PRIOR TO THE INSPECTION, THE CONTRACTOR MUST PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

SHRUBS SHALL PLANTED AT 3' ON CENTER OR AS APPROVED TO THE TYPE OF SHRUB SPECIES. GROUND COVER TO 24" TALL SHALL BE SPACED AT 2'-3".



**ENGINEER'S CERTIFICATION:**

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

MILES C. ANDERSON, P.E.  
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 98985  
 C.A. # 0000442

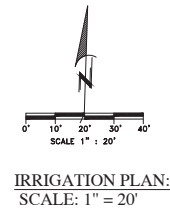
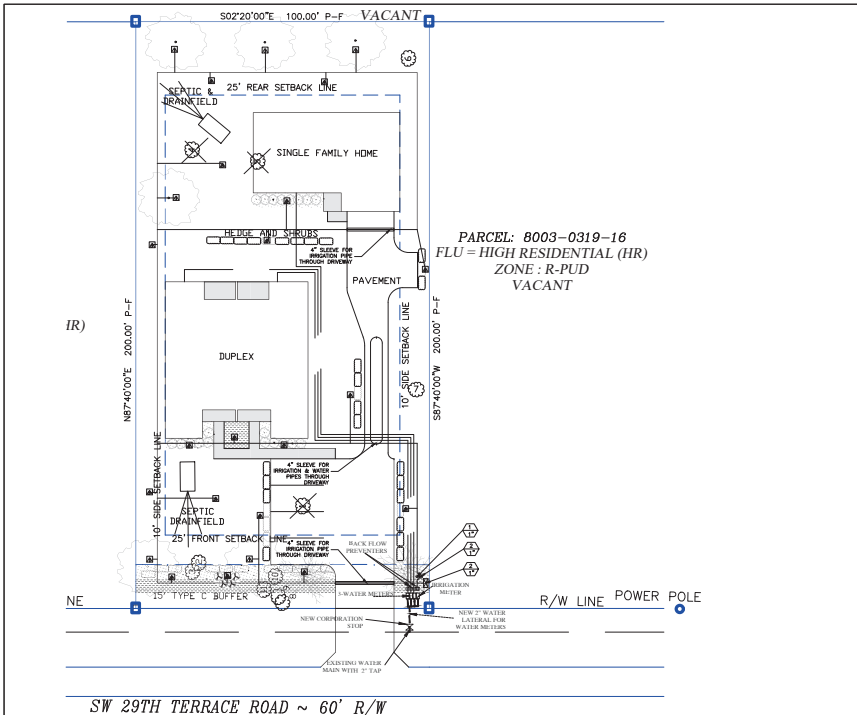
MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.  
 CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN  
 1515 SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591  
 Ocala, Florida 34470 FAX (352) 629-4402

REV.	DATE	APPROVED	DATE	DESIGN	PROJECT
1	5-7-24	MCA		PROJ. ALDANA CONTRACTING	
2		MS		JOB NUMBER: 24-020	SHEET
3		MCA		PROJ. ALDANA CONTRACTING	

**LANDSCAPE PLAN**

ALDANA CONTRACTING  
 PROJECT: MSP 8003-0319-15  
 SECTION 23, TWP-17, RNG-21  
 MARION COUNTY, FLORIDA  
 Ocala, Florida



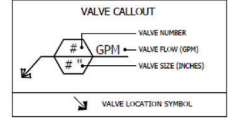


**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER / MODEL	TYPE	ARC	PSI / GPM	RADIUS
	HUNTER PCB-30 (1 BUBBLER PER TREE)	TREE	15-70 GAL	1 @ 0.50 GPM	SIZED BY AREA
	HUNTER PCB-10 (COMP CONTROLLER @ 2' O.C.)				
BED PLANTING AREA TO RECEIVE POINT SOURCE IRRIGATION					
HUNTER HE POINT SOURCE EMITTERS AT EACH PLANT:					
HE-100 (BLACK 20PM) = 1 ASSIGNED TO EACH #1 PLANT					
HE-200 (RED; 20PM) = 1 ASSIGNED TO EACH #2 PLANT					
HE-300 (RED; 20PM) = 2 ASSIGNED TO EACH #3 PLANT					
LATERAL LINE TO EMITTERS = HUNTER BLANK TUBING FLD-BLK 17mm					
NOTES: PIERCE BLANK TUBING WITH EMITTERS AT EACH PLANT					
1" IRRIGATION METER, BACKFLOW PREVENTION PER COUNTY CODE					
HUNTER IGV=101 = 1" ELECTRIC GLOBE VALVE W/ FLOW CONTROL					
HUNTER IGV=151 = 1" ELECTRIC GLOBE VALVE W/ FLOW CONTROL					
HUNTER PCB-101 ONLY CONTROLLER (FLOW 0.1-1.0 GPM) W/ FILTER SYSTEM, JUMBO VALVE BOX REQUIRED					
HUNTER PRO-C MODULAR STATION CONTROLLER					
MODEL PCN OUTDOOR					
PROVED PCN MODULES AS REQUIRED					
HUNTER RAIN-CLIK SENSOR					
MOUNT IN LOCATION WITH OPEN VIEW TO SKY.					
IRRIGATION MAINLINE: 1.5" PVC CLASS 200 SDR 21					
IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 (NOT SHOWN, SIZE PER CHART)					
SCH 40 IRRIGATION SLEEVE					

LAND USE TABLE						
AG	SFR	MF	COM	IND	PUB	ROW
AG	AGRICULTURE, RURAL LANDS, NATURAL RESERVATION					
SFR	SINGLE FAMILY, DUPLEX RESIDENTIAL					
MF	MULTI-FAMILY RESIDENTIAL					
COM	COMMERCIAL, RV PARKS, COMMERCIAL RECREATION					
IND	INDUSTRIAL USES					
PUB	PUBLIC USE (INCLUDING GOVERNMENT, INSTITUTIONAL, AND RELATED PROFESSIONAL OFFICES)					
ROW	ARTERIAL OR COLLECTOR RIGHT-OF-WAY OR ROAD EASEMENT					

PROPOSED USE	LAND USE TABLE						
	AG	SFR	MF	COM	IND	PUB	ROW
AG	-	-	-	-	-	-	-
SFR	E	-	C	A	B	C	C
MF	E	A	-	A	B	C	C
COM	D	B	B	-	B	C	C
IND	B	B	B	-	B	D	D
PUB	E	B	C	C	C	C	C



**IRRIGATION NOTES**

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2. ALL NEW IRRIGATION SHALL BE MICRO-SPRAY HEADS, DRIP-IRRIGATION, AND/OR BUBBLER HEADS.
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6. "RAIN-CHECK" MONITOR SHALL BE INSTALLED ON ANY PERMANENT IRRIGATION SYSTEM.
7. BACK-FLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE CONNECTION OF ANY WELL OR METER.
8. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 6.9.9 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
9. ALL REQUIREMENTS IN SECTION 6.9.8 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND HEDGEROWS PROGRAM.
10. ALL REQUIREMENTS OUTLINED IN SECTION 6.9.9 REGARDING THE IRRIGATION SCHEDULING AND OTHER APPROPRIANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.
11. ALL REQUIREMENTS OUTLINED IN SECTION 6.9.10 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH.
12. NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (6.9.6) WATERING INSTALLATION (6.9.9) AND INSTALLATION LICENSING REQUIREMENTS (6.9.10).
13. BUBBLERS FOR TREES SHALL BE STAKED IN THEIR PROPERTY LOCATIONS.

**LANDSCAPE/IRRIGATION PERMIT NOTES:**  
 A PERMIT WILL BE ISSUED FROM MARION COUNTY BUILDING DIVISION PRIOR TO INSTALLATION OF IRRIGATION SYSTEMS. UPON COMPLETION OF THE LANDSCAPE AND/OR IRRIGATION INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. PRIOR TO THE INSPECTION, THE CONTRACTOR MUST PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM, A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS PER MARION COUNTY LAND DEVELOPMENT CODE SECTION 6.8.12 & 6.9.9

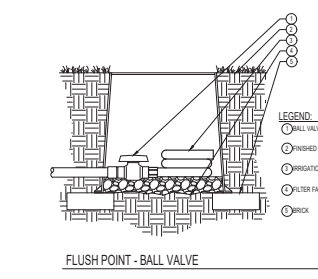
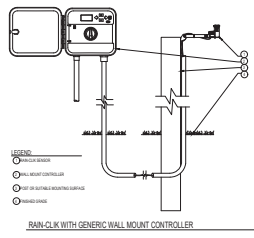
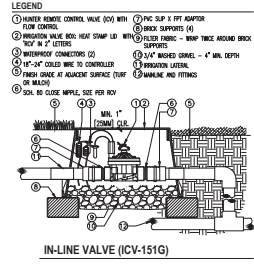
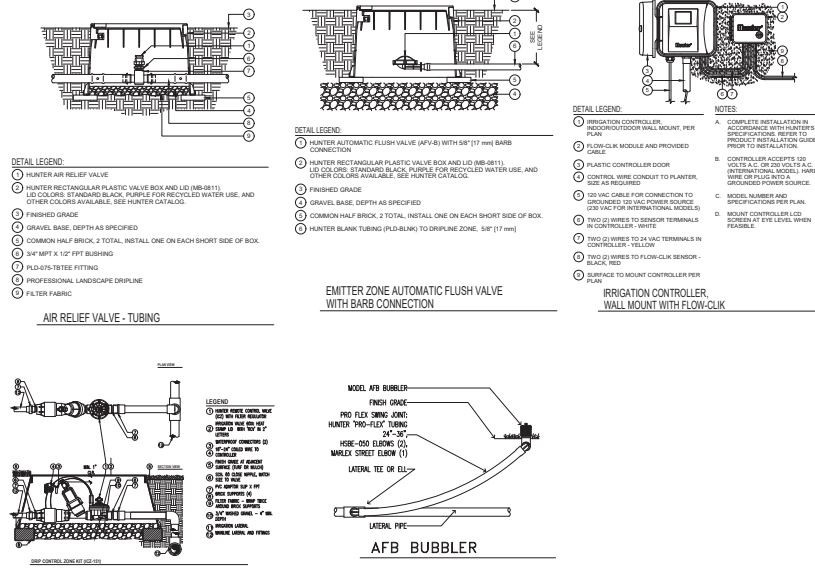
**NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS.**  
 THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPROPRIANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.  
 ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES.

ZONE SCHEDULE	
	-TREE BUBBLER
	-DRIP ZONE
	-IRRIGATION HEAD

VALVE SIZING			
PRESSURE LOSS NOT TO EXCEED 5 PSI:			
FLOW (GPM)	1 1/2" GLOBE	2 1/2" GLOBE	3" GLOBE
1	1.5	2	3
5	1.9	2.5	3.5
10	1.9	2.5	3.5
15	1.6	2.2	3.1
20	1.4	1.9	2.7
25	1.3	1.8	2.6
30	1.2	1.7	2.5
35	1.1	1.6	2.4
40	1.0	1.5	2.3
50	0.9	1.4	2.2
60	0.8	1.3	2.1
80	0.7	1.2	2.0
100	0.6	1.1	1.9
120	0.5	1.0	1.8
135	0.5	1.0	1.8
150	0.5	1.0	1.8

PLD EMITTER LINE MAXIMUM LENGTH	
EMITTER LINE LENGTH IN FEET (FOR 1.0 GPM EMITTERS)	EMITTER SPACING
15	12" 18" 24"
15	126 176 222
20	169 235 295
25	197 276 346
30	218 308 390
35	240 337 425
40	263 362 452
45	271 384 466
50	288 401 503
(LENGTH IN 0% SLOPE)	
SEE MNR'S SPECS	



**ENGINEER'S CERTIFICATION:**  
 I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

DATE: \_\_\_\_\_  
 MILES C. ANDERSON, P.E.  
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 93985  
 C.A. # 0008456

**MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.**  
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 1515 SILVER SPRINGS BLVD. SUITE 132  
 Ocala, Florida 34470 FAX (352) 629-4402

IRRIGATION PLAN						
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APPROVED:	MCA	CHECK:	MCA	FELIX ALDANA CONTRACTING		
NO.	REVISION	DATE	APPROVED:			