

February 18, 2025

PROJECT NAME: HERITAGE OAKS

PROJECT NUMBER: 2023080054

APPLICATION: IMPROVEMENT PLAN #30516

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Provision for subdivision signs
STATUS OF REVIEW: INFO
REMARKS: Will there be any signs?

3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat
STATUS OF REVIEW: INFO
REMARKS: Preliminary Plat is still pending approval.

4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: n/a

5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR - water provided by MCU

6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Bill of Sale
STATUS OF REVIEW: INFO
REMARKS:

7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts
STATUS OF REVIEW: INFO
REMARKS: Allow up to 5 working days for as-built review before pursuing completed Bill of Sale or DEP Clearances.

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)
STATUS OF REVIEW: INFO
REMARKS:

9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.

10 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 6.12.9.F - Public dedications shall be pre-approved by DRC. If an MSBU is established as the maintenance and operation entity, roads and stormwater facilities can be platted as public
STATUS OF REVIEW: INFO
REMARKS:

11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 6.3.1.F(1) - A copy of the documents demonstrating the establishment of a corresponding MSBU, CDD, or other State recognized special district responsible for the maintenance and operation of the dedicated improvements

STATUS OF REVIEW: INFO

REMARKS:

12 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval

STATUS OF REVIEW: INFO

REMARKS: 5/20/24-add waivers if requested in future

13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$1,200.00 + (\$10.00 x per lot)

STATUS OF REVIEW: INFO

REMARKS: 5/20/24-fee due with resubmittal

14 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the District permit prior to construction.

15 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)

STATUS OF REVIEW: NO

REMARKS: (1) Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block. (2) Please include how much impervious area has been accounted for per lot.

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.8 - Topographical Contours

STATUS OF REVIEW: NO

REMARKS: LDC requires the survey to be less than 12 months old. Please provide an updated survey.

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements

STATUS OF REVIEW: NO

REMARKS: (1) Please label D.E. between lots 160-161. (2) The typical lot detail will need to be updated to show a 10' D.E. on the back side of the lot. Or D.E. will need to be added for all pipes that run along the back side of the proposed lots.

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.7 - Geotechnical Criteria

STATUS OF REVIEW: NO

REMARKS: Please label all soil borings used in the horizontal perm and vertical perm average on the master drainage plan.

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters
STATUS OF REVIEW: NO
REMARKS: Please update the table underneath the pond cross-section to include the DHWL and SHWL.

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria
STATUS OF REVIEW: NO
REMARKS: Per LDC, the berm width needs to be 12 feet stabilized at six percent grade maximum around the entire perimeter of the DRA. The pond cross-section shows 5' min.

22 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.12.6 - Roadway Flooding Level of Service
STATUS OF REVIEW: NO
REMARKS: See comment under "Hydraulic Analysis"

23 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria
STATUS OF REVIEW: NO
REMARKS: See comment under "Hydraulic Analysis"

24 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis
STATUS OF REVIEW: NO
REMARKS: Please provide a hydraulic analysis. Was not provided in the stormwater report.

25 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations
STATUS OF REVIEW: NO
REMARKS: See comment under "Hydraulic Analysis"

26 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(6) - Existing/Proposed Stormwater Pipes
STATUS OF REVIEW: NO
REMARKS: What material will the pipes be? Some are labeled as RCP and others are general with SD. Storm pipe is required to be RCP. To pursue using an alternative material, the engineer needs to submit a letter identifying the alternative material type requested, provide verification that the material is included on the FDOT Qualified Products List and provide and detailed explanation for why the alternative material is being requested. County will review the request and provide feedback.

27 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 Karst Topography and High Recharge Areas
STATUS OF REVIEW: NO
REMARKS: Please provide a signed and sealed karst analysis.

28 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: NO

REMARKS: Please provide a signed O&M manual. The O&M manual will need to have the following certification on the cover: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management system and associated elements in accordance with the specifications shown herein and on the approved plans." This certification must be signed by the current property owner or their authorized representative. We used the State of Florida Sunbiz website to verify agents/member/officers of business entities. If the owner is an out of state organization we will need to see articles of incorporation/organization to verify the authority of the individual signing the certifications. For property ownership, we use the Marion County Property Appraiser's website. If you need an example contact the stormwater department.

29 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.

30 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.5.C(4) - Driveway sight distance

STATUS OF REVIEW: NO

REMARKS: 6/17/24 - Show that the connections to SE 73rd Avenue meet FDOT sight distance criteria and provide a note on the plans stating such.

31 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 6/17/24 - 1. A right-of-way dedication will be required on SE 73rd Avenue. 2. The internal road right-of-way is required to be 50' wide with 5' easements on each side.

32 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.11 - Turn lanes

STATUS OF REVIEW: NO

REMARKS: 6/17/24 - 1. A right turn lane is required for the southern driveway. 2. The traffic study indicated the need for an offsite turn lane improvement which is subject to proportionate share. An agreement is needed to address the required proportionate share payment.

This will need to be included on the improvement plans.

33 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 6/17/24 - Sidewalk is required on SE 73rd Avenue.

34 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Additional Traffic comments

STATUS OF REVIEW: NO

REMARKS: 6/17/24 - 1. The southern driveway needs to line up with the driveway for the church. This will reduce the spacing to the northern driveway which needs to be an emergency access. These comments were

made on the concept plan for the PUD rezoning.

35 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet

STATUS OF REVIEW: NO

REMARKS: 5/20/24-Missing phone number

36 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.D - Hydraulic Analysis

STATUS OF REVIEW: NO

REMARKS: MUR - (1) sheet 8, footnote 3; justification for calculation? footnote 4; will not be calculated by person for a non-public facility limited to residents & guests only, will be by bathroom - revise as needed (2) sheet 22 - suggest adding second connection to offsite water main at SE corner (MUR comments by Mark.Thomas@MarionFL.org)

37 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design

STATUS OF REVIEW: NO

REMARKS: remove all lateral connections directly into manholes and have them tie in to the sanitary sewer main. Only some are called out in ePlans but all need to be revised.

38 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities

STATUS OF REVIEW: NO

REMARKS: \$985 - will not change; to pay by phone call 352-671-8686 and refer to AR 30516 Utility Review fee BEFORE resubmittal to clear this checklist item.

39 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: NO

REMARKS: Add note & indicate where placed "Contractor/Developer to ensure meter boxes and cleanouts are not in conflict with any driveways." This will be a note for future projects; please consider adding it to template to avoid future comments to address.

40 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: NO

REMARKS: see changemarks in ePlans & address revisions inline; revise sheets as needed

41 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 6.6.5.B - Verify Status of MEAS

STATUS OF REVIEW: NO

REMARKS: The development application shall identify the area/community habitat protection as on-site or off-site.

42 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23 - Show typical setback layout for primary uses, as well as accessory uses, dimensions for all improvements

STATUS OF REVIEW: NO

REMARKS: Setbacks and building heights do not match PUD concept plan as it was approved in 2022.

43 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Preliminary buffer plan/6.8.6 - Buffering

STATUS OF REVIEW: NO

REMARKS: Buffering along northern boundary does not match the buffers of the concept plan, should reflect a modified 10' ft type C buffer and not a standard type C buffer.

44 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.16 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation. Check aerials, LANDSAT map in planning and Natural areas inventory to verify.

STATUS OF REVIEW: NO

REMARKS: Please provide environmental assessment.

45 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: NO

REMARKS: Final PUD master plan shall require approval by the Marion County BCC.

46 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: Road names have been assigned and labeled on Sheet RN.01. Please label accordingly on all future submittals. Also please correct the label for SE 73rd Ave on Sheet 03.01, you have SE 73th Ave.

47 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: NO

REMARKS: Please provide Tree mitigation, Landscape and irrigation plans



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR #30516

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 02/17/25 Parcel Number(s): 48347-000-00 Permit Number: AR#30516

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Heritage Oaks Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Southeast 73rd Ave LLC
Signature: _____
Mailing Address: 208 Florida Ave City: Coleman
State: FL Zip Code: 33521 Phone #: _____
Email address: _____

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: Timothy C. Brooker, P.E.
Mailing Address: 1720 SE 16th Ave., Bldg 100 City: Ocala
State: FL Zip Code: 34471 Phone #: (352) 387-4540
Email address: permits@tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.1.3 Order of Plan Approval
Reason/Justification for Request (be specific): Applicant request waiver to allow the proposed improvement and landscape plans to be approved consistent with the proposed PUD modification that is currently under review. Should the PUD modification not be approved, the landscape plans will be modified accordingly.

DEVELOPMENT REVIEW USE:

Received By: Email 2/18/25 Date Processed: 2/18/25 CF Project # 2023080054 AR # 30516

ZONING USE: Parcel of record: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

PERMITS:
 1. MARION COUNTY LAND DEVELOPMENT PLAN - PENDING
 2. SJRWMD - ERF - PENDING
 3. FDEP - POTABLE WATER - PENDING
 4. FDEP - WATERSHED - PENDING
 5. FDEP - NPDES (By Odem)
 6. FDEP - NPDES (By Odem)

UTILITY COMPANIES:

WATER/SEWER MARION COUNTY UTILITIES
 ELECTRIC SUMTER ELECTRIC CO-OP
 FIBER/TELEPHONE/CABLE CENTURY LINK

CUSTOMER SERVICE 24/7/365 352-307-4000
 JANET COX 352-569-5612
 BILL MCLOUD 850-999-1411

REQUESTED WAIVERS:

NOTES:
 1. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12803083, EFFECTIVE DATE OF AUGUST 24, 2005, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.
 2. ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLEEVED IN ACCORDANCE WITH SECTION B.2.A OF THE MARION COUNTY LAND DEVELOPMENT CODE.
 3. THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
 4. SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH FOOT REQUIREMENTS.
 5. VERTICAL DATUM IS BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT U751, ELEVATION 802.57 (NAVD 1988).
 6. DESIGN SPEED = 30 MPH. TO BE POSTED AT 25 MPH EXCEPT FOR CURVES WITH RADII LESS THAN 300'.
 7. THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED CONCURRENCY APPROVAL. CONCURRENCY APPROVAL IS NOT REQUIRED FOR THIS PROPOSED PROJECT. CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGE. THIS PROJECT IS SUBJECT TO THE PLANNING PERMIT PAY-ON-PERMITTING PERMIT REVIEW.
 8. ALL PROPOSED ROADS ARE TO BE LOCAL SUBDIVISION WITH PRIVATE ROAD STATUS.
 9. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
 10. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.

BASIS OF BEARING:

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 201 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

BENCHMARK:

TEMPORARY BENCHMARK "A" SET 5/8" IRON ROD & CAP (LB 8071) ELEVATION= 67.54' (NAVD 1988)
 N 1690381.730 E 645951.820

TEMPORARY BENCHMARK "A" SET 5/8" IRON ROD & CAP (LB 8071) ELEVATION= 75.57' (NAVD 1988)
 N 1691371.521 E 645601.46

LEGAL DESCRIPTION:

LEGAL DESCRIPTION

(PER OFFICIAL RECORDS BOOK 477, PAGE 39)

THE NW 1/4 OF THE SW 1/4 OF THE NE 1/4, AND NE 1/4 OF THE SE 1/4 OF THE NW 1/4, EXCEPT THE SOUTH 62.52 FEET OF THE WEST 47.5 FEET THEREOF; AND THE NORTH 40.00 FEET OF THE NW 1/4 OF THE NE 1/4, EXCEPT THE WEST 20.00 FEET THEREOF FOR ROAD RIGHT OF WAY; AND THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4, EXCEPT THE NORTH 30 FEET OF THE EAST 20 FEET OF NW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST.

(PER OFFICIAL RECORDS BOOK 280, PAGE 174)

THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY; EXCEPT THE NORTH 40.00 FEET AND EXCEPT THE WEST 25.00 FEET THEREOF.

AND

THE SOUTH 42.52 FEET OF THE WEST 47.5 FEET OF THE NE 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA.

(PER OFFICIAL RECORDS BOOK 226, PAGE 162)

THE NORTH 20.00 FEET OF THE EAST 20.00 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY; EXCEPT THE WEST 20.00 FEET OF THE NORTH 40.00 FEET OF NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTH 20.00 FEET OF THE EAST 20.00 FEET OF THE NORTH 40.00 FEET OF THE EAST 20.00 FEET OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; EXCEPT THE WEST 25.00 FEET FOR ROAD RIGHT OF WAY.

(PER OFFICIAL RECORDS BOOK 205, PAGE 136)

THE SOUTH 1/4 OF THE NE 1/4 OF THE NW 1/4 OF SECTION 26, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; EXCEPT THE WEST 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY.

IMPROVEMENT PLANS

HERITAGE OAKS

SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST MARION COUNTY, FLORIDA

THIS SITE CONTAINS:
 RESIDENTIAL LOTS = 161
 TOTAL MILES OF ROADWAY = 1.38 MILES
 PROJECT AREA = 39.95 ± AC.
 PARCELS: PORTION OF #48347-000-00
 ZONING - PUD
 LAND USE - MEDIUM DENSITY RESIDENTIAL (MR)
 AVERAGE DAILY TRIPS = 1611 TRIPS (210)
 PEAK HOUR TRIPS = 160 TRIPS (210)
 PROPOSED IMPERVIOUS AREA = 17.98 ± AC



VICINITY MAP

1" = 500'

OWNER/DEVELOPER
 SOUTHEAST 73rd AVE, LLC
 PATRICK A. MC LAUGHLIN
 208 FLORIDA AVE.
 COLEMAN, FLORIDA 33521

ENGINEER/DESIGNER
 TILLMAN AND ASSOCIATES ENGINEERING, LLC
 TIMOTHY BROOKER JR., P.E.
 1720 SE 16th AVE., BLDG. 100
 OCALA, FLORIDA 34471
 PH: (352) 387-4540

SURVEYOR
 JCH CONSULTING GROUP, INC.
 CHRISTOPHER J. HOWSON, P.S.M., CFM
 426 SW 15TH STREET
 OCALA, FLORIDA 34471
 PH: (352) 405-1482

GEO-TECHNICAL CONSULTANT:
 GEO- TECH, INC.
 CRAIG HAMPTON
 1016 S.E. 3RD AVENUE
 OCALA, FLORIDA 34471
 PHONE (352) 694-7711



Marion County Approval Stamp

Tillman & Associates

ENGINEERING, LLC

CIV. ENGINEER: RANDI J. LASSIGUE, P.E.
 1720 SE 16th AVE., BLDG 100, OCALA, FL 34471
 Office: (352) 387-4540; Fax: (352) 387-4545
 GNTN: 04/07/2016

REVISIONS

DATE

COVER

INDEX OF SHEETS

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SL.01	SLEEVING PLAN
1-3	BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY JCH CONSULTING GROUP, INC)

OWNER'S SIGNATURE

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

PATRICK A. MC LAUGHLIN
 SOUTHEAST 73rd AVE., LLC

IMPROVEMENT PLANS
 HERITAGE OAKS
 MARION COUNTY, FLORIDA

DATE

DRAWN BY

CHKD BY

JOHN

A.J.

22-8128

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

TIMOTHY BROOKER JR., P.E.
 Registered Engineer No. 7929
 STATE OF FLORIDA

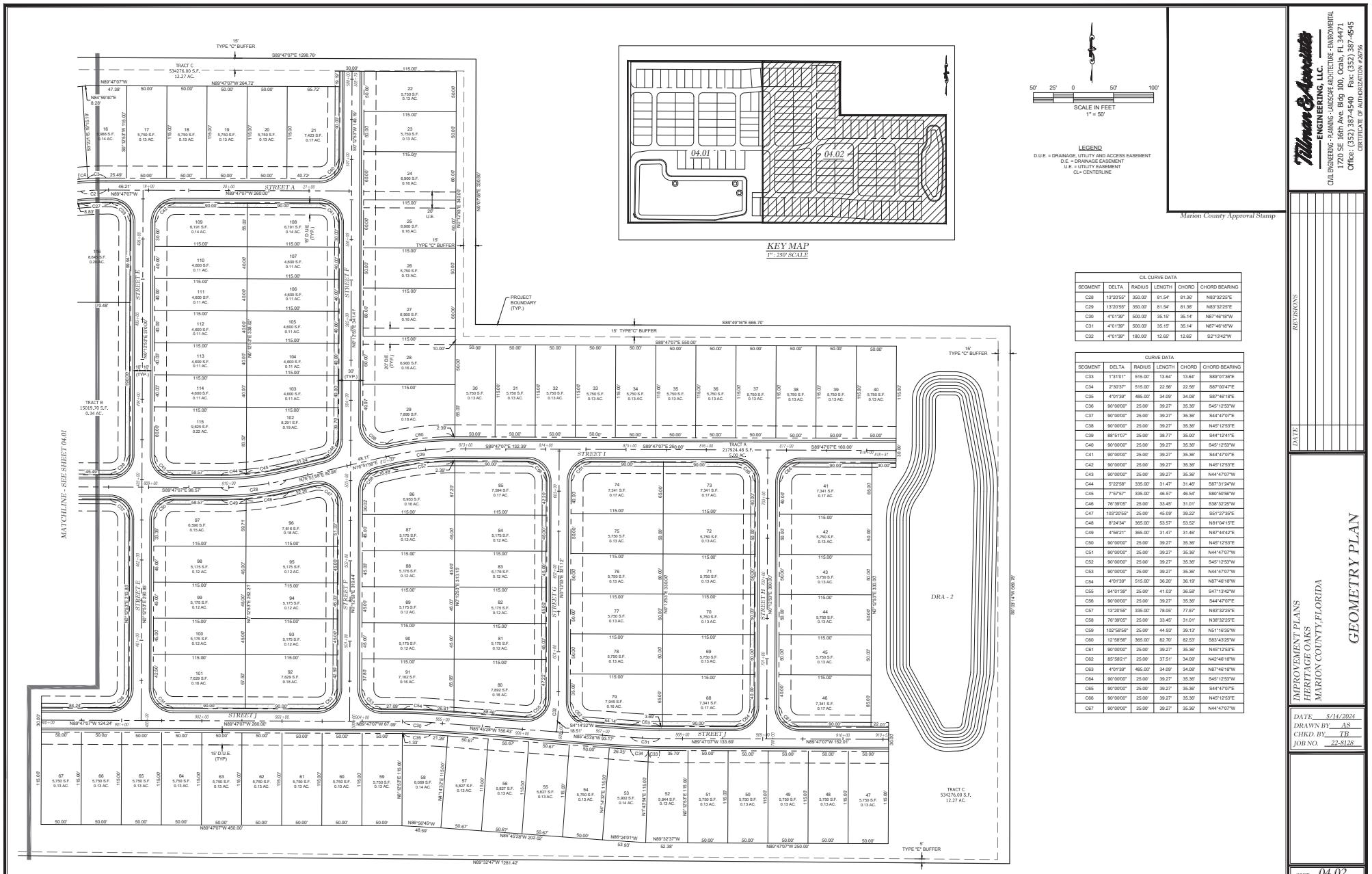
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

JCH CONSULTING GROUP, INC.
 CHRISTOPHER J. HOWSON
 Registered Land Surveyor No. 6353
 STATE OF FLORIDA

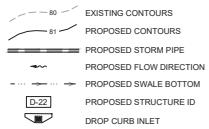
SHT

01.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

GRADING LEGEND



NOTES:

The figure is a detailed site plan for a residential development, likely a subdivision. The plan shows a grid of streets and lots, with various property lines and building footprints. Key features include:

- Drainage:** The plan illustrates the existing drainage system (DRA) with a dashed line, and the proposed drainage system with a solid line. Labels indicate "EXISTING DRA", "PROPOSED DRA", "EXISTING CONTOURS (TYP.)", and "PROPOSED SWALE (TYP.)".
- Basins:** Two large basins are highlighted: "BASIN 1 35.32 AC" and "BASIN 2 5.81 AC".
- Contours:** Existing contours are shown as dashed lines, and proposed contours are shown as solid lines. Labels include "EXISTING CONTOURS (TYP.)" and "PROPOSED CONTOURS (TYP.)".
- Streets:** Streets are labeled with names like STREET A, STREET B, STREET C, STREET D, STREET E, STREET F, STREET G, and STREET H.
- Lot Numbers:** Numerous lots are numbered, such as 1 through 40, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 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581006714, 581006715, 581006716, 581006717, 581006718, 581006719, 581006720, 581006721, 581006722, 581006723, 581006724, 58

A vertical scale bar with markings at 0, 80', and 160'. The text "SCALE IN FEET" and "1" = 80' is printed below the bar.

Tillman & Associates
ENGINEERING, LLC.
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. • Blog 100, Ocala, FL 34471
Office: (352) 387-4340 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #26736

REVISIONS

MASTER DRAINAGE PLAN

DATE 5/14/2024
DRAWN BY AS
CHKD. BY TB
JOB NO. 22-8128

SHT. 05.01

NOTES:

1. A METERED JUMPER CONNECTION WITH AN RP BACKFLOW PREVENTION ASSEMBLY IS REQUIRED. THE CONTRACTOR SHALL PROVIDE THE RP BACKFLOW PREVENTION ASSEMBLY. THE RP BACKFLOW PREVENTION ASSEMBLY MUST BE APPROVED AND ACCEPTED BY THE DISTRICT. THE VALVE (OR VALVES) BETWEEN EXISTING AND PROPOSED SHAD WILL REMAIN OFF UNTIL APPROVED. PERSONNEL OF MARION COUNTY DEEM APPROPRIATE TO TEST THE WATER UTILITIES. WATER UTILITIES TESTING INSTRUCTION WILL BE BILLED TO THE OWNER/APPLICANT LISTED ON THE IMPROVEMENT PLANS. PLEASE ACKNOWLEDGE.
2. ALL FIRE HYDRANTS TO BE INSTALLED, TESTED AND PAINTED ACCORDING TO FLOW RATES AND NFPA 291 BY A CONTRACTOR APPROVED BY THE DISTRICT. THE CONTRACTOR WILL PROVIDE THE MARION COUNTY FIRE PREVENTION OFFICE WITH A COPY OF THE HYDRANT FLOW DATA.
3. ALL FIRE HYDRANTS TO BE PAINTED ACCORDING TO FLOW RATES AND NFPA 291 STANDARDS
4. REFER TO DETAIL U710 FOR UTILITIES OUTSIDE OF ROADWAY.
5. MINIMUM 5' SEPARATION BETWEEN WATER MAIN AND SIGNS TO ALLOW FOR REPAIR AND MAINTENANCE OF UTILITIES.
6. ALL PROPOSED SERVICES FOR IRRIGATION WILL REQUIRE A 17x30 DFW METER BOX INSTALLED TO GRADE WITH THE SERVICE BURIED AT METER INSTALLATION DEPTH.

CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATIONS AND DEPTHS

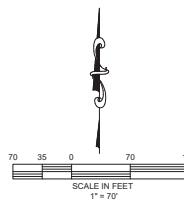
ALL PROPOSED IN-PLACE WATER AND SANITARY SEWER INFRASTRUCTURE SHALL COMPLY WITH THE LATEST MARION COUNTY SPECIFICATIONS

WATER LEGEND:

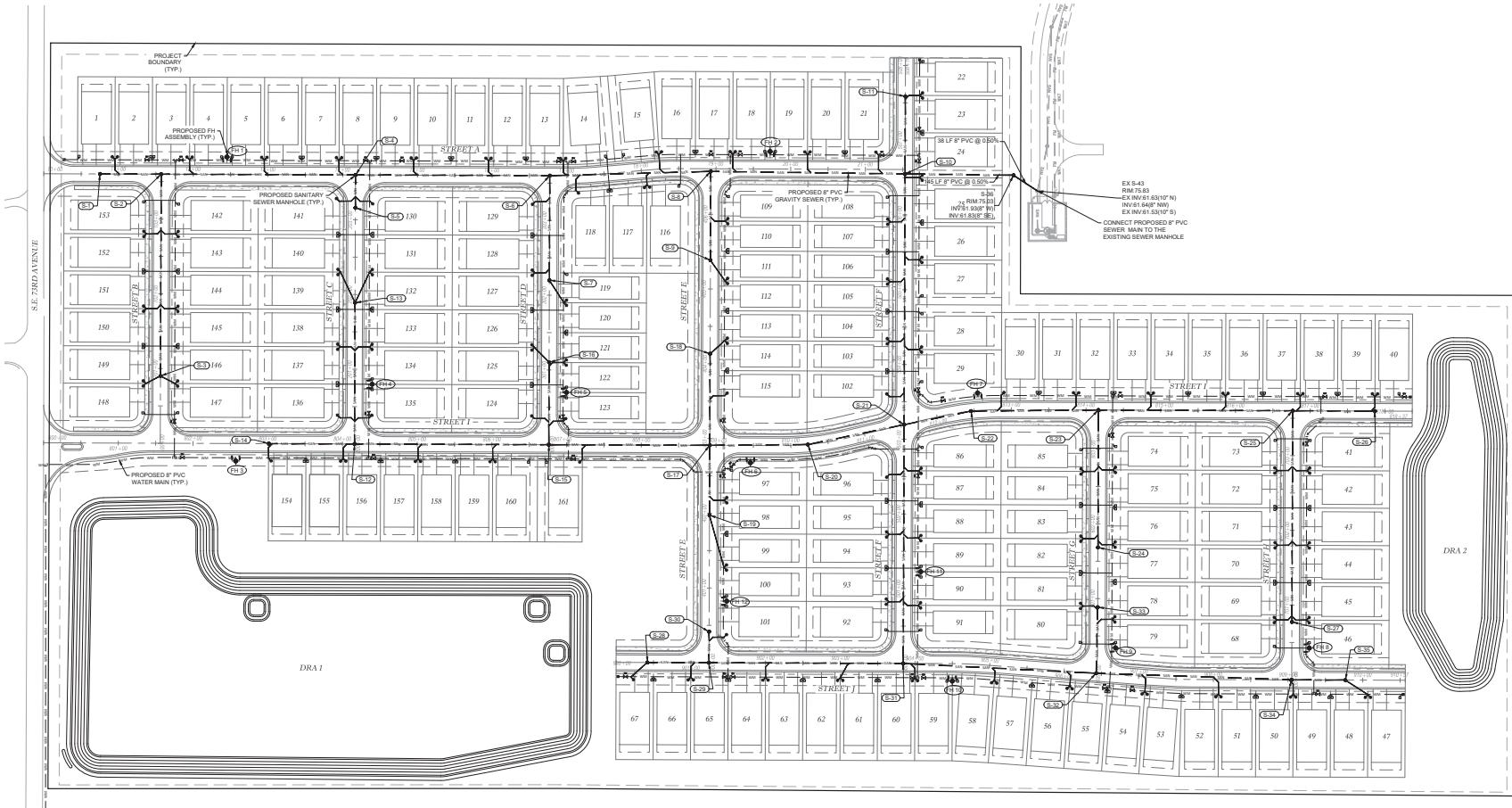
- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- DOUBLE SERVICE
- SINGLE SERVICE
- GATE VALVE & BOX
- REDUCER
- BLOW OFF ASSEMBLY
- FIRE HYDRANT NUMBER

SANITARY SEWER LEGEND:

- SANITARY SEWER
- MANHOLE
- SANITARY MANHOLE NUMBER
- DOUBLE SERVICE
- SINGLE SERVICE



Marion County Approval Stamp



SEE OFFSITE UTILITY PLAN SHEET (06.02)

Miller & Associates
ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE & ENVIRONMENTAL

1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-1500, Fax: (352) 387-7455
CERTIFIED AS AN AUTHORIZED DRAWER BY 05/26/2024

REVISIONS

DATE

MASTER UTILITY PLAN
IMPROVEMENT PLANS
HERITAGE OAKS
MARION COUNTY, FLORIDA

DATE: 5/14/2024
DRAWN BY: AS
CHKD BY: TB
JOB NO: 22-8128

SH. 06.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

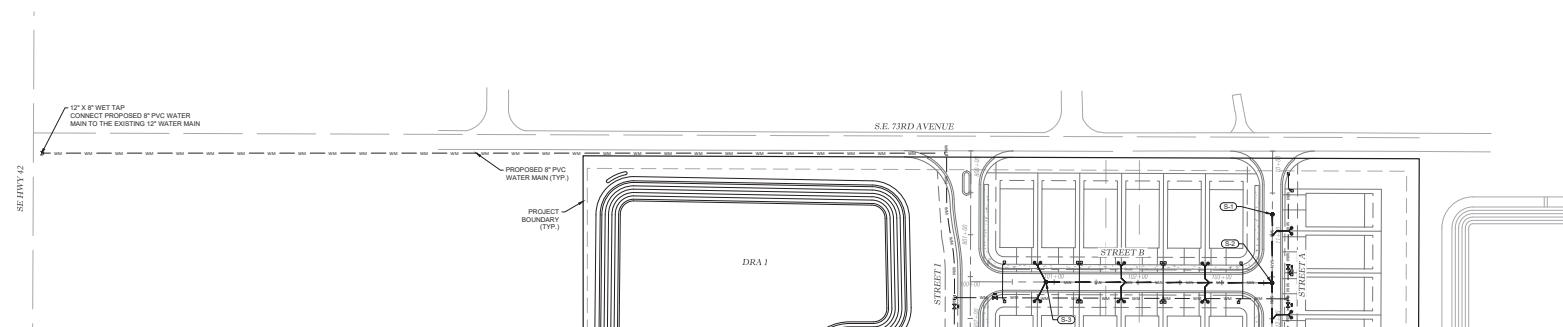
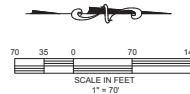
WATER LEGEND:

- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- DOUBLE SERVICE
- SINGLE SERVICE
- GATE VALVE & BOX
- REDUCER
- BLOW OFF ASSEMBLY
- FIRE HYDRANT NUMBER

SANITARY SEWER LEGEND:

- SANITARY SEWER
- MANHOLE
- SANITARY MANHOLE NUMBER (S-15)
- DOUBLE SERVICE
- SINGLE SERVICE

Marion County Approval Stamp



Miller & Associates

Engineering, Planning, Landscape Architecture & Environmental
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: 352.371.4540, Fax: 352.371.4545
Centrally Located At: 4400 SW 21st Street, Ocala, FL 34474

DATE	REVISIONS

IMPROVEMENT PLANS HERITAGE OAKS MARION COUNTY, FLORIDA

DATE: 5/14/2024
DRAWN BY: AS
CHKD BY: TB
JOB NO. 22-8128

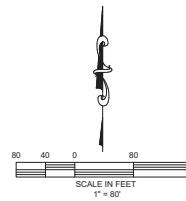
SH. 06.02

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Marion & Associates
ENGINEERING, LLC

CGI ENGINEERING, SANNING - LANDSCAPE ARCHITECTURE, ENVIRONMENTAL,
1720 SE 16th Ave, Box 100, Ocala, FL 34471
Office: (352) 384-7450 Fax: (352) 387-4945
CERTIFICATE OF AUTHORIZATION #0756

Marion County Approval Stamp



SCALE IN FEET
1" = 80'

REVISIONS

DATE

IMPROVEMENT PLANS
HERITAGE OAKS
MARION COUNTY, FLORIDA

SIGNAGE & STRIPPING PLAN

DATE: 5/14/2024
DRAWN BY: AS
CHECKED BY: TB
JOB NO.: 22-8128

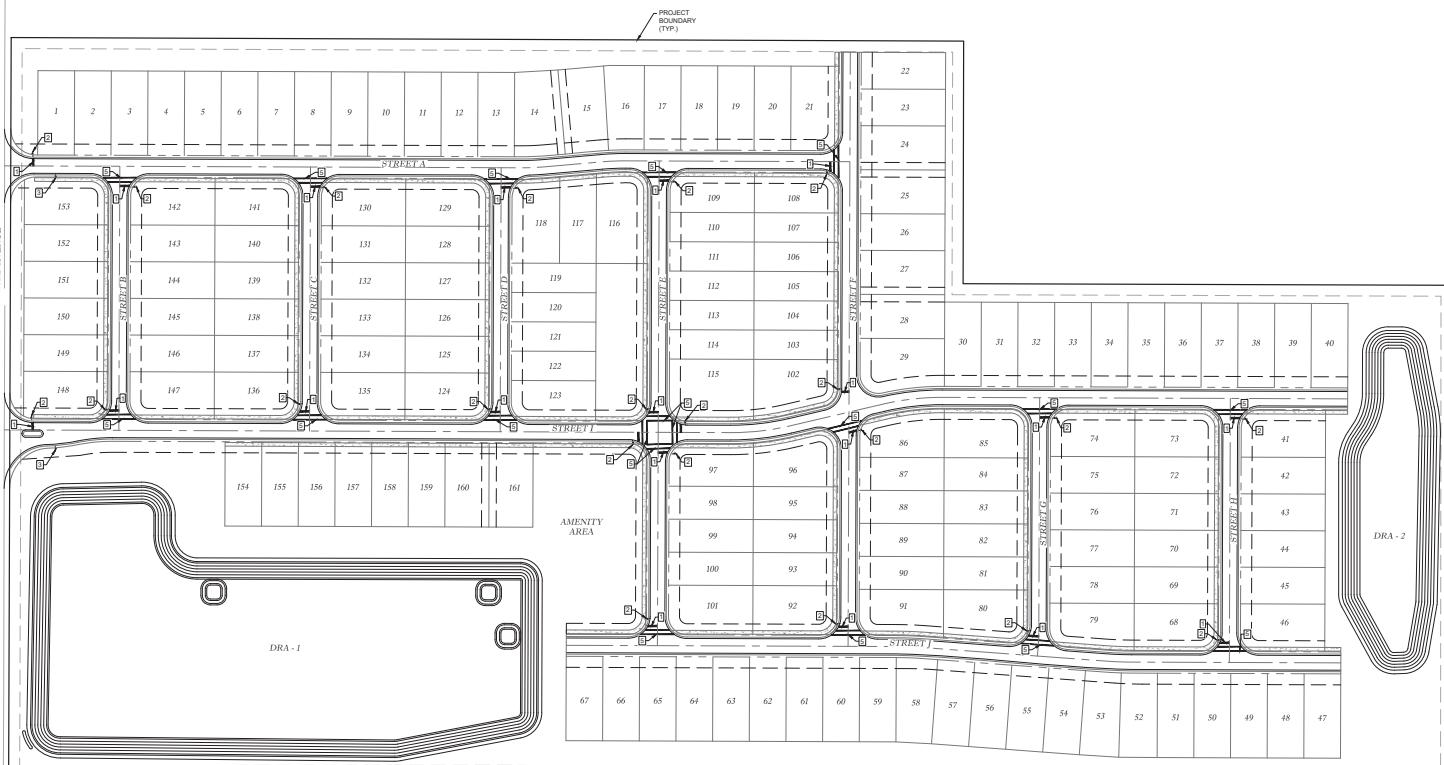
SHT. 07.01

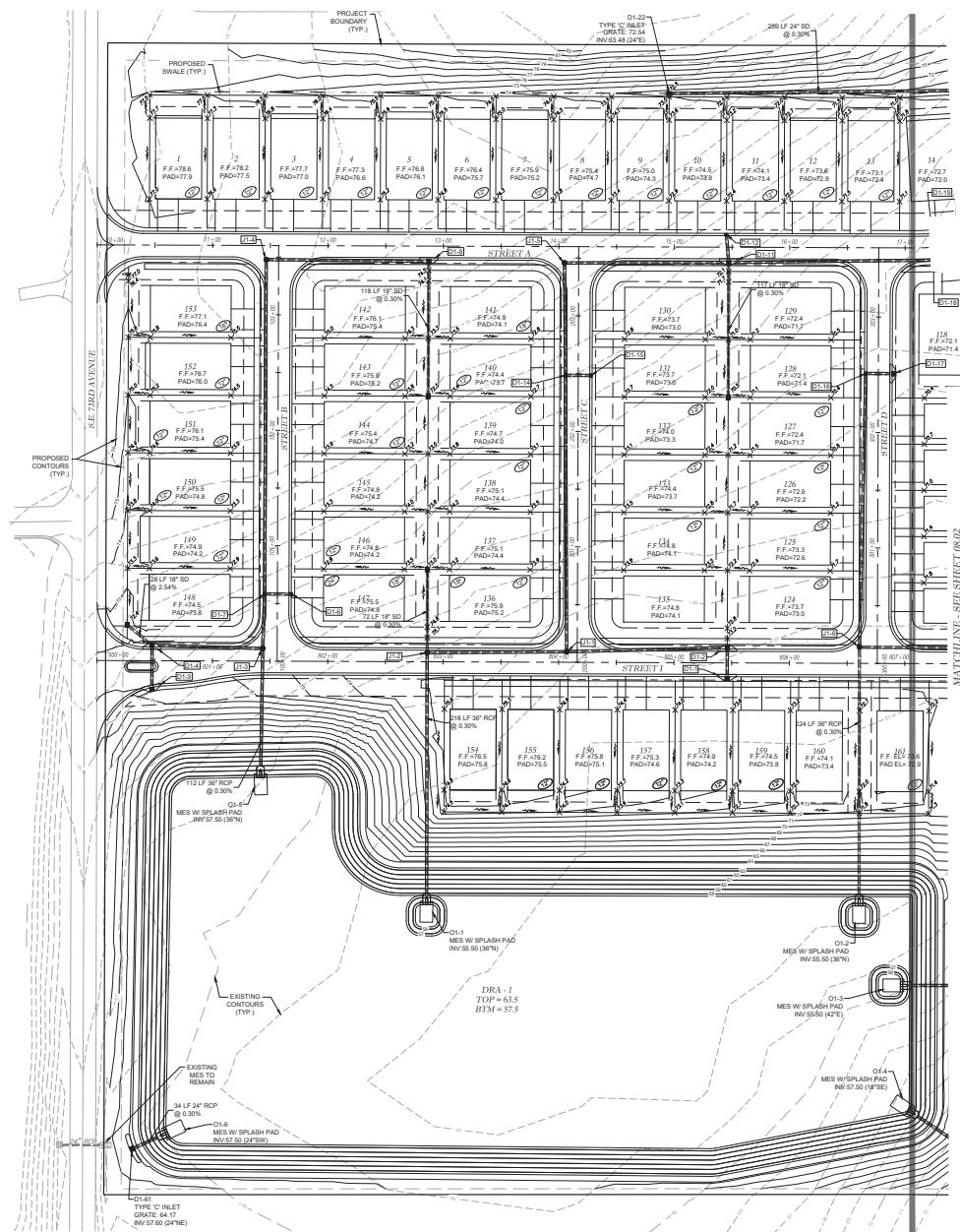
NOTE
1. ALL STREET NAME SIGNAGE PER 911 MANAGEMENT
PLAN (STREET RN.01)

C/L RADIUS	DESIGN	POSTED
107'-19"	20	20
50'-10"	15	15
19'-4"	10	15

LEGEND:

- 24" WHITE STOP BAR
- "STOP" SIGN (R1-1) w/COMBINED STREET SIGNS
- "SPEED LIMIT 25MPH" SIGN (R2-1)
- SOLID WHITE DIRECTIONAL ARROWS
- 12" WHITE SOLID CROSSWALK (6'-LONG)
- 6" SOLID YELLOW LINE
- 6" SOLID DASHED WHITE LINE
- CURVE WARNING SIGNS (W1-1L OR W1-1R)
w/ADVISORY SPEED PLAQUE 15MPH (W1-1P)



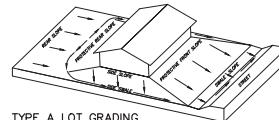


GENERAL:

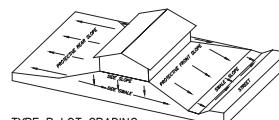
- 1% MINIMUM GRADE ALONG LOT LINES UNLESS OTHERWISE DENOTED.
- 25% MAXIMUM SLOPE ANYWHERE ON SITE, UNLESS OTHERWISE DENOTED.
- 8" (0.7') DIFFERENCE FROM PAD TO FINISHED FLOOR.
- MINIMUM 1% SLOPE FROM PAD TO ADJACENT LOT CORNER UNLESS OTHERWISE DENOTED.
- IF FINAL PRODUCT FALLS OUTSIDE OF PRESCRIBED, ENGINEER MUST REVIEW AND ADDITIONAL STEM WALLS AND STEP DOWNS MAY BE REQUIRED.

DRIVEWAYS:

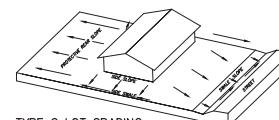
- RESTRICT DRIVEWAYS TO HIGH SIDE OF LOT IF STEEPER THAN 8% (BASED ON 25' DRIVEWAY).



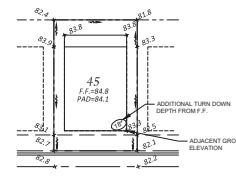
TYPE A LOT GRADING
ALL DRAINAGE TO STREET



TYPE B LOT GRADING
(GRADE BREAK NEAR REAR OR CENTER OF BUILDING)

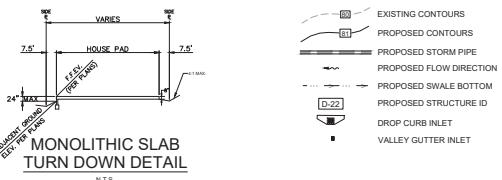


TYPE C LOT GRADING
(GRADE BREAK AT FRONT OF BUILDING PA

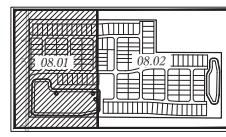


FINISHED FLOOR ELEVATION
LOT GRADING DETAIL

GRADING LEGEND



MONOLITHIC SLAB
TURN DOWN DETAIL



KEY MAP
1": 600' SCA

LOT GRADING PLAN

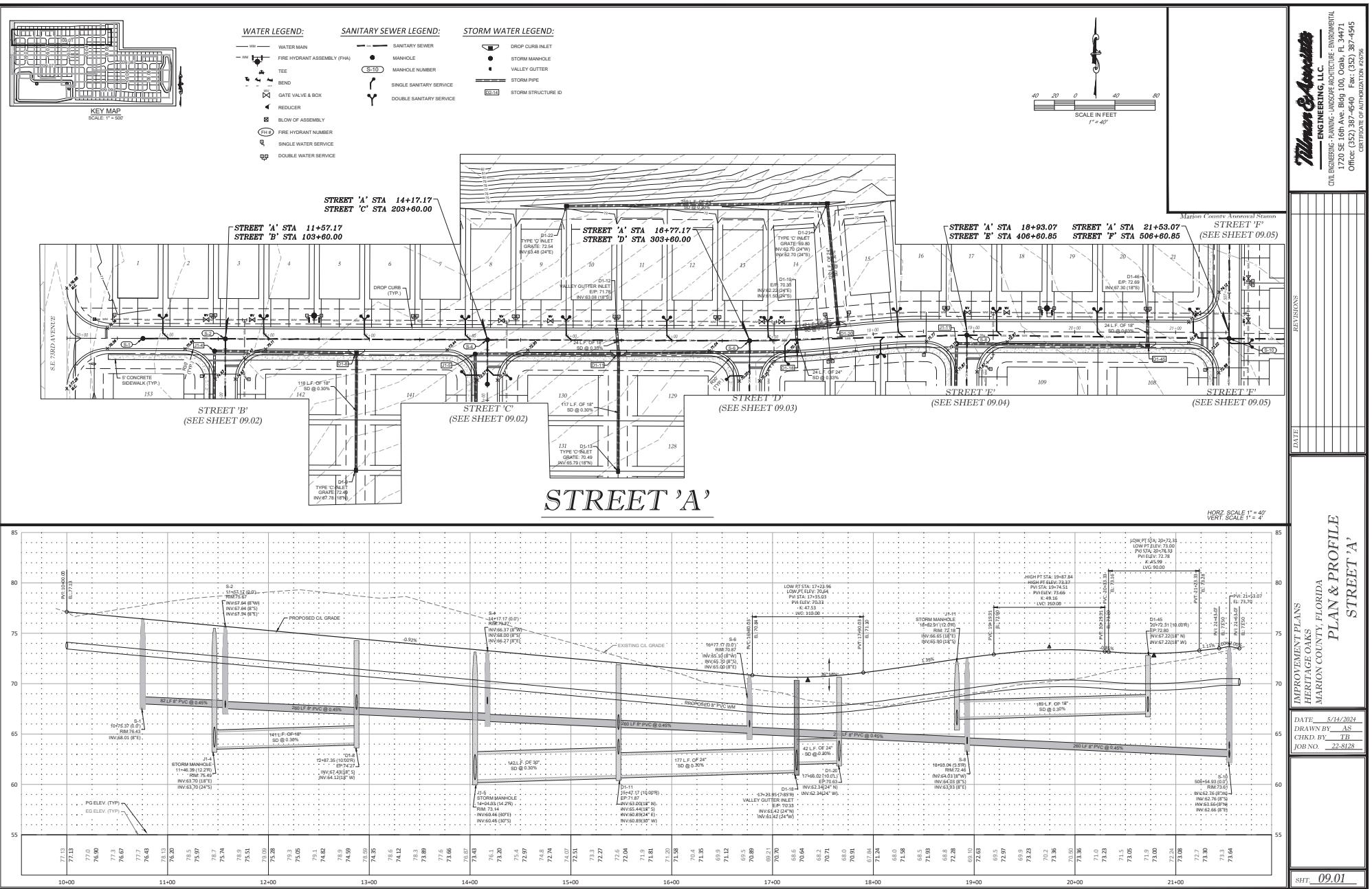
— ENGINEERING, LLC. —
ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL

CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #26756

MOVEMENT PLANS
PAGE OAKS
MONROE COUNTY, FLORIDA

DATE
DRAWN
CHKD. BY
JOB NO.

SHT. 08.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER


WATER LEGEND:

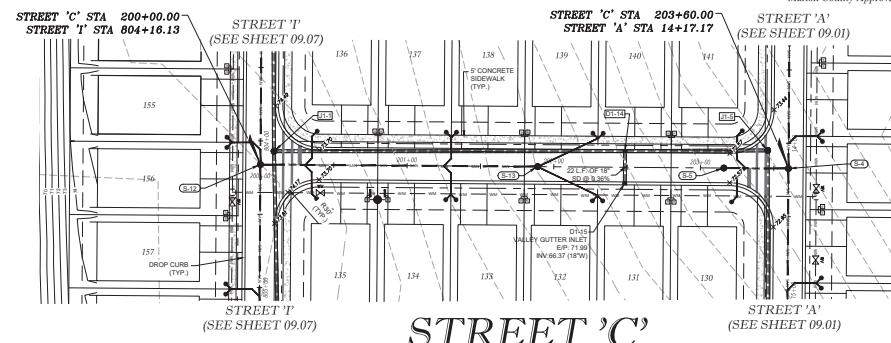
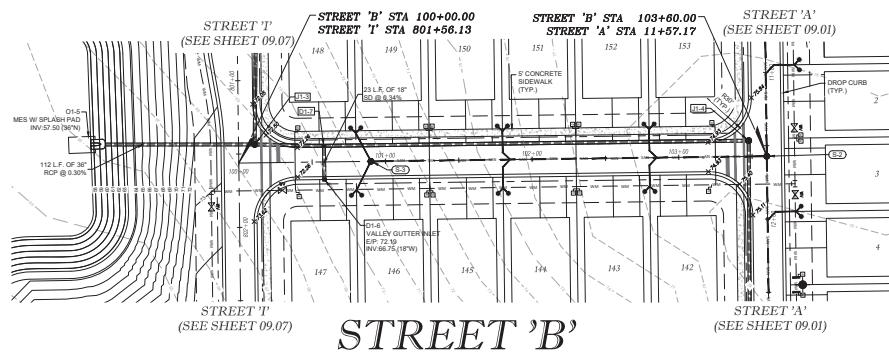
- WM - WATER MAIN
- FHA - FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- REDUCER
- GATE VALVE & BOX
- REULATOR
- BLOW OF ASSEMBLY
- FHA# - FIRE HYDRANT NUMBER
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE

SANITARY SEWER LEGEND:

- MANHOLE
- MANHOLE NUMBER
- SINGLE SANITARY SERVICE
- DOUBLE SANITARY SERVICE

STORM WATER LEGEND:

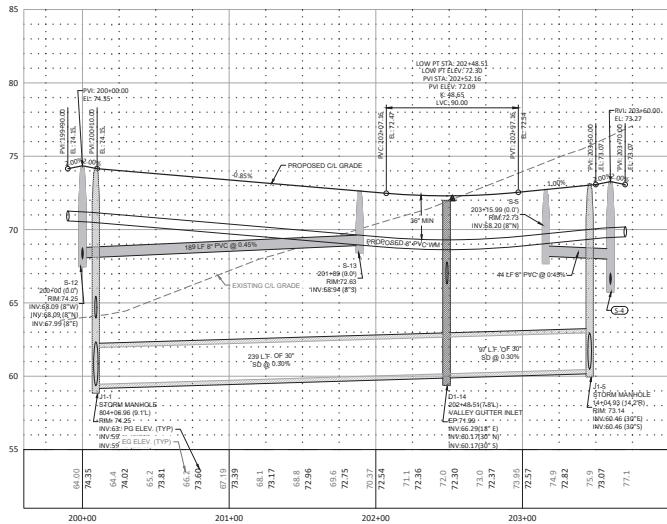
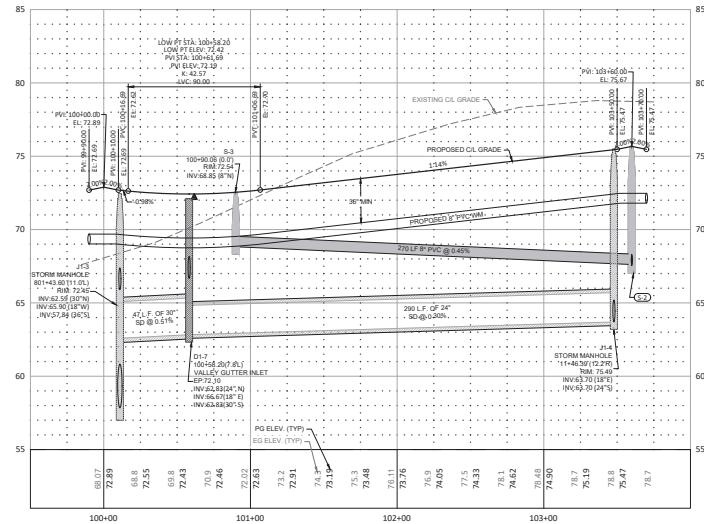
- DROP CURB INLET
- STORM MANHOLE
- VALLEY GUTTER
- STORM PIPE
- STORM STRUCTURE ID


 SCALE IN FEET
 1' = 40'


Marion County Approval Stamp

REVISIONS

DATE

 HORZ. SCALE 1" = 40'
 VERT. SCALE 1" = 4'

**IMPROVEMENT PLANS
HERITAGE OAKS
MARION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'B' & 'C'**

 DATE: 5/14/2024
 DRAWN BY: AS
 CHKD BY: TB
 JOB NO: 22-8128

SHT. 09.02



WATER LEGEND:

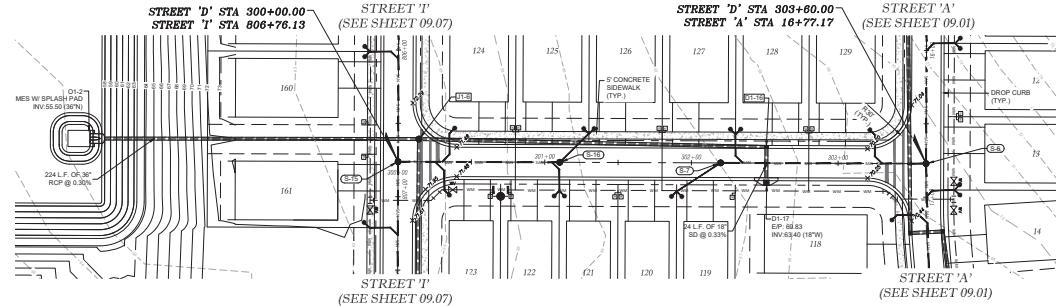
- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- GATE VALVE & BOX
- REDUCER
- BLOW OF ASSEMBLY
- FIRE HYDRANT NUMBER
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE

SANITARY SEWER LEGEND:

- SANITARY SEWER
- MANHOLE
- MANHOLE NUMBER
- SINGLE SANITARY SERVICE
- DOUBLE SANITARY SERVICE

STORM WATER LEGEND:

- DROP CURB INLET
- STORM MANHOLE
- VALLEY GUTTER
- STORM PIPE
- STORM STRUCTURE ID



STREET 'D'

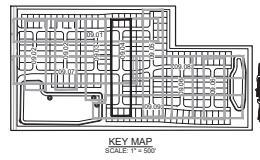
Marion County Approval Stamp

Marion & Associates

ENGINEERING, LLC

CIVIL ENGINEERING, PLANNING, SURVEYING, ARCHITECTURE, ENVIRONMENTAL
1720 SE 16th Ave., Bldg 100, Ocala, FL 34471
Office: (352) 347-4940 Fax: (352) 347-4945
CERTIFICATE OF AUTHORIZATION #20798

REVISIONS



WATER LEGEND:

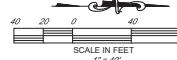
- MM WATER MAIN
- MM FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- GATE VALVE & BOX
- REDUCER
- BLOW OF ASSEMBLY
- FIRE HYDRANT NUMBER
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE

SANITARY SEWER LEGEND:

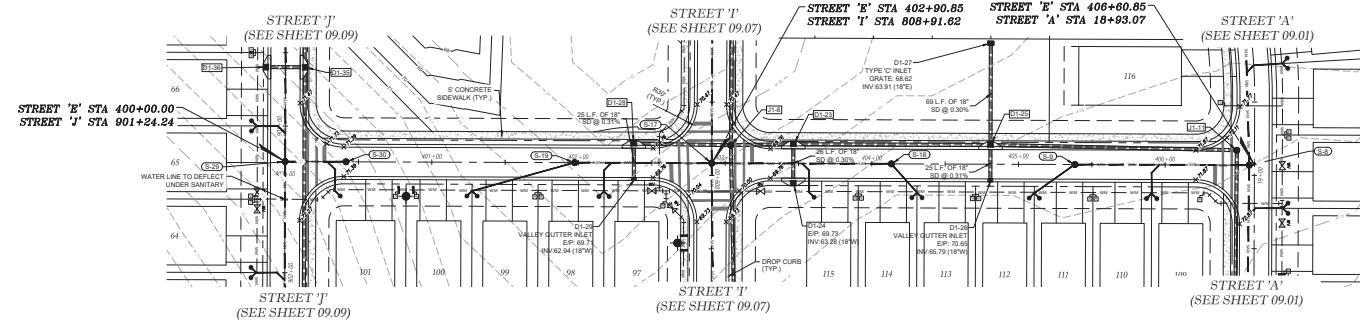
- SANITARY SEWER
- MANHOLE
- MANHOLE NUMBER
- SINGLE SANITARY SERVICE
- DOUBLE SANITARY SERVICE

STORM WATER LEGEND:

- DROP CURB INLET
- STORM MANHOLE
- VALLEY GUTTER
- STORM PIPE
- STORM STRUCTURE ID



SCALE IN FEET
1' = 40'



STREET 'E'

Marion County Approval Stamp

Miller & Associates

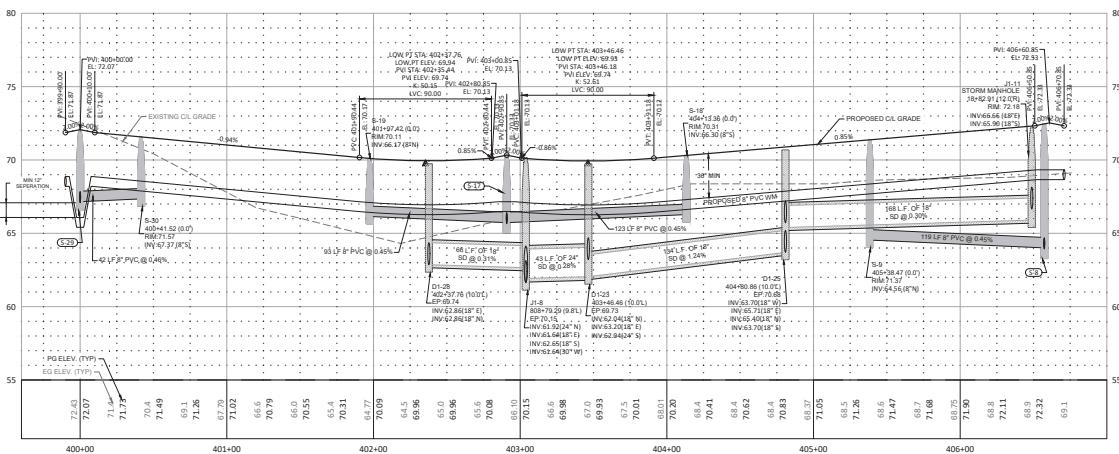
ENGINEERING, LLC

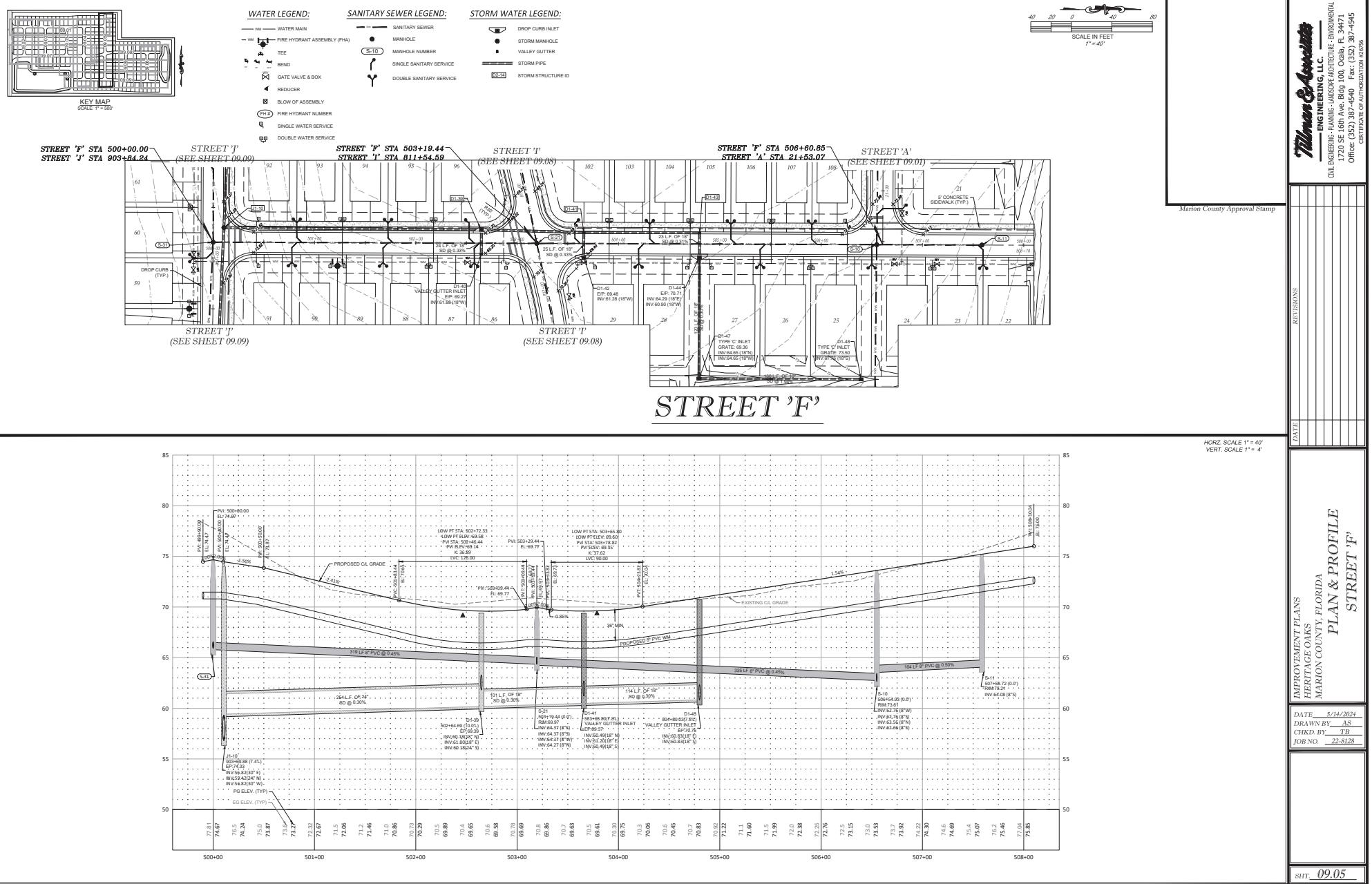
CIVIL ENGINEERING, PLANNING, SURVEYING, ARCHITECTURE, ENVIRONMENTAL
1720 SE 16th AVE, BLDG 100, Ocala, FL 34471
PHONE: (352) 347-5440 FAX: (352) 347-4545
CERTIFICATE OF AUTHORIZATION #20756

REVISIONS

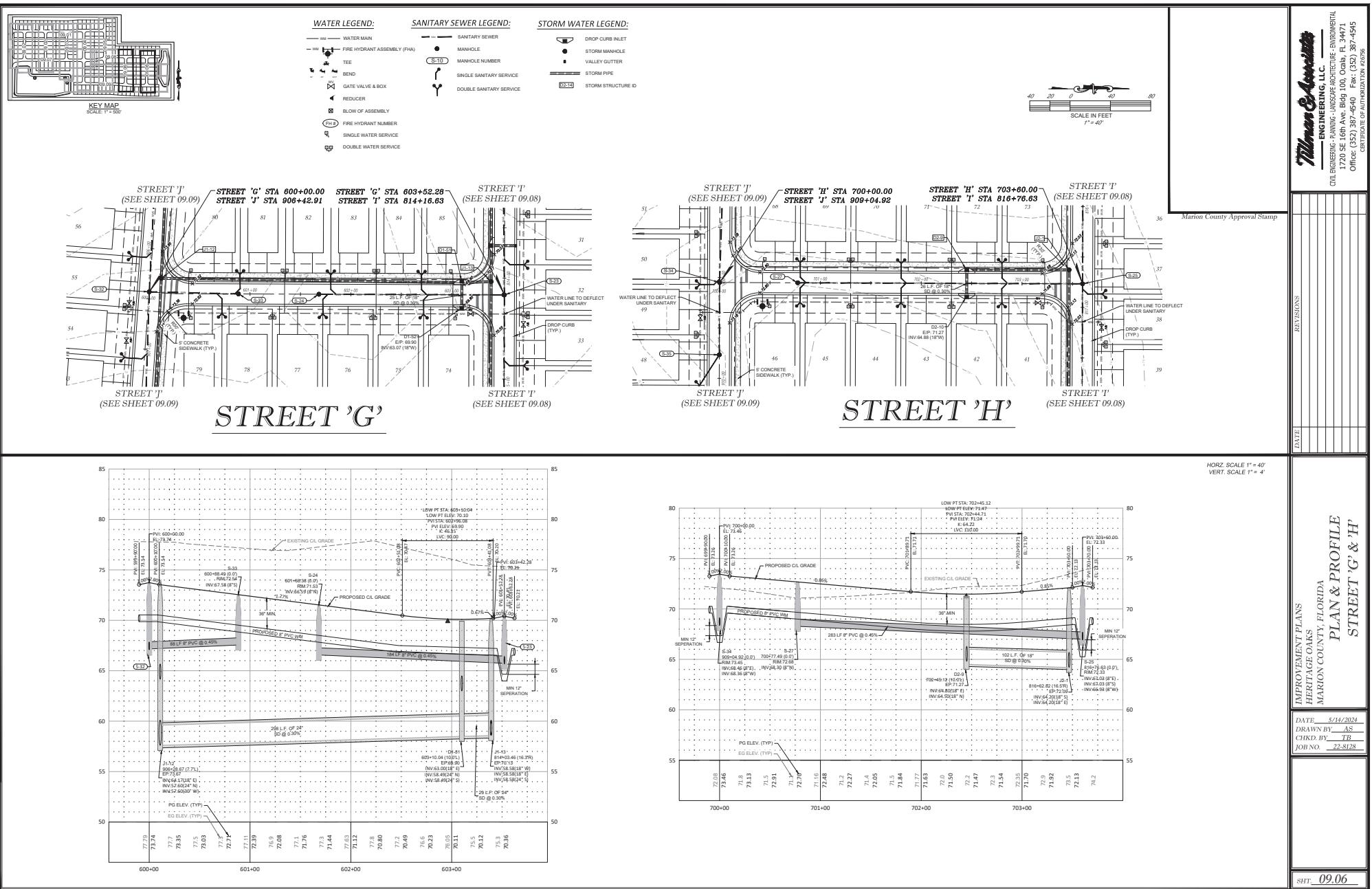
DATE

HORZ. SCALE 1' = 40'
VERT. SCALE 1' = 4'

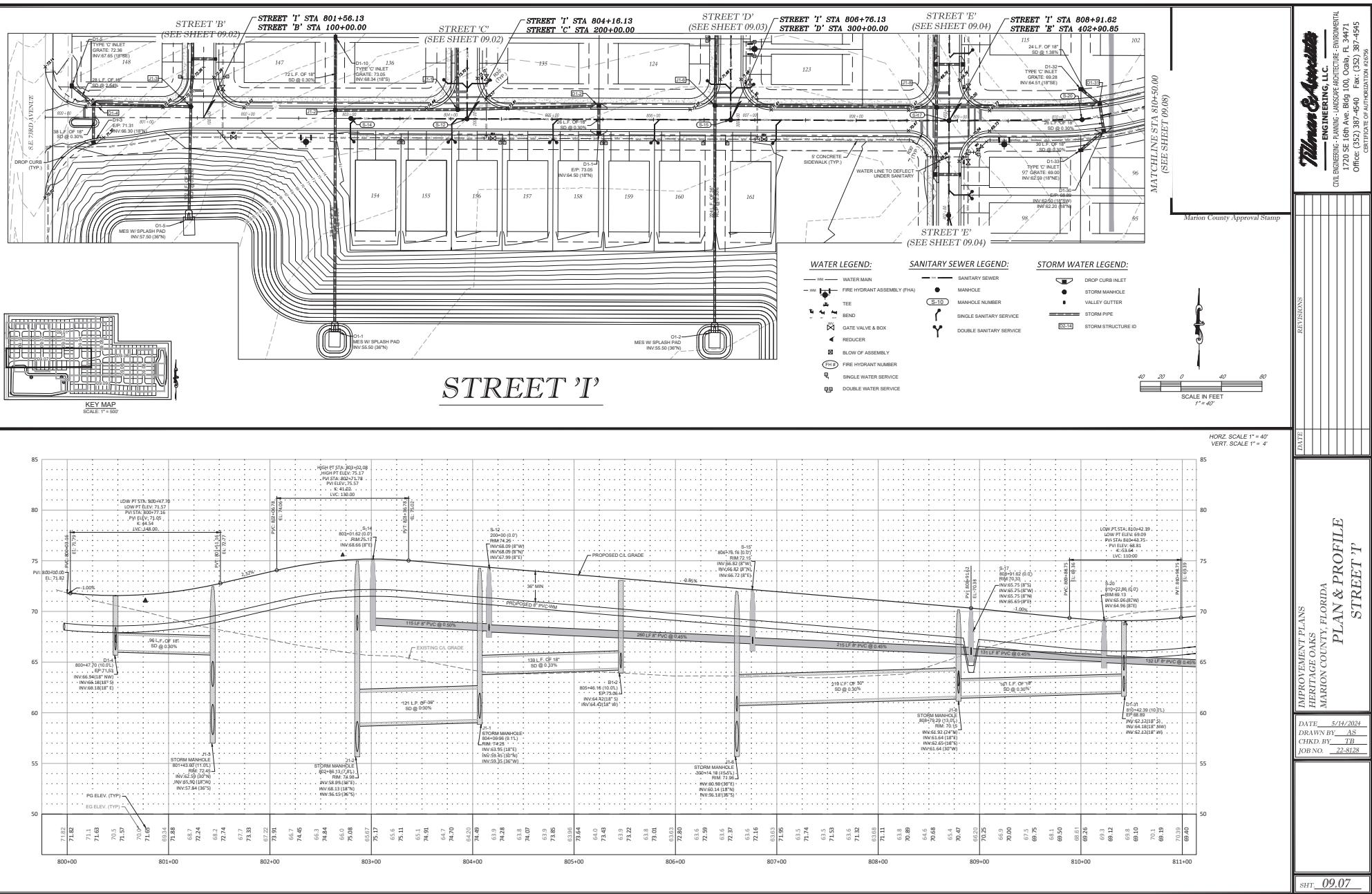


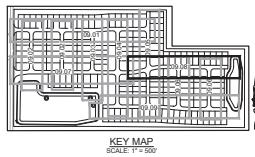


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NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER





KEY MAP
SCALE: 1" = 500'

MATCHLINE STA 810+50.00
(SEE SHEET 09.07)

卷之三

WATER LEGEND: SANITARY SEWER LEGEND

MAIN WATER SANITARY SEWER

WATER MAIN SANITARY TEE

FIRE HYDRANT ASSEMBLY (FHA) MANHOLE

TEE BEND

GATE VALVE & BOX SINGLE SANITARY

REDUCER DOUBLE SANITARY

BLOW ASSEMBLY

FIRE HYDRANT NUMBER

SINGLE WATER SERVICE

DOUBLE WATER SERVICE

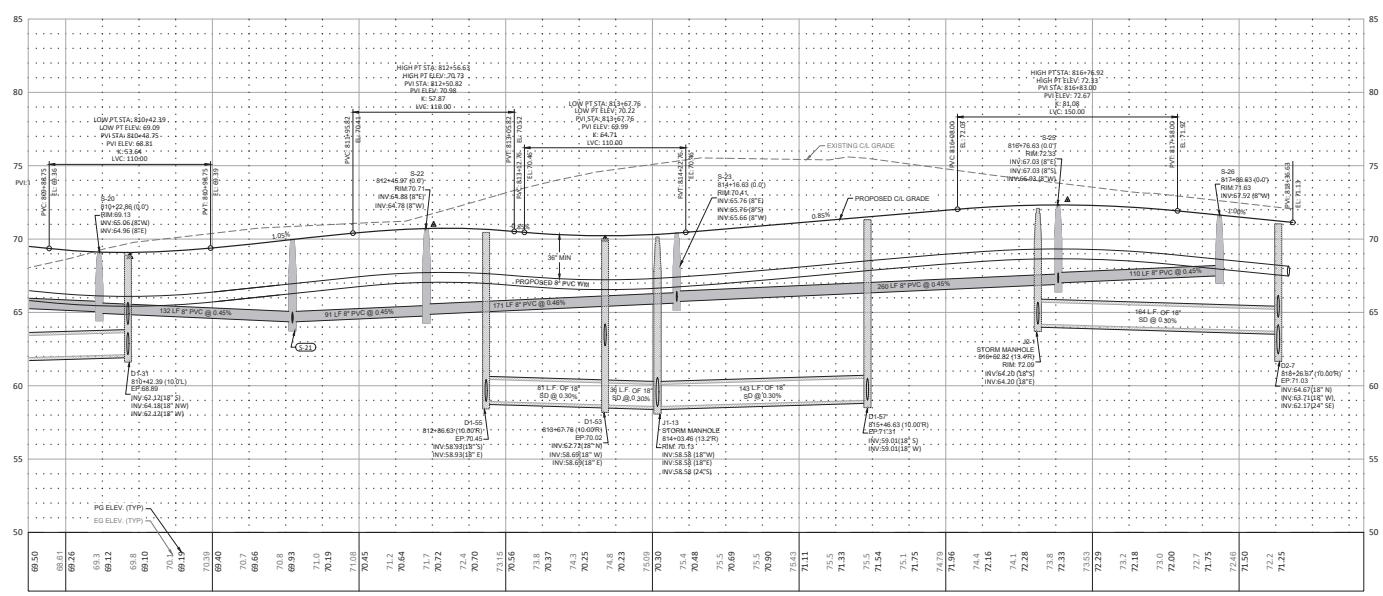
111

Engineering, LLC. —
ENVIRONMENTAL • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1120 SE 16th Ave., Bldg. 100, Orlando, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CONTRACTORS STATE LICENSED #C-44

Marion County Approval Stamp

111

STREET 'I'



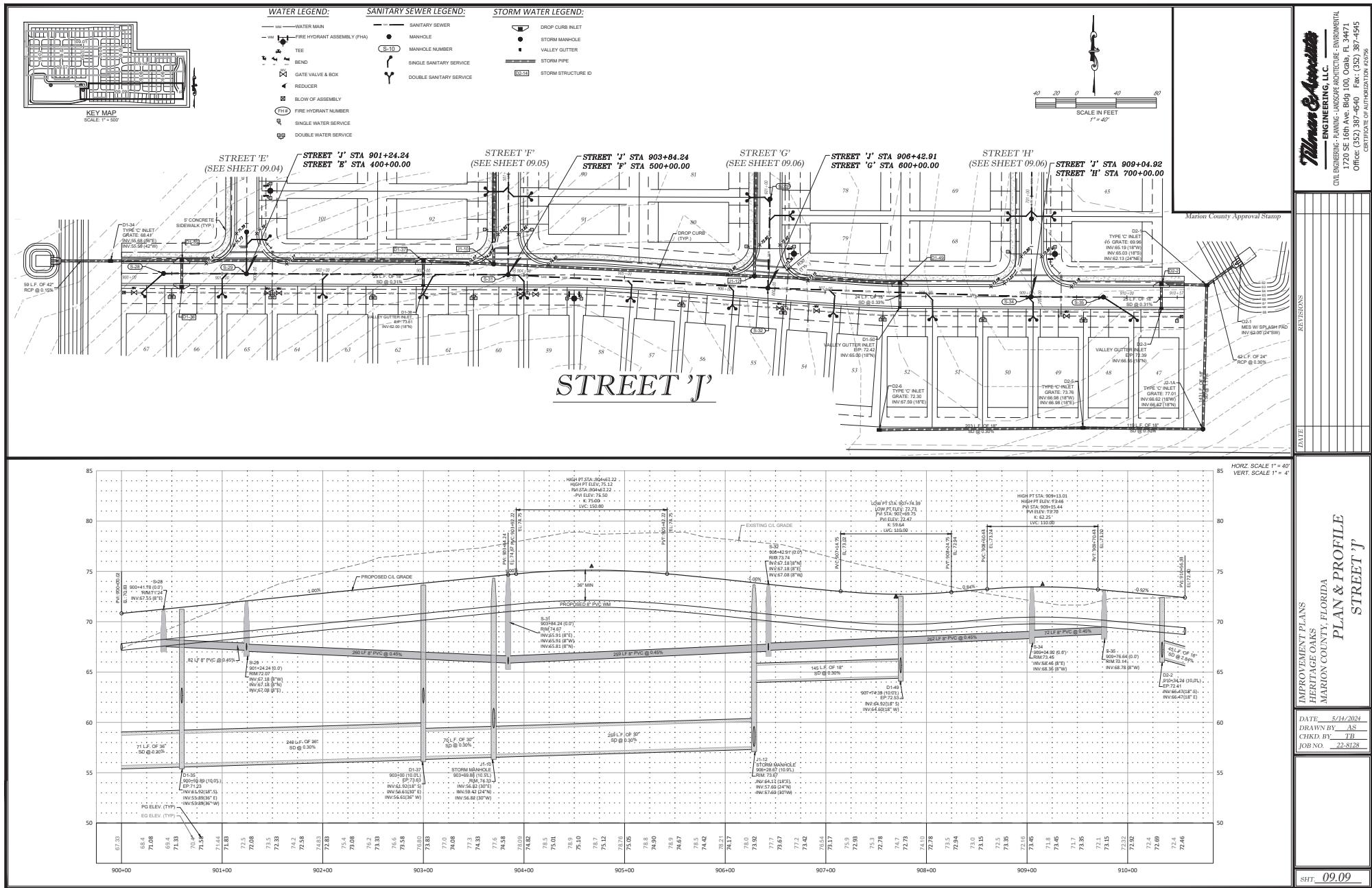
HORZ. SCALE 1" = 4
VERT. SCALE 1" = .

EDWARD
KS
TY, FLORIDA
PLAN & PROFILE
STREET 'T

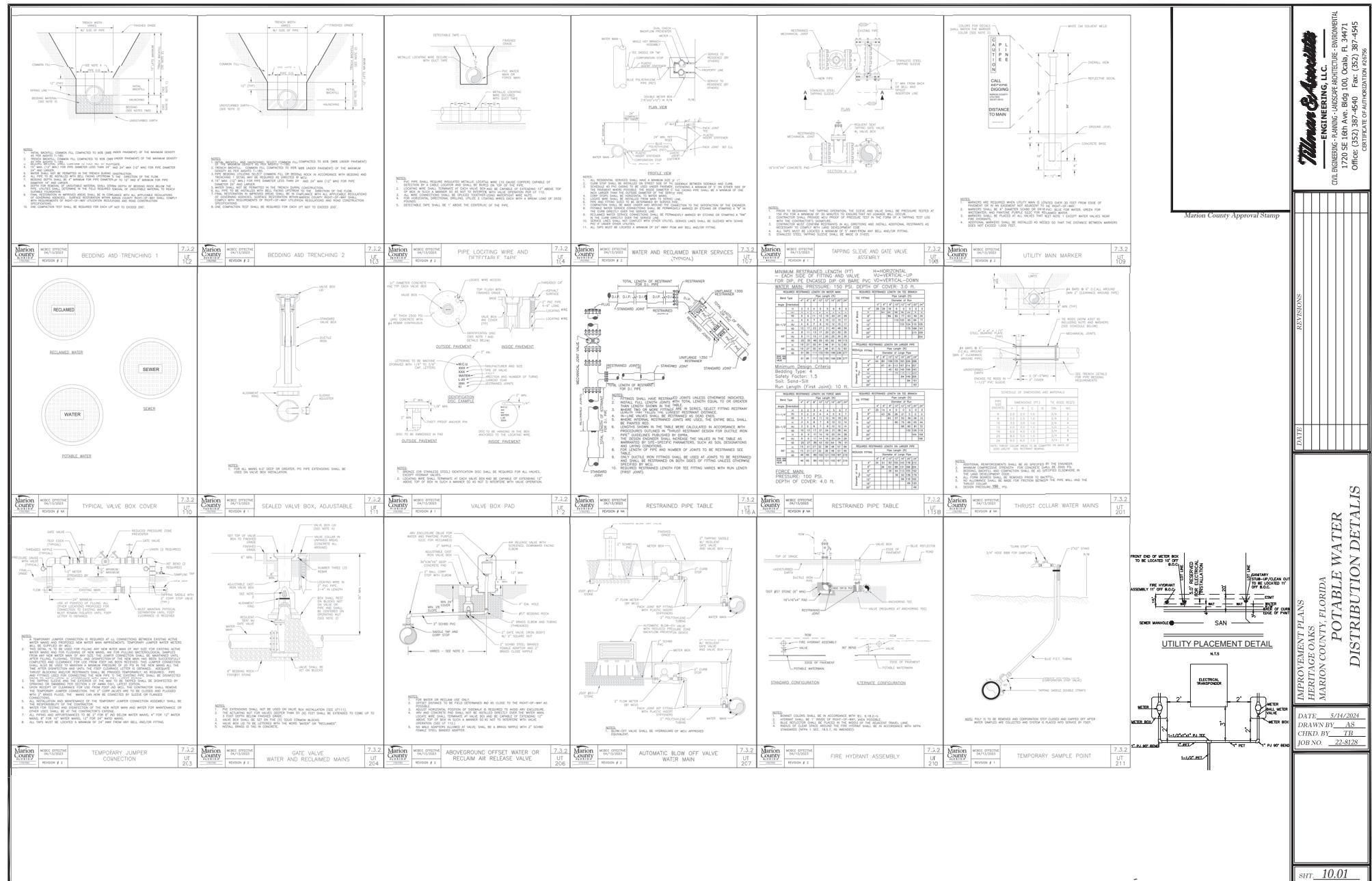
DATE 5/14/21
DRAWN BY A
CHKD. BY T
JOB NO. 22-8

SHT. 09.08

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NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Marion County Approval Stamp

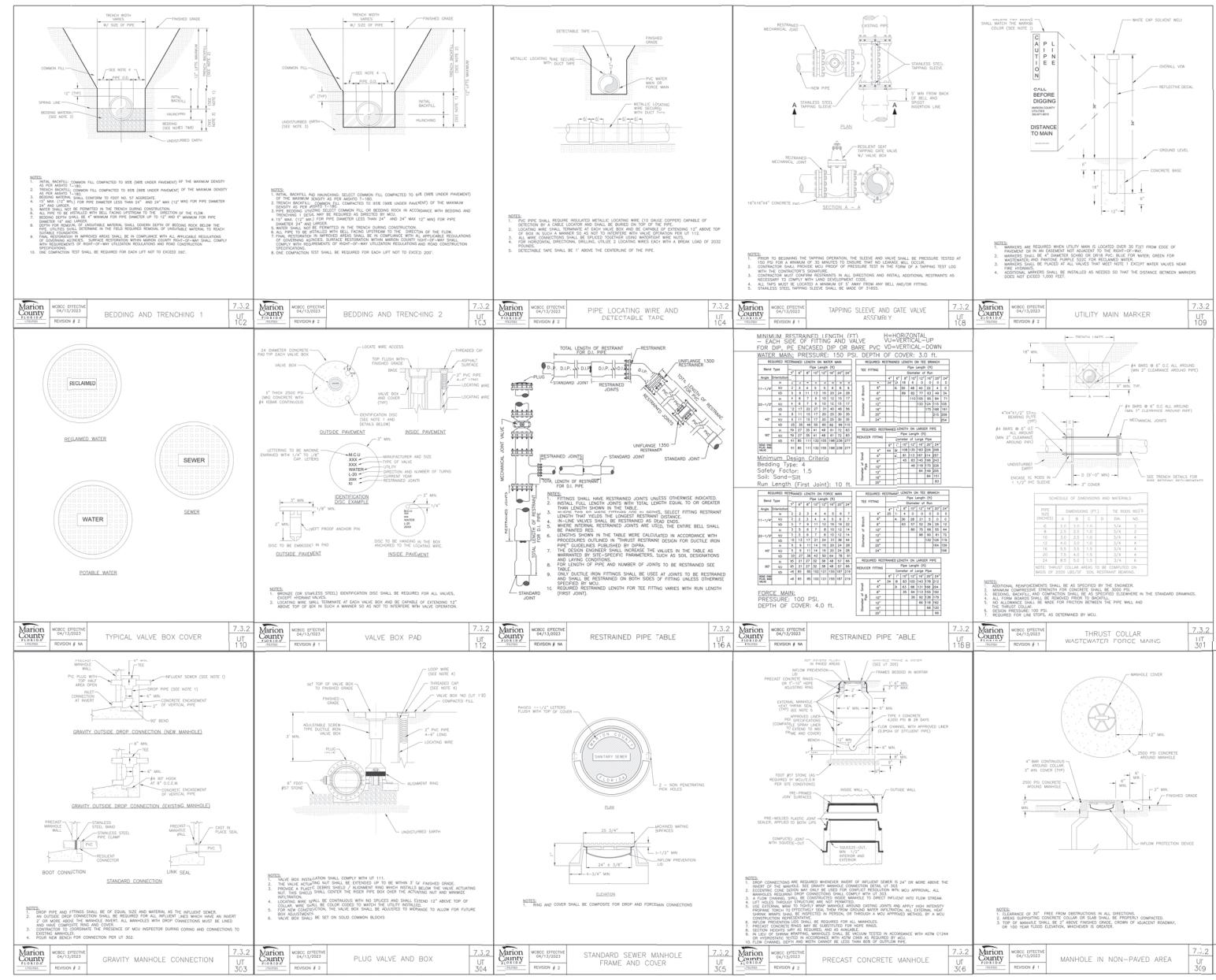
REVISIONS

IMPROVEMENT PLANS
HERITAGE OAKS
MARION COUNTY, FLORIDA

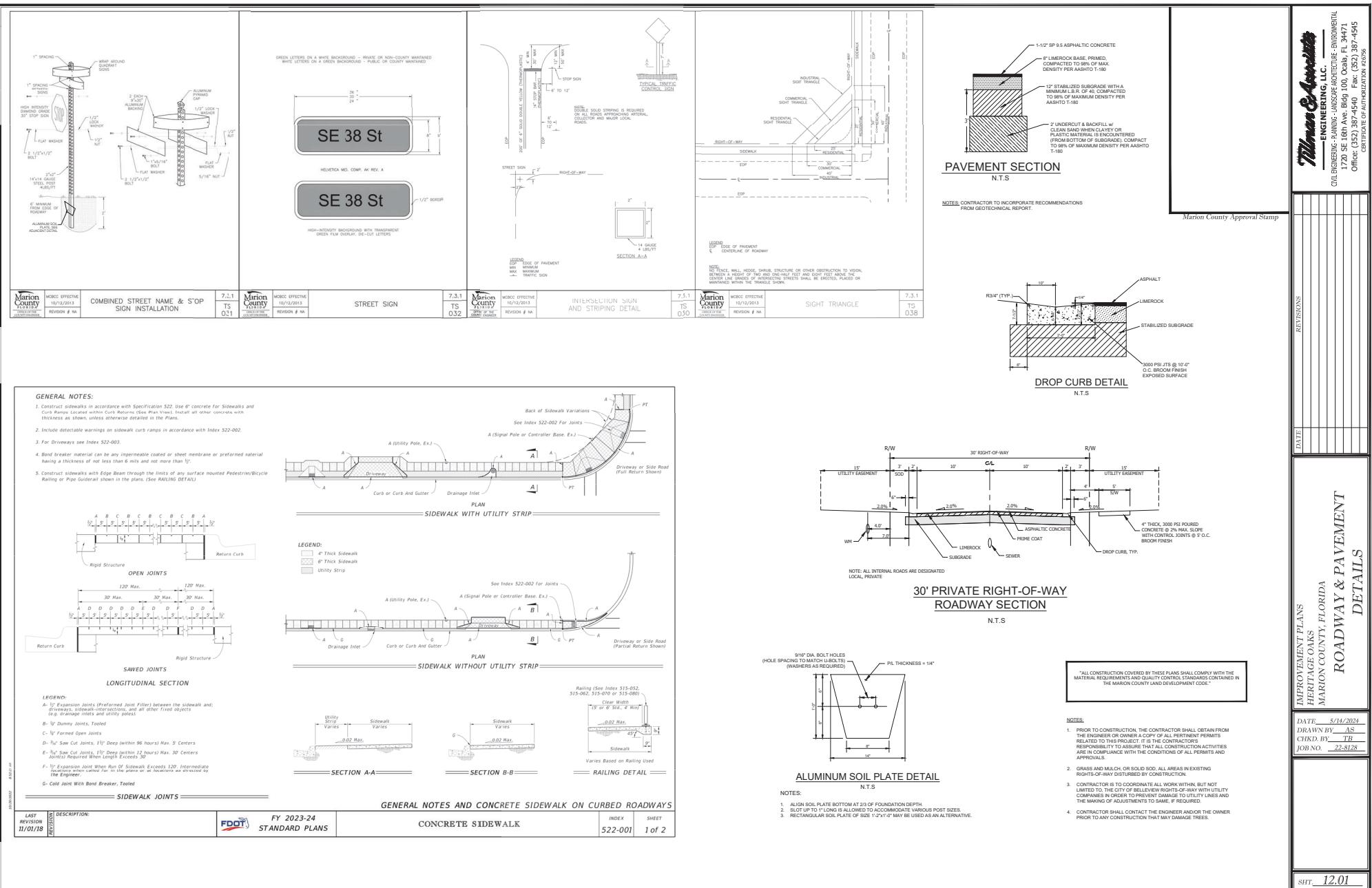
SANITARY SEWER DETAILS

DATE: 5/14/2024
DRAWN BY: AS
CHECKED BY: TB
JOB NO: 22-8128

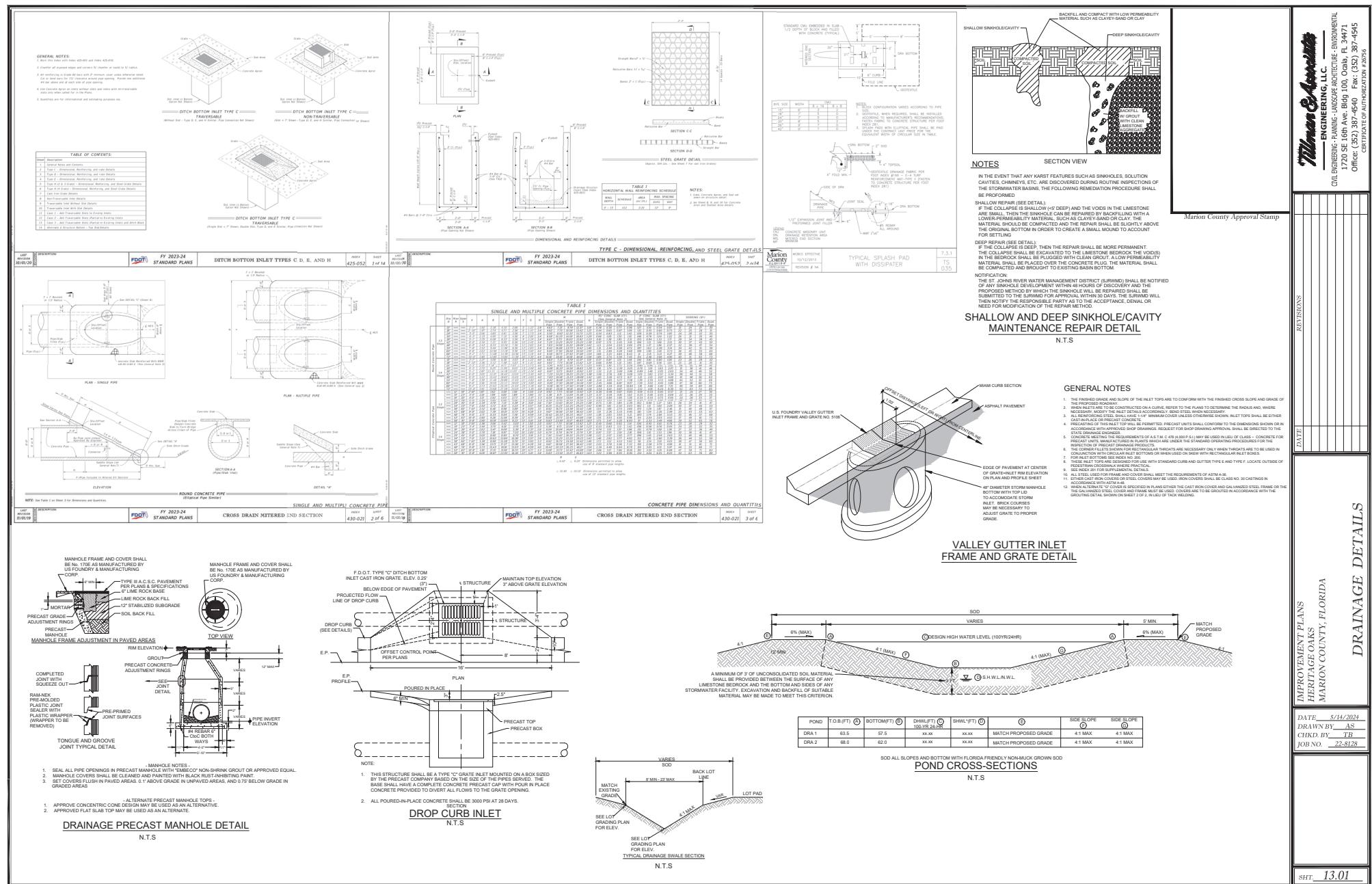
SHT. 11.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



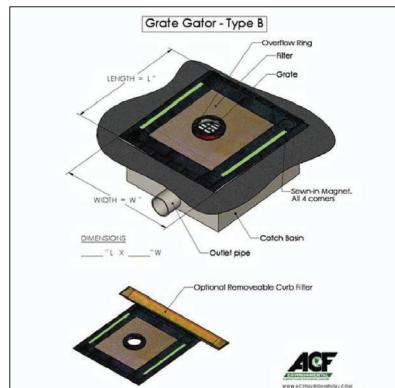
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



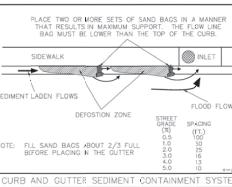
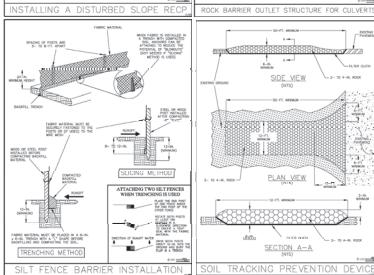
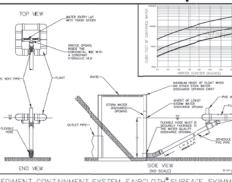
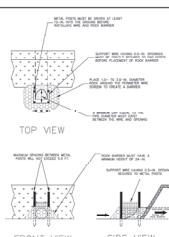
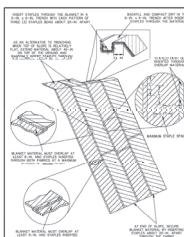
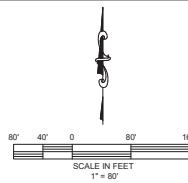
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

GENERAL NOTES:

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT SITE DEGRADATION DURING THE CONSTRUCTION OF THE PROJECT.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED DURING CONSTRUCTION AS DESCRIBED BY THE ENGINEER OR AREA OF SITE WHERE UNSTABILIZED GROUNDS MAY CAUSE EROSION. EROSION CONTROL MATERIALS MAY BE REMOVED AFTER UPLAND USE HAS BEEN STABILIZED BY THE OWNER, OR COMPACTED AS DETERMINED BY THE OWNER.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE END OF THE EROSION CONTROL PERIOD. EROSION CONTROL MEASURES SHALL BE DESIGNED AND PLACED TO PREVENT EROSION AND SEDIMENTATION. THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INDIVIDUAL WORKSITES SHALL BE DETERMINED BY THE ENGINEER AND OWNER OF THE RESOURCES.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH THE OWNER NEARLY TO ENSURE COMMERCIAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING THE CONSTRUCTION PHASE.
6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BE WASHED INTO ANY WATERBODY BY RUNOFF OR HIGH WATER.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES WHICH REMAIN IN PLACE AFTER CONSTRUCTION IS COMPLETED NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PROFILE AND SLOPES.
10. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LFT).
11. ALL INLETS TO BE PROTECTED BY DETAILS AS OUTLINED IN F.D.T. EROSION SEDIMENT CONTROL MANUAL (LATEST EDITION).
12. CONTRACTOR MUST MAINTAIN POSITIVE DRAGGING AT ALL TIME DURING THE COURSE OF THE CONSTRUCTION WORK.
13. CONTRACTOR MUST COORDINATE WITH ALL OF THE RESPONSIBLE AGENCIES PERTAINING TO EROSION AND SEDIMENT CONTROL WORK AND MAKE NECESSARY CHANGES BASED ON THE AGENCY'S GUIDANCE/DIRECTION AT NO ADDITIONAL COST TO THE CONTRACTOR.
14. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE OTHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES WHICH ARE TO BE DETERMINED BY THE CONTRACTOR FOLLOW STANDARDS BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.
15. ALL DISTURBED AREAS TO BE SOODED OR SEADED AND MULCHED WITHIN 7 DAYS AFTER FINAL GRADING.



EROSION CONTROL LEGEND



EPOSITION CONTOUR BY AN

William E. Gandy, LLC — **ENGINEERING, LLC** —
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION # 26-056

MOVEMENT PLANS MAGE OAKS

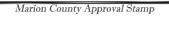
DATE 5/14/2024
DRAWN BY AS
CHKD. BY TB
JOB NO. 22-8128

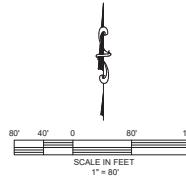
HT. 14

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Log of Borehole: SB-8		Log of Borehole: SB-10		Log of Borehole: SB-12	
<p>Project: HERITAGE OAKS LLC, PRO NO: 4047-000-00, SUMMERTIME</p> <p>Boring Location: (SEE SITE PLAN)</p> <p>Client: SOUTHEAST 3RD AVE, LLC</p> <p>Project No: 23-1780-01.1</p> <p>Boring Location: (SEE SITE PLAN)</p> <p>Client: SOUTHEAST 3RD AVE, LLC</p> <p>Project No: 23-1780-01.2</p> <p>Boring Location: (SEE SITE PLAN)</p> <p>Client: SOUTHEAST 3RD AVE, LLC</p>		<p>Project: HERITAGE OAKS LLC, PRO NO: 4047-000-00, SUMMERTIME</p> <p>Project No: 23-1780-01.2</p> <p>Boring Location: (SEE SITE PLAN)</p> <p>Client: SOUTHEAST 3RD AVE, LLC</p> <p>Project: HERITAGE OAKS LLC, PRO NO: 4047-000-00, SUMMERTIME</p> <p>Project No: 23-1780-01.2</p> <p>Boring Location: (SEE SITE PLAN)</p> <p>Client: SOUTHEAST 3RD AVE, LLC</p>		<p>Project: HERITAGE OAKS LLC, PRO NO: 4047-000-00, SUMMERTIME</p> <p>Project No: 23-1780-01.2</p> <p>Boring Location: (SEE SITE PLAN)</p> <p>Client: SOUTHEAST 3RD AVE, LLC</p>	
Depth (ft) Symbol	Description	Depth (ft) Symbol	Description	Depth (ft) Symbol	Description
0	Ground Surface	0.0	Ground Surface	0.0	Ground Surface
1	FINE SAND BROWN FINE SAND (SP)	1	FINE SAND BROWN FINE SAND (SP)	1	FINE SAND BROWN FINE SAND (SP)
2					
3					
4					
5					
6					
7	CLAYEY SAND BROWN AND GREY CLAYEY SAND (SC)	7.0	CLAYEY SAND BROWN AND GREY CLAYEY SAND (SC)	7.0	CLAYEY SAND BROWN AND GREY CLAYEY SAND (SC)
8					
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					
26					
27					
28	End of Borehole	25.0	End of Borehole	25.0	End of Borehole
Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW		Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW		Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW	
Ground Water Depth: NOT FOUND Drill Date: DECEMBER 21, 2022 Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 1 OF 3		Ground Water Depth: NOT FOUND Drill Date: DECEMBER 21, 2022 Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 2 OF 3		Ground Water Depth: NOT FOUND Drill Date: DECEMBER 21, 2022 Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 2 OF 3	

Log of Borehole: SB-13		Log of Borehole: SB-14	
<p>Project: PROPOSED OVAL, HERITAGE OAKS, SUMMERTIME</p> <p>Boring Location: (SEE BORING LOCATION MAP)</p> <p>Client: ATTN DEVELOPMENT, LLC</p> <p>Project No: 23-1780-01.1</p> <p>Boring Location: (SEE BORING LOCATION MAP)</p> <p>Client: ATTN DEVELOPMENT, LLC</p> <p>Project No: 23-1780-01.2</p> <p>Boring Location: (SEE BORING LOCATION MAP)</p> <p>Client: ATTN DEVELOPMENT, LLC</p>		<p>Project: PROPOSED OVAL, HERITAGE OAKS, SUMMERTIME</p> <p>Boring Location: (SEE BORING LOCATION MAP)</p> <p>Client: ATTN DEVELOPMENT, LLC</p>	
Depth (ft) Symbol	Description	Depth (ft) Symbol	Description
0	Ground Surface	0.0	Ground Surface
1	FINE SAND BROWN FINE SAND (SP)	1	FINE SAND BROWN FINE SAND (SP)
2			
3			
4			
5			
6			
7			
8			
9			
10	CLAYEY SAND YELLOWISH BROWN CLAYEY SAND (SC)	4.0	CLAYEY SAND YELLOWISH BROWN CLAYEY SAND (SC)
11		11.0	
12	CLAYEY SAND BROWN AND GREY CLAYEY SAND (SC)	12.0	CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28	End of Borehole	25.0	End of Borehole
Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 1 OF 3		Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 2 OF 3	
Ground Water Depth: NOT FOUND Drill Date: JULY 14, 2022 Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 1 OF 3		Ground Water Depth: NOT FOUND Drill Date: JULY 14, 2022 Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW Soil Profile: 2 OF 3	

IMPROVEMENT PLANS HERITAGE OAKS MARION COUNTY, FLORIDA		BORING LOGS	
DATE: 5/14/2024	DRAWN BY: AS	DATE: 5/14/2024	DRAWN BY: TB
CHKD BY: TB	JOB NO: 22-8128	SHT. BL.01	
			



Marion County Approval Stamp

ROAD NAME LEGEND	
IMPROVEMENT PLANS STREET NAME	MARION COUNTY STREET NAME
STREET 'A'	N/A
STREET 'B'	N/A
STREET 'C'	N/A
STREET 'D'	N/A
STREET 'E'	N/A
STREET 'F'	N/A
STREET 'G'	N/A
STREET 'H'	N/A
STREET 'I'	N/A
STREET 'J'	N/A



Miller & Associates
ENGINEERING, LLC

CDG ENGINEERING - SANING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Box 100, Ocala, FL 34471
Office: (352) 384-7450 Fax: (352) 384-4945
CERTIFICATE OF AUTHORIZATION #A0756

IMPROVEMENT PLANS
REVISIONS

IMPROVEMENT PLANS
HERITAGE OAKS
MARION COUNTY, FLORIDA

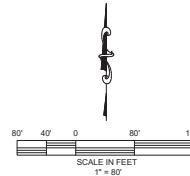
911 MANAGEMENT PLAN

DATE: 5/14/2024
DRAWN BY: AS
CHKD BY: TB
JOB NO.: 22-8128

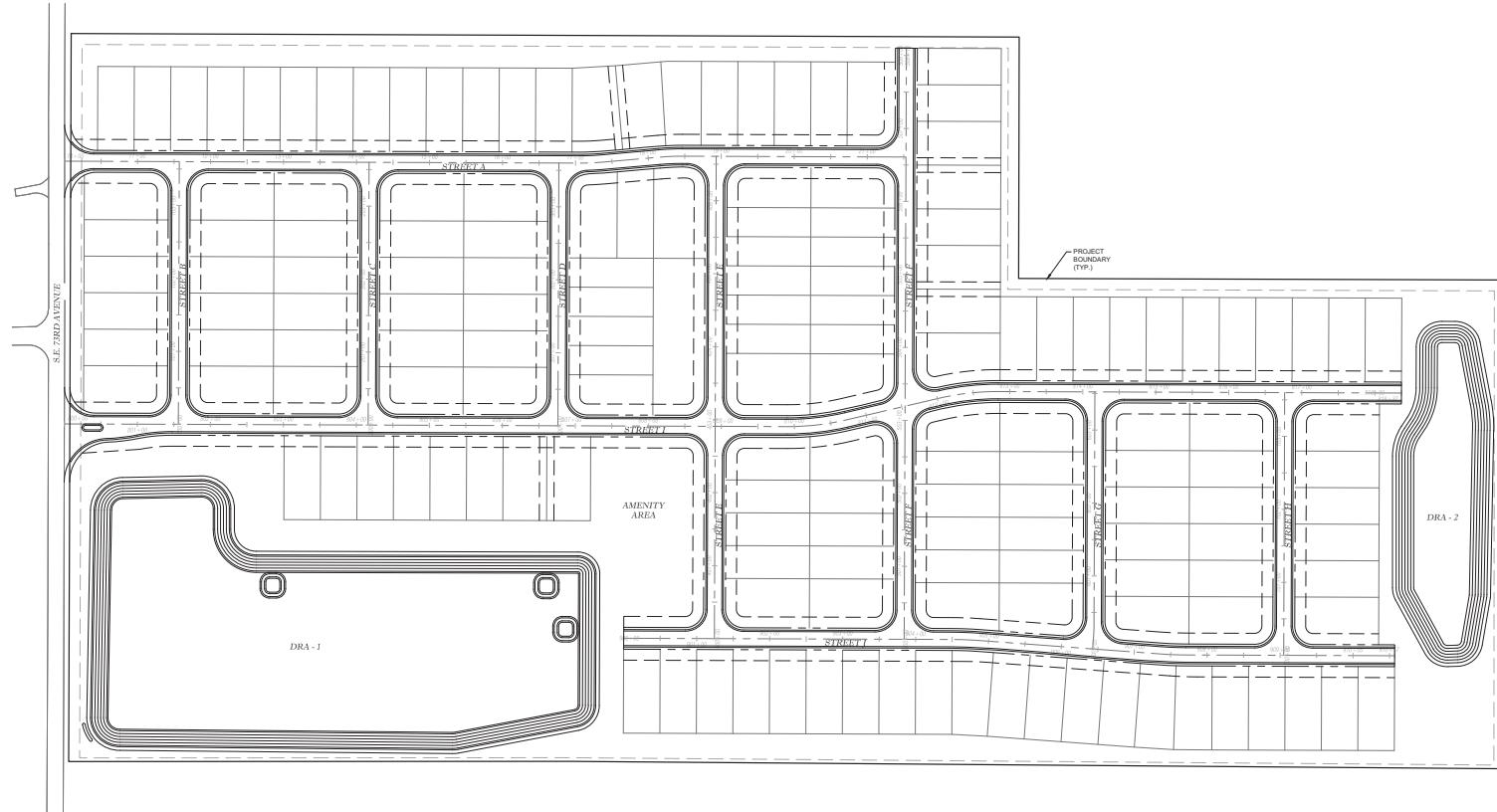
SHT. RN.01

IRRIGATION SLEEVE SCHEDULE	ELECTRIC SLEEVE SCHEDULE (DUKE)
(1) 4" SCH 40 PVC SLEEVE	(1) 3" GRAY SCH 40 PVC CONDUIT
(1) 4" SCH 40 PVC SLEEVE	(2) 3" GRAY SCH 40 PVC CONDUIT
(1) 2" SCH 40 PVC SLEEVE	(3) 3" GRAY SCH 40 PVC CONDUIT
NATURAL GAS SLEEVE SCHEDULE (TECO)	TELEPHONE/CABLE/INTERNET SLEEVE SCHEDULE (DCM)
(1) 4" SCH 40 PVC SLEEVE	(1) 2" SCH 40 PVC SLEEVE
	(2) 2" SCH 40 PVC SLEEVE
	(1) 1" SCH 40 PVC SLEEVE
	(2) 3" SCH 40 PVC SLEEVE

LEGEND:



Marion County Approval Stamp



Marion & Associates

ENGINEERING, LLC.

CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL,
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 386-5540 Fax: (352) 387-4555
CERTIFICATE OF AUTHORIZATION #26936

REVISIONS

DATE

IMPROVEMENT PLANS
HERITAGE OAKS
MARION COUNTY, FLORIDA
SLEEVING PLAN

DATE 5/14/2024
DRAWN BY AS
CHKD BY TB
JOB NO. 22-8128

SH_T SL.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
HERITAGE OAKS
A PORTION OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA



LEGEND AND ABBREVIATIONS:

±	MORE OR LESS
EL	ELEVATION
LB	LAND BUSINESS
LN	LAND NUMBER
LS	LAND SURVEYOR
LD	LINE IDENTIFICATION
GRB	GRADUATED RECORDS BOOK
CTR	CENTERLINE
R	RADIUS
L	LENGTH
Δ	DELTA (CENTRAL ANGLE)
(P)	PLAT MEASURE
(D)	DEED MEASURE
(C)	CALCULATED MEASURE
CH	CHORD
C.B.	CHORD BEARING
POC	POINT ON CURVE
POCC	POINT OF COMPOUND CURVATURE
PRO	POINT OF REVERSE CURVATURE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
P	POINT OF INTERSECTION
P.C.	POINT OF COMMENCEMENT
P.D.	POINT OF DIRECTION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
DIP	DUCTILE IRON PIPE
POL	POLYVINYL CHLORIDE
CMP	COPPER METAL PIPE
RCP	REINFORCED CONCRETE PIPE
HDP	HIGH DENSITY POLYETHYLENE
NDM	NATIONAL DILEMNA METAL DATUM
NGVD	NATIONAL GEODETIC VERTICAL DATUM
PB	PLAT BOOK
ORR	OFFICIAL RECORDS BOOK
PO	POINT
R/W	RIGHT OF WAY
EMT	EASEMENT
CS	CONCERN
FDN	FOUND
REC	RECOVERED
ORR	OFFICIAL RECORDS BOOK
RLS	REGISTERED LAND SURVEYOR
CM	CONCRETE MONUMENT
IR	IRON ROD AND CAP
IP	IRON PIPE
CLF	CHAIN LINK FENCE
CI	CURB INLET GATE
BB	BB
SM	STORM MANHOLE
ME	MITERED END SECTION
YD	YARD DRAINAGE
SM	SANITARY MANHOLE
SW	SEWER CLOUDBOOT
EV	ELECTRIC VEHICLE
ETR	ELECTRIC METER
ERB	ELECTRIC RISER BOX
CTRB	CABLE/TELEVISION RISER BOX
TRB	TELEPHONE RISER BOX
UTR	UTILITY RISER
WE	WATER
IS	WATER SPOT
ICV	IRRIGATION CONTROL VALVE
WM	WATER METER
FW	FEAR HYDRANT
BFR	BACK FLOW PREVENTER
AAP	AIR CONDITIONER PAD
GV	GAS VALVE
GM	GAS METER
AM	ACUTE MARKER
CUP	CONCRETE UTILITY POLE
WUP	WATER UTILITY POLE
GU	GUY ANCHOR
LG	LIGHT POLE
SPG	SPOT/GROUND LIGHT
TR	TRANSFORMER
EV	ELECTRIC VEHICLE
MF	METAL FLAG
SG	SG
BL	BALL
FL	FLAG POLE
MLB	MAILBOX
FR	FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
FR	FOUND 5/8" IRON ROD & CAP (AS NOTED)
FR	FOUND NAIL & DISC (AS NOTED)
SET	SET 5/8" IRON ROD & CAP (LB 807)
CB	CONTROL BENCHMARK AS DESCRIBED
LB	LINE BREAK
AN	FENCE LINE AS NOTED
AB	APPROXIMATE TOP OF BANK
AS	APPROXIMATE TOE OF SLOPE
EC	EXISTING CONTOUR
SD	STORM DRAINAGE LINE

TREE LEGEND
(SIZE DENOTED INSIDE SYMBOL)

CAMPHOR	○
CEDAR	○
CHERRY	○
CHINABERRY	○
CYPRESS	○
DOGWOOD	○
GUM	○
HICKORY	○
HOLLY	○
LAUREL OAK	○
LIVE OAK	○
MAGNOLIA	○
MARPLE	○
MIMOSA	○
MISC	○
OAK	○
PALM	○
PECAN	○
PINE TREE	○
SUGAR HAWKBEERRY	○
SYCAMORE	○

LEGAL DESCRIPTION:

(PER OFFICIAL RECORDS BOOK 4777, PAGE 39)

THE NW 1/4 OF THE SW 1/4 OF THE NE 1/4, AND NE 1/4 OF THE SE 1/4 OF THE NW 1/4, EXCEPT THE SOUTH 62.52 FEET OF THE WEST 46.75 FEET THEREOF, AND THE NORTH 40.00 FEET OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4, EXCEPT THE WEST 25.00 FEET THEREOF, FOR ROAD RIGHT OF WAY, ALL IN SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, AND THEREOF THE NORTH 210 FEET OF THE EAST 210 FEET OF THE NW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST.

(PER OFFICIAL RECORDS BOOK 2804, PAGE 171)

THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 39, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, EXCEPT THE NORTH 40.00 FEET AND EXCEPT THE WEST 25.00 FEET THEREOF.

AND

(PER OFFICIAL RECORDS BOOK 2015, PAGE 1336)

THE NORTH 210.00 FEET OF THE EAST 210.00 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, TOGETHER WITH A NON EXCLUSIVE EASEMENT ON AND ACROSS THE NORTH 40.00 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; EXCEPT THE WEST 25.00 FEET FOR RIGHT OF WAY.

(PER OFFICIAL RECORDS BOOK 2015, PAGE 1336)

THE SOUTH 1/4 OF THE NE 1/4 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, EXCEPT THE WEST 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY.

PROPERTY DATA:

PARCEL ID: 48347-000-00
OWNER: SOUTHEAST 73RD AVE LLC
ADDRESS: 1620 SE 73RD AVENUE
SUMMERTIME, FL 34491

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH IN THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 517.050-.082, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CHRISTOPHER J. HORNSON
FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553

DATE

22-6-22/12/22
22-9-1/15-17

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

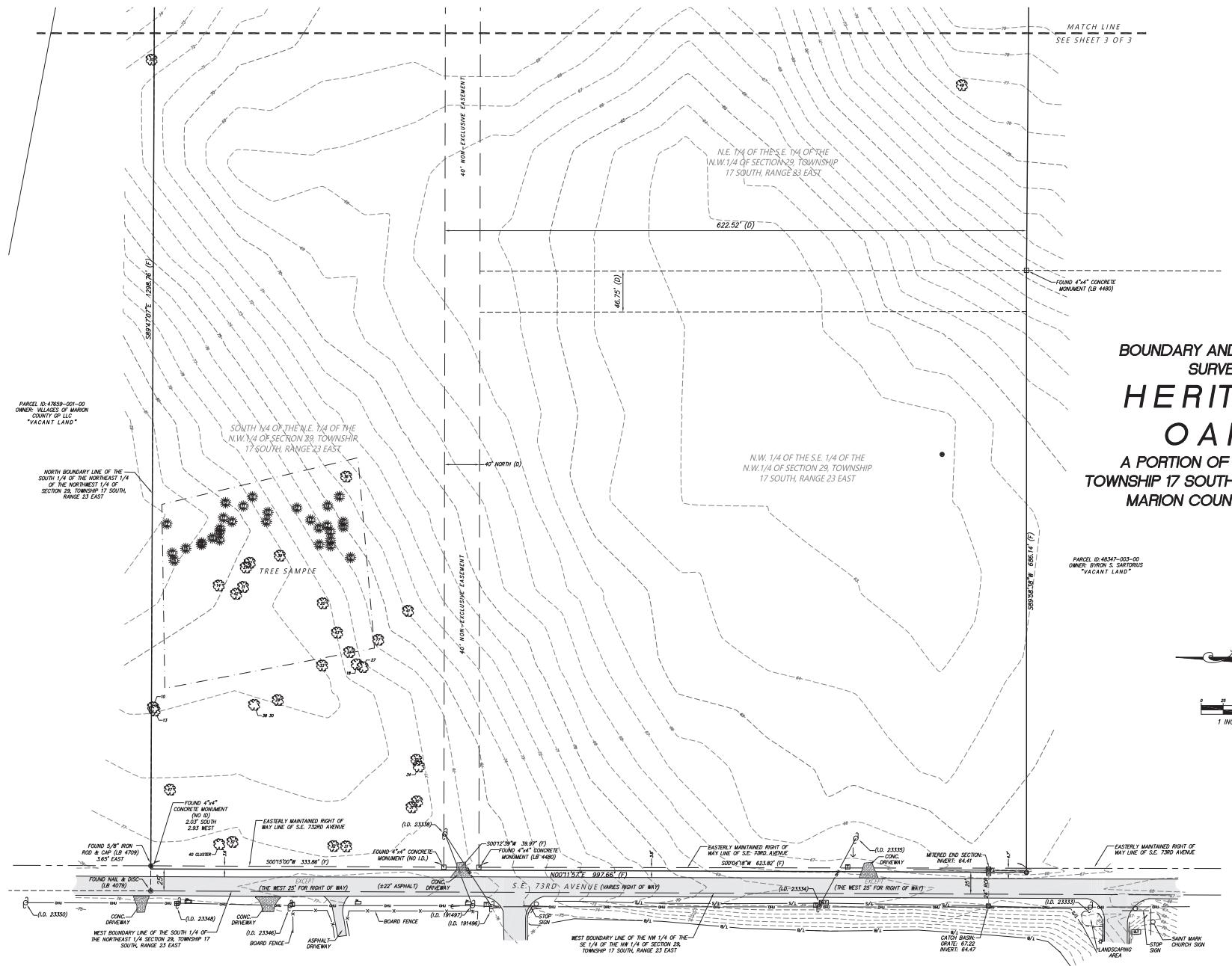
(CERTIFICATE OF AUTHORIZATION NO. LB 807)

PLAT OF BOUNDARY AND
TOPOGRAPHIC SURVEY
-FOR-
SOUTHEAST 73RD AVE LLC

FIELD BOOK/PAGE:
J.O. #221820
Dwg. #221820
SHT 1 OF 3

DRAWN:	M.A.
REvised:	C.J.H.
checked:	C.J.H.
APPROVED:	C.J.H.
REVISIONS:	1-200'
BY:	DATE

JCH CONSULTING GROUP, INC.
LAND DEVELOPMENT SURVEYING, MAPPING,
PLANNING & ENVIRONMENTAL SERVICES
1620 SE 73RD AVENUE, SUITE 100
SUMMERTIME, FL 34491
(352) 233-1111
FAX: (352) 233-1112
E-MAIL: JCH@JCHCONSULTING.COM
WEBSITE: WWW.JCHCONSULTING.COM



BOUNDARY AND TOPOGRAPHIC
SURVEY FOR:
**HERITAGE
OAKS**
A PORTION OF SECTION 29,
WILSONSHIP 17 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA



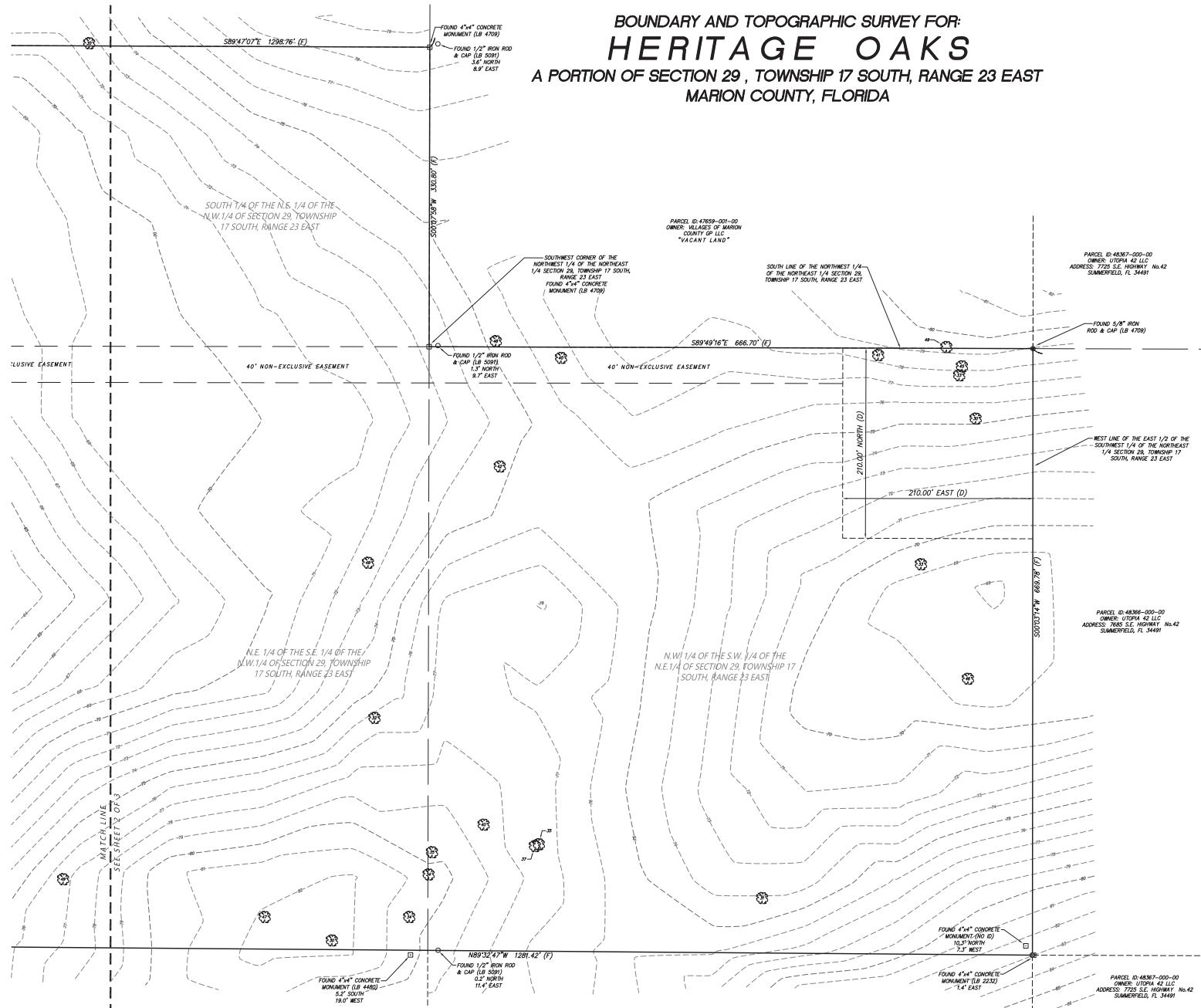
PLAT OF BOUNDARY AND
TOPOGRAPHIC SURVEY
-FOR-
SOUTHEAST 73RD AVE LLC

FIELD BOOK/PAGE:
2-6/62,63
2-9/13, 15-17

J.O. #221820
DWG. # 221820
SHT 2 OF 3

DRAWN:	M.A.
REVISED:	
REVISED:	
REVISED:	
REVISED:	
APPROVED:	C.J.H.
APPROVED:	C.J.H.
SCALE: 1" = 50'	
NO.	REVISIONS
BY	DATE

BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
HERITAGE OAKS
A PORTION OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA



DRAWN:	M.A.
REvised:	
REvised:	
checked:	C.J.H.
checked:	C.J.H.
APPROVED:	
APPROVED:	
SCALE: 1" = 50'	NO. REVISIONS



PLAT OF BOUNDARY AND
TOPOGRAPHIC SURVEY
-FOR-
SOUTHEAST 73RD AVE LLC

FIELD BOOK/PAGE:
22-6-6/246.5-17
22-9/1.1 15-17

J.O. #221820
DWG. # 221820
SHT 3 OF 3