

GENERAL NOTES:

1. THESE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY.
2. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO THE ENGINEER OF RECORD. HEREIN, ENGINEERS' PRIOR TO THE DATE ON WHICH ENGINEER PREPARED THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND IMMEDIATELY NOTIFY THE ENGINEER IN WRITING, IF ANY SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
3. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL REQUIREMENTS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY COMPLY WITH THESE REQUIREMENTS, AND THESE NOTES. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL FOR ALL PLANS AND OTHER DOCUMENTS RECEIVED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
6. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REGULATIONS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
7. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE RECORD LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE. THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.
8. THE CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL BUILDING DEPARTMENT RECORDING THE MOST CURRENT ARCHITECTURAL AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND BUILDING UTILITY LOCATIONS.
9. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DISCREPANCIES, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH THE CONTRACTOR'S WRITING ENGINEER OF RECORD WRITTEN NOTIFICATION OF SAME AND ENGINEER OF RECORD, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
10. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING DISCREPANCIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION, AND ORDERING OF PARTS AND MATERIALS. ALL DIMENSIONS AND MEASUREMENTS SHOWN ON SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR PURPOSE OF IMPROVEMENTS.
11. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH, AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
12. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOLOGICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRICTLY REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS; AND THE GEOLOGICAL REPORT AND RECOMMENDATIONS ARE TO BE CHECKED AND CONFIRMED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOLOGICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.
13. ENGINEER OF RECORD IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOVE OR UNDER THE PROPERTY.
14. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION, TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AND ANY ADDITIONAL PRECALTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY, AND OTHER STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE.
15. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
16. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL, AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL LOCAL, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT.
17. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
18. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT LIMITED TO, RE-DESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO THE COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH THE SAME. THE CONTRACTOR MUST DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
19. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR AND HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY OR SITE SUPERVISION.
20. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION METHODS, METHODS, TECHNIQUES OR PROCEDURES FOR CONSTRUCTION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR

IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

21. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS AND ADDITIONAL PENALTIES.
22. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE, THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
23. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY FAILURE TO MAINTAIN OR PRESERVE SITE OR DESIGN FEATURES.
24. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, AS AMENDED, AND ANY MODIFICATIONS.
25. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. THE ENGINEER OF RECORD HAS NO RESPONSIBILITY FOR EXCAVATION AND TRENCHING PROCEDURES AND WORK.
26. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION, OPERATION AND MAINTENANCE INSTRUCTIONS.
27. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR STATES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL HAVE ALL ACTIVITIES, INCLUDING THOSE OF ALL SUB-CONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP.

LAYOUT & DIMENSION NOTES:

1. ALL DIRECTIONAL TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, AND STANDARDS, AS APPLICABLE.
2. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THESE PLANS ARE IDENTIFIC. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THESE LOCATIONS. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.
3. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN OTHERWISE NOTED. TO A PROPERTY LINE OR TO A GUY WIRE. ALL INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

GRADING NOTES:

1. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, OF WHOM HAVE JURISDICTION OVER THIS PROJECT.
2. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK.
3. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF FLORIDA. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT.
5. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL. COMPACTED AS THE GEOTECHNICAL REPORT DETAILS. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD FOOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THEREIN, UNLESS OTHERWISE NOTED.
6. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUTS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD. IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
7. IN THE EVENT OF A DISCREPANCY(IES) AND/OR (A) CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY AND/OR CONFLICT.
8. THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

ACCESSIBLE (ADA) DESIGN NOTES:

1. ALL ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE MORE RECENT OF THE FOLLOWING: "THE AMERICANS WITH DISABILITIES ACT" (ADA) AND ANY APPLICABLE LOCAL, STATE AND FEDERAL LAWS, AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
2. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL, PUBLIC ACCESS, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE APPLICABLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A. ACCESSIBLE PARKING SPACES AND ACCESSIBLE SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
 - B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OBSTRUCTIONS AND/OR HORIZONTAL GEOMETRY) MUST BE MAINTAINED THROUGHOUT. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED ONCE A RAMP IS REQUIRED. THE WIDTH OF TRAVEL OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO

1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDE A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.

- C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CURB OR LANDING OF A MINIMUM OF 48-INCHES. RAMPS WITH A RISE GREATER THAN 6-INCHES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
- D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10.0%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERNATIONS, WHERE THERE IS NO LANDING, AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
- E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR TO PREVENT WATER FROM ENTERING THE BUILDING. THIS LANDING AREA MUST BE FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED. THIS LANDING IS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
- F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
- G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-COMFORMING CONCRETE AND/OR PAVEMENT SURFACES.

12. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION FOR THE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

UTILITY NOTES:

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
2. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND TOLL, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE. CHECKER IS GREATER, THE CONTRACTOR MUST REFER TO THE CITY AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION.
3. THE CONTRACTOR MUST VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH ALL EXISTING UTILITIES THROUGHOUT THE PROJECT. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL EXISTING UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. STORMWATER DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR BUILDING UTILITY CONNECTION LOCATIONS, GREAT TRAP REQUIREMENTS AND DETAILS, PERMITS AND REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY LINE(S)/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE PLANS AND THE ARCHITECTURAL PLANS OR OTHER EXISTING UTILITY/SERVICE, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME.
6. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT HAS NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL.
7. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION.
8. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
9. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS.
10. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

LIGHTING NOTES:

1. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
2. THIS LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
3. THE LIGHTING VALLES AND CALCULATION POINTS DEPICTED ON THIS PLAN, IF APPLICABLE, ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLAN AN ELEVATION ZERO (GROUND) LEVEL. UNLESS OTHERWISE NOTED, ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES.
4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LAMPS AND LENSES, REPLACEMENT OF LAMPS AND LENSES, AND REPLACEMENT OF LAMPS UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK. ALL OF THE ABOVE OUTLINED AND

DESCRIBED RESPONSIBILITIES SHALL BECOME SOLELY THE OWNER'S.

5. WHERE APPLICABLE, THE EXISTING CONTINUED LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FUTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY VARY. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN ARE TO BE CONSIDERED APPROXIMATE.
6. WHERE APPLICABLE, THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEERS AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS, THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
7. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
8. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT REGARDING ANY AND ALL POWERS SOURCE FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ADJUSTED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGN AND REVISION MANUAL JUNE 2013, EPA STORMWATER PROGRAM, AND ANY LOCAL GUIDELINES UNLESS OTHERWISE NOTED IN THESE PLANS. EROSION CONTROL SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
2. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATION.
3. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY RAIN EVENT GREATER THAN 1-INCH OF RAINFALL. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DRAIN PROTECTION.
4. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
5. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXTING THE SITE.
6. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPE IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
7. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
8. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER AFTER INSTALLING OTHER SPECIFIED METHOD OF STABILIZATION.
9. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPE IS ESTABLISHED. MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXTING THE SITE.
10. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
11. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
12. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.

FEMA NOTE:

ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 120830684E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE 'X' AND 'AE'. THE 'AE' AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAMIRA VILAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE, BASE FLOOD ELEVATION OF 70.2-FT (NAVD8).

DATUM NOTE:

ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). VERTICAL DATUM IS DERIVED FROM NGS CONTROL POINT "G 593" WHICH HAS A PUBLISHED ELEVATION OF 85.82 FEET. REVISIONS SHOWN AND PROVIDED ON SURVEY ENTITLED "AS NOTED LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL SOLUTIONS, DATED MARCH 18, 2023 (COORDINATES SHOWN HEREIN ARE BASED ON STATE PLANE FLORIDA WEST ZONE COORDINATES NAD 83 (2011) 11) PROJECTED FROM RTE-NORTHON GPS SOLUTION.

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NO.	DATE	DESCRIPTION	BY
01	4/17/24	REVISION PER ZONING APPROVAL	JIS

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JOHN J. STOECKEL
 FLORIDA PROFESSIONAL ENGINEER
 LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
 CORTA COMMONS**

FOR
CORTA OCALA, LLC
 SW HWY 200 - OCALA
 MARION COUNTY, FLORIDA

SHEET TITLE
**PROJECT GENERAL
 NOTES SHEET**

PROJECT NO: 23-3306
 CHECKED BY: JIS
 (VERTICAL DATUM-NAVD 1988)
 DATE: 03/29/2024
 SHEET NUMBER

C-002

DEMOLITION NOTES:

- ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR SHALL:
 - OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION.
 - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FENCES, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT AREAS AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PREVENT THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, WETLANDS, OR HISTORICAL AND ARCHAEOLOGICAL RESOURCES WITHIN PROJECT LIMITS.
- CONTRACTOR MUST PROVIDE A Dewatering Plan, if applicable, TO THE LOCAL REGULATION AGENCIES DEPENDING ON THE PROJECT LOCATION.
- CONTRACTOR IS REQUIRED TO OBTAIN A DEMOLITION PERMIT FROM THE LOCAL AUTHORITY, AS APPLICABLE, PRIOR TO COMMENCING DEMOLITION. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PERMIT AND APPLICABLE CODES/ORDINANCES.



EROSION CONTROL NOTES:

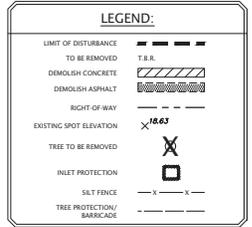
- TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT FENCE OR INLET DEBRIS CONTROL MEASURES ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF SIX INCHES OR ONE-THIRD OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALLS ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR APPLYING TO UTILIZE THE NPDES CONSTRUCTION GENERIC PERMIT (CGP) FOR THIS PROJECT. THE CONTRACTOR/OWNER IS REQUIRED TO SUBMIT A COMPLETED NOTICE OF INTENT (NOI) FORM TO FDP# A MINIMUM OF FIVE (5) DAYS PRIOR TO COMMENCING WORK. ONCE THE PERMIT IS ISSUED, A COPY OF THE PERMIT SHOULD BE PROVIDED TO THE JURISDICTION HAVING AUTHORITY FOR RECORD PURPOSES.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
- CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-6 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS. JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
- SILT FENCE MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERRECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, BUFFER AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS MAY BE CAUSE FOR PENALTIES.
- ALL DISTURBED AREAS OFFSITE AND/OR OUTSIDE THE PROTECTED PERIMETER SHALL BE SOODED IMMEDIATELY UPON COMPLETION OF WORK.

EARTHWORK & FILL NOTES:

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, CRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCRIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED SURFACES.

CONCRETE WASHOUT NOTES:

- ASSIGNED CONCRETE WASHOUTS AREAS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.
- THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE.
- WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 100 FEET AWAY FROM STORM INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
- APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT (SEE ACCESS DETAIL).
- CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ONSITE.
- CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TEARS IN PLASTIC LINER.
- REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
- ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
- OPTIONS INCLUDE AN ONSITE PIT AND LINER WITH 10 MIL PLASTIC SHEETING OR CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS WITH 10 MIL PLASTIC LINING.
- PRE-FABRICATED CONCRETE WASHOUTS MAY BE USED PROVIDED THEY MEET THE ABOVE MINIMUM REQUIREMENTS.



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NO.	DATE	DESCRIPTION	BY
01	4/13/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS	JIS

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JOHN J. STOECKEL
 FLORIDA PROFESSIONAL ENGINEER
 LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
 CORTA COMMONS**
 FOR
CORTA OCALA, LLC
 SW HWY 200 - OCALA
 MARION COUNTY, FLORIDA

SHEET TITLE
**DEMOLITION &
 EROSION
 CONTROL PLAN**

PROJECT NO.: 23-3306
 CHECKED BY: JIS
 VERTICAL DATUM: NAVD 1988
 DATE: 03/29/2024
 SHEET NUMBER

C-003

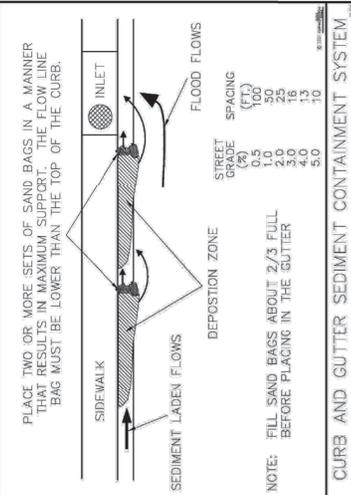


Figure V-19: Illustration of a Curb and Gutter Sediment Containment System

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V-40

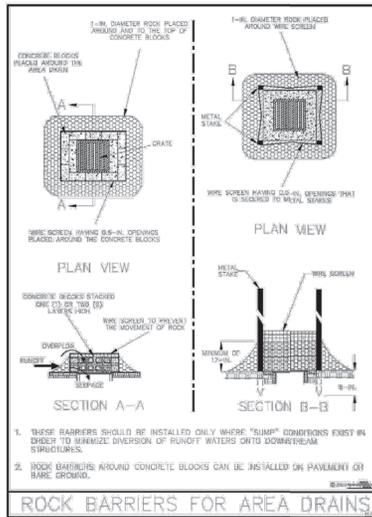


Figure V-13: Illustration of Rock Barriers around Area Drains

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V-32

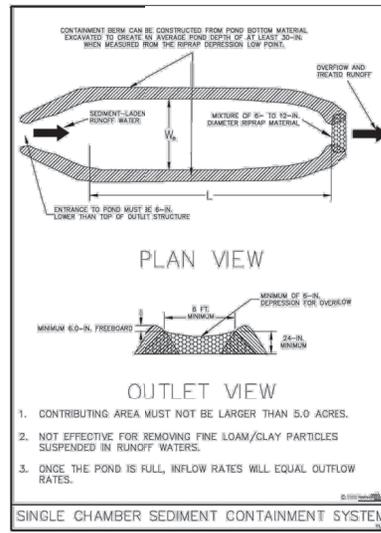
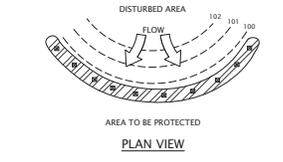
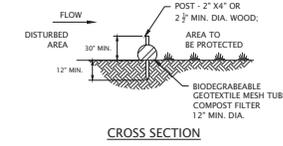


Figure IV-13: Illustration of a Single Chamber SCS

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IV-28



- NOTES:
- SIZING TO MEET FOOT OR MANUFACTURER SPECIFICATION, WHICHEVER IS MORE RESTRICTIVE.
 - COMPOST/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER UPON COMPLETION OF WORK AND STABILIZATION OF SITE.

3 COMPOST FILTER SOCK DETAIL N.T.S.

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NO.	DATE	DESCRIPTION	BY	BY
01	4/13/24	REVISION PER ZONING APPROVAL COUNTY & SFWMD REVIEW COMMENTS	JJS	JJS

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JOHN J. STOECKEL
 FLORIDA PROFESSIONAL ENGINEER
 LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
 CORTA COMMONS**

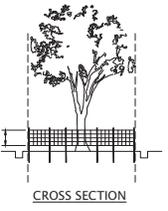
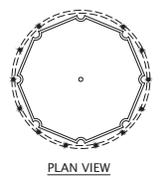
FOR
CORTA OCALA, LLC

SW HWY 200 - OCALA
 MARION COUNTY, FLORIDA

SHEET TITLE:
**EROSION & SEDIMENT
 CONTROL DETAILS**

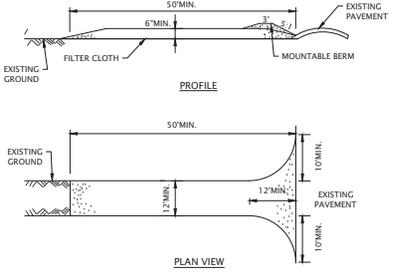
PROJECT NO: 23-3306
 CHECKED BY: JJS
 VERTICAL DATUM: NAVD 1988
 DATE: 03/29/2024
 SHEET NUMBER:

C-004



- NOTES:
- USE TRENCHER (I.E. DITCH WHICH) TO CUT A 4'-5" X 18" D TRENCH ALONG DRIP LINE (LIMIT OF CLEARING AND BACKFILL WITH SAND AND LIGHTLY COMPACT).
 - SPACE STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE OR AS SHOWN BY ENGINEER (SET STAKES NO GREATER THAN 6 FEET ON CENTER-REBAR IS NOT TO BE USED FOR STAKES).
 - MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE. DO NOT REMOVE FENCING PRIOR TO LANDSCAPING OPERATIONS.
 - DO NOT STORE OR STACK MATERIALS, EQUIPMENT, OR VEHICLES WITHIN FENCED AREA.
 - FENCE SHALL BE ORANGE VINYL CONSTRUCTION FENCE 4' HIGH MINIMUM OR EQUAL.

5 TREE PROTECTION DETAIL N.T.S.

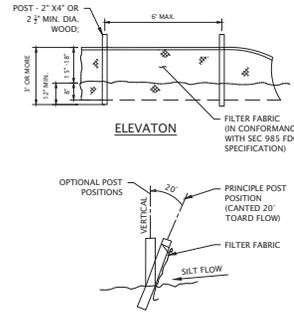


- NOTES:
- STONE SIZE - USE 2-3 COURSE AGGREGATE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAIN BERM WITH 4:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

6 STABILIZED CONSTRUCTION ENTRANCE DETAIL N.T.S.

- THE ENGINEERING SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO THE START OF ANY WORK.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTION MANUAL.
- PRIOR TO INITIATING DISTURBANCE, AN INSPECTION OF THE EROSION CONTROLS IS REQUIRED AND THE JURISDICTION HAVING AUTHORITY SHALL BE NOTIFIED.
- CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS AND DETAILS. STAGING AND STORAGE AREA SHALL BE SET UP IN THE LOCATIONS DESIGNATED ON THE PLANS.
- DEMOLISH EXISTING SITE IMPROVEMENTS (SIDEWALKS, PAVEMENT, CURBING, ETC.) AS SHOWN ON THE DEMOLITION PLAN (AS APPLICABLE).
- INSTALL DEWATERING SYSTEM AS NECESSARY.
- ROUGH GRADE THE SITE BASED ON THE GRADING PLAN TO THE APPROPRIATE BUILDING PAD ELEVATIONS, EXCAVATE FOR AND CONSTRUCT THE DRAINAGE IMPROVEMENTS PROGRESSING UPSTREAM.
- CONSTRUCT BUILDING FOUNDATIONS. INSTALL PROPOSED UTILITIES, CURBING AND THEN PAVE (BASE COURSE) DRIVE AISLES.
- STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
- MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FREED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
- FINALIZE CONSTRUCTION OF SITE IMPROVEMENTS INCLUDING THE BUILDINGS, SIDEWALKS, LANDSCAPE AREAS, SIGNAGE, LIGHTING AND ANY OTHER OUTSTANDING ITEMS.
- AFTER COMPLETION OF CONSTRUCTION, FINISH GRADE TO FINAL ELEVATIONS AND APPLY SEED OR SOD ON ALL LAWN AREAS.
- AFTER STABILIZATION HAS BEEN ESTABLISHED CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES.
- MAINTAIN ALL LAWN AND LANDSCAPED AREAS TO ENSURE A VIABLE STABILIZED VEGETATIVE COVER.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OF A DRAINAGE SYSTEM.
- THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

CONSTRUCTION SEQUENCE



- NOTES:
- PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

4 SILT FENCE DETAIL N.T.S.

OWNER 1:

A. SALDARRIAGA TRUST
17643 SAWGRASS BLVD
TAVARES, FL 32778

OWNER 2:

WHITEHILL OF OCALA LLC
2290 SW 37TH STREET
OCALA, FL 34471

APPLICANT:

CORTA OCALA LLC
12632 SW 92ND AVE
MIAMI, FL 33157

PARCEL INFORMATION:

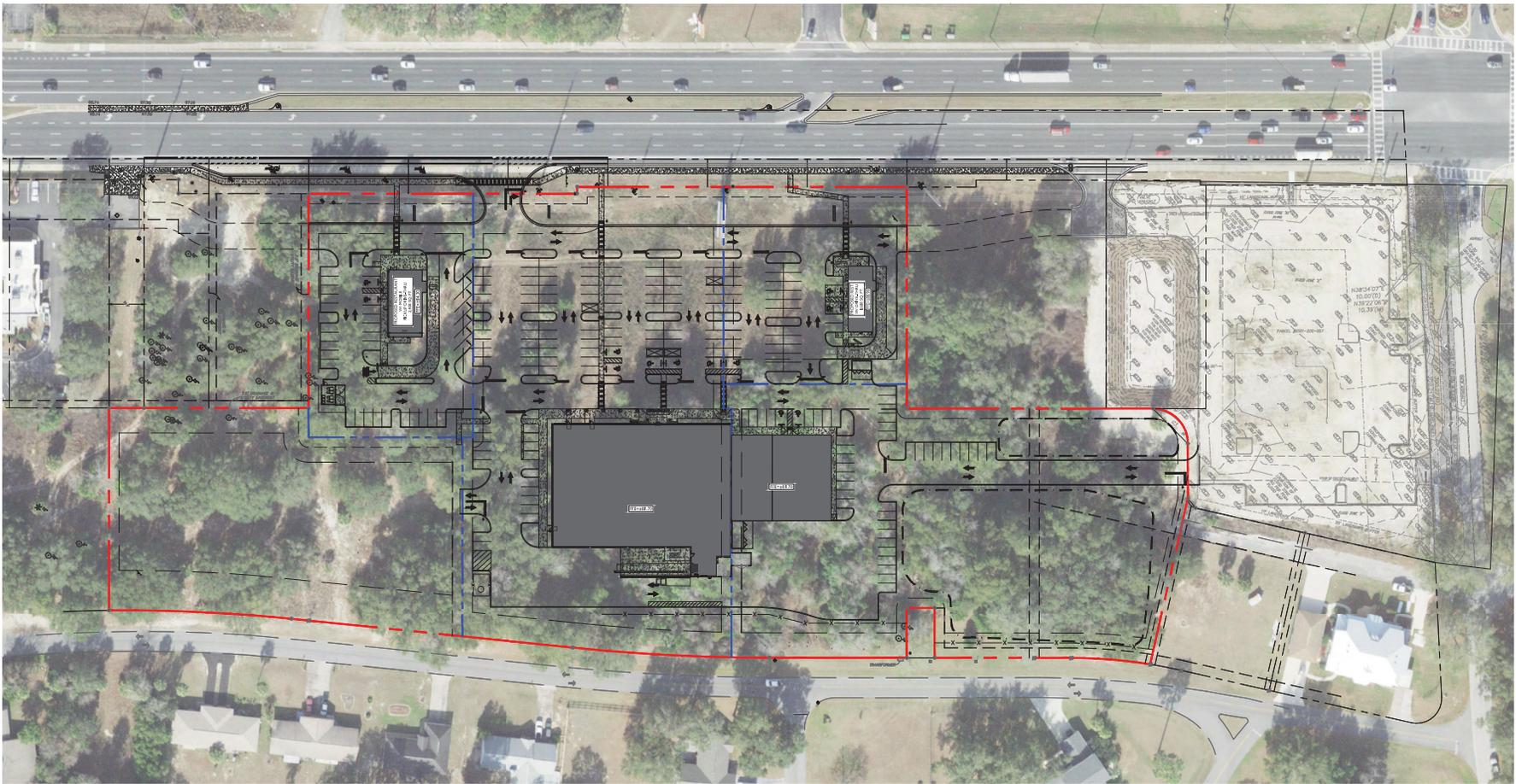
- EXISTING ZONING DESIGNATION: B-2 (COMMERCIAL BUSINESS)
- PROPOSED ZONING DESIGNATION: PUD (PLANNED UNIT DEVELOPMENT)
- PARCEL ID:

A. SALDARRIAGA TRUST (OWNER 1)		WHITEHILL OF OCALA LLC (OWNER 2)
3501-200-023	3501-200-039	3501-400-003
3501-200-022	3501-200-038	3501-400-004
3501-200-021	3501-200-037	
3501-200-020	3501-200-036	
3501-200-019	3501-200-035	
3501-200-018	3501-200-034	
3501-200-040		

- SITE AREA - 8.76 ACRES
- TOTAL WETLANDS: 0.0 ACRES
- PHYSICAL ADDRESS: PENDING
- FUTURE LAND USE (FLUM): COMMERCIAL (0 - 8 DU/AC; FAR 1.0)
- EXISTING USE: VACANT
- PROPOSED USE: SHOPPING PLAZA (RETAIL & RESTAURANT)
- LANDSCAPE BUFFERS SHALL BE 15-FT FRONT YARD, 10-FT SIDE YARD, AND 10-FT REAR YARD, FURTHER IN ACCORDANCE WITH MARION COUNTY DEVELOPMENT CODE SECTION 6.8.6.
- A RECIPROCAL EASEMENT AGREEMENT (REA) WILL BE PREPARED AND RECORDED FOR BETWEEN THE PROPOSED PARCELS AND OWNERSHIP TO BENEFIT BOTH THE DEVELOPMENT AND ADJACENT PROPERTIES IMPACTED.

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAINPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 12083C068E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE X AND AE. THE AE AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAMIRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE, BASE FLOOD ELEVATION OF 70.3-FT (NAVD89).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDREYEV ENGINEERING, INC. DATED NOVEMBER 3, 2022.



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CONSULTING

P.O. BOX 22821
TAMPA, FL 33622
813.744.1199
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FLORIDA BUSINESS REGISTRY NO. 34468

NO.	DATE	REVISION	BY
01	11/13/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS	JJS

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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**OVERALL SITE PLAN
W/ AERIAL**

PROJECT NO.: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER
C-101

OWNER 1:
A. SALDARRIAGA TRUST
17643 SAWGRASS RUN
TAVARES, FL 32778

APPLICANT:
CORTA OCALA LLC
12632 SW 52ND AVE
MIAMI, FL 33157

OWNER 2:
WHITEHILL OF OCALA LLC
2250 SW 37TH STREET
OCALA, FL 34471

PARCEL INFORMATION:

- EXISTING ZONING DESIGNATION: B-2 (COMMERCIAL BUSINESS)
- PROPOSED ZONING DESIGNATION: PUD (PLANNED UNIT DEVELOPMENT)
- PARCEL ID:

A. SALDARRIAGA TRUST (OWNER 1)		WHITEHILL OF OCALA LLC (OWNER 2)	
3501-200-023	3501-200-039	3501-400-003	
3501-200-022	3501-200-038	3501-400-004	
3501-200-021	3501-200-037		
3501-200-020	3501-200-036		
3501-200-019	3501-200-035		
3501-200-018	3501-200-034		
3501-200-040			

- SITE AREA = 8.76 ACRES
- TOTAL WETLANDS: 0.0 ACRES
- PHYSICAL ADDRESS: PENDING
- FUTURE LAND USE (FLUM): COMMERCIAL (0 - 8 DU/AC; FAR: 1.0)
- EXISTING USE: VACANT
- PROPOSED USE: SHOPPING PLAZA (RETAIL & RESTAURANT)
- LANDSCAPE BUFFERS SHALL BE 15 FT FRONT YARD, 10 FT SIDE YARD, AND 10 FT REAR YARD, FURTHER IN ACCORDANCE WITH MARION COUNTY DEVELOPMENT CODE SECTION 6.8.6.
- A RECIPROCAL EASEMENT AGREEMENT (REA) WILL BE PREPARED AND RECORDED FOR BETWEEN THE PROPOSED PARCELS AND OWNERSHIP TO BENEFIT BOTH THE DEVELOPMENT AND ADJACENT PROPERTIES IMPACTED.

LEGAL DESCRIPTION:

SUBJECT PROPERTIES ARE UNDERGOING RE-PLAN AND IS CONCURRENTLY UNDER REVIEW BY MARION COUNTY STAFF. SEE PROJECT SURVEY FOR MULTIPLE PROPERTY PARCELS AND LEGAL DESCRIPTIONS.

ZONING TABLE:

REQUIRED	PROPOSED OVERALL
MINIMUM LOT SIZE	N/A
FRONT BUILDING SETBACK (FT)	40'
SIDE YARD SETBACK (FT)	10'
REAR YARD SETBACK (FT)	25'
BUILDING HEIGHT (FT)	50'
MINIMUM LOT WIDTH (FT)	N/A
MAX IMPERVIOUS SURFACE RATIO (ISR)	63.3% (241,507/381,754)
MAXIMUM FLOOR AREA RATIO (FAR)	1.0

NOTE: REQUIRED ZONING SHOWN HEREIN BASED ON EXISTING B-2 (COMMERCIAL BUSINESS) ZONING REQUIREMENTS. THE PUD IS APPROVED AND KNOWN AS RESOLUTION NO. 24-R-183. THE SITE PLAN HAS BEEN UPDATED TO REFLECT CONDITIONS OF THAT RESOLUTION.

PROPOSED COMMERCIAL PARCELS

PARCEL	FLOOR AREA (SQ FT)	AREA (ACRES)
PARCEL 1 (COMMERCIAL)	±1,680 SQ FT	±0.034
PARCEL 2 (COMMERCIAL)	±2,400 SQ FT	±0.026
PARCEL 3 (COMMERCIAL)	±23,256 SQ FT	±2.750
PARCEL 4 (COMMERCIAL)	±8,600 SQ FT	±2.629
PARCEL 5 (MULTI-FAMILY)	30 UNITS	±1.625
TOTAL	±35,936 SQ FT & 30 RES. UNITS	±8.764

PARKING SCHEDULE

- PARKING REQUIRED**
- SPROUTS GROCERY (RETAIL) - REQUIRED 1 PER 300 SQ. FT. GFA
 - 23,256 SQ. FT. 1.0 SPACES PER 300 SQ. FT. = **78 SPACES**
 - RETAIL OUTPARCEL - REQUIRED 1.0 SPACES PER 300 SQ. FT. GFA
 - 4,200 SQ. FT. * 1.0 SPACES PER 300 SQ. FT. = **14 SPACES**
 - SHOPPES SPACE -
 - 3,526 SQ. FT. (RETAIL) * 1.0 SPACE PER 300 SQ. FT. = **12 SPACES**
 - 5,074 SQ. FT. (60 SEATS) - RESTAURANT * 1.0 SPACE PER 4 SEATS = **13 SPACES**
 - CHIPOTLE W/ MOBILE PICKUP - FAST-FOOD RESTAURANT - REQUIRED 1 PER 75 SQ. FT. GFA
 - 2,400 SQ. FT. * 1.0 SPACES PER 75 SQ FT GFA = **32 SPACES**
 - HANDICAP SPACES REQUIRED = 7 SPACES (201-300 TOTAL SPACES)
 - TOTAL SPACES REQUIRED = **151 SPACES** (INCLUDING 7 HANDICAP SPACES)*

PARKING PROVIDED

REGULAR SPACES	= 208
HANDICAP SPACES	= 12
TOTAL	= 220

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "PALM TRAILS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25 TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 128830686E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X" AND "AE". THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAMIRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.2 FT (NAVD83).
- IN ACCORDANCE WITH THE ABOVE FEMA MAP AND CALCULATIONS PROVIDED ON THE SURVEY, THE APPROXIMATE AREA FROM THE FEMA MAP IS 0.17 ACRES (7,485 SQ. FT.).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDREYEV ENGINEERING, INC. DATED NOVEMBER 3, 2022

CURVE TABLE:

LINE	BEARING	DISTANCE
L1	N 47°52'21" W	50.00 (F)
L2	S 42°02'18" W	28.00 (F)
L3	S 47°57'42" E	50.00 (F)
L4	N 47°57'39" W	7.00 (F)

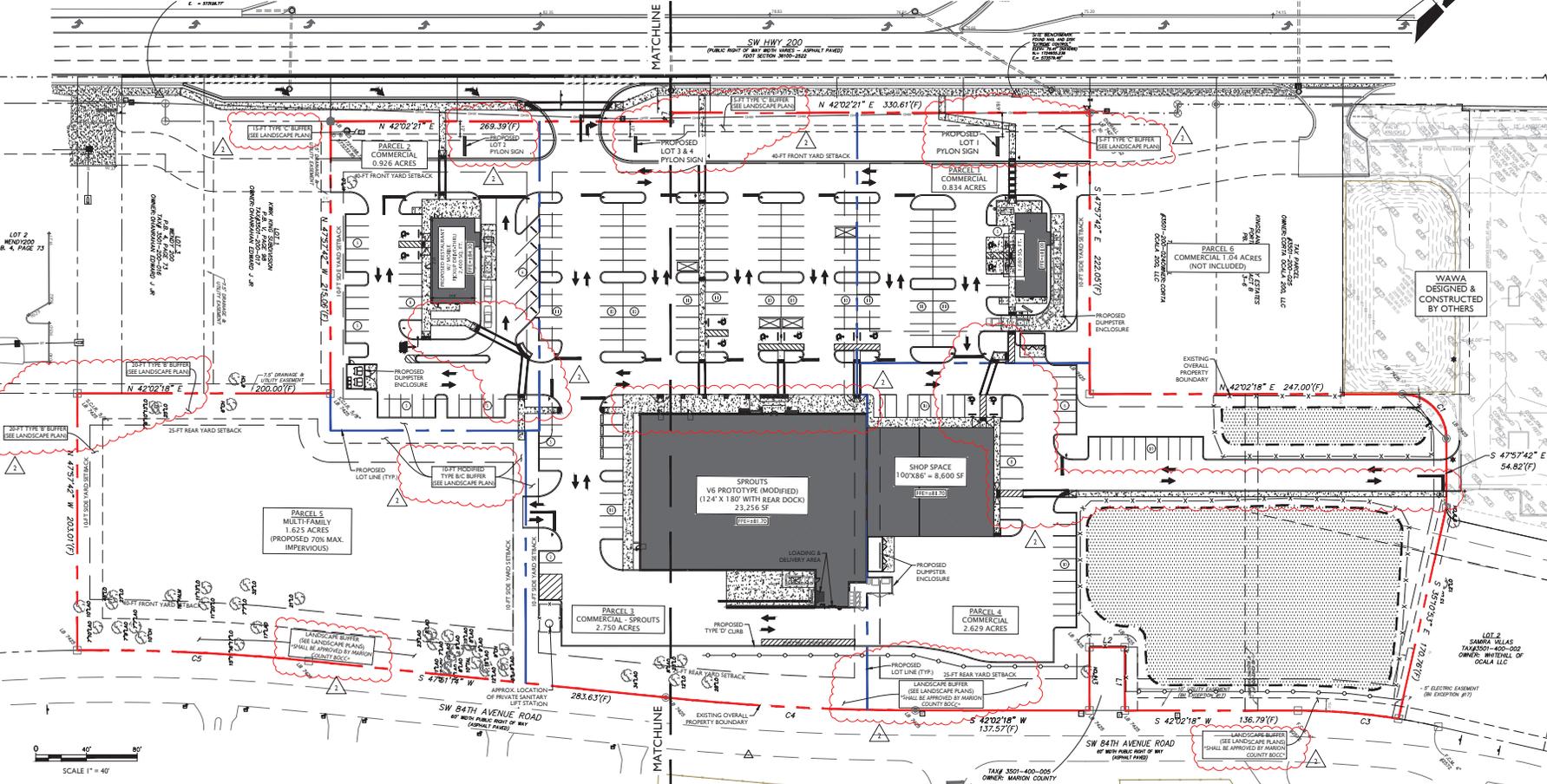
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	35.00 (F)	54.98 (F)	49.50 (F)	N 87°02'18" E
C2	500.00 (F)	113.83 (F)	113.80 (F)	S 48°25'42" W
C4	1946.86 (F)	197.61 (F)	197.52 (F)	S 44°58'39" W
C5	1505.00 (F)	183.29 (F)	183.17 (F)	S 44°36'57" W

LEGEND:

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE CURBS
- PROPOSED CONCRETE
- PROPOSED YARD SETBACK
- PROPOSED 6 FT FENCE
- HAND LANE
- PROPOSED EASMENT
- PROPOSED TRAFFIC SIGN
- PARKING SPACE COUNT

TREE LEGEND:

10' = TREE LOCATION & SIZE



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TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 34468

REVISIONS

NO.	DATE	DESCRIPTION
01	01/24/24	REVISION FOR ZONING APPROVAL, CDD & SFP W/ADJ REVIEW COMMENTS
02	01/24/24	REVISION FOR ZONING APPROVAL, CDD & SFP W/ADJ REVIEW COMMENTS
03	01/24/24	REVISION FOR ZONING APPROVAL, CDD & SFP W/ADJ REVIEW COMMENTS

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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

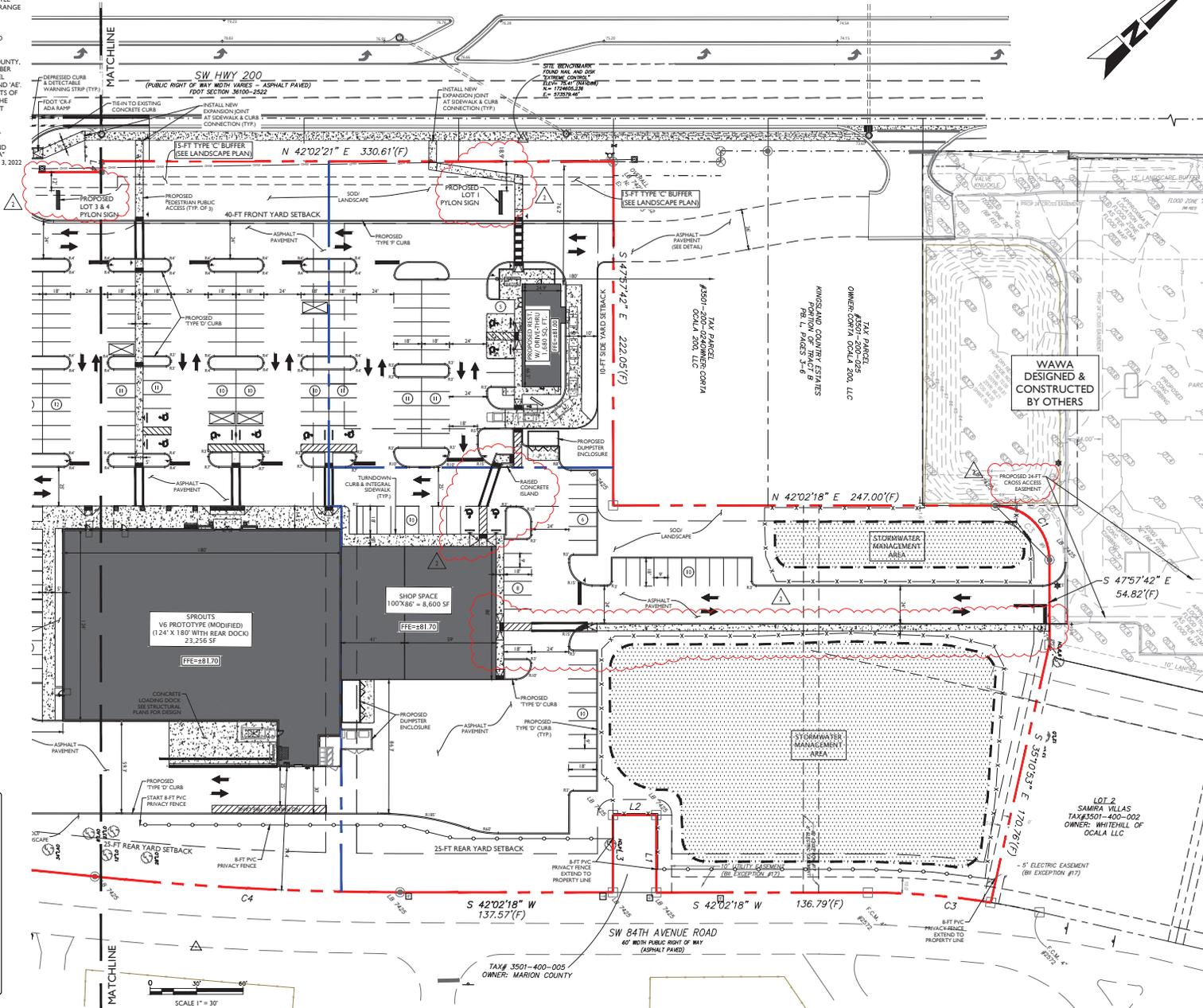
SHEET TITLE
**OVERALL DIMENSION
& LAYOUT PLAN**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 01/29/2024
SHEET NUMBER

C-102

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAIR'S LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 12082C084E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCELS APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE 'X' AND 'AE'. THE 'AE' AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAMIRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.2 FT (NAVD8).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA, PREPARED BY ANDREYEV ENGINEERING, INC. DATED NOVEMBER 3, 2022.



LEGEND:

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE
- PROPOSED YARD SETBACK
- PROPOSED 4-FT FENCE
- HAND RAIL
- PROPOSED BASSHIRT
- PROPOSED TRAFFIC SIGN
- PARKING SPACE COUNT

TREE LEGEND:

10' = TREE LOCATION & SIZE

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813.744.1199
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 34468

REVISIONS

NO.	DATE	DESCRIPTION
01	01/25/24	REVISION PER ZONING APPROVAL BOARD & SFPWYD REVIEW COMMENTS
02	02/01/24	REVISION PER ZONING APPROVAL BOARD & SFPWYD REVIEW COMMENTS

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LICENSE NO. 80758

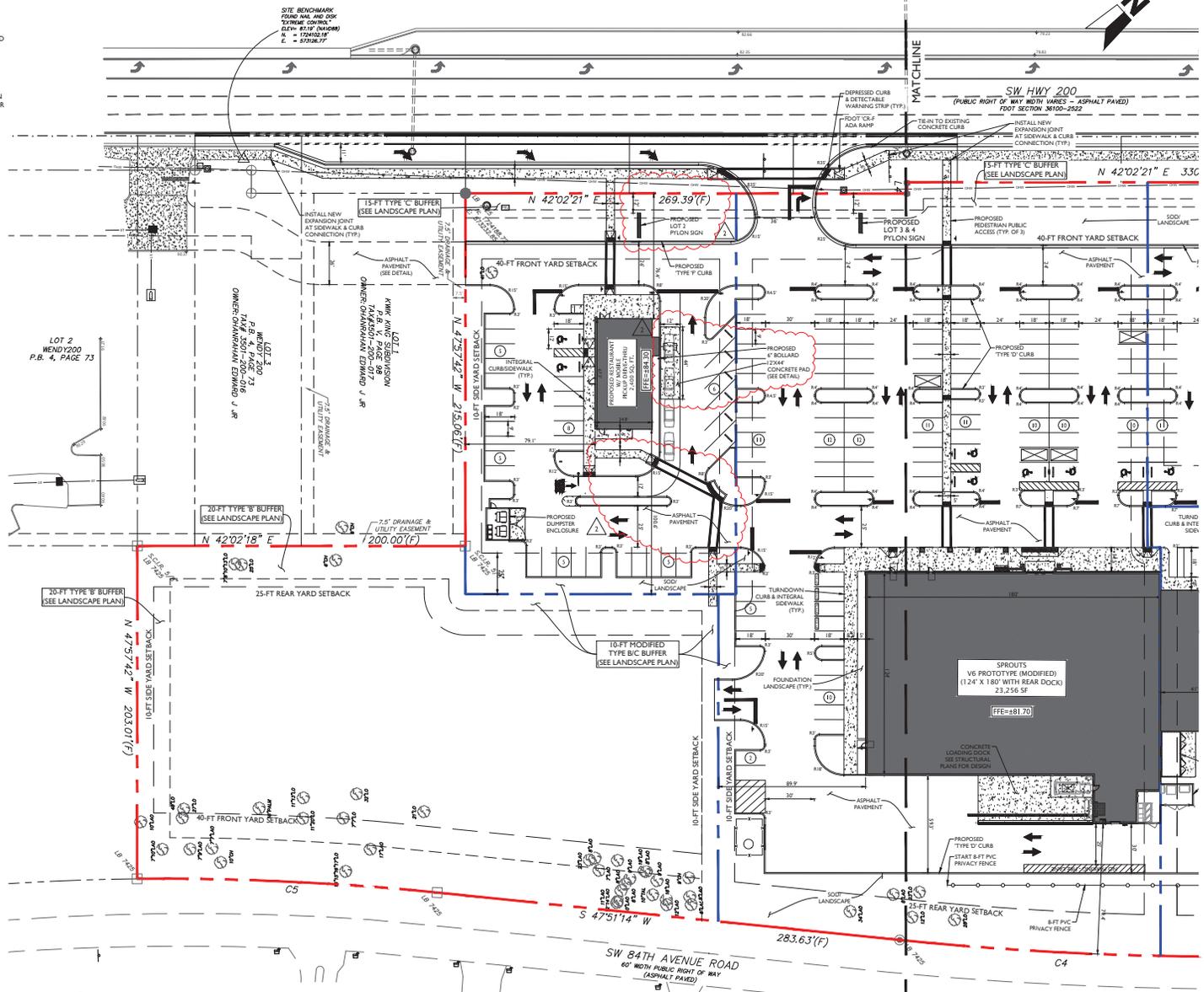
PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE:
**DIMENSION & LAYOUT
PLAN (NORTH)**

PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER:
C-103

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTANS LAND TITLE SURVEY" LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 03 EAST, MARION COUNTY, FLORIDA; PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 12083C0884E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X" AND "AE". THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAMIRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE, BASE FLOOD ELEVATION OF 70.3 FT (NAVD89).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO TECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDREYEV ENGINEERING, INC. DATED NOVEMBER 3, 2022.



LEGEND:

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE
- PROPOSED YARD SETBACK
- PROPOSED 4-FT FENCE
- HAND RAIL
- PROPOSED EASEMENT
- PROPOSED TRAFFIC SIGN
- PARKING SPACE COUNT

TREE LEGEND:

10° = TREE LOCATION & SIZE

MJ STOKES CONSULTING

P.O. BOX 22821
TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FL ORLA BUSINESS REGISTRY NO. 34468

REV	DATE	DESCRIPTION
00	01/24/24	REVISION PER COUNTY, SWMWD & FOOT REVIEW COMMENTS
01	01/24/24	REVISION PER ZONING APPROVAL COUNTY & SWMWD REVIEW COMMENTS

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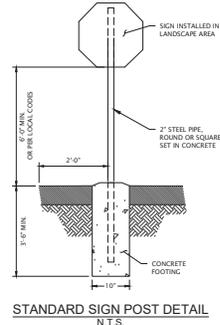
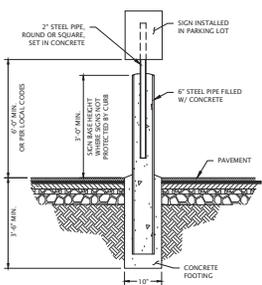
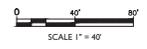
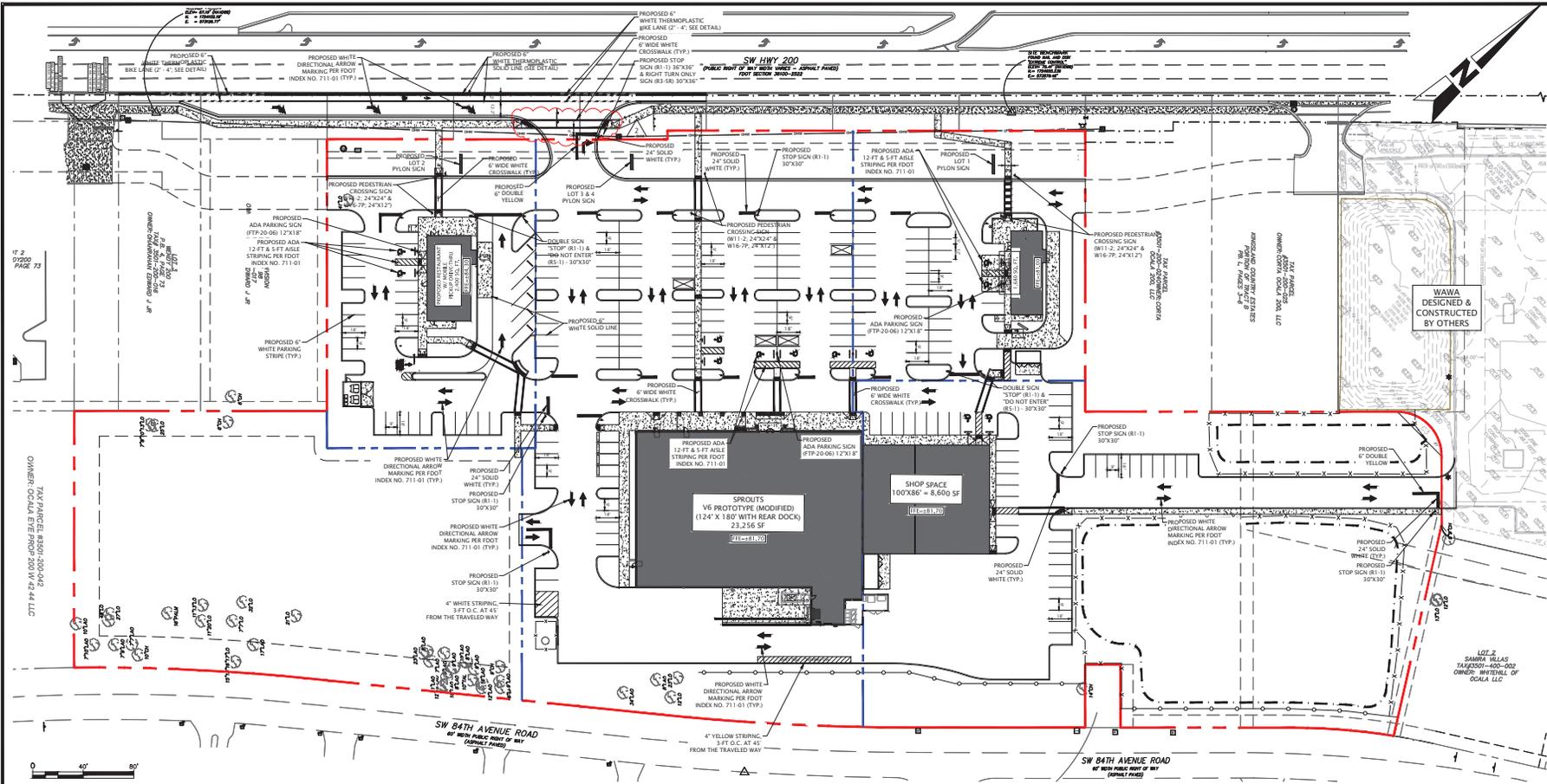
JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**DIMENSION & LAYOUT
PLAN (SOUTH)**

PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024

SHEET NUMBER
C-104



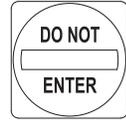
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(30"X30")



W16-7P
(24"X12")

SIGN LEGEND

(SEE MUTED FOR SPECIFICATIONS; SIGNS SHOWN FOR REFERENCE ONLY)



R5-1
(24"X24")



R1-1
(30"X30")

LEGEND:	
ADJACENT PROPERTY LINE	---
PROPERTY BOUNDARY	----
EXISTING FENCE	-----
PROPOSED CONCRETE	=====
PROPOSED YARD SETBACK	-----
EXISTING SPOT ELEVATION	114.5x
PROPOSED SPOT ELEVATION	114.5x
PROPOSED CONTOUR	-----
TREE LEGEND:	
10x	= TREE LOCATION & SIZE
LO	= LIVE OAK
CP	= CABBAGE PALM
LAO	= LAUREL OAK

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED 'ALTA/NSPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA', PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.

MJ STOKES CONSULTING
P.O. BOX 22821
TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 34468

NO.	DATE	DESCRIPTION	BY
01	01/24/24	REVISION PER ZONING APPROVAL CORDARY & SAMPSON REVIEW COMMENTS	JIS
02	01/24/24	REVISION PER COUNTY SWIMMING & BOAT REVIEW COMMENTS	JIS

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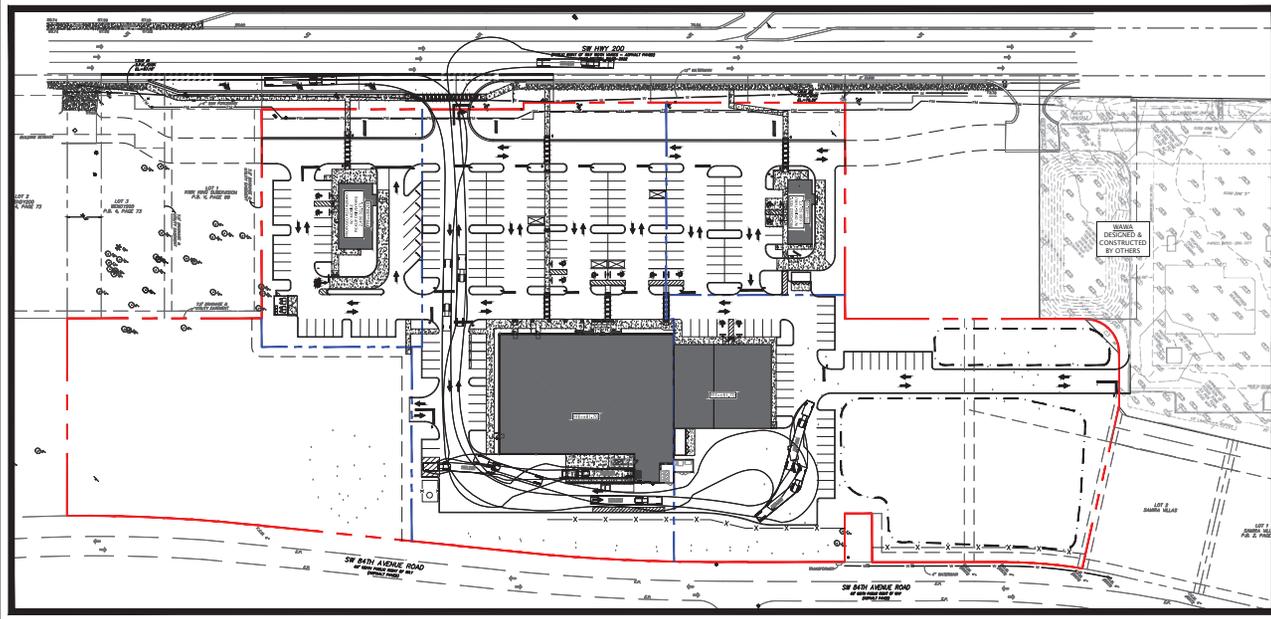
JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**OVERALL SIGNING &
MARKING PLAN**

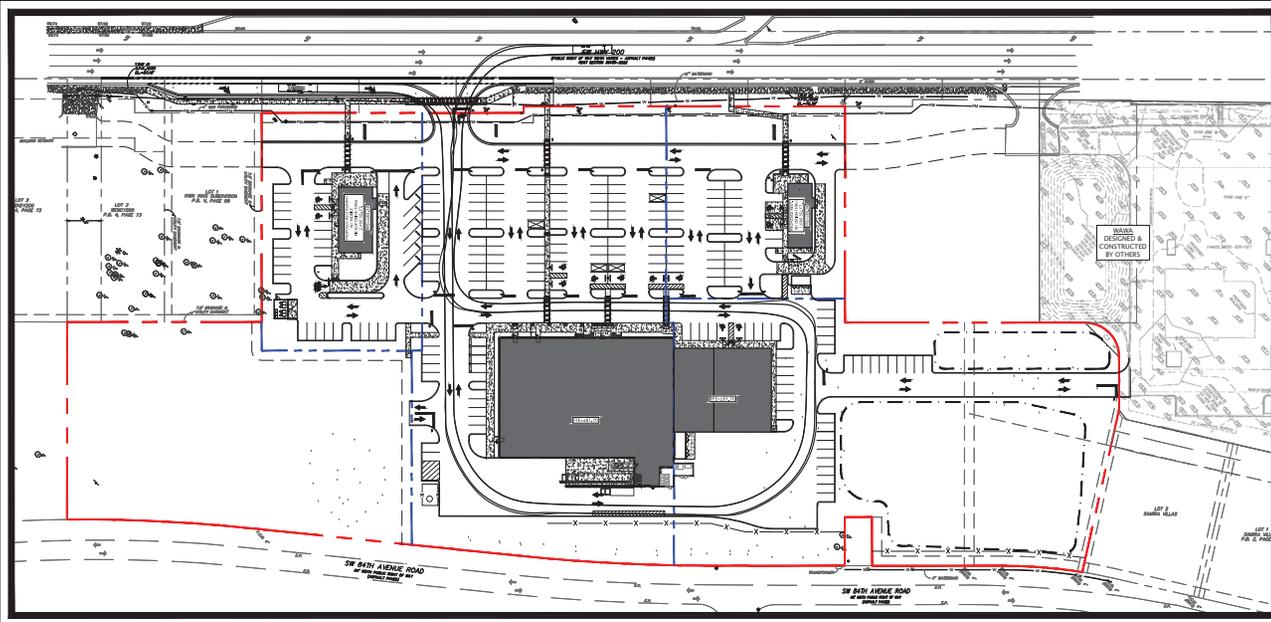
PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER

C-105



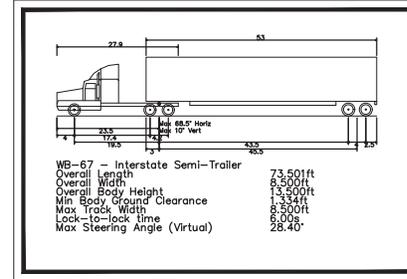
SPROUTS DELIVERY CIRCULATION EXHIBIT

SCALE 1" = 60'



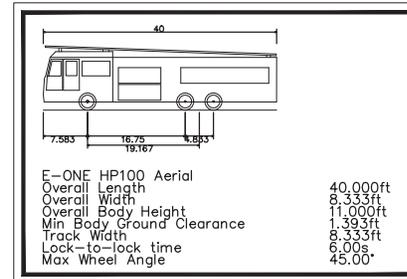
FIRE & RESCUE CIRCULATION EXHIBIT

SCALE 1" = 60'



SPROUTS DELIVERY TRUCK (WB-67)

SCALE 1" = 60'



TRACKING VEHICLE - E-ONE HP100 AERIAL

NOTE:
COUNTY E-ONE HP78 AERIAL NOT AVAILABLE DEFAULT VEHICLE IN LIBRARY.
HP100 MEETS OR EXCEEDS ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH
TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL

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FLORIDA BUSINESS REGISTRY NO. 3446

REV	DATE	DESCRIPTION	BY
01	11/2/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS	JJS

Sunshine811

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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**TRUCK TURN
EXHIBIT**

PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER

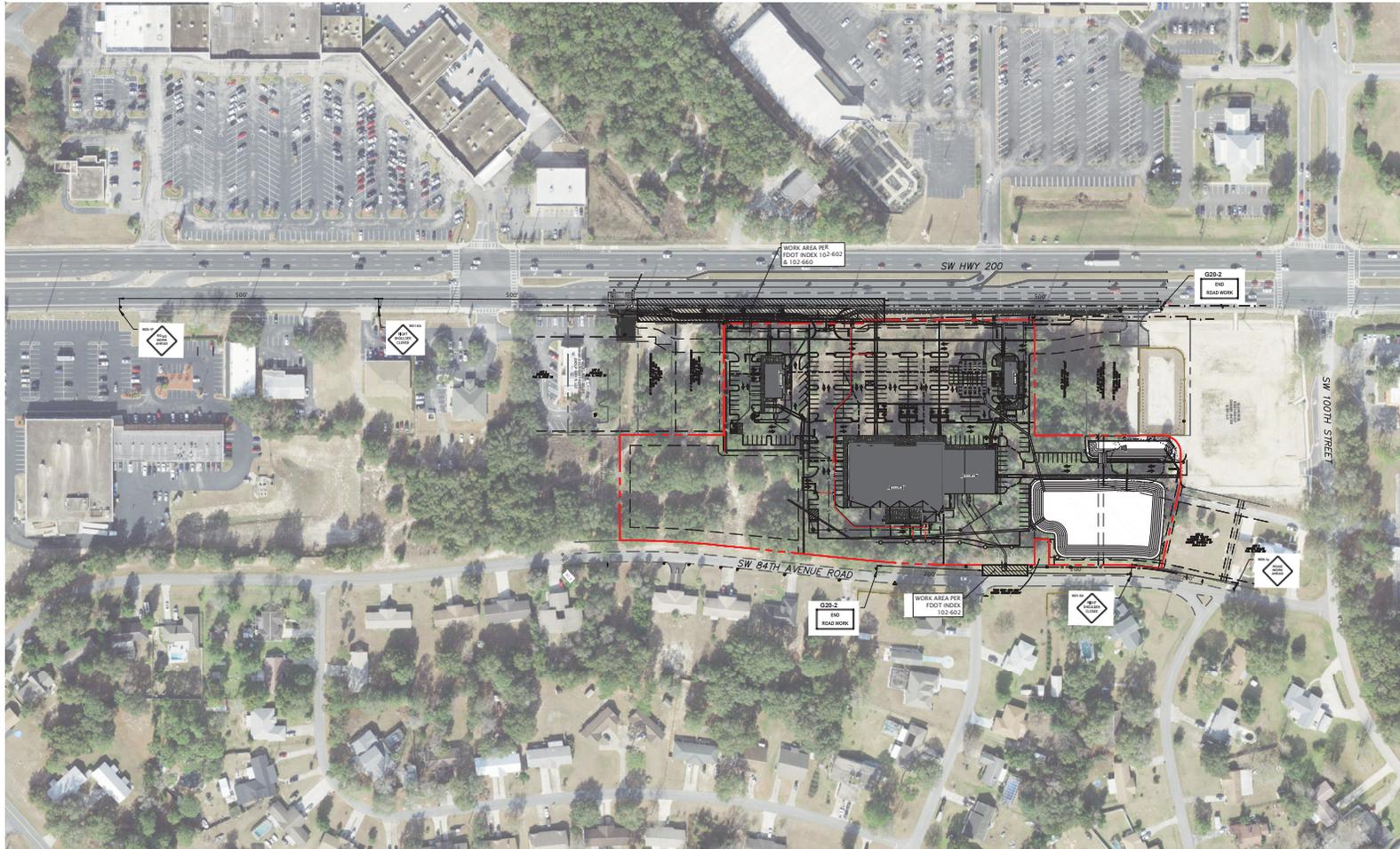
C-106

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALCANAPS LAND TITLE SURVEY" LOCATED IN SECTIONS 24 & 25 TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 12083C0684E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X" AND "AE". THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SABLE VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE, BASE FLOOD ELEVATION OF 70.2 FT. (NAVD83).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO TECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, Ocala, MARION COUNTY, FLORIDA" PREPARED BY ANDREWEY ENGINEERING, INC. DATED NOVEMBER 3, 2022.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF MOT, FINAL LAYOUT/DESIGN BASE DON MEANS AND METHODS OF CONSTRUCTION, AND ATTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCING CONSTRUCTION.

GENERAL MOT NOTES

- FLORIDA STATE STATUTE 316.0745:
 - ANY AND ALL TRAFFIC CONTROL DEVICES INSTALLED ON THE COUNTY ROAD SYSTEM SHALL CONFORM TO FLORIDA STATE STATUTE 316.0745, UNIFORM SIGNALS AND DEVICES.
 - THIS STATUTE REQUIRES THAT ALL DEVICES CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS. THE FDOT HAS ADOPTED THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AS THE STANDARDS TO BE USED IN THE STATE OF FLORIDA.
- PAVEMENT MARKINGS:
 - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC OR PREFORMED TAPES
 - PAVEMENT MARKINGS AND RAISED PAVEMENT MARKERS SHALL BE INSTALLED ON ALL ROADS CLASSIFIED OTHER THAN RESIDENTIAL WITH AN ADT GREATER THAN 500 VEHICLES, OR IF OTHER CONDITIONS EXIST THAT REQUIRE PAVEMENT MARKINGS, (SEE M.U.T.C.D. SECTION 3B-1).
- TRAFFIC CONTROL SIGNS:
 - ALL SIGN BLANKS SHALL BE OF A TYPE CURRENTLY CERTIFIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.
 - ALL SIGN FACES SHALL BE HIGH INTENSITY GRADE AND OF A TYPE CURRENTLY CERTIFIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.
- ALL SIGNS SHALL BE NO LESS THAN THE STANDARD SIZE AS SPECIFIED BY THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- NO MINIMUM SIZE SIGNING SHALL BE ACCEPTED. LARGER SIGNS SHALL BE USED WHEN REQUIRED BY DESIGN SPEED ETC.
- STREET NAME SIGNS SHALL BE 9-INCH ON ALL ROAD CLASSIFICATIONS. ALL SIGNS SHALL HAVE 6-INCH SERIES B LETTERS. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE STANDARD D3 STREET NAME SIGNS WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY MAINTAINED ROADS, THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER. ALL STREET NAME SIGN BRACKETS SHALL BE SUPPLIED WITH BOLTS, SET SCREWS WILL NOT BE ACCEPTED.
- ALL POST SYSTEMS, MOUNTING BRACKETS AND HARDWARE SHALL BE OF A TYPE CURRENTLY IN USE BY THE PASCO COUNTY PUBLIC WORKS DEPARTMENT AND CURRENTLY CERTIFIED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR USE IN THE STATE OF FLORIDA. ALTERNATIVE SYSTEMS ETC. SHALL ONLY BE USED IF APPROVED BY THE COUNTY ENGINEER.



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 813.724.4199
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 FLORIDA BUSINESS REGISTRY NO. 3448

NO.	DATE	DESCRIPTION	BY
00	8/13/24	REVISION PER COUNTY ENGINEER & FDOT REVIEW COMMENTS	JIS
01	8/13/24	REVISION PER ZONING APPROVAL COUNTY & SFPWHD REVIEW COMMENTS	JIS

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JOHN J. STOECKEL
 FLORIDA PROFESSIONAL ENGINEER
 LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
 CORTA COMMONS**
 FOR
CORTA OCALA, LLC
 SW HWY 200 - Ocala
 MARION COUNTY, FLORIDA

SHEET TITLE
**MAINTENANCE OF
 TRAFFIC PLAN**

PROJECT NO: 23-3306
 CHECKED BY: JIS
 VERTICAL DATUM: NAVD 1988
 DATE: 03/29/2024
 SHEET NUMBER

C-201

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTANPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 12082068E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X" AND "AE." THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAPHIRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 73.2-FT (NAVD98).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDREVEY ENGINEERING, INC. DATED NOVEMBER 3, 2022.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GRADING NOTES:

- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
- PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.
- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, OWNER'S REPRESENTATIVE, OR THE OWNER'S ENGINEER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
- CONTRACTOR SHALL SAWCUT, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT AS SHOWN ON THE DETAILS HEREIN.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS STRUCTURES, OTHER PLACED CONCRETE, ETC.)
- THE CONTRACTOR WILL STABILIZE, BY SEED AND MULCH, SOO, OR OTHER APPROVED MATERIALS, ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.

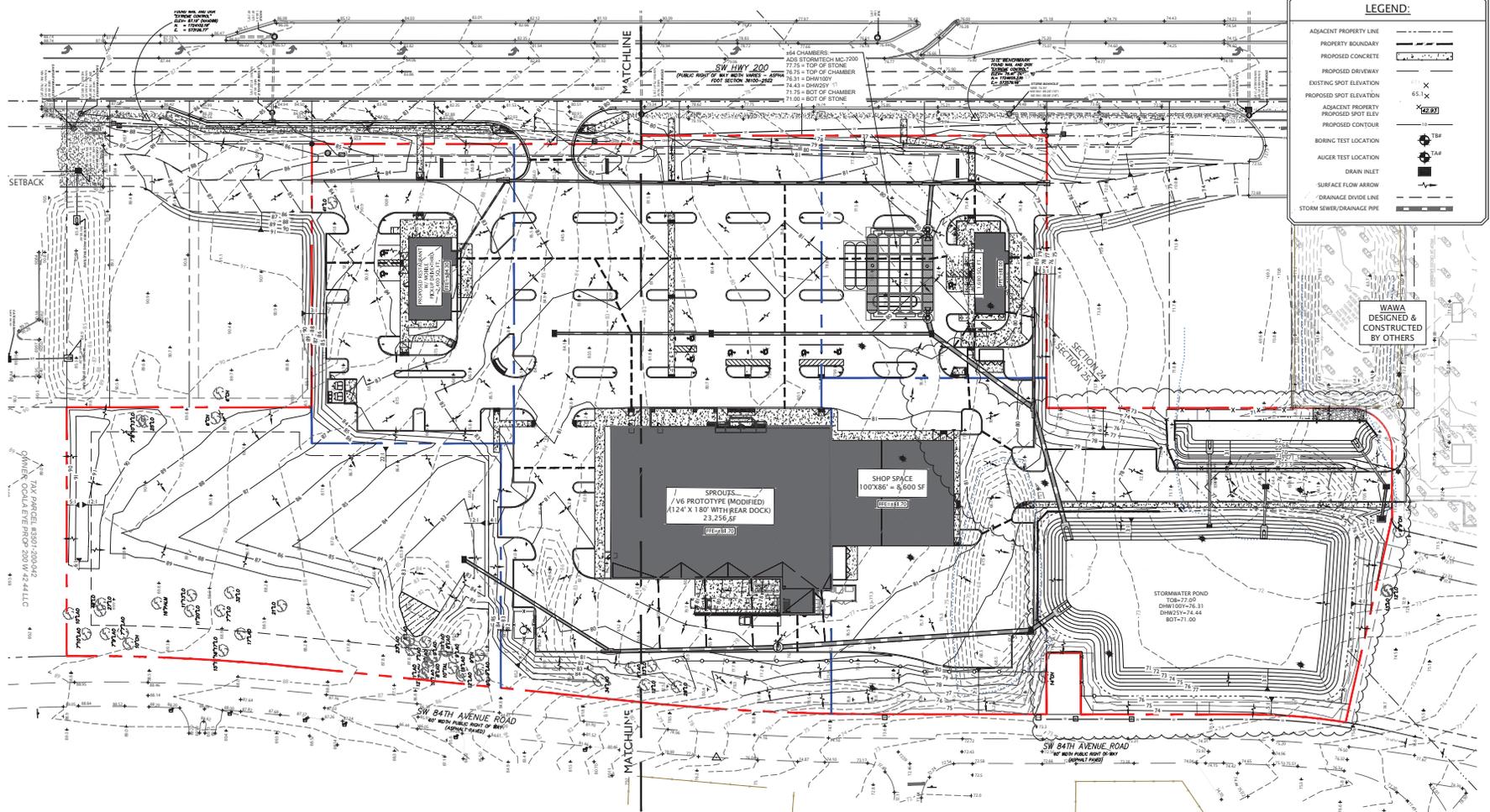
- CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
 - EROSION & SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED & REMAIN COMPLIANT WITH LOCAL AND STATE REGULATIONS THROUGHOUT DURATION OF CONSTRUCTION.
 - DOWNSPOUTS SHALL BE CONNECT TO THE SITE DRAINAGE NETWORK WITH THE MOST DIRECT CONNECTION POSSIBLE UTILIZING INSERT-A-TREE PRODUCT WITH A PERPENDICULAR ALIGNMENT OR OTHERWISE APPROVED.

TESTING & INSPECTION REQUIREMENTS (PAVING/GRADING)

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH SITE SPECIFIC GEOTECHNICAL REPORT FOR THE SITE, AS WELL AS THE TESTING SCHEDULE REQUIRED BY FOOT AND THE AFFECTED MUNICIPALITY. UPON COMPLETION OF WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. CONSIDERATION SHOULD BE GIVEN, ALTHOUGH NOT REQUIRED, TO THE GEOTECHNICAL ENGINEER PROVIDING RECOMMENDATIONS FOR THIS SITE PROJECT. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.



VERTICAL DATUM
ELEVATION SHOWN HEREON ARE BASED ON NAVD 1988 (NAVD88) AND SAID ELEVATIONS ARE BASED ON BENCHMARKS RESEARCHED BY THE SURVEYOR.



LEGEND:

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED DRIVEWAY
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- ADJACENT PROPERTY PROPOSED SPOT ELEV
- PROPOSED CONTOUR
- BORING TEST LOCATION
- AUGER TEST LOCATION
- DRAIN INLET
- SURFACE FLOW ARROW
- DRAINAGE DIVIDE LINE
- STORM SEWER/DRAINAGE PIPE

WAWA
DESIGNED &
CONSTRUCTED
BY OTHERS

REVISIONS

NO.	DATE	DESCRIPTION
01	01/25/24	REVISION PER ZONING APPROVAL CORDARY & SAMPWAD REVIEW COMMENTS
02	01/25/24	REVISION PER COUNTY, DAVENPORT & FOOT REVIEW COMMENTS

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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**GRADING &
DRAINAGE PLAN**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER

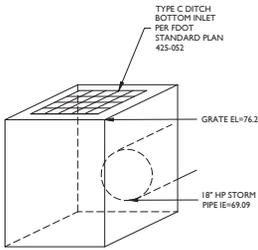
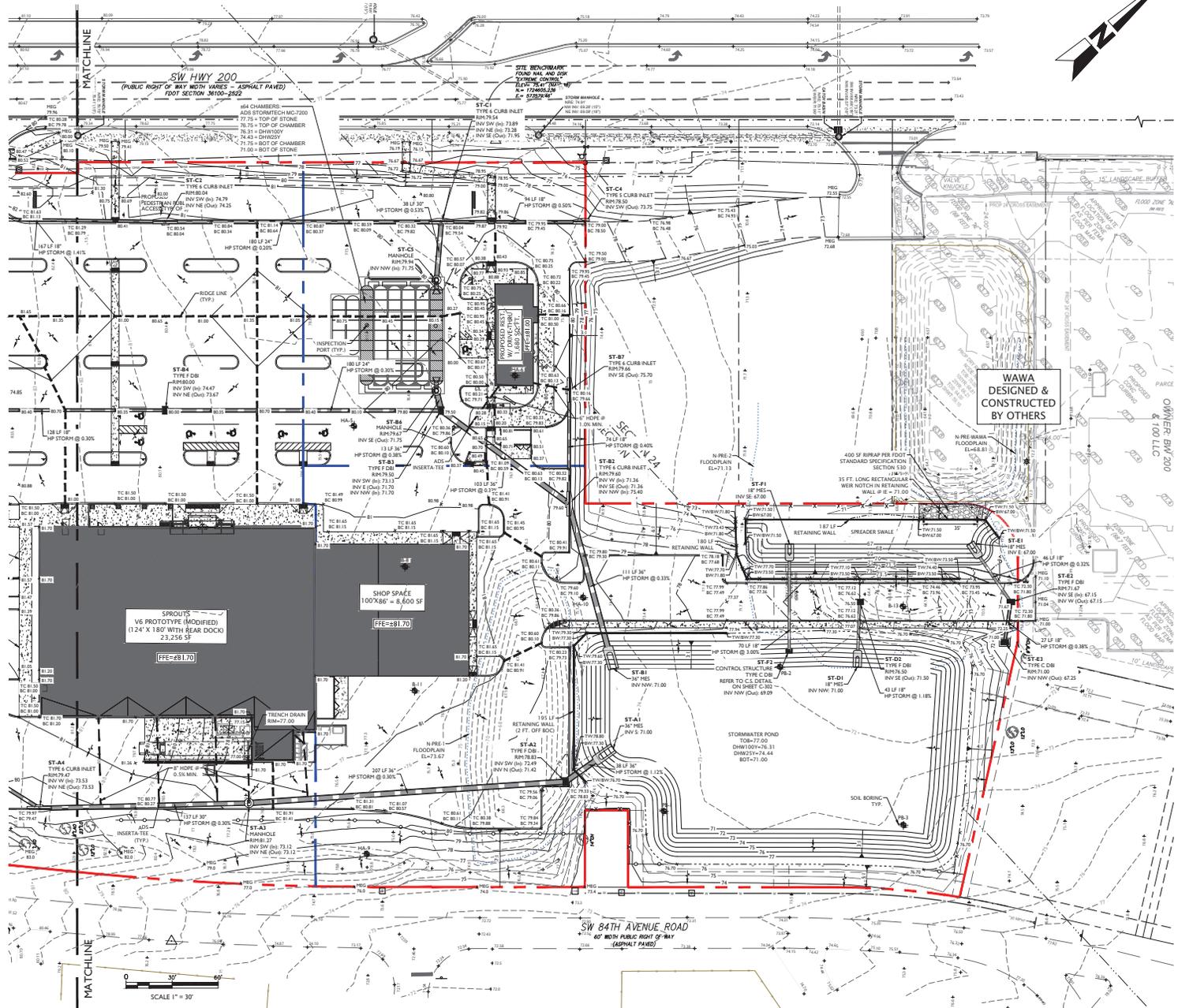
C-301

MJ STOKES CONSULTING
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813.744.1199
INFO@MJSTOKESCONSULTING.COM
FL ORCA BUSINESS REGISTRY NO. 3448



GENERAL NOTES:

1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAINPIS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12016, MAP PANEL NUMBER 1208308M, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE 'X' AND 'AE'. THE 'AE' AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SARRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE, BASE FLOOD ELEVATION OF 70.2-FT (NAVD89).
4. SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL INVESTIGATION: PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA," PREPARED BY ANDREW ENGINEERING, INC., DATED NOVEMBER 3, 2022.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



CONTROL STRUCTURE DETAIL ST-F2

LEGEND:

ADJACENT PROPERTY LINE	---
PROPERTY BOUNDARY	---
PROPOSED CONCRETE	---
PROPOSED DRIVEWAY	---
EXISTING SPOT ELEVATION	74.25
PROPOSED SPOT ELEVATION	65.1 X
ADJACENT PROPERTY PROPOSED SPOT ELEV	74.25
PROPOSED CONTOUR	---
BORING TEST LOCATION	BS
AUGER TEST LOCATION	AT
DRAIN INLET	---
SURFACE FLOW ARROW	---
DRAINAGE DIVIDE LINE	---
STORM SEWER/DRAINAGE PIPE	---

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FLORIDA BUSINESS REGISTRY NO. 34468

REVISIONS

NO.	DATE	DESCRIPTION	BY
01	01/24/24	REVISION PER ZONING APPROVAL COUNTY & SFWMD REVIEW COMMENTS	JIS
02	01/24/24	REVISION PER COUNTY, SFWMD, & FOOT REVIEW COMMENTS	JIS

SunshineBT

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FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

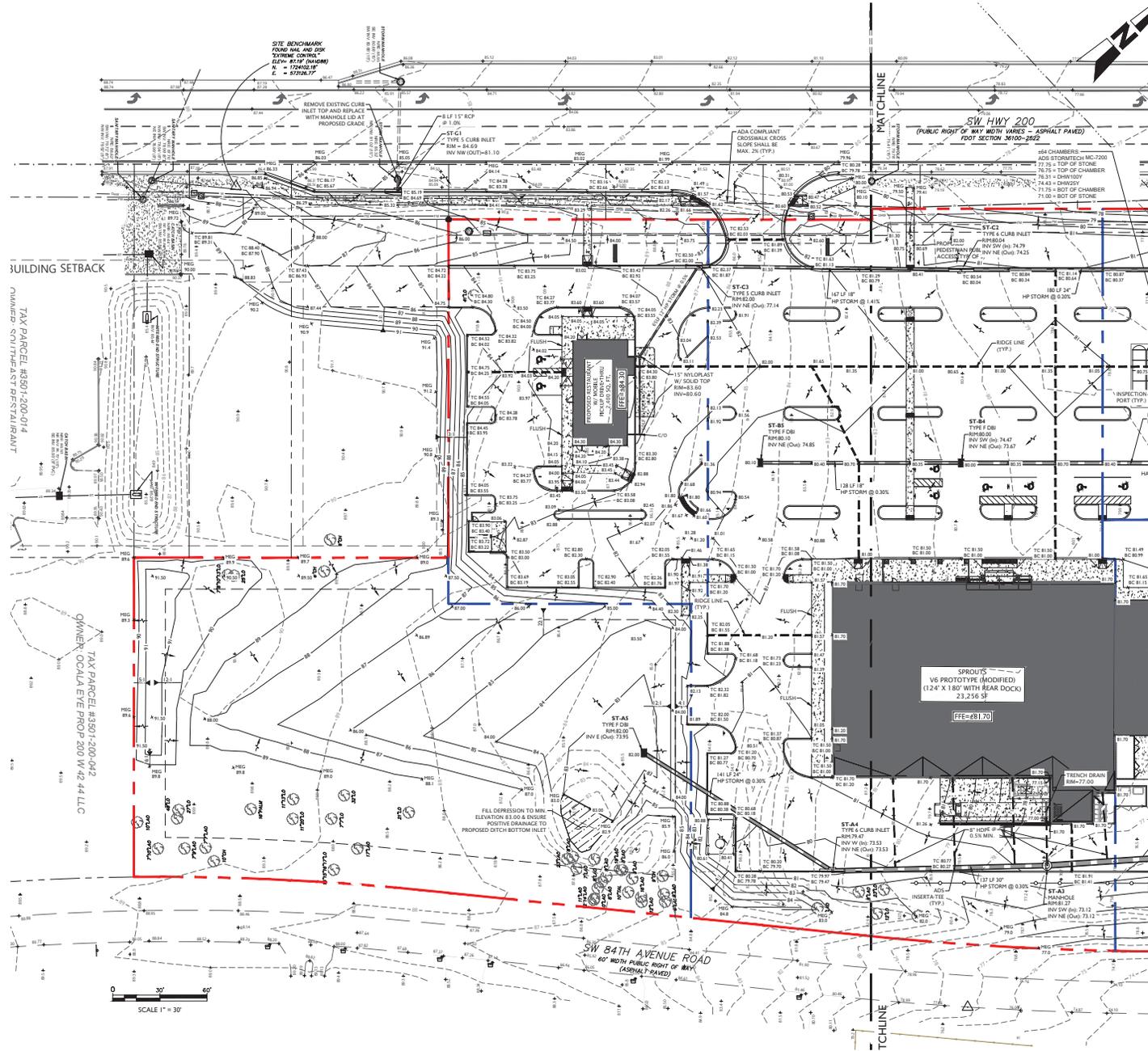
SHEET TITLE:
**GRADING &
DRAINAGE PLAN**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER:

C-302

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "LATINA'S LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 120203A08, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "C" AND "AE". THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 7 OF SAKIRA VILLAS AS SHOWN ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.3-FT (NAVD88).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO TECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDRIEYEV ENGINEERING, INC. DATED NOVEMBER 3, 2022.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE. AT ALL TIMES, ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



LEGEND:

ADJACENT PROPERTY LINE	
PROPERTY BOUNDARY	
PROPOSED CONCRETE	
PROPOSED DRIVEWAY	
EXISTING SPOT ELEVATION	
PROPOSED SPOT ELEVATION	
ADJACENT PROPERTY PROPOSED SPOT ELEV	
PROPOSED CONTOUR	
BORING TEST LOCATION	
AUGER TEST LOCATION	
DRAIN INLET	
SURFACE FLOW ARROW	
DRAINAGE DIVIDE LINE	
STORM SEWER/DRAINAGE PIPE	

SCALE 1" = 30'



MJ STOKES CONSULTING

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FLORIDA BUSINESS REGISTRY NO. 34468

REVISIONS

NO.	DATE	DESCRIPTION
01	01/25/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS
02	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
03	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
04	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
05	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
06	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
07	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
08	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
09	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
10	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
11	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
12	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
13	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
14	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
15	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
16	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
17	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
18	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
19	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS
20	02/01/24	REVISION PER COUNTY, SWFWMD & FOOT BEHAVIOR COMMENTS

Sunshine811

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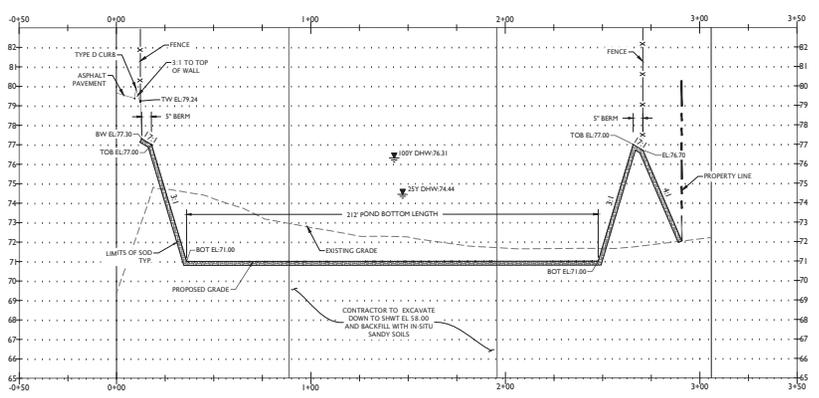
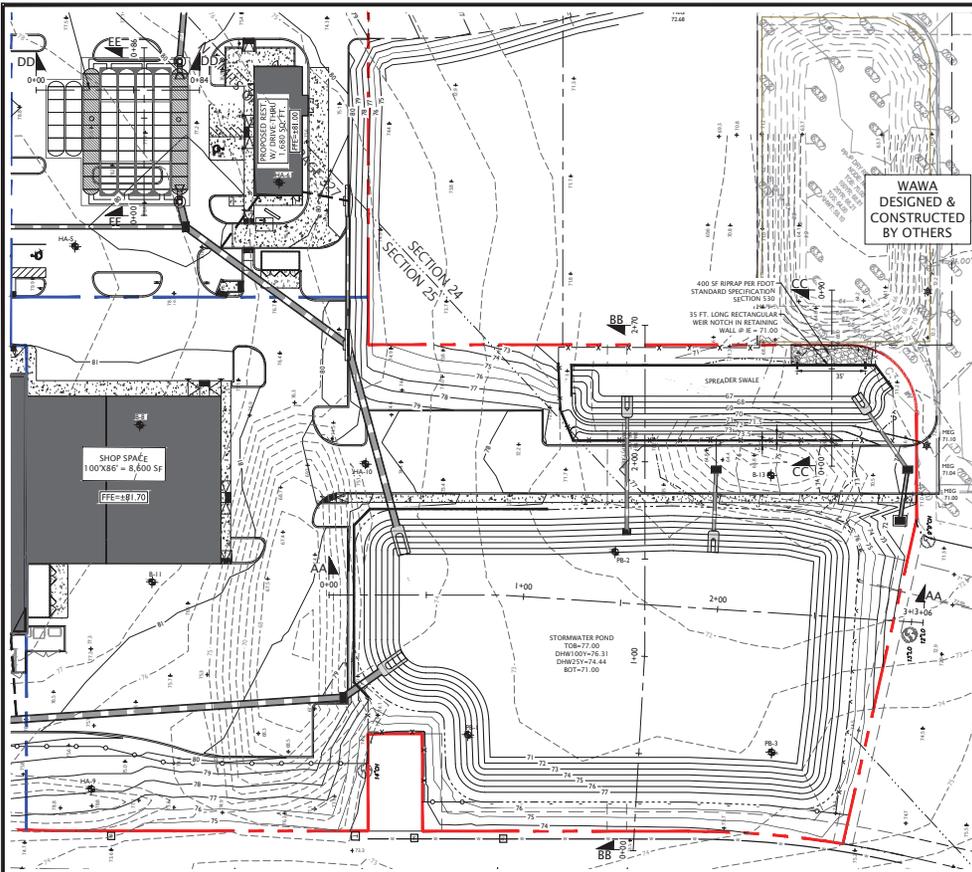
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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

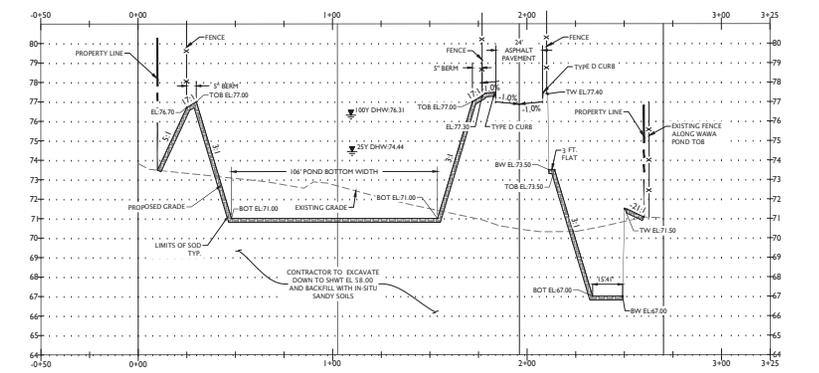
PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**GRADING &
DRAINAGE PLAN**

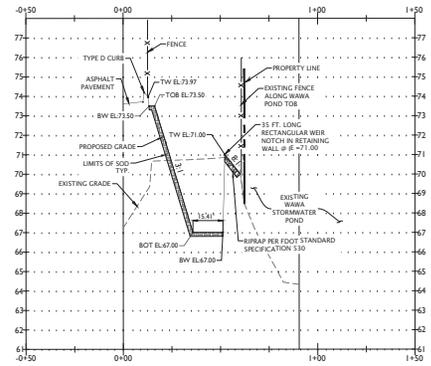
PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER:
C-303



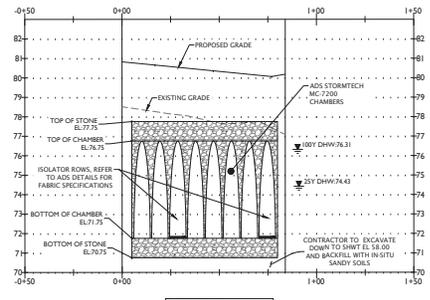
PROFILE AA



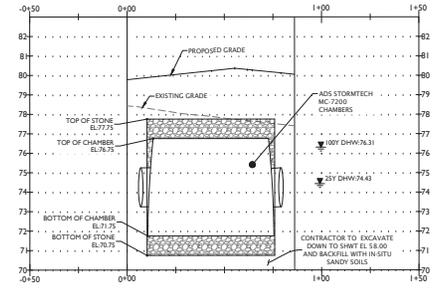
PROFILE BB



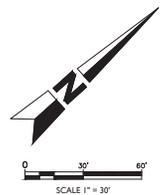
PROFILE CC



PROFILE DD



PROFILE EE



LEGEND:

ADJACENT PROPERTY LINE	---
PROPERTY BOUNDARY	---
PROPOSED CONCRETE	---
PROPOSED DRIVEWAY	---
EXISTING SPOT ELEVATION	65.1 X
PROPOSED SPOT ELEVATION	65.1 X
ADJACENT PROPERTY	---
PROPOSED CONTOUR	---
BORING TEST LOCATION	⊕
AUGER TEST LOCATION	⊕
DRAIN/WISET	⊕
SURFACE FLOW ARROW	→
ORAINAGE DIVIDE LINE	---
STORM SENSER/ORAINAGE PIPE	---

MJ STOKES CONSULTING

P.O. BOX 22821
TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 3448

REVISIONS

NO.	DATE	DESCRIPTION
00	01/24	REVISION FOR COUNTY, SWMWD, & BOB REVIEW COMMENTS
01	01/24	REVISION FOR ZONING APPROVAL, COUNTY & SWMWD REVIEW COMMENTS

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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE:
CROSS SECTIONS

PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER:

C-304

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAIR'S LAND TITLE SURVEY" LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 120B3C084E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X" AND "AE". THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 1 OF SARIRA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.5 FT (NAVD8).
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL INVESTIGATION, PROPOSED SPROUTS AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDRETEV ENGINEERING, INC., DATED NOVEMBER 3, 2022.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

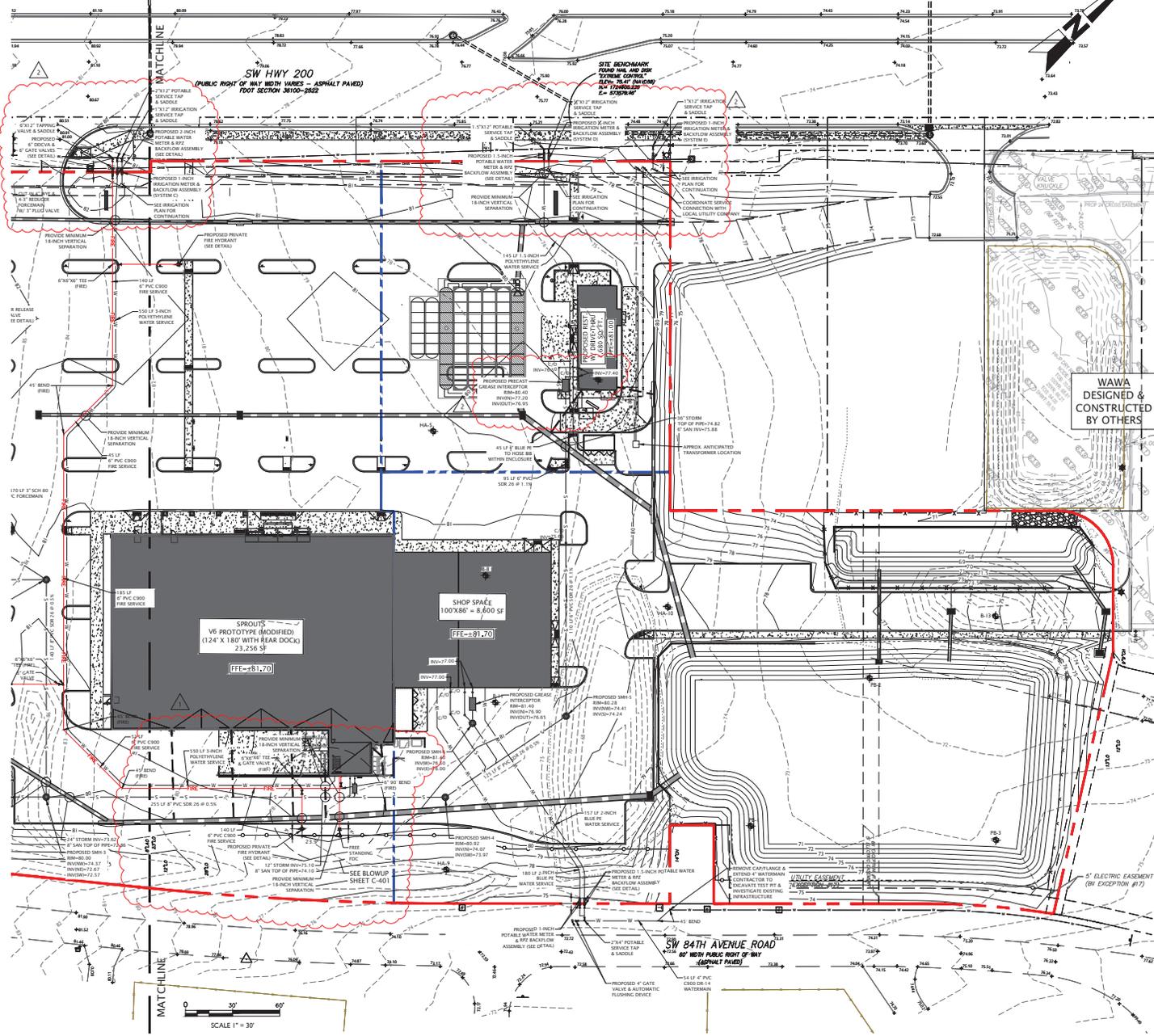
MARION COUNTY NOTES:

- AS-BUILTS. ANY UTILITIES WHICH WILL BE DEDICATED TO MCU POST-CONSTRUCTION SHALL BE SHOWN ON AS-BUILTS IN ACCORDANCE WITH LATEST LDC REV 4/13/23.
- ANY ASSETS TO BE CONVEYED TO MCU (MANS, SERVICES, APPURTENANCES) SHALL BE IDENTIFIED ON PLAN.
- ANY ASSETS TO BE CONVEYED TO MCU (MANS, SERVICES, APPURTENANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MCU SIGNING OUT DEP CLEARANCES.
- MCU PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCU INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCU'S CONSTRUCTION OFFICER AT 352-307-6163.
- KNOX BOX TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM AND/OR SPRINKLER SYSTEM.
- BUILDING SHALL COMPLY WITH THE IN-BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS PER NFPA 1 CHAPTER 11.10.1. THE LOCATION WILL NEED TO HIRE AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL AND IF DEEMED NECESSARY ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM POLICIES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
- SITE PLANS SHALL NOTE ON THE PLANS IF A NEW HYDRANT IS INSTALLED SHALL BE INSTALLED, TESTED, AND PAINTED PER NFPA 291, BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY LANE CLOSEST TO THE HYDRANT.

IRRIGATION SYSTEM INFORMATION

BELOW IS AN OUTLINE OF THE IRRIGATED AREA FOR EACH SYSTEM WITHIN THE SUBJECT PROPERTIES BEING DEVELOPED.

- SYSTEM A (RESIDENTIAL) = 14,350 SQ. FT.
 - SYSTEM B (CHPOTLE) = 11,575 SQ. FT.
 - SYSTEM C (SPROUTS) = 25,255 SQ. FT.
 - SYSTEM D (SMOOTHIE) = 4,140 SQ. FT.
 - SYSTEM E (RETAIL) = 28,000 SQ. FT.
- TOTAL AREA TO BE IRRIGATED = 83,790 SQ. FT.



MJ STOKES CONSULTING

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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE:
**UTILITY PLAN
(NORTH)**

PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER:
C-402

NO.	DATE	DESCRIPTION	BY
01	03/29/24	REVISION	JJS
02	03/29/24	REVISION	JJS
03	03/29/24	REVISION	JJS
04	03/29/24	REVISION	JJS
05	03/29/24	REVISION	JJS
06	03/29/24	REVISION	JJS
07	03/29/24	REVISION	JJS
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14	03/29/24	REVISION	JJS
15	03/29/24	REVISION	JJS
16	03/29/24	REVISION	JJS
17	03/29/24	REVISION	JJS
18	03/29/24	REVISION	JJS
19	03/29/24	REVISION	JJS
20	03/29/24	REVISION	JJS

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LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE:
**UTILITY PLAN
(NORTH)**

PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER:
C-402

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MARION COUNTY NOTES:

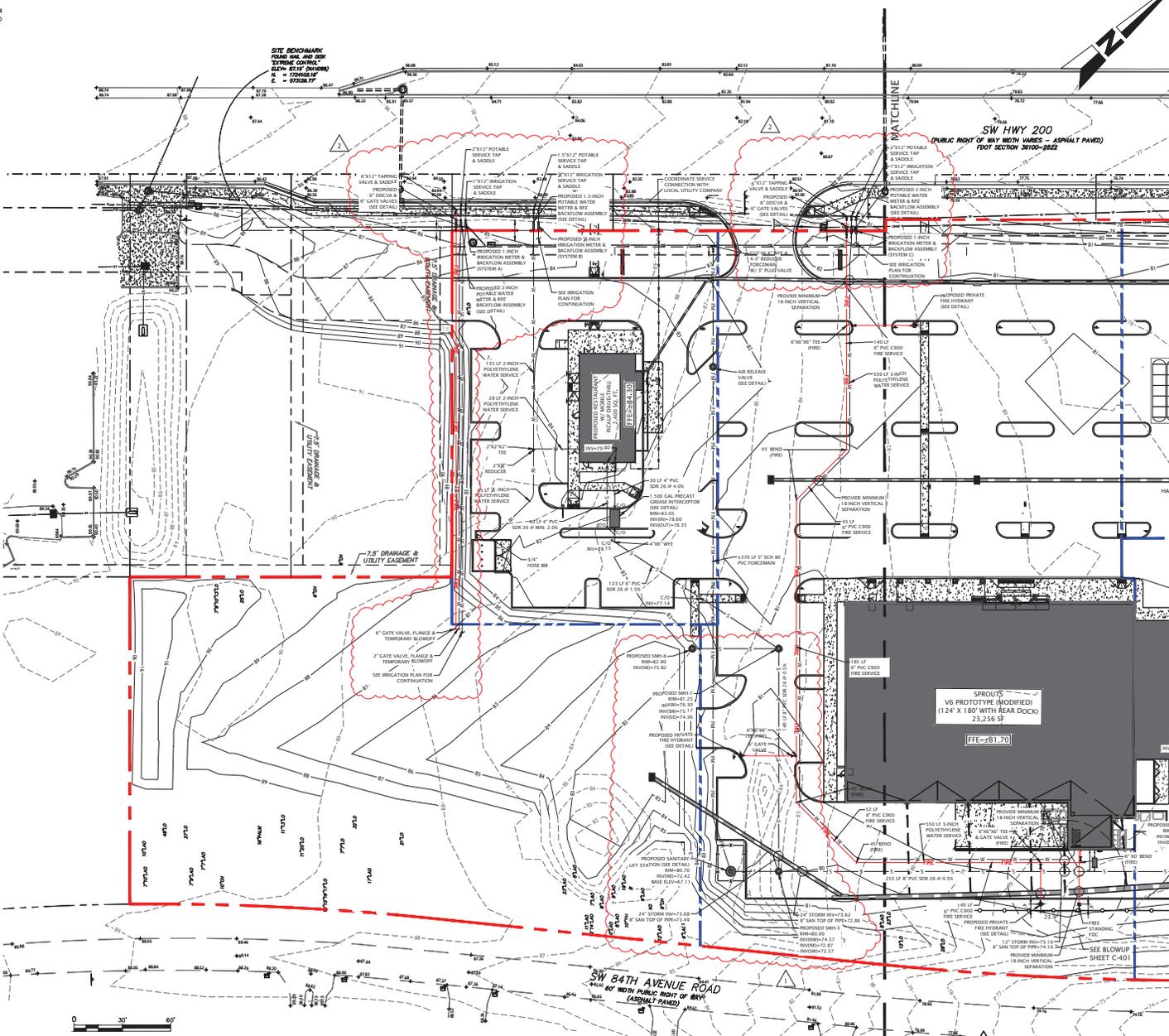
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IRRIGATION SYSTEM INFORMATION

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- SYSTEM B (CROPTED) = 11,575 SQ. FT.
- SYSTEM C (SPROUTS) = 25,725 SQ. FT.
- SYSTEM D (SMOOTHIE) = 4,140 SQ. FT.
- SYSTEM E (RETAIL) = 28,000 SQ. FT.

TOTAL AREA TO BE IRRIGATED = 83,790 SQ. FT.



P.O. BOX 22821
TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 34468

NO.	DATE	DESCRIPTION	BY
01	01/23/24	REVISION: FIRE, COUNTY, SWM, AND FOOT, REVIEW COMMENTS	JIS
02	01/23/24	REVISION: FIRE, COUNTY, SWM, AND FOOT, REVIEW COMMENTS	JIS
03	01/23/24	REVISION: FIRE, COUNTY, SWM, AND FOOT, REVIEW COMMENTS	JIS

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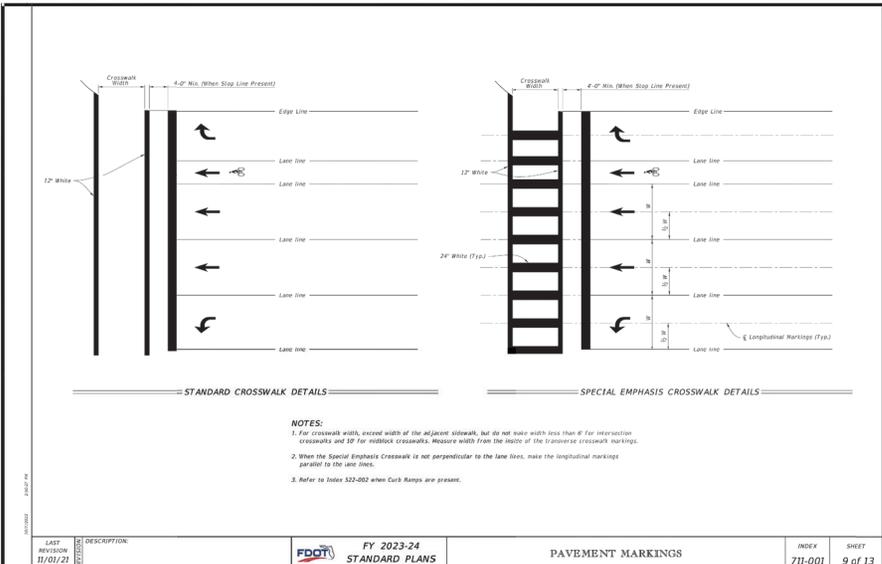
JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

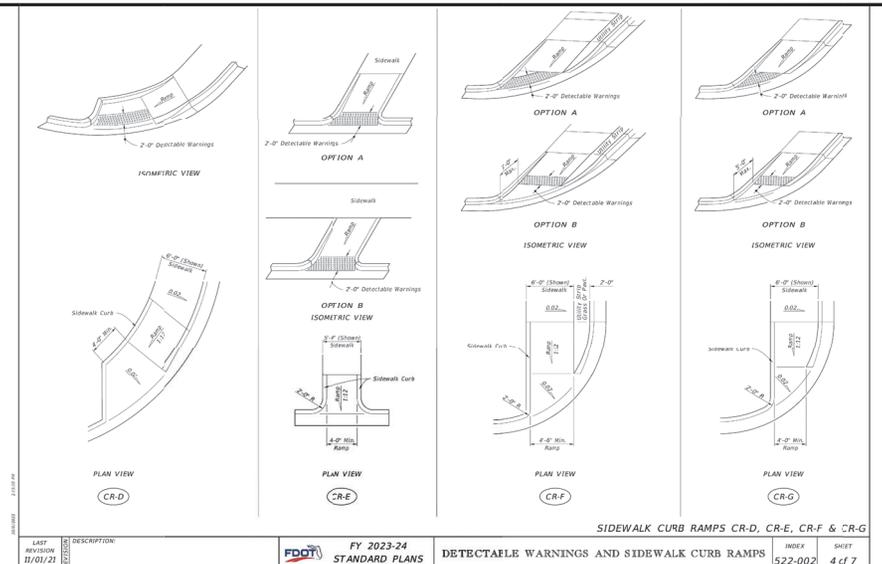
SHEET TITLE
**UTILITY PLAN
(SOUTH)**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER

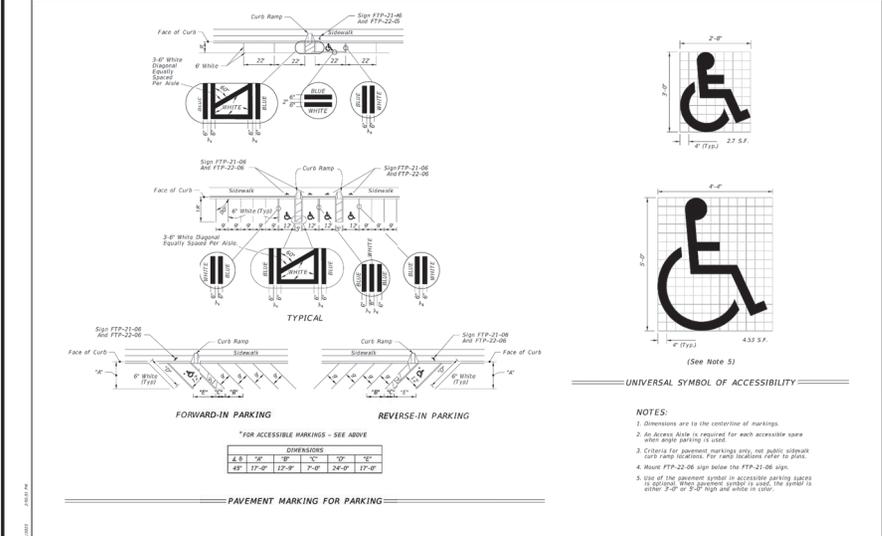
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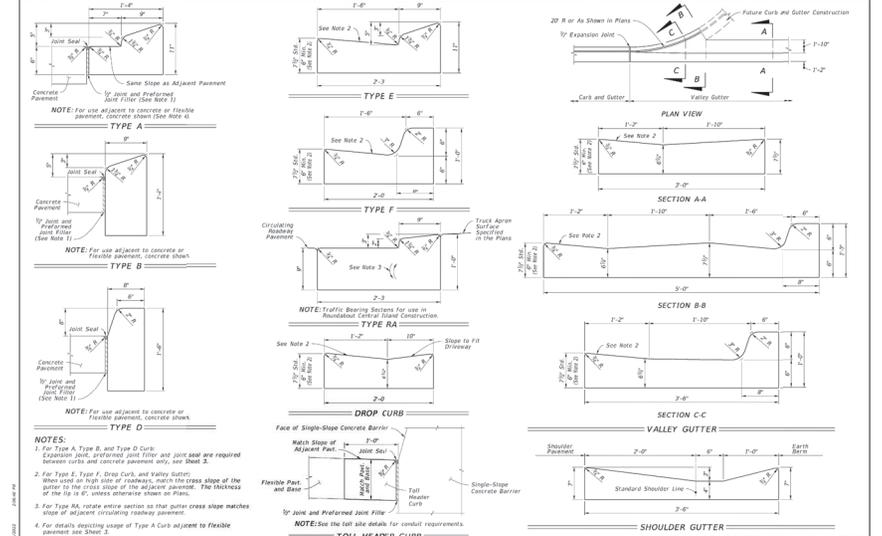
LAST REVISION 11/01/21	DESCRIPTION FDOT FY 2023-24 STANDARD PLANS	PAVEMENT MARKINGS	INDEX 711-001	SHEET 9 of 13
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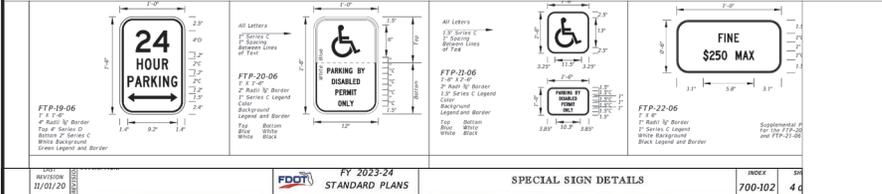
LAST REVISION 11/01/21	DESCRIPTION FDOT FY 2023-24 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 4 of 7
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LAST REVISION 11/01/21	DESCRIPTION FDOT FY 2023-24 STANDARD PLANS	PAVEMENT MARKINGS	INDEX 711-001	SHEET 11 of 13
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LAST REVISION 11/01/21	DESCRIPTION FDOT FY 2023-24 STANDARD PLANS	CURB AND GUTTER	INDEX 520-001	SHEET 2 of 3
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LAST REVISION 11/01/21	DESCRIPTION FDOT FY 2023-24 STANDARD PLANS	SPECIAL SIGN DETAILS	INDEX 700-102	SHEET 4 of 6
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TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 34468

NO.	DATE	DESCRIPTION	BY
01	11/20/24	REVISION PER ZONING APPROVAL COUNCIL & SFPWHD REVIEW COMMENTS	JJS

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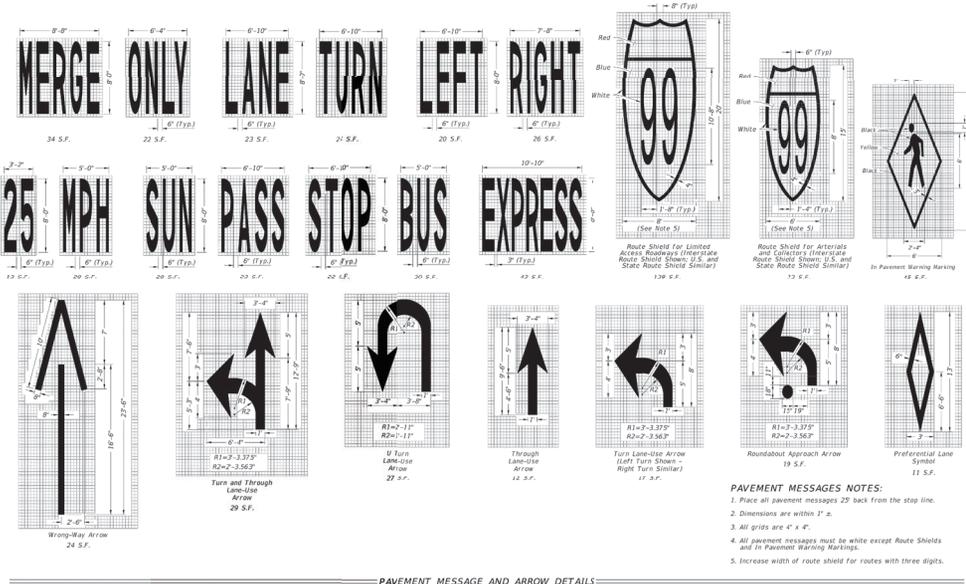
PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**

FOR
CORTA OCALA, LLC

SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**CONSTRUCTION
DETAILS**

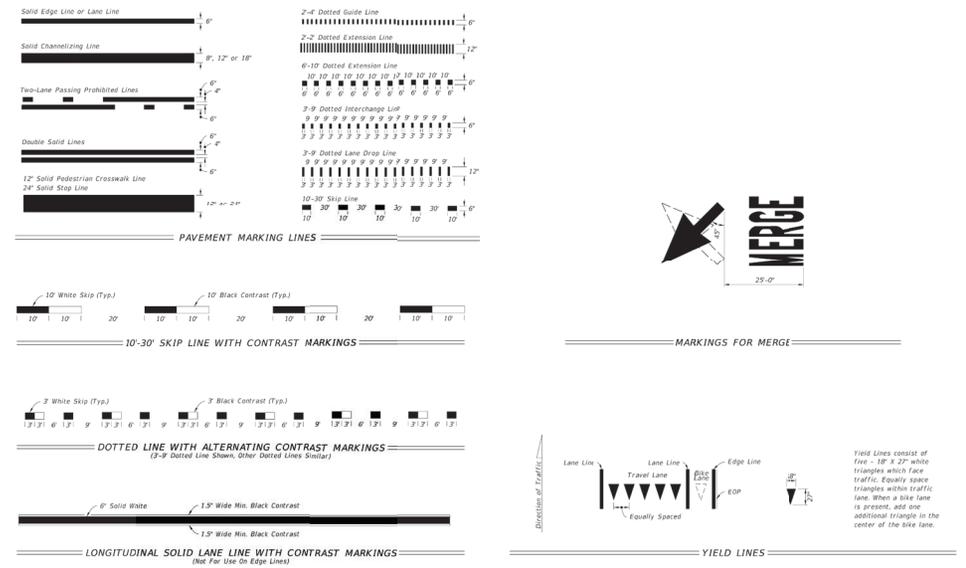
PROJECT NO: 23-3306
CHECKED BY: JJS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER
C-501



- PAVEMENT MESSAGES NOTES:**
1. Place all pavement messages 2' back from the stop line.
 2. Dimensions are within 2" ±.
 3. All grids are 4" x 4".
 4. All pavement messages must be white except Route Shields and In-Pavement Warning Markings.
 5. Increase width of route shield for routes with three digits.

PAVEMENT MESSAGE AND ARROW DETAILS

LAST REVISION: 11/01/21	DESCRIPTION: FDOT FY 2023-24 STANDARD PLANS	INDEX: 711-001	SHEET: 1 of 13
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LAST REVISION: 11/01/22	DESCRIPTION: FDOT FY 2023-24 STANDARD PLANS	INDEX: 711-001	SHEET: 2 of 13
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 TAMPA, FL 33622
 813.744.1199
 INFO@MJSTOKESCONSULTING.COM
 FLORIDA BUSINESS REGISTRY NO. 3448

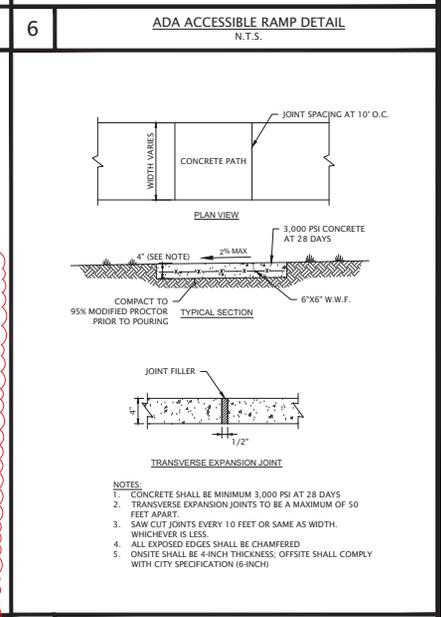
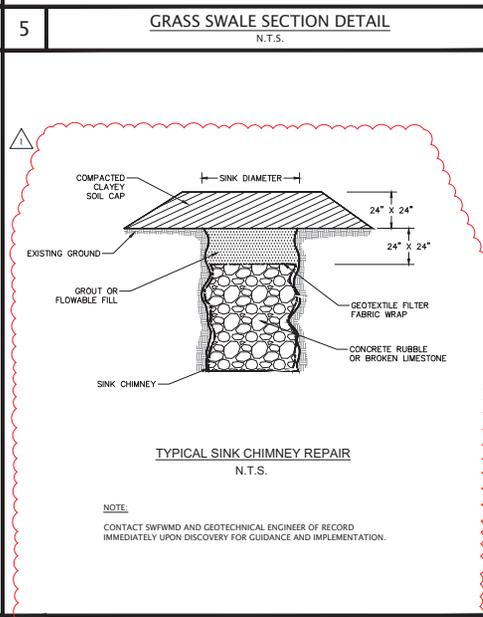
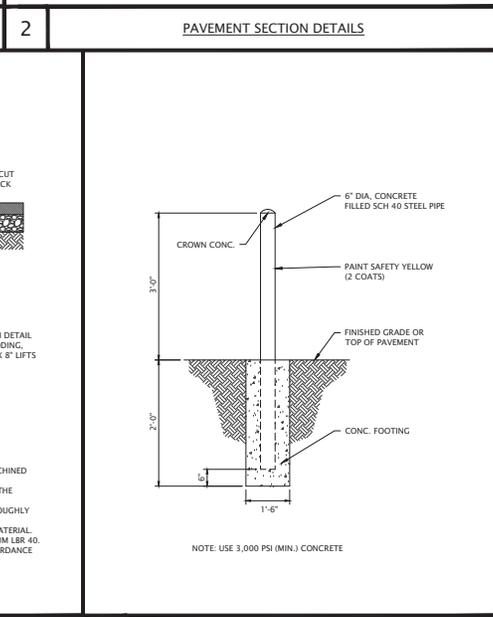
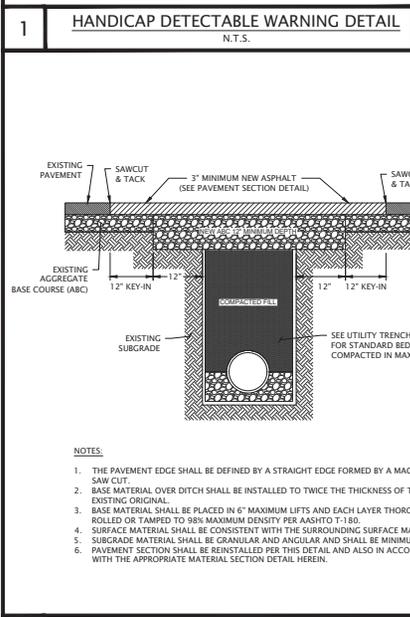
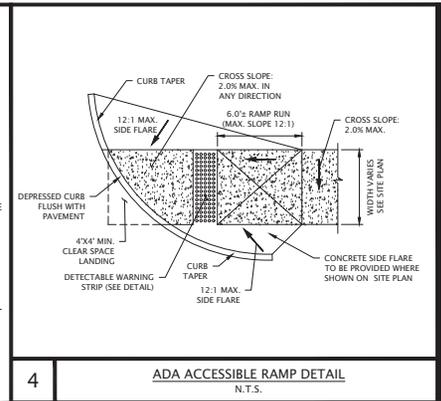
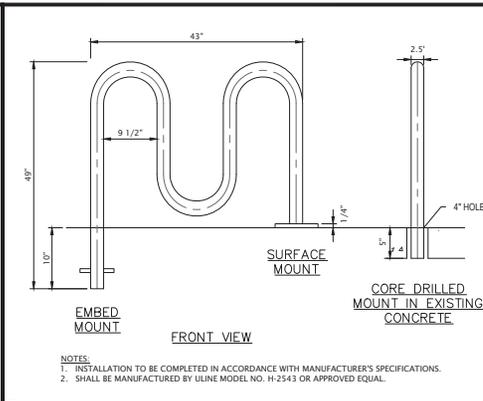
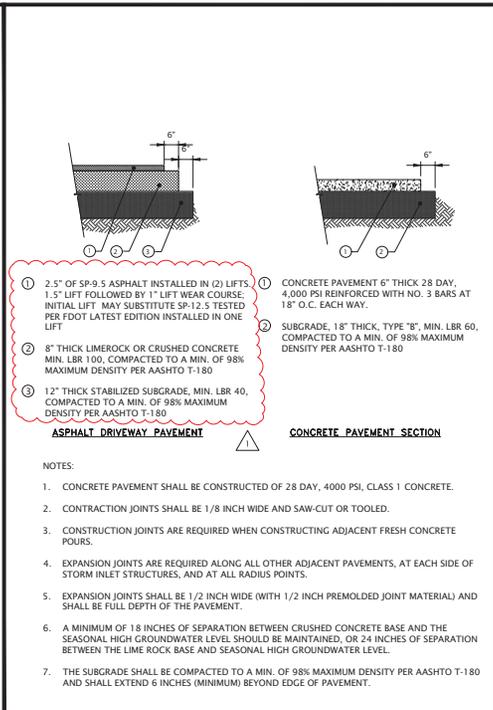
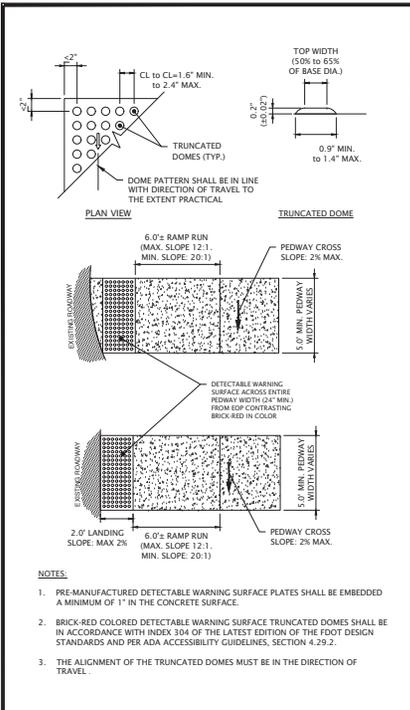
NO.	DATE	DESCRIPTION	BY
01	11/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS	JIS

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 SW HWY 200 - OCALA
 MARION COUNTY, FLORIDA

SHEET TITLE
**CONSTRUCTION
 DETAILS**

PROJECT NO: 23-306
 CHECKED BY: JIS
 VERTICAL DATUM: NAVD 1988
 DATE: 03/29/2024
 SHEET NUMBER:
C-502



7 **PAVEMENT REPAIR DETAIL**
N.T.S.

8 **BOLLARD DETAIL**
N.T.S.

9 **TYPICAL SINK CHIMNEY REPAIR DETAIL**
N.T.S.

10 **CONCRETE SIDEWALK DETAIL**
N.T.S.

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TAMPA, FL 33622
813.744.1999
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 3448

NO.	DATE	DESCRIPTION	BY
01	4/12/24	REVISION PER ZONING APPROVAL COUNTY & SFWMD REVIEW COMMENTS	JIS

REVISIONS

SunshineBT

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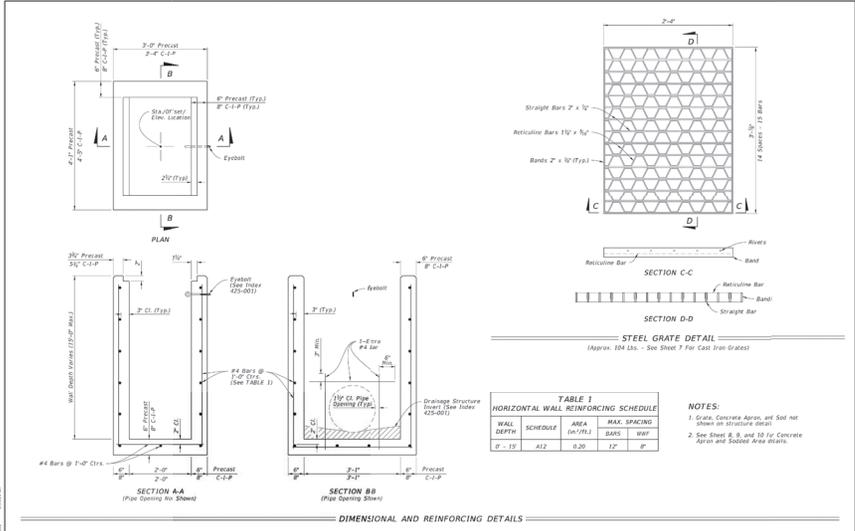
JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

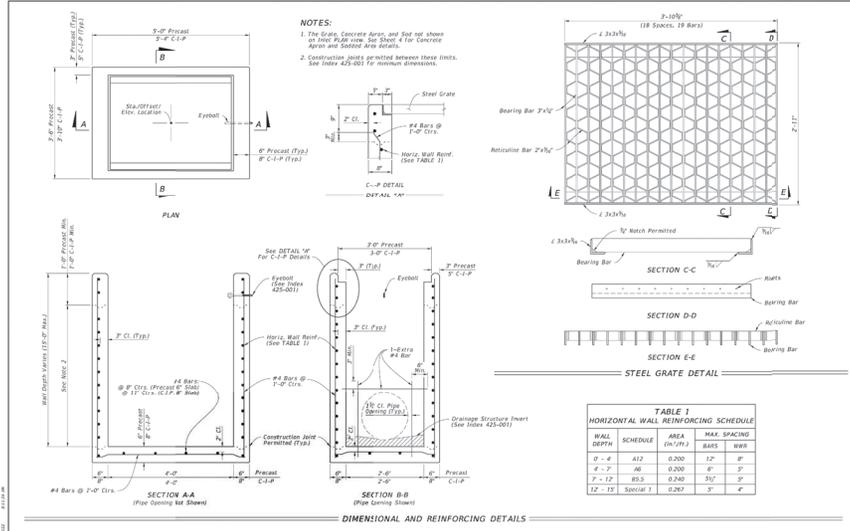
SHEET TITLE:
**CONSTRUCTION
DETAILS**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
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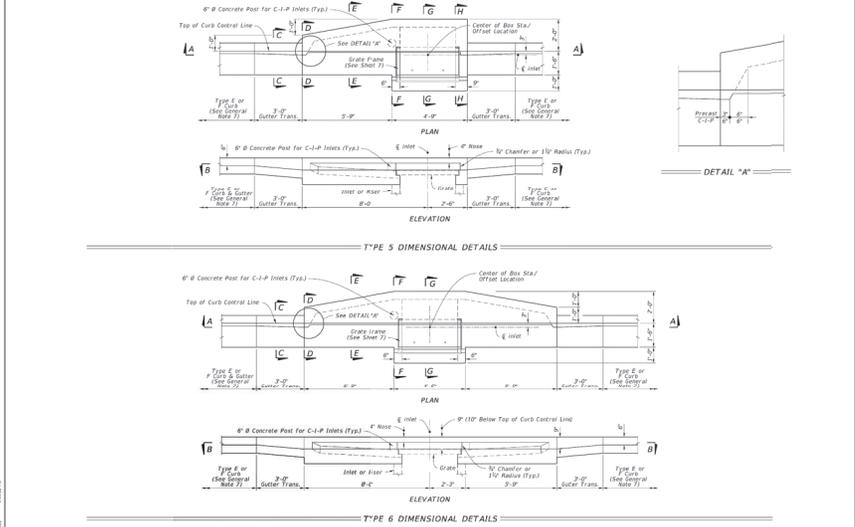
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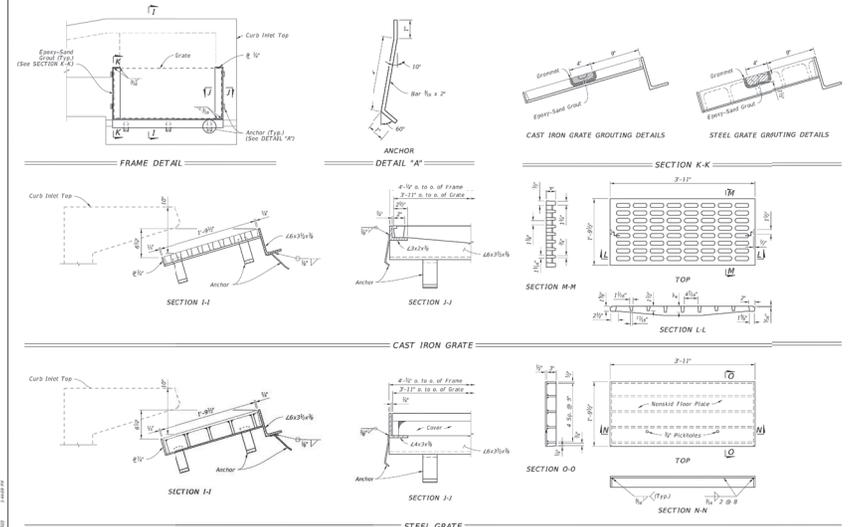
TYPE C - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS
 INDEX SHEET 425-052 2 of 14



TYPE F - DIMENSIONAL, REINFORCING, AND GRATE DETAILS
 INDEX SHEET 425-053 2 of 4



TYPE 5 AND 6 DIMENSIONAL DETAILS
 INDEX SHEET 425-021 2 of 7



GRATE, ANCHOR, AND GROTHING DETAILS
 INDEX SHEET 425-022 7 of 7

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 813.744.1199
 INFO@MJSTOKESCONSULTING.COM
 FLORIDA BUSINESS REGISTRY NO. 34468

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JOHN J. STOECKEL
 FLORIDA PROFESSIONAL ENGINEER
 LICENSE NO. 80758
 PROJECT NAME:
**MAJOR SITE PLAN
 CORTA COMMONS**
 FOR
CORTA OCALA, LLC
 SW HWY 200 - OCALA
 MARION COUNTY, FLORIDA

SHEET TITLE
DRAINAGE DETAILS

PROJECT NO: 23-3306
 CHECKED BY: JIS
 VERTICAL DATUM: NAVD 1988
 DATE: 01/29/2024
 SHEET NUMBER

C-504

NO.	DATE	DESCRIPTION	BY
01	01/20/24	REVISION PER ZONING APPROVAL COUNTY & SFWMD REVIEW COMMENTS	JIS

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PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**
FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
DRAINAGE DETAILS

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATE: 01/23/2024
DATE: 01/23/2024
SHEET NUMBER

ELLIPTICAL PIPE
Concrete Jacket (See Note 6)
Wire Mesh (Typ) (See Note 3)
Class NS Concrete
Concrete Pipe
Concrete Jacket (See Note 5)
Wire Mesh (Typ) (See Note 3)
Class FS Concrete

ROUND PIPE
Concrete Jacket (See Note 6)
Wire Mesh (Typ) (See Note 3)
Class NS Concrete
Concrete Pipe
Concrete Jacket (See Note 5)
Wire Mesh (Typ) (See Note 3)
Class FS Concrete

CONCRETE AND METAL PIPE SHOWY
Disimilar Types
Concrete Jacket: 2" or 3" Radius
Metal Pipe
Class NS Concrete
Concrete Pipe
Class FS Concrete

PIPE PLUG
Filter Fabric Jacket
Concrete Pipe
Massive Plug
Pipes to 6" (1" Pipes to 10" 10" Pipes Above 10")

NOTES:
1. Intermediate connection must be approved by the Engineer.
2. Install securing device in accordance with Specification 985.
3. Any wire mesh arrangement which provides 0.228 square inches of steel area per linear foot both ways may be used, provided the wires are spaced a maximum of 2" in either a maximum of 6" on centers.
4. Do not use a concrete jacket to join dissimilar metal pipes.
5. 12" for pipes 12" through 24"; 24" for pipes 24" & larger.
6. 12" for pipes 14" & 22" through 18" & 30"; 24" for pipes 24" & 30" and larger.

CONCRETE COLLARS
INDEX SHEET
430-001 4 of 7

END ELEVATION
Concrete Collar (See Note 3)
Existing Endwall
Class NS Concrete
2" #4 Rebar Frame or Hoop
2" #4 Rebar
2" #4 Rebar
2" #4 Rebar

SIDE ELEVATION
Remove Portion of Existing Endwall Less Than 1'-0" Below Grade
Proposed Grade
Existing Grade
Concrete Collar (See Note 3)
1'-0" #4 Rebar Frame or Hoop
Slope End to be Placed in Existing Endwall Regardless of Direction of Flow
Existing Endwall and Pipe
Cut Top of Existing Endwall to Contour of New Pipe

EXTENSION OF EXISTING PIPE CULVERTS

NOTES:
1. The collar may be formed by any method approved by the Engineer.
2. Install 1/2" #10 rebar in adhesive bond material.

CONCRETE COLLARS
INDEX SHEET
430-001 4 of 7

ROOF DRAIN (TIE CLEANOUT)
N.T.S.

FINISHED GRADE
NYLOPLAST CLEANOUT END CAP ADJUST GRADE PER ENGINEERS PLAN
DOWNSPOUT ADAPTER INSERTED IN RISER PIPE
INJECTION MOLDED FITTING AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/FLANGE COUPLERS.
WATERTIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.
INSERT INJECTION MOLDED, GASKETED SPIGOT WITH BELL REDUCER
INJECTION MOLDED WT TEE
INJECTION MOLDED 90° BEND
GASKETED CONNECTION
HOPE PIPE (TYP)

REVISIONS:
2 FORMATTING UPDATES AND RENAMED
TAR 03/07/18
BY: MBO/SVY/CHK
DATE: 03/15/24
DESCRIPTION: STD-1002

CONCRETE COLLARS
INDEX SHEET
430-001 4 of 7

PLAN - SINGLE PIPE
7" x 7" Rebar @ 12" Radius
Sta. Offset Location
Concrete Slab Reinforced With WWR #16-@5'-@24" (See General Note 3)

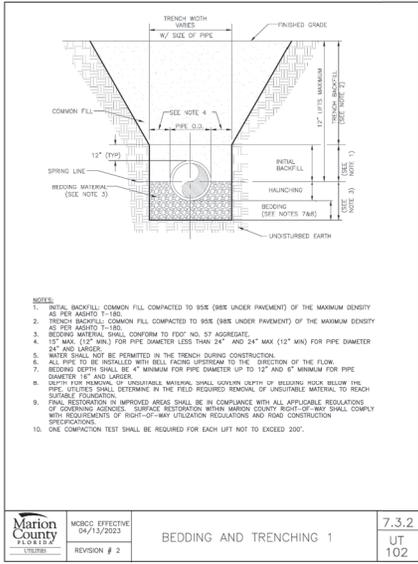
ELEVATION
Slope to the major axis for elliptical pipes 24"x30" or smaller and 1:2 for pipes 24"x45" or larger.
Slope to the span line for pipe arches 28"x20" or smaller and 1:2 for pipe arch 30"x24" or larger.
12" Water - Slope to E of pipe for round pipes less than or equal to 18" diameter and 1:1 for round pipes greater than or equal to 24" diameter.
Slope to the major axis for elliptical pipes 24"x30" or smaller and 1:2 for pipes 24"x45" or larger.
Slope to the span line for pipe arches 28"x20" or smaller and 1:2 for pipe arch 30"x24" or larger.
Slope 1:1 for all pipe arch sizes.
8. Quantities shown are for estimating purposes only.

SECTION B-B (PIPE/SLAB FILLET)
Concrete Slab
Pipe/Slab Fillet: Depress Concrete Slab to Form Bridge Across Crown of Pipe
Anchor (TYP)
Slope Ditch Grade
Saddle Slope (See General Note 7)
Corrugated Metal Pipe
Revised End Required
7" (Type Included in Mitered End Section)
7'-0" Min. Sd

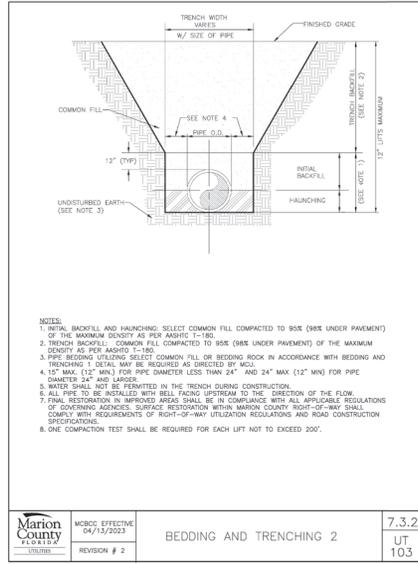
DETAIL "B"
Concrete Slab
Anchor
Slope Ditch Grade
Pipe
#4 Bar
1/2" (Corrugation Depth)

GENERAL NOTES:
1. Unless otherwise designated in the plans, concrete pipe mitered end sections may be used with any type of cross drain pipe; corrugated steel pipe mitered end sections may be used with any type of cross drain pipe except aluminum pipe; and corrugated aluminum mitered end sections may be used with any type of cross drain pipe except steel pipe. When aluminum coated metal pipe is specified for cross drain pipe, construct the mitered end sections with the pipe or concrete pipe. When the mitered end section pipe is dissimilar to the cross drain pipe, construct a concrete jacket in accordance with Index 430-001.
2. Use either corrugated metal or concrete mitered end sections for corrugated polyethylene pipe (HDPE), polypropylene pipe (PP), steel reinforced polyethylene pipe (SRPE), and polypropylene pipe (PP). When used in conjunction with corrugated mitered end sections, make connection using either a formed metal band specifically designed to join HDPE, PVC, SRPE, or PP pipe, with metal pipe. When used in conjunction with a concrete mitered end section, construct concrete jacket in accordance with Index 430-001.
3. Class NS concrete cast-in-place reinforced slabs are required for all sizes of cross drain pipes. Construct slabs at 5/8" thick, unless 3" thickness is called for in the Plans.
4. Select lengths of concrete pipe that avoid excessive connections in the assembly of the mitered end section.
5. Repair corrugated metal pipe deforming that is damaged during beveling and perforating.
6. When existing multiple cross drain pipes are spaced other than the dimensions shown in this Index, have nonparallel axes, or non-uniform sections, either construct the mitered end sections separately as single pipe or collectively in multiple pipe end sections as directed by the Engineer.
7. Saddle Slope:
14" Water - Slope to E of pipe for round pipes less than or equal to 18" diameter and 1:1 for round pipes greater than or equal to 24" diameter.
Slope to the major axis for elliptical pipes 24"x30" or smaller and 1:2 for pipes 24"x45" or larger.
Slope to the span line for pipe arches 28"x20" or smaller and 1:2 for pipe arch 30"x24" or larger.
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Slope 1:1 for all pipe arch sizes.
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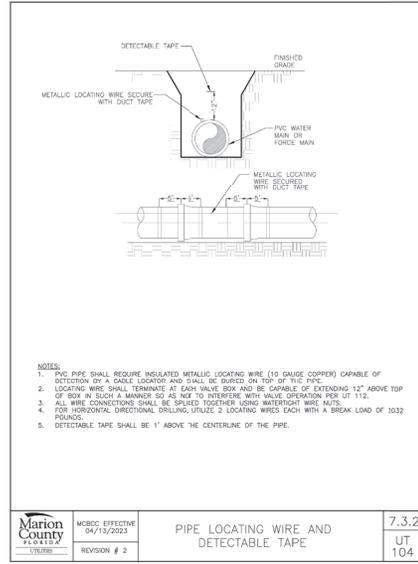
CONCRETE COLLARS
INDEX SHEET
430-021 4 of 6



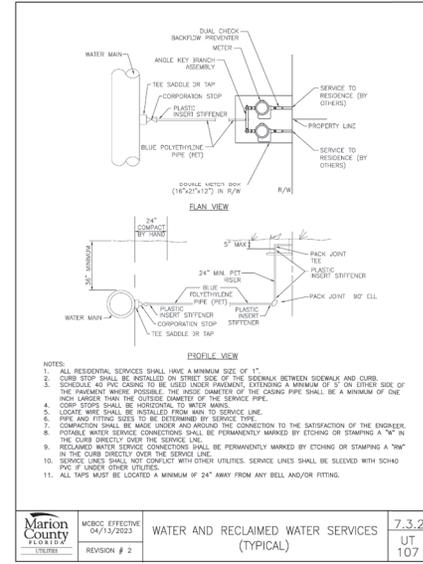
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UTILITIES	REVISION # 2	UT	102



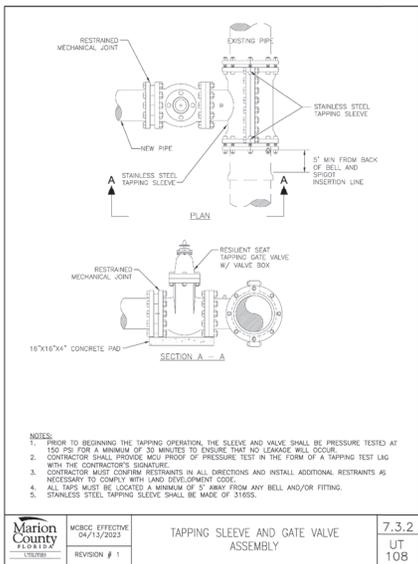
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UTILITIES	REVISION # 2	UT	103



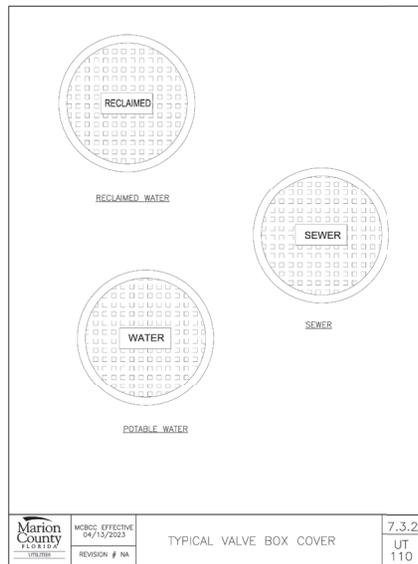
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UTILITIES	REVISION # 2	UT	104



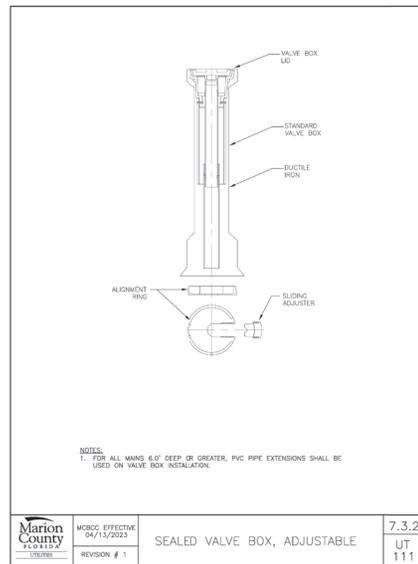
Marion County FLORIDA	MCBCC EFFECTIVE 04/15/2023	WATER AND RECLAIMED WATER SERVICES (TYPICAL)	7.3.2
UTILITIES	REVISION # 2	UT	107



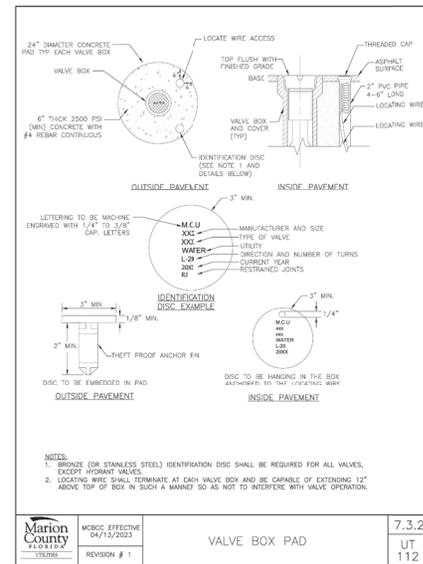
Marion County FLORIDA	MCBCC EFFECTIVE 04/15/2023	TAPPING SLEEVE AND GATE VALVE ASSEMBLY	7.3.2
UTILITIES	REVISION # 1	UT	108



Marion County FLORIDA	MCBCC EFFECTIVE 04/15/2023	TYPICAL VALVE BOX COVER	7.3.2
UTILITIES	REVISION # NA	UT	110



Marion County FLORIDA	MCBCC EFFECTIVE 04/15/2023	SEALED VALVE BOX, ADJUSTABLE	7.3.2
UTILITIES	REVISION # 1	UT	111



Marion County FLORIDA	MCBCC EFFECTIVE 04/15/2023	VALVE BOX PAD	7.3.2
UTILITIES	REVISION # 1	UT	112

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P.O. BOX 22821
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INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 3448

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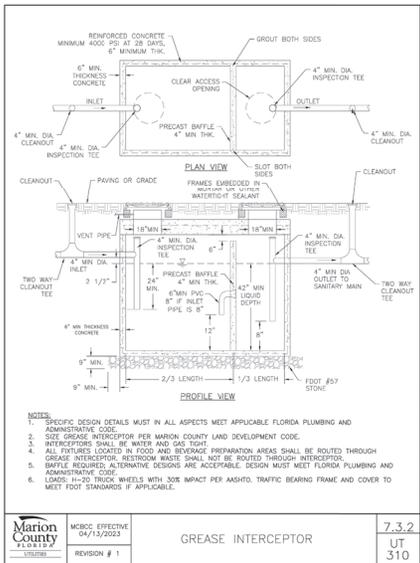
FOR
CORTA OCALA, LLC

SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

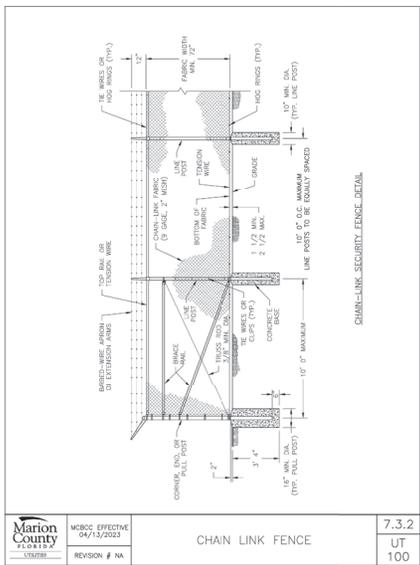
SHEET TITLE
**MARION COUNTY
UTILITY DETAILS**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER

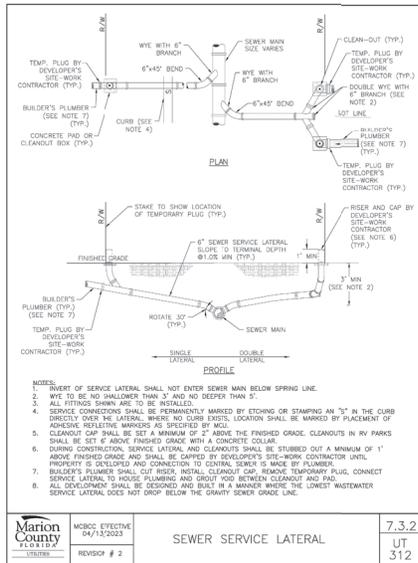
C-507



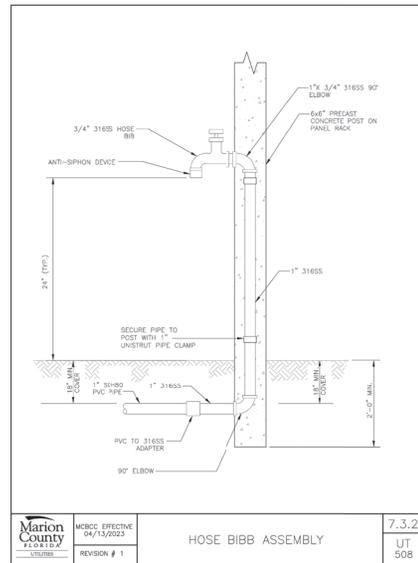
Marion County FLORIDA	MCBCC EFFECTIVE 04/13/2023	7.3.2
REVISION # 1	GREASE INTERCEPTOR	UT 310



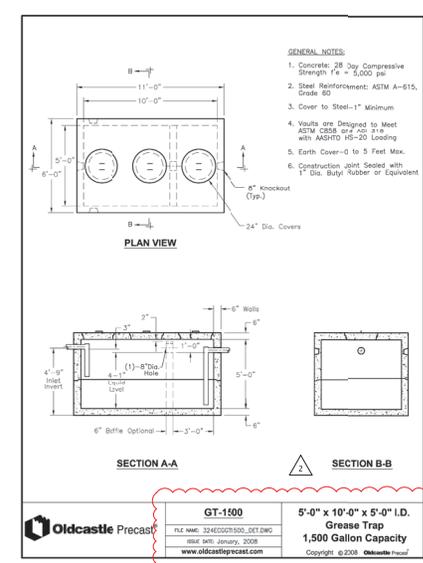
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REVISION # NA	CHAIN LINK FENCE	UT 100



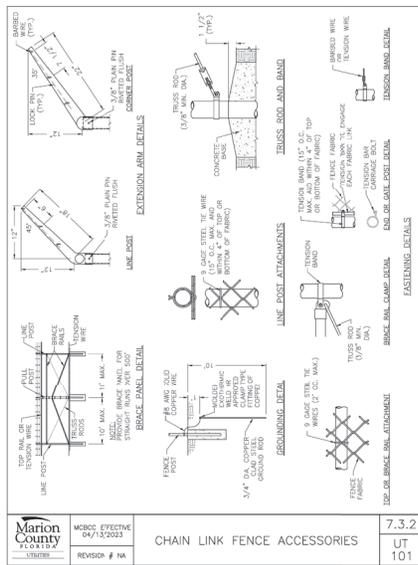
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REVISION # 2	SEWER SERVICE LATERAL	UT 312



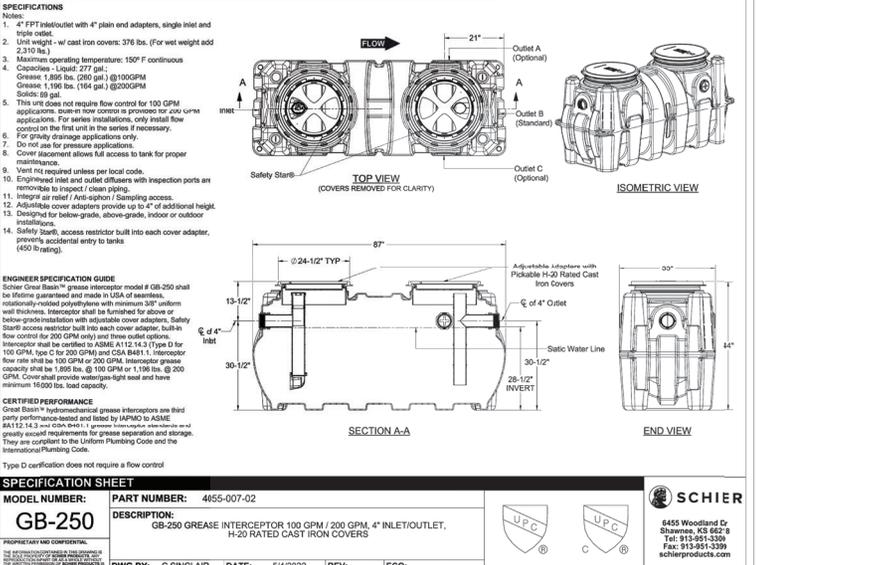
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REVISION # 1	HOSE BIBB ASSEMBLY	UT 508



Marion County FLORIDA	MCBCC EFFECTIVE 04/13/2023	7.3.2
REVISION # 1	HOSE BIBB ASSEMBLY	UT 508



Marion County FLORIDA	MCBCC EFFECTIVE 04/13/2023	7.3.2
REVISION # NA	CHAIN LINK FENCE ACCESSORIES	UT 101



Marion County FLORIDA	MCBCC EFFECTIVE 04/13/2023	7.3.2
REVISION # NA	CHAIN LINK FENCE ACCESSORIES	UT 101

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REV	DATE	DESCRIPTION	BY
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02	01/24	REVISION FOR ZONING APPROVAL	JIS
03	01/24	REVISION FOR ZONING APPROVAL	JIS
04	01/24	REVISION FOR ZONING APPROVAL	JIS

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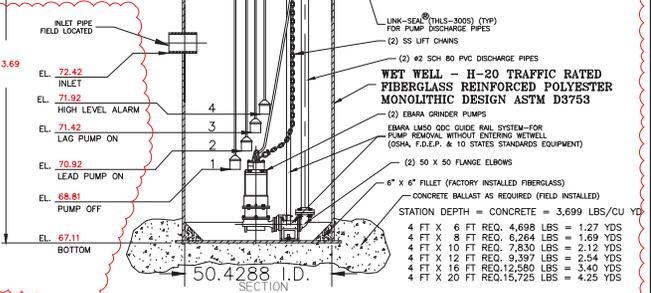
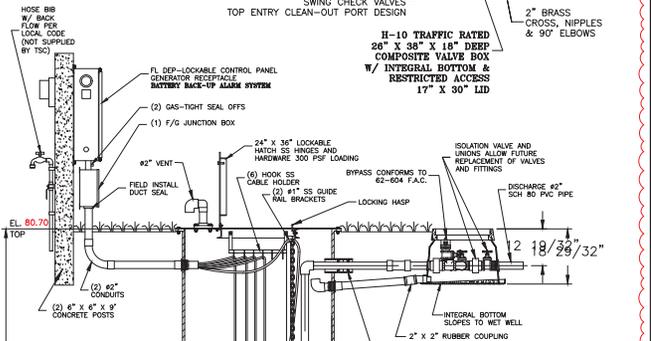
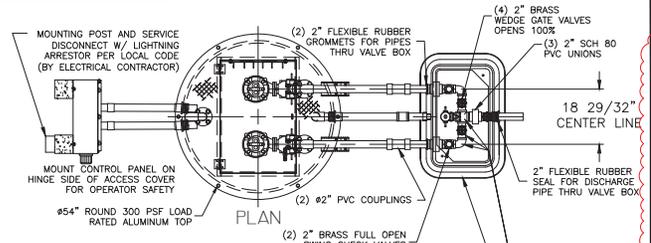
FOR:
CORTA OCALA, LLC

SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE:
MARION COUNTY
UTILITY DETAILS

PROJECT NO: 23-3306
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SHEET NUMBER:

C-510



EBARA SEWAGE GRINDER PUMP
48" DUPLEX STATION - 2" PIPING
WITH SLIDE RAIL SYSTEM, V.B. AND F.D.E.P. PANEL
TSC PRE-FAB PUMP SOLUTIONS[®]

MODEL TSC2-48.1 BBU R21.dwg[®]

1. HOSE BIB WITH REDUCED PRESSURE BACK FLOW PREVENTER
2. GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM)

FIELD INSTALL BY CONTRACTOR

JOB: _____

OS: _____

GENERAL NOTES

FURNISH AND INSTALL LIBERTY SUBMERSIBLE GRINDER PUMPS:

DESIGN CONDITION:

MODEL	LGV_LGH	2.5	HP
	GPM	23.95/83.76	FT/DH
VOLTAGE	208/230 OR 460	SINGLE / THREE	PHASE
DISCHARGE	2"		IMPELLER

- SEWAGE GRINDER PUMP:**
- RATED FOR FIFTEEN (15) STARTS PER HOUR.
 - OIL FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS H INSULATION.
 - DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE)
 - HIGH TEMPERATURE BALL BEARINGS 8-10 RATING OF 100,000 HOURS, UPPER - SINGLE ROW, LOWER - DOUBLE ROW
 - PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.
 - MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (190 TO 260) OR OPERATE ON 460 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

FIBERGLASS WET WELL: SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE TEST PROCEDURE. ASTM D 3753 & H-20 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

ALUMINUM HATCH: TSC MODEL-SAR (54") ROUND WITH 24" X 36" LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

VALVE BOX: FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 1 1/4" AND 2" DISCHARGE PIPING SXS HEADER SYSTEM) SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID

ACCESSORIES: #304 S/S - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

VALVES: SHALL BE SEWAGE SERVICE DESIGN BRASS SWING CHECK VALVES WITH TOP ENTRY CLEAN-OUT PORT AND BRASS WEDGE GATE VALVES OPEN 100%.

PIPING: 2" SCHEDULE 80 PVC.

FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO).

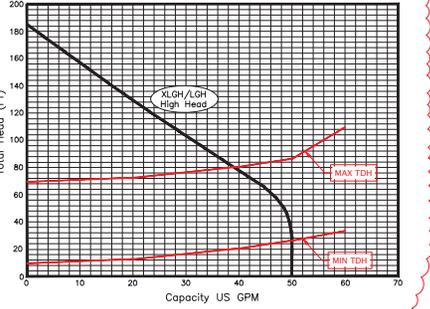
PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, ALUMINUM HATCH AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.

THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, SLIDE RAIL ASSEMBLIES AND DISCHARGE PIPING ASSEMBLED BY TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION. THE MANUFACTURER OF PRE-FAB PUMP SOLUTIONS[®].

TECHNICAL SALES CORPORATION, 4621 N. HALE AVE TAMPA, FL 33614 (813)876-9256

LIBERTY ENGINEERED PRODUCTS

LIBERTY LGV_LGH 2.5HP Synchronous Speed: 3450 RPM
Single and Three Phase 2 inch Discharge
Design flow: 46 GPM @ TDH/ft



CONTROL PANEL - SHALL CONFORM TO FL DEP 62-604 F.A.C.

CONTROL PANEL SHALL BE TSC MODEL # 38-D IN NEMA 4X FIBERGLASS ENCLOSURE. THE PANEL SHALL MEET STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), ENVIRONMENTAL PROTECTION COMMISSION (EPC) AND LOCAL CODE REQUIREMENTS GOVERNING PRIVATE LIFT STATIONS.

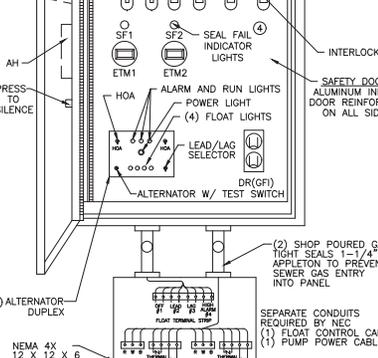
FLOAT SWITCHES AND CONTROL SYSTEM SHALL BE UL LISTED AND INTRINSICALLY SAFE. ALL COMPONENTS SHALL BE UL LISTED.

A JUNCTION BOX IS REQUIRED, WITH SHOP POURED SEALS BETWEEN BOX AND CONTROL PANEL TO PREVENT SEWER GAS ENTRY INTO CONTROL PANEL.

ELECTRICAL CONTRACTOR TO PROVIDE SERVICE DISCONNECT WITH LIGHTNING ARRESTOR MOUNTED PER LOCAL CODES.

THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.

BATTERY BACK-UP ALARM SYSTEM TO BE INCORPORATED INTO CONTROL PANEL PER THE "10 STATES STANDARDS"

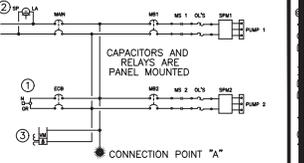


AL ALARM HORN
AH ALARM LIGHT
ASB ALARM SILENCE BUTTON
ATS ALTERNATOR W/TEST SWITCH
BBU BATTERY (BACK-UP UNIT)
CCB CONTROL CIRCUIT BREAKER
DR DUPLEX RECEPTACLE
DRB DUPLEX RECEPTACLE BREAKER
ECB EMERGENCY CIRCUIT BREAKER
ETM ELAPSED TIME METER
F FUSE
FL FLASHER
PS FLOAT SWITCH (REGULATOR)
GR GENERATOR RECEPTACLE
GROUND
HOA HAND-OFF-AUTOMATIC SELECTOR
LA LIGHTNING ARRESTOR
MB MOTOR BREAKER
MCB MAIN CIRCUIT BREAKER
MS MOTOR STARTER
N NEUTRAL
OL'S OVERLOAD HEATERS
PMS PHASE MONITOR
PTS PUMP TERMINAL STRIP
RSD ROUND
R RUN CAPACITOR
RD DISCHARGE RESISTOR
RL PUMP RUN INDICATORS
RST REGULATOR TERMINAL STRIP
SC START CAPACITOR
SF SEAL FAIL (SHAFT)
SR START RELAY
SP SERVICE PROTECTOR
TTS THERMAL TERMINAL STRIP

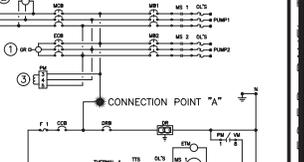
LEGEND

AL ALARM HORN
AH ALARM LIGHT
ASB ALARM SILENCE BUTTON
ATS ALTERNATOR W/TEST SWITCH
BBU BATTERY (BACK-UP UNIT)
CCB CONTROL CIRCUIT BREAKER
DR DUPLEX RECEPTACLE
DRB DUPLEX RECEPTACLE BREAKER
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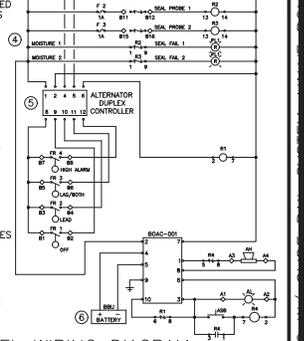
SINGLE PHASE WIRING DIAGRAM



THREE PHASE WIRING DIAGRAM



PANEL WIRING DIAGRAM



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REV-21 SCALE: N.T.S.

MJ STOKES CONSULTING

P.O. BOX 22821
TAMPA, FL 33622
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FL ORCA BUSINESS REGISTRY NO. 3448

NO.	DATE	DESCRIPTION	BY
01	01/20/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS	JIS

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

This item has been digitally signed and sealed by John J. Stoeckel, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

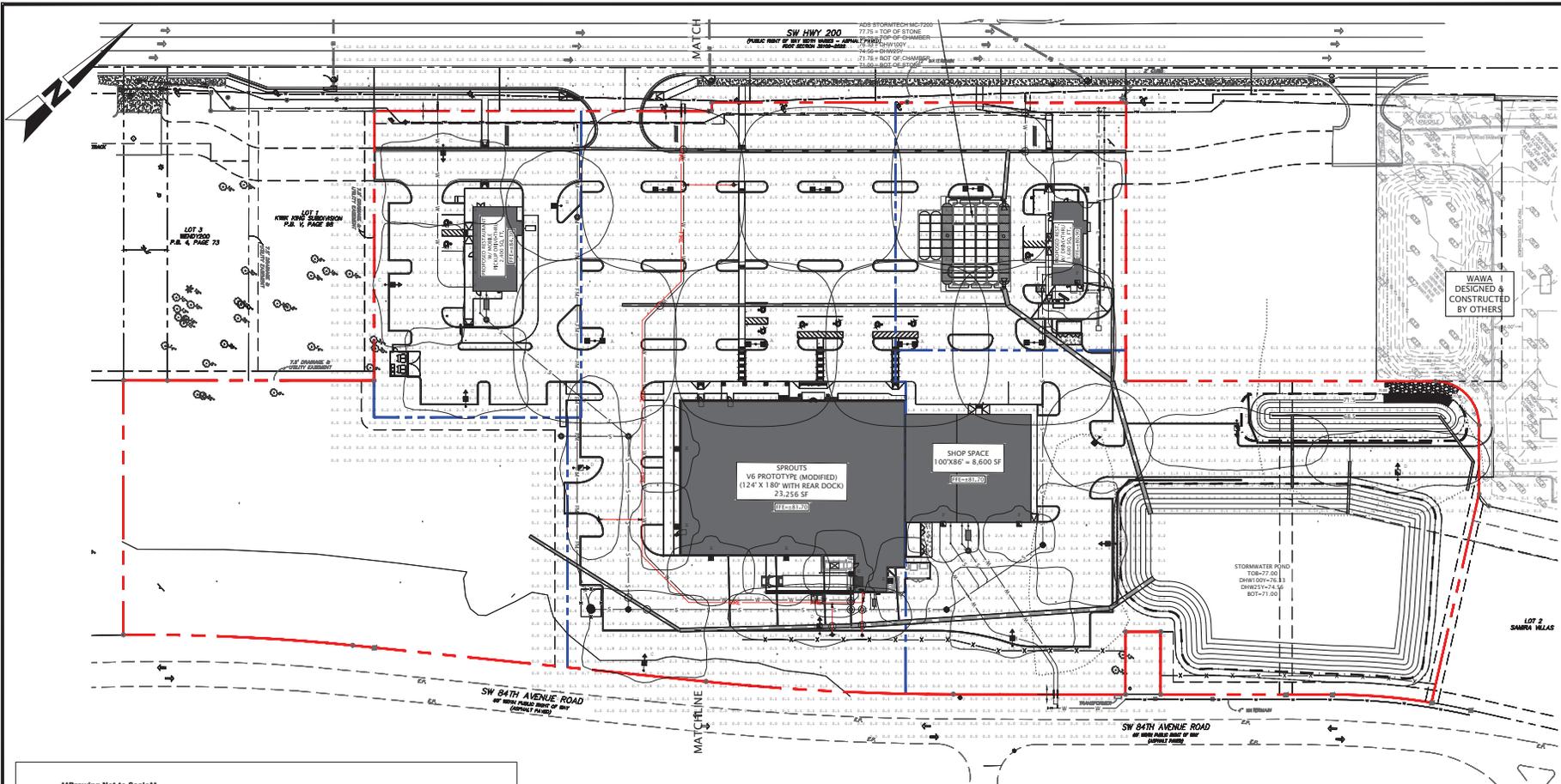
PROJECT NAME:
**MAJOR SITE PLAN
CORTA COMMONS**

FOR
CORTA OCALA, LLC
SW HWY 200 - OCALA
MARION COUNTY, FLORIDA

SHEET TITLE
**LIFT STATION
DETAILS &
SPECIFICATIONS**

PROJECT NO: 23-3306
CHECKED BY: JIS
VERTICAL DATUM: NAVD 1988
DATE: 03/29/2024
SHEET NUMBER

C-511



MJ STOKES CONSULTING
 P.O. BOX 22821
 TAMPA, FL 33622
 813.744.1199
 INFO@MJSTOKESCONSULTING.COM
 FLORIDA BUSINESS REGISTRY NO. 34468

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01	01/20/24	REVISION PER ZONING APPROVAL COUNTY & SWFWMD REVIEW COMMENTS	JJS

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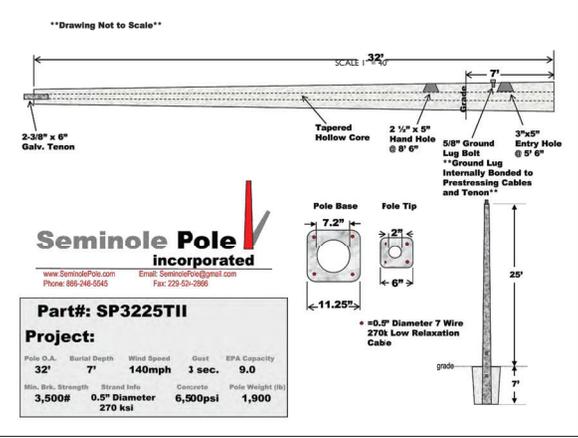
PROJECT NAME:
**MAJOR SITE PLAN
 CORTA COMMONS**

FOR
CORTA OCALA, LLC

SW HWY 200 - OCALA
 MARION COUNTY, FLORIDA

SHEET TITLE
**EXTERIOR LIGHTING
 PHOTOMETRIC
 PLAN**

PROJECT NO: 23-3306
 CHECKED BY: JJS
 VERTICAL DATUM: NAVD 1988
 DATE: 03/29/2024
 SHEET NUMBER
C-601



- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTA NPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
 - THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERRED SURVEY.
 - THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.
 - FIXTURES MOUNTED ON 25-FT POLE. LIGHT LEVEL CALCULATED ON THE GROUND.
 - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, STORAGE, INSTALLATION AND WIRING OF LIGHT FIXTURES.
 - THE ELECTRICAL CONTRACTOR SHALL REPORT ANY DAMAGED LIGHT FIXTURES OR MISSING PARTS TO THE MANUFACTURER WITHIN 48 HOURS OF RECEIPT OF LIGHT FIXTURE PACKAGE.
 - SITE LIGHTING MATERIALS SHOULD BE PROCURED THROUGH WLS LIGHTING, NO ALTERNATIVE FIXTURES SHALL BE PERMITTED. CONTACT KEN BRONSTAD, WLS LIGHTING AT 817.840.9332 OR KBRONSTAD@WLSLIGHTING.COM.

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Footcals	Footcals
ENTRANCE DRIVES	Fc	2.38	4.0	1.0	2.38	4.00	10	10
MAIN PARKING	Fc	2.73	4.8	2.0	1.37	2.40		
MAIN SIDES & REAR	Fc	2.64	5.5	0.7	3.77	7.86		
RESTAURANT DRIVE	Fc	2.13	4.4	1.0	2.13	4.40		
RESTAURANT DRIVE THRU	Fc	2.08	2.8	1.5	1.39	1.87		
RESTAURANT PARKING	Fc	2.48	4.3	1.5	1.65	2.87		

Luminaire Schedule

Symbol	Qty	Label	lum. lumens	LLP	Description	lum. Watts
■	7	A	20239	0.970	WLS-CL-158-487-5QM-SLM 30' MOUNTING HEIGHT	158
■	2	B	20239	0.970	WLS-CL-158-487-5QM-SLM 30' MOUNTING HEIGHT	158
■	6	C	17729	0.970	WLS-CL-158-487-4F-HSS-90-B-SLW 30' MOUNTING HEIGHT	158
■	4	D	19669	0.970	WLS-CL-158-487-2-SLW 30' MOUNTING HEIGHT	158
■	6	E	9550	0.950	WLS-W-9-24-321-7-408-SLM 18' MOUNTING HEIGHT	71
■	4	F	6328	0.950	WLS-W-9-24-161-1-408-SLM 15' MOUNTING HEIGHT	56.11

LIGHTING POLE DETAIL & SPECIFICATION:

SECTION 32040 - IRRIGATION

PART 1 - GENERAL

1.1. RELATED REQUIREMENTS

- A. Section 31000 - Earthwork
- B. Section 32000 - Paving

1.2. SUMMARY

- A. Primary irrigation equipment and materials required to render all services required to furnish and install a new automatic irrigation system to serve existing and new plantings and turf within the project.
- B. Reference in Section 02510 is. Saw cut pavement. May need to insert into here.

1.3. SUBMITTALS

- A. Submit documentation of actual water supply performance for review and approval prior to commencing installation.
- B. Submit electronic copies of product literature for all sprinklers, dripline nozzles, automatic control valves, controller, control wire, rain sensor, valve boxes and irrigation piping.
- C. Request Drawings:
 - 1. Prepare an electronic as-built drawing (PDF and DWG file format) as installation proceeds and to be submitted prior to final inspection, including:
 - a. Detail and dimension changes made during construction.
 - b. Significant details and dimensions not shown in original Bidding Documents.
 - c. Material, at job site, one copy of Contract Documents and relevant shop drawings. Mark this copy "PROJECT RECORD COPY" on cover and maintain in good condition for use in the field by the Landscape Architect and/or Owner.
 - 2. D. Installation Manual: Provide a type-written instruction manual that includes complete instructions for system operation and maintenance. Includes information about which zones relate to which valves and the general location of these valves.
 - E. Warranties as listed below.
 - F. Final agreement for system will not be authorized until accurate and complete submittals have been reviewed and approved by the Landscape Architect.

1.4. QUALITY CONTROL

- A. All work shall be performed by a Contractor who has completed irrigation work of comparable construction cost and of similar scope in material, design, and extent to that as indicated for this project.
- B. Work and materials shall be in accordance with latest rules and regulations and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
- C. Contractor shall obtain all necessary permits, licenses, notifications, and fees necessary for the completion of the work.
- D. Pre-Installation Conference: Meet with the Owner's Representative and Landscape Architect on site to discuss and clarify all aspects of job requirements and sequencing prior to commencing work. Notice and coordinating the scheduling of the conference shall be the responsibility of the Contractor. Provide ten (10) days' notice of the pre-installation conference.
- E. Materials, labor, and methods shall be shown or clearly proposed only. All irrigation equipment to be installed within the project area shown.
- F. Location of valves, risers, valves, and heads are approximate. Actual placement may vary slightly as required to provide head to head coverage and avoid existing improvements, overlays, and trees or improvements to remain.
- G. Contractor shall maintain and experienced, full-time supervisor on the project site during all irrigation installation activities.
- H. Ensure existing landscape to remain continues to be irrigated throughout construction and until final acceptance.

1.5. DELIVERY, STORAGE, AND HANDLING

- A. Contractor is responsible for all delivery shipping, and safe and proper storing of materials.
- B. Protect materials from damage and prolonged exposure to sunlight.

1.6. WARRANTY

- A. Provide a one (1) year warranty to include:
 - 1. Completed system including parts and labor.
 - 2. Filling and reworking depressions and restoring drainages due to settlement of irrigation trenches for one (1) year following final acceptance.
 - 3. System adjustment to supply proper coverage to areas to receive water.

PART 2 - PRODUCTS

2.1. PIPE, FITTINGS, AND CONNECTIONS

- A. Pipes shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
- B. Utilize purple in color if reclaimed water is the irrigation water source.
- C. Pipe:
 - 1. Pressure Lines: as indicated on plans.
 - 2. Lateral Lines: as indicated on plans.
 - 3. Risers: Schedule 40 PVC.
 - 4. Sewering: Schedule 40 PVC.
 - 5. Fittings: Schedule 40 PVC.

2.2. SPRINKLER HEADS

- A. Conform to requirements shown on plans to size, type, radius of throw, pressure, and discharge.

2.3. MICRO-IRRIGATION PRODUCTS

- Drip tubing for all landscape beds. Pressure compensating, UV resistant, dripline as per irrigation schedule on plans. Utilize pipe purple in color if reclaimed water is the irrigation water source.

2.4. WIRING

- A. Control wire shall be UL listed, single strand, size 14 gauge, color coded copper conductor direct burial wire. Tape control wire to bottom of main line every ten (10) feet. Where control wire leaves main it shall be enclosed in Class 200 PVC conduit. Use 3M 320V waterproof wire connectors at splices and locate all splices within valve boxes. Install two spare control wires with mainline from controller.
- B. Wire size shall be indicated on wire in a visible location when installed.
- C. Use white or gray color for common wire.

2.5. VALVES

- A. Valves shall be of size and type indicated on plans.
- B. Gate Valves, if required: Bronze construction, single type, 150 pound class, threaded connections, with cross-type operating handle designed to receive operating key.

2.6. VALVE ACCESSORIES

- A. Valve Boxes:
 - 1. Valve boxes shall be 12-inch minimum Rectangular Heavy Duty PVC with locking lid. Mark all lids "Irrigation Control Valve".
 - 2. Filling and reworking depressions and restoring drainages due to settlement of irrigation trenches for one (1) year following final acceptance.
 - 3. Do not install more than one (1) valve in a single box.
 - 4. Valve boxes shall be large enough for easy removal or maintenance of valves.
 - 5. Mark all lids "Irrigation Control Valve".
 - 6. Acceptable manufacturers include:
 - a. Ametek
 - b. Brooks
 - c. Carson

2.7. CONTROLLER

- A. Controller shall be as indicated in irrigation schedule on plans.
- B. Verify location of controller and mounting procedures with the Project Architect and Owner's Representative prior to installation.
- C. Install per manufacturers specifications including proper cableweld and clamped grounding procedure.

2.8. WEATHER SENSOR

- A. Fitted with the rain, wind, or other weather sensor shall be as indicated in irrigation schedule on plans.
- B. Verify location of controller and mounting procedures with the Project Architect and Owner's Representative prior to installation.
- C. Install per manufacturers specifications.

PART 3 - EXECUTION

3.1. PREPARATION

- A. Protect existing irrigation, landscape, hardscape and other improvements to remain. Work of others damaged by the Contractor during course of the work shall be repaired or replaced by the Contractor at his/her expense.
- B. It is the responsibility of the Contractor, at no additional cost to the Owner, to ensure that the existing system is protected, operational, and continues to provide irrigation to existing landscape to remain throughout the project's construction and until final acceptance.

3.2. INSTALLATION

- A. Install irrigation materials and equipment as detailed on plans. If plans do not thoroughly describe the technique to be used, the installer shall follow the installation methods and instructions as recommended by their manufacturer.
- B. Adjust all components to obtain specified operating parameters, including coverage, operating pressure, flow rate, and operation time, as indicated on drawings or within specifications.
- C. Truncating and Backfilling:
 - 1. Cover irrigation trenches by two (2) inches and bring back to indicated depth by filling with fine, rock-free soil or sand.
 - 2. Cover pipe both top and sides with ten (2) inches of material specified in paragraph above. In no case shall there be less than two (2) inches of rock-free soil or sand surrounding pipe.

D. Sleeving: All irrigation lines placed under pavement shall be sleeved as shown on plans. Install at depth as indicated in details on plans.

E. Installation or Modification of Plastic Pipe

- 1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by Manufacturer.
- 2. Unless otherwise indicated on plans, install main and lateral lines with a minimum cover of eighteen (18) inches based on finish grade.
- 3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of eighteen (18) inches below finish grade as indicated on drawings.
- 4. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain approval of Landscape Architect prior to proceeding with work.
- 5. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will result.
- 6. Make solvent weld joints in the following manner:
 - a. Clean mating pipe and fitting with clean, dry cloth and apply one (1) coat of P-70 primer to each.
 - b. Apply uniform coat of T-11 solvent to the following:
 - 1. Apply solvent to fitting in similar manner.
 - 2. Apply a light coat of solvent to pipe and quickly insert into fitting.
 - 3. Give pipe or fitting a quarter turn to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting coat.
 - 4. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.
 - 5. Allow any solvent spreading on area around fitting.
 - 6. Do not use an excessive amount of solvent thereby causing an obstruction to form on the inside of pipe.
 - 7. Allow joints to cure at least 24 hours before applying pressure to PVC pipe.
 - 8. Tap: Firmly connected with before tap.
 - 9. Install concrete thrust blocks whenever change of direction occurs at PVC main pressure lines, unless otherwise detailed on Drawings.
- F. Valve Wiring:
 - 1. Tap control wire to bottom of main line every ten (10) feet.
 - 2. Use 3M 320V waterproof wire connectors at splices and locate all splices within valve boxes.
 - 3. Each common wire may serve only one controller.
 - 4. Add two extra control wires from panel to valve for use if a wire fails and mark 3 in the control box as an extra wire. These wires shall be of a different color than the primary control wire.
- G. Control Wires:
 - 1. Install controller, control wires, and valves in accordance with Manufacturer's recommendations and according to applicable electrical code.
 - 2. Install top of valve a minimum of 18" from finished grade.
 - 3. Locate all valves in planting beds or mulched areas with a minimum offset of 3/4" from back of curb or edge of pavement.
 - 4. Provide wire number identification tags at each valve as shown in details.
 - 5. Install red and white isolation valves as per details below all groups of remote control valves.
- H. Valve Protection:
 - 1. All valves, including solenoid, gate, isolation, air relief, flush, and control, as well as surge protectors and filters shall be located within specified valve boxes.
 - 2. Install no more than one valve per valve box.
 - 3. Install remote control valves on valve boxes positioned over valves in all parts of valve can be reached for service. Set cover of valve box even with finish grade.
 - 4. Materials, labor, and methods shall be shown or clearly proposed only. Gravel to be cleaned, sized 3/4" - 3/8" maximum. Gravel to sit over wood-barnier filter.
 - 5. Do not bury valve within guard.
 - 6. Label all valve boxes with the corresponding controller zone number. Numbering shall be 1" in diameter.
- I. Sprinkler Heads:
 - 1. Prior to installation of sprinkler heads, control valves and use full head of water to flush top tubing.
 - 2. Head spacings shown on plan are maximum. Do not exceed spacings shown on plan. Spacing may be adjusted to accommodate changes in water pressure or to not exceed the spacings shown in plans. Unless otherwise indicated on plans, provide 100% coverage.
 - 3. Locate no sprinkler head closer than twelve (12) inches from building foundation.
 - 4. Heads immediately adjacent to building foundation, walk or curb shall be one (1) inch below top of rising strip, walk or curb and have a minimum of four (4) inch clearance between head and rising strip, walk or curb.
 - 5. Place tree bubblers at outer edge of rainfall and not outer edge of planting hole.
 - 6. Set sprinkler heads perpendicular to finish grade.
 - 7. Set lawn sprinkler heads adjacent to existing walks, curbs, and other paved areas to grade.
 - 8. Where existing or new trees, lights, signs, above grade utility improvements, and/or other objects are an obstruction to an irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. Notify the Owner's Representative to discuss items that may be an obstruction and to gain approval on an alternative route and/or head placement.
- J. Micro-Irrigation/Drip Tubing:
 - 1. Install drip tubing with disconnected emitters on ground. Do not bury tubes. Do not set tubes on top of mulch. Secure tubing per the manufacturer's specifications.
 - 2. Ensure tubes are covered with mulch and are not visible.

SYMBOL MANUFACTURER/MODEL/DESCRIPTION

■	Two Hunter PCB 25	ARC	PSI	GPM	RADIUS
Ⓟ	Hunter PROS-12 with GPH Irrigation Products GDN	360	30	2	2 x 25 3'
Ⓢ	Two Hunter HE-60B				

SYMBOL MANUFACTURER/MODEL/DESCRIPTION

Ⓢ	Area to Receive Drip/line Hunter HDL-10-12 In-Line Pressure Compensating Landscape Drip/line with Built-in Check Valve, 1.0GPH emitters of 12.0" O.C., Drip/line laterals spaced at 16.0" apart, with emitters offset for triangular pattern. Install drip/line on both sides of plant material.
Ⓢ	Hunter ICZ in a Jumbo Valve Box
Ⓢ	Hunter ICV in a 12" Valve Box. Install a Senniger PRU 40 psi pressure regulator or Hunter HY-151 filter in a Super Jumbo Valve Box prior to each group of valves.

SYMBOL MANUFACTURER/MODEL/DESCRIPTION

Ⓢ	Zurn 975XL 1" Reduced Pressure Backflow device
Ⓢ	Zurn 975XL 1-1/2" Reduced Pressure Backflow device
A B D	Hunter PC-400-PL 4 Station Controller
C E	Hunter PC-700-PL 7 Station Controller
M S	Hunter Solar Sync Weather Sensor
M S	Water Meter 3/4" (see civil plans)
M S	Water Meter 1" (see civil plans)

SYMBOL MANUFACTURER/MODEL/DESCRIPTION

---	Irrigation Lateral Line: PVC Class 160
---	Irrigation Mainline: PVC Class 200 2" from meter M1, M3 and M5. Install 1-1/2" from M2 and M4.
---	Pipe Sleeves: PVC Schedule 40

3.3. FIELD QUALITY CONTROL

- A. Flushing and Testing:
 - 1. Test mainline at a pressure of 100 psi for two hours. Mainline pressure shall maintain a pressure between 95 and 100 psi for the entire period of the test. The mainline shall be repaired and released as necessary to complete the pressure test.
 - 2. Notify Landscape Architect 24 hours prior to test. Do not backfill lines until approved by Landscape Architect.
 - 3. Pressure testing may be conducted in segments separated by isolation valves if so desired.
 - 4. All pressure testing shall be conducted and approved prior to the installation of any plant material.
 - 5. Prior to placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clear of debris, whether or longer.
- B. Operational Test:
 - 1. Upon completion of the entire system, test each zone to visually check for uniform distribution. Distribution shall be checked within any one area and over the entire zone. Test the entire system to demonstrate the complete and successful operation of the irrigation system. Testing shall be witnessed by the Landscape Architect and the Owner's Representative. Notify the Landscape Architect and the Owner's Representative a minimum of 48 hours prior to test.

3.4. ADJUSTMENT AND CLEANING

- A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or rising of heads shall be part of original contract with no additional cost to Owner.
- B. Adjust sprinkler heads to proper distribution.
- C. Trim or adjust heads to avoid overspray onto pedestrian and vehicular access routes and use areas, building bases, and other site improvements.
- D. Adjust sprinkler heads to ensure head to head coverage.
- E. Adjust watering time of valves to provide proper amounts of water to all plants.
- F. Ensure drip tubing is below mulch.

3.5. DEMONSTRATION

- A. After system is installed and approved, instruct Owner in complete system operation and maintenance via a walk-through of the system on site.

3.6. INSPECTION AND ACCEPTANCE

- A. When all irrigation work is substantially complete, the Landscape Architect will, upon request, make a substantial completion inspection to determine acceptability and compliance with the Contract Documents. The Landscape Architect will produce a written punch list for the Contractor and the Owner's Representative to identify items to be addressed prior to final acceptance.
- B. Once items of the punch list are addressed, the Landscape Architect will conduct a final completion inspection. If necessary, the Landscape Architect will produce a final punch list for the Contractor and the Owner's Representative to identify items to be addressed prior to final acceptance.
- C. Final acceptance will not be issued until all punch list items have been completed and a reinspection by the Owner results in the Owner's acceptance of all items. Final acceptance will also not be issued until all required submittals have been delivered to the Owner in the format specified.
- D. Work may be inspected for acceptance as portions as phases of installation are completed and as agreeable to Landscape Architect, provided each portion of work reflects inspection is substantially complete.

END OF SECTION

811

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SYMBOL	MANUFACTURER/MODEL	ARC	PSI	GPM	RADIUS
■	Two Hunter PCB 25	360	30	2	2 x 25 3'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓟ	Hunter PROS-12 with GPH Irrigation Products GDN
Ⓢ	Two Hunter HE-60B

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Area to Receive Drip/line Hunter HDL-10-12 In-Line Pressure Compensating Landscape Drip/line with Built-in Check Valve, 1.0GPH emitters of 12.0" O.C., Drip/line laterals spaced at 16.0" apart, with emitters offset for triangular pattern. Install drip/line on both sides of plant material.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Hunter ICZ in a Jumbo Valve Box
Ⓢ	Hunter ICV in a 12" Valve Box. Install a Senniger PRU 40 psi pressure regulator or Hunter HY-151 filter in a Super Jumbo Valve Box prior to each group of valves.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓢ	Zurn 975XL 1" Reduced Pressure Backflow device
Ⓢ	Zurn 975XL 1-1/2" Reduced Pressure Backflow device

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
A B D	Hunter PC-400-PL 4 Station Controller
C E	Hunter PC-700-PL 7 Station Controller

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
M S	Hunter Solar Sync Weather Sensor
M S	Water Meter 3/4" (see civil plans)
M S	Water Meter 1" (see civil plans)

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
---	Irrigation Lateral Line: PVC Class 160
---	Irrigation Mainline: PVC Class 200 2" from meter M1, M3 and M5. Install 1-1/2" from M2 and M4.
---	Pipe Sleeves: PVC Schedule 40

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
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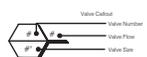
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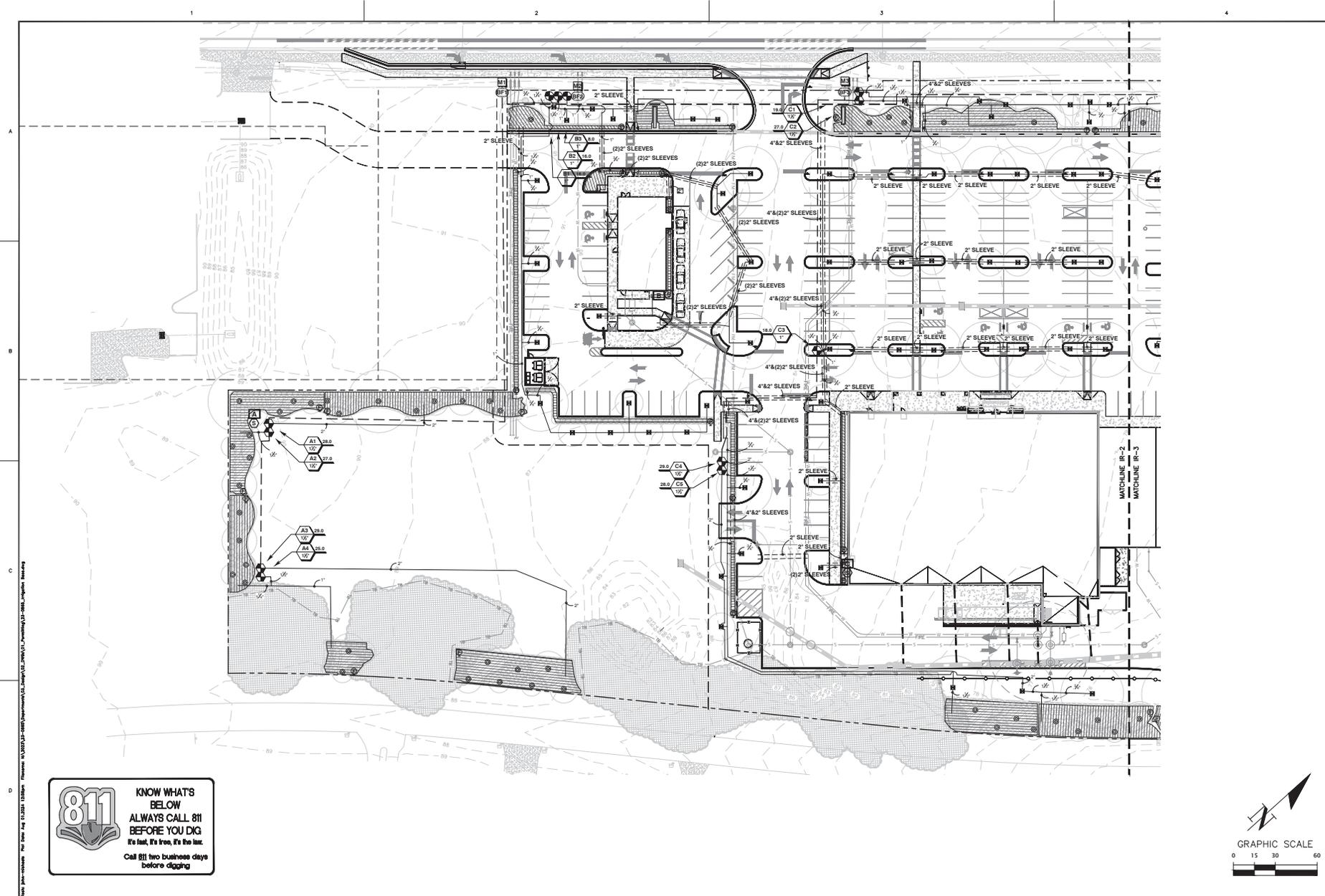
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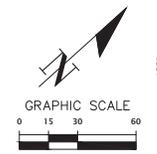
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---	Pipe Sleeves: PVC Schedule 40



SUMMARY OF IRRIGATION AREA



811
 KNOW WHAT'S
 BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast, it's free, it's the law.
 Call 811 two business days
 before digging.



CH2M
 HILL
 HUNT

DATE: 11/20/23
 DRAWN BY: JACOB W. BROWN
 CHECKED BY: JACOB W. BROWN
 PROJECT NO.: 23-0865

CONSTRUCTION PROPOSAL

PERMITS: HARRISON COUNTY
 0001744 HARRISON COUNTY
 0001744 HARRISON COUNTY

CLIENT: CORTELA, LLC
 PROJECT: CORTELA COMMONS PHD
 SHEET TITLE: IRRIGATION PLAN

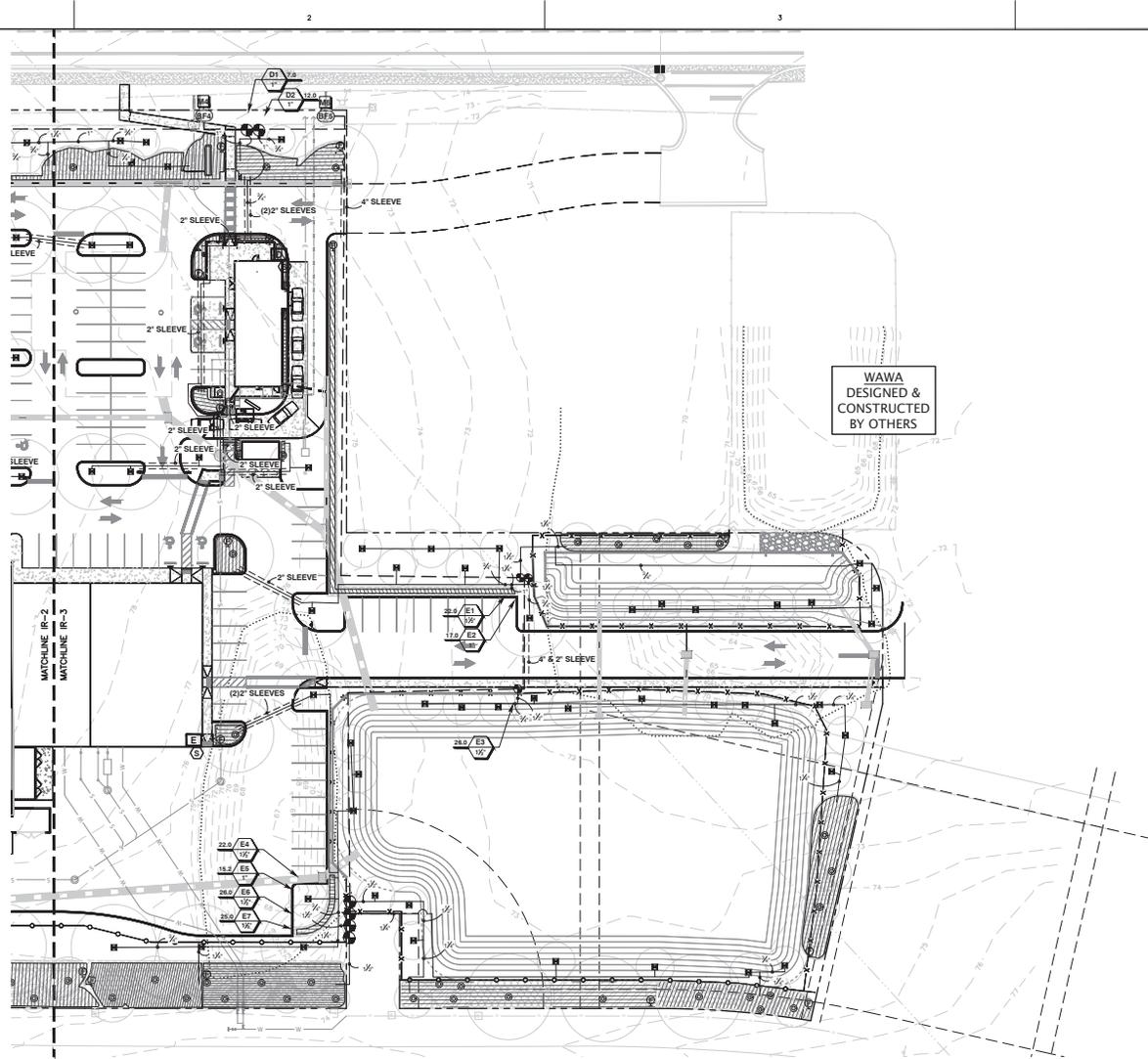
SUBMITTER: JAMES J. CORTELA
 PROJECT NO.: 23-0865

REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12487
 STATE OF FLORIDA

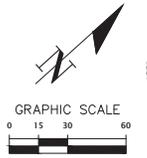
SHEET NO.: IR-2



**KNOW WHAT'S
BELOW
ALWAYS CALL 811
BEFORE YOU DIG**
It's fast, it's free, it's the law.
Call 811 two business days
before digging.



WAWA
DESIGNED &
CONSTRUCTED BY
OTHERS



SCALE: 1" = 30' 1/4" = 10' 1/8" = 5' 1/16" = 2.5' 1/32" = 1.25'	CONSTRUCTION OF RECORD
JURISDICTION: HAMILTON COUNTY 000/1000 HAMILTON COUNTY 000/1000 HAMILTON COUNTY	CLIENT: CORTELL, LLC PROJECT: COSTA COMMONS PHD SHEET TITLE: IRRIGATION PLAN
SURVEYOR: JAMES J. JENNINGS E.T.	PROJECT NO.: 23-0865
SHEET NO.: IR-3	

1
2
3
4
A
B
C
D
 Wawa Design Inc. File Date: Aug 13, 2024 1:52:29pm. Filename: W:\2023\23-0865\Department\GIS\Layout\23-0865_Irrigation_Plan.dwg

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN SECTIONS 24 & 25,
TOWNSHIP 16 SOUTH, RANGE 20 EAST,
MARION COUNTY, FLORIDA

- SURVEYOR'S NOTES:**
- HORIZONTAL DATUM SHOWN HEREON IS DERIVED FROM A BEARING OF SOUTH 0° 00' 00" WEST FOR THE EXISTING SOUTHERLY PROPERTY OF WAY LINE OF SW STATE ROAD 200. COORDINATES AND BEARING SHOWN HEREON ARE REFERENCED TO THE 1983 STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83/2011 ADJUSTMENT).
 - VERTICAL DATUM IS DERIVED FROM HGS CONTROL POINT "O" SET, WHICH HAS A PUBLISHED ELEVATION OF 85.35 FEET AND IS SHOWN IN NORTHERN AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 - UTILITY NOTE: OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTIONS 5 PARAGRAPHS 1 AND 2 OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA COVERED BY THIS SURVEY. THE SURVEYOR HAS CONDUCTED VISUAL AND INVASIVE TESTS TO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
 - FENCING SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES OR MAY NOT BE SHOWN TO SCALE.
 - IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL, IN RELATION TO THE DESCRIPTION OF RECORD AND THESE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THE SURVEYOR.
 - THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION VIA CHICAGO TITLE INSURANCE COMPANY, COMPANY NUMBER 2024 01 21 21, COMPLETED TO MAY 13, 2024. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
 - INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, IF IT IS A FLOOD INSURANCE RATE MAP, SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCE DATE. MAP AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
 - THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
 - THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
 - THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF CURRENT STREET CONSTRUCTION OR REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
 - THERE WAS OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
 - NO CURRENT ADDRESS PROVIDED FOR THE SUBJECT PROPERTY.
 - ZONING SETBACK REQUIREMENTS WERE NOT PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
 - DISTANT TO THE NEAREST INTERSECTION STREET IS 6 FEET, AT THE INTERSECTION OF S.W. WITH AVENUE ROAD AND S.W. TENTH LANE ROAD.
 - ONLY TREES 4" IN DIAMETER OR GREATER (MEASURED AT CHEST HEIGHT) ARE SHOWN HEREON.
 - ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE "SWATCH" LAYERS IN THE SUPPLIED DIGITAL FILE.
 - TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY, CONTOURS SHOWN HEREON REFLECT FLOOD RETENTION.
 - THIS SURVEY IS A TOTAL OF FOUR (4) SHEETS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY INFORMATION. SEE SHEETS TWO (2) THRU FOUR (4) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.

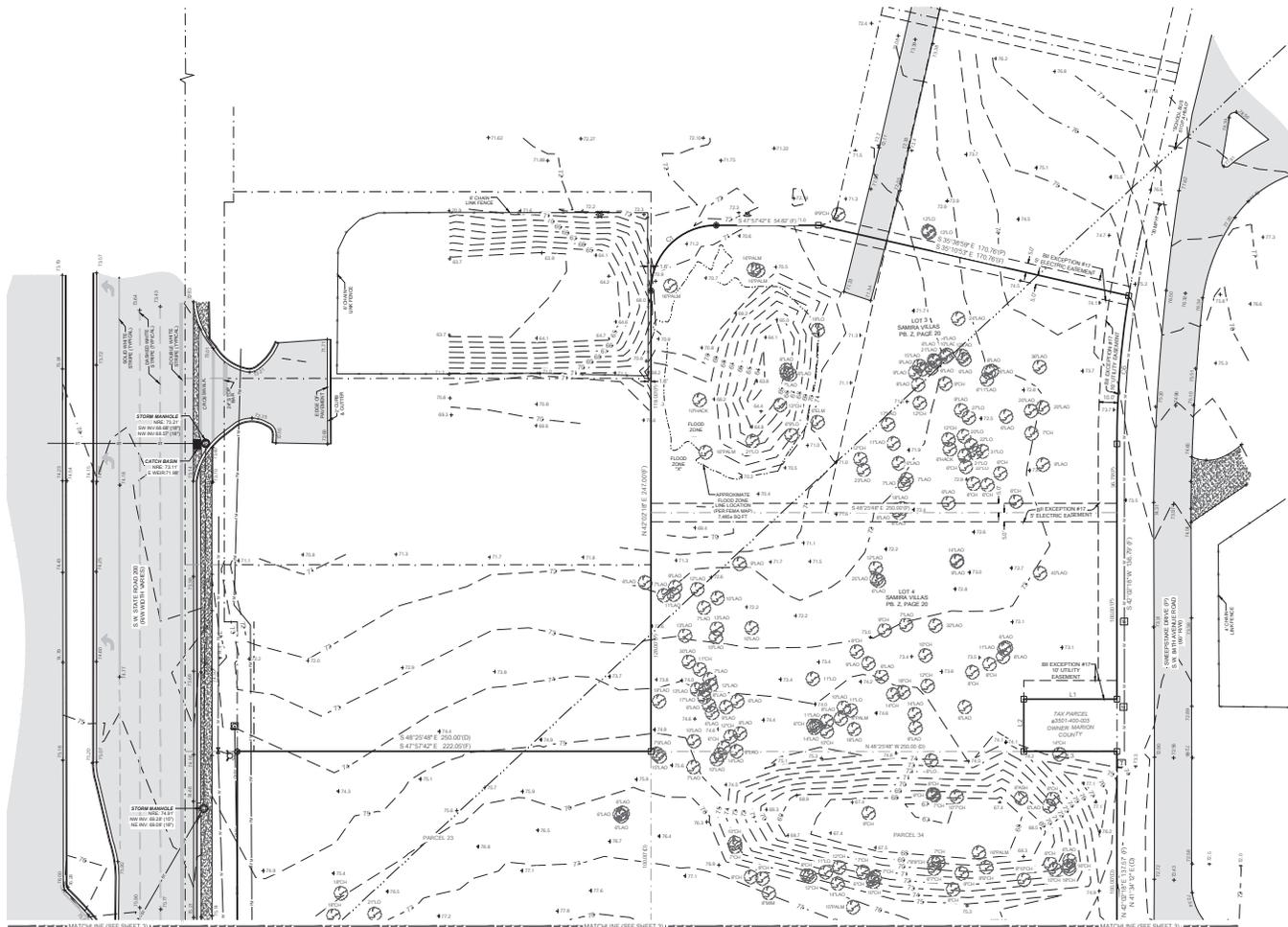


ALTA/NSPS LAND TITLE SURVEY

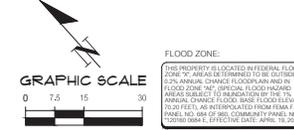
LOCATED IN SECTIONS 24 & 25,
TOWNSHIP 16 SOUTH, RANGE 20 EAST,
MARION COUNTY, FLORIDA

SURVEYOR'S NOTES:

- HORIZONTAL DATUM SHOWN HEREON IS DERIVED FROM A BEARING OF SOUTH 42° 02' 00" WEST FOR THE EXISTING SOUTHERN RIGHT-OF-WAY LINE OF SW STATE ROAD 200. COORDINATE SYSTEM BEARINGS SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83) ADJUSTMENT.
- VERTICAL DATUM IS DERIVED FROM NGS CONTROL POINT '5597, WHICH HAS A PUBLISHED ELEVATION OF 85.527 FEET AND IS SHOWN IN WESTERLY VERTICAL DATUM OF 1988 (VD88).
- UTILITY NOTE: OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTIONS 19 AND 20 OF THE ALTA/NSPS MINIMUM STANDARD REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EXCEPT WHERE SHOWN OTHERWISE, THE SURVEYOR MAKES NO WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- FENCING, SIGNAGE AND MONUMENTATION SHOWN HEREON MAY BE ENLARGED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE REFERENCED LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL, IN RELATION TO THE DESCRIPTION OF RECORD AND THESE EXISTING LAND CONVEYANCES TO BE ACCEPTABLE BY THIS SURVEYOR.
- THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION VIA CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 202-0812-01, COMMITMENT DATED MAY 13, 2024. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, IF E.F.A. FLOOD INSURANCE RATE MAPS SHOWN ON THIS MAP WAS CURRENT AS OF THE SURVEY DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
- THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF LAMENES OR CONSTRUCTION REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- NO CURRENT ADDRESS PROVIDED FOR THE SUBJECT PROPERTY.
- ZONING SETBACK REQUIREMENTS WERE NOT PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
- DISTANT TO THE NEAREST INTERSECTION STREET IS 6 FEET, AT THE INTERSECTION OF S.W. 84th AVENUE ROAD AND S.W. 70th LINE ROAD.
- ONLY TREES 4" IN DIAMETER OR GREATER (MEASURED AT CHEST HEIGHT) ARE SHOWN HEREON.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SPANDED LAYERS IN THE SUPPLIED DIGITAL FILE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1-FOOT INTERVALS.
- THIS SURVEY IS A TOTAL OF FOUR (4) SHEETS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY INFORMATION. SEE SHEETS TWO (2) THRU FOUR (4) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.



TYPE	SYMBOL	SYMBOL
WATER	(Symbol)	WATER
SEWER	(Symbol)	SEWER
GAS	(Symbol)	GAS
TELEPHONE	(Symbol)	TELEPHONE
STORM	(Symbol)	STORM
POWER	(Symbol)	POWER



- FLOOD ZONE:**
THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE 'X' AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) AND IS REFERENCED TO THE FIRM NUMBER 2201-0010-01, DATED APRIL 18, 2021. THE FIRM IS AVAILABLE AT THE MARION COUNTY ENGINEERING DEPARTMENT, 1000 N. W. 10th Street, Marion County, Florida 32003.
- LEGEND:**
- (D) = DATA BASED ON FURNISHED DESCRIPTION
 - (F) = DATA BASED ON FIELD MEASUREMENTS
 - FIRM = FEDERAL EMERGENCY MANAGEMENT AGENCY
 - FIRM = FLOOD INSURANCE RATE MAP
 - NEE = NORTH END ELEVATION
 - SW = SWER
 - ROW = RIGHT-OF-WAY
 - PL = PLAT BOOK
 - SE = SEED BOOK
 - PG = PAGE
 - CI = IDENTIFICATION
 - ADH = ADH TREE
 - CH = CHERRY TREE
 - ELM = PINNACLED ELM TREE
 - LAU = LAUREL TREE
 - LD = LIVE OAK TREE
 - MBA = MANGROVE TREE
 - PA = PALM TREE
 - TR = TRUNK
 - FO = FOUND OFF-STEEL ROD & CAP
 - FC = FOUND 4"X4" CONCRETE MONUMENT
 - ST = SET 5/8" STEEL ROD AND CAP (E.B. 5075)
 - FO = FOUND 1/2" IRON ROD (NO ID.)
 - CP = CONCRETE POWER POLE
 - ME = MITERED END SECTION
 - TE = TELEPHONE PRESTABIL
 - WE = WELL
 - WM = WATER LINE MARKER
 - SV = STREET VALVE
 - SI = STORM INLET
 - SK = STREET SIGN
 - MA = MAILBOX
 - SM = SANITARY SEWER MANHOLE
 - SM = STORM SEWER MANHOLE
 - SR = FIRE HYDRANT
 - PR = PRESSURE REDUCER VALVE
 - CR = CROWN PIPE
 - SP = SANITARY SEWER PIPE
 - ST = STORMWATER PIPE (CORRUGATED METAL)
 - UN = UNDERGROUND WATER LINE
 - UN = UNDERGROUND FORCE MAIN
 - FE = FENCE (IF ANY)
 - BE = BENCHMARK
 - CO = CORNER LINE
 - SE = SPOT ELEVATION (IMPERVIOUS)
 - SE = SPOT ELEVATION (PERVIOUS)
 - AS = ASPHALT SURFACE
 - CS = CONCRETE SURFACE

Title: ALTA/NSPS Land Title Survey
 Date: 11/20/24
 Project: 23-0865
 Sheet: 2 OF 4

ALTA/NSPS LAND TITLE SURVEY
 MARION COUNTY, FLORIDA
 SURVEYOR'S NOTES

CHW
 CHICAGO TITLE INSURANCE COMPANY

23-0865
 PROJECT NUMBER

DATE: 11/20/24

SHEET: 2 OF 4

SURVEYOR: CLAYTON N. BECKER

PROJECT: 23-0865

THIS MAP PREPARED BY: CLAYTON N. BECKER

SEE SURVEYOR'S CERTIFICATION SHEET 9

CERTIFICATE OF AUTHORIZATION No. LB-5075

STATE AND SEAL OF ELECTRONIC

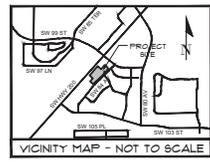
PROFESSIONAL ENGINEER & SURVEYOR, LICENSE NO. 2300

LICENSED SURVEYOR AND MAPPER

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN SECTIONS 24 & 25,
TOWNSHIP 16 SOUTH, RANGE 20 EAST,
MARION COUNTY, FLORIDA

- SURVEYOR'S NOTES:**
- HORIZONTAL DATUM SHOWN HEREON IS DERIVED FROM A MEASUREMENT SOUTH OF 1927 MEET FOR THE EXISTING SOUTHERN PROPERTY OF WAY LINE OF SW STATE ROAD 200. COORDINATES AND BEARING SHOWN HEREON ARE REFERENCED TO THE 1983 STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83/2011 ADJUSTMENT).
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 - THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
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 - THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION VIA CHICAGO TITLE INSURANCE COMPANY, COMPANY NUMBER 2024-01-21-1, COMPLETED TO MAY 13, 2024. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
 - INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, IF IT IS A FLOOD INSURANCE RATE MAP, SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCE DATE. MAP AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
 - THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
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 - THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
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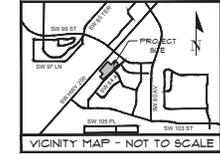
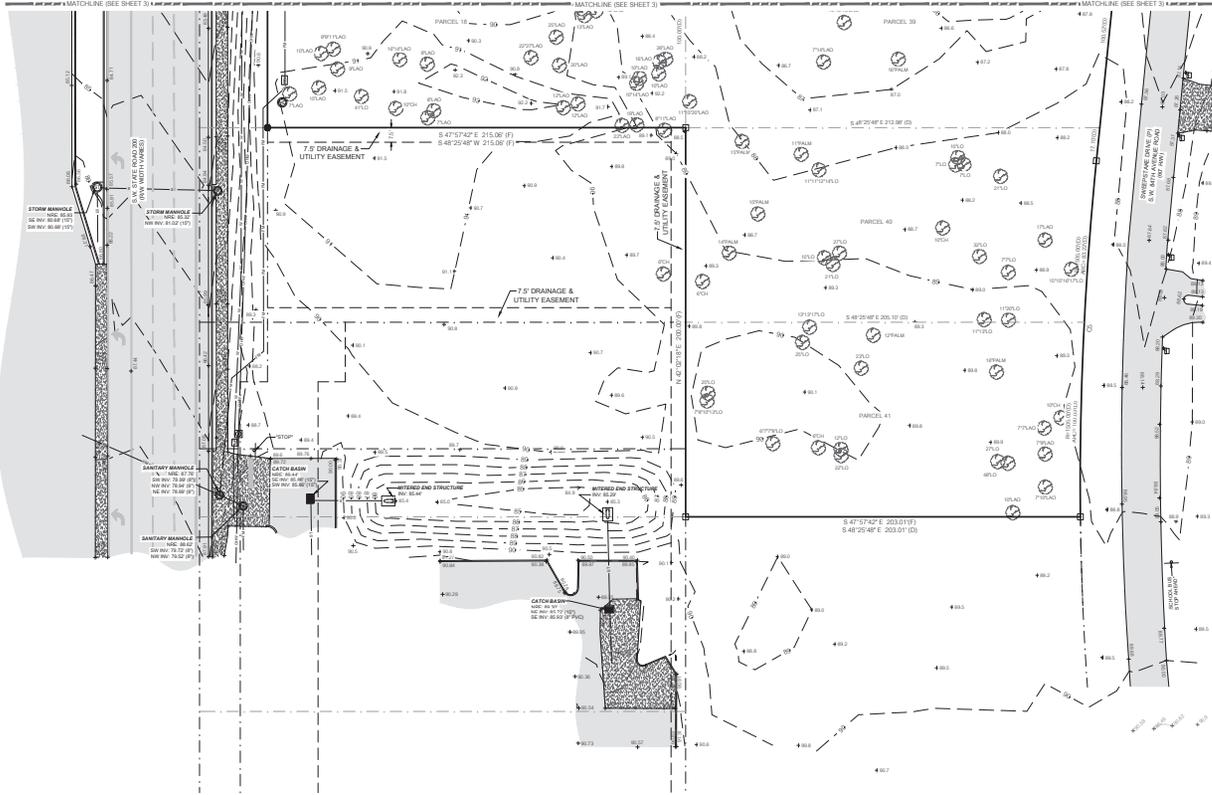


ALTA/NSPS LAND TITLE SURVEY

LOCATED IN SECTIONS 24 & 25,
TOWNSHIP 16 SOUTH, RANGE 20 EAST,
MARION COUNTY, FLORIDA

SURVEYOR'S NOTES:

- HORIZONTAL DATUM SHOWN HEREON DERIVED FROM A SCENARIO OF SOUTH 47° 02' 27" WEST FOR THE EXISTING SOUTHERLY RIGHT OF WAY LINE OF SW STATE ROAD 200. COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83/0311 ADJUSTMENT).
- VERTICAL DATUM IS DERIVED FROM THE CONTROL POINT "12587" WHICH HAS A PUBLISHED ELEVATION OF 85.03 FEET AND IS SHOWN IN NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD85).
- UTILITY NOTE: OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTION 5 PARAGRAPH (1) OF THE ALTA TRANSFER MINIMUM STANDARD REGULATORY REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EVIDENCE OF UTILITIES OR MONUMENTS, IF SUCH SURVEYOR OBSERVES AND RESISTANT TOOLS CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENDOACH.
- FENCING, SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND TO THE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THE SURVEYOR.
- THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION VIA CHICAGO TITLE INSURANCE COMPANY COMMENT NUMBER 2020-02-01. COMMENT DATED MAY 13, 2024.
- NO INFORMATION FROM FEDERAL, TERRITORY OR MUNICIPAL AGENCIES, IF SUCH INFORMATION IS AVAILABLE, SHOWS ON THIS MAP WAS CURRENT AS OF THE REFERENCE DATE. MAP SURVEYING AND MONUMENTATION ARE HISTORICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF CURRENT OR FUTURE MONUMENTATION, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
- THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF CURRENT STREET CONSTRUCTION OR REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- NO CURRENT ADDRESS PROVIDED FOR THE SUBJECT PROPERTY.
- ZONING SETBACK REQUIREMENTS WERE NOT PROVIDED TO THE SURVEYOR AT THE TIME OF SURVEY.
- DISTANT TO THE NEAREST INTERSECTION STREET IS 4 FEET AT THE INTERSECTION OF SW 34th AVENUE ROAD AND SW 10th LANE ROAD.
- ONLY THRESH 1/4 IN DIAMETER OR GREATER BURIED AT CHEST HEIGHTS ARE SHOWN HEREON.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SURVEYOR'S LAYERS IN THE SUPPLIED DIGITAL FILE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1 FOOT INTERVALS.
- THIS SURVEY IS A TOTAL OF FOUR (4) SHEETS. SEE SHEET (1) FOR OVERALL BOUNDARY INFORMATION. SEE SHEETS TWO (2) THRU FOUR (4) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.



FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X" AREA. AREAS SUBJECT TO FLOODING DURING THE 50-YEAR ANNUAL CHANCE FLOODPLAIN AND IN FLOOD ZONE "X" SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION (FEET) IS INDICATED BY SHADING. FOR FEET, SEE HORIZONTAL CONTROL POINT (C.P. 12587) AND U.S. COMMUNITY PANEL NO. 23-0985-A. EFFECTIVE DATE: APRIL 10, 2021.

- LEGEND:
- (ID) = DATA BASED ON FURNISHED DESCRIPTION
 - (F) = DATA BASED ON FIELD MEASUREMENTS
 - FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
 - FIRM = FLOOD INSURANCE RATE MAP
 - NEL = NORTH LINE ELEVATION
 - IN = INVERT
 - RM = RIGHT OF WAY
 - PL = PLAT BOOK
 - DE = DEED BOOK
 - FC = FENCE
 - ID = IDENTIFICATION
 - AG = ANCHOR
 - CE = CEDAR TREE
 - CH = CHERRY TREE
 - ELM = WINGED ELM TREE
 - LAD = LAUREL OAK TREE
 - LO = LIVE OAK TREE
 - MH = MIMOSA TREE
 - PALM = PALM TREE
 - TAL = TALLOW TREE
 - FO = FOUND NAIL AND DISK
 - FS = FOUND 1/4" STEEL ROD & CAP
 - CM = FOUND 4"X4" CONCRETE MONUMENT
 - SS = SET 1/4" STEEL ROD AND CAP (R 5/16)
 - FS = FOUND 1/2" STEEL ROD (R 3/8)
 - CP = CONCRETE POWER POLE
 - MS = MERGED DND SECTION
 - TE = TELEPHONE POCKET
 - WELL = WELL
 - WM = WATER LINE MARKER
 - WV = WATER VALVE
 - SI = STORM INLET
 - SS = STREET SIGN
 - MS = MANHOLE
 - SSM = SANITARY SEWER MANHOLE
 - SSM = STORM SEWER MANHOLE
 - FP = FIRE HYDRANT
 - PR = PRESSURE RELEASE VALVE
 - CS = CROWFOOT CURB
 - SC = SODIUM SULFIDE (CORROGATED METAL)
 - UL = UNDERGROUND WATER LINE
 - UF = UNDERGROUND FORCE MAIN
 - FI = FENCE (IF WIRE)
 - SP = SPOT ELEVATION
 - CO = CONTOUR LINE
 - SE = SPOT ELEVATION (IMPROVISED)
 - SE = SPOT ELEVATION (PERMANENT)
 - AS = ASPHALT SURFACE
 - CS = CONCRETE SURFACE

ALTA/NSPS LAND TITLE SURVEY
MARION COUNTY, FLORIDA

CHW
CANTON H. RICKNER
Professional Engineer & Surveyor License No. 23-0985

DATE: 11-20-24

PROJECT: ALTA/NSPS LAND TITLE SURVEY

PROJECT NUMBER: 23-0985

LOCATION: SW 95th Pl, SW 93rd St, SW 97th Ln, SW 99th St

DATE PREPARED BY: CANTON H. RICKNER

DATE OF SURVEY: 11-20-24

DATE OF ELECTRONIC SIGNATURE AND SEAL: 11-20-24

DATE OF FURNISHED SURVEY: 11-20-24

THIS MAP PREPARED BY: CANTON H. RICKNER

License of Architecture No. LA 10775
Professional Engineer & Surveyor License No. 23-0985

SEE SURVEYOR'S DESCRIPTION - SHEET 1
SEE SURVEYOR'S DESCRIPTION - SHEET 2
SEE SURVEYOR'S DESCRIPTION - SHEET 3
SEE SURVEYOR'S DESCRIPTION - SHEET 4

4 OF 4

Drawn: C.H.R. Plot Date: 11/20/24 10:58am Plotter: C.H.R. Plot Date: 11/20/24 10:58am Plotter: C.H.R. Plot Date: 11/20/24 10:58am