



SUBMITTAL SUMMARY REPORT
31592

PLAN NAME:	ST MARK THE EVANGELIST CATHOLIC CHURCH - NEW ADMIN BUILDING & ADORATION CHAPEL	LOCATION:	7083 SE HWY 42 SUMMERFIELD,
APPLICATION DATE:	05/28/2024	PARCEL:	47667-001-00
DESCRIPTION:			

CONTACTS	NAME	COMPANY
Applicant	Keith Riddle	Riddle Newman Engineering, Inc.
Engineer of Record	Keith Riddle	Riddle Newman Engineering, Inc.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	10/02/2024	10/09/2024	11/18/2025	Approved

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)		10/09/2024	11/17/2025	Approved
Comments	YES 2.12.8 - Legal description matches boundary on plan YES 2.12.28 - Correct road names supplied Sheet C2.1 - SE Hwy 42 is incorrectly labeled as County Road 42. Please correct on future submittals. YES 6.2.1.F - North arrow and graphic drawing and written scale pointing Northwest. Sheets C3.1, C4.1, & C5.1, – North arrow is missing, N/A Additional 911 comments			
Environmental Health (Plans) (Environmental Health)		10/09/2024	11/17/2025	Approved
Comments	YES Central Sewer Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval Central Water N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments N/A			
Fire Marshal (Plans) (Fire)		10/09/2024	11/17/2025	Approved
Comments	YES 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area YES 6.18.5 - Access Control Box YES 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength YES 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads N/A Additional Fire comments			

SUBMITTAL SUMMARY REPORT (31592)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		10/09/2024	11/17/2025	Approved
Comments	ZONING - APPROVED YES 2.12.4.C - Owner and applicant name YES 2.12.4.L(1) - Parcel number YES 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Please label land use and zoning of subject property and adjacent properties on the site plan YES 2.12.4.L(4) - Zoning requirements: lot width, area , setbacks , coverage (floor area ratios) and parking SUP modification required for expansion. YES 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements YES 2.12.24 - Landscape requirements/6.8.6 - Buffering Please provide buffers on the plan YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan YES 2.12.6 - Location of water and sewer. Does this need a special use permit? Defer to MCU YES 2.12.9 - Show adjacent streets serving development YES 2.12.32 - Show 100yr flood zone YES 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) YES 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route YES 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan. Will there be any new signs? YES 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks YES 2.12.27 - Show location of outside storage areas Outside storage is not allowed. YES 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain YES Additional Zoning comments existing special use permit needs to be modified to allow for expansion. SUP 131207SU is limited to consistent with site plan at the time of that application. SUP application fee is \$1,000 and the application should be submitted to Growth Services. LAND USE - APPROVED YES 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation? N/A 2.12.4.L(3) - All applicable Developer's Agreements listed? N/A 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note? N/A 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density? YES 3.2.3 - NON-RESIDENTIAL - Complies with FAR? YES 2.12.4.L(6) - Gross/wetland/floodplain acreage listed? N/A 3.3.2.C - Complies with Approved ECSD PUD? N/A 3.3.3.A(1)- Complies with Approved Rural Residential Cluster Plan? N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan? YES 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?] YES 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?] N/A 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed? YES 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911? N/A 4.1.4.J - [Greenway Setback Provided?] YES 2.12.16/6.5 - [EALS or EALS-ER provided?] N/A 6.5 & 6.6 - Habitat Preservation/Mitigation Provided? N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?] N/A 6.12.2.A - [Local Road right-of-Way Provided?] N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?] N/A 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)? N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?] N/A 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat? N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?] N/A 6.11.5 -[Driveways to Intersections Separated/Coordinated?] N/A 6.11.4.E - [Sight Triangle Provided?] N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?] N/A 6.12.12 - [Sidewalks Internal/External Provided?] N/A 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available? N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required? YES 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected? N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?] N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?] N/A Additional Planning Items:			

SUBMITTAL SUMMARY REPORT (31592)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Landscape (Plans) (Parks and Recreation)		10/09/2024	11/17/2025	Approved
Comments	YES 2.12.18 - All trees 10" DBH and larger Specify size and species of existing tree N/A 2.12.25 - Marion Friendly Landscape Areas N/A 6.7.3 - Tree protection YES 6.7.4 - Shade tree requirements Palms cannot be substituted for shade trees N/A 6.7.6 - Tree removal submittal requirements N/A 6.7.8 - Protected tree replacement requirements N/A 6.7.9 - Replacement trees; general requirements YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes) YES 6.8.3 - Landscape design standards YES 6.8.4 - Landscape area requirements for non-residential development Provide calculations of landscape area N/A 6.8.5 - Landscape area requirements for residential and mixed use developments N/A 6.8.6 - Buffers YES 6.8.7 - Parking areas and vehicular use areas Provide screening around parking perimeter (north side) YES 6.8.8 - Building landscaping YES 6.8.9 - Service and equipment areas N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities YES 6.8.10 - General planting requirements (specifications) YES 6.8.11 - Landscape installation YES 6.8.12 - Landscape completion inspection requirements Provide note from this section of code YES 6.9.2 - Irrigation plan requirements (details, legend, notes) Tie into existing YES 6.9.3 - Irrigation design standards YES 6.9.5 - Irrigation system installation YES 6.9.6 - Completion inspection requirements Provide note from this section of code YES 6.19.3 - Outdoor lighting plan requirements Will there be outdoor lighting? If so, a photometric plan is required YES 6.19.4 - Exterior lighting design standards N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone N/A Additional Landscape comments			
OCE Design (Plans) (Office of the County Engineer)		10/09/2024	11/17/2025	Approved
Comments	INFO 2.21.2.B - Major Site Plan fee of \$1,000..00 + (\$10.00 x total site acreage) 10/4/24-fee due with resubmittal 8/9/24-fee due with resubmittal 5/31/24-fee due with resubmittal N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule. N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC N/A 2.1.3 - Order of plan approval YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions 8/9/24-Corrected 5/31/24-missing type of application on additional pages YES 2.12.4.A - Type of application on front page YES 2.12.4.B - Project name centered at top of front page YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived. YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 5/31/24-add waivers if requested in future YES 2.12.4.L(1) - Parcel number YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer N/A 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application YES 6.2.1.B - Plans shall be legible and meet typical industry standards YES 6.2.1.C - Standardized sheet size shall be 24" x 36" YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Legal Documents INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.			

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OCE Property Management (Plans) (Office of the County Engineer)		10/09/2024	11/17/2025	Approved

Comments

YES Major Site Plan Check owner with Sunbiz, there is an authorization letter on file. Check road project. HR 8.8.24

IF APPLICABLE:

Sec. 2.18.2.I Show connections to other phases.

Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Required Right of Way Dedication (select as appropriate)

Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:

1."[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

2."[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:

1."[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2."[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(F). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

SUBMITTAL SUMMARY REPORT (31592)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		10/09/2024	11/17/2025	Approved
Comments	YES 2.12.4.L(9)(b) - Data Block (Impervious Area) YES 2.12.8 - Topographical Contours YES 2.12.9/10 - Existing Drainage Right-of-Way/Easements YES 2.12.9/10 - Proposed Drainage Right-of-Way/Easements YES 2.12.13/14/15 - General Exhibits YES 2.12.20 - Stormwater Infrastructure Supports Phasing YES 2.12.38 - Stormwater Maintenance Entity YES 6.13.2.C - Geotechnical Investigation Report YES 6.13.7 - Geotechnical Criteria Approved per AR 272 YES 6.13.2 A(1)/(2) - Contributing Basins/Tc YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations YES 6.13.2.A(4) - Stormwater Features & Connective Elements YES 6.13.2.A(3) - Retention/Detention Area Design Parameters YES 6.13.3 - Type of Stormwater Facility Criteria YES 6.13.4 - Stormwater Quantity Criteria Approved per AR 272 YES 6.13.2.B(4) - Hydrologic Analysis YES 6.13.4.C - Discharge Conditions YES 6.13.2.B(6) - Freeboard YES 6.13.4.D - Recovery Analysis N/A 6.13.5 - Flood Plain & Protection YES 6.13.2.A(8) - Finish Floor Elevation Criteria YES 6.13.6 - Stormwater Quality Criteria N/A 6.12.6 - Roadway Flooding Level of Service N/A 6.13.6.B - Alternative Treatment Techniques YES 6.13.6.C - Best Management Practices YES 6.13.8 - Stormwater Conveyance Criteria YES 6.13.2.B(5) - Hydraulic Analysis N/A 6.13.8.B(3) - Lane Spread Calculations YES 6.13.2.A(9) - Access Accommodates Stormwater YES 6.13.8.B(7) - Minimum Pipe Size YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes YES 6.13.2.A(7) - Existing/Proposed Stormwater Swales YES 6.13.9 - Grading Criteria YES 6.13.2.A(11)(a) - Construction Entrance YES 6.13.2.A(11)(b) - Erosion Control YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References YES 6.13.2.B(8) - Calculation & Plan Consistency INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction. INFO Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction. YES 6.10 - Karst Topography and High Recharge Areas Approved per AR 272 YES 7.1.3 - Drainage Construction Specifications YES 6.13.12 - Operation and Maintenance Approved per AR 272 YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis. YES Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
OCE Survey (Plans) (Office of the County Engineer)		10/09/2024	11/17/2025	Approved
Comments	YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale YES 6.4.7.A(1) - Show a minimum of two bench marks per site YES 6.4.7.A(2 & 3) - Bench mark information shown N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown YES 6.4.7.E - Line and curve table must be shown on the sheet to which they apply YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend YES 2.12.4.F.(2) - Surveyor and Mapper certification YES 2.12.4.G - Show a location or vicinity map YES 2.12.8 - Provide current boundary and topographic survey less than one year old YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project YES 2.12.10 - Show any known existing or proposed easement or land reservation YES 2.12.11 - Provide an aerial map of the site with a layout of the development YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments			

SUBMITTAL SUMMARY REPORT (31592)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Traffic (Permits & Plans) (Office of the County Engineer)		10/09/2024	11/17/2025	Approved
Comments	N/A 2.12.9 - Location and dimensions of streets and right-of-way			
	N/A 2.12.20 - Phases of development			
	N/A 2.12.30 - Route Plan			
	YES 2.12.38 - Maintenance of improvements			
	YES 6.2.1.E - Drawing legend			
	N/A 6.11.3 - Traffic Impact Analysis			
	N/A 6.11.4.B - Cross access			
	N/A 6.11.4.E - Sight triangle			
	N/A 6.11.5 - Driveway access			
	N/A 6.11.6 - Construction route			
	N/A 6.11.9.A - Traffic signals			
	N/A 6.11.9.B - Traffic signs			
	YES 6.11.9.C - Pavement marking			
	N/A 6.12.1.A. - Transportation Facilities - Purpose and Intent			
	N/A 6.12.2 - Right-of-way			
	N/A 6.12.11 - Turn lanes			
	YES 6.12.12 - Sidewalks			
	N/A 6.12.13 - Utility position in right-of-way			
	N/A Additional Traffic comments			

SUBMITTAL SUMMARY REPORT (31592)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)		10/09/2024	11/17/2025	Approved
Comments	N/A Marion County Utilities Contact Information			
	YES Parcel numbers identified in project match proposed site plan layout 47667-001-00			
	YES 6.14.2.A(1) - Public water service area/provider Little Sumter Utility - defer to that utility for plan review, connection requirements, and compliance with Land Development Code as applicable.			
	YES 6.14.2.A(1) - Public sewer service area/provider Little Sumter Utility - defer to that utility for plan review, connection requirements, and compliance with Land Development Code as applicable.			
	N/A 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider			
	N/A 6.14.2.A - Water Connection Requirements			
	N/A 6.14.2.A - Sewer Connection Requirements			
	N/A 6.14.2.C.2(e) - Grease Trap, FOG Worksheet			
	N/A 6.14.2.C - Industrial Pretreatment			
	N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan			
	N/A 6.14.3.B - Springs Protection Zone			
	N/A 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate			
	N/A 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified			
	N/A 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate			
	N/A 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections			
	N/A 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections			
	N/A 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules			
	N/A 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas			
	N/A 6.14.5.A(8) - Submittal Requirements - Connection to existing water system			
	N/A 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system			
	N/A 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements			
	N/A 6.14.5.B - Construction Notes - UT DETAILS - current LDC version			
	N/A 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)			
	N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU			
	N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by developer			
	N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU			
	N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer			
	N/A 6.14.5.D - Hydraulic Analysis			
	N/A 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU			
	N/A 6.14.7 - Construction Inspection - PLAN NOTE:			
	N/A 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts			
	N/A 6.14.9.A - Developer's Agreement			
	N/A 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:			
	N/A 6.14.9.B - Bill of Sale			
	N/A 6.15.1 - Potable Water Distribution System			
	N/A 6.15.2 - Decentralized Water System (WTP)			
	N/A 6.15.3 - Fire Protection/Fire Flow Capacity			
	N/A 6.15.4 - Water Main Piping Installation			
	N/A 6.15.5 - Water Service and Connection			
	N/A 6.15.6.A - Potable Water Metering - individual/banked, size			
	N/A 6.15.6.B - Irrigation Water Metering - size			
	N/A 6.15.6.C - Sewer service only (water meter required/shown)			
	N/A 6.15.6.D - Meter Location			
	N/A 6.15.6.E - Meter Easements			
	N/A 6.15.6.F - Meter Boxes			
	N/A 6.15.6.G & H - Meter Sizing			
	N/A 6.15.7 - Cross Connection Control and Backflow Prevention			
	N/A 6.15.8 - Public Water Well Standards			
	N/A 6.15.9 - Wellfield and Water Supply			
	N/A 6.15.10 - Water Treatment Plants (WTP)			
	N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)			
	N/A 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design			
	N/A 6.16.5.A & B - Private Wastewater Pump Stations			
	N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)			
	N/A 6.17 - Water Reclamation/Reuse Facilities			
	N/A Article 7 - Construction Standards - PLAN NOTE:			
	YES Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities No fee for this review			
	N/A Additional Utilities comments			
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ST. MARK THE EVANGELIST CATHOLIC CHURCH

7081 SE HWY 42 • MARION COUNTY, FLORIDA

DEVELOPMENT REVIEW COMMITTEE MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
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RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
PHONE (352) 787-7482
FAX (352) 787-7412
keith@riddlenewman.com
CA# 00002883

**RIDDLE
NEWMAN
ENGINEERING INC.**
ESTABLISHED 1981

REV #1
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REV #99
REV #100

KEITH E. RIDDLE, P.E.
FLA. REG. NO. 36800

DATE: 5/23/24
PROJECT NO: 23.09

ST. MARK THE EVANGELIST CATHOLIC CHURCH
MARION COUNTY
FLORIDA

SHEET NO.
C1.1

LEGAL DESCRIPTION (Official Records Book 2751, Page 1040)

Commencing at the Southwest corner of the Northwest 1/4 of Section 29, Township 17 South, Range 23 East, and run thence, S 89°35'44" E, 448.00 feet to the Point of Beginning, From the Point of Beginning, continue, S 89°35'44" E 40.00 feet; thence N 00°02'19" W, 266.55 feet, to a rebar & cap; thence, S 89°35'44" E, 164.00 feet to a rebar & cap; thence, S 00°02'19" E, 266.55 feet; thence, S 89°35'44" E, 673.52 feet; thence, N 00°00'12" E, along the East boundary of the West 1/2 of the said Northwest 1/4, 1290.90 feet, to an intersection with the South boundary of Charles & Vicki Couture extended, and the East boundary of the West 1/2; thence, S 88°47'32" W 878.62 feet to a 4x4 concrete monument; thence S 00°02'19" E, 1266.19 feet to the Point of Beginning.

CONCURRENCY NOTE

THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE UTILITY DEPARTMENT 2 WEEKS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.

TRAFFIC DATA

LAND USE: CHURCH

LAND USE CODE: 560

ITE 9TH ADDITION

EXISTING TRAFFIC IS NOT EXPECTED TO CHANGE BASED ON THIS NEW BUILDING.

GENERAL NOTES

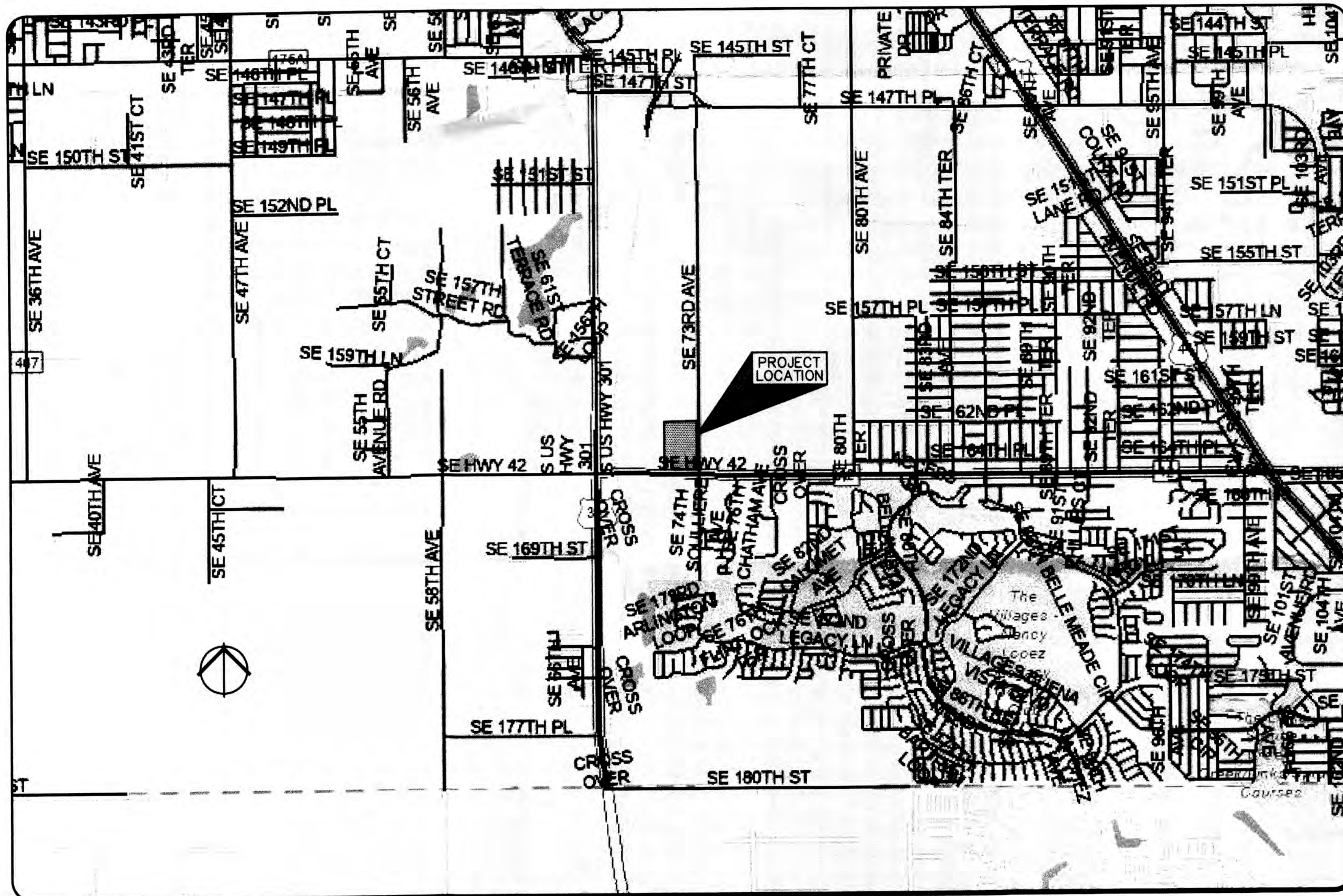
- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY SOUTHEASTERN SURVEYING, DATED 8/24/23.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH MARION COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
- ALL DISTURBED OPEN AREAS SHALL BE SODDED OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
- CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- ALL WATER & SEWER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH MARION COUNTY UTILITY REQUIREMENTS. CONSTRUCTION OF UTILITIES SHALL BE INSPECTED BY MARION COUNTY UTILITIES (MCU). CONTACT MCU CONSTRUCTION OFFICE MARK RUDOWSKIE AT 352-843-0476.
- ANY SOIL MATERIAL (EITHER ON-SITE OR IMPORTED) UTILIZED FOR THE CONSTRUCTION OF RETENTION SWALES OR RETENTION PONDS SHALL BE CLEAN FINE SAND (SP) AS DEFINED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. FINES (MATERIAL PASSING THE NO. 200 SIEVE) SHALL BE LESS THAN 5%.
- NO CHANGE TO THE WORK SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- WATER: POTABLE WATER WILL BE PROVIDED BY MARION COUNTY UTILITIES DEPARTMENT. ON-SITE WATERMAINS WILL BE OWNED AND MAINTAINED BY OWNER.
- SEWER: WASTEWATER COLLECTION WILL BE PROVIDED BY MARION COUNTY UTILITIES DEPARTMENT. ON-SITE SEWER WILL BE OWNED AND MAINTAINED BY OWNER.
- GARBAGE: SOLID WASTE PICKUP WILL BE PROVIDED BY A CENTRAL WASTE HAULER.
- EASEMENTS: ALL EASEMENTS ARE DESIGNATED ON THE PLANS.
- FEMA DESIGNATION: THE PROJECT LIES WITHIN FEMA FLOOD ZONE "X", AN AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS PER FOR FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 120160 09050, EFFECTIVE AUGUST 28, 2008.
- DRAINAGE: DRAINAGE HAS BEEN PREVIOUSLY MASTER PLANNED FOR THE DEVELOPMENT. THE PROJECT WILL CONNECT TO EXISTING DRAINAGE PIPES WHICH DRAINAGE RETENTION AREA WILL BE OWNED AND MAINTAINED BY THE OWNER.
- ALL ROADS, PAVING, DRA'S AND DRAINAGE EASEMENTS ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY OWNER.

RECEIVED

NOV 12 2024

Marion County
Office of the County Engineer

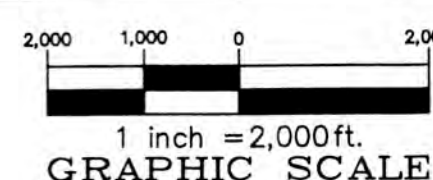
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.
DATE: 5/16/24
P.E.
KEITH E. RIDDLE, P.E.



SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST • MARION COUNTY, FLORIDA



LOCATION PLAN
SCALE: 1"=2,000'



SITE DATA

PARCEL ID# 47667-001-00
TOTAL AREA = 965,213 sq.ft. (22.16 ac.)
PROJECT AREA = 39,104 sq.ft. (0.90 ac.)
EXISTING IMPERVIOUS AREA = 346,828 sq.ft. (7.96 ac.)
EXISTING BUILDINGS = 55,079 sq.ft.
EXISTING ASPHALT = 238,086 sq.ft.
EXISTING CONCRETE = 53,663 sq.ft.
PROPOSED IMPERVIOUS AREA = 14,033 sq.ft. (0.32 ac.)
PROPOSED BUILDING = 6,511 sq.ft.
PROPOSED ASPHALT = 4,320 sq.ft.
PROPOSED CONCRETE = 3,202 sq.ft.
TOTAL IMPERVIOUS AREA = 360,861 sq.ft. (8.28 ac.)
PERCENT IMPERVIOUS AREA = 37.4% (of total area)

FLOOD ZONE = "X"
ZONING = "A-1"
FUTURE LAND USE = "RL" RURAL LAND
OVERLAY ZONE = SECONDARY SPRING PROTECTION ZONE

EXISTING USE OF SITE = CHURCH
PROPOSED USE OF SITE = CHURCH
EXISTING BUILDING SQUARE FOOTAGE = 55,079 sq.ft.
PROPOSED BUILDING SQUARE FOOTAGE = 6,511 sq.ft.
TOTAL BUILDING SQUARE FOOTAGE = 61,590 sq.ft.

PARKING CALCULATIONS:
NUMBER OF SEATS IN SANCTUARY = 1,213 SEATS
PARKING REQUIRED = 1 per 3 seats = 404 spaces
EXISTING PARKING PROVIDED = 451 spaces
REGULAR PARKING = 313 spaces
HANDICAP PARKING = 46 spaces
GRASSED PARKING = 92 spaces
NEW PARKING PROVIDED = 20 spaces
REGULAR PARKING = 18 spaces
HANDICAP PARKING = 2 spaces
TOTAL PARKING PROVIDED = 471 spaces

ALL CONSTRUCTION COVERED BY THESE PLANS COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.
Owner
Bishop John Noonan, Diocese of Orlando
DATE: 11/4/2024

SHEET INDEX

C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	MASTER PLAN
C3.1	GEOMETRY PLAN
C4.1	GRADING & DRAINAGE PLAN
C5.1	UTILITY PLAN
C6.1	DETAILS
C7.1-C7.2	MARION COUNTY DETAILS

OWNER

Diocese of Orlando
Attn: Bishop John Noonan
50 East Robinson Street
Orlando, Florida 32802
Phone (407) 246-4944

ARCHITECT

Tommy Hagood, AIA
L2 Studios, Inc.
109 East Church Street, Suite 150
Orlando, Florida 32801
Phone (407) 648-8888

ENGINEER

Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
115 North Canal Street
Leesburg, Florida 34748
Phone (352) 787-7482
Fax (352) 787-7412

SURVEYOR

Steven Fensterer
Southeastern Surveying and Mapping Corporation
550 South Highland Street
Mount Dora, Florida 32757
Phone (352) 343-4880

CONSTRUCTION DOCUMENTS

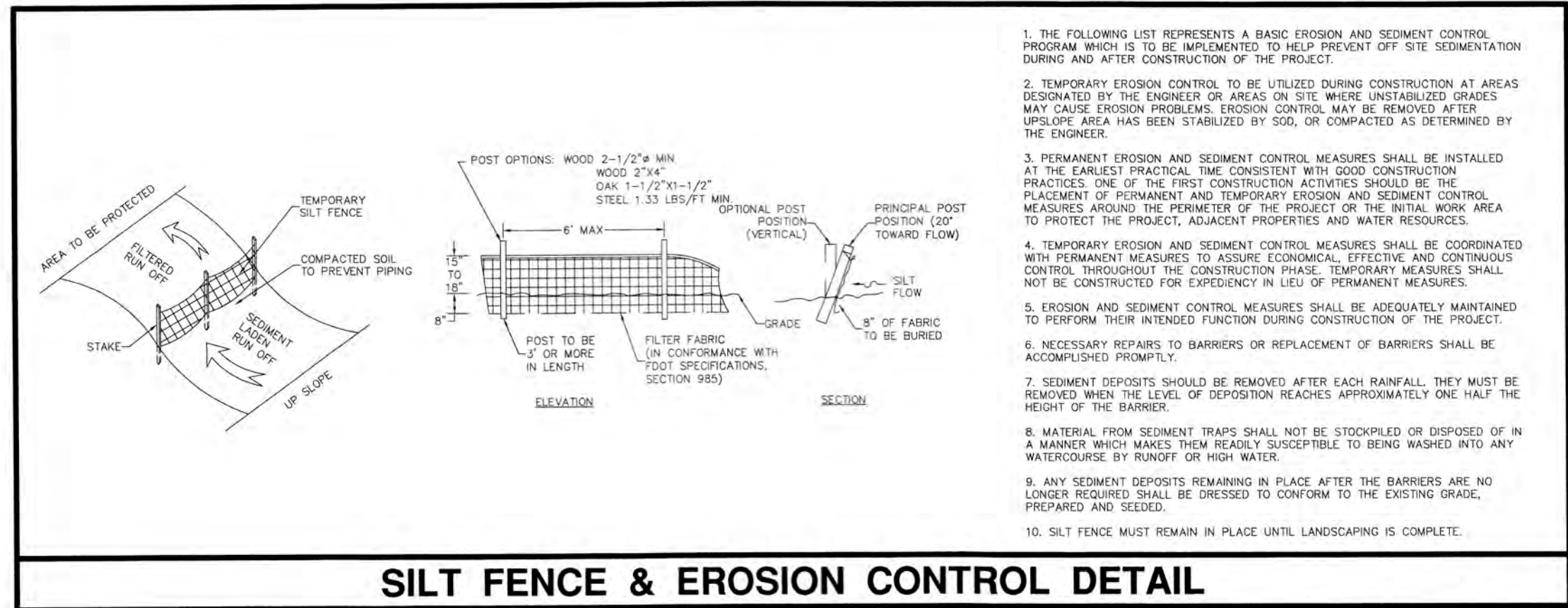
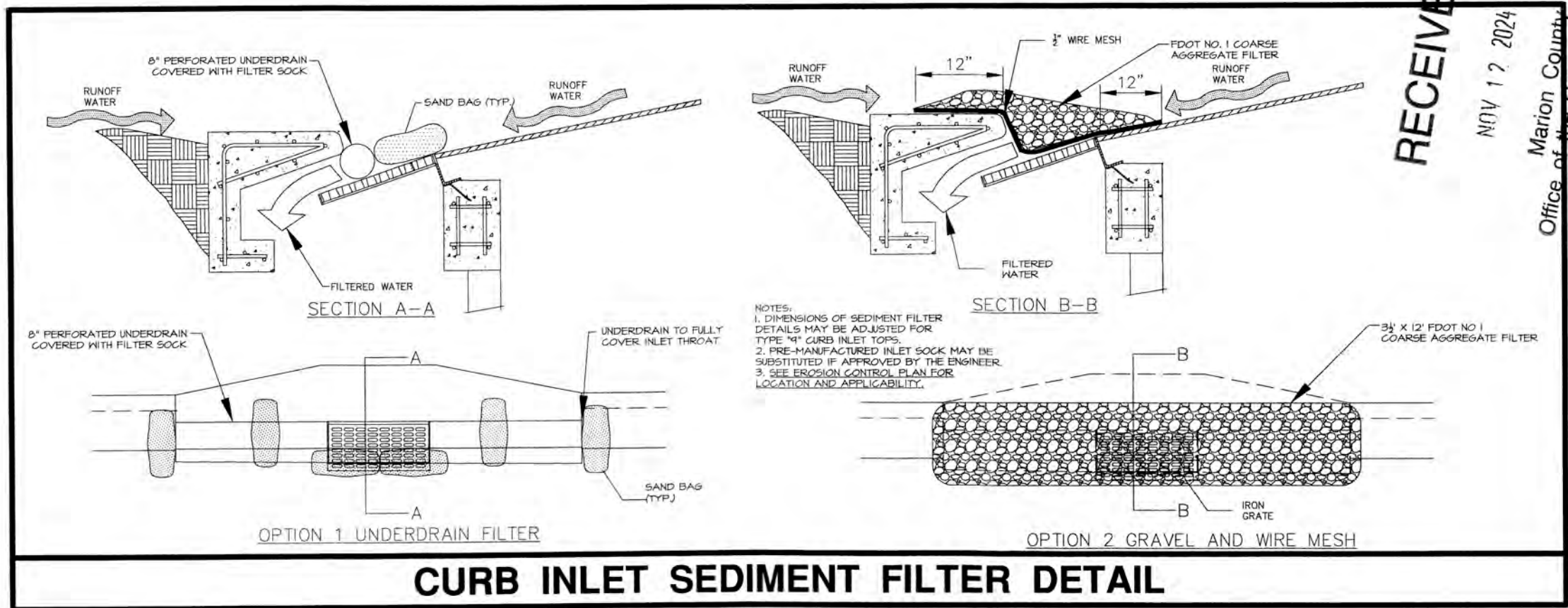
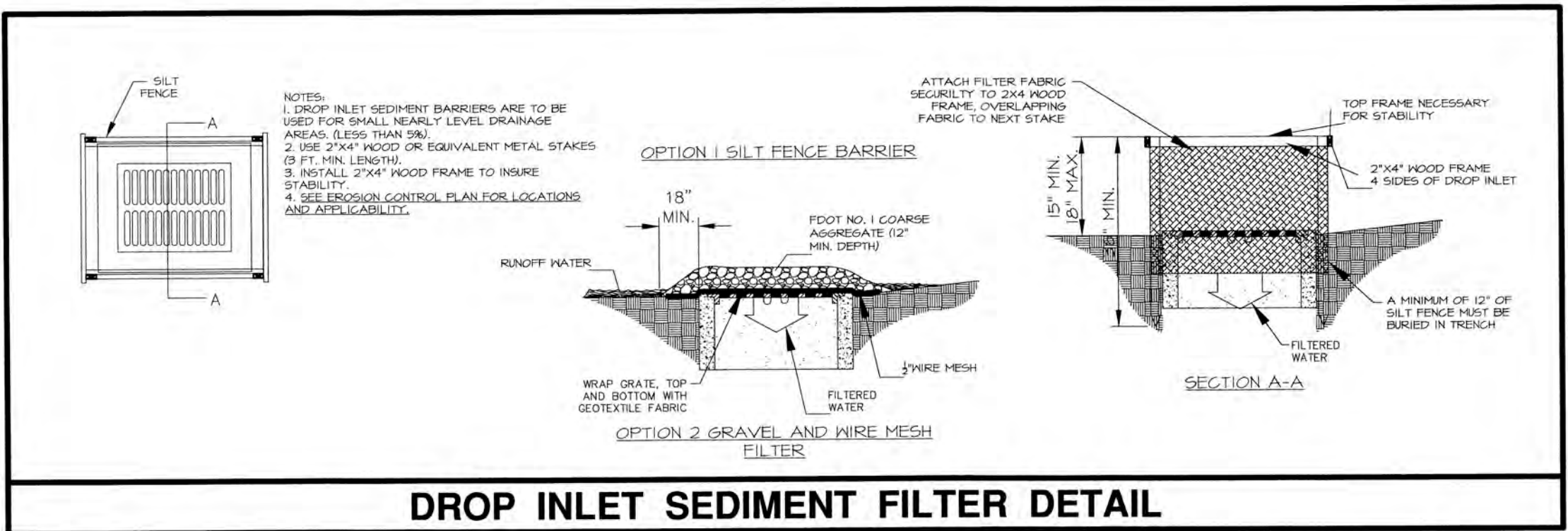
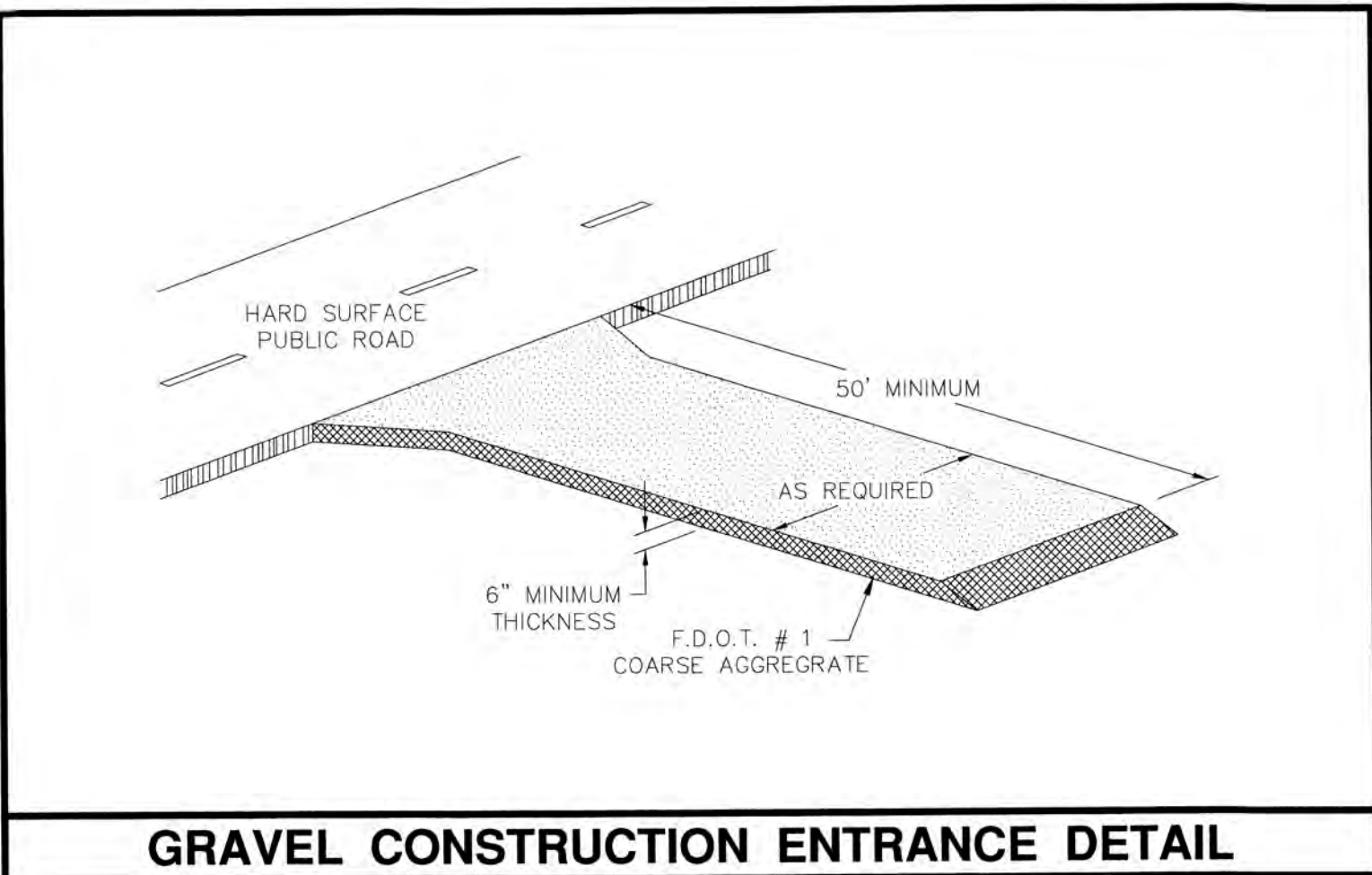
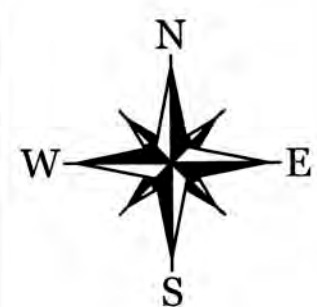
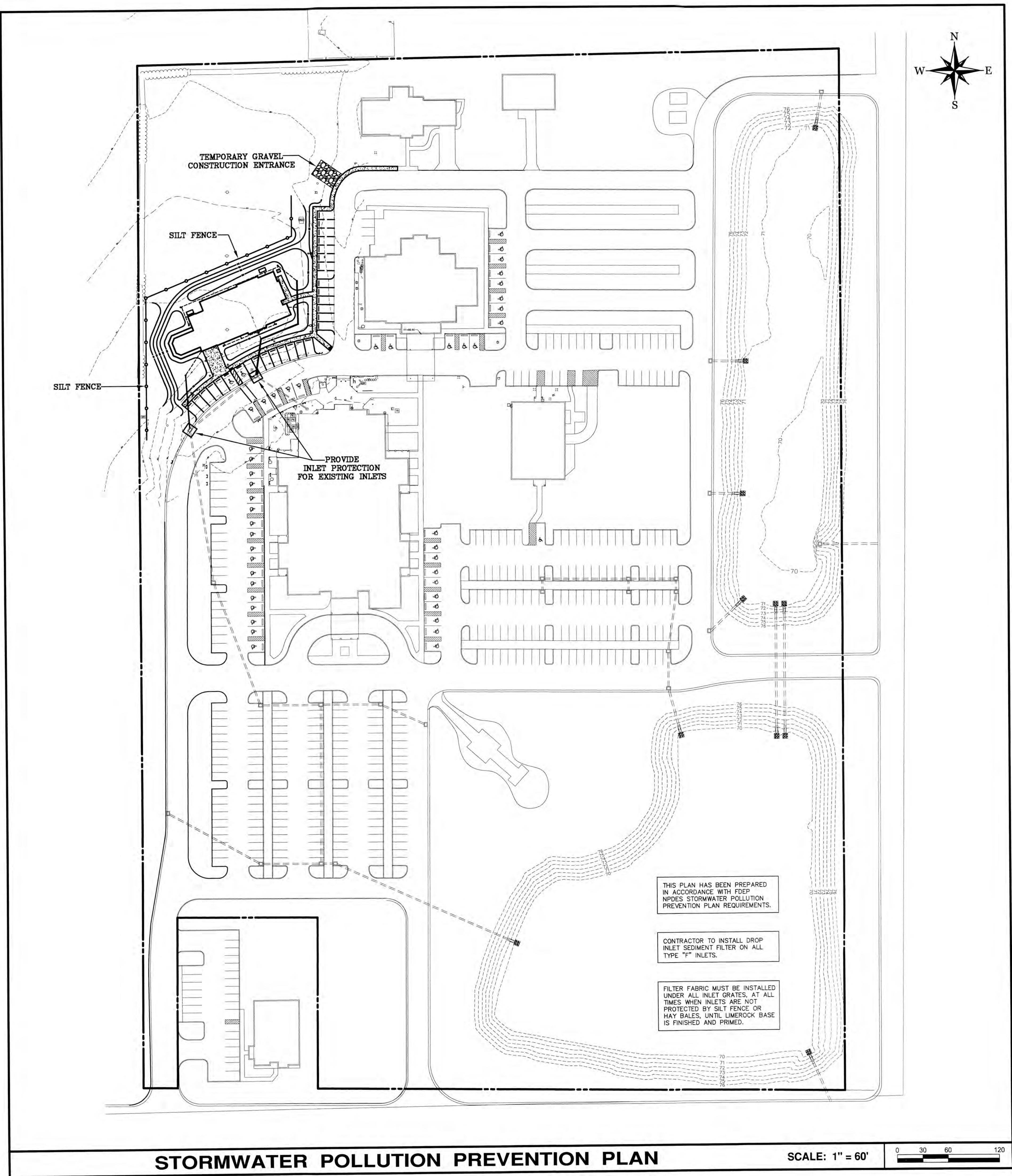
MAJOR SITE PLAN

ST. MARK THE EVANGELIST CATHOLIC CHURCH

SHEET NO.

C1.1

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NPDES REQUIREMENTS

STORMWATER POLLUTION PREVENTION PLAN MAJOR SITE PLAN

ST. MARK THE EVANGELIST CATHOLIC CHURCH FLORIDA

RECEIVED NOV 17 2024

Office of the County Engineer Marion County

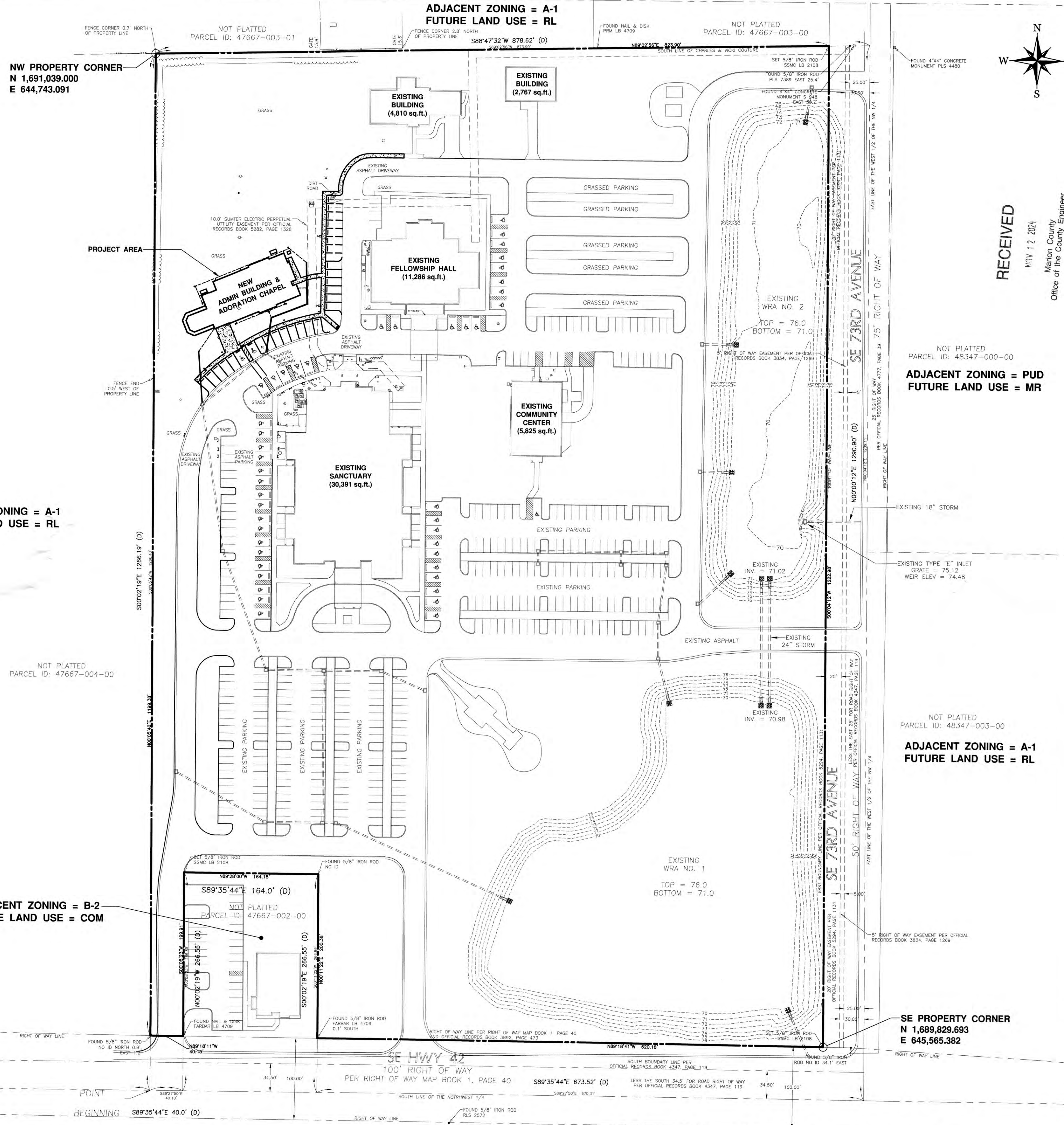
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REVISED PER MARION COUNTY 8/9/24

KEITH E. RIDDLE, P.E. FLA. REGIS. NO. 38600

DRAWN: R.S.H. CHECKED: K.E.R. SCALE: 1"=60' DATE: 5/23/24 PROJECT NO: 23.09

SHEET NO. C1.2



DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

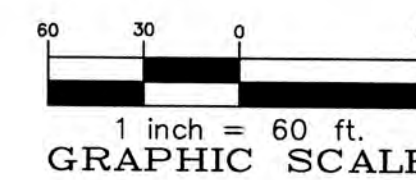
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LEGEND & ABBREVIATIONS:

- TBR = TO BE REMOVED
- PVC = POLYVINYL CHLORIDE PIPE
- CPP = CORRUGATED PLASTIC PIPE
- INV = INVERT
- FF = FINISH FLOOR ELEVATION
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- ID = IDENTIFICATION
- (D) = DEED
- PLS = PROFESSIONAL LAND SURVEYOR
- RLS = REGISTERED LAND SURVEYOR
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
- PRM = PERMANENT REFERENCE MONUMENT
- NAD = NORTH AMERICAN DATUM
- NAVD = NORTH AMERICAN VERTICAL DATUM
- TRAV.PT. = TRAVERSE POINT
- SSMC = SOUTHEASTERN SURVEYING & MAPPING CORPORATION
- AC = AIR CONDITIONING UNIT
- AR = AIR RELEASE VALVE
- P = BACKFLOW PREVENTER
- B = BENCH
- BU = BUSH
- CM = CONCRETE MONUMENT
- CO = CLEAN OUT
- EF = ELECTRIC FIXTURE
- ESM = ELECTRIC SERVICE METER
- FDC = FIRE DEPARTMENT CONNECTION
- FGI = FLAT GRATE INLET
- FH = FIRE HYDRANT
- WS = WATER SPIGOT
- HO = HAND HOLE
- IR = IRON ROD
- IVB = IRRIGATION VALVE BOX
- LL = LANDSCAPE LIGHTING
- LP = LIGHT POLE
- NWD = NAIL W/DISC
- PB = POST/BOLLARD
- SM = SANITARY MANHOLE
- NTS = NON-TRAFFIC SIGN
- SP = SERVICE POLE
- TSO = TRANSFORMER ON SLAB
- V = VAULT
- W = WATER METER
- WV = WATER VALVE
- YD = YARD DRAIN
- XL = CHAINLINK FENCE
- WB = BARBED WIRE FENCE
- BE = BURIED ELECTRIC LINE
- COMM = COMMUNICATION LINE
- WL = WATER LINE
- SAN = SANITARY SEWER

SIZE SHOWN IS TRUNK DIAMETER
IN INCHES MEASURED AT CHEST
HEIGHT

- P = PALM
- C = CABBAGE
- T = TREE
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- M = MAPLE
- O = OAK
- UK = UNKNOWN



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PHONE (352) 787-7482
FAX (352) 787-7412
keith@riddnewman.com
CA# 00002853

RIDDLE NEWMAN ENGINEERING INC.
ESTABLISHED 1961

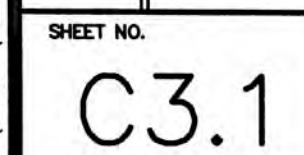
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8/6/24

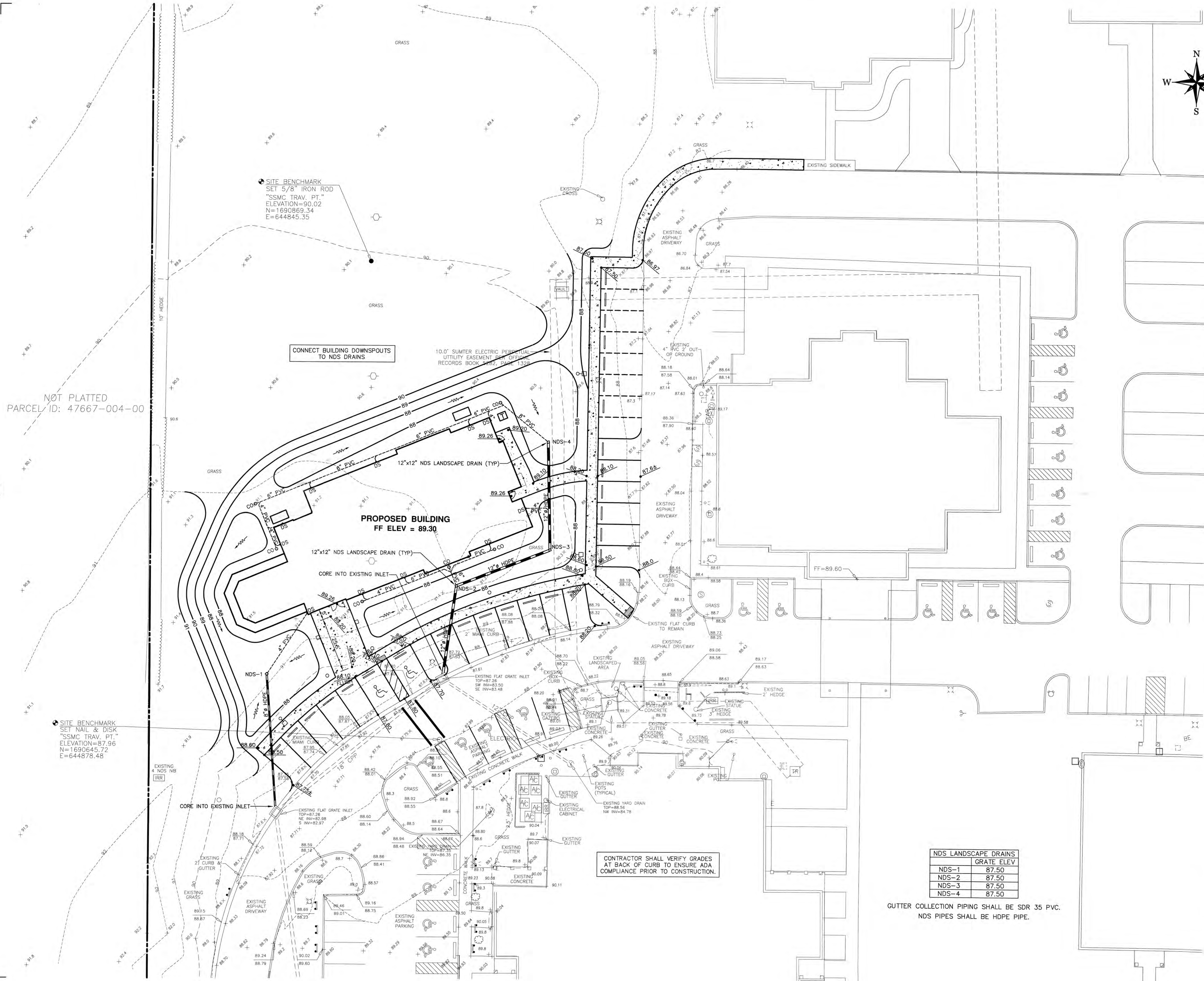
KEITH E. RIDDLE, P.E.
FLA. REG. NO. 38800

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=60'
DATE: 5/23/24
PROJECT NO: 23.09

MASTER PLAN
MAJOR SITE PLAN
ST. MARK THE EVANGELIST CATHOLIC CHURCH
FLORIDA
MARION COUNTY

SHEET NO.
C2.1





DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

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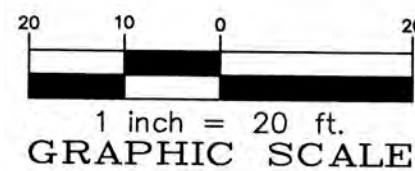
Marion County
Office of the County Engineer

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SIZE SHOWN IS TRUNK DIAMETER
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keith@riddlenewman.com
CA# 00002883

RIDDLE
NEWMAN
ENGINEERING, INC.
ESTABLISHED 1981

REV #	DESCRIPTION	DATE
REV #1	ADDED NORTHING & EASTING TO BENCHMARKS	10/2/24
REV #2	REVISED PER MARION COUNTY	9/6/24

KEITH E. RIDDLE, P.E.
STATE OF FLORIDA,
PROFESSIONAL ENGINEER
LICENSE NO. 38800

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY KEITH E.
RIDDLE, P.E., ON THE DATE INDICATED
HERE. USER: A SHA AUTHENTICATION
CODE. PRINTED COPIES OF THIS
DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

DRAWN: R.S.H.	CHECKED: K.E.R.
SCALE: 1"=20'	DATE: 5/23/24
PROJECT NO: 23.09	

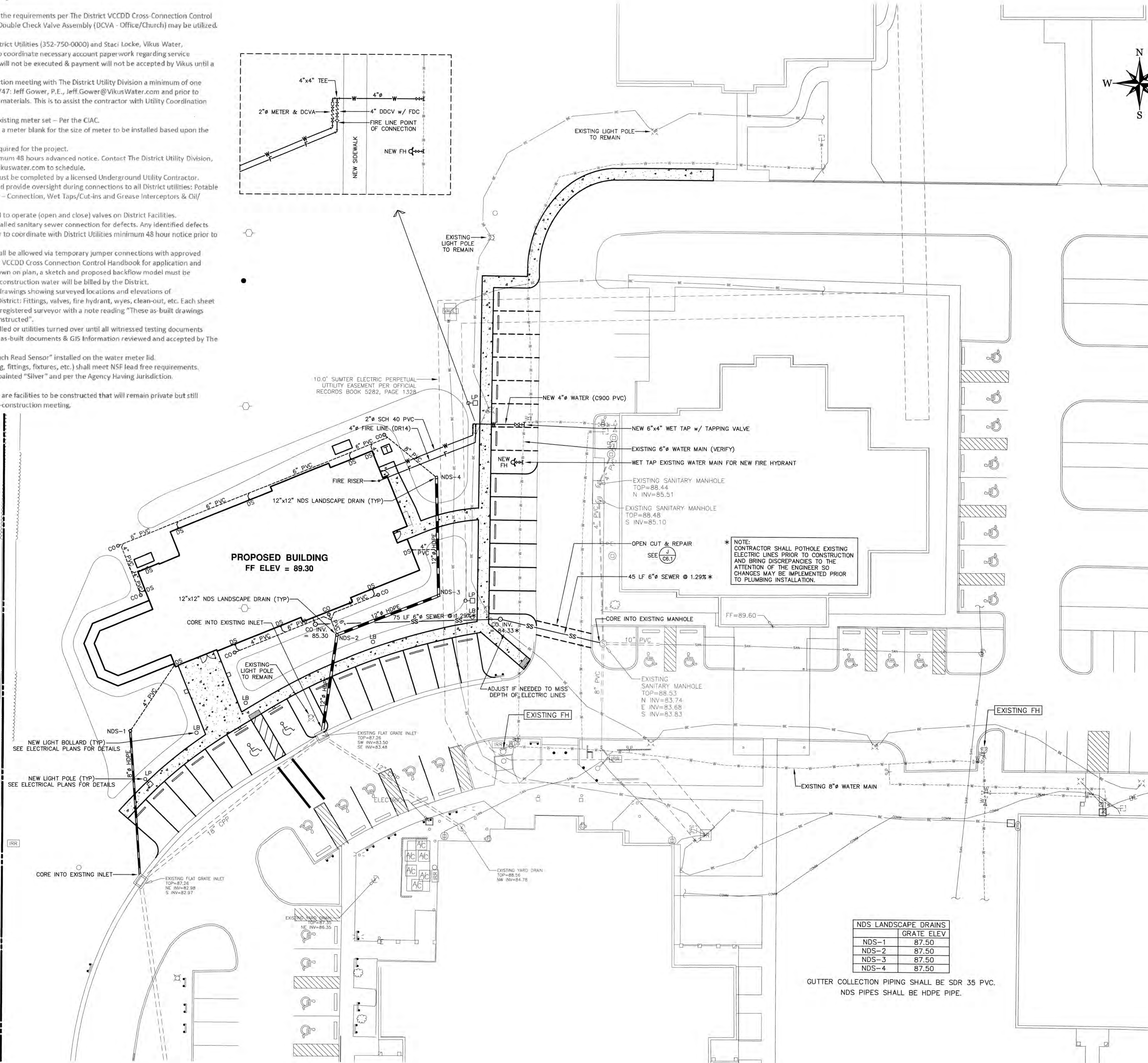
GRADING & DRAINAGE PLAN
MAJOR SITE PLAN
ST. MARK THE EVANGELIST CATHOLIC CHURCH
MARION COUNTY
FLORIDA

SHEET NO.
C4.1

VCCDD/LSSA General Utility Comments/Notes

- All backflow prevention devices are to meet the requirements per The District VCCDD Cross-Connection Control Handbook (latest edition). Per the Handbook, a Double Check Valve Assembly (DCVA - Office/Church) may be utilized.
- Account Coordination: Owner to contact District Utilities (352-750-0000) and Staci Locke, Vikus Water, (352-753-4747, Staci.Locke@VikusWater.com) to coordinate necessary account paperwork regarding service connections - water services and fees. The CIAC will not be executed & payment will not be accepted by Vikus until a pre-construction meeting is held.
- The Contractor shall schedule a pre-construction meeting with The District Utility Division a minimum of one week prior to start of construction at 352-753-4747: Jeff Gower, P.E., Jeff.Gower@VikusWater.com and prior to approval of shop drawings and delivery of utility materials. This is to assist the contractor with Utility Coordination items.
 - Site contractor, Vikus and Jacobs will verify existing meter set - Per the CIAC.
 - Jacobs/Vikus will provide the contractor with a meter blank for the size of meter to be installed based upon the approved plans and meter to be set.
 - Scheduling and coordinating inspections required for the project.
 - All inspections & connections require minimum 48 hours advanced notice. Contact The District Utility Division, Jeff Gower, P.E. - 352-753-4747 or jeff.gower@vikuswater.com to schedule.
 - All connections to District infrastructure must be completed by a licensed Underground Utility Contractor.
 - District staff/operators must be present and provide oversight during connections to all District utilities: Potable - Wet Taps/Cut-ins/Connections, Sanitary Sewer - Connection, Wet Taps/Cut-ins and Grease Interceptors & Oil/Water Separators.
 - Only District staff/operators are authorized to operate (open and close) valves on District Facilities.
 - District staff/operators shall CCTV the installed sanitary sewer connection for defects. Any identified defects shall be resolved prior to acceptance. Contractor to coordinate with District Utilities minimum 48 hour notice prior to connection to coordinate CCTV the main.
 - If required, construction water for testing shall be allowed via temporary jumper connections with approved backflow prevention device. Refer to The District VCCDD Cross Connection Control Handbook for application and requirements. If temporary connection is not shown on plan, a sketch and proposed backflow model must be submitted and approved prior to installation. All construction water will be billed by the District.
 - Engineer/Contractor shall supply As-built drawings showing surveyed locations and elevations of appurtenances to be owned/maintained by the District: Fittings, valves, fire hydrant, wyes, clean-out, etc. Each sheet of the plans shall be signed, sealed and dated by registered surveyor with a note reading "These as-built drawings accurately depict the actual improvements as constructed".
 - User will not have final water meters installed or utilities turned over until all witnessed testing documents have been provided, inspections completed, and as-built documents & GIS Information reviewed and accepted by The District.
 - All Water meters shall be installed with "Touch Read Sensor" installed on the water meter lid.
 - All potable water system components (piping, fittings, fixtures, etc.) shall meet NSF lead free requirements.
 - Private fire hydrants to be "Mueller A-423" painted "Silver" and per the Agency Having Jurisdiction.
- Items not standard for this project where there are facilities to be constructed that will remain private but still served by The District. To be discussed at the pre-construction meeting.

FIRE HYDRANT NOTE:
ONCE ALL FIRE HYDRANTS HAVE BEEN INSTALLED, CONTRACTOR SHALL RETAIN A THIRD PARTY SUB-CONTRACTOR TO TEST AND PAINT EACH HYDRANT PER NFPA 291 AND PROVIDE THE HYDRANT FLOW DATA TO MARION COUNTY. TESTING TO BE WITNESSED BY THE MARION COUNTY FIRE INSPECTOR.



NDS LANDSCAPE DRAINS	
	GRATE ELEV
NDS-1	87.50
NDS-2	87.50
NDS-3	87.50
NDS-4	87.50

GUTTER COLLECTION PIPING SHALL BE SDR 35 PVC.
NDS PIPES SHALL BE HDPE PIPE.

DEVELOPMENT REVIEW COMMITTEE MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

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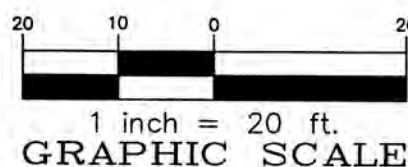
Marion County
Office of the County Engineer

LEGEND & ABBREVIATIONS:

- TBR = TO BE REMOVED
- PVC = POLYVINYL CHLORIDE PIPE
- CPP = CORRUGATED PLASTIC PIPE
- INV = INVERT
- FF = FINISH FLOOR ELEVATION
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- ID = IDENTIFICATION
- (D) = DEED
- PLS = PROFESSIONAL LAND SURVEYOR
- RLS = REGISTERED LAND SURVEYOR
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
- PRM = PERMANENT REFERENCE MONUMENT
- NAD = NORTH AMERICAN DATUM
- NAVD = NORTH AMERICAN VERTICAL DATUM
- TRAV.PT. = TRAVERSE POINT
- SSMC = SOUTHEASTERN SURVEYING & MAPPING CORPORATION
- AC = AIR CONDITIONING UNIT
- AS = AIR RELEASE VALVE
- B = BACKFLOW PREVENTER
- h = BENCH
- B = BUSH
- C = CONCRETE MONUMENT
- CO = CLEAN OUT
- EF = ELECTRIC FIXTURE
- ESM = ELECTRIC SERVICE METER
- FDC = FIRE DEPARTMENT CONNECTION
- FGI = FLAT GRATE INLET
- FH = FIRE HYDRANT
- WS = WATER SPIGOT
- HD = HAND HOLE
- IR = IRON ROD
- IV = IRRIGATION VALVE BOX
- XL = LANDSCAPE LIGHTING
- LP = LIGHT POLE
- N/DISC = NAIL W/DISC
- P/BOLLARD = POST/BOLLARD
- SM = SANITARY MANHOLE
- NTS = NON-TRAFFIC SIGN
- SP = SERVICE POLE
- TO = TRANSFORMER ON SLAB
- V = VAULT
- WM = WATER METER
- WV = WATER VALVE
- YD = YARD DRAIN
- X- = CHAINLINK FENCE
- ***- = BARBED WIRE FENCE
- BE- = BURIED ELECTRIC LINE
- COMM- = COMMUNICATION LINE
- WL- = WATER LINE
- SAN- = SANITARY SEWER

SIZE SHOWN IS TRUNK DIAMETER
IN INCHES MEASURED AT CHEST
HEIGHT

- P = PALM
- C = CABBAGE
- T = TREE
- H = HOLLY
- M = MAPLE
- O = OAK
- UK = UNKNOWN



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CA# 00002883

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ESTABLISHED 1981

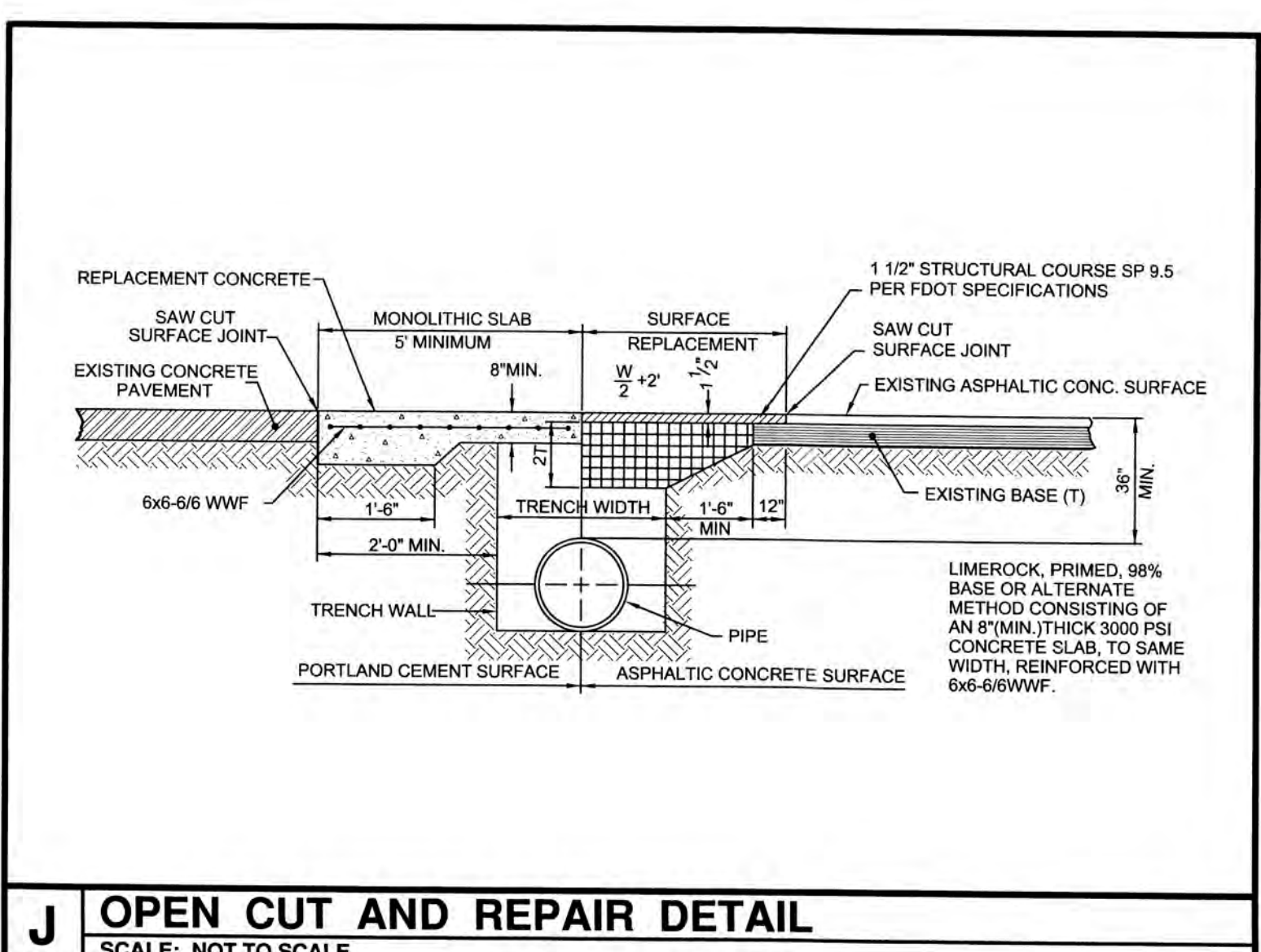
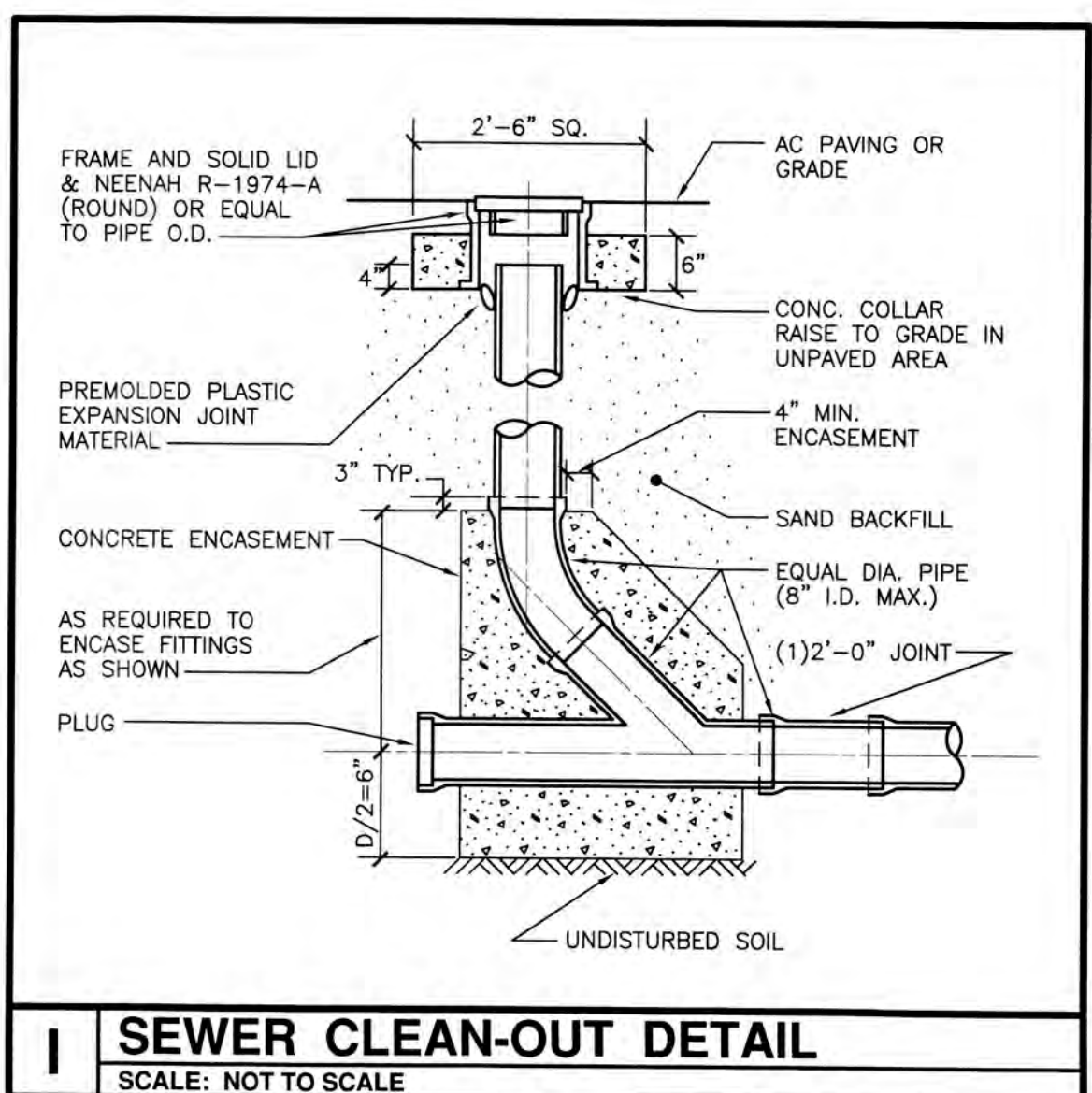
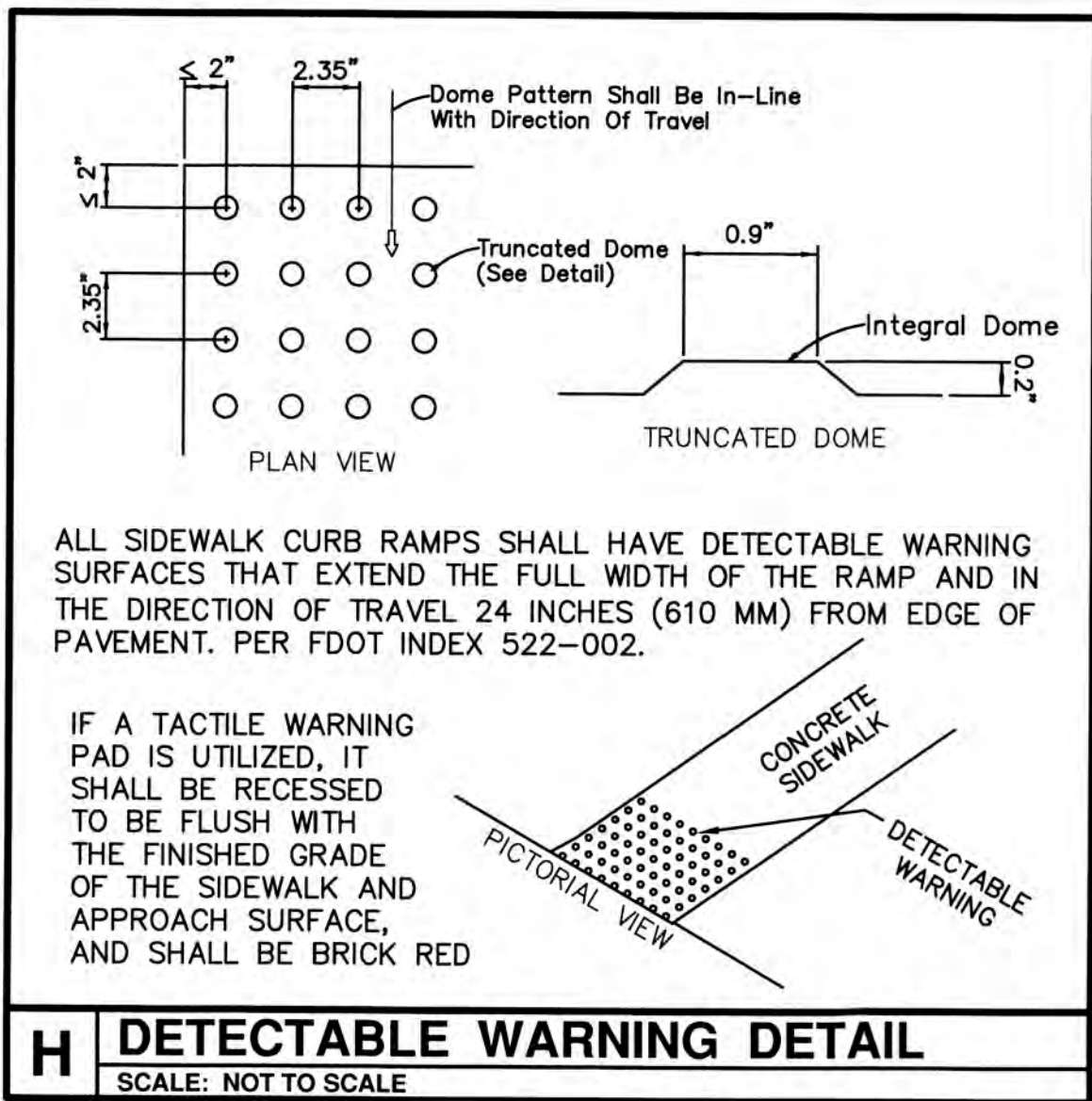
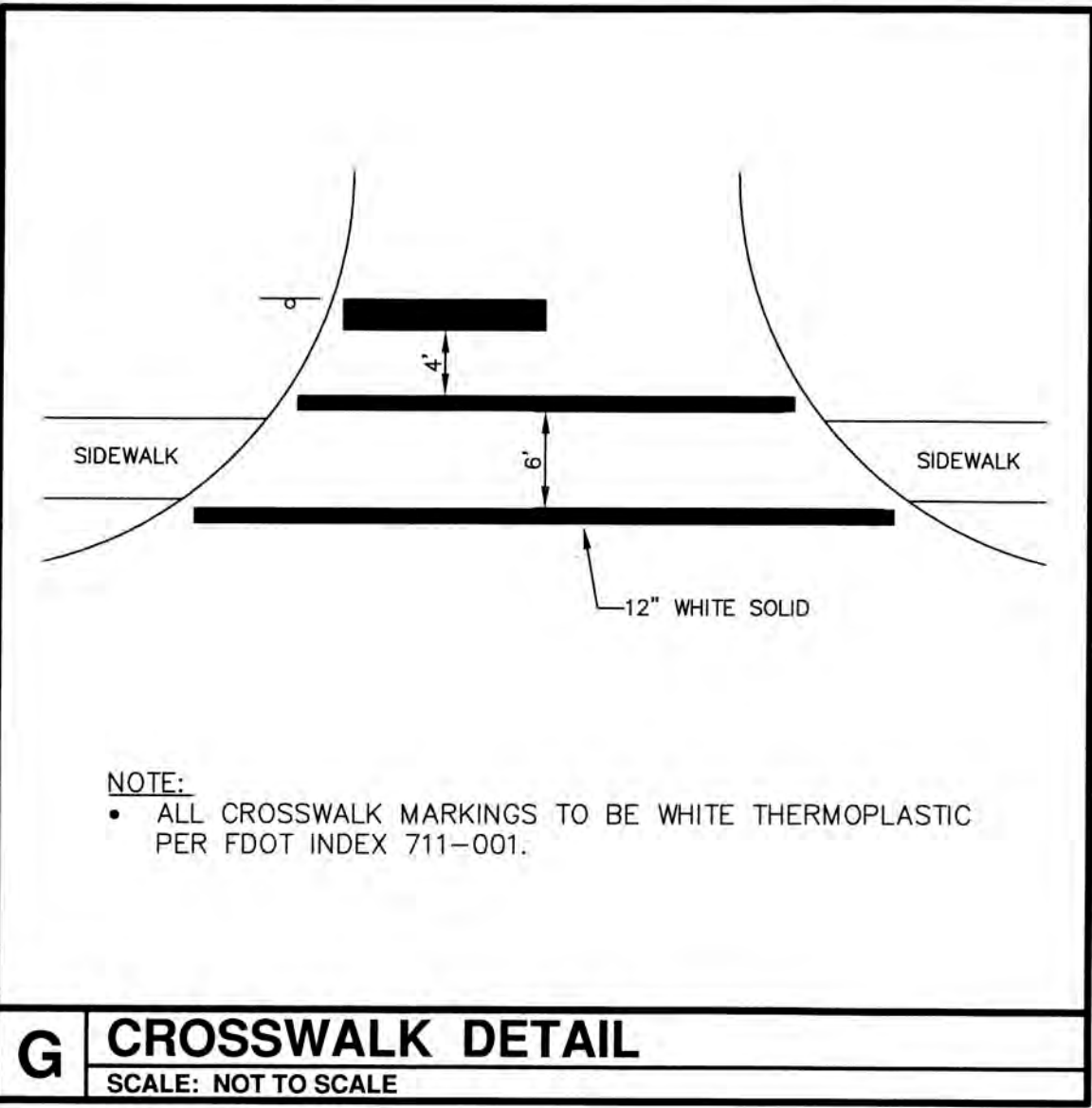
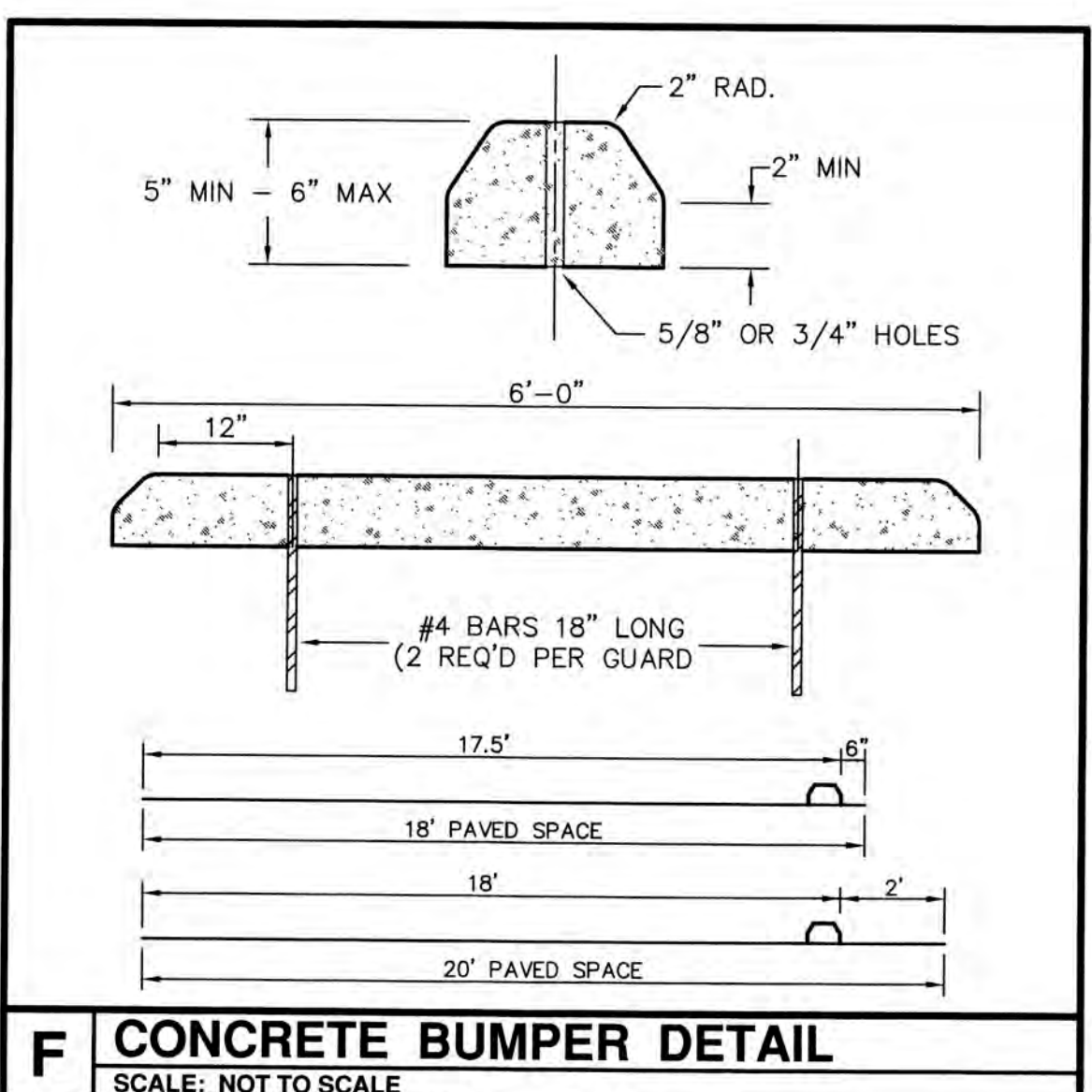
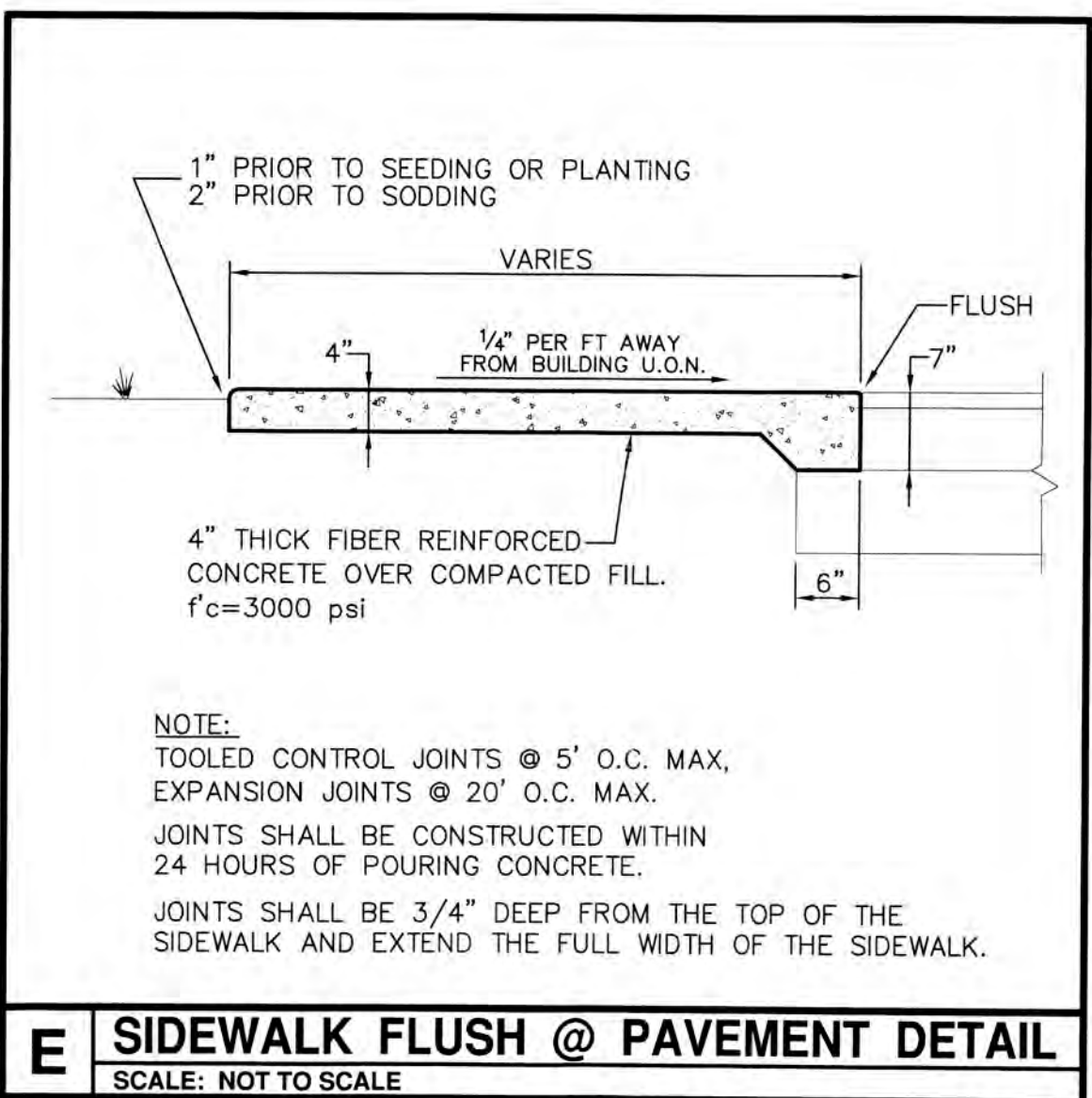
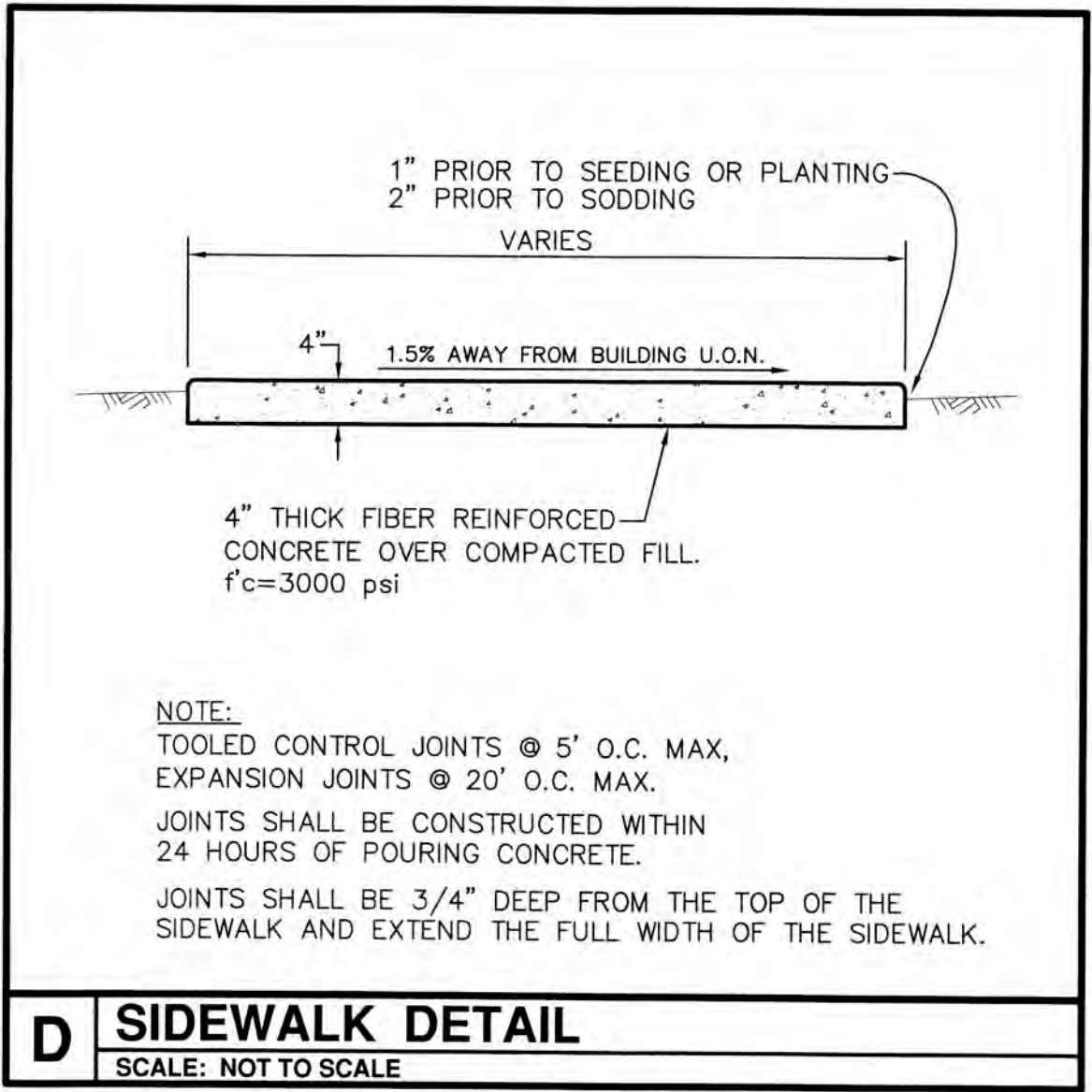
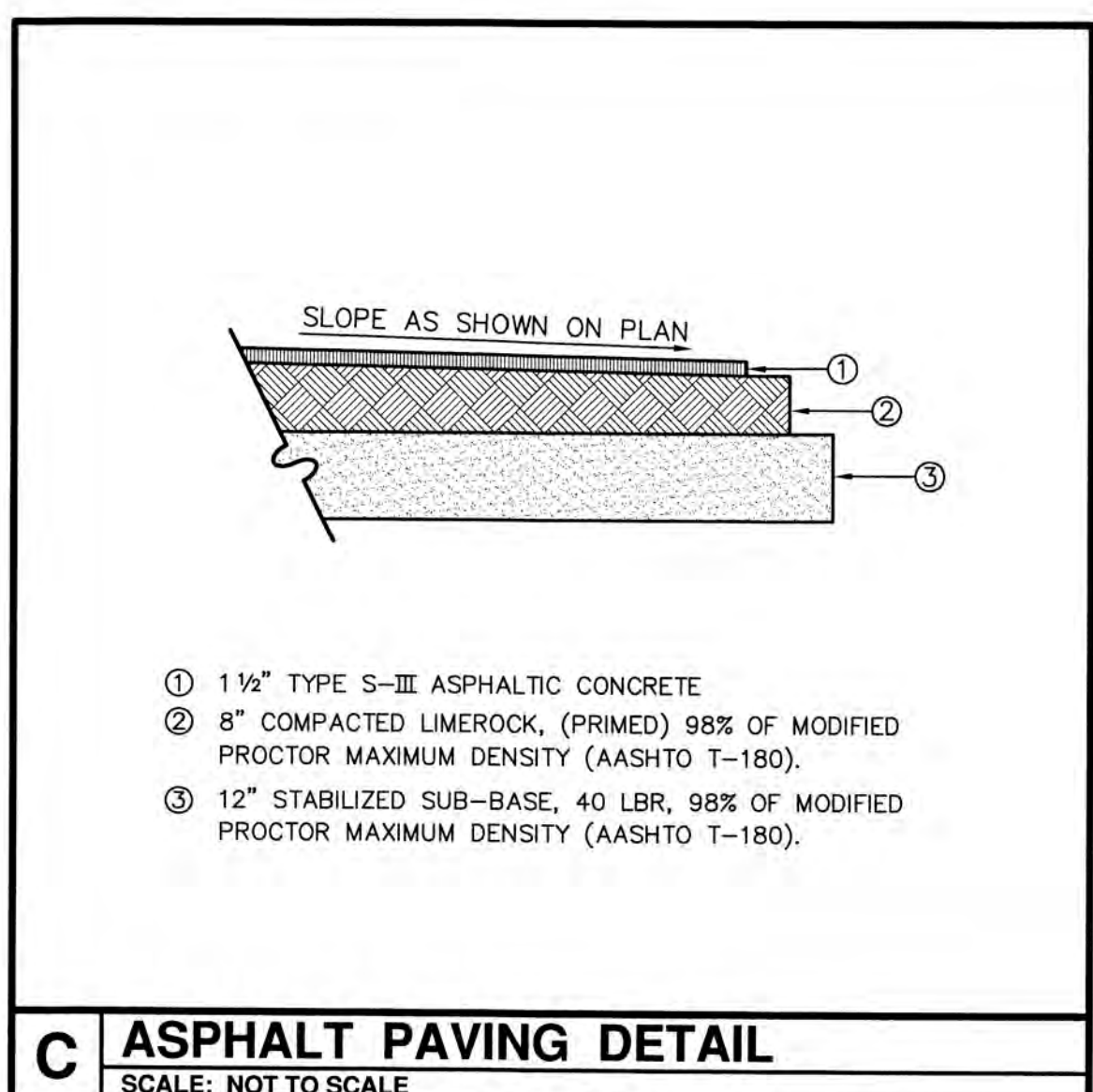
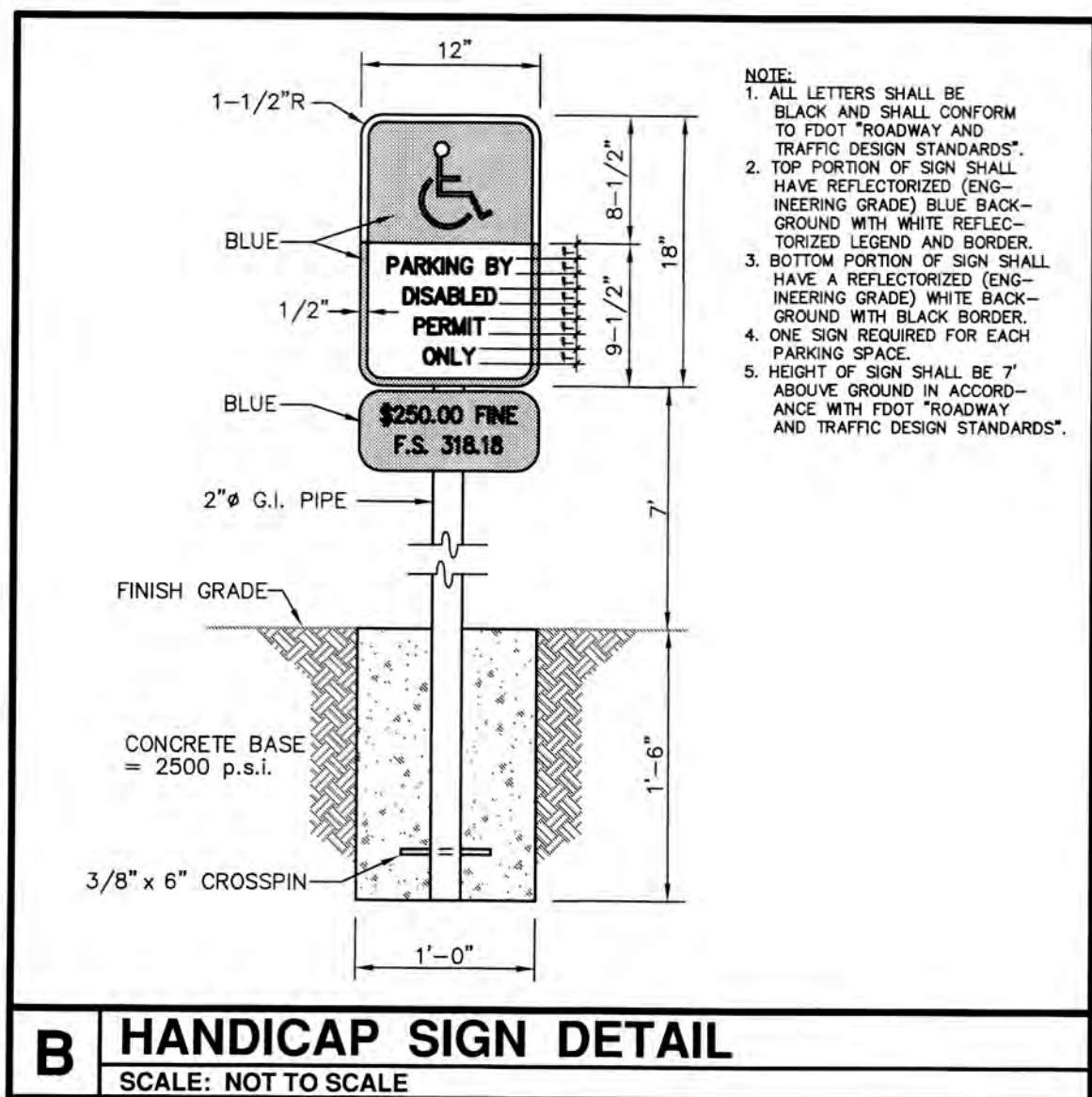
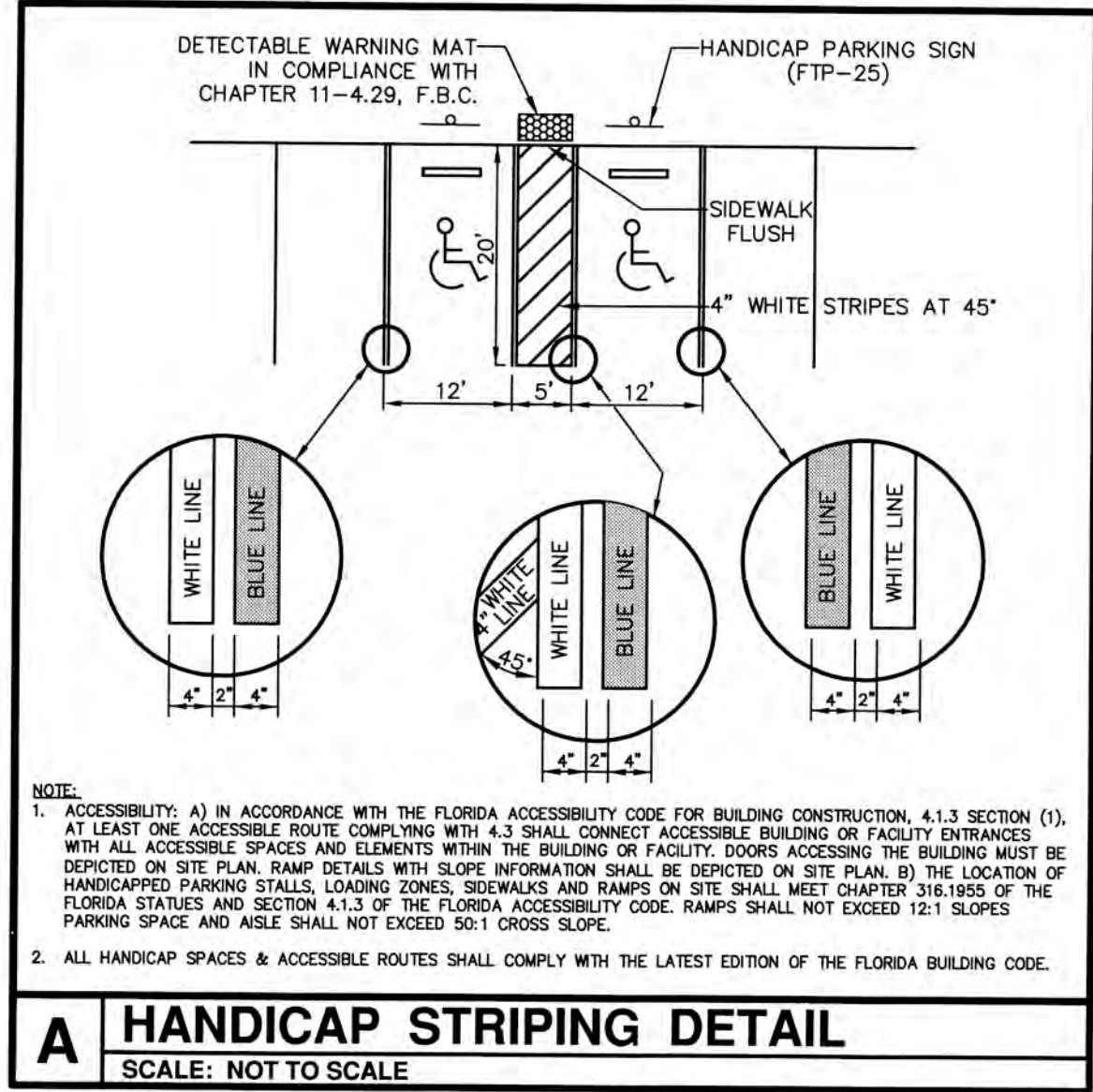
REV # REV # REV # REV #
8/6/24

KEITH E. RIDDLE, P.E.
FLA. REGS. NO. 36800

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=20'
DATE: 5/23/24
PROJECT NO: 23.09

UTILITY PLAN
MAJOR SITE PLAN
ST. MARK THE EVANGELIST CATHOLIC CHURCH
MARION COUNTY
FLORIDA

SHEET NO.
C5.1



DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

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Office of the County Engineer

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NEWMAN
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ESTABLISHED 1961

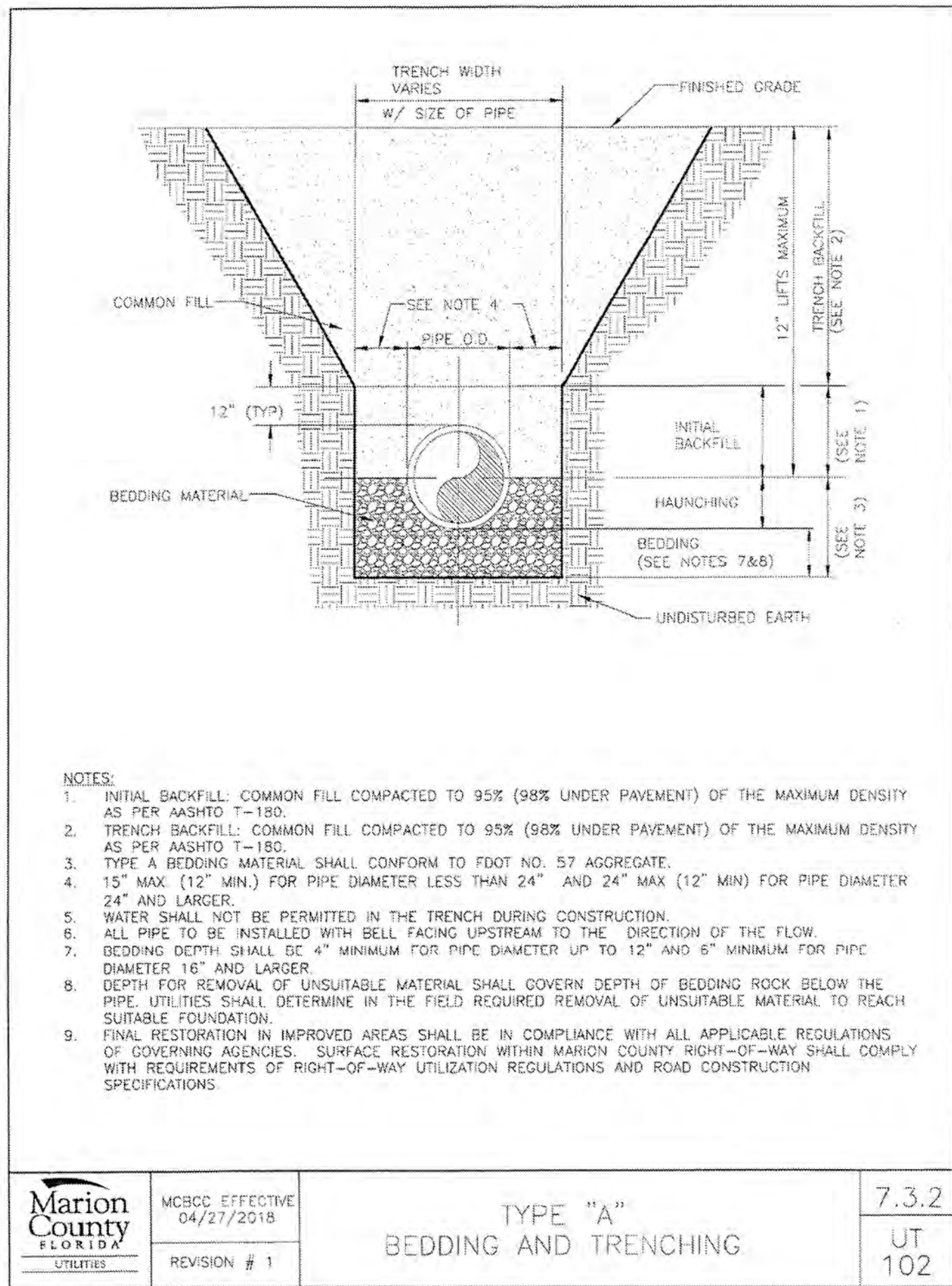
REV #1 REV #2 REV #3 REV #4
8/6/24

KEITH E. RIDDLE, P.E.
FLA. REGIS. NO. 38900

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: N.T.S.
DATE: 5/23/24
PROJECT NO: 23.09

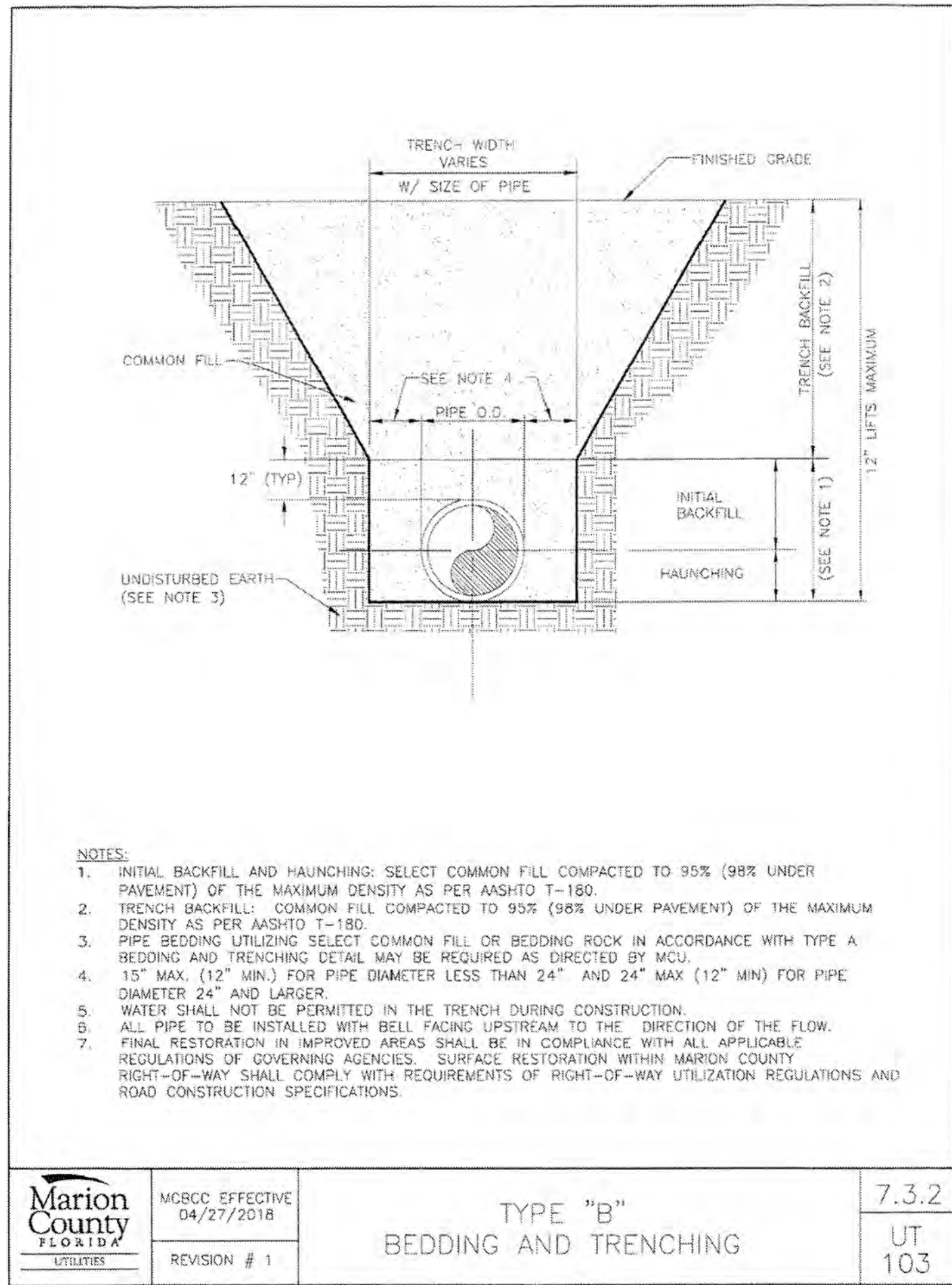
DETAILS
MAJOR SITE PLAN
ST. MARK THE EVANGELIST CATHOLIC CHURCH
MARION COUNTY
FLORIDA

SHEET NO.
C6.1



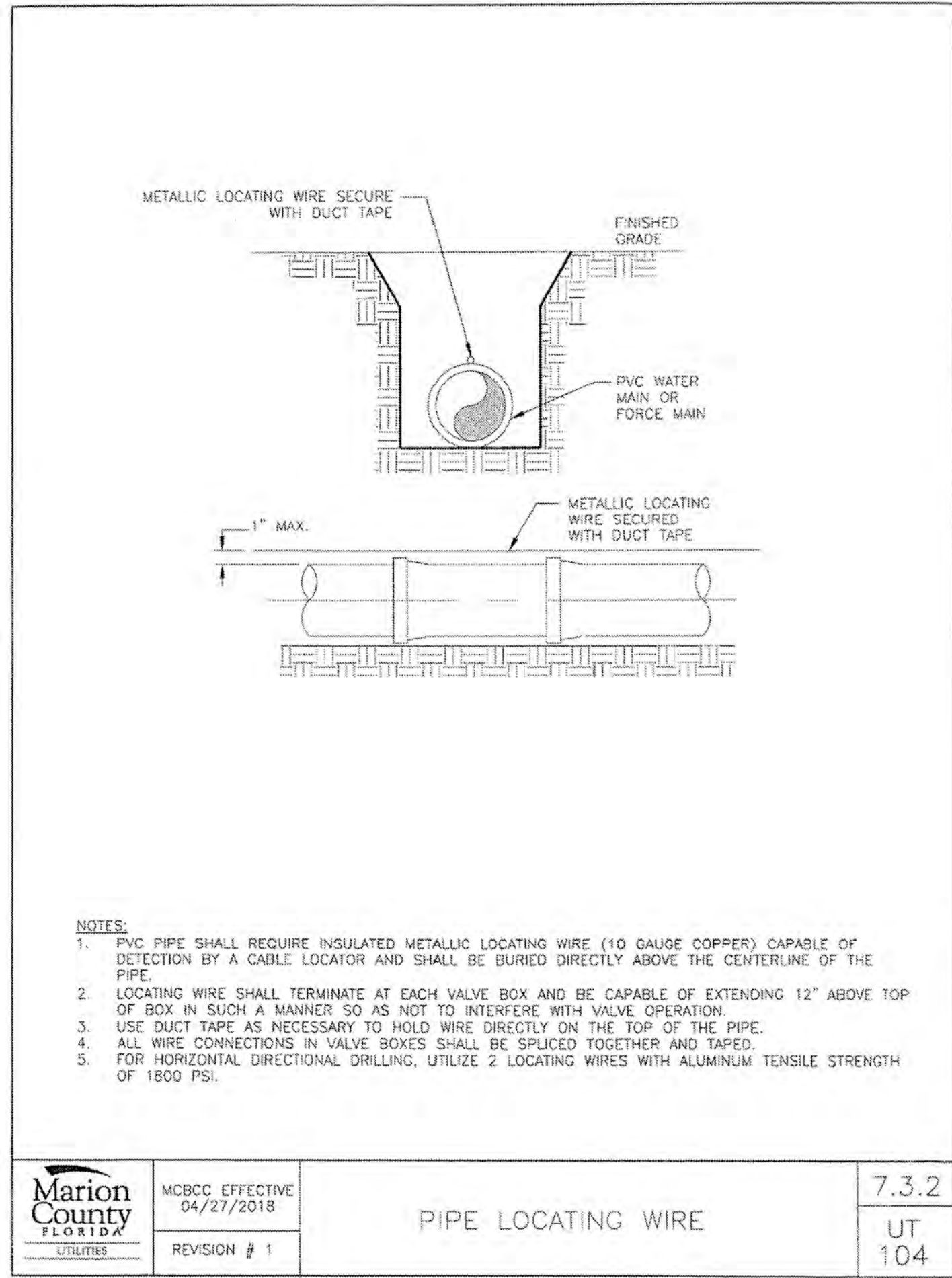
- NOTES:
1. INITIAL BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 4. 15" MAX (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
 8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

	MCBCC EFFECTIVE 04/27/2018	REVISION # 1	TYPE "A" BEDDING AND TRENCHING	7.3.2
				UT 102



- NOTES:
1. INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY MCU.
 4. 15" MAX (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

	MCBCC EFFECTIVE 04/27/2018	REVISION # 1	TYPE "B" BEDDING AND TRENCHING	7.3.2
				UT 103



- NOTES:
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE.
 2. LOCATING WIRE SHALL TERMINATE AT EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 3. USE DUCT TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.
 4. ALL WIRE CONNECTIONS IN VALVE BOXES SHALL BE SPLICED TOGETHER AND TAPED.
 5. FOR HORIZONTAL DIRECTIONAL DRILLING, UTILIZE 2 LOCATING WIRES WITH ALUMINUM TENSILE STRENGTH OF 1800 PSI.

	MCBCC EFFECTIVE 04/27/2018	REVISION # 1	PIPE LOCATING WIRE	7.3.2
				UT 104

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

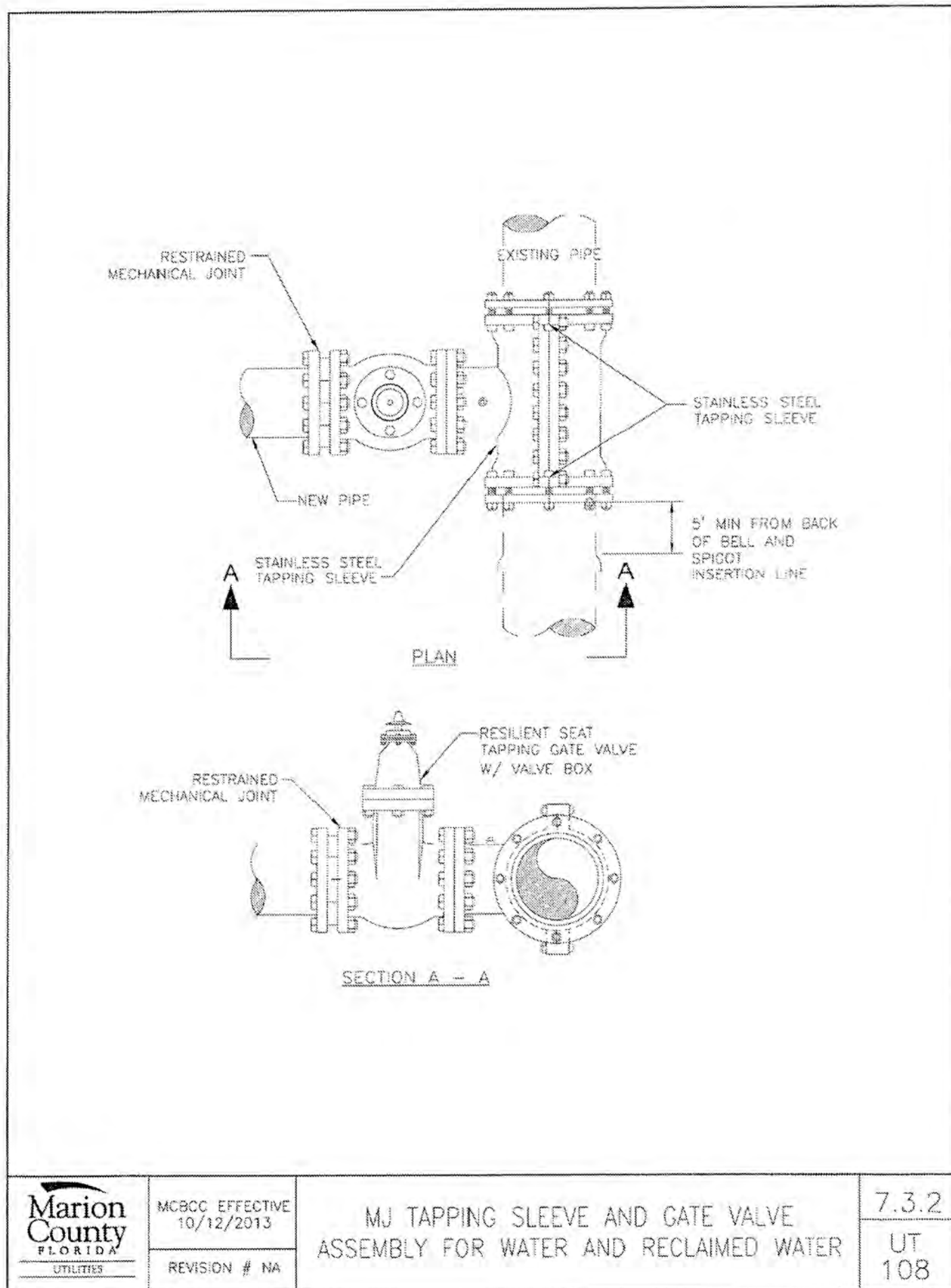
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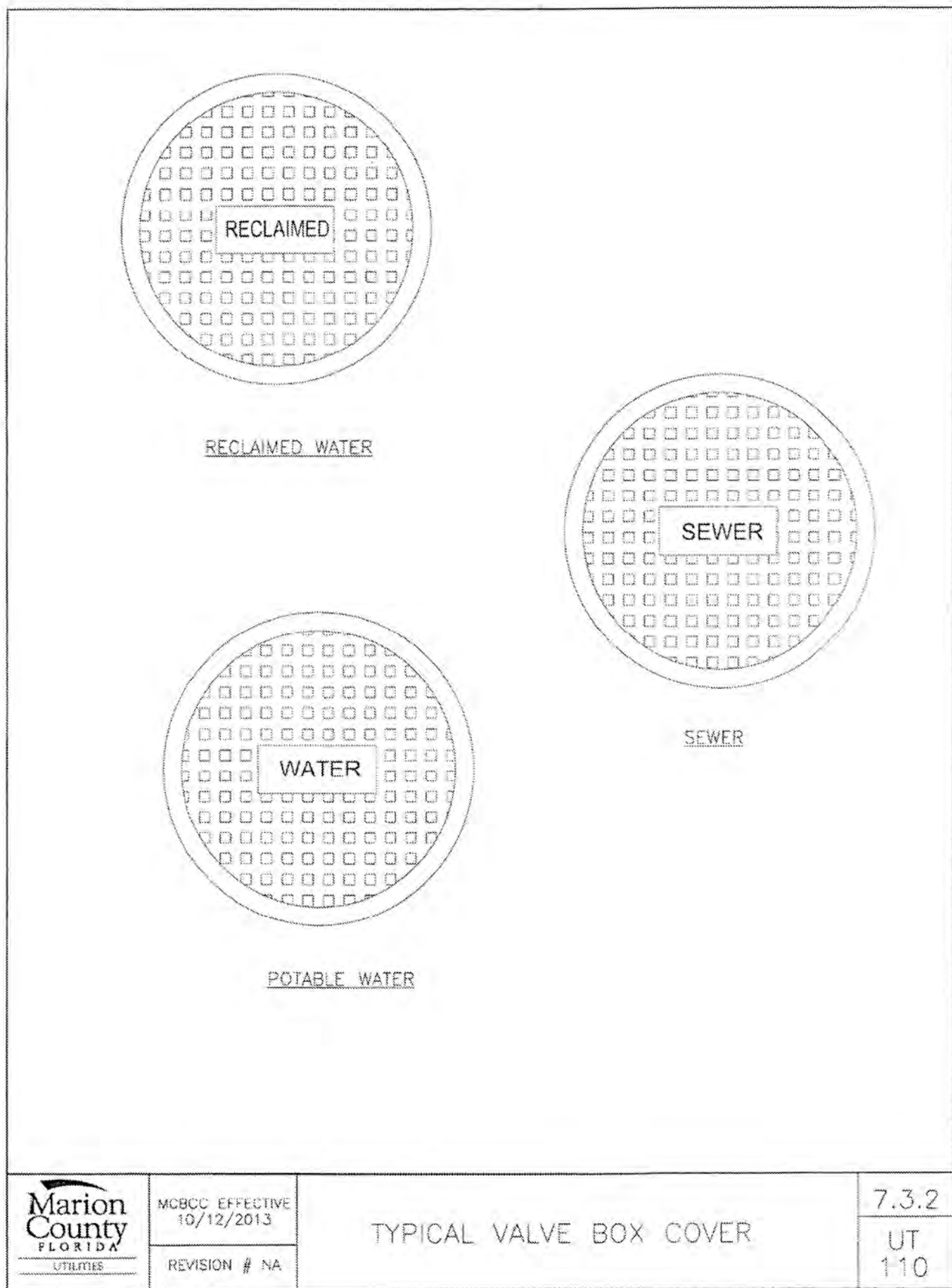
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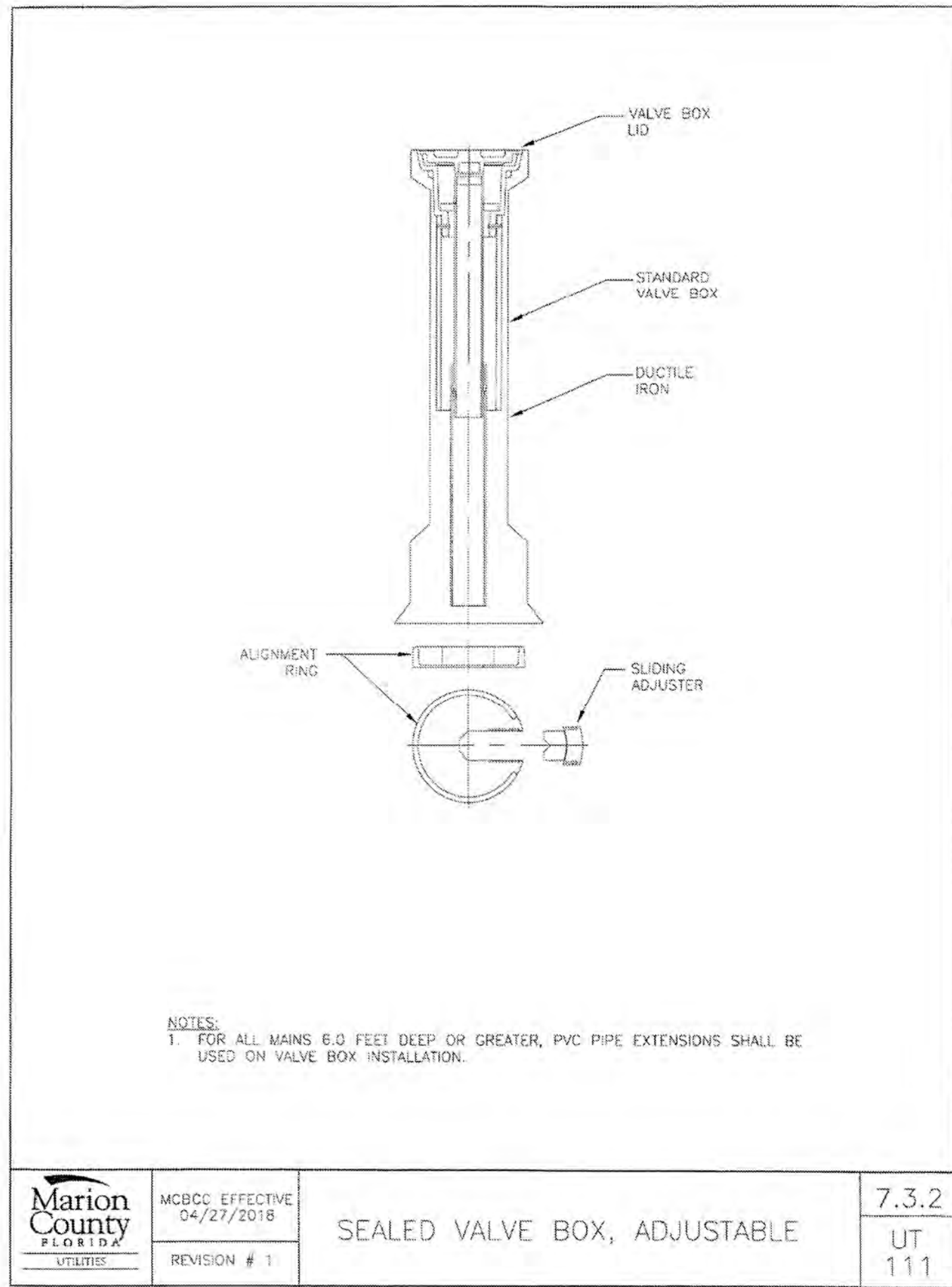
Marion County
Office of the County Engineer



	MCBCC EFFECTIVE 10/12/2013	REVISION # NA	MJ TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIMED WATER	7.3.2
				UT 108

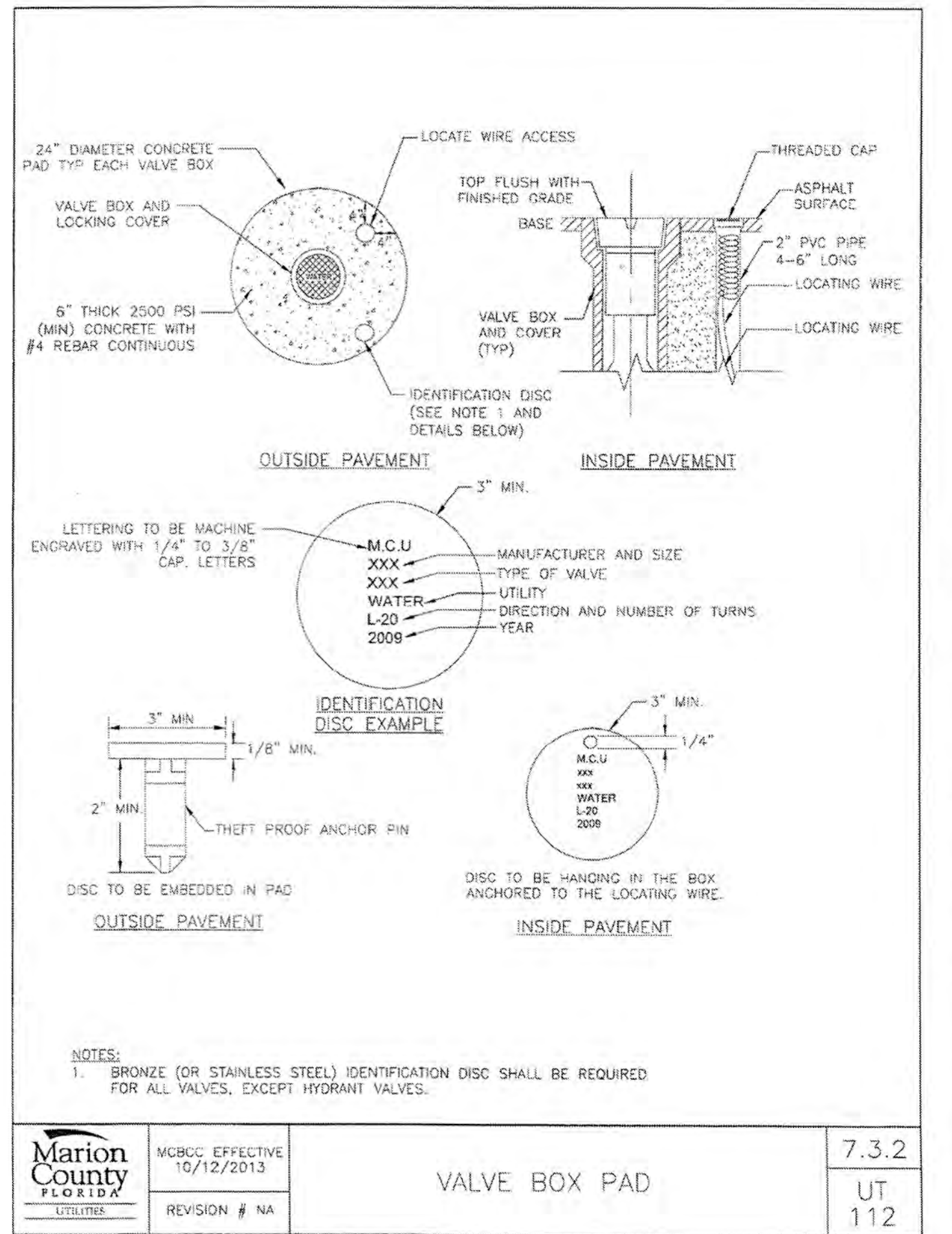


	MCBCC EFFECTIVE 10/12/2013	REVISION # NA	TYPICAL VALVE BOX COVER	7.3.2
				UT 110



- NOTES:
1. FOR ALL MAINS 6.0 FEET DEEP OR GREATER, PVC PIPE EXTENSIONS SHALL BE USED ON VALVE BOX INSTALLATION.

	MCBCC EFFECTIVE 04/27/2018	REVISION # 1	SEALED VALVE BOX, ADJUSTABLE	7.3.2
				UT 111



- NOTES:
1. BRONZE (OR STAINLESS STEEL) IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES, EXCEPT HYDRANT VALVES.

	MCBCC EFFECTIVE 10/12/2013	REVISION # NA	VALVE BOX PAD	7.3.2
				UT 112

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ESTABLISHED 1981

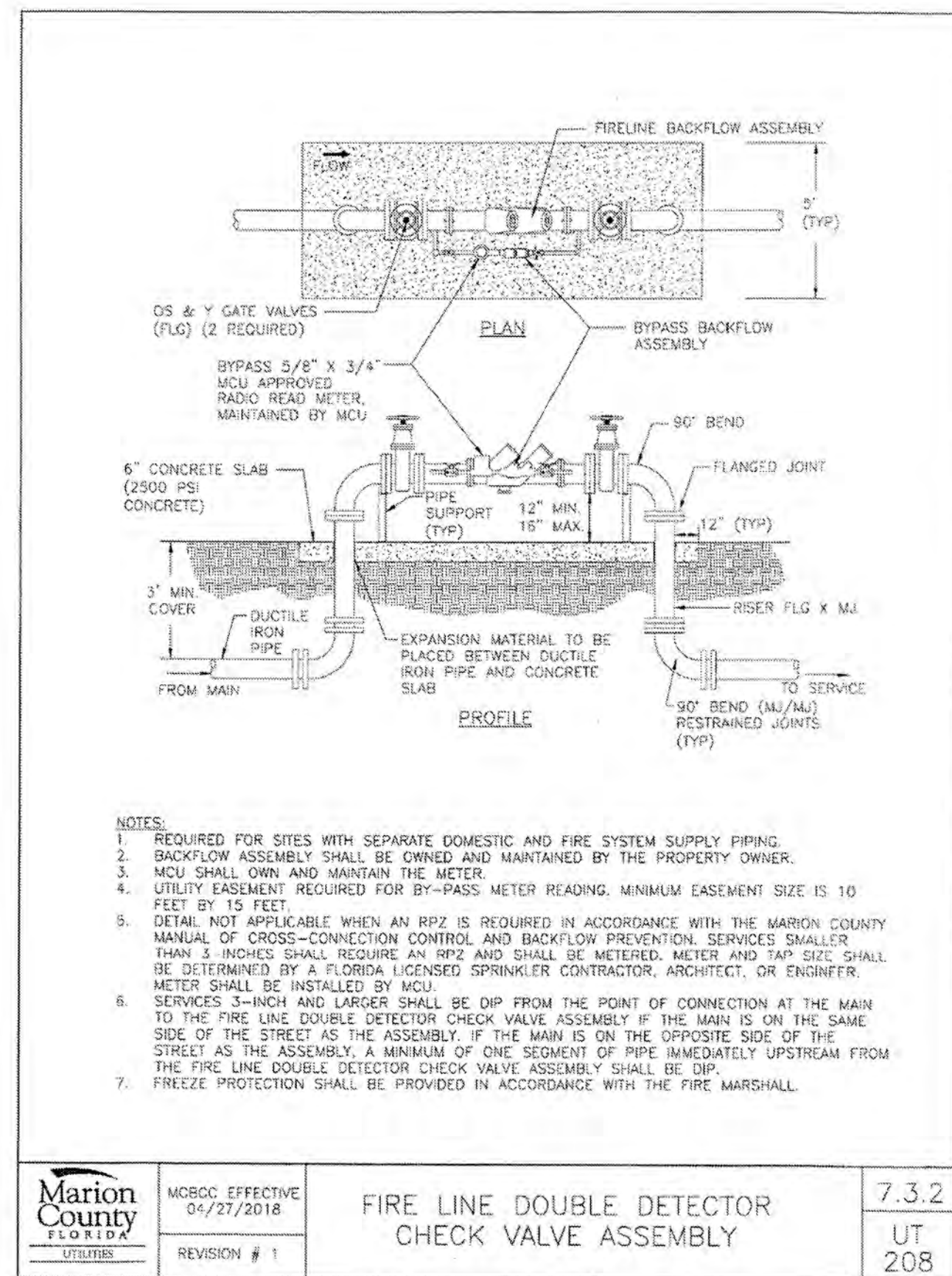
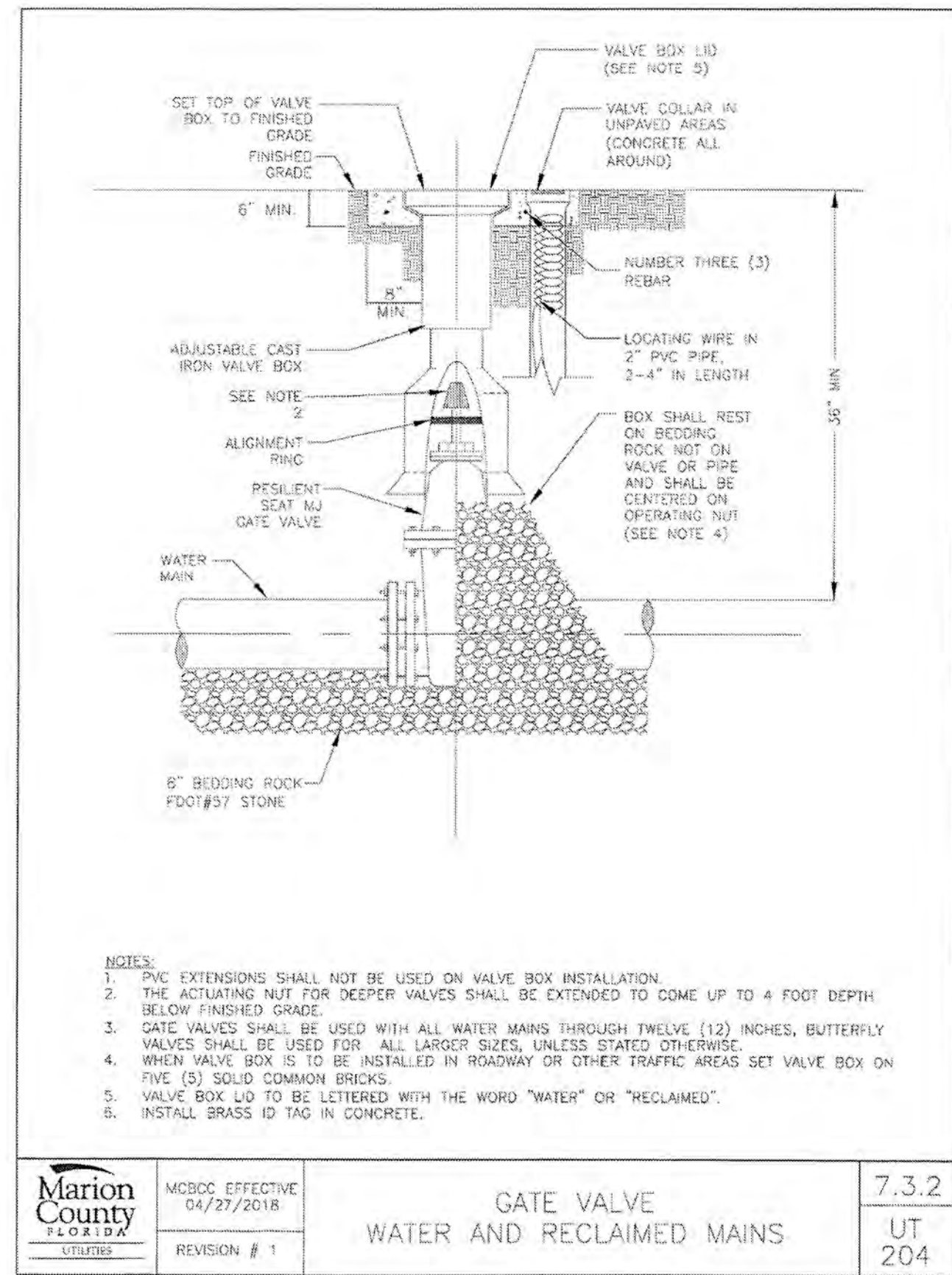
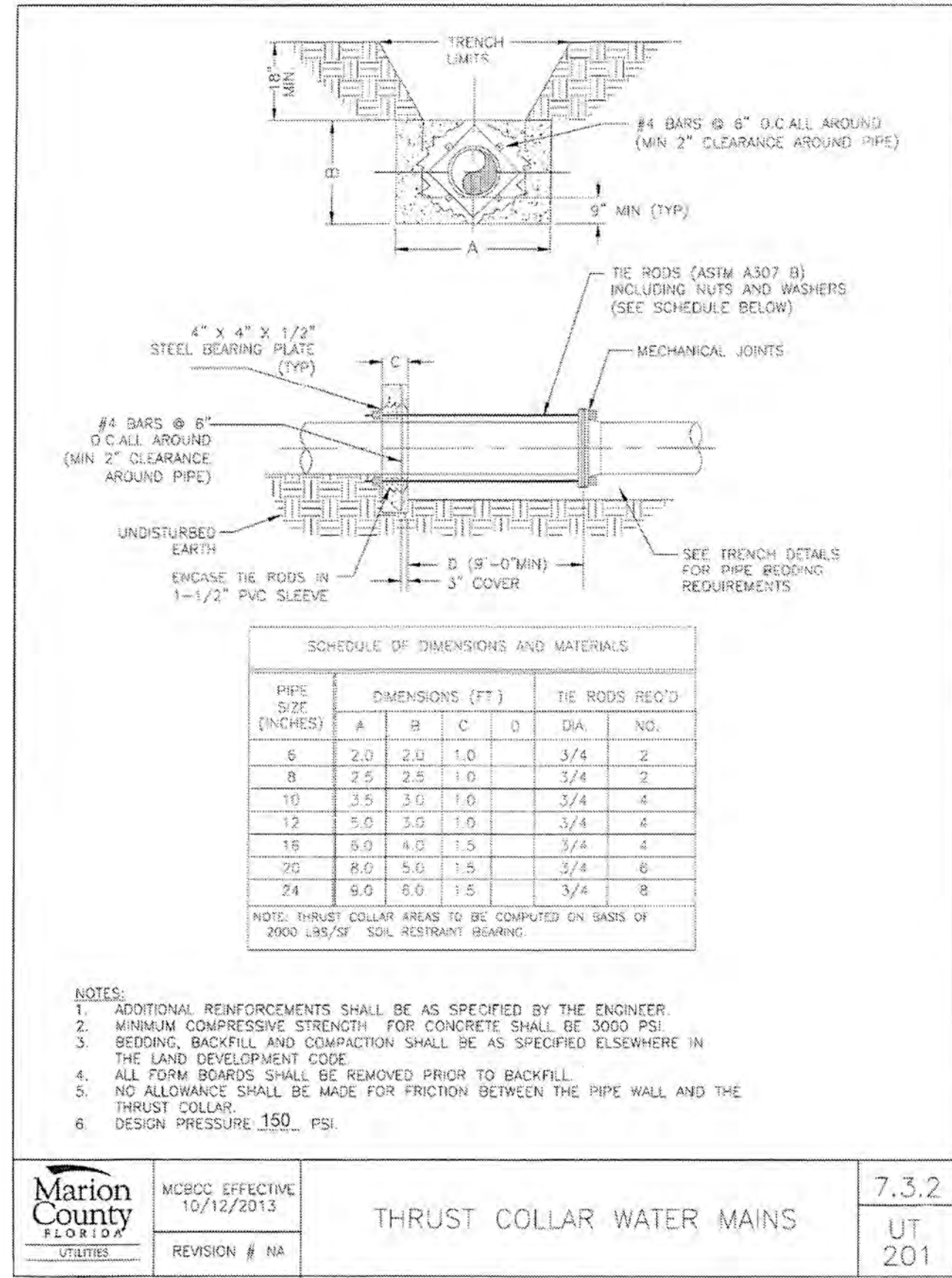
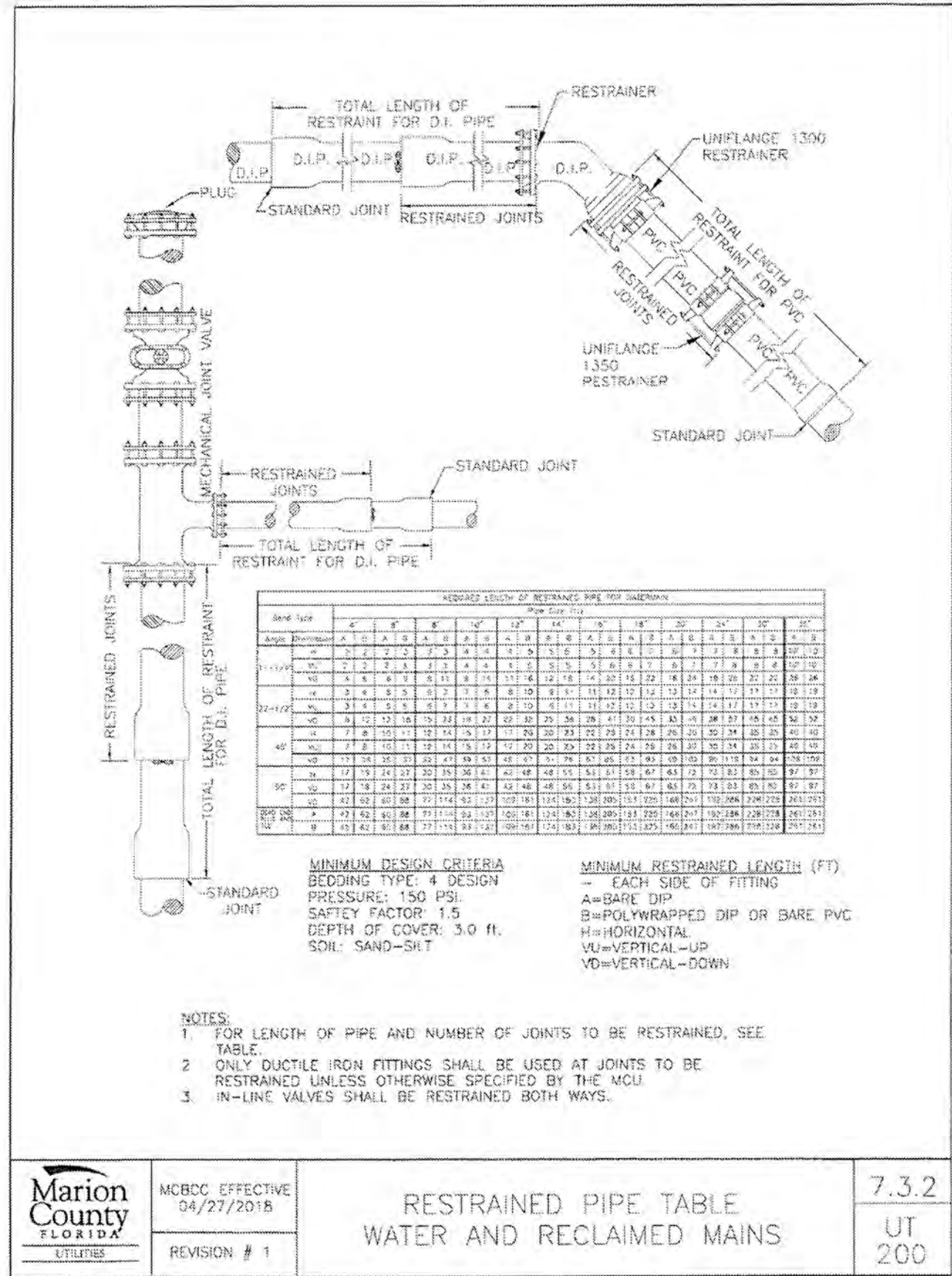
REV # REV # REV # REV #
REV # REV PER MARION COUNTY 8/6/24

KEITH E. RIDDLE P.E.
FLA. REGIS. NO. 38800

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: N.T.S.
DATE: 5/23/24
PROJECT NO. 23.09

MARION COUNTY DETAILS
MAJOR SITE PLAN
ST. MARK THE EVANGELIST CATHOLIC CHURCH
MARION COUNTY
FLORIDA

SHEET NO.
C7.1



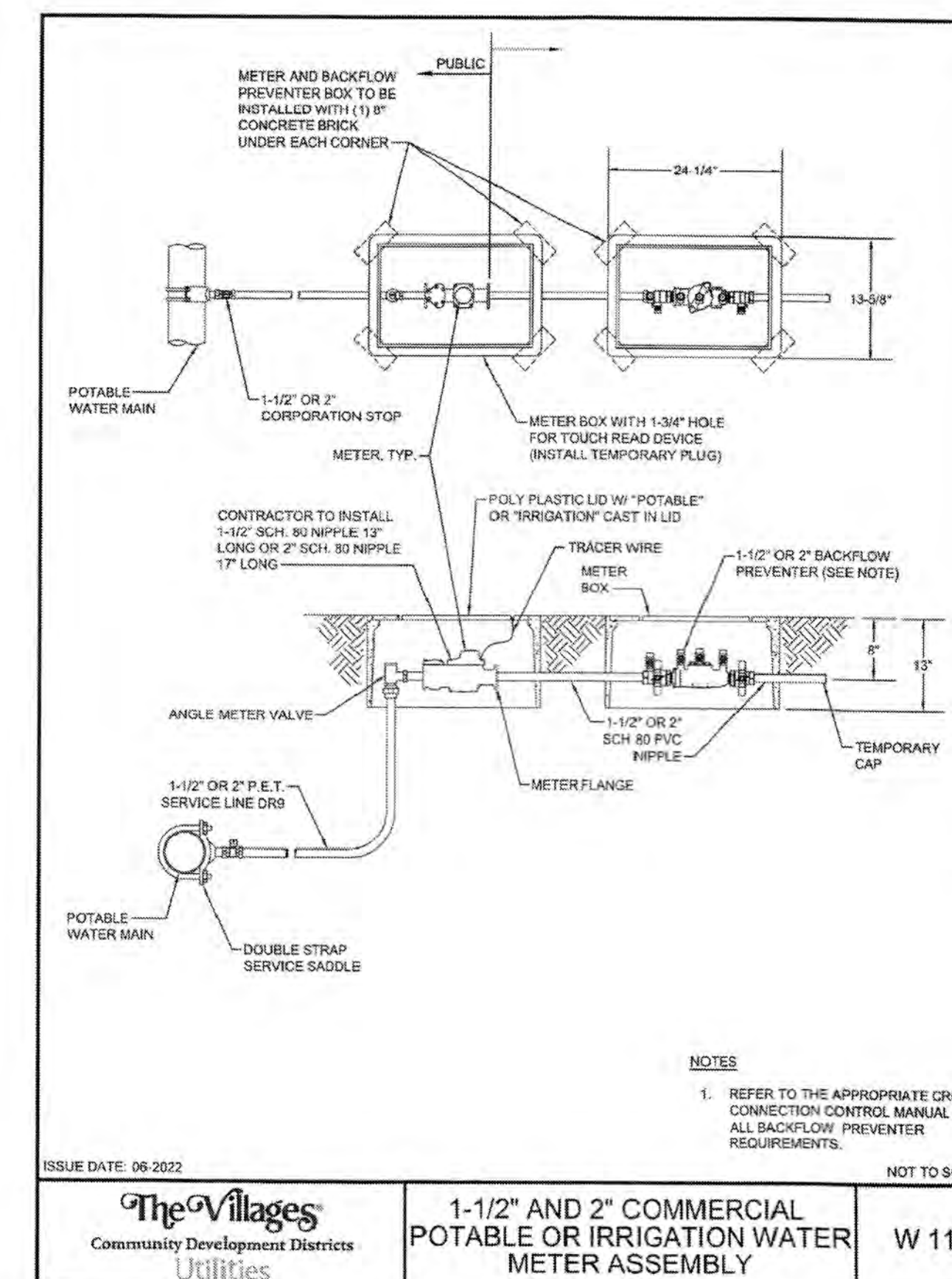
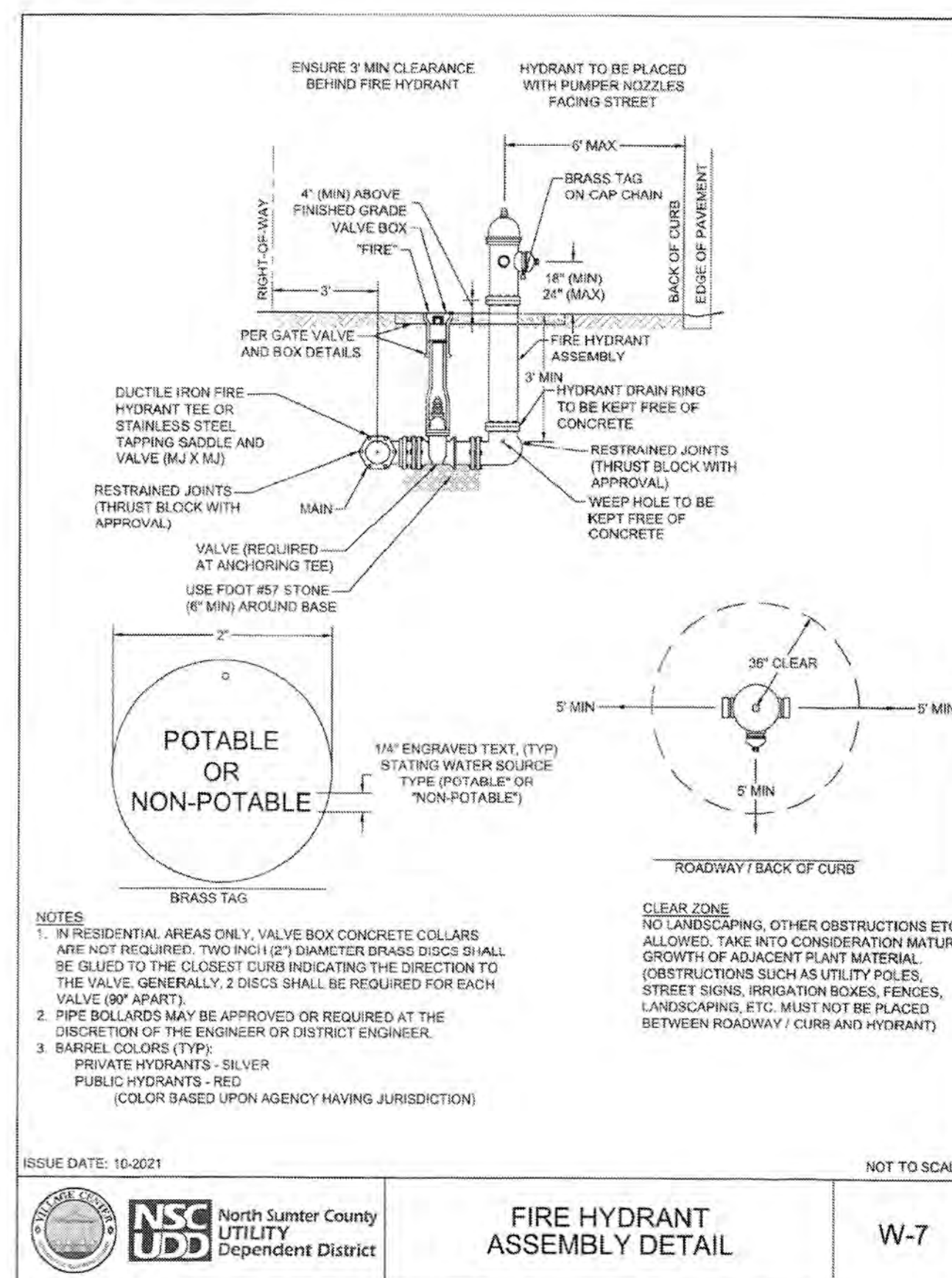
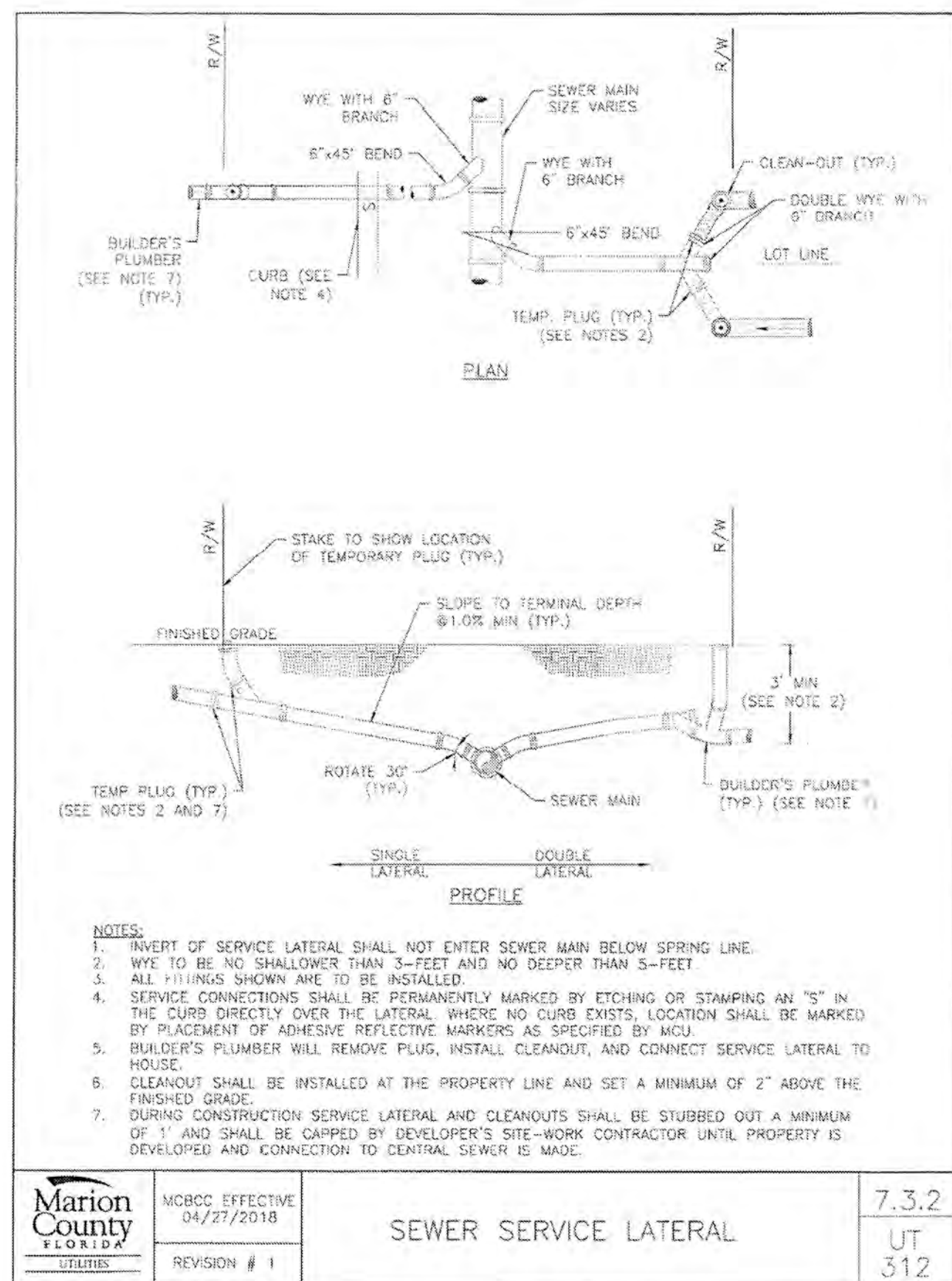
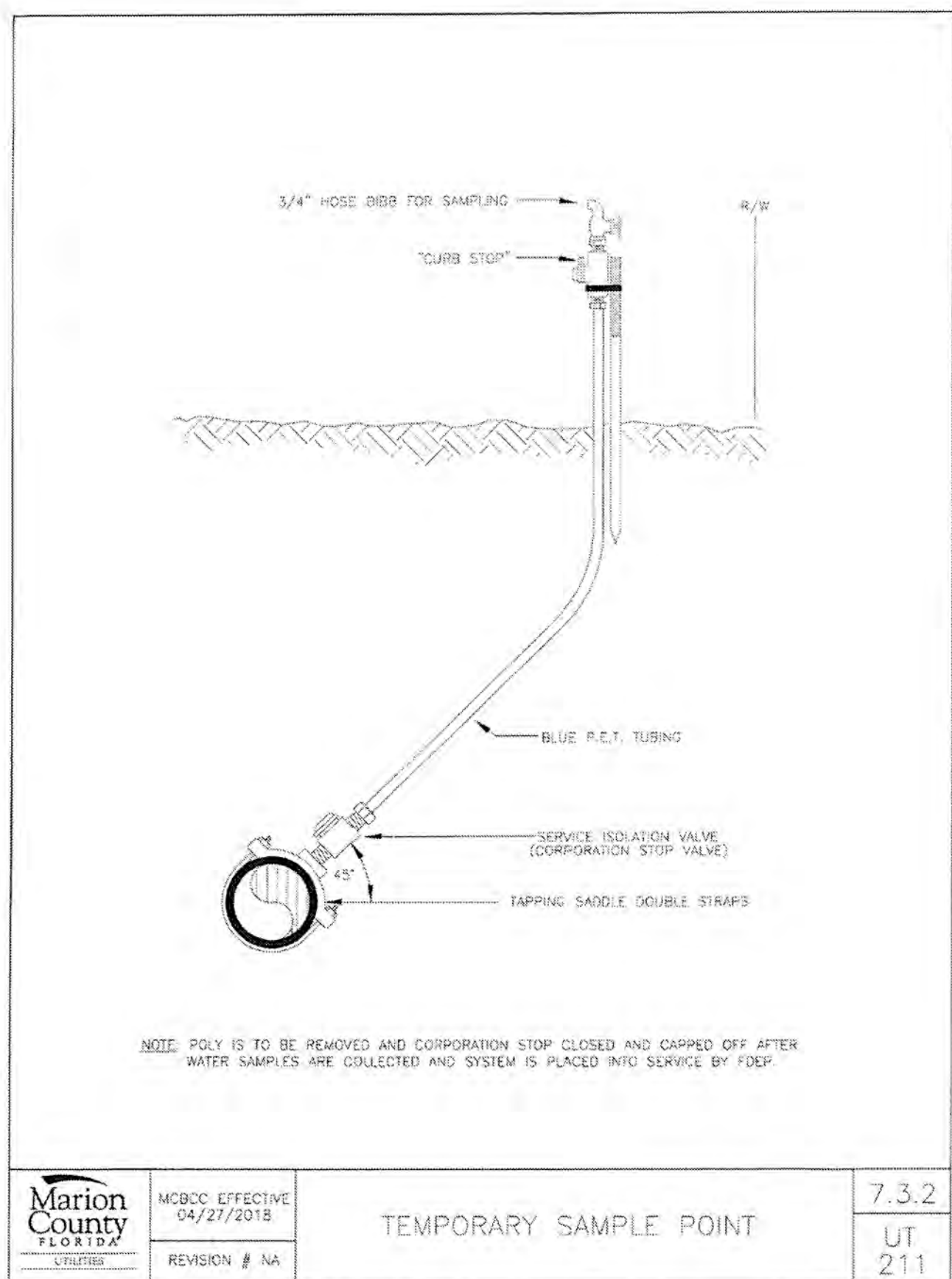
DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
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RIDDLE NEWMAN ENGINEERING INC.
ESTABLISHED 1981

REV #1 REV #2 REV #3 REV #4
REV #1 REV #2 REV #3 REV #4
REV #1 REV #2 REV #3 REV #4
REV #1 REV #2 REV #3 REV #4

REVISED PER MARION COUNTY 8/6/24

ALL RIGHTS RESERVED.

MARION COUNTY DETAILS
MAJOR SITE PLAN

ST. MARK THE EVANGELIST CATHOLIC CHURCH
MARION COUNTY
FLORIDA

PROJECT NO. 23.09

DATE: 5/23/24

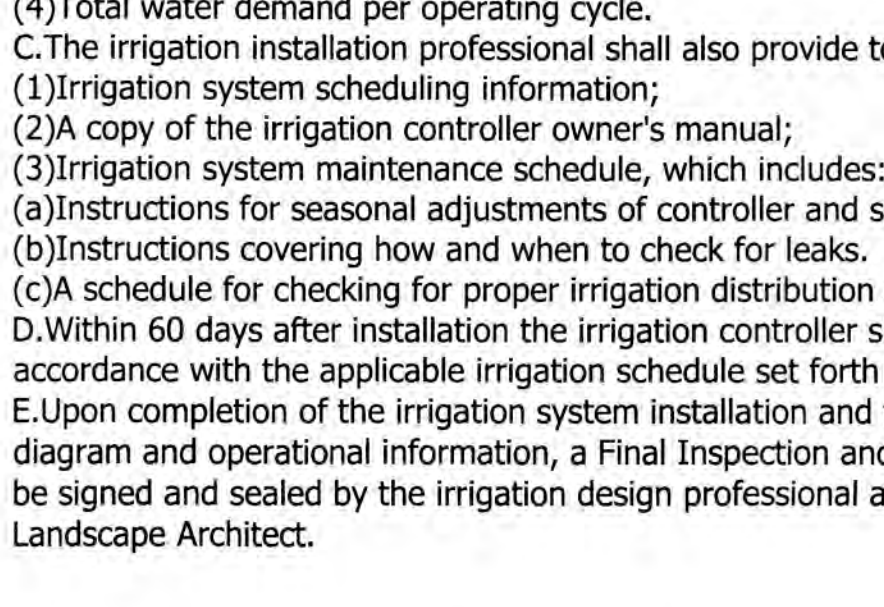
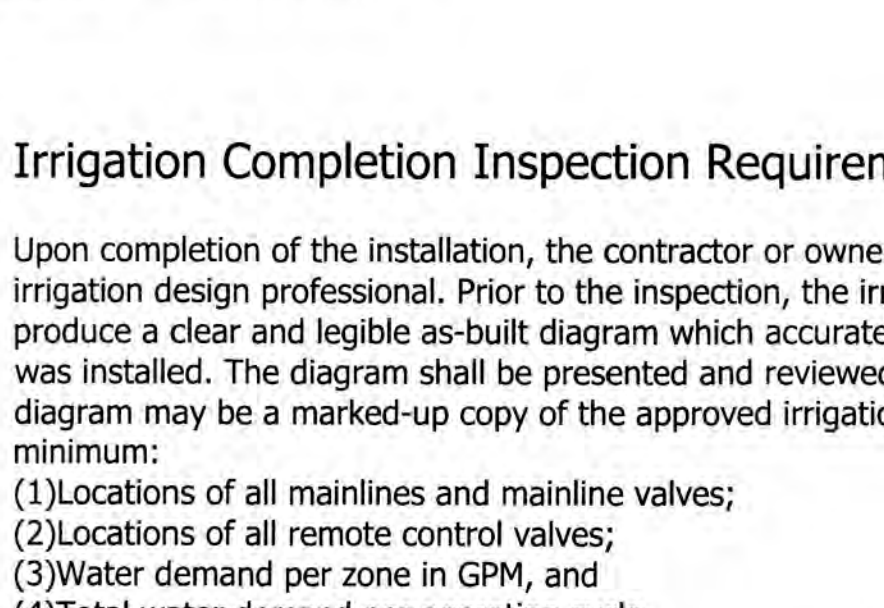
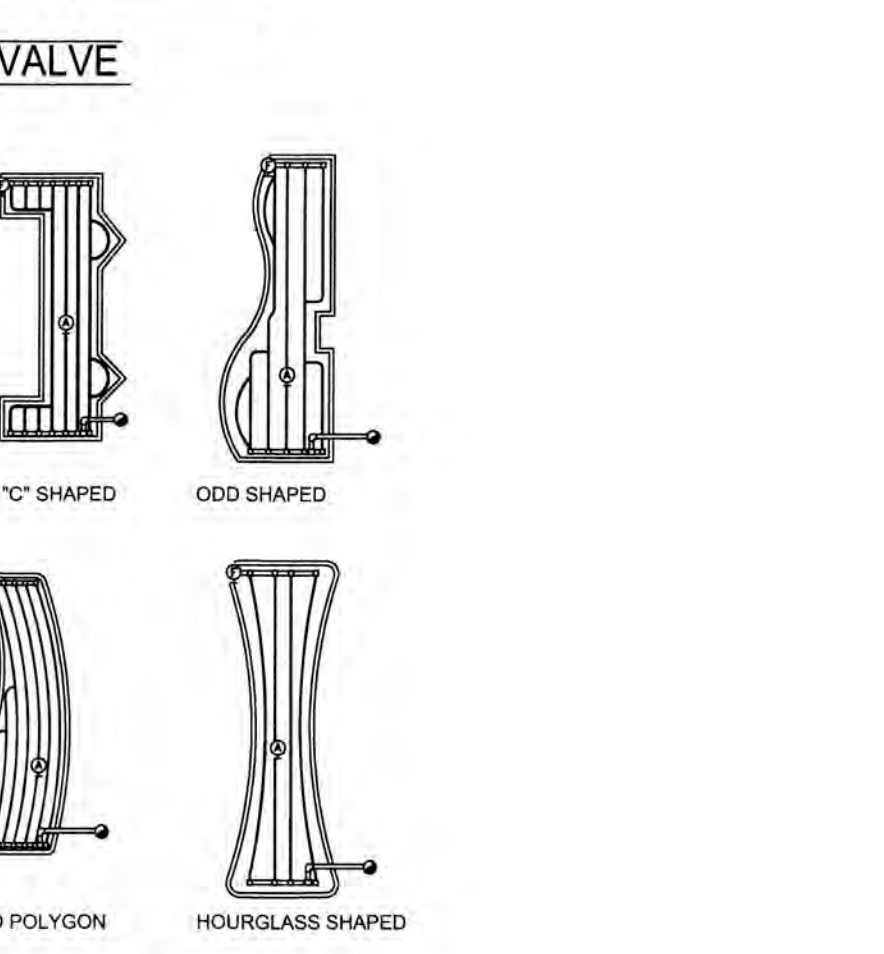
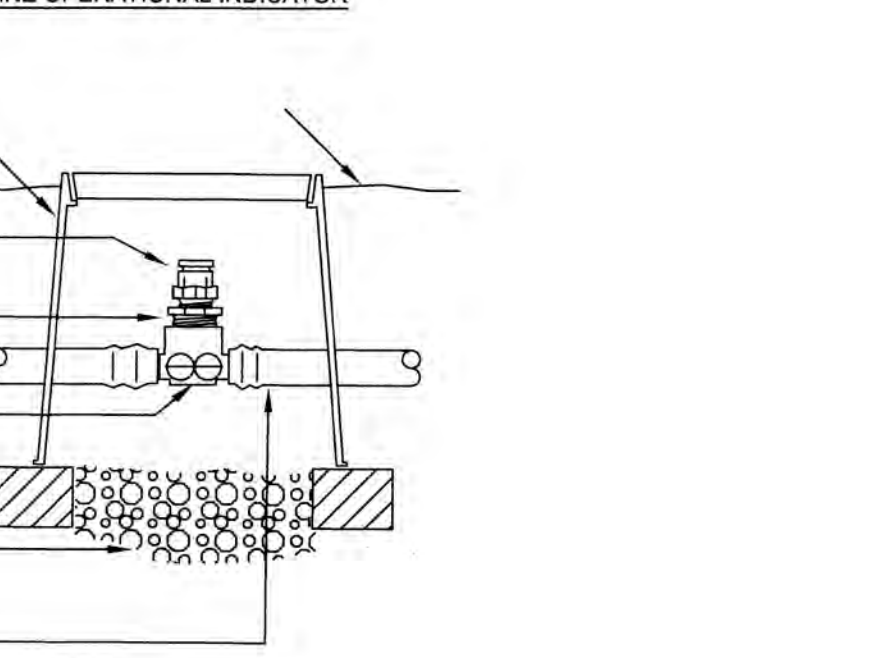
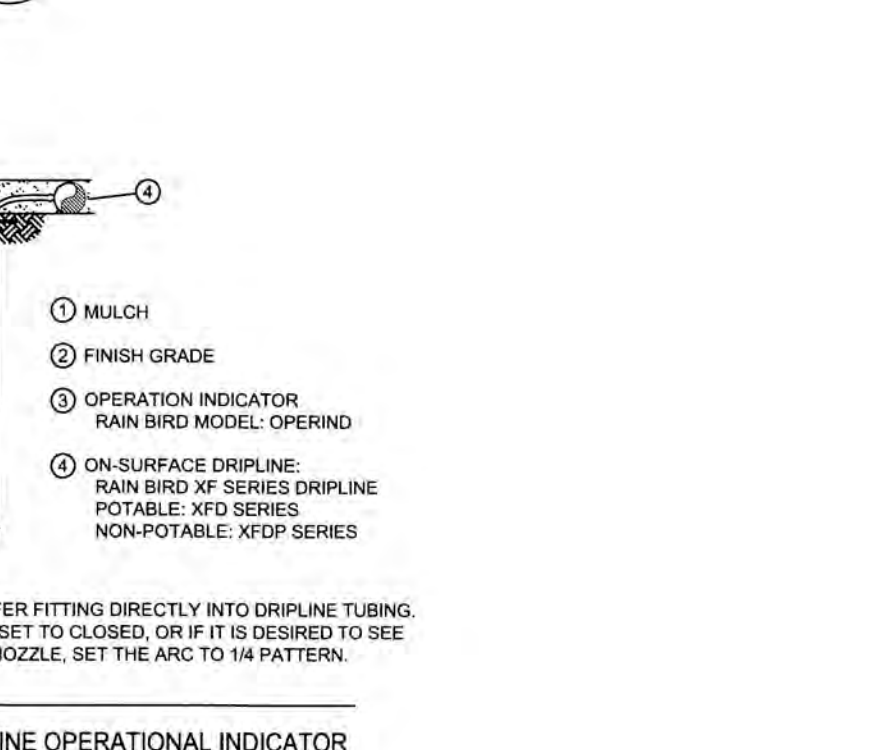
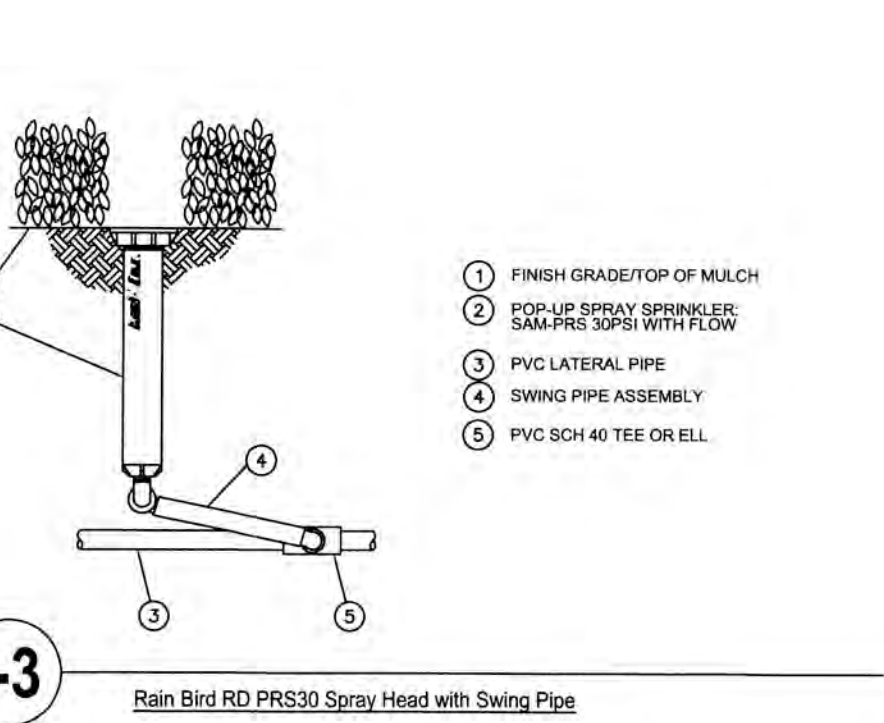
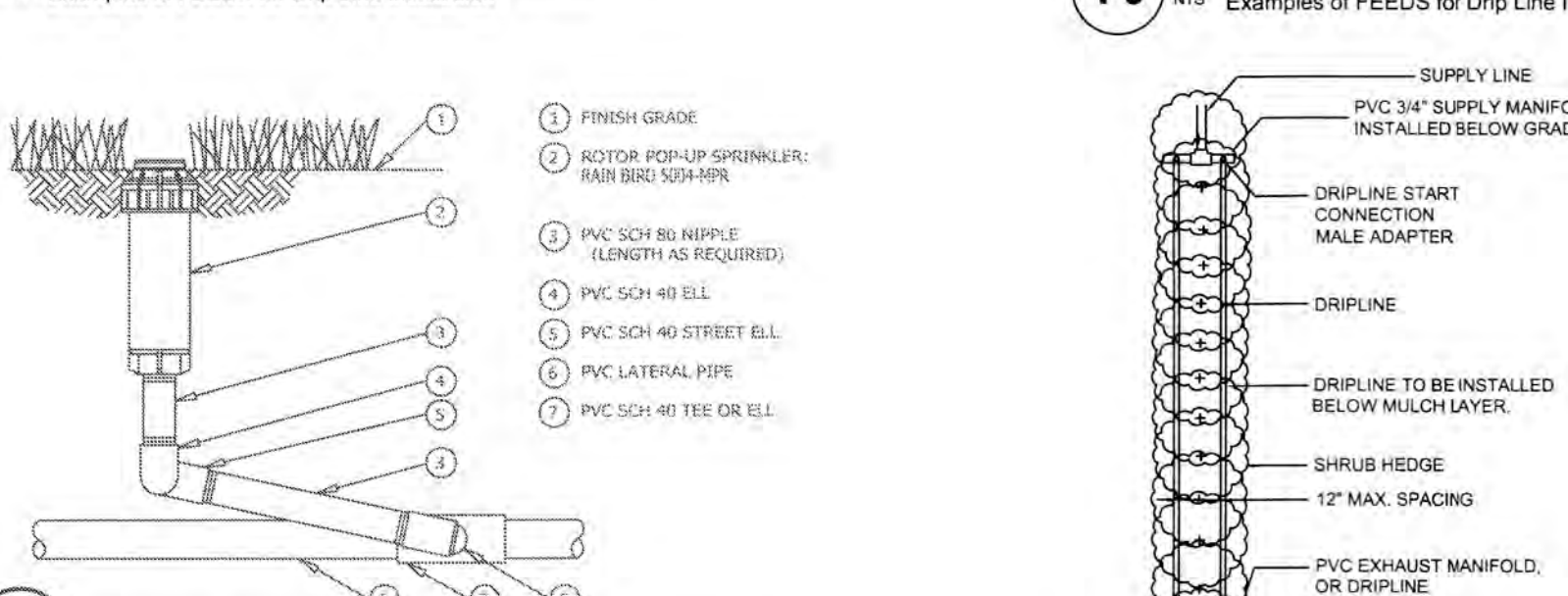
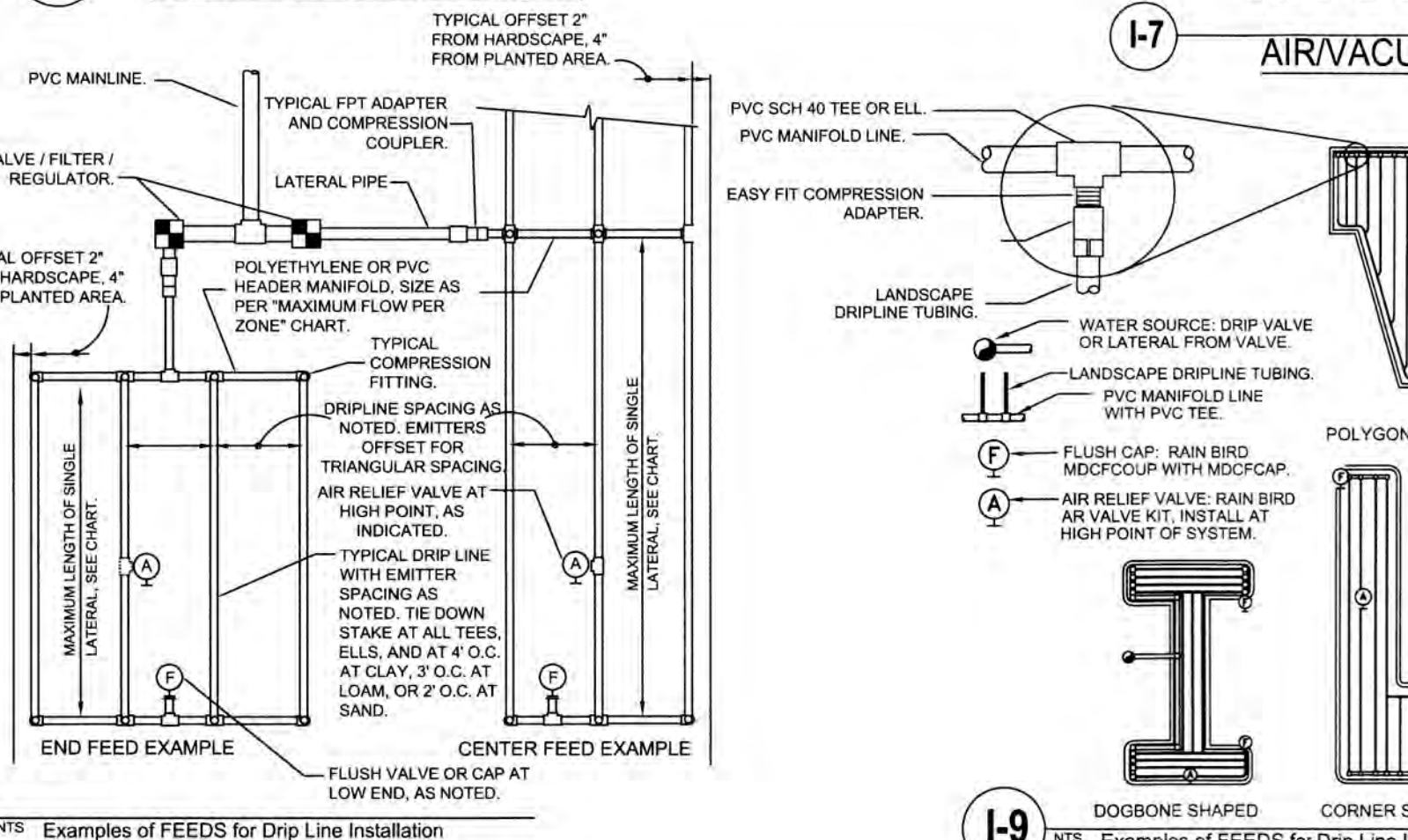
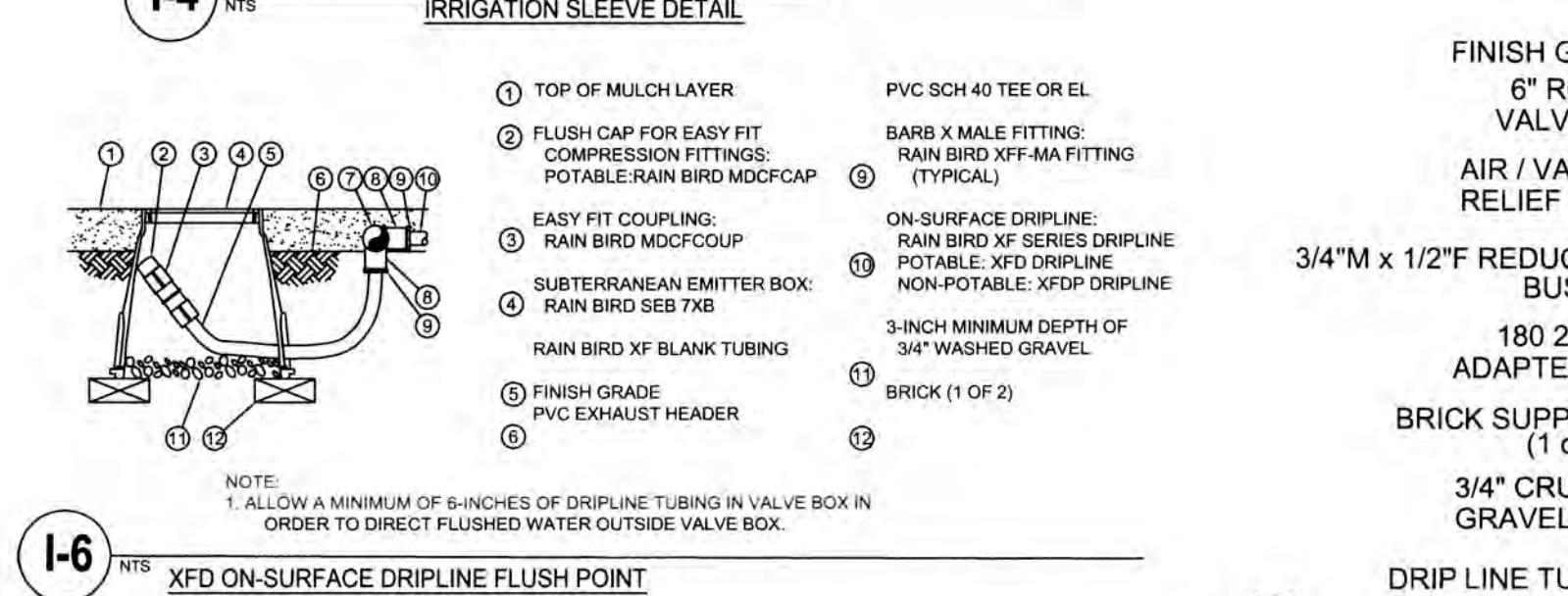
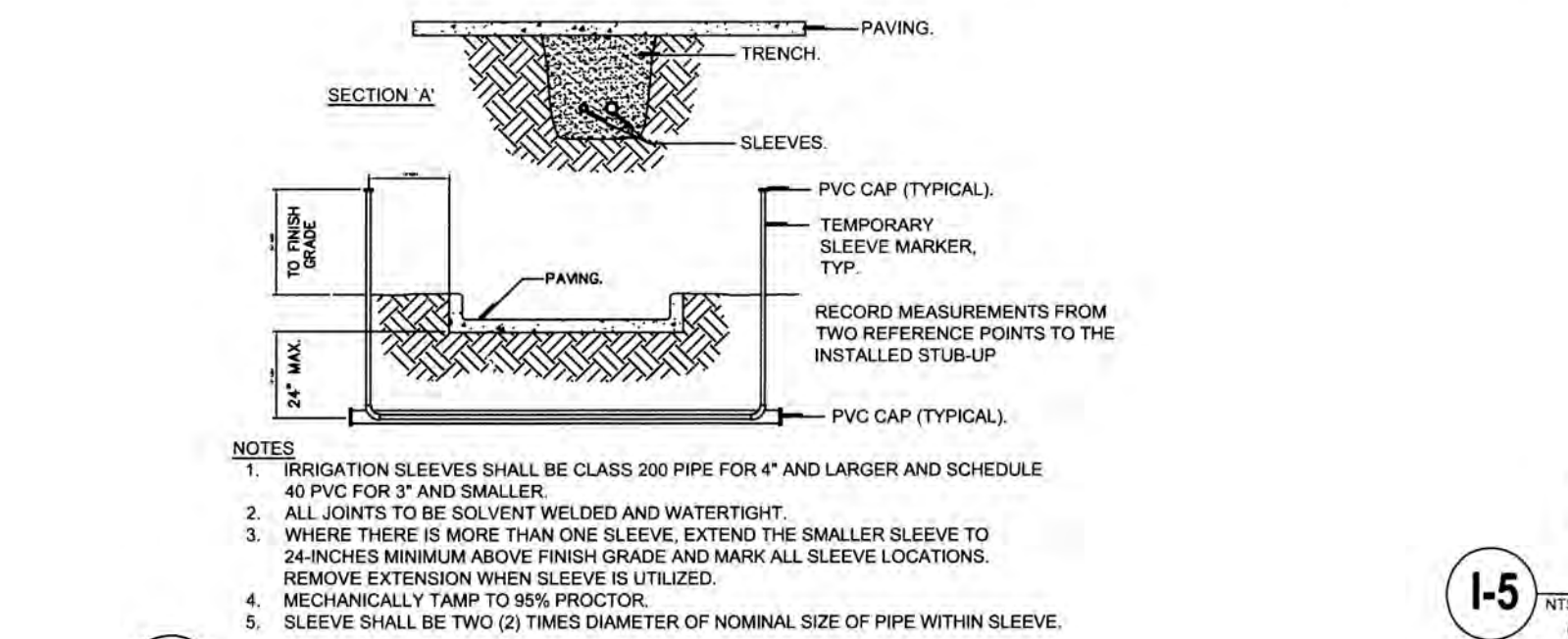
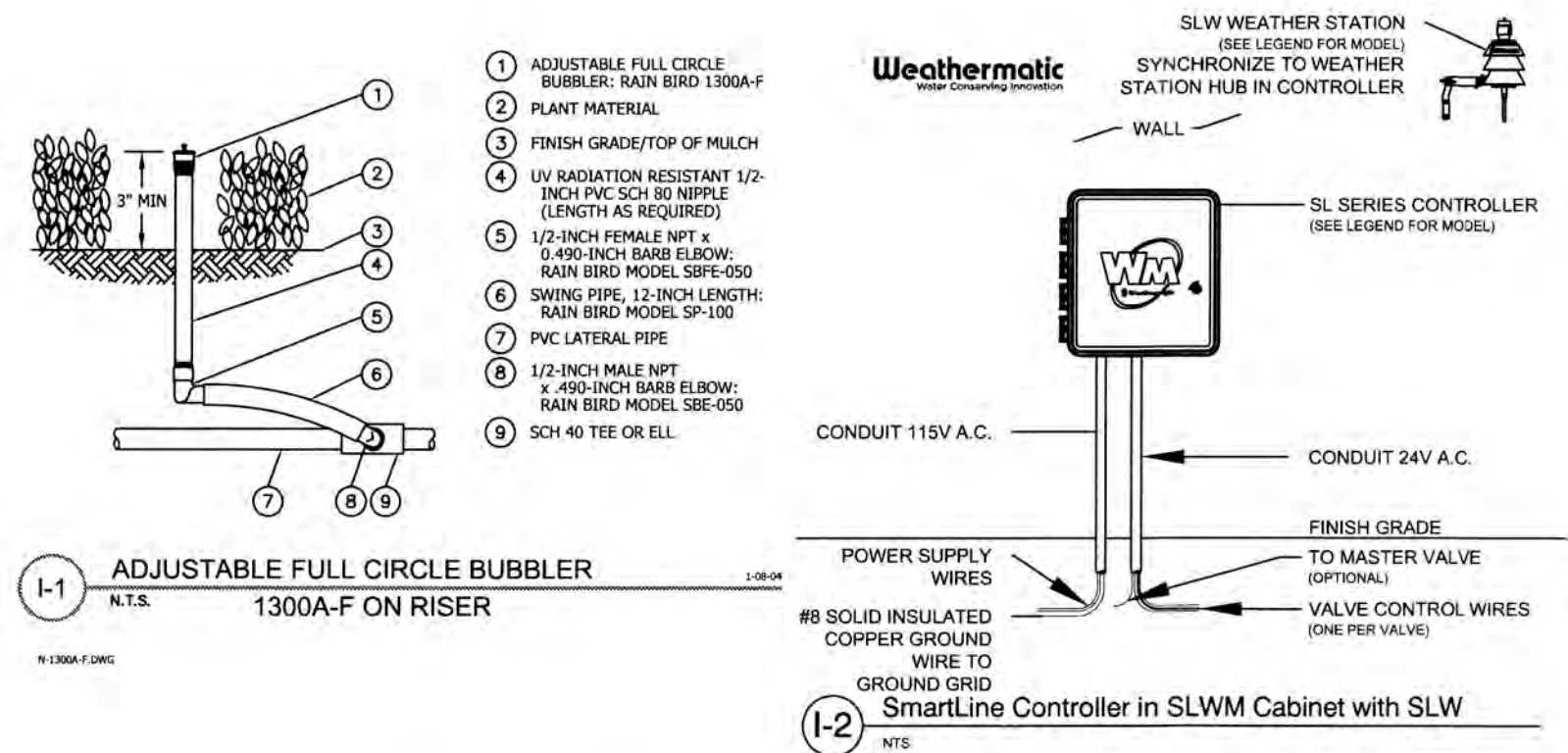
SCALE: N.T.S.

CHECKED: K.E.R.

DRAWN: R.S.H.

FILE: \23.09\St Mark Catholic Church

C7.2



Irrigation Completion Inspection Requirements:

Upon completion of the installation, the contractor or owner shall request an inspection by the irrigation design professional. Prior to the inspection, the irrigation installation professional shall produce a clear and legible as-built diagram which accurately represents the irrigation system was installed. The diagram shall be presented and reviewed during the final inspection. The diagram may be a marked-up copy of the approved irrigation plan and shall include at a minimum:

- (1)Locations of all mainlines and mainline valves;
- (2)Locations of all remote control valves;
- (3)Water demand per zone in GPM, and
- (4)Total water demand per operating cycle.

C.The irrigation installation professional shall also provide to the owner:

- (1)Irrigation system scheduling information;
- (2)A copy of the irrigation controller owner's manual;
- (3)Irrigation system maintenance schedule, which includes:
 - (a)Instructions for seasonal adjustments of controller and sensors.
 - (b)Instructions covering how and when to check for leaks.
 - (c)A schedule for checking for proper irrigation distribution coverage.
- (4)Within 60 days after installation the irrigation controller shall be adjusted to be set in accordance with the applicable irrigation schedule set forth in this Code.
- (5)Upon completion of the irrigation system installation and the acceptance of the as-built diagram and operational information, a Final Inspection and Landscape/Irrigation Release shall be signed and sealed by the irrigation design professional and submitted to the County's Landscape Architect.

A. GENERAL NOTES

1. The plans and drawings are diagrammatic of the work to be performed. The work shall be executed in a manner to avoid conflicts with utilities and other element of construction, including landscape materials. Any and all deviations shall be brought to the attention of the General Contractor or Owners. The contractor shall not willfully install any aspect of the irrigation system as shown on the plans and drawings when it is obvious in the field that obstructions, grade differences, or discrepancies exist that might not have been known during the design of the irrigation system. In the event that notification of the conflict is not given to the representative, the contractor will assume full responsibility for all revisions.
2. Irrigation system shall be installed in accordance with the plans. Contractor shall comply with all prevailing local codes, ordinances and regulations.
3. Check and verify all site conditions, including service utility locations, prior to trenching or digging. Coordinate all irrigation system construction with existing and / or new plantings to avoid conflict or interference with location piping, sleeves, cables and service utilities. The irrigation contractor is responsible for coordinating installation with all other construction on site especially landscape installation. Irrigation system is to be relocated for no additional cost for any conflict with landscape installation or any other site construction or existing conditions. All components that are not contained within the specific areas shown on the drawings will not be accepted. All piping and other components are to remain within the property of the OWNER.
4. Where existing or new trees, light standards, signs, electronic controllers and / or other objects are on obstruction to an irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. Landscape architect or representative to determine if obstruction occurs at all.
5. Component spacing's are maximum. Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacing's do not exceed the spacing's shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.
6. All materials and equipment shown shall be installed as detailed on the plans. If the drawing do not thoroughly describe the techniques to be used, the installer shall follow the installation methods/instructions recommended by their manufacturer.
7. Irrigation contractor shall adjust all sprinklers, controller and other operating characteristics, including coverage, operating pressure, flow rates and operation time, as indicated on the drawings and on the irrigation system specifications. Adjust all sprinklers to avoid overthrow of water onto buildings, roadways, sidewalks or existing native vegetation.
8. Contractor to provide installation shop drawings and manufacturer product information for all irrigation components. All installation shall be as recommended by manufacturers. The quantities shown in the legends and symbol sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive take-off of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.
9. All trenches shall be backfilled with clean, debris-free materials. Clean sand shall be used for bedding materials if parent soil can not adequately rid of rock and other extraneous debris.
10. All solvent welding shall be preceded by priming of the fittings and pipe as recommended by the manufacturer.
11. Contractor shall label / number all zone valve covers with corresponding controller zone number and isolation valve box with record drawing numbers.

B. Water Sources

1. Existing 5 HP Pump Station.
2. Confirm pump station can provide a minimum 55 gallons per minute at minimum 60 psi dynamic pressure at point of connection prior to installation. If contract fails to notify Landscape Architect of any deficiencies in pump station's flow and/or pressure prior to installation, contractor assumes the liability to correct any such deficiencies at the contractor expense.

C. INSTALLATION

1. PIPING
 - i. All main line piping to be Class 200 PVC and shall be solvent weld
 - ii. All lateral piping used downstream of each remote control valve shall be Class 200 PVC solvent weld pipes.
 - iii. The depth of all lines shall be 18" minimum cover for mainline and 12" minimum cover for lateral lines as specified per plans and details. Measurements shall be from top of pipe(s) to finish grade. Contractor will be responsible for retrenching and relaying any piping not meeting specified depths.

2. SLEEVES

- a. All sleeves for mainline to be twice the diameter of piping to be installed inside SCH. 40 PVC. All sleeves for lateral lines to be twice the diameter of piping to be installed inside SCH. 40 PVC.
- b. Irrigation contractor shall coordinate with general contractor for the location of sleeve crossings whether shown or not. At no time shall wiring share the same sleeve with main(s) or other piping unless installed in separate conduit.
- c. All sleeves shall extend (12") beyond the edge of the surface requiring sleeves.
- d. All wiring sleeves shall be SCH. 40 (1") or as sized per plan.

2. POP-UP SPRAY HEADS

- a. All spray sprinkler heads will be installed and connected to lateral lines as per details. The smallest pipe size allowed to connect sprinkler heads shall be 1/2". All pop-up sprinkler heads occurring within turf areas shall be 6" spray heads, PRS-30.
- b. Rain Bird HE VAN matched precipitation nozzles shall be used. Note that head nozzle range shall be selected based on the spacing shown in the plan(s) and listed in legend. The radius for heads shall be adjusted to provide head to head coverage.

3. POP-UP ROTOR HEADS

- a. All rotor sprinkler heads will be installed and connected to lateral lines as per details. The smallest pipe size allowed to connect sprinkler heads shall be 3/4". All pop-up rotor sprinkler heads occurring within turf areas shall be 4" rotor heads.
- b. Rain Bird matched precipitation nozzles shall be used. Note that head nozzle range shall be selected based on the spacing shown in the plan(s) and listed in legend. The radius for heads shall be adjusted to provide head to head coverage.

4. VALVE & SPLICE BOXES

- a. All valve boxes shall meet specifications, be sized & installed as shown and detailed herein. Top of valve boxes shall be flush and level with grade when installed. Contractor to reinstall and re-level boxes if soil settling occurs.
- b. Where possible and feasible install valve boxes within planting bedlines. No valve boxes shall be installed within 3' of any sidewalk or other pedestrian used surface, 5' from any vehicular traffic areas.

5. REMOTE CONTROL VALVES

- a. All control valves shall be installed as close as possible to the mainline(s) or sub-main(s) piping. Control valves shall be type and size as specified herein and indicated on the drawings.
- b. Wire sizes for control valve connections to the controller will be #14 gauge direct burial solid wire. Contractor shall provide expansion wire splices in a 6" round valve box at the end of each run.
- c. All electrical splices shall be made using 3M-DBR/Y and 3M-3570 Scotchlock Seal Pack Connectors as detailed herein.
- d. All valves shall be installed each in a single 11 x 17 Rectangle valve box.

6. ISOLATION VALVES

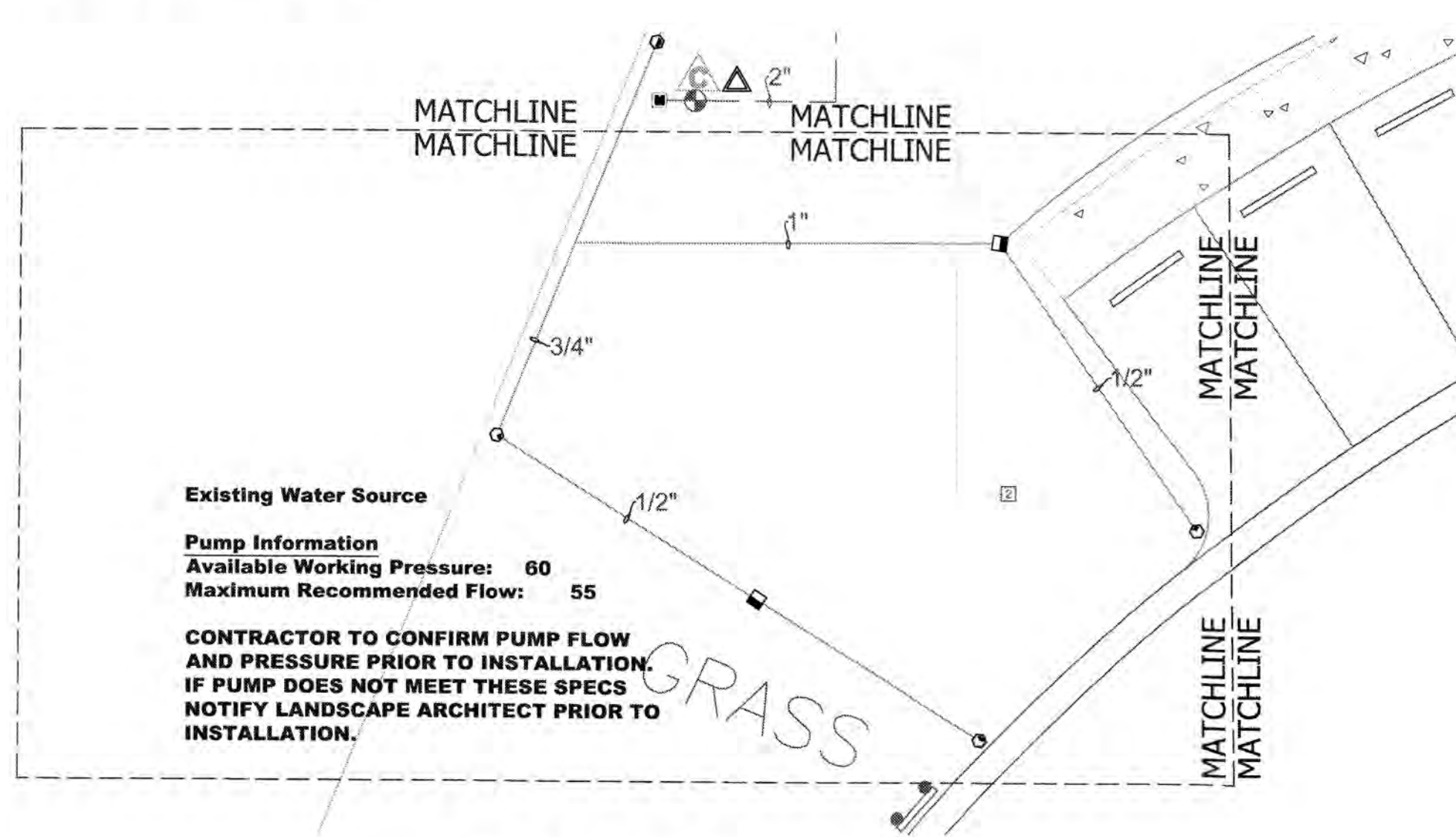
- a. All isolation valves shall be installed in minimum of 10" round valve boxes. Isolation valves shall be sized as identified by pipe size at point of connection on the drawing in which they occur.
- b. Contractor shall provide valve box extensions when necessary.

6. CONTROL SYSTEM

- a. The controller shall be Weathermatic Smartline 1624 Smart Controller, confirm location with general contractor prior to installation.
- b. The controller will be grounded to meet ASIC standards. Controller shall be grounded using an eight foot (8') copper clad rod or copper plate with #6 braided copper wire. Copper clamps will be used to attach the wire to the rod. An earth ground of five (5) ohms or less shall be obtained upon the grounding equipment.
- c. The controller shall have a Weathermatic Smartline SLW5 weather sensor to allow for automatic run time adjustments.
- d. It shall be the responsibility of the irrigation contractor to program or schedule the irrigation sequence for the irrigation system. Controller and valve operations shall be chronological in order.

7. Roadway and Walkway Crossings

- a. Install sleeves per plan, 4" minimum size. All wiring to be in a separate sleeve, minimum 1" diameter.
- b. All wiring installed in piping sleeve shall be installed in a separate 1" conduit sleeve.



DEVELOPMENT REVIEW COMMITTEE MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

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NOTICE
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RECEIVED
L.E.C. 0 2 2024
Marion County
Office of the County Engineer

Irrigation Plan

St. Mark the Evangelist

Marion County, Florida

revisions:	description:	date:
1	10/21/2020	10/21/2020
2	07/25/2025	07/25/2025
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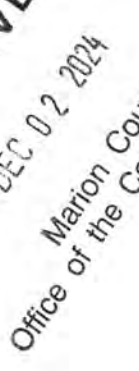
L.R. HUFFSTETTLER, INC.
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
(352) 516-5254
lic. # 0000744



INSERT

Qty	Symbol	Description
5	⊙	Rain Bird 10-HE-VAN-F - 1806-SAM-PRS
23	⊞	Rain Bird 1300 A-F
6	⊙	Rain Bird 8-HE-VAN Q - RD-06-PRS30-F-R
8	⊙	Rain Bird 10-HE-VAN-H - RD-06-PRS30-F-R
5	⊙	Rain Bird 10-HE-VAN-H - RD-06-PRS30-F-R
6	⊙	Rain Bird 10-HE-VAN-Q - RD-06-PRS30-F-R
9	⊙	Rain Bird 12-HE-VAN-F - RD-06-PRS30-F-R
11	⊙	Rain Bird 12-HE-VAN-H - RD-06-PRS30-F-R
7	⊙	Rain Bird 12-HE-VAN-Q - 1806-SAM-PRS
1	⊙	Rain Bird 12-HE-VAN-TQ - RD-06-PRS30-F-R
20	⊙	Rain Bird 15-HE-VAN-H - 1806-SAM-PRS
8	⊙	Rain Bird 15-HE-VAN-Q - RD-06-PRS30-F-R
3	⊙	Rain Bird 15-HE-VAN-TQ - RD-06-PRS30-F-R
2	⊙	Rain Bird LCS - 1806-SAM-PRS
2		Rain Bird RCS - 1806-SAM-PRS
1	■	Rain Bird 5000-MPR-25-180 - 5000-S-PC-SAM
7	■	Rain Bird 5000-MPR-25-180 - 5004-FC-SS-SAM
4	■	Rain Bird 5000-MPR-25-360 - 5000-S-FC-SAM
1	■	Rain Bird 5000-MPR-25-360 - 5000-S-PC-SAM
1	■	Rain Bird 5000-MPR-25-360 - 5004-FC-SS-SAM
1	■	Rain Bird 5000-MPR-25-360 - 5004-PC-SAM
1	■	Rain Bird 5000-MPR-25-90 - 5000-S-PC-SAM
1	■	Rain Bird 5000-MPR-25-90 - 5004-PC-SS-SAM
1	⊙	Rain Bird 5000-MPR-30-180 - 5004-PC-SS-SAM
2	⊙	Rain Bird 5000-MPR-30-360 - 5000-S-FC-SAM
2	⊙	Rain Bird 5000-MPR-30-90 - 5012-PC-SAM-N
18	⊙	Rain Bird 5000-MPR-35-120 - 5000-S-PC-SAM
6	⊙	Rain Bird 5000-MPR-35-180 - 5000-S-PC-SAM
7	⊙	Rain Bird 5000-MPR-35-360 - 5000-S-FC-SAM
6	⊙	Rain Bird 5000-MPR-35-90 - 5000-S-PC-SAM
7	⊙	Rain Bird 150-PESB
1	⊙	Rain Bird XXZ-100-PRB-COM
1	⚙	Weathermatic SL-1600
1	⚙	Weathermatic SWLS
1	■	New Water Source
249.57 (ft)		Lateral - Class 200 1 1/2"
514.98 (ft)		Lateral - Class 200 1 1/4"
858.62 (ft)		Lateral - Class 200 1"
38.83 (ft)		Lateral - Class 200 2 1/2"
84.1 (ft)		Lateral - Class 200 2"
489.19 (ft)		Lateral - Class 200 3/4"
1363.84 (ft)		Lateral - Class 315 1/2"
3.93 (ft)	-----	Mainline - Class 200 1"
422.26 (ft)	-----	Mainline - Class 200 2"
61.05 (ft)		Schedule 40 4"
748.73 (ft)		XFS-CV-09-12

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Irrigation Plan

INSTALLATION AND MAINTENANCE NOTES

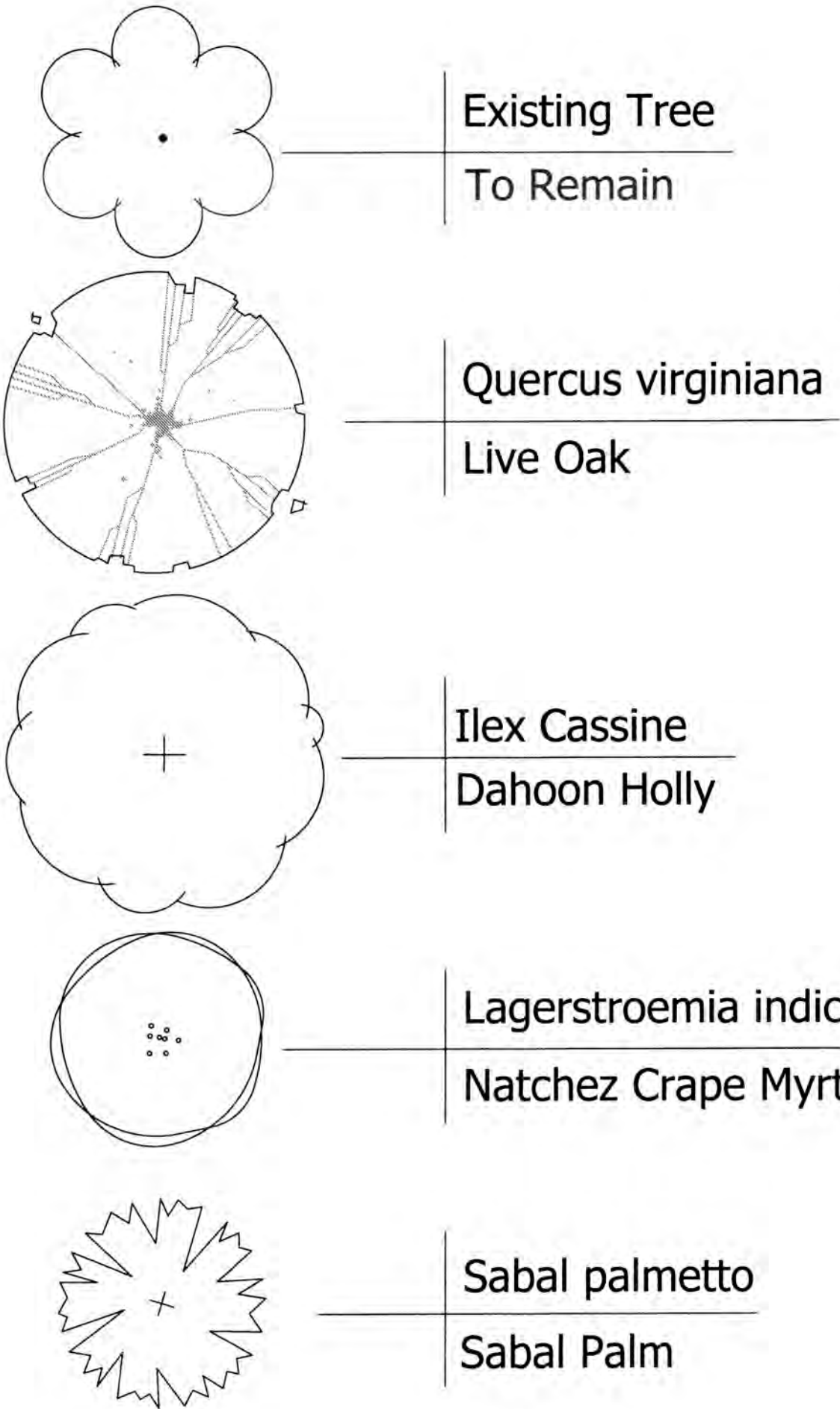
- The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and in performing all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintaining of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
- Adjustments to planter beds as shown on plans may be necessary due to walk locations, berming, relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
- The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to preclude any misunderstanding and facilitate a trouble free installation.
- No substitution shall be made without written permission of the owner.
- In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
- Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is reinspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
- All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
- All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", as published by the Florida Department of Agriculture and Consumer Services, most current edition.
- All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
- All trees 8' or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
- Planting soil shall consist of the existing soil amended if required.
- Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida and Marion County fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.

- All plants shall be watered thoroughly when planted.
- Sod shall be well matted with grass roots. The sod shall be taken up in rectangles preferably 12" by 24", a minimum of 2" in thickness, and shall be reasonably free of weeds and other grasses and shall have a soil mat of sufficient thickness adhering firmly to the roots to withstand all necessary handling. The sod shall be shaded and kept moist until it is planted. Damaged sod will be rejected. Replanting shall be done within 48 hours after time of harvesting or kept damp until planted.
- Sodding schedule:
 - All lawn areas shall be planted with with a species specified by the Owner (limits determined by Owner).
 - Soft spots and inequalities in grade shall be corrected before starting work.
 - Lay sod without voids. Thoroughly water after planting. The surface shall be true to finish grade lines and even and firm at all points.
 - Place sod with staggered joints closely butted, tamped or rolled to an even surface. Erosion control measures are mandatory in swales, rights of ways, or any other areas subject to erosion.
- All shrub areas and areas to be sodded will be automatically irrigated. Verify areas to be irrigated with owner prior to commencing work.
- Contractor shall clean up and remove from the premises all surplus materials and rubbish.
- All shrubs and sod shall be guaranteed for one hundred eighty (180) days after final acceptance of the final phase by owner. All trees shall be guaranteed for one (1) year after final acceptance of the final phase.
- Protective barricades shall be placed around all protected trees to be saved and shall remain in place until construction is complete. Barricades shall be constructed as detailed.
- Final inspection will not take place until all materials have been planted/installed properly.
- Contractor will be notified by letter of the final acceptance of each phase within ten (10) days after final phase inspection or ten (10) days after reinspection should that be necessary.
- Upon final notice of final acceptance of each phase, the owner will assume maintenance.
- If trees are wrapped in burlap and wire, remove wire and burlap from the surface of the root ball.

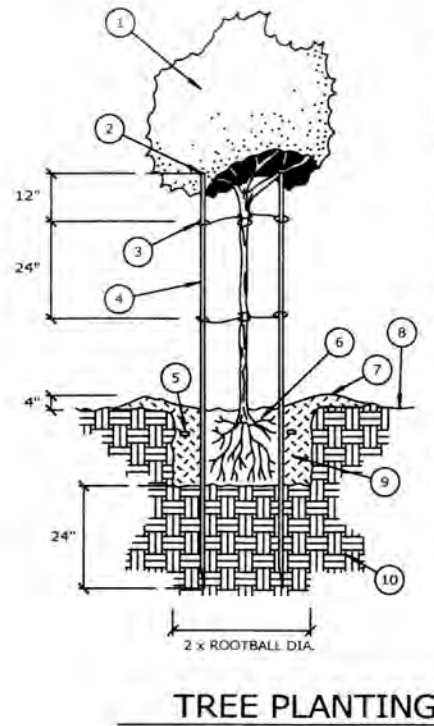
Shade Tree Requirements:

Site area: 1.0 acres (43,560 sf)
Required shade trees @ 1 shade tree per 3,000 sf = 15
Provided shade tree and credits:
2 Existing Live Oaks = 2 shade trees
1 Existing Magnolia = 1 shade tree
5 Proposed Live Oaks = 5 shade trees
5 Proposed Dahoon Hollies = 5 shade trees
Proposed Crape Myrtle (4) = 2 shade trees
Total shade trees provided = 15

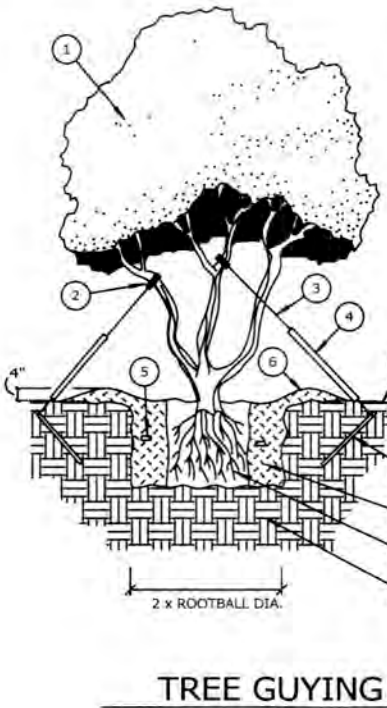
Tree Symbol Legend:



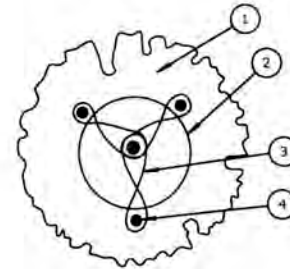
Planting Details:



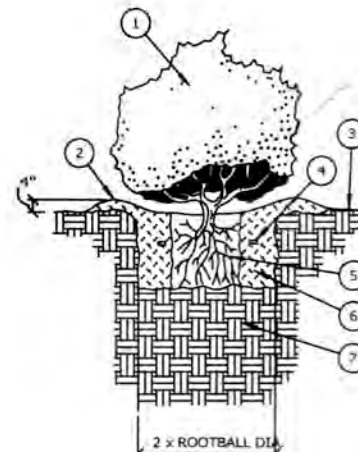
- LEGEND
- TREE PER PLAN
 - TIE TOP OF STAKES BELOW LOWEST BRANCHES TO PREVENT DAMAGE
 - CROSS TIE BETWEEN STAKE AND TREE PER PLANTING SPECIFICATIONS
 - 3" DIA. x 16' LONG LOGGEO POLE STAKES (INSTALL WIDER THAN ROOTBALL)
 - 21 GRAM PLANT TABLETS
3 GAL. = 3, 15 GAL. = 5, 24" BOX = 8
 - ROOTBALL (SET CROWN +/- 3" ABOVE FINISH GRADE)
 - EARTH WATERING BASK (RAKE SMOOTH PRIOR TO SEEDING IN HYDROSEED BEDS AT END OF PLANT ESTABLISHMENT PERIOD FOR ALL REMAINING BASKS)
 - FINISH GRADE
 - CONNECTED BACKFILL MIX (PER PLANTING SPECIFICATIONS)
 - UNDISTURBED NATIVE SOIL



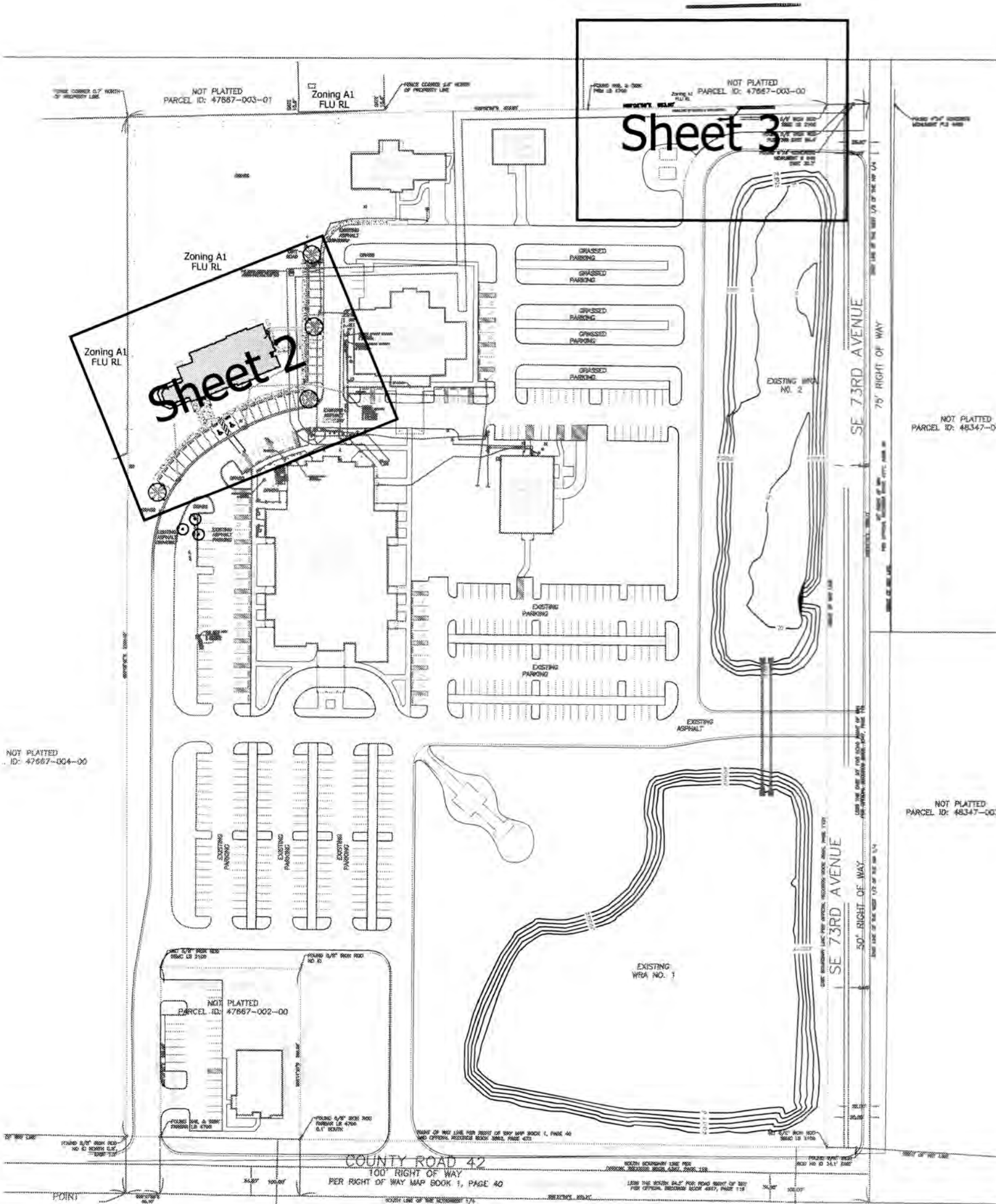
- LEGEND
- TREE PER PLAN
 - 1/2" DIA. BLACK RUBBER HOSE WHERE WIRE CONNECTS TO TREE
 - GALVANIZED WIRE (NO SPLICES)
3 GUY SETS MINIMUM PER TREE
12 GA. WIRE MINIMUM FOR 24" BOX
10 GA. WIRE MINIMUM FOR 12" BOX
 - 1/2" DIA. x 30" LONG WHITE PVC SLEEVE
1 PER GUY WIRE
 - 7 GRAM PLANT TABLETS
24" BOX = 15, 30" BOX = 15
36" BOX = 18, 42" BOX = 21
48" BOX = 24, 54" BOX = 27
60" BOX = 30, 72" BOX = 33
 - EARTH WATERING BASK (RAKE SMOOTH PRIOR TO HYDROSEEDING IN HYDROSEED BEDS AT END OF PLANT ESTABLISHMENT PERIOD FOR ALL REMAINING BASKS)
 - FINISH GRADE
 - ANCHOR STAKES (2x30" SIKWOOD OR 1" DIA. x 30" GALVANIZED PIPE)
 - CONNECTED BACKFILL MIX (PER PLANTING SPECIFICATIONS)
 - ROOTBALL (SET CROWN +/- 3" ABOVE FINISH GRADE)
 - UNDISTURBED NATIVE SOIL



- LEGEND
- TREE CANOPY PER PLAN
 - ROOTBALL (DO NOT PENETRATE WITH STAKES)
 - (6) TREE TIES PER PLANTING SPECIFICATIONS - 1 IN EACH HEIGHT LEVEL PER TREE PLANTING DETAIL
 - (3) 2" DIA. x 10' LONG LOGGEO POLE STAKES
- NOTE: REFER TO TREE PLANTING DETAIL FOR PLANTING AND MATERIAL SPECIFICATIONS



- LEGEND
- SHRUB OR VINE PER PLAN
 - EARTH WATERING BASK (RAKE SMOOTH PRIOR TO SEEDING IN HYDROSEED BEDS AT END OF PLANT ESTABLISHMENT PERIOD FOR ALL REMAINING BASKS)
 - FINISH GRADE
 - 7 GRAM PLANT TABLETS
1 GAL. = 3, 5 GAL. = 8, 15 GAL. = 9
 - ROOTBALL (SET CROWN +/- 3" ABOVE FINISH GRADE)
 - CONNECTED BACKFILL MIX (PER PLANTING SPECIFICATIONS)
 - UNDISTURBED NATIVE SOIL



Drawing Key
scale = 1"=130'

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/24
EXPIRATION DATE: 10/21/26

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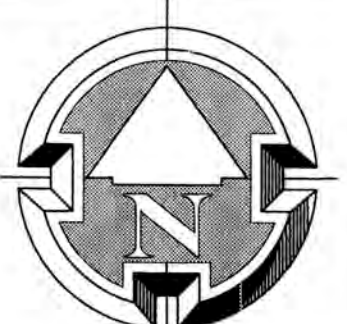
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HUFFSTETLER
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
Lic. # 000744 (352) 516-5254
bobhuff@marion.com

Landscape Plan

St. Marks
the Evangelist
Marion County, Florida



revisions:	description:	date:	drawing date:
1	02-08-2024	07-25-2024	09-14-2023
2	Plant revision		
3			
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when plotted on
24" x 36" sheet

sheet: 1
of: 3

Plant List:

Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
TREES						
5	Southern Live Oak	Quercus virginiana	L, M	Yes	as shown	3.5" cal. X 12'
5	Dahoon Holly	Ilex cassine	L, M	Yes	as shown	3.5" cal. X 12'
5	Sabal Palm	Sabal palmetto	L, M	No	as shown	10' cl min.
4	Natchez Crape Myrtle	Lagerstroemia indica 'Natchez'	L, M	No	as shown	3.5" cal. X 12'
SHRUBS						
51	Sandankwa Viburnum	Viburnum suspensum	L, M	No	3' oc	3G, 18"
1	Ligustrum Tree MT	Ligustrum japonicum	L, M	No	as shown	6'X6' MT
2	European Fan Palm	Chamaedorea humilis	L, M	No	as shown	16G
5	Simpson's Stopper	Myrsine fragnans	L	Yes	3' oc	3G, 18"
26	Shillings Holly	Ilex vomitoria 'Shillings Dwarf'	L	Yes	3' oc	3G, 18"
21	Coontie	Zamia floridana	L	Yes	3' oc	3G, 18"
15	Sweet Viburnum	Viburnum odoratissimum	L, M	No	3' oc	3G, 18"
112	Dwarf Walter's Viburnum	Viburnum cbovatum 'densa'	L	Yes	3' oc	3G, 18"
SOD						
21,000 sf	Floritam	Stenotaphrum secundatum	L, M	No		sod

Landscape Completion Inspection Requirements:

Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy.

Landscape Notes:

All plant material to be Florida #1 or better as defined in the Florida Grades and Standards for Nursery Plants, most current edition.

Required shade trees shall have a single straight trunk to a minimum of four feet (4'), a minimum caliper of three and one half inches (3.5"), and a minimum height of 12 feet (12') at the time of planting.

Required ornamental trees may be single stemmed or multi-stemmed and shall have a minimum height of six feet (6') and a minimum spread of four feet (4') at the time of planting.

Required shrubs and hedges shall have a minimum height of eighteen inches (18") at the time of planting and shall reach an average height of thirty-six inches (36") within one (1) year of the time of planting. When a continuous hedge is required, the plants shall be planted at a maximum spacing of thirty-six inches (36") on center.

Landscape plants and features that are not required by code shall be optional to install at owner's discretion without plan revision.

All Landscape trees to be from preferred tree list or approved alternatives.

All landscape shrubs to be from preferred shrub list or approved alternatives.

Installation of trees and shrubs shall comply with standard nursery practice.

Landscape to meet all applicable Florida Friendly and County requirements.

Required landscape buffers to utilize existing plant material where applicable.

All landscape planting in the WRAs will be above the designated high water elevation.

See engineering plans for details and dimensions.

Ground cover hatch patterns illustrate differences in mass planted areas, hatch pattern is not associated with any particular ground cover type.

L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
(352) 516-5254



L.R. Huffstetler III - Lic. # 000744

Zoning A1 FLU RL

Zoning A1
FLU RL

PROJECT AREA 1 ACRE

**DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA**

UK APPLICATION #: 31592
APPROVAL DATE: 10/21/24
6 EXPIRATION DATE: 10/21/26

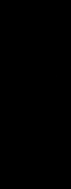
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Landscape Plan

St. Marks the Evangelist

Marion County, Florida

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(352) 516-5254

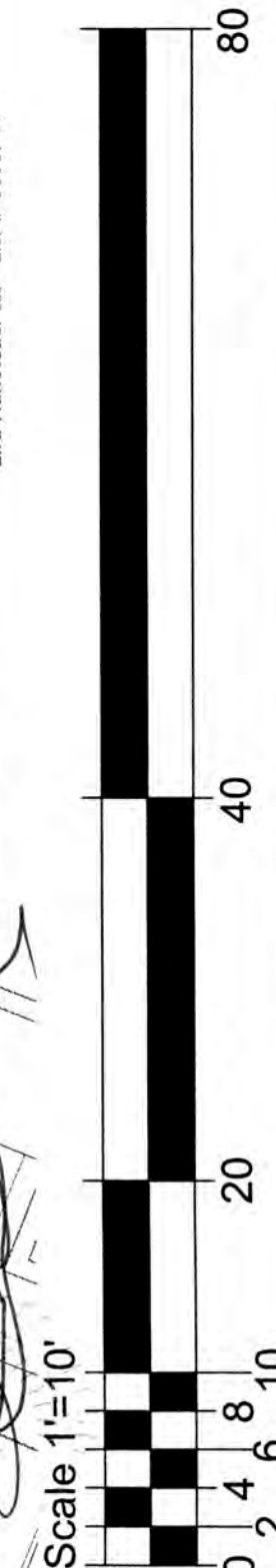
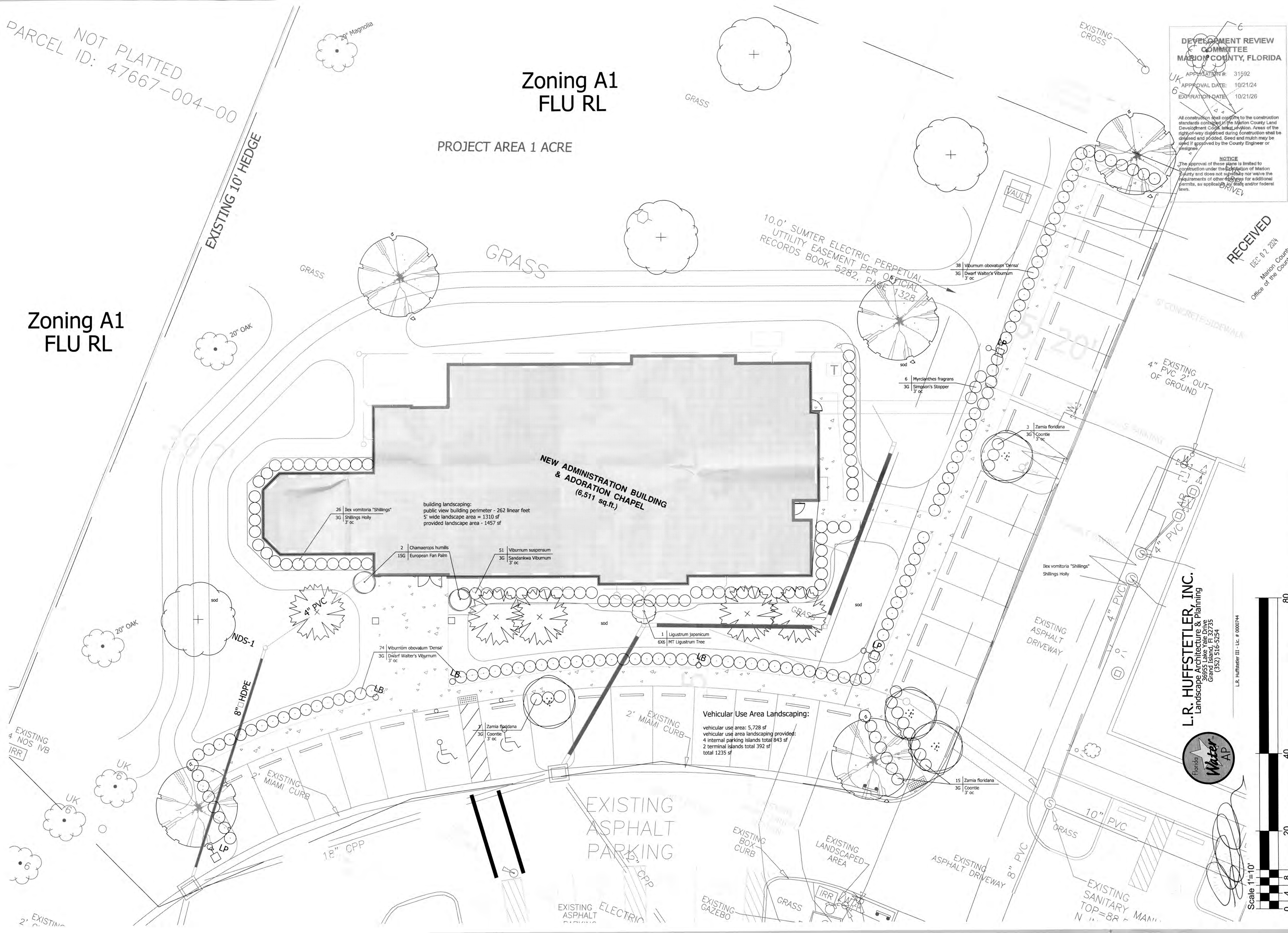


L.R. Huffstetler III - Lic. # 0000744

[illegible]

scale: 1"=10'
when plotted on
24" x 36" sheet

sheet: 2
of: 3

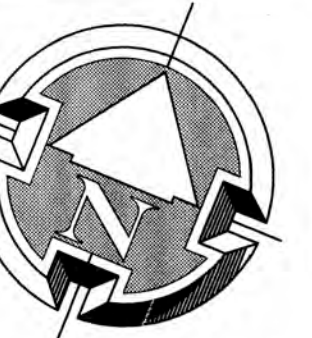


NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

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Marion County
Office of the County Engineer

Landscape and Irrigation Plan

**St. Mark
the Evangelist**
Marion County, Florida

[illegible]

scale: 1"=10'
when plotted on
24" x 36" sheet

sheet: 3
of: 3

NOT PLATTED

PARCEL ID: 47667-003-00

**Zoning A1
FLU RL**

823.90'

SOUTH LINE OF CHARLES & VICKI COUTURE

15	Viburnum odoratissimum
3G	Sweet Viburnum
3' oc	

fill in missing buffer plants as required
irrigation from existing system

SET 5/8" IRON ROD
SSMC LB 2108

FOUND 5/8" IRON ROD
PLS 7389 EAST 25.4'

FOUND 4"X4" CONCRETE
MONUMENT S 948
FAST 30.7'

L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
3695 Lake Yale Drive
Grand Island, NE 68751
402/342-1100



ST. MARK THE EVANGELIST

SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA.

31592

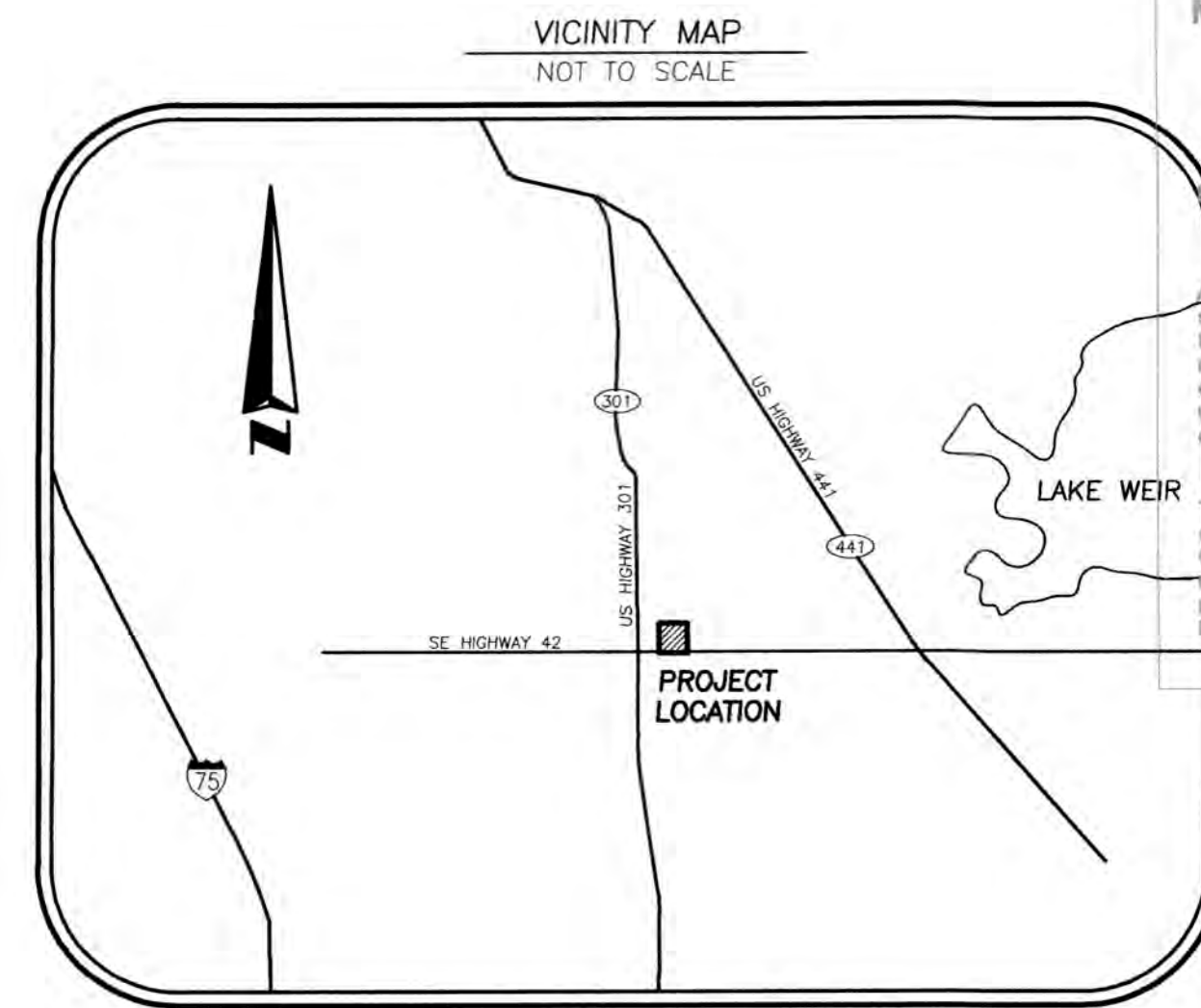
DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 31592
APPROVAL DATE: 10/21/2024
EXPIRATION DATE: 10/21/2026

Construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be graded and sodded. Seed and mulch may be used if approved by the County Engineer's designee.

NOTICE
The approval of these plans is not a guarantee of construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal agencies.

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SHEET LAYOUT
SHEET 1 COVER, KEY MAP & TOPOGRAPHIC DETAILS
SHEET 2 BOUNDARY SURVEY

LEGEND & ABBREVIATIONS:		
PVC = POLYVINYL CHLORIDE PIPE	AC = AIR CONDITIONING UNIT	• = POST/BOLLARD
CPP = CORRUGATED PLASTIC PIPE	AR = AIR RELEASE VALVE	SM = SANITARY MANHOLE
INV = INVERT	BP = BACKFLOW PREVENTER	NTS = NON-TRAFFIC SIGN
FF = FINISH FLOOR ELEVATION	h = BENCH	SP = SERVICE POLE
LB = LICENSED BUSINESS	B = BUSH	TR = TRANSFORMER ON SLAB
LS = LICENSED SURVEYOR	CM = CONCRETE MONUMENT	VA = VAULT
ID = IDENTIFICATION	CO = CLEAN OUT	WM = WATER METER
(D) = DEED	EF = ELECTRIC FIXTURE	WV = WATER VALVE
PLS = PROFESSIONAL LAND SURVEYOR	ESM = ELECTRIC SERVICE METER	YD = YARD DRAIN
RLS = REGISTERED LAND SURVEYOR	FDC = FIRE DEPARTMENT CONNECTION	-X- = CHAINLINK FENCE
PSM = PROFESSIONAL SURVEYOR AND MAPPER	FGI = FLAT GRATE INLET	-***- = BARBED WIRE FENCE
PRM = PERMANENT REFERENCE MONUMENT	FH = FIRE HYDRANT	-BE- = BURIED ELECTRIC LINE
NAD = NORTH AMERICAN DATUM	WS = WATER SPOUT	-COMM- = COMMUNICATION LINE
NAVD = NORTH AMERICAN VERTICAL DATUM	HH = HAND HOLE	-WL- = WATER LINE
TRAV.PT. = TRAVERSE POINT	IR = IRON ROD	-SAN- = SANITARY SEWER
SSMC = SOUTHEASTERN SURVEYING & MAPPING CORPORATION	IBB = IRRIGATION VALVE BOX	
	LL = LANDSCAPE LIGHTING	
	LP = LIGHT POLE	
	ND = NAIL W/DISC	
		SIZE SHOWN IS TRUNK DIAMETER IN INCHES MEASURED AT CHEST HEIGHT
		PA = PALM
		CB = CABBAGE
		TR = TREE
		H = HOLLY
		M = MAPLE
		O = OAK
		UK = UNKNOWN

DESCRIPTION:

(Official Records Book 2751, Page 1040)
Commencing at the Southwest corner of the Northwest 1/4 of Section 29, Township 17 South, Range 23 East, and run thence, S 89°35'44" E, 448.00 feet to the Point of Beginning. From the Point of Beginning, thence, S 89°35'44" E, 40.00 feet; thence, S 89°35'44" E, 266.55 feet, to a rebar & cap; thence, S 89°35'44" E, 164.00 feet to a rebar & cap; thence, S 89°35'44" E, 266.55 feet; thence, S 89°35'44" E, 673.52 feet; thence, N 00°00'12" E, along the East boundary of the West 1/2 of the said Northwest 1/4, 1290.90 feet, to an intersection with the South boundary of Charles & Vicki Couture extended, and the East boundary of the West 1/2; thence, S 88°47'32" W 878.62 feet to a 4x4 concrete monument; thence S 00°02'19" E, 1266.19 feet to the Point of Beginning.

SURVEYOR'S REPORT:

- Utility locations shown hereon are based on field locations of markings by Southeastern Surveying & Mapping Corp. Field markings are based on signals received from Ground Penetrating Radar (GPR) and electronic equipment. Locations are approximate and Test Holes should be performed for verification.
- Easements or rights of way that appear on recorded plans or that have been furnished to the surveyor by others have been incorporated into this drawing with appropriate notation. Other easements may be discovered by a search of the Public Records.
- Minimum Horizontal Accuracy for this survey is in accordance with the STANDARDS OF PRACTICE set forth by the Board of Professional Surveyors and Mappers in Chapter 5J-17 requirements of Florida Administration Code. The map and measurement methods used for this survey meet or exceed this requirement. The dimensions shown hereon are in United States survey feet and decimals thereof.
- This survey does not determine ownership of the lands shown hereon.
- Underground foundations have not been located.
- Survey map and report or the copies thereof are not valid without the original signature and seal or the electronic signature and seal of a Florida Licensed Surveyor and Mapper, and if shown hereon is in compliance with Florida Administrative Code 5J-17.062 and Florida Statute 472.025.
- Features shown by symbol as indicated in the legend are not to scale.
- Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Bearings shown hereon are based on North Right of way line of County Road 42 as being North 89°18'41" West. Bearings and distances shown hereon are measured unless otherwise noted.
- Vertical information shown hereon refers to National Geodetic Survey (NGS) point with designation "F 603", PID # DH9581, and a published elevation of 107.21 feet North American Vertical Datum of 1988 (NAVD88).
- Horizontal positions for all features shown on the map are relative to North American Datum of 1983 (NAD83), 2011 adjustment, State Plane Coordinate System, Florida West Zone point(s) used for this survey are National Geodetic Survey (NGS) point designation "SUMTER 3", PID # A17334 distance shown are Grid distances.
- This Survey was performed without benefit of an abstract, title search, title opinion or title commitment. A title search may reveal additional information affecting the parcel as shown.
- Improvements and Topographic features shown hereon are limited to areas per specific instructions of the client.
- Right of Way information shown hereon was determined by found monumentation, recorded plats, and information obtained on the Marion County Property Appraisers web site. No Right of Way documentation was provided by client.
- The above described parcel contains 22.16 acres, more or less.
- Adjacent property information shown hereon was not furnished to this surveyor, and was compiled using latest available data. No attempt was made by this Surveyor to verify its accuracy.
- Fences were located only where dimensioned and may not run straight; ownership of fences, if any, are unknown.

NOTICE OF LIABILITY:

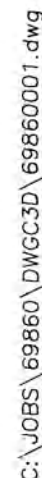
This survey is certified to those individuals shown on the face thereof. Any other use, benefit or reliance by any other party is strictly prohibited and restricted. Surveyor is responsible only to those certified and hereby disclaims any other liability and hereby restricts the rights of any other individual or firm to use this survey, without express written consent of the surveyor.

NOT PLATTED
PARCEL ID: 47667-003-01

◆ SITE BENCHMARK
SET 5/8" IRON ROD
"SSMC TRAV. PT."
ELEVATION=90.02
N=1690869.34
E=644845.35

NOT PLATTED
PARCEL ID: 47667-004-00

◆ SITE BENCHMARK
SET NAIL & DISK
"SSMC TRAV. PT."
ELEVATION=87.96
N=1690645.72
E=644878.48



APPLICANT: **STUDIOS**
 APPLICATION #: 34592
 APPROVAL DATE: 10/21/24
 EXPIRATION DATE: 10/21/26

All construction plans conform to the county and city standards contained in the Union County Building Department Code, latest revision. Areas of required right-of-way distributed during construction shall be addressed in soddies. Seed mulch may be provided by the Civil Engineer or

[illegible]

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Marion County Engineer
Office of the County Engineer

ISSUED FOR:	DATE:
☐ Concept Design	06/09/2023
☒ Schematics Design	09/15/2023
☒ Design Development	05/10/2024
☐ Construction Documents	
☐ Pricing	
☐ Bidding	
☒ Permitting	05/10/2024
☐ Construction	

A4.00

