



Marion County Board of County Commissioners

Growth Services ♦ Zoning

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2675 Fax: 352-438-2676

OFFICE USE ONLY
Received By: \_\_\_\_\_
Date Received: \_\_\_\_\_

VARIANCE APPLICATION

Application #: \_

FOR COUNTY USE ONLY

[Empty box for Parcel Account Number]

Parcel Account Number of Subject Property

THE UNDERSIGNED REQUESTS A VARIANCE AS REFERENCED IN SECTION 2.9 OF THE MARION COUNTY LAND DEVELOPMENT FOR THE PURPOSE OF:

reduced front setbacks to 20'

Section of Code requesting variance from: Sec. 4.2.9.

Legal Description (Please attach a copy of deed). Total Acreage of subject property: multiple lots +/- acres

Directions to subject property:

The subject property consists of multiple lots within Marion Oaks Unit 2. From I-75, take Exit 341 (C.R. 484) and travel west on C.R. 484 into the Marion Oaks community; turn south on Marion Oaks Boulevard and follow it to Marion Oaks Manor; then continue on Marion Oaks Manor to the intersection with Marion Oaks Drive (near where the divided section of Marion Oaks Manor ends), which marks the southwest corner of the subject area.

Please Note: Property owner must sign this application: Otherwise he/she must attach to this application written authorization naming an agent to act in his/her behalf.

BRITE PROPERTIES OF FLORIDA LLC

(Print/Signature) Property Owner

P O Box 770279

Address

ORLANDO, FL 32877

City, State, Zip Code

Contact Info: Phone, cell, e-mail address

Klein & Klein, PLLC

(Print) Applicant or Agent

40 SE 11th Ave

Address

Ocala, FL 34471

City, State, Zip Code

austin@kleinandkleinpa.com

Contact Info: Phone, cell, e-mail address

THE FILING FEE IS \$ 550 NON-REFUNDABLE. WE RECOMMEND THAT THE OWNER, APPLICANT OR AGENT BE PRESENT AT THE HEARING. IF NO REPRESENTATIVE IS PRESENT AND THE BOARD REQUIRES ADDITIONAL INFORMATION, THEY MAY DECIDE TO POSTPONE OR DENY THE REQUEST. NOTICE OF SAID HEARING WILL BE MAILED TO THE ABOVE ADDRESS. ALL INFORMATION GIVEN MUST BE CORRECT AND LEGIBLE TO BE PROCESSED. PLEASE NOTE THAT A WRITTEN PETITION (REFER TO PAGE 2 & 3) MUST BE PROVIDED WITH THIS APPLICATION, ALONG WITH A SITE PLAN IN ORDER TO BE CONSIDERED COMPLETE. FOR FURTHER INFORMATION CONTACT THE MARION COUNTY GROWTH SERVICES.

"Meeting Needs by Exceeding Expectations"

**WRITTEN PETITION FOR VARIANCE**

**WRITE YOUR ANSWERS IN THE SPACE PROVIDED AFTER EACH STATEMENT. PLEASE COMPLETE ALL REPLIES USING A SENTENCE FORM.** A VARIANCE FROM THE TERMS OF THESE REGULATIONS SHALL NOT BE GRANTED BY THE BOARD OF ADJUSTMENT UNLESS A WRITTEN PETITION FOR A VARIANCE IS SUBMITTED JUSTIFYING THE FOLLOWING:

**A.** Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings with the same zoning classification and land use area.

*Applicant's justification:*

Special conditions exist that are peculiar to this property because the lots/building envelope are unusually constrained in depth, so a five-foot increase in front setback materially reduces the functional buildable area in a way that does not affect deeper lots in the same zoning and land use area. This property's developability is further uniquely impacted by the County's project-specific history, including County Engineer approval of plans using a 20-foot front setback during due diligence and a post-closing staff position requiring 25 feet, which creates a discrete, site-specific setback conflict affecting this land and this development layout.

**B.** The special conditions and circumstances do not result from the actions of the applicant.

*Applicant's justification:*

The special conditions do not result from the actions of the applicant because the lot depth limitations are inherent to the property and were not created by the applicant. The applicant submitted plans in good faith, obtained County Engineer approval reflecting a 20-foot front setback as a condition to closing, and closed in reliance on that County action, and the applicant did not create the County's later staff requirement that the front setback must be 25 feet. The applicant also did not cause the County's recent LDC revision issues or any internal disagreement regarding whether "existing development" language should have been included, and the variance request is being pursued only because staff is applying a 25-foot front setback to this site.

**C.** Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use are under the terms of said regulations and would work unnecessary and undue hardship on the applicant.

*Applicant's justification:*

Applying the 25-foot front setback to this already depth-constrained property deprives the applicant of the practical ability to develop code-compliant residential homes with a reasonable building envelope, which is a right commonly enjoyed by other properties in the same zoning classification that have sufficient depth to accommodate typical residential plans. The hardship is unnecessary and undue because the applicant purchased and structured the project based on a County-approved 20-foot front setback and secured builder commitments tailored to that envelope, and the post-closing shift to 25 feet eliminates viable plan options and jeopardizes the project's ability to function as residential development on these lots. The hardship is not self-created and is instead the result of the County's post-approval application of a larger setback requirement to this specific site.

**D.** The Variance, if granted, is the minimum Variance that will allow the reasonable use of the land, building or structure.

*Applicant's justification:*

The requested variance is the minimum necessary because the applicant seeks only a five-foot reduction, from a 25-foot front setback to a 20-foot front setback, to preserve a workable building envelope on unusually shallow lots and to allow construction consistent with the County-approved plan set relied upon at closing. The applicant is not requesting any reduction below 20 feet and is not requesting variances for use, density, height, or other dimensional standards, and this limited adjustment is the smallest change that allows reasonable residential use of the property.

**E.** Granting the Variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning classification and land use area.

*Applicant's justification:*

Granting the variance will not confer a special privilege because the applicant is not seeking any use not otherwise permitted and is not seeking to increase intensity, density, or development rights beyond what the zoning district allows. The applicant seeks only to maintain a reasonable residential building envelope on lots with atypically shallow depth and to proceed as designed under the same general setback condition the County previously approved for this site, rather than obtaining an advantage unavailable to other similarly zoned properties.

**F.** The granting of the Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

*Applicant's justification:*

Granting the variance will not be injurious to the neighborhood or detrimental to the public welfare because the project remains a residential development subject to all other applicable code requirements, and a five-foot front setback adjustment does not create a material adverse impact to traffic, utilities, drainage, emergency access, or neighborhood character. Approval supports the public interest by allowing the project to proceed under a predictable, functional building envelope reflected in the County-approved plans and avoids stalled development and failed lot deliveries that would negatively affect surrounding area stability.

**Owner Authorization**

The undersigned (“Owner”) is the owner or authorized representative of the owner of the property that is the subject of the variance application to Marion County, Florida (the “Variance Application”) to which this Owner Authorization and Agent Designation is attached.

Owner hereby authorizes and appoints:

**Klein & Klein, PLLC**  
Attorneys at Law

as Owner’s true and lawful agent for all purposes related to the Variance Application.

Without limiting the generality of the foregoing, Owner expressly authorizes Klein & Klein, PLLC, and its attorneys, paralegals, and staff to:

1. Prepare, sign, submit, supplement, and amend the Variance Application and any related materials on Owner’s behalf.
2. Communicate and meet with Marion County staff, boards, and elected officials concerning the Variance Application.
3. Appear at and participate in any hearings, meetings, or proceedings related to the Variance Application.
4. Receive all notices, correspondence, and determinations regarding the Variance Application.

Owner acknowledges and consents to the filing, processing, and consideration of the Variance Application.

This Authorization shall remain in full force and effect until the Variance Application, and any related appeals or reconsideration requests, are finally resolved, or until revoked in writing by Owner and delivered to Marion County and Klein & Klein, PLLC.

DATED 12/31/2025

BRITE PROPERTIES OF FLORIDA LLC

By:  \_\_\_\_\_  
Signed by: Robert Kociecki  
B0A520117D77401...

Name: Robert Kociecki

Title: Manager

This Document Prepared By and Return to:  
Five Points Title Services  
Denise G. Smith  
8014 SW 135th Street Rd  
Ocala, FL 34473  
352-307-0796

Parcel ID Number: Multiple Lots

# Warranty Deed

**This Indenture**, Made this **16th** day of **December**, **2024** A.D., **Between**  
**THE DELTONA CORPORATION**, a Delaware corporation  
of the County of **Marion**, State of **Florida**, **, grantors,** and  
**Brite Properties of Florida, LLC**, a Florida limited liability company  
whose address is: **6751 Forum Drive, Suite 210, Orlando, FL 32831**  
of the County of **Orange**, State of **Florida**, **, grantee.**

**Witnesseth** that the GRANTORS, for and in consideration of the sum of  
**TEN DOLLARS (\$10)**  
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby  
acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns  
forever, the following described land, situate, lying and being in the County of **Marion**  
State of **Florida** to wit:


**SEE ATTACHED EXHIBIT "A"**

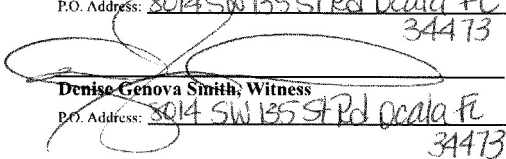
**Subject to taxes for the year 2025 and subsequent years, easements and restrictions of record.**


and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons  
whomsoever.

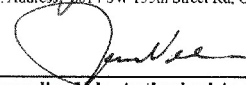
**In Witness Whereof**, the grantors have hereunto set their hands and seals the day and year first above written.

**Signed, sealed and delivered in our presence:**

  
\_\_\_\_\_  
**Victoria Pollard, Witness**  
P.O. Address: **8014 SW 135th Rd Ocala FL 34473**

  
\_\_\_\_\_  
**Denise Genova Smith, Witness**  
P.O. Address: **8014 SW 135th Rd Ocala FL 34473**

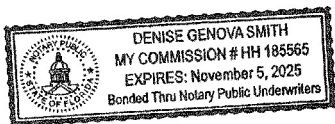
**THE DELTONA CORPORATION**, a Delaware corporation  
By:   
\_\_\_\_\_  
**Maegan Thacker, Authorized Agent**  
P.O. Address: **8014 SW 135th Street Rd, Ocala, FL 34473**


By:   
\_\_\_\_\_  
**Jacqueline Vela, Authorized Agent**  
P.O. Address: **8014 SW 135th Street Rd, Ocala, FL 34473**

(Corporate Seal)

**State of Florida**  
**County of Marion**

The foregoing instrument was acknowledged before me by means of  physical presence or  online  
notarization, this **16th** day of **December**, **2024**, by **Maegan Thacker, Authorized Agent and Jacqueline Vela,**  
**Authorized Agent of THE DELTONA CORPORATION**, a Delaware corporation on behalf of the corporation  
who are personally known to me or who have produced their **Personally known to me** as identification.



  
\_\_\_\_\_  
**Notary Public Signature**  
**Print Name**  
My Commission Expires:

**EXHIBIT "A"  
LEGAL DESCRIPTION**

**PARCELS 1 - 19:**

LOTS 1 THROUGH 19, INCLUSIVE, BLOCK 73, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCELS 20-23:**

LOTS 1 THROUGH 4, INCLUSIVE, BLOCK 74, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCEL 24:**

LOT 2, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCEL 25:**

LOT 3, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCEL 26:**

LOT 4, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCEL 27:**

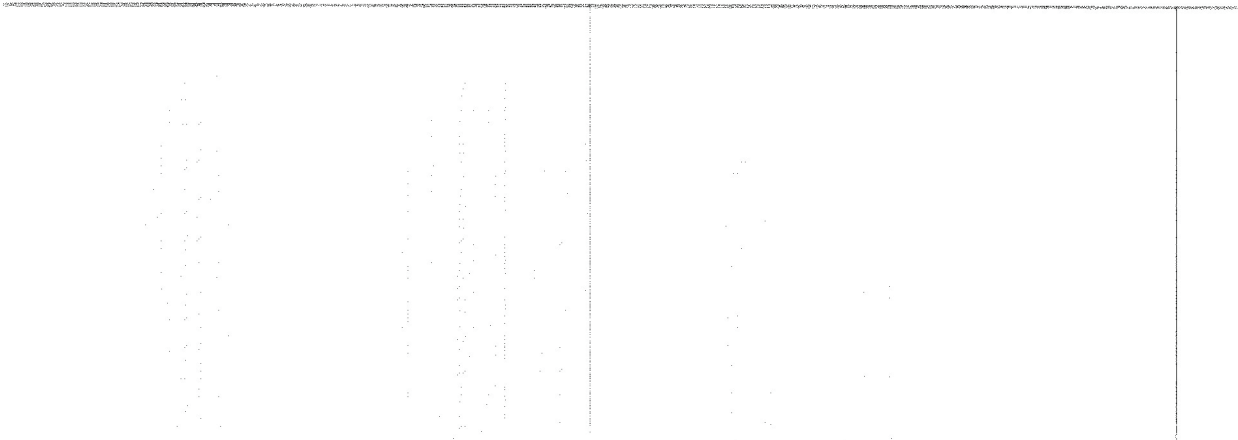
LOT 1, BLOCK 78, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCEL 28:**

LOT 1, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**PARCEL 29:**

LOT 16, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 30:

LOT 12, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 31:

LOT 13, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 32:

LOT 14, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 33:

LOT 15, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 34:

LOT 16, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 35:

LOT 17, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 36:

LOT 18, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 37:

LOT 19, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 38:

LOT 20, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 39:

LOT 1, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 40:

LOT 9, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 41:

LOT 10, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 42:

LOT 11, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 43:

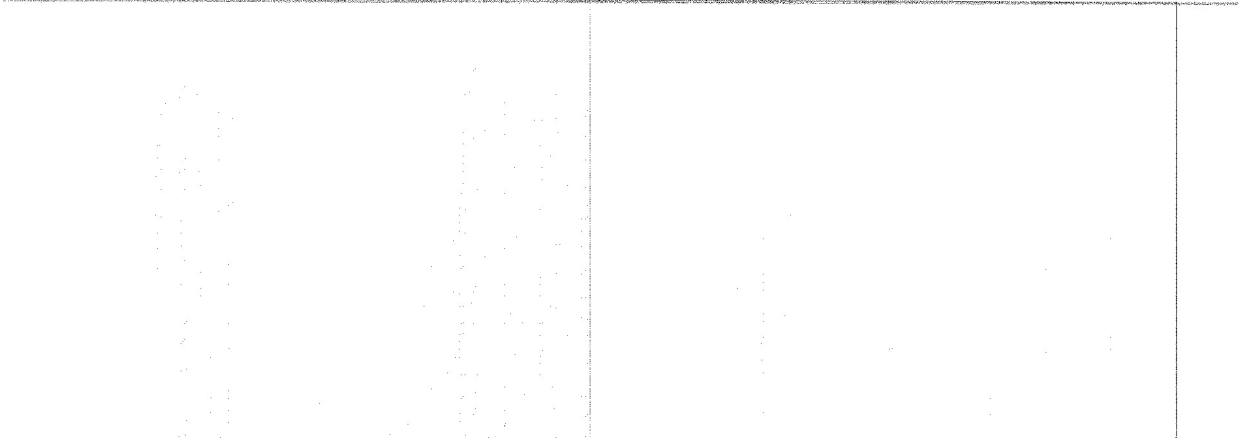
LOT 12, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 44:

LOT 13, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 45:

LOT 14, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 46:

LOT 15, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 47 - 62:

LOTS 1 THROUGH 16, INCLUSIVE, BLOCK 85, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 63 - 96:

LOTS 1 THROUGH 34, INCLUSIVE, BLOCK 86, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 97 - 106:

LOTS 1 THROUGH 10, INCLUSIVE, BLOCK 87, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 107:

LOT 1, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 108:

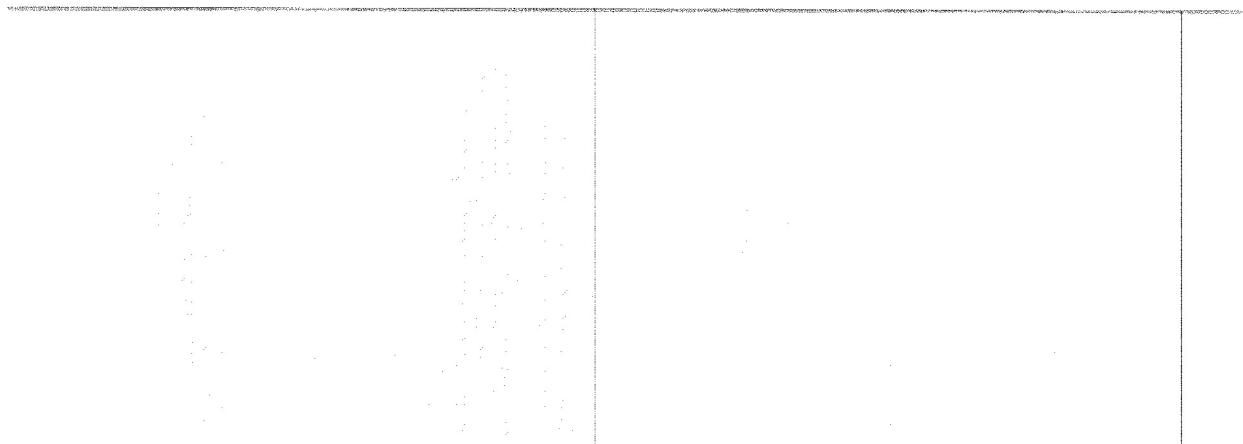
LOT 2, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 109:

LOT 3, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 110:

LOT 4, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCEL 111:

LOT 5, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 112:

LOT 6, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 113:

LOT 7, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 114:

LOT 8, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 115:

LOT 9, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 116 - 134:

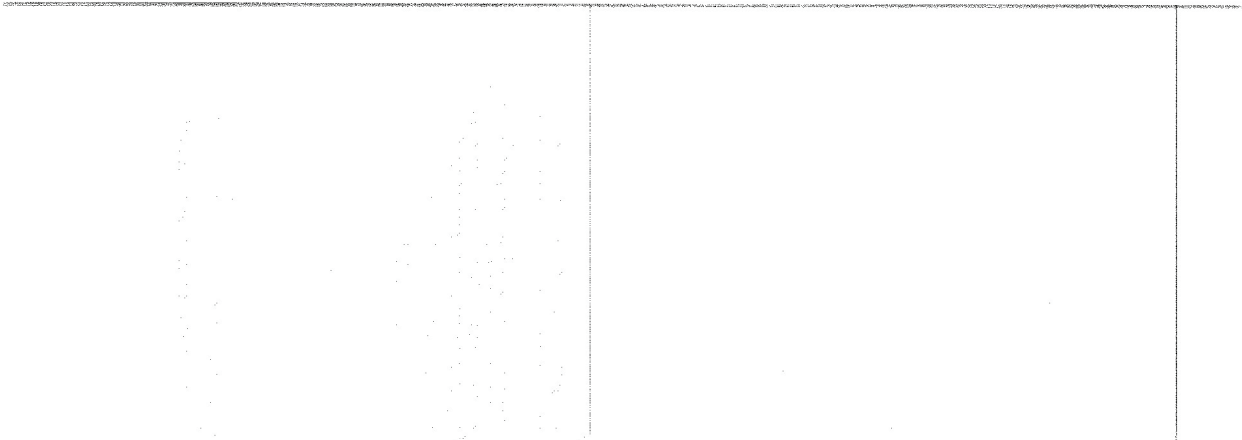
LOTS 1 THROUGH 5, LOTS 13 THROUGH 25 AND LOT 38, BLOCK 89, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 135 - 143:

LOTS 1 THROUGH 9, INCLUSIVE, BLOCK 72, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 144 - 174:

LOTS 1 THROUGH 22, LOT 25 THROUGH 29, AND LOTS 32 THROUGH 35, INCLUSIVE, BLOCK 90, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



PARCELS 175 - 192:

LOTS 1 THROUGH 18, INCLUSIVE, BLOCK 91, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 193- 212:

LOTS 1 THROUGH 11 AND LOTS 24 THROUGH 32, INCLUSIVE, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 213 - 233:

LOTS 1 THROUGH 21, INCLUSIVE, BLOCK 94, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 234 - 249:

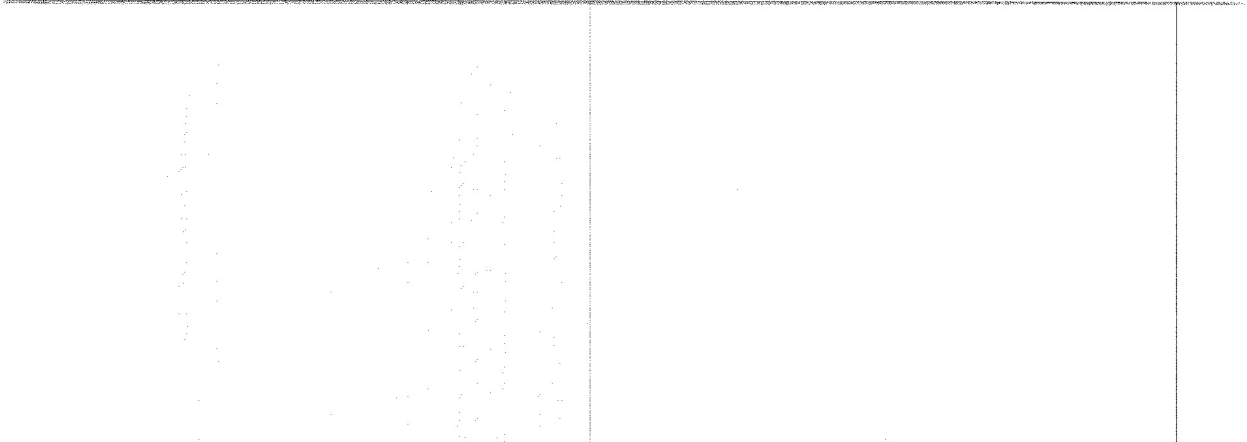
LOTS 1 THROUGH 15 AND LOT 32, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 250:

LOT 23, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 251:

LOT 16, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



The variance request applies to, and the applicant intends to use, the following Marion County Parcel Identification Numbers (“PIDs”) as the subject parcels (collectively, the “Subject Property”):

8002-0073-01  
8002-0084-01  
8002-0087-01  
8002-0091-01  
8002-0092-01  
8002-0095-01  
8002-0084-13  
8002-0072-01  
8002-0074-01  
8002-0076-02  
8002-0076-03  
8002-0076-04  
8002-0078-01  
8002-0079-01  
8002-0079-16  
8002-0084-09  
8002-0084-10  
8002-0084-11  
8002-0084-12  
8002-0084-14  
8002-0084-15  
8002-0085-01  
8002-0086-01  
8002-0088-01  
8002-0088-02  
8002-0088-03  
8002-0088-04  
8002-0088-05  
8002-0088-06  
8002-0088-07  
8002-0088-08  
8002-0088-09  
8002-0089-01  
8002-0090-01

8002-0092-23

8002-0094-01

8002-0095-16

8002-0083-12

8002-0083-13

8002-0083-14

8002-0083-15

8002-0083-16

8002-0083-17

8002-0083-18

8002-0083-19

8002-0083-20



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0072-01

Prime Key: 2139951

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$1,888.64  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 2.05

### Current Value

Land Just Value	\$63,550	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$63,550	<a href="#">Ex Codes:</a>
Total Assessed Value	\$63,550	
Exemptions	\$0	
Total Taxable	\$63,550	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$63,550	\$0	\$0	\$63,550	\$63,550	\$0	\$63,550
2024	\$149,950	\$0	\$0	\$149,950	\$1,355	\$0	\$1,355
2023	\$138,554	\$0	\$0	\$138,554	\$1,390	\$0	\$1,390

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1944/1743</a>	07/1993	07 WARRANTY	0	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 72 LOTS 1.2.3.4.5.6.7.8.9  
**Parent Parcel:** 8002-0072-00

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	97.0	118.0	R1	.26	AC	31,000.0000	1.00	1.00	1.00	8,060	8,060
9900	82.0	118.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	84.0	112.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	90.0	112.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	89.0	117.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900	89.0	117.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900	86.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	85.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	105.0	100.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9994	500.0	.0	R1	1.00	UT	.0000	1.00	1.00	1.00		

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$63,550  
Total Land - Just \$63,550

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/2000
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$63,550	1/16/2025
Total Just Value	\$63,550	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0073-01

Prime Key: 1287260

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,591.75  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 4.06

### Current Value

Land Just Value	\$125,860	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$125,860	<a href="#">Ex Codes:</a>
Total Assessed Value	\$125,860	
Exemptions	\$0	
Total Taxable	\$125,860	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$125,860	\$0	\$0	\$125,860	\$125,860	\$0	\$125,860
2024	\$111,800	\$0	\$0	\$111,800	\$934	\$0	\$934
2023	\$103,303	\$0	\$0	\$103,303	\$957	\$0	\$957

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 73 LOTS 1.2.3.4.5.6.7.8.9.  
10.11.12.13.14.15.16.17.18.19

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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0001	96.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
0001	82.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
0001	82.0	121.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	81.0	124.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	88.0	124.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
0001	75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
0001	75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
0001	105.0	105.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
0001	100.0	105.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
0001	129.0	100.0	R1	.30	AC	31,000.0000	1.00	1.00	1.00	9,300	9,300
0001	100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
0001	84.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$125,860  
Total Land - Just \$125,860

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$125,860	3/13/2025
Total Just Value	\$125,860	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0074-01

Prime Key: 2142073

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$1,003.74  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .76

### Current Value

Land Just Value	\$23,560	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$23,560	<u>Ex Codes:</u>
Total Assessed Value	\$23,560	
Exemptions	\$0	
Total Taxable	\$23,560	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$23,560	\$0	\$0	\$23,560	\$23,560	\$0	\$23,560
2024	\$26,670	\$0	\$0	\$26,670	\$600	\$0	\$600
2023	\$40,679	\$0	\$0	\$40,679	\$881	\$0	\$881

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 74 LOTS 1.2.3.4  
**Parent Parcel:** 8002-0074-00

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	95.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
Neighborhood 9050										Total Land - Class \$23,560	
Mkt: 5 70										Total Land - Just \$23,560	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$23,560	3/13/2025
Total Just Value	\$23,560	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0076-02

Prime Key: 2145528

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$6,589	\$0	\$6,589
2023	\$26,800	\$0	\$0	\$26,800	\$5,990	\$0	\$5,990

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
F/K/A FEATHER NEST-PER DECLARATIONS & COVENANTS 1855/1407  
N/K/A GLEN AIRE PH 1 PER AMENDMENT OF DECLARATION 6342/1413  
BLK 76 LOT 2  
**Parent Parcel:** 8002-0076-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		80.0	125.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0076-03

Prime Key: 2145552

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$6,589	\$0	\$6,589
2023	\$26,800	\$0	\$0	\$26,800	\$5,990	\$0	\$5,990

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
F/K/A FEATHER NEST-PER DECLARATIONS & COVENANTS 1855/1407  
N/K/A GLEN AIRE PH 1 PER AMENDMENT OF DECLARATION 6342/1413  
BLK 76 LOT 3  
**Parent Parcel:** 8002-0076-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		80.0	125.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0076-04

Prime Key: 2145579

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<a href="#">Ex Codes:</a>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$6,589	\$0	\$6,589
2023	\$26,800	\$0	\$0	\$26,800	\$5,990	\$0	\$5,990

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
F/K/A FEATHER NEST-PER DECLARATIONS & COVENANTS 1855/1407  
N/K/A GLEN AIRE PH 1 PER AMENDMENT OF DECLARATION 6342/1413  
BLK 76 LOT 4  
**Parent Parcel:** 8002-0076-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		80.0	125.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0078-01

Prime Key: 2146940

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.95  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .20

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 78 LOT 1

Parent Parcel: 8002-0078-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		89.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0079-01

Prime Key: 2148420

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.11  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .24

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 79 LOT 1

**Parent Parcel:** 8002-0079-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	106.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0079-16

Prime Key: 2150068

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.11  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .24

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 79 LOT 16

**Parent Parcel:** 8002-0079-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	106.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/16/2025	
Total Just Value	\$35,800	.	

Cost Summary

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/16/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-12

Prime Key: 2184272

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.07  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .23

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 12

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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0001	100.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-13

Prime Key: 2184281

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 13

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	80.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-14

Prime Key: 2184299

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 14

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	80.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-15

Prime Key: 2184302

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.91  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .19

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 15

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	83.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-16

Prime Key: 2184329

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.95  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .20

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 16

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	85.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-17

Prime Key: 2184353

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.95  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .20

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 17

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	85.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-18

Prime Key: 2184388

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 18

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-19

Prime Key: 2184400

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 19

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0083-20

Prime Key: 2184418

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$35,800
Total Assessed Value	\$35,800
Exemptions	\$0
Total Taxable	\$35,800

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 83 LOT 20

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-01

Prime Key: 1287391

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.03  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .22

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 1

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

0001	97.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9076										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/16/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-09

Prime Key: 2156341

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.62  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .25

### Current Value

Land Just Value	\$26,850
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$26,850
Total Assessed Value	\$26,850
Exemptions	\$0
Total Taxable	\$26,850

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 9

Parent Parcel: 8002-0084-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	108.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$26,850	1/16/2025
Total Just Value	\$26,850	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-10

Prime Key: 2156384

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.50  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .22

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 10

**Parent Parcel:** 8004-0084-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		94.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-11

Prime Key: 2156406

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 11

**Parent Parcel:** 8002-0084-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-12

Prime Key: 2156449

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 12

Parent Parcel: 8002-0084-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-13

Prime Key: 2124199

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 13

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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0001	90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076										Total Land - Class \$26,850	
Mkt: 5 70										Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$26,850	1/16/2025
Total Just Value	\$26,850	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-14

Prime Key: 2156511

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.46  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 14

Parent Parcel: 8002-0084-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		90.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0084-15

Prime Key: 2156571

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$530.62  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .25

### Current Value

Land Just Value	\$26,850	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$26,850	<u>Ex Codes:</u>
Total Assessed Value	\$26,850	
Exemptions	\$0	
Total Taxable	\$26,850	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$26,850	\$0	\$0	\$26,850	\$26,850	\$0	\$26,850
2024	\$21,750	\$0	\$0	\$21,750	\$4,941	\$0	\$4,941
2023	\$20,100	\$0	\$0	\$20,100	\$4,492	\$0	\$4,492

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 84 LOT 15

**Parent Parcel:** 8002-0084-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		100.0	107.0	R1	1.00	LT	35,800.0000	1.00	1.00	0.75	26,850	26,850
Neighborhood 9076											Total Land - Class \$26,850	
Mkt: 5 70											Total Land - Just \$26,850	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$26,850	1/16/2025	
Total Just Value	\$26,850	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$26,850	1/16/2025				
Total Just Value	\$26,850	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0085-01

Prime Key: 2156619

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$2,913.21  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 3.32

### Current Value

Land Just Value	\$102,920	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$102,920	<a href="#">Ex Codes:</a>
Total Assessed Value	\$102,920	
Exemptions	\$0	
Total Taxable	\$102,920	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$102,920	\$0	\$0	\$102,920	\$102,920	\$0	\$102,920
2024	\$83,000	\$0	\$0	\$83,000	\$379	\$0	\$379
2023	\$76,692	\$0	\$0	\$76,692	\$391	\$0	\$391

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 85 LOTS 1.2.3.4.5.6.7.  
8.9.10.11.12.13.14.15.16  
**Parent Parcel:** 8002-0085-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		89.0	102.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		81.0	107.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		75.0	117.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		76.0	117.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		78.0	117.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	121.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		89.0	121.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		93.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		78.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	115.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		80.0	112.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		84.0	112.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
Neighborhood 9050											Total Land - Class \$102,920	
Mkt: 5 70											Total Land - Just \$102,920	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$102,920	1/16/2025	
Total Just Value	\$102,920	.	

Bldg Nbr	RCN	Depreciation	Depreciated



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0086-01

Prime Key: 2157666

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$6,150.74  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 99  
Acres: 7.01

### Current Value

Land Just Value	\$217,310	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$217,310	<u>Ex Codes:</u>
Total Assessed Value	\$217,310	
Exemptions	\$0	
Total Taxable	\$217,310	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$217,310	\$0	\$0	\$217,310	\$217,310	\$0	\$217,310
2024	\$175,250	\$0	\$0	\$175,250	\$806	\$0	\$806
2023	\$161,931	\$0	\$0	\$161,931	\$820	\$0	\$820

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 86 LOTS 1.2.3.4.5.6.7.8.9.  
10.11.12.13.14.15.16.17.18.19.  
20.21.22.23.24.25.26.27.28.29  
30.31.32.33.34  
**Parent Parcel:** 8002-0086-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		84.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		93.0	112.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		88.0	105.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		84.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		101.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		101.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		83.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		83.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		83.0	100.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900		87.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		107.0	120.0	R1	.29	AC	31,000.0000	1.00	1.00	1.00	8,990	8,990
9900		98.0	132.0	R1	.30	AC	31,000.0000	1.00	1.00	1.00	9,300	9,300
9900		90.0	101.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		95.0	102.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		83.0	113.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		79.0	138.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		73.0	165.0	R1	.28	AC	31,000.0000	1.00	1.00	1.00	8,680	8,680
9900		78.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		96.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
Neighborhood 9050											Total Land - Class \$217,310	
Mkt: 5 70											Total Land - Just \$217,310	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
---------------	-------------	----------------	-------------

Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$217,310	1/16/2025			
Total Just Value	\$217,310	.			





Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0087-01

Prime Key: 1287430

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$1,808.48  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 2.04

### Current Value

Land Just Value	\$63,240	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$63,240	<a href="#">Ex Codes:</a>
Total Assessed Value	\$63,240	
Exemptions	\$0	
Total Taxable	\$63,240	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$63,240	\$0	\$0	\$63,240	\$63,240	\$0	\$63,240
2024	\$51,000	\$0	\$0	\$51,000	\$234	\$0	\$234
2023	\$47,124	\$0	\$0	\$47,124	\$238	\$0	\$238

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 87 LOTS 1.2.3.4.5.  
6.7.8.9.10

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
-----	------	-------	-------	--------	-------	------	------	-----	-----	-----	-------	-------	------------

9900	99.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	79.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	100.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	89.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	89.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	89.0	100.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900	99.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$63,240  
Total Land - Just \$63,240

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$63,240	1/16/2025
Total Just Value	\$63,240	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-01

Prime Key: 2159898

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.99  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .21

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$24	\$0	\$24
2023	\$26,800	\$0	\$0	\$26,800	\$24	\$0	\$24

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 1  
**Parent Parcel:** 8002-0088-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	91.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062										Total Land - Class \$35,800	
Mkt: 5 70										Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$35,800	1/15/2025
Total Just Value	\$35,800	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-02

Prime Key: 2159910

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 2

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-03

Prime Key: 2159944

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 3

**Parent Parcel:** 8002-0088-01

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-04

Prime Key: 2160870

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 4

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-05

Prime Key: 2160969

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 5

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-06

Prime Key: 2161001

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 6

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-07

Prime Key: 2161086

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 7

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-08

Prime Key: 2161116

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.87  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .18

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$20	\$0	\$20
2023	\$26,800	\$0	\$0	\$26,800	\$21	\$0	\$21

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 8

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		77.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0088-09

Prime Key: 2161159

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$677.03  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: .22

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	<u>Ex Codes:</u>
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$26	\$0	\$26
2023	\$26,800	\$0	\$0	\$26,800	\$26	\$0	\$26

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 23 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 88 LOT 9

Parent Parcel: 8002-0088-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		98.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0089-01

Prime Key: 2161892

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,999.04  
Map ID: 168  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 3.39

### Current Value

Land Just Value	\$105,090	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$105,090	<a href="#">Ex Codes:</a>
Total Assessed Value	\$105,090	
Exemptions	\$0	
Total Taxable	\$105,090	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$105,090	\$0	\$0	\$105,090	\$105,090	\$0	\$105,090
2024	\$133,000	\$0	\$0	\$133,000	\$600	\$0	\$600
2023	\$122,892	\$0	\$0	\$122,892	\$626	\$0	\$626

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 89 LOTS 1.2.3.4.5.13.14.15.  
16.17.18.19.20.21.22.23.24.25.38  
**Parent Parcel:** 8002-0089-00

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		76.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		92.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$105,090  
Total Land - Just \$105,090

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$105,090	1/16/2025			
Total Just Value	\$105,090	.			

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0090-01

Prime Key: 2165511

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$5,796.05  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 99  
Acres: 6.17

### Current Value

Land Just Value	\$191,270
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$191,270
Total Assessed Value	\$191,270
Exemptions	\$0
Total Taxable	\$191,270

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$191,270	\$0	\$0	\$191,270	\$191,270	\$0	\$191,270
2024	\$174,250	\$0	\$0	\$174,250	\$793	\$0	\$793
2023	\$161,007	\$0	\$0	\$161,007	\$818	\$0	\$818

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 90 LOTS 1.2.3.4.5.6.  
7.8.9.10.11.12.13.14.15.  
16.17.18.19.20.21.22.25.  
26.27.28.29.32.33.34.35  
**Parent Parcel:** 8002-0090-00







Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0091-01

Prime Key: 1287481

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,472.44  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 4.12

### Current Value

Land Just Value	\$127,720
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$127,720
Total Assessed Value	\$127,720
Exemptions	\$0
Total Taxable	\$127,720

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$127,720	\$0	\$0	\$127,720	\$127,720	\$0	\$127,720
2024	\$103,000	\$0	\$0	\$103,000	\$468	\$0	\$468
2023	\$95,172	\$0	\$0	\$95,172	\$484	\$0	\$484

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 91 LOTS 1.2.3.4.5.6  
.7.8.9.10.11.12.13.14.15  
.16.17.18

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		90.0	114.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		75.0	114.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		86.0	137.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900		82.0	107.0	R1	.20	AC	31,000.0000	1.00	1.00	1.00	6,200	6,200
9900		82.0	109.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900		75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	120.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		75.0	165.0	R1	.28	AC	31,000.0000	1.00	1.00	1.00	8,680	8,680
9900		75.0	165.0	R1	.28	AC	31,000.0000	1.00	1.00	1.00	8,680	8,680
9900		75.0	120.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		129.0	105.0	R1	.31	AC	31,000.0000	1.00	1.00	1.00	9,610	9,610
9900		102.0	100.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		97.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900		116.0	125.0	R1	.33	AC	31,000.0000	1.00	1.00	1.00	10,230	10,230
Neighborhood 9050											Total Land - Class \$127,720	
Mkt: 5 70											Total Land - Just \$127,720	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/2000
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$127,720	1/16/2025
Total Just Value	\$127,720	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0092-01

Prime Key: 1287502

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$3,852.55  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 4.13

### Current Value

Land Just Value	\$128,030	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$128,030	<u>Ex Codes:</u>
Total Assessed Value	\$128,030	
Exemptions	\$0	
Total Taxable	\$128,030	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$128,030	\$0	\$0	\$128,030	\$128,030	\$0	\$128,030
2024	\$117,500	\$0	\$0	\$117,500	\$543	\$0	\$543
2023	\$108,570	\$0	\$0	\$108,570	\$550	\$0	\$550

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 92 LOTS 1.2.3.4.5.6.7.8.9.10.  
11.24.25.26.27.28.29.30.31.32

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	95.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	102.0	R1	.19	AC	31,000.0000	1.00	1.00	1.00	5,890	5,890
9900	93.0	126.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900	98.0	160.0	R1	.36	AC	31,000.0000	1.00	1.00	1.00	11,160	11,160
9900	99.0	142.0	R1	.32	AC	31,000.0000	1.00	1.00	1.00	9,920	9,920
9900	85.0	106.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	77.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	95.0	100.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$128,030  
Total Land - Just \$128,030

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
------	-----------	------	------	---------	-------	--------	-------

Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$128,030	1/16/2025			
Total Just Value	\$128,030	.			



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0092-23

Prime Key: 2172215

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.99

Map ID: 152

Millage: 8002 - UNINCORPORATED

M.S.T.U.

PC: 00

Acres: .21

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$16,819	\$0	\$16,819
2023	\$26,800	\$0	\$0	\$26,800	\$15,290	\$0	\$15,290

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 92 LOT 23

**Parent Parcel:** 8002-0092-01

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		91.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class \$35,800	
Mkt: 5 70											Total Land - Just \$35,800	

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0094-01

Prime Key: 2174188

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$4,265.22  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 99  
Acres: 5.23

### Current Value

Land Just Value	\$162,130	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$162,130	<a href="#">Ex Codes:</a>
Total Assessed Value	\$162,130	
Exemptions	\$0	
Total Taxable	\$162,130	

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$162,130	\$0	\$0	\$162,130	\$162,130	\$0	\$162,130
2024	\$130,750	\$0	\$0	\$130,750	\$598	\$0	\$598
2023	\$120,813	\$0	\$0	\$120,813	\$613	\$0	\$613

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 94 LOTS 1.2.3.4.5.6.7.  
8.9.10.11.12.13.14.15.16.17.  
18.19.20.21

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9900		91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	111.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900		86.0	181.0	R1	.36	AC	31,000.0000	1.00	1.00	1.00	11,160	11,160
9900		90.0	157.0	R1	.32	AC	31,000.0000	1.00	1.00	1.00	9,920	9,920
9900		105.0	155.0	R1	.37	AC	31,000.0000	1.00	1.00	1.00	11,470	11,470
9900		105.0	140.0	R1	.34	AC	31,000.0000	1.00	1.00	1.00	10,540	10,540
9900		106.0	139.0	R1	.34	AC	31,000.0000	1.00	1.00	1.00	10,540	10,540
9900		101.0	117.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900		101.0	107.0	R1	.25	AC	31,000.0000	1.00	1.00	1.00	7,750	7,750
9900		101.0	116.0	R1	.27	AC	31,000.0000	1.00	1.00	1.00	8,370	8,370
9900		105.0	120.0	R1	.29	AC	31,000.0000	1.00	1.00	1.00	8,990	8,990
9900		100.0	103.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		90.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900		100.0	106.0	R1	.24	AC	31,000.0000	1.00	1.00	1.00	7,440	7,440
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900		80.0	100.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580

Neighborhood 9050

Total Land - Class \$162,130

Mkt: 5 70

Total Land - Just \$162,130

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800
Total Depreciation	\$0	
Bldg - Just Value	\$0	
Misc - Just Value	\$0	3/12/2011
Land - Just Value	\$162,130	1/16/2025
Total Just Value	\$162,130	.

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0095-01

Prime Key: 1287545

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$2,713.74  
Map ID: 152  
Millage: 8002 - UNINCORPORATED

M.S.T.U.  
PC: 00  
Acres: 2.93

### Current Value

Land Just Value	\$90,830
Buildings	\$0
Miscellaneous	\$0
Total Just Value	\$90,830
Total Assessed Value	\$90,830
Exemptions	\$0
Total Taxable	\$90,830

[Ex Codes:](#)

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$90,830	\$0	\$0	\$90,830	\$90,830	\$0	\$90,830
2024	\$73,250	\$0	\$0	\$73,250	\$331	\$0	\$331
2023	\$67,683	\$0	\$0	\$67,683	\$345	\$0	\$345

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 95 LOTS 1.2.3.4.5.6.  
7.8.9.10.11.12.13.14.15.32

### Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
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9900	92.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	86.0	90.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	80.0	126.0	R1	.23	AC	31,000.0000	1.00	1.00	1.00	7,130	7,130
9900	85.0	90.0	R1	.18	AC	31,000.0000	1.00	1.00	1.00	5,580	5,580
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	75.0	100.0	R1	.17	AC	31,000.0000	1.00	1.00	1.00	5,270	5,270
9900	91.0	100.0	R1	.21	AC	31,000.0000	1.00	1.00	1.00	6,510	6,510
9900	91.0	107.0	R1	.22	AC	31,000.0000	1.00	1.00	1.00	6,820	6,820

Neighborhood 9050  
Mkt: 5 70

Total Land - Class \$90,830  
Total Land - Just \$90,830

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
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Total Value - \$0

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
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Cost Summary

Buildings R.C.N.	\$0	1/1/1800			
Total Depreciation	\$0				
Bldg - Just Value	\$0				
Misc - Just Value	\$0	3/12/2011			
Land - Just Value	\$90,830	1/16/2025			
Total Just Value	\$90,830	.			

Bldg Nbr	RCN	Depreciation	Depreciated
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2025 Certified Assessment Roll

8002-0095-16

Prime Key: 2176873

[MAP IT+](#)

### Property Information

BRITE PROPERTIES OF FLORIDA LLC  
6751 FORUM DR STE 210  
ORLANDO FL 32821-8089

Taxes / Assessments: \$676.99

Map ID: 152

Millage: 8002 - UNINCORPORATED

M.S.T.U.

PC: 00

Acres: .21

### Current Value

Land Just Value	\$35,800	
Buildings	\$0	
Miscellaneous	\$0	
Total Just Value	\$35,800	
Total Assessed Value	\$35,800	
Exemptions	\$0	
Total Taxable	\$35,800	

Ex Codes:

### History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$35,800	\$0	\$0	\$35,800	\$35,800	\$0	\$35,800
2024	\$29,000	\$0	\$0	\$29,000	\$16,819	\$0	\$16,819
2023	\$26,800	\$0	\$0	\$26,800	\$15,290	\$0	\$15,290

### Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8493/1889</a>	12/2024	07 WARRANTY	8 ALLOCATED	U	V	\$5,145,500
<a href="#">6900/1644</a>	01/2019	05 QUIT CLAIM	0	U	V	\$100
<a href="#">2141/0490</a>	05/1995	07 WARRANTY	8 ALLOCATED	U	V	\$4,717
<a href="#">1941/1743</a>	07/1993	07 WARRANTY	7 PORTIONUND INT	U	V	\$100

### Property Description

SEC 22 TWP 17 RGE 21  
PLAT BOOK O PAGE 019  
MARION OAKS UNIT 2  
BLK 95 LOT 16

**Parent Parcel:** 8002-0095-01

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0001		91.0	100.0	R1	1.00	LT	35,800.0000	1.00	1.00	1.00	35,800	35,800
Neighborhood 9062											Total Land - Class	\$35,800
Mkt: 5 70											Total Land - Just	\$35,800

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
Total Value - \$0							

Appraiser Notes

Planning and Building  
\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
<u>Cost Summary</u>			
Buildings R.C.N.	\$0	1/1/1800	
Total Depreciation	\$0		
Bldg - Just Value	\$0		
Misc - Just Value	\$0	3/12/2011	
Land - Just Value	\$35,800	1/15/2025	
Total Just Value	\$35,800	.	

			Bldg Nbr	RCN	Depreciation	Depreciated
Buildings R.C.N.	\$0	1/1/1800				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/12/2011				
Land - Just Value	\$35,800	1/15/2025				
Total Just Value	\$35,800	.				



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
BRITE PROPERTIES OF FLORIDA, LLC

### Filing Information

<b>Document Number</b>	L18000085781
<b>FEI/EIN Number</b>	61-1885993
<b>Date Filed</b>	04/04/2018
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	LC STMNT OF RA/RO CHG
<b>Event Date Filed</b>	01/15/2019
<b>Event Effective Date</b>	NONE

### Principal Address

6751 Forum Drive  
Suite 210  
Orlando, FL 32821

Changed: 06/20/2023

### Mailing Address

P.O. Box 770279  
Orlando, FL 32877

Changed: 06/20/2023

### Registered Agent Name & Address

Wharton Law Group, PA  
456 S. Central Avenue  
Oviedo, FL 32765

Name Changed: 10/10/2019

Address Changed: 10/10/2019

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

BRITE GROUP HOLDINGS FLORIDA, LLC

6751 Forum Drive  
Suite 210  
Orlando, FL 32821

Title Manager

Kociecki, Robert  
6751 Forum Drive  
Suite 210  
Orlando, FL 32821

#### **Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2023	01/19/2023
2024	03/25/2024
2025	04/29/2025

#### **Document Images**

<a href="#">04/29/2025 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/25/2024 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/20/2023 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/19/2023 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/23/2022 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/02/2021 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/12/2020 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">10/10/2019 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">09/04/2019 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/12/2019 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/15/2019 -- CORLCRACHG</a>	View image in PDF format
<a href="#">04/04/2018 -- Florida Limited Liability</a>	View image in PDF format

This Document Prepared By and Return to:  
Five Points Title Services  
Denise G. Smith  
8014 SW 135th Street Rd  
Ocala, FL 34473  
352-307-0796

Parcel ID Number: **Multiple Lots**

# Warranty Deed

**This Indenture**, Made this **16th** day of **December**, **2024** A.D., **Between**  
**THE DELTONA CORPORATION, a Delaware corporation**  
of the County of **Marion**, State of **Florida**, **grantors**, and  
**Brite Properties of Florida, LLC, a Florida limited liability company**  
whose address is: **6751 Forum Drive, Suite 210, Orlando, FL 32831**  
of the County of **Orange**, State of **Florida**, **grantee**.

**Witnesseth** that the GRANTORS, for and in consideration of the sum of  
**TEN DOLLARS (\$10)**  
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby  
acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns  
forever, the following described land, situate, lying and being in the County of **Marion**  
State of **Florida** to wit:


**SEE ATTACHED EXHIBIT "A"**

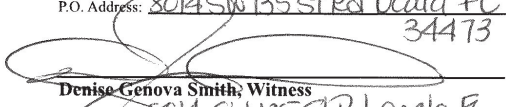
**Subject to taxes for the year 2025 and subsequent years, easements and restrictions of record.**


and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons  
whomsoever.

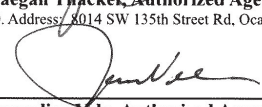
**In Witness Whereof**, the grantors have hereunto set their hands and seals the day and year first above written.

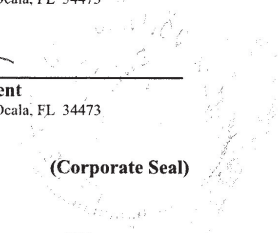
**Signed, sealed and delivered in our presence:**

  
\_\_\_\_\_  
**Victoria Pollard, Witness**  
P.O. Address: 8014 SW 135th St Rd Ocala FL  
34473

  
\_\_\_\_\_  
**Denise Genova Smith, Witness**  
P.O. Address: 8014 SW 135th St Rd Ocala FL  
34473

**THE DELTONA CORPORATION, a Delaware corporation**  
By:   
\_\_\_\_\_  
**Maegan Thacker, Authorized Agent**  
P.O. Address: 8014 SW 135th Street Rd, Ocala, FL 34473

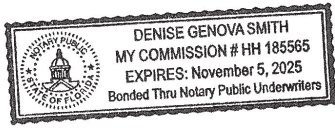
By:   
\_\_\_\_\_  
**Jacqueline Vela, Authorized Agent**  
P.O. Address: 8014 SW 135th Street Rd, Ocala, FL 34473




(Corporate Seal)

**State of Florida**  
**County of Marion**

The foregoing instrument was acknowledged before me by means of  physical presence or  online  
notarization, this **16th** day of **December**, **2024**, by **Maegan Thacker, Authorized Agent and Jacqueline Vela,**  
**Authorized Agent of THE DELTONA CORPORATION, a Delaware corporation on behalf of the corporation**  
who are personally known to me or who have produced their **Personally known to me** as identification.



  
\_\_\_\_\_  
**Notary Public Signature**  
**Print Name**  
My Commission Expires:

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

PARCELS 1 - 19:

LOTS 1 THROUGH 19, INCLUSIVE, BLOCK 73, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 20-23:

LOTS 1 THROUGH 4, INCLUSIVE, BLOCK 74, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 24:

LOT 2, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 25:

LOT 3, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 26:

LOT 4, BLOCK 76, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 27:

LOT 1, BLOCK 78, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 28:

LOT 1, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 29:

LOT 16, BLOCK 79, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 30:

LOT 12, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 31:

LOT 13, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 32:

LOT 14, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 33:

LOT 15, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 34:

LOT 16, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 35:

LOT 17, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 36:

LOT 18, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 37:

LOT 19, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 38:

LOT 20, BLOCK 83, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 39:

LOT 1, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 40:

LOT 9, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 41:

LOT 10, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 42:

LOT 11, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 43:

LOT 12, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 44:

LOT 13, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 45:

LOT 14, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 46:

LOT 15, BLOCK 84, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 47 - 62:

LOTS 1 THROUGH 16, INCLUSIVE, BLOCK 85, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 63 - 96:

LOTS 1 THROUGH 34, INCLUSIVE, BLOCK 86, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 97 - 106:

LOTS 1 THROUGH 10, INCLUSIVE, BLOCK 87, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 107:

LOT 1, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 108:

LOT 2, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 109:

LOT 3, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 110:

LOT 4, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 111:

LOT 5, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 112:

LOT 6, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 113:

LOT 7, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 114:

LOT 8, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 115:

LOT 9, BLOCK 88, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 116 - 134:

LOTS 1 THROUGH 5, LOTS 13 THROUGH 25 AND LOT 38, BLOCK 89, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 135 - 143:

LOTS 1 THROUGH 9, INCLUSIVE, BLOCK 72, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 144 - 174:

LOTS 1 THROUGH 22, LOT 25 THROUGH 29, AND LOTS 32 THROUGH 35, INCLUSIVE, BLOCK 90, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 175 - 192:

LOTS 1 THROUGH 18, INCLUSIVE, BLOCK 91, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 193- 212:

LOTS 1 THROUGH 11 AND LOTS 24 THROUGH 32, INCLUSIVE, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 213 - 233:

LOTS 1 THROUGH 21, INCLUSIVE, BLOCK 94, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCELS 234 - 249:

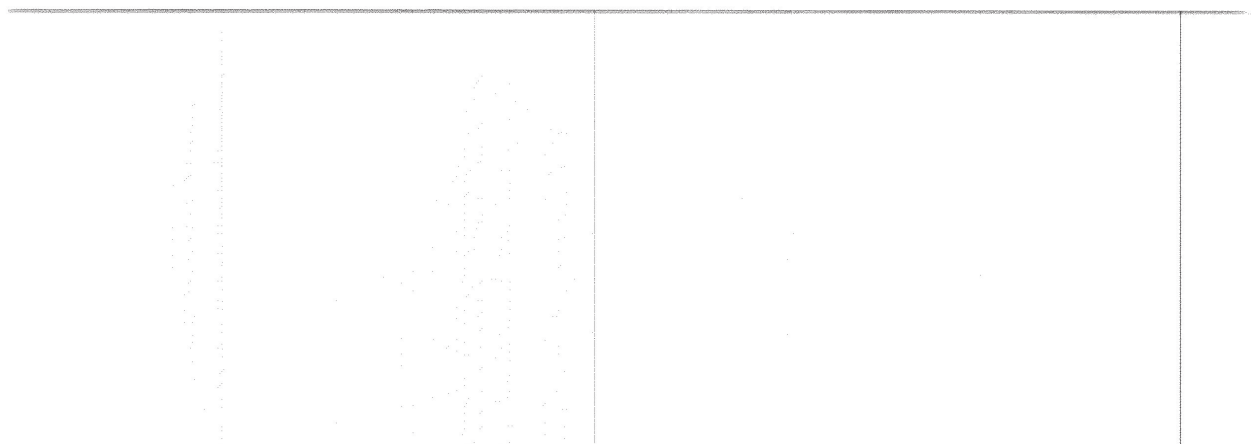
LOTS 1 THROUGH 15 AND LOT 32, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 250:

LOT 23, BLOCK 92, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

PARCEL 251:

LOT 16, BLOCK 95, MARION OAKS, UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK O, PAGES 19 THROUGH 35, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



## SUPPLEMENTAL STATEMENT REGARDING HOA APPROVAL REQUIREMENT

(MRTA / NO ACTIVE HOA)

Applicant submits this supplement in response to the application instruction stating: "Please note that if your property is subject to a Homeowner's Association an approval letter must be submitted along with other required documents."

The Subject Property (the parcels identified on the attached PID list) is not subject to any currently existing or enforceable homeowners' association approval requirement. To the extent any historic "Marion Oaks" declarations/restrictions or HOA-type covenants may have been recorded against these parcels, Applicant contends that such covenants have been extinguished and/or are no longer enforceable under Florida's Marketable Record Title Act ("MRTA"), Chapter 712, Florida Statutes, and therefore no HOA approval letter is applicable or available for these parcels.

Accordingly, Applicant is not submitting an HOA approval letter because there is no operative HOA with approval authority over the Subject Property for purposes of this variance application. If the County believes an HOA approval letter is required, Applicant requests that Staff identify (by official records book/page or instrument number) the specific recorded instrument(s) that (i) currently impose an HOA approval requirement on these parcels and (ii) remain preserved/enforceable notwithstanding MRTA.

# IMPROVEMENT PLANS

For A

## PORTION OF MARION OAKS UNIT 2

- BLOCK: 72 LOTS: 1-9
- BLOCK: 73 LOTS: 1-19
- BLOCK: 74 LOTS: 1-4
- BLOCK: 76 LOTS: 1-16
- BLOCK: 78 LOTS: 1-10
- BLOCK: 79 LOTS: 1-16
- BLOCK: 83 LOTS: 12-20
- BLOCK: 84 LOTS: 1-9-15
- BLOCK: 85 LOTS: 1-16
- BLOCK: 86 LOTS: 1-34
- BLOCK: 87 LOTS: 1-10
- BLOCK: 88 LOTS: 1-10, 18
- BLOCK: 89 LOTS: 1-5, 13-25, 38
- BLOCK: 90 LOTS: 1-29, 32-35
- BLOCK: 91 LOTS: 1-18
- BLOCK: 92 LOTS: 1-4, 23-32
- BLOCK: 93 LOTS: 1-21
- BLOCK: 95 LOTS: 1-16, 32

ACCORDING TO PLAT BOOK '01', AT PAGES 19-35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

NOVEMBER 30, 2022

Call 811 or www.sunshine811.com for all utility services. This service is available 24/7. For more information, visit www.sunshine811.com.

**COUNTY ENGINEER**  
MARION COUNTY, FLORIDA

APPLICATION #: 28457  
EXPIRATION DATE: 10/6/29

DATE: 10/6/29  
BY: [Signature]

REVISIONS PER COUNTY COMMENTS  
REVISIONS PER COUNTY COMMENTS  
REVISIONS PER COUNTY COMMENTS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY ARE USING THE PERMITTED PLANS PRIOR TO BEGINNING CONSTRUCTION. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT THE APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

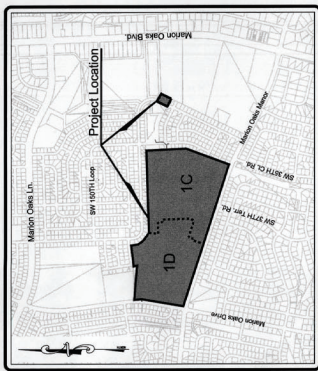
MARION COUNTY PROJECT No. 29457

**MRS. MICHAEL W. RADOFF ENGINEERING, INC.**  
12101 SW 15th St, Suite 100, Davie, FL 33317  
Tel: 954-944-9999  
www.radoffengineering.com

DATE: 12-1-22  
BY: [Signature]

**COVER SHEET**

PROJECT NAME: Marion Oaks Unit 2 Improvement Plans  
SHEET NO. 01 OF 45



**PROJECT LOCATION MAP**  
(NOT TO SCALE)  
SECTION: 22 & 23, TOWNSHIP: 17 SOUTH, RANGE: 21 EAST  
MARION COUNTY, FLORIDA

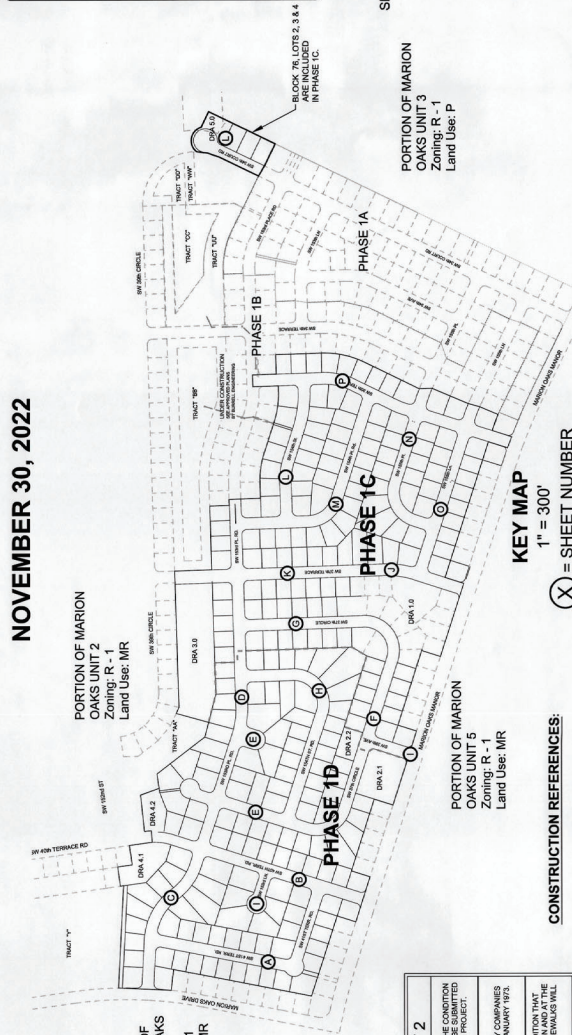
**Description:**  
A PORTION OF "MARION OAKS UNIT No. 2", ACCORDING TO THE PLAT BOOK '01', AT PAGES 19-35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

- Index of Sheets:**
- C001 COVER SHEET
  - C002 NOTES
  - C003 TYPICAL SECTIONS
  - C004 OVERALL PLATTED SITE
  - C005 CLEARING & GRUBBING PLAN
  - C006-C007 GRADING PLAN
  - C008 SOIL BORING LOCATIONS
  - C009-C010 DRAINAGE PLAN
  - C011-C012 DRA CROSS SECTIONS
  - C013-C014 WATER & SEWER UTILITY PLAN
  - C015-C016 CONCRETE PAVEMENT & PROFILES SHEETS
  - C033 NON-ROADWAY PIPE PROFILES
  - C034-C041 WATER & SEWER DETAIL SHEETS
  - EC1 CONSTRUCTION DETAIL SHEET
  - P001-P005 SWPPP
  - S001-S006 SURVEY

**OWNER:**  
THE DELTONA CORPORATION  
3001 W. DELTONA BOULEVARD  
DELRON, FL 32733

**CONTACT:**  
JEANNE-HOLEY  
TELEPHONE: (352) 347-2322

ALL TRAILS AND LOTS REFERRED TO THESE IMPROVEMENT PLANS WERE PLATTED IN 1973 (P.L. BOOK '01', PAGES 19-35). THESE IMPROVEMENTS SHALL BE CONSTRUCTED BY THE DELTONA CORPORATION AT ITS EXPENSE AND BEHAVIOR FOR PUBLIC USE. AS IMPROVEMENTS FOR 2 YEARS, AFTER WHICH, MAINTENANCE SHALL BE RELAYED UPON ACCEPTANCE OF SUCH IMPROVEMENTS BY MARION COUNTY.



**KEY MAP**  
1" = 300'  
X = SHEET NUMBER

**Owner's Certification:**  
I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL MAINTAIN THE PROJECT AS SHOWN ON THESE IMPROVEMENT PLANS WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN WITH THE APPROPRIATE WATER MANAGEMENT DISTRICT RIGHT DISTANCES ACCORDANCE OF SUCH IMPROVEMENTS BY MARION COUNTY.

**Engineer's Certification:**  
I HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THESE IMPROVEMENTS ARE DESIGNED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF MARION COUNTY AND THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN. I WILL BE PROTECTED FROM STORM WATER DAMAGE AS RESULT OF THE PROPOSED DEVELOPMENT, AND THAT THE DRAINAGE FACILITIES WILL BE MAINTAINED AND OPERATED IN ACCORDANCE WITH THE APPROPRIATE WATER MANAGEMENT DISTRICT RIGHT DISTANCES AND THE APPROPRIATE WATER MANAGEMENT DISTRICT RIGHT DISTANCES.

JEANNE-HOLEY  
BY: [Signature]  
DATE: 11/2/22

FLORIDA REG. ENGINEER, NO. 31770

**General Notes:**

- THE ROAD CONTRACTOR SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT REGULATIONS AND COUNTY CONTROL STANDARDS GOVERNED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
- SEE SANITARY SEWER AND WATER SYSTEM DETAIL SHEETS FOR GENERAL UTILITY CONSTRUCTION.
- THE ROAD CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE ROW AND UTILITIES SHOWN HEREIN HAVE BEEN LOCATED BASED ON ABOVE GROUND EXISTENCE OF UTILITIES. ACTUAL LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES BY CONTACTING THE UTILITY COMPANIES OR NOT SHOWN THROUGH DIRECT CONTACT WITH THE APPROPRIATE UTILITY COMPANIES. SUCH CONTACT SHALL BE MADE PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE ROAD CONTRACTORS OPERATIONS AS TO BE RELOCATED BY THE DEVELOPMENT CODE PRIOR TO OR IN CONJUNCTION WITH THE ROADWAY PROJECT.
- DELTONA CORP. SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- CONSTRUCTION OPERATIONS SHALL BE PERFORMED BY A LICENSED SURVEYOR AT THE ROAD CONTRACTOR'S EXPENSE.
- COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN SUBMITTED TO THE MARION COUNTY ENGINEER'S OFFICE FOR REVIEW AND APPROVAL. ANY SUBSEQUENT CHANGES TO THE REPRODUCIBLE ORIGINAL DOCUMENTS.
- ELEVATIONS ARE BASED ON THE FPKM NETWORK, NAD 1983 AND N.G.S. BENCHMARK 175 ADJUSTMENT, UTILIZING FOOT FROM NETWORK.
- DESIGN SPEED IS 30 M.P.H.
- ARE LOCATED IN PHASE 1C AND 119 LOTS ARE LOCATED IN PHASE 1D.
- THIS DEVELOPMENT CONTAINS A TOTAL OF 3,07 MILES OF ROAD, AND 251 LOTS, 132 LOTS ARE LOCATED IN PHASE 1C AND 119 LOTS ARE LOCATED IN PHASE 1D.

**Environmental:**  
SEE REPORT OF ASSESS & ASSOCIATED, DATED MARCH 2022.

PORTION OF MARION OAKS UNIT 2  
Zoning: R-1  
Land Use: MR

AREA DATA BLOCK	
SF	AC
TOTAL AREA	3,821,951 / 87.74
EXISTING IMPERVIOUS AREA	0 / 0
PROPOSED IMPERVIOUS AREA	1,594,329 / 36.6
PERCENT IMPERVIOUS	41.7%

APPROVED WAIVERS FOR MARION OAKS UNIT 2

2.18.2.I  
APPROVAL DATE: 12/1/22  
CODE SECTION: 2.17.2.H

APPROVAL DATE: 12/1/22  
CODE SECTION: 6.12.12.A, B, & C

APPROVAL DATE: 12/1/22  
CODE SECTION: 6.12.9.K

APPROVAL DATE: 12/1/22  
CODE SECTION: 8.9.20.24

APPROVED WAIVERS FOR MARION OAKS UNIT 2

WAIVED THE REQUIREMENT TO EXTEND SW WITH COURT ROAD WITH THE CONDITION THAT THE ROAD CONTRACTOR SHALL MAINTAIN THE EXISTING SW WITH COURT ROAD FOR APPROVAL WITHIN TWO YEARS OF THE PLAN APPROVAL FOR THIS PROJECT.

WAIVED THE REQUIREMENTS FOR PROVIDING LETTERS FROM THE UTILITY COMPANIES ACCEPTING THE EXISTING UTILITY EMBARKMENTS THAT WERE PLATTED IN JANUARY 1973.

WAIVED THE REQUIREMENTS FOR PROVIDING SIGNALS WITH A CONDITION THAT SIGNALS WILL BE CONSTRUCTED AT THE TIME OF PHASE CONSTRUCTION AND AT THE END OF TWO YEARS OR 66% LEVEL OF COMPLETION OF THE SIGNALS WILL BE CONSTRUCTED.

WAIVED THE REQUIREMENTS REGARDING CENTER LINE SIGNAGE AS SHOWN ON THESE IMPROVEMENTS WITH A CONDITION THAT SIGNAGE SHALL BE PROVIDED WITHIN TWO YEARS OF THE PLAN APPROVAL FOR THIS PROJECT.

**UTILITY COMPANIES**

UTILITY COMPANY	CONTACT PERSON	PHONE NUMBER
SECO ENERGY	MEGAN ELLIOT	(352) 998-8835
CENTURY LINK	KURT JUDD	(352) 401-8555
COX CABLE	DAVID FERRELL	(352) 973-5641
MARION COUNTY UTILITIES (WATERSERVER)	CUSTOMER SERVICE	(352) 397-8000
NATURAL GAS	NO SERVICE PROVIDED	

**LENGTH OF PROJECT**

	LINEAR FEET	MILES
ROADWAY	16,195	3.07
BRIDGES	NONE	NONE
NET LENGTH OF PROJECT	16,195	3.07
EXCEPTIONS	NONE	NONE
GROSS LENGTH OF PROJECT	16,195	3.07



Sheet No. 45 of 45

Project: Maricopa Oaks Link 2 Improvement Plans  
 Location: Maricopa, AZ  
 Typical Section

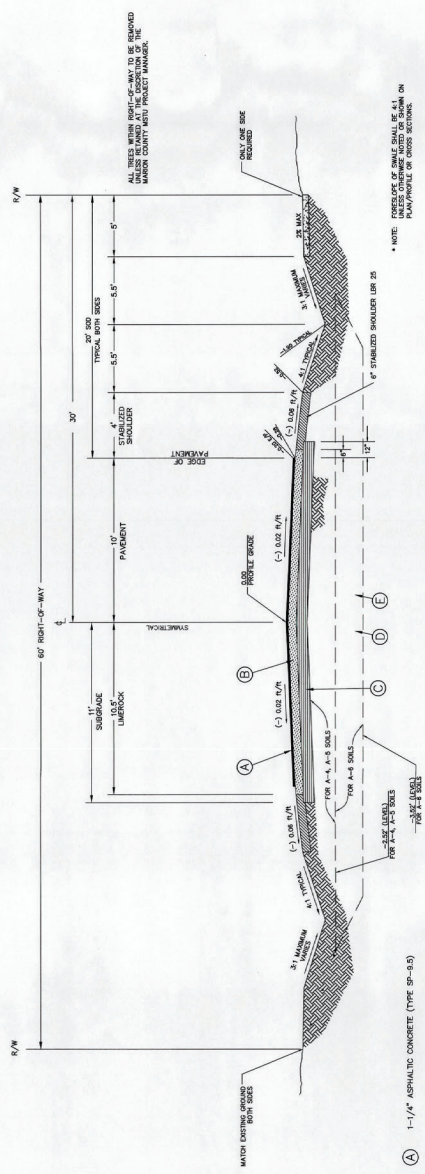
**M&M**  
 MICHAEL W. RADLFFER ENGINEERING, INC.  
 2811 S. Loop West, Suite 100, Fort Worth, TX 76106  
 Phone: (817) 412-1111  
 Fax: (817) 412-1112  
 Website: www.mradlffer.com

Revised	02/21/22	2021-43	02/21/22	02/21/22	02/21/22
Checked	MAK	MAK	MAK	MAK	MAK
Drawn	MMP	MMP	MMP	MMP	MMP

**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 28457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is not a warranty, express or implied, of the accuracy or completeness of the information provided, or of the design or construction of the project. The County Engineer's approval is based on the information provided and does not constitute an endorsement or approval of the design or construction of the project. The County Engineer's approval is based on the information provided and does not constitute an endorsement or approval of the design or construction of the project.

**MARION COUNTY PROJECT**  
**NO. 28457**



**TYPICAL SECTION 60' RW**

**General Notes:**

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION CONTAINED IN THE CITIZENS STANDARDS FOR ASSESSMENT / MSTU ROAD DESIGN AND CONSTRUCTION.
- LENGTH OF CROSS DRAINS SHOWN INCLUDES MITERED END SECTIONS.
- ALL ROADWAY PAVEMENT RADII ARE 25' UNLESS SHOWN OTHERWISE ON PLANS.
- ALL DRIVEWAY PAVEMENT RADII ARE 10' UNLESS SHOWN OTHERWISE ON PLANS.
- THE ROAD CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. SUCH CONTACT SHALL BE MADE PRIOR TO ANY CONSTRUCTION. THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO HIS OPERATION SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- ALL DRIVEWAY STATIONING IS APPROXIMATE. FINAL LOCATION MAY BE ADJUSTED IF APPROVED BY COUNTY INSPECTOR OR PROJECT MANAGER.
- ALL PROPOSED DRIVES SHALL BE ASPHALT UNLESS OTHERWISE NOTED.
- CROSS SECTIONS SHALL BE SHOWN ON ALL PLAN AND PROFILE SHOWN ON PLANS AND CROSS SECTIONS.
- SPECIAL SWALES ARE INDICATED ON EITHER THE PLAN AND PROFILE OR CROSS SECTION SHEETS.
- TREES WITHIN THE BACKSLOPE OF SWALE ARE TO BE REMOVED UNLESS RETAINED AT THE DISCRETION OF THE MARION COUNTY MSTU PROJECT MANAGER.
- UNLESS OTHERWISE NOTED, SWALES SHALL BE CONSTRUCTED TO EXISTING GROUND AT THE RIGHT-OF-WAY. BACKSLOPES STEEPER THAN 3:1 SHALL BE ALLOWED FOR SHORT DISTANCES WHEN APPROVED BY PROJECT MANAGER.



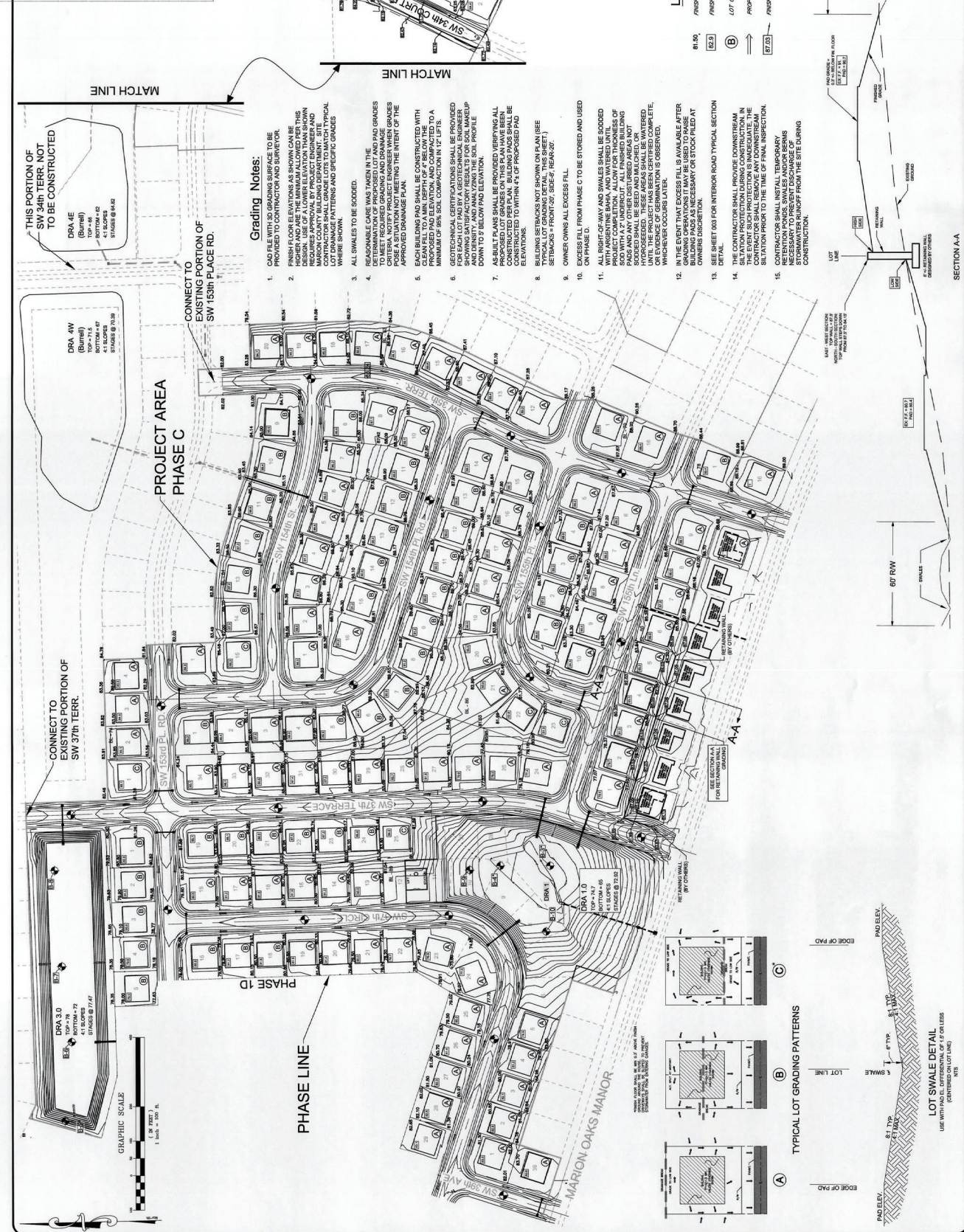


<b>MR MICHAEL W. RADLITZ ENGINEERING, INC.</b> 5115 S.E. 14th Avenue, Suite 100, Fort Lauderdale, FL 33316 Phone: (954) 572-2200 Fax: (954) 572-2210 Website: www.mwre.com		<b>Grading Plan 1C</b> Project: Marion Oaks Unit 2 Improvement Plans Location: Marion Oaks Unit 2, Marion County, FL Date: 12-1-22 Scale: 1" = 100'	
Drawn: MWR Date: 12-1-22	Checked: MWR Date: 12-1-22	Design: MWR Date: 12-1-22	Title: MWR Date: 12-1-22

**CONTRACTOR'S NOTE:**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 29457  
 APPROVAL DATE 10/4/24  
 EXPIRATION DATE 10/4/29

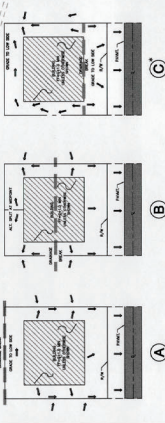
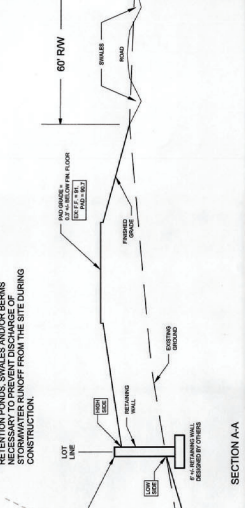
The approval of these plans by Marion County is not a guarantee of the accuracy of the information provided herein. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations.

**MARION COUNTY PROJECT**  
 No. 29457



- Grading Notes:**
- CAD FILE WITH US DRAINING SURFACE TO BE PROVIDED TO CONTRACTOR AND SURVEYOR.
  - FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED PER THIS PLAN. CONTRACTOR SHALL VERIFY FINISH FLOOR ELEVATIONS WITH ARCHITECT AND OBTAIN APPROVAL BY PROJECT ENGINEER AND ARCHITECT. CONTRACTOR SHALL GRABE LOTS TO MATCH TYPICAL LOT DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.
  - ALL SWALES TO BE SLOPED.
  - REASONABLE CARE WAS TAKEN IN THE PAD GRADES TO MEET REQUIRED DRAINAGE AND DRAINAGE PATTERN. POSE A SITUATION NOT MEETING THE INTENT OF THE APPROVED DRAINAGE PLAN.
  - EACH BUILDING PAD SHALL BE CONSTRUCTED WITH PROPOSED PAD ELEVATION, AND COMPACTED TO A MINIMUM OF 95% SOIL COMPACTION IN 12" LIFTS.
  - GEOTECHNICAL CERTIFICATIONS SHALL BE PROVIDED AND FURNISHED TO THE CONTRACTOR. CONTRACTOR SHALL SHOWING SATISFACTORY RESULTS FOR SOIL MAKEUP AND DENSITY, AND AVOID USING THE SOIL PROFILE FOR THE PROPOSED PAD GRADES.
  - AS BUILT PAD GRADES SHALL BE PROVIDED. PROPOSED LOT GRADES ON THIS PLAN HAVE BEEN CONSTRUCTED PER PLAN. BUILDING PADS SHALL BE CONSTRUCTED TO WITHIN 1% OF PROPOSED PAD ELEVATIONS.
  - BUILDING SETBACKS NOT SHOWN ON PLAN (SEE SEPARATE LOT PLANNING DETAIL, THIS SHEET).
  - OWNER OWNS ALL EXCESS FILL.
  - CONTRACTOR TO REMOVE EXCESS FILL FROM PHASE C TO BE STORED AND USED WITH ARSENITE BANIA, AND WATERED UNTIL SOIL WITH 1% HUMIDITY. ALL FINISHED BUILDING PADS AND ANY OTHER DISTURBED AREAS NOT HYDROSEDED. THESE AREAS SHALL BE WATERED, ON EVIDENCE OF CEMENTATION IS OBSERVED, WHICH OCCURS LATER.
  - IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER BUILDING PADS AND SETBACKS ON SECTION A-A, CONTRACTOR SHALL PROVIDE DOWNSTREAM PROTECTION TO THE EXCESS FILL. THE EVENT SUCH PROTECTION IS INADEQUATE, THE CONTRACTOR SHALL PROVIDE PROTECTION TO THE EXCESS FILL PRIOR TO THE TIME OF FINAL INSPECTION.
  - CONTRACTOR SHALL INSTALL TEMPORARY RETENTION POND, SWALES AND/OR BERMS TO PREVENT EXCESS FILL FROM THE SITE DURING CONSTRUCTION.

- LEGEND:**
- 81.50 FINISH GRADE SPOT ELEVATION
  - 82.9 FINISH FLOOR ELEVATION
  - (B) LOT GRADING SECTION
  - (D) PROPOSED DRAINAGE FLOW
  - 87.25 FINISH GRADE ELEVATION (RETAINING WALL)



<b>M&amp;P</b> MICHAEL W. RADCLIFFE ENGINEERING, INC. 2010 W. STATE ROAD 100, SUITE 100, MARION COUNTY, FL 32053 PHONE: 352-203-1111 FAX: 352-203-1112 WWW.MWRADCLIFFE.COM	<b>Grading Plan 1D</b> PROJECT: MARION COUNTY UNIT 2 IMPROVEMENTS PLANS LOCATION: SECTION 12 & TOWNSHIP 17 SOUTH, RANGE 17 EAST, MARION COUNTY, FL SHEET NO. 0507 OF 45	SHEET NO. 0507 OF 45
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**REGISTERED PROFESSIONAL ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 28457  
 APPROVAL DATE 10/14/24  
 EXPIRATION DATE 10/14/29

The approval of this plan is based on the information provided by the applicant. The engineer does not warrant the accuracy of the information provided, nor does the engineer assume any liability for any errors or omissions. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**NOTES:**  
 1. The approval of this plan is based on the information provided by the applicant. The engineer does not warrant the accuracy of the information provided, nor does the engineer assume any liability for any errors or omissions. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

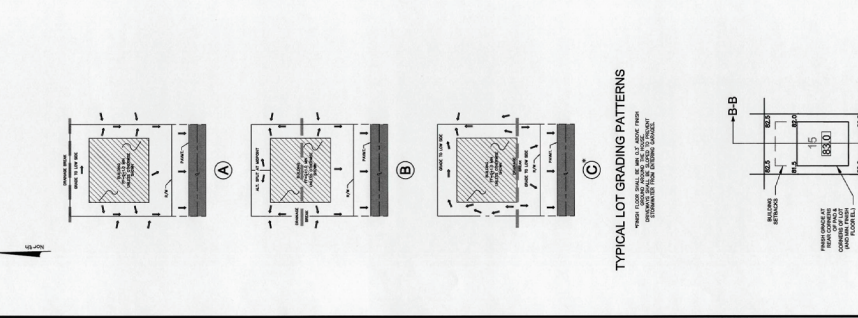
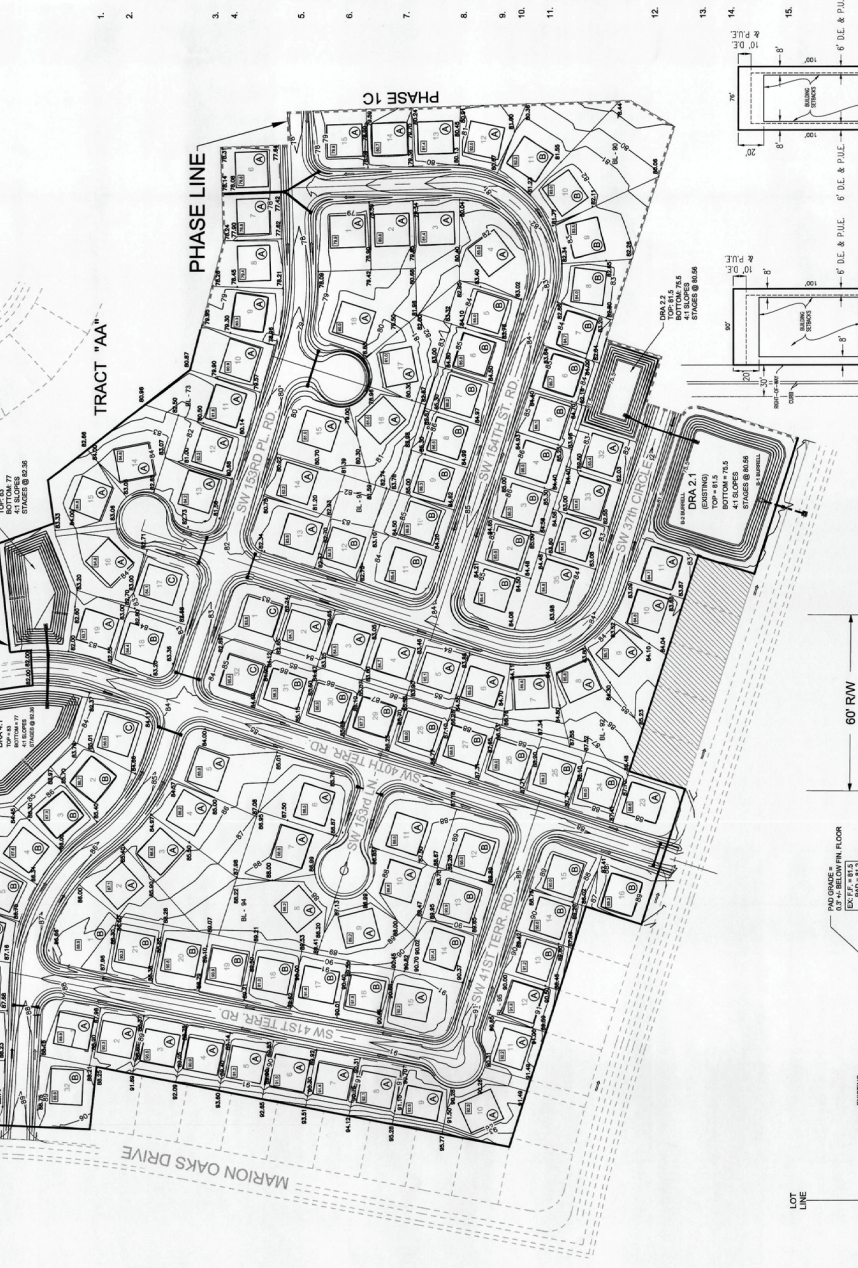
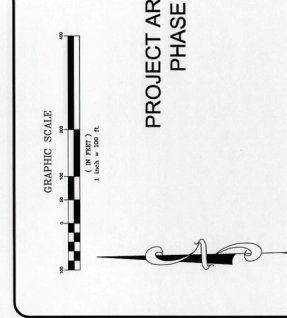
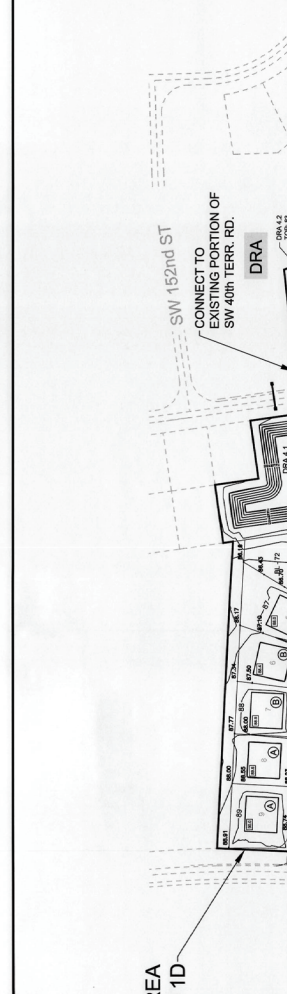
**Grading Notes:**

1. CAD FILE WITH 50 GRADING SURFACE TO BE PROVIDED.
2. FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED PER THIS DESIGN. USE OF A LOWER ELEVATION THAN SHOWN WILL BE CONSIDERED A VIOLATION OF MARION COUNTY BUILDING DEPARTMENT, SITE SPECIFIC LOT DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.
3. ALL SWALES TO BE SODDED.
4. REASONABLE CARE WAS TAKEN IN THE DETERMINATION OF PROPOSED LOT AND PAD GRADES TO BE WITHIN THE 1% TO 2% SLOPE CRITERIA. APPROVED DRAINAGE PLAN.
5. EACH BUILDING PAD SHALL BE CONSTRUCTED WITH CLEAR FILL TO A MIN. DEPTH OF 4" BELOW THE FINISH FLOOR. FINISH FLOOR SHALL BE TO A MINIMUM OF 85% SOIL COMPACTION IN 7" LIFTS.
6. GEOTECHNICAL CERTIFICATIONS SHALL BE PROVIDED FOR EACH LOT PAD BY A GEOTECHNICAL ENGINEER AND DENSITY AND ANALYZING THE SOIL PROFILE DOWN TO 5' BELOW PAD ELEVATION.
7. AS-BUILT PLANS SHALL BE PROVIDED VERIFYING ALL CONSTRUCTION PER PLAN. BUILDING PADS SHALL BE CONSTRUCTED TO WITHIN +/- OF PROPOSED PAD ELEVATIONS.
8. TYPICAL LOT GRADING DETAIL, THIS SHEET.
9. EXCESS FILL FROM PHASE C TO BE STORED AND USED ON PHASE D.
10. ALL RIGHT-OF-WAY AND SWALES SHALL BE SODDED UPON PROJECT COMPLETION. ALLOW FOR THICKNESS OF SOIL AND OTHER UNDESIRABLE AREAS NOT SODDED SHALL BE SEED AND MAINTAINED UNTIL THE PROJECT HAS BEEN CERTIFIED COMPLETE, WHICHEVER OCCURS LATER.
11. IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER GRADING OPERATIONS IT MAY BE USED TO RAISE EXISTING GRADES NECESSARY OR STOCK PILED AT OWNERS DISCRETION.
12. SEE SHEET 0503 FOR INTERIOR ROAD TYPICAL SECTION DETAIL.
13. THE CONTRACTOR SHALL PROVIDE DOWNSLOPE SALTATION PROTECTION DURING CONSTRUCTION. IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER GRADING OPERATIONS IT MAY BE USED TO RAISE EXISTING GRADES NECESSARY OR STOCK PILED AT OWNERS DISCRETION.
14. CONTRACTOR SHALL INSTALL TEMPORARY NECESSARY TO PREVENT DISCHARGE OF SEDIMENT RUNOFF FROM THE SITE DURING CONSTRUCTION.

**LEGEND:**

81.5 TYPICAL FINISH GRADE SPOT ELEVATION  
 82.5 TYPICAL MINIMUM FINISH FLOOR ELEVATION  
 83.5 LOT GRADING DIMENSION  
 84.5 PROPOSED DRAINAGE FLOW

MARION COUNTY PROJECT No. 28457



**PROJECT AREA PHASE 1D**

**GRAPHIC SCALE**  
 1" = 50' (VERT)  
 1" = 100' (HORIZ)

**TYPICAL LOT GRADING PATTERNS**  
 FROM 78' WIDE LOTS WITH 15' WIDE DRIVEWAY AND 15' WIDE SWALE. SEE DETAIL FOR DIMENSIONS AND FINISH GRADES.

**TYPICAL INTERIOR LOT DETAIL**  
 30' RIGHT-OF-WAY  
 6' DE & PALE

**TYPICAL CORNER LOT DETAIL**  
 30' RIGHT-OF-WAY  
 6' DE & PALE

**SECTION B-B**  
 60' RW SWALES ROAD

**TYPICAL LOT GRADING DETAIL (78' WIDE LOTS typ.)**  
 FROM 78' WIDE LOTS WITH 15' WIDE DRIVEWAY AND 15' WIDE SWALE. SEE DETAIL FOR DIMENSIONS AND FINISH GRADES.





**GRAPHIC ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/02/24  
 EXPIRATION DATE: 10/02/29

The applicant certifies that the information provided herein is true and correct to the best of their knowledge and belief. The applicant also certifies that the information provided herein is not false, misleading, or deceptive in any way. The applicant further certifies that the information provided herein is not a violation of any applicable laws, rules, or regulations. The applicant also certifies that the information provided herein is not a violation of any applicable laws, rules, or regulations. The applicant further certifies that the information provided herein is not a violation of any applicable laws, rules, or regulations.

**MARION COUNTY PROJECT**  
 No. 29457

Checked	M/R	Date	By
03-1-3-24MK	M/R	12-1-22	M/R
07-01-24MK	M/R	12-1-22	M/R
03-1-3-24MK	M/R	12-1-22	M/R

**MARION COUNTY PROJECT**  
 No. 29457

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 No. 29457



SUB-BASIN	SUB-BASIN AREAS		IMPERVIOUS AREA
	TOTAL AREA (sf)	TOTAL AREA (Ac)	
1.1	77,924	1.78	35,534
1.2	13,313	0.31	12,271
1.3	13,313	0.31	12,271
1.4	13,313	0.31	12,271
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**LEGEND**

- PROPOSED SUB-BASINS
- PRE-DEVELOPMENT FLOW
- POST-DEVELOPMENT FLOW



**MARION COUNTY PROJECT**  
 No. 29457

**MARION COUNTY PROJECT**  
 No. 29457

**MARION COUNTY PROJECT**  
 No. 29457

**MARION COUNTY PROJECT**  
 No. 29457

Project Name: Marion Oaks Link 2 Improvement Plans  
 Location: SECTION 22 & TOWNSHIP 17 SOUTH, RANGE 11 EAST, MARION COUNTY, FL.  
 MMR MICHAEL W. RADLFFER ENGINEERING, INC.  
 3117 S.E. Lake Way Avenue, Suite 17, Lake Park, FL 32053  
 3852 Lake Park Blvd., Suite 100, Lake Park, FL 32053  
 Phone: 321-438-2122  
 Fax: 321-438-2122  
 Website: www.mmr-engineering.com  
 License No. 12-1-22  
 Scale: 1" = 200'  
 Date: 2/22/22  
 Drawn by: MKK  
 Checked by: MKK  
 Project No. 2021-43  
 Revision: 1  
 Date: 2/22/22  
 Scale: 1" = 200'  
 Project No. 2021-43  
 Revision: 1  
 Date: 2/22/22  
 Scale: 1" = 200'

**DISCLAIMER**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 28457  
 APPROVAL DATE: 10/26/24  
 EXPIRATION DATE: 10/26/29  
 This document is prepared by MMR Engineering, Inc. for the Marion County Board of Commissioners. It is intended to provide information and recommendations only. It is not a contract. The Marion County Board of Commissioners is the final authority on all matters presented to it. MMR Engineering, Inc. is not responsible for any errors or omissions in this document. The Marion County Board of Commissioners is advised that this document is not a contract and should not be used as such. The Marion County Board of Commissioners is advised that this document is not a contract and should not be used as such. The Marion County Board of Commissioners is advised that this document is not a contract and should not be used as such.

**LEGEND**  
 --- PRE-DEVELOPMENT DRAINAGE BASIN BOUNDARY  
 --- MARION COUNTY FLOOD PRONE AREAS

**MARION COUNTY PROJECT**  
 No. 28457

**GRAPHIC SCALE**  
 1 inch = 200 feet  
 0 100 200 300 400 500 600 700 800 900 1000 feet

**NOTICE**  
 The approval of these plans is conditioned upon the applicant's agreement to the following terms and conditions:  
 1. The applicant shall maintain the Marion County Flood Prone Areas and Flood Prone Areas shown on these plans.  
 2. The applicant shall maintain the Marion County Flood Prone Areas and Flood Prone Areas shown on these plans.  
 3. The applicant shall maintain the Marion County Flood Prone Areas and Flood Prone Areas shown on these plans.

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**DRAINAGE PLAN 1D**  
 PROJECT: MARION COUNTY LINK 2 IMPROVEMENTS  
 SHEET NO. 102 OF 102  
 DATE: 12-1-22  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29447  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29  
 The approval of these plans by Marion County is not a warranty, representation, or endorsement of any products, materials, or methods of construction. It is the responsibility of the contractor to provide and maintain the necessary permits and approvals for all work shown on these plans. The County Engineer is not responsible for any errors or omissions in these plans.

**Stormwater Pipe Table**

Pipe Name	Size	Length	Slope
P-2(1)	24	66.81	0.51%
P-2(2)	30	56.28	0.52%
P-2(3)	24	54.96	0.51%
P-2(4)	18	45.05	0.51%
P-2(5)	15	43.78	0.50%
P-2(6)	15	37.21	1.02%
P-2(7)	15	33.00	0.52%
P-2(8)	15	35.43	0.51%
P-2(9)	36	44.68	0.52%
P-2(10)	36	44.19	0.50%
P-2(11)	24	33.02	0.70%
P-2(12)	15	34.34	0.52%
P-2(13)	15	36.17	1.02%
P-2(14)	18	32.45	0.53%
P-2(15)	18	34.62	0.52%
P-2(16)	18	36.61	0.52%

- Drainage Notes:**
- THE SITE SHALL REMAIN FREE OF EXCESS SILT AND DEBRIS AT ALL TIMES OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE PATTERNS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING DRAINAGE SYSTEMS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.
  - CONTOUR ELEVATIONS BASED ON NAVD 86 VERTICAL DATUM.
  - SHOULD CONTRACTOR ENCOUNTER LIMESTONE OR A SINK CHIMNEY DURING CONSTRUCTION OF A BASIN, THAT AREA WILL BE REPAIRED WITH FILL AND BACKFILL TO MEET THE FASTEST REPAIR REQUIREMENTS.
  - ALL FABRIC SILT FENCING SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. SHEETS FOR LOCATION OF INSTALLATION AND QUANTITIES.
  - INSTALL SYNTHETIC BALES AT EACH END OF CROSS (BANS) AS NECESSARY TO PREVENT SEDIMENT FROM CROSSING THE CULVERT IN EXCESS OF 10% OF THE CULVERT LENGTH. THE BALS SHALL BE PLACED AT THE END OF THE CULVERT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE WETTED END SECTIONS.
  - SYSTEM CLEANUP REQUIRED AT END OF CONSTRUCTION.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MARION COUNTY SPECIFICATIONS FOR CONSTRUCTION OF STABILIZED CHANNELS AND STRUCTURES. ALL STRUCTURES SHALL BE NECESSARY IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERNS.
  - ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE WETTED END SECTIONS.

**MARION COUNTY PROJECT**  
 NO. 29447  
**LEGEND:**  
 --- PHASE LINE  
 [Symbol] DRAINAGE SUB BASIN  
 [Symbol] SUB BASIN BOUNDARY  
 [Symbol] STORMWATER PIPE  
 [Symbol] PROPOSED DRAINAGE FLOW  
 [Symbol] INVERT ELEVATION

**Stormwater Structure Table**

Structure Name	Structure Details	Alignment Details
3.1.1	Rectangular Junction Structure NF STA: 189+68.4 P-1(8) INV IN = 72.33 OFF: -22.07	STA: 189+21.14 GRATE = 76.45 OFF: 86.178
3.1.2	Rectangular Junction Structure NF STA: 189+69.30 P-1(7) INV IN = 72.91 OFF: -21.072	STA: 189+21.00 P-1(8) INV IN = 72.72 OFF: 21.980
3.2.3	Rectangular Junction Structure NF STA: 117+75.53 P-2(10) INV IN = 73.10 OFF: 30.241	STA: 189+22.36 P-1(8) INV IN = 67.44 OFF: -21.799
3.2.2	Rectangular Junction Structure NF STA: 117+65.11 P-2(11) INV IN = 73.05 OFF: 20.676	Rectangular Structure NF STA: 189+83.75 P-1(7) INV IN = 62.50 OFF: 246.625
3.2.1	Rectangular Junction Structure NF STA: 117+62.30 P-1(9) INV IN = 72.76 OFF: -22.000	Rectangular Structure NF STA: 189+83.75 P-1(8) INV IN = 69.15 OFF: -20.249
3.2.0	Rectangular Junction Structure NF STA: 117+42.59 P-1(10) INV IN = 72.00 OFF: -19.537	Rectangular Structure NF STA: 189+83.99 P-1(6) INV IN = 66.44 OFF: 15.201
4W.1.2	Rectangular Junction Structure NF STA: 150+4.75 P-1(11) INV IN = 69.00 OFF: 22.011	Rectangular Structure NF STA: 189+80.75 P-1(5) INV IN = 62.50 OFF: 62.200
4W.1.8 BX	Rectangular Junction Structure NF STA: 150+4.75 P-1(12) INV IN = 73.76 OFF: -22.007	Rectangular Structure NF STA: 189+80.42 P-1(4) INV IN = 68.17 OFF: -20.296
4W.1.1	Rectangular Junction Structure NF STA: 150+4.68 P-1(11) INV IN = 73.76 OFF: -22.007	Rectangular Structure NF STA: 189+79.83 P-1(6) INV IN = 68.37 OFF: 20.948
4.1.2	Rectangular Junction Structure NF STA: 200+37.38 P-2(9) INV IN = 77.23 OFF: 21.745	Rectangular Structure NF STA: 191+56.54 P-2(5) INV IN = 73.50 OFF: -35.165
4.1.1	Rectangular Junction Structure NF STA: 200+36.96 P-2(10) INV IN = 77.23 OFF: -22.442	Rectangular Structure NF STA: 201+00.88 P-2(3) INV IN = 75.50 OFF: 66.916
4.1.0	Rectangular Junction Structure NF STA: 200+35.82 P-2(11) INV IN = 77.00 OFF: -40.831	Rectangular Structure NF STA: 201+00.07 P-2(4) INV IN = 75.88 OFF: 21.017
4.1.3	Rectangular Junction Structure NF STA: 200+42.11 P-2(9) INV IN = 77.00 OFF: 60.657	Rectangular Structure NF STA: 201+41.32 P-2(5) INV IN = 75.88 OFF: -22.915
	Rectangular Structure NF STA: 150+45.03 P-1(5) INV IN = 72.00 OFF: -63.278	Rectangular Structure NF STA: 150+45.03 P-1(5) INV IN = 72.00 OFF: -63.278



GRAPHIC SCALE  
 1 inch = 50 feet  
 TOTAL PLANNED AREA PER LOT = 2800 sq ft  
 BUILDING = 2200 sq ft



COUNTY ENGINEER  
MARION COUNTY, FLORIDA  
APPLICATION # 29457

EXPANSION DATE: 10/4/23

The approval of these plans by Marion County Engineer is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information provided. The applicant is responsible for the accuracy and completeness of the information provided. The approval of these plans does not constitute an endorsement of the applicant or its products or services.

ALL CONSTRUCTION SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE MARION COUNTY ENGINEER'S OFFICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

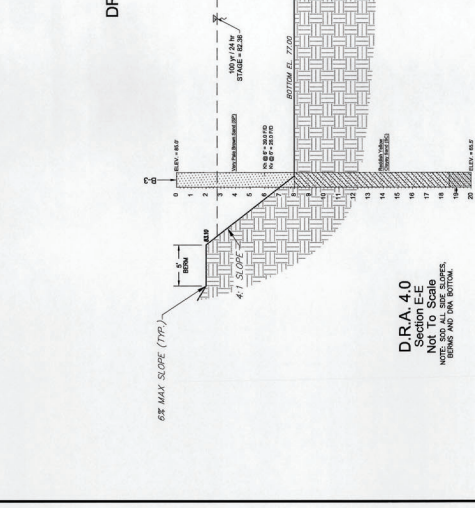
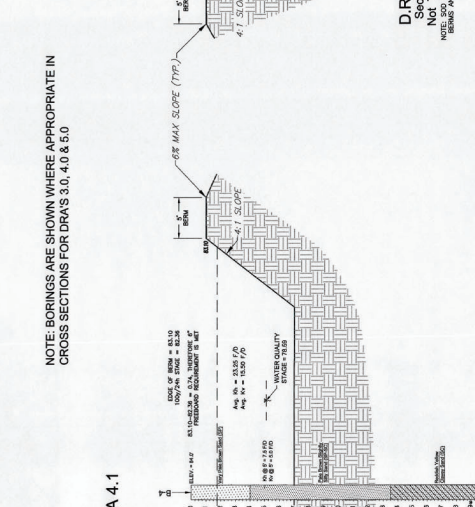
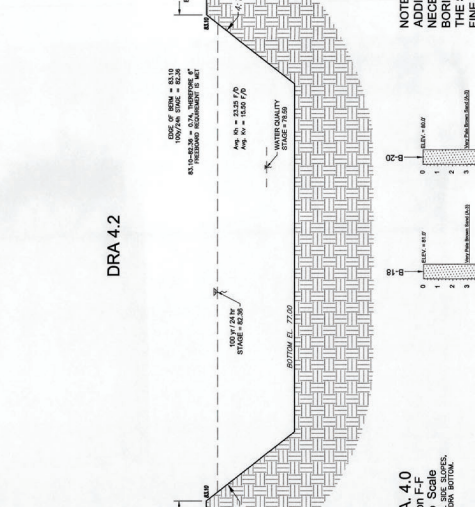
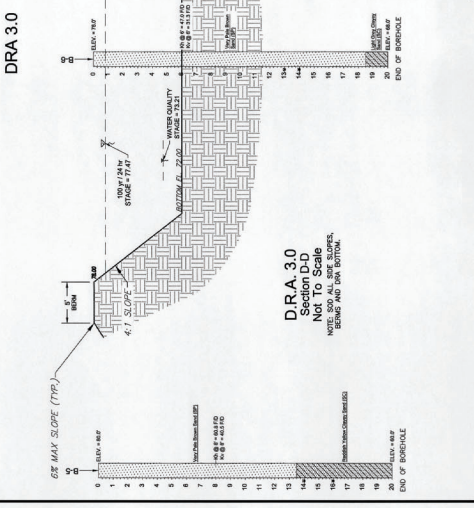
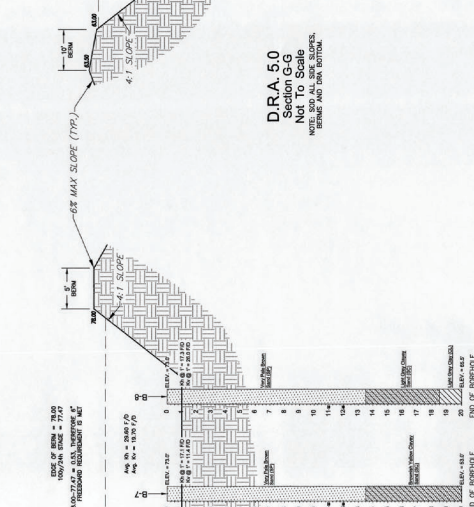
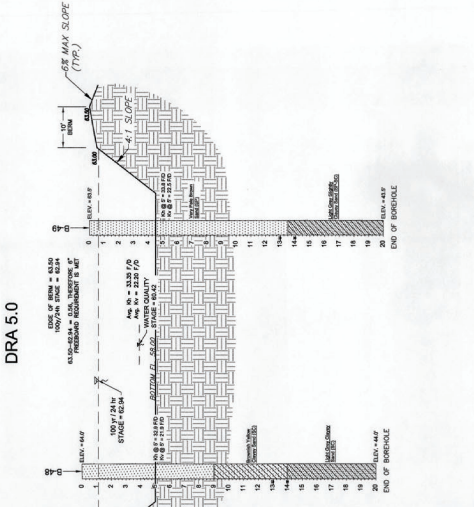
REVISIONS	NO.	DATE	DESCRIPTION
01	1	10/4/23	ISSUED FOR PERMITS
02	2	10/4/23	ISSUED FOR PERMITS
03	3	10/4/23	ISSUED FOR PERMITS
04	4	10/4/23	ISSUED FOR PERMITS
05	5	10/4/23	ISSUED FOR PERMITS
06	6	10/4/23	ISSUED FOR PERMITS
07	7	10/4/23	ISSUED FOR PERMITS
08	8	10/4/23	ISSUED FOR PERMITS
09	9	10/4/23	ISSUED FOR PERMITS
10	10	10/4/23	ISSUED FOR PERMITS
11	11	10/4/23	ISSUED FOR PERMITS
12	12	10/4/23	ISSUED FOR PERMITS
13	13	10/4/23	ISSUED FOR PERMITS
14	14	10/4/23	ISSUED FOR PERMITS
15	15	10/4/23	ISSUED FOR PERMITS
16	16	10/4/23	ISSUED FOR PERMITS
17	17	10/4/23	ISSUED FOR PERMITS
18	18	10/4/23	ISSUED FOR PERMITS
19	19	10/4/23	ISSUED FOR PERMITS
20	20	10/4/23	ISSUED FOR PERMITS
21	21	10/4/23	ISSUED FOR PERMITS
22	22	10/4/23	ISSUED FOR PERMITS
23	23	10/4/23	ISSUED FOR PERMITS
24	24	10/4/23	ISSUED FOR PERMITS
25	25	10/4/23	ISSUED FOR PERMITS
26	26	10/4/23	ISSUED FOR PERMITS
27	27	10/4/23	ISSUED FOR PERMITS
28	28	10/4/23	ISSUED FOR PERMITS
29	29	10/4/23	ISSUED FOR PERMITS
30	30	10/4/23	ISSUED FOR PERMITS

**MARION COUNTY PROJECT**  
NO. 29457

**MMR**  
MICHAEL W. RADCLIFFE ENGINEERING, INC.  
10000 W. STATE ROAD 17 NORTH, SUITE 1100, MARION COUNTY, FL 32010  
TEL: 352-233-1100 FAX: 352-233-1101  
WWW.MMR-FLORIDA.COM

**DRA CROSS SECTIONS**

Project: Marion Oaks Unit 2 Improvement Plans  
Region: 3 & 12  
Sheet No. 02 of 45

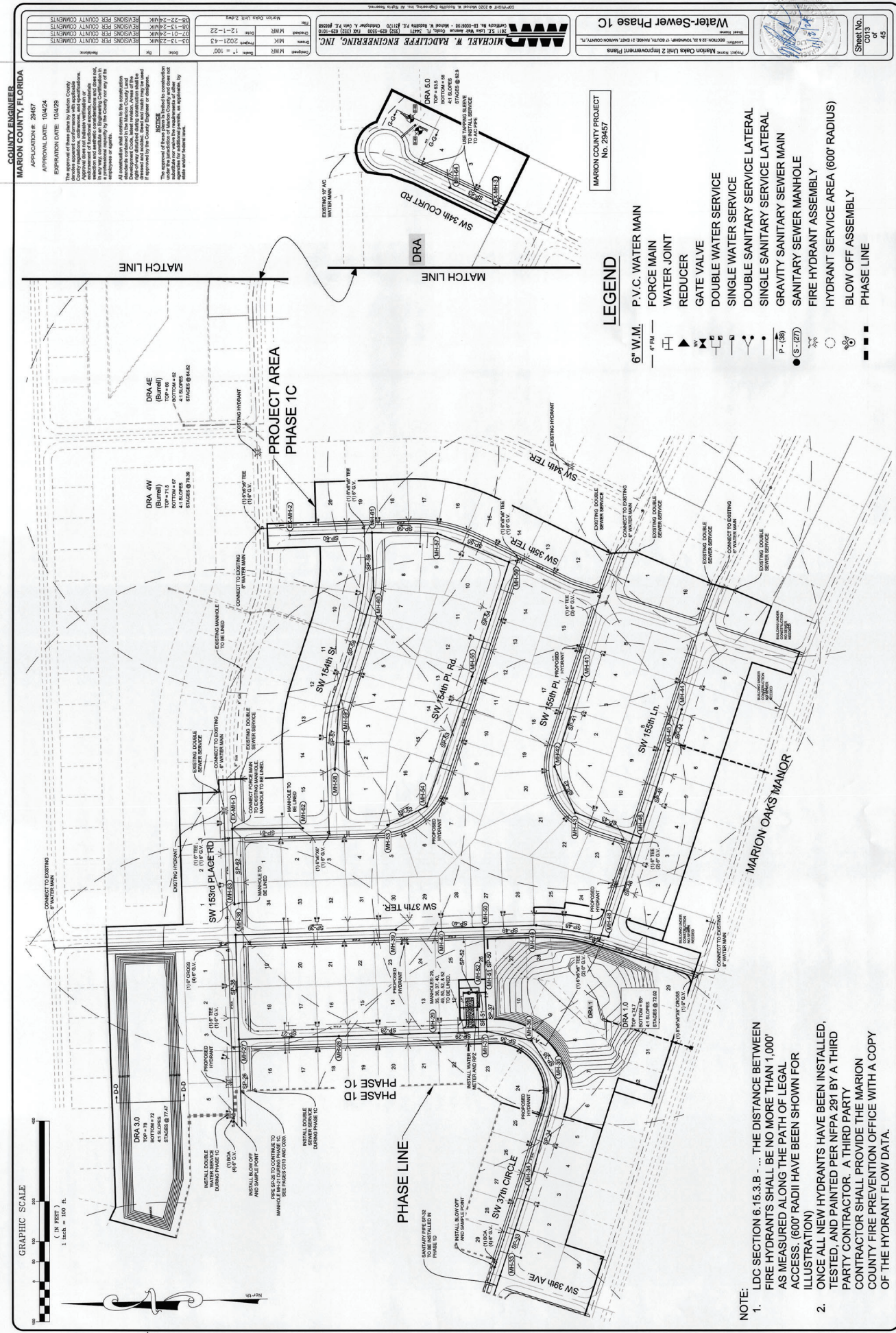


NOTE: BORINGS ARE SHOWN WHERE APPROPRIATE IN CROSS SECTIONS FOR DRA'S 3.0, 4.0 & 5.0

NOTE: IT WAS DETERMINED THAT ADDITIONAL DRA VOLUME WAS NECESSARY AFTER INITIAL BORINGS WERE TAKEN. HOWEVER, THE SOILS ARE CONSISTENTLY FINER THAN ANTICIPATED. THEREFORE, PERCOLATION RATES WERE USED IN DRA DESIGN.

DRA 4.0 Section F-F Not To Scale BORINGS AND SOIL BENEATH

DRA 4.0 Section E-E Not To Scale BORINGS AND SOIL BENEATH



**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/23  
 EXPIRATION DATE: 10/4/23

This approval of these plans by Marion County Engineers is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information provided. The County Engineers shall not be responsible for any errors or omissions in the plans or for any consequences arising therefrom. The applicant shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The County Engineers shall not be responsible for any delays or interruptions in the construction process, or for any other matters not specifically mentioned in these plans.

**NOTICE**  
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NO.	DATE	BY	DESCRIPTION
01-1	10/4/23	MWR	ISSUED FOR PERMITS
02-1	10/4/23	MWR	ISSUED FOR PERMITS
03-1	10/4/23	MWR	ISSUED FOR PERMITS
04-1	10/4/23	MWR	ISSUED FOR PERMITS
05-1	10/4/23	MWR	ISSUED FOR PERMITS
06-1	10/4/23	MWR	ISSUED FOR PERMITS
07-1	10/4/23	MWR	ISSUED FOR PERMITS
08-1	10/4/23	MWR	ISSUED FOR PERMITS
09-1	10/4/23	MWR	ISSUED FOR PERMITS
10-1	10/4/23	MWR	ISSUED FOR PERMITS

**MARION COUNTY PROJECT**  
 No. 29457

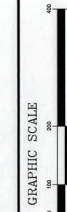
**Water-Sewer Phase 1C**

Project Name: Marion Oaks Unit 2 Improvement Plans  
 Location: 1111 S.W. 34th Avenue, Marion County, FL 32003  
 Client: Michael W. Radcliff Engineering, Inc.  
 Address: 1111 S.W. 34th Avenue, Marion County, FL 32003  
 Contact: Michael W. Radcliff, P.E., 407-858-1111  
 License: 12-1-22

Scale: 1" = 100'

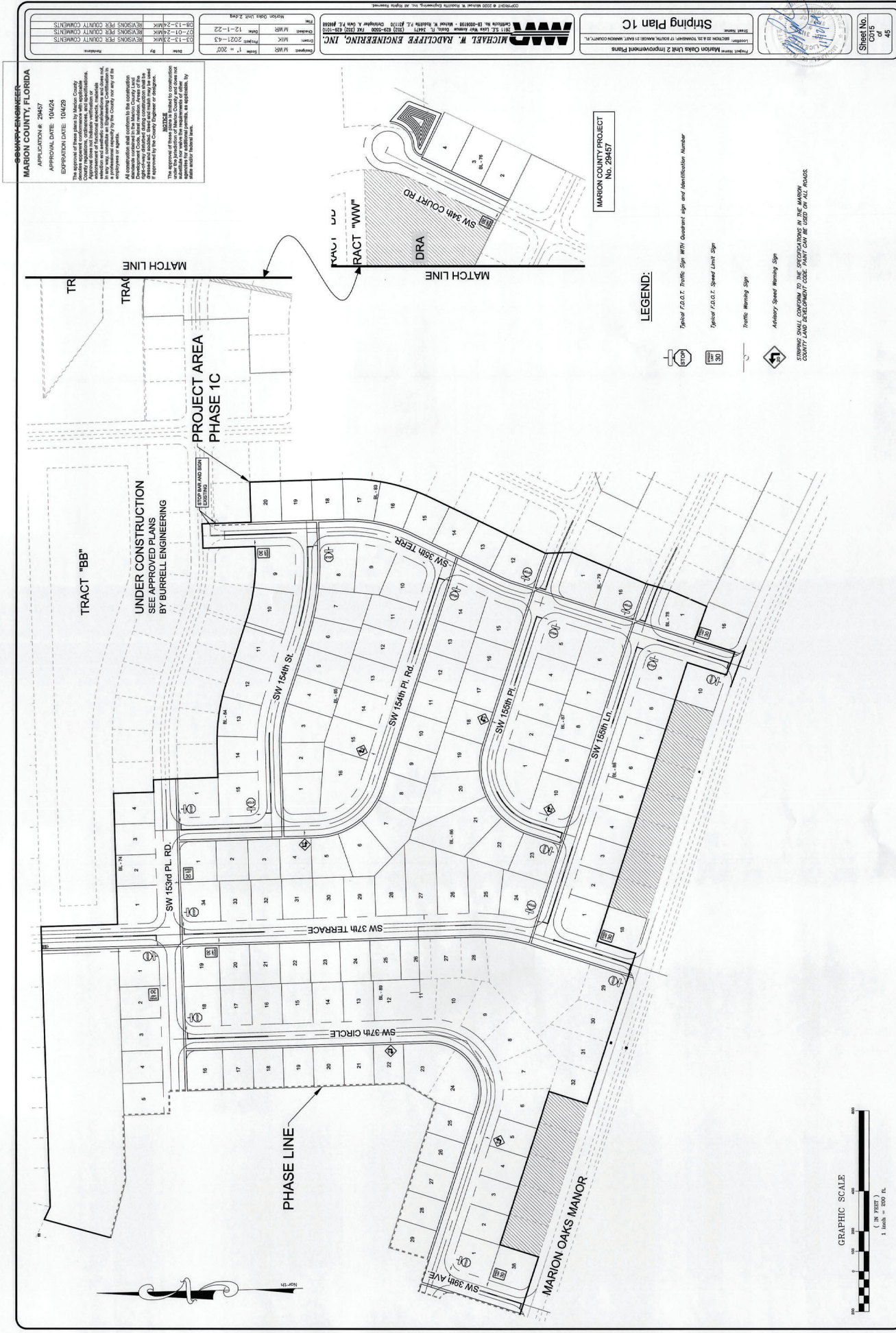
Sheet No. 013 of 45

- LEGEND**
- 6" W.M. P.V.C. WATER MAIN
  - 4" P.M. FORCE MAIN
  - WATER JOINT
  - REDUCER
  - GATE VALVE
  - DOUBLE WATER SERVICE
  - SINGLE WATER SERVICE
  - DOUBLE SANITARY SERVICE LATERAL
  - SINGLE SANITARY SERVICE LATERAL
  - GRAVITY SANITARY SEWER MAIN
  - SANITARY SEWER MANHOLE
  - FIRE HYDRANT ASSEMBLY
  - HYDRANT SERVICE AREA (600' RADIUS)
  - BLOW OFF ASSEMBLY
  - PHASE LINE



- NOTE:**
- LDC SECTION 6.15.3.B - ... THE DISTANCE BETWEEN FIRE HYDRANTS SHALL BE NO MORE THAN 1,000' AS MEASURED ALONG THE PATH OF LEGAL ACCESS. (600' RADII) HAVE BEEN SHOWN FOR ILLUSTRATION)
  - ONCE ALL NEW HYDRANTS HAVE BEEN INSTALLED, TESTED, AND PAINTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR. A THIRD PARTY CONTRACTOR SHALL PROVIDE THE MARION COUNTY FIRE PREVENTION OFFICE WITH A COPY OF THE HYDRANT FLOW DATA.





**SEAL/REGISTERED ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/02/08  
 EXPIRATION DATE: 10/02/09

The approval of these plans by Marion County constitutes approval of the project as shown on the plans. The engineer does not warrant, represent, or guarantee that the project will be completed in accordance with the approved plans. The engineer is not responsible for any delays or cost overruns. The engineer is not responsible for any changes to the project after the approval of these plans. The engineer is not responsible for any construction defects. The engineer is not responsible for any environmental impacts. The engineer is not responsible for any other matters. The engineer is not responsible for any other matters.

Prepared	MWR	Scale	1" = 200'
Checked	MJK	Project	2021-43
Drawn	MWR	Date	12-1-22
Client	MWR	Sheet	1 of 45

**MARION COUNTY PROJECT No. 29457**

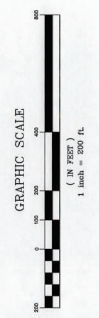
**Stringing Plan 1C**

Project Name: Marion Oaks Link 2 Improvement Plans  
 Location: Section 32 & 33 Township 17 North Range 11 East Marion County, FL  
 Date: 10/02/08

Sheet No. 1C of 45

- LEGEND:**
- Typical F.O.C.T. Traffic Sign WITH Outward sign and Identification Number
  - Typical F.O.C.T. Speed Limit Sign
  - Traffic Warning Sign
  - Advance Speed Warning Sign

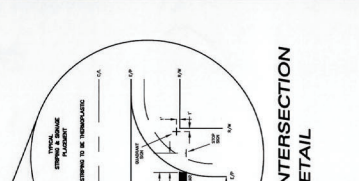
STRINGING SHALL CONFORM TO THE SPECIFICATIONS IN THE MARION COUNTY LAND DEVELOPMENT CODE. ANY PARTY CAN BE USED ON ALL WORKS.



<b>PROJECT NAME</b> Marion Oaks Unit 2 Improvement Plans <b>PROJECT NO.</b> 2021-43 <b>DATE</b> 12-1-22		<b>DESIGNER</b> MWR <b>SCALE</b> 1" = 100' <b>DATE</b> 12-1-22		<b>CHECKER</b> MWR <b>SCALE</b> 1" = 100' <b>DATE</b> 12-1-22	
<b>REVISIONS PER COUNTY COMMENTS</b> 02-11-23 MK 02-10-23 MK 02-10-23 MK 02-10-23 MK 02-10-23 MK		<b>REVISIONS PER COUNTY COMMENTS</b> 02-10-23 MK 02-10-23 MK 02-10-23 MK 02-10-23 MK 02-10-23 MK		<b>DATE</b> 12-1-22 <b>SCALE</b> 1" = 100' <b>DATE</b> 12-1-22	

**SOUPP ENGINEER**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 2847  
 APPROVAL DATE: 04/24  
 EXPIRATION DATE: 04/29  
 The approval of these plans by Marion County is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information provided. The applicant is responsible for providing accurate and complete information and for obtaining all necessary permits and approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary permits and approvals from the appropriate agencies.

**MARION COUNTY PROJECT**  
 No. 28467

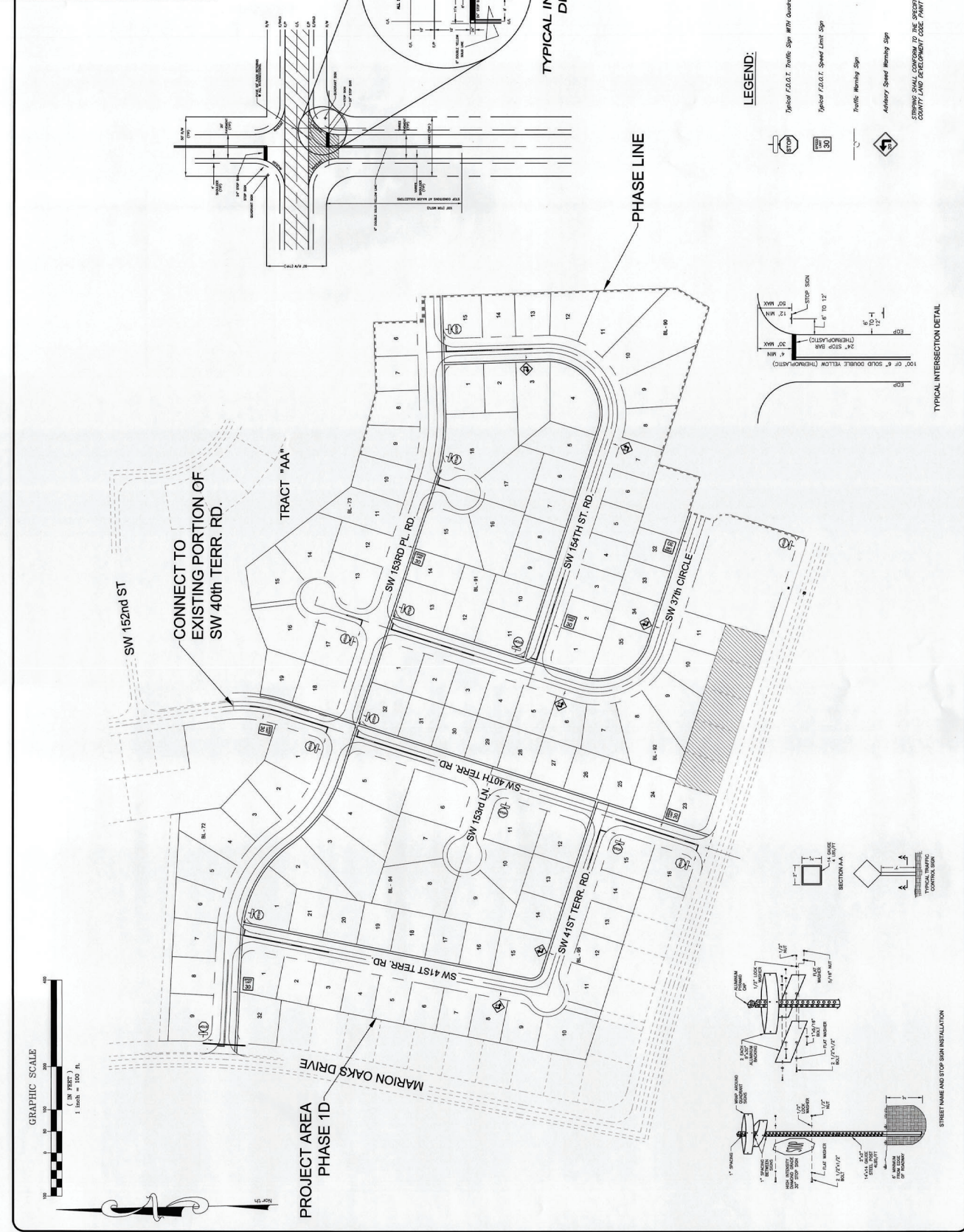


**TYPICAL INTERSECTION DETAIL**

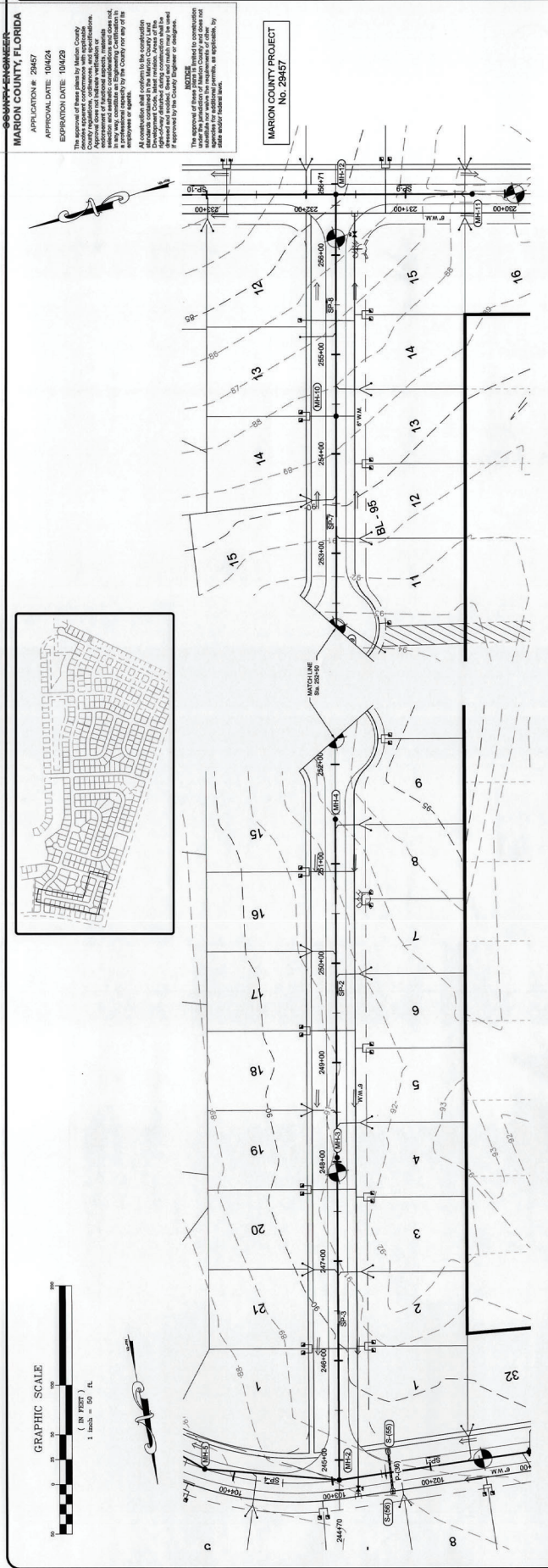
**LEGEND:**

- Typical F.D.O.T. Traffic Sign with Quadrant Sign and Identification Number
- Typical F.D.O.T. Speed Limit Sign
- Typical F.D.O.T. Stop Sign
- Typical F.D.O.T. Advance Speed Warning Sign

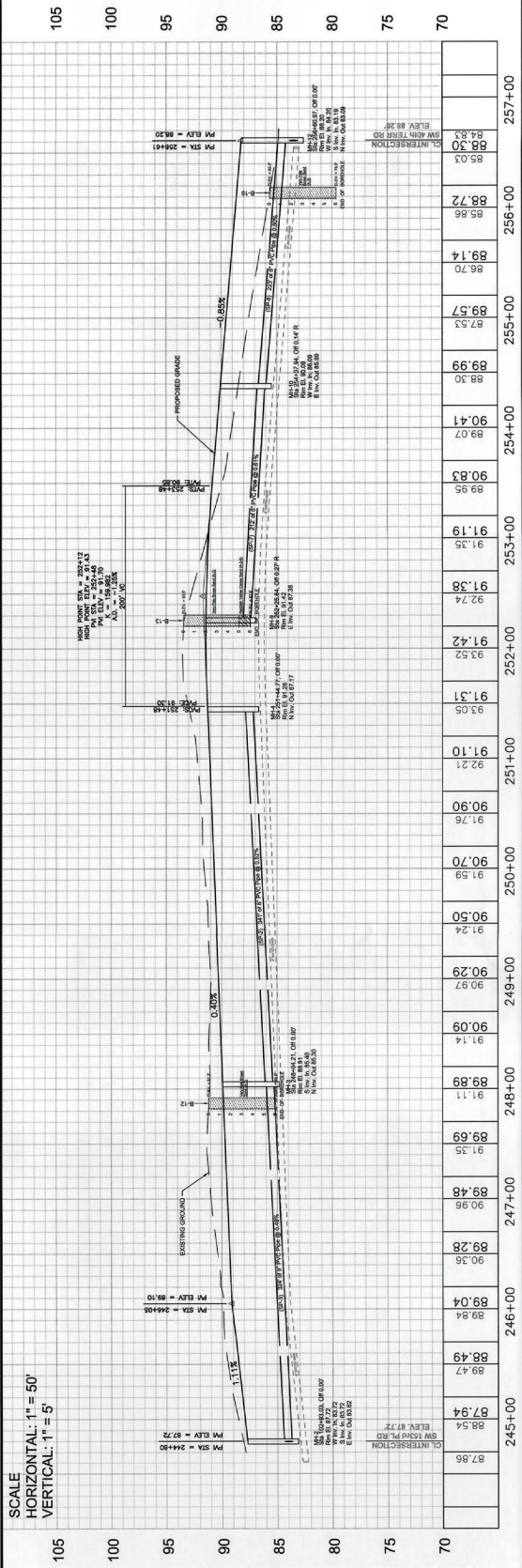
STRIPING SHALL CONFORM TO THE SPECIFICATIONS IN THE MARION COUNTY LAND DEVELOPMENT CODE. PAINT CAN BE USED ON ALL ROADS.



<p>PROJECT: Marion Oaks Line 2 Improvement Plans                  SHEET NO. 257 OF 257                  DATE: 08/11/11</p>	<p>DESIGNED BY: M. W. Radtke                  CHECKED BY: M. W. Radtke                  DATE: 08/11/11</p>	<p>DATE: 08/11/11                  SCALE: 1" = 20' (PLAN)                  SCALE: 1" = 5' (VERTICAL)</p>	<p>PROJECT NO.: 28457                  SHEET NO.: 257 OF 257</p>
--	--	--	--



SW 41st TERR. RD. (60' WIDE RW)



NOTE: SYMBOLS NOT TO SCALE. IN PLACE VALUES TO BE USED WHERE POSSIBLE.

**MARION COUNTY PROJECT**  
No. 29457

**DESIGNER:** M&M MICHAEL W. RADLITZ ENGINEERING, INC.  
1311 E. Lake Park Avenue, Suite 100, Ft. Lauderdale, FL 33304  
Phone: (954) 532-5200 Fax: (954) 532-1010  
www.mwr.com

**CLIENT:** Marion County, Florida  
1000 N. W. 10th Street, Ft. Lauderdale, FL 33304  
Phone: (954) 344-1000 Fax: (954) 344-1001  
www.marioncountyfla.gov

**PROJECT:** Marion Oaks Link 2 Improvement Plans  
SW 40th Terr. Rd.  
SMA 20240303-01

**DATE:** 12-22-22

**SCALE:** 1" = 50'

**PROJECT NO.:** 29457

**SHEET NO.:** 49

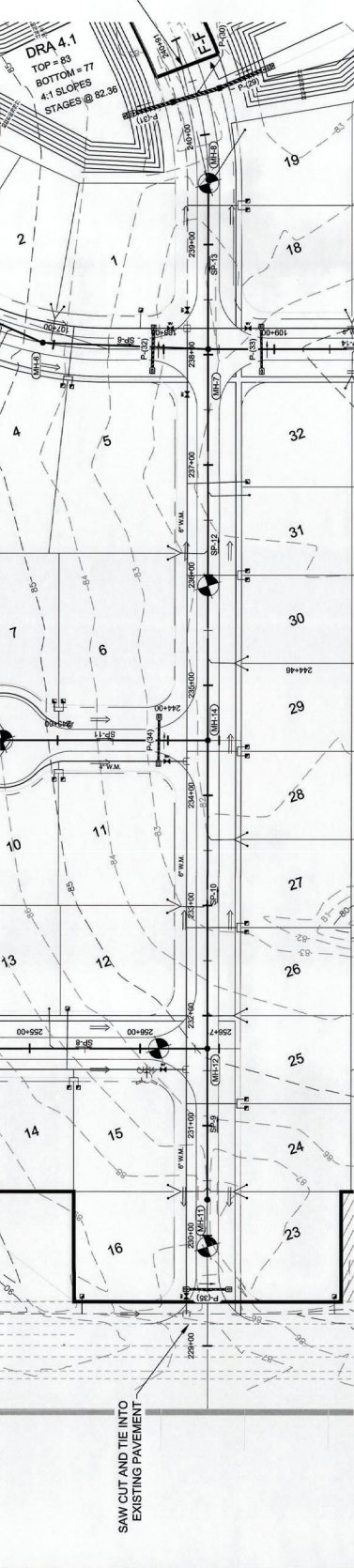
**DATE:** 03-13-24

**REVISIONS PER COUNTY COMMENTS:**

NO.	DATE	DESCRIPTION
01	03-13-24	ISSUED FOR PERMITS
02	07-01-24	REVISIONS PER COUNTY COMMENTS
03	07-13-24	REVISIONS PER COUNTY COMMENTS
04	07-13-24	REVISIONS PER COUNTY COMMENTS



**NOTICE:** The approval of these plans by Marion County is not a warranty, endorsement, or representation of the quality, accuracy, or appropriateness of the information contained herein. The user of these plans is responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations. The user of these plans is also responsible for obtaining all necessary easements and rights-of-way. The user of these plans is also responsible for obtaining all necessary approvals from the appropriate agencies. The user of these plans is also responsible for obtaining all necessary approvals from the appropriate agencies. The user of these plans is also responsible for obtaining all necessary approvals from the appropriate agencies.



SW 40th TERR. RD. (60' WIDE R/W)

SCALE: HORIZONTAL: 1" = 50' VERTICAL: 1" = 5'

100	82.45	242+00
95	82.26	241+00
90	81.63	240+00
85	82.40	239+00
80	82.86	238+00
75	83.32	237+00
70	81.02	236+00
	83.78	235+00
	84.23	234+00
	81.17	233+00
	84.57	232+00
	81.01	231+00
	84.91	230+00
	80.82	229+00
	85.25	
	81.08	
	85.59	
	81.69	
	85.93	
	81.59	
	86.26	
	81.72	
	86.60	
	81.80	
	86.94	
	81.88	
	87.28	
	82.09	
	87.62	
	82.58	
	87.95	
	83.62	
	88.15	
	84.43	
	88.21	
	85.17	
	88.12	
	86.03	
	87.90	
	85.80	
	87.65	
	86.73	
	87.40	
	86.79	
	87.90	

NOTE: SWERDS INTX TO SCALE. PLACE VALVES ACCORDING TO PANEL INTERSECTIONS AS POSSIBLE.

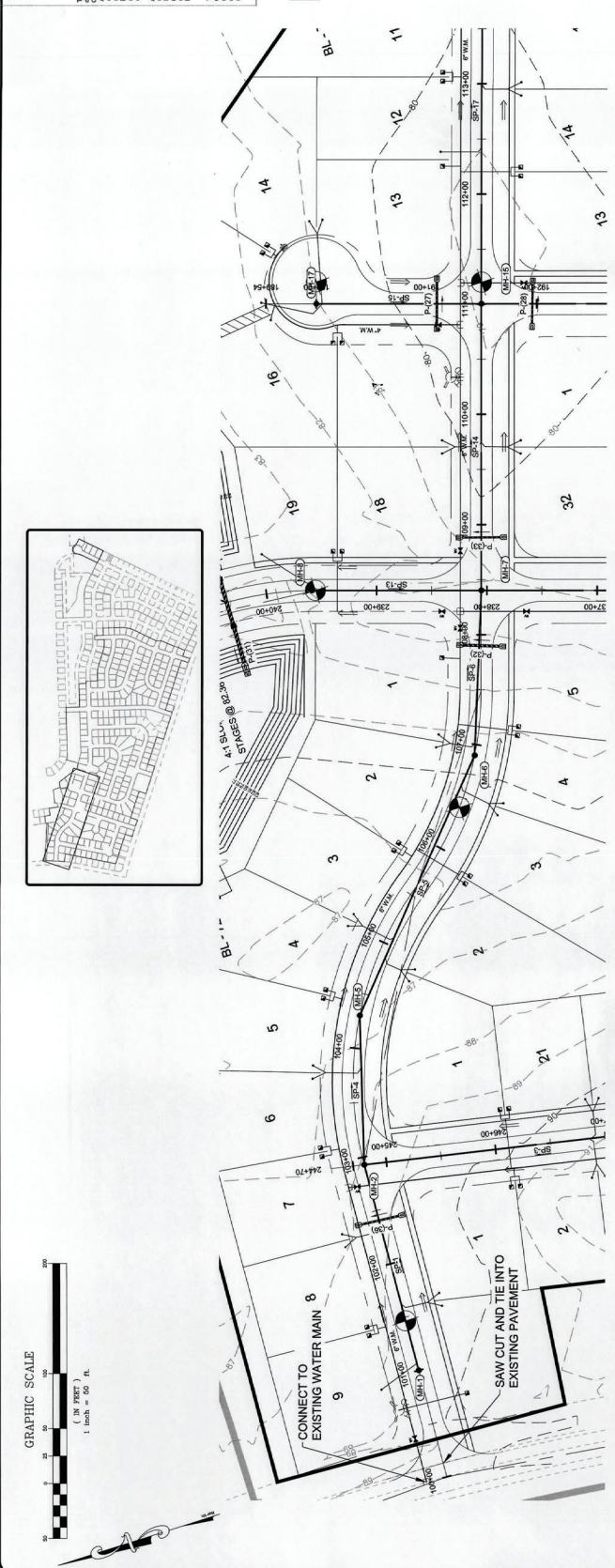


Project Name: Marion Oaks Unit 2 Improvement Plans	Sheet No. 019
Location: 2215 S.W. 153rd Avenue at East Marion County, FL	46
Scale: 1" = 50'	
Drawn: MJK	
Checked: MJK	
Approved: MJK	
Revision: 12-1-22	
Revision: 03-13-24	
Revision: 08-13-24	

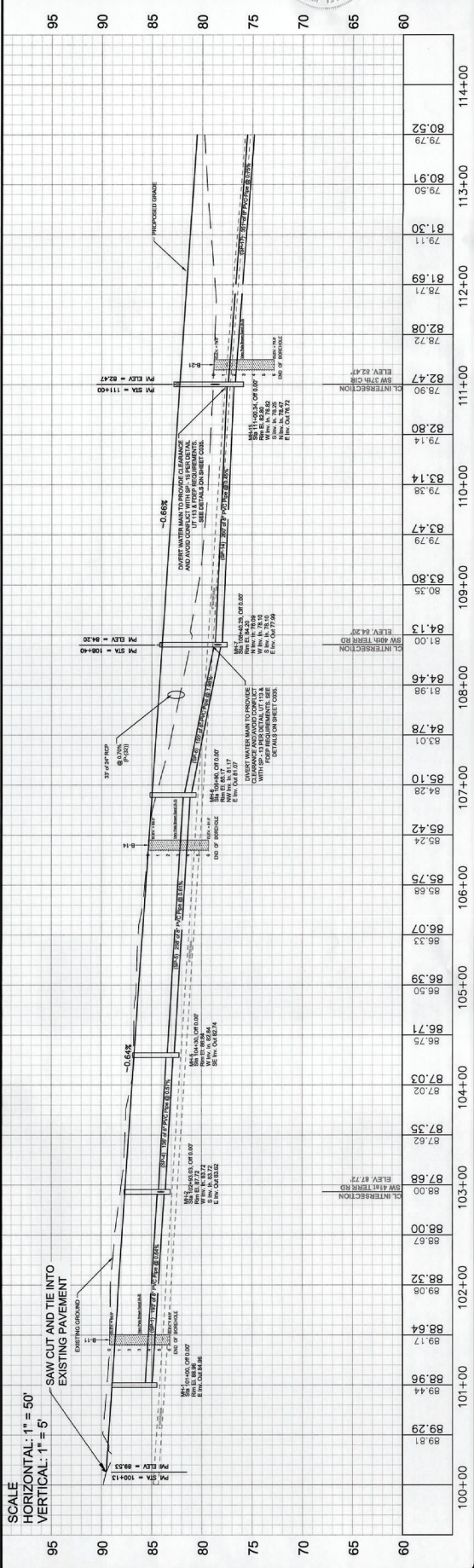
**SEAL** ENGINEER  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/02/24  
 EXPIRATION DATE: 10/02/29

The approval of these plans by Marion County does not constitute an endorsement or approval of the project or the engineer's services. The engineer is not responsible for the construction of the project or the performance of the contractor. The engineer is not responsible for the safety of the project or the safety of the public. The engineer is not responsible for the accuracy of the information provided by the County or any other agency. The engineer is not responsible for the interpretation of the plans by the County or any other agency. The engineer is not responsible for the interpretation of the plans by the County or any other agency.

**MARION COUNTY PROJECT**  
 No. 29457



SW 153 PLACE RD. (60' WIDE RW)



95	80.52	114+00
90	80.91	113+00
85	81.30	112+00
80	81.69	111+00
75	82.08	110+00
70	82.47	109+00
65	82.80	108+00
60	83.14	107+00
	83.47	106+00
	83.80	105+00
	84.13	104+00
	84.46	103+00
	84.78	102+00
	85.10	101+00
	85.42	100+00
	85.75	
	86.07	
	86.39	
	86.71	
	87.03	
	87.35	
	87.67	
	88.00	
	88.32	
	88.64	
	88.96	
	89.28	
	89.61	
	89.94	
	90.27	
	90.60	
	90.93	
	91.26	
	91.59	
	91.92	
	92.25	
	92.58	
	92.91	
	93.24	
	93.57	
	93.90	
	94.23	
	94.56	
	94.89	
	95.22	
	95.55	
	95.88	
	96.21	
	96.54	
	96.87	
	97.20	
	97.53	
	97.86	
	98.19	
	98.52	
	98.85	
	99.18	
	99.51	
	99.84	
	100.17	
	100.50	
	100.83	
	101.16	
	101.49	
	101.82	
	102.15	
	102.48	
	102.81	
	103.14	
	103.47	
	103.80	
	104.13	
	104.46	
	104.79	
	105.12	
	105.45	
	105.78	
	106.11	
	106.44	
	106.77	
	107.10	
	107.43	
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	108.09	
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	109.74	
	110.07	
	110.40	
	110.73	
	111.06	
	111.39	
	111.72	
	112.05	
	112.38	
	112.71	
	113.04	
	113.37	
	113.70	
	114.03	

**REGISTERED PROFESSIONAL ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 28457  
 APPROVAL DATE: 10/02/20  
 EXPIRATION DATE: 10/02/25

The approval of these plans by Marion County does not constitute an endorsement or approval of the design or construction of the project. The engineer is not responsible for the construction of the project or for any damage to property or persons resulting from the use of the project. The engineer is not responsible for the construction of the project or for any damage to property or persons resulting from the use of the project.

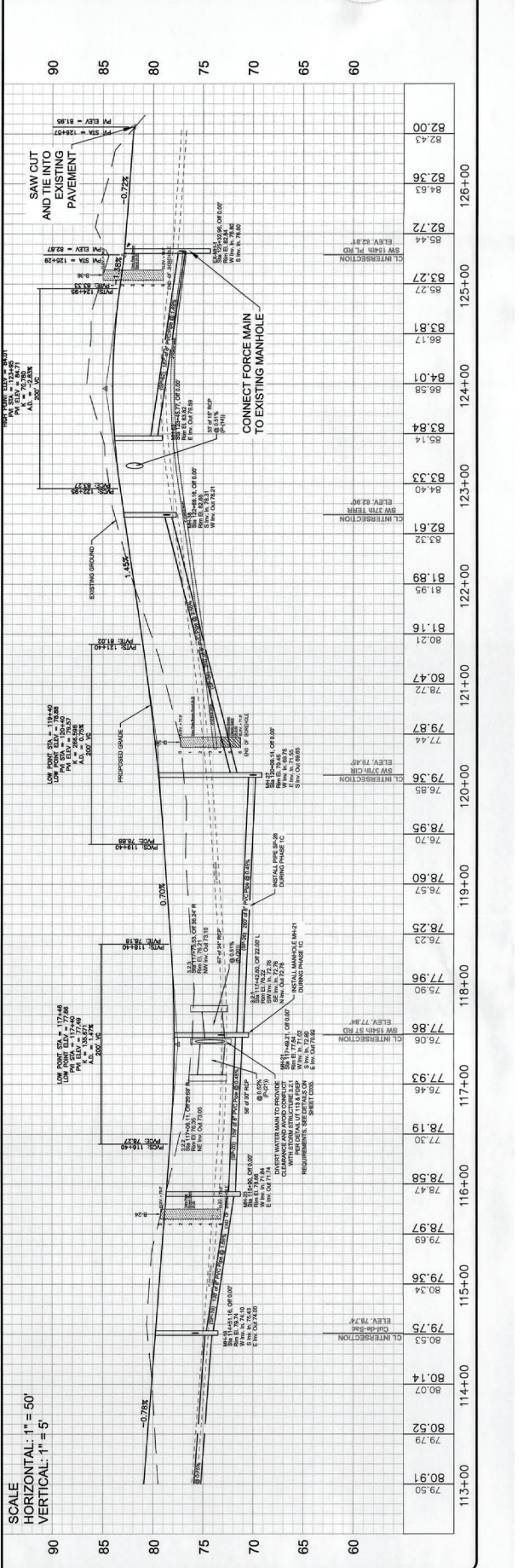
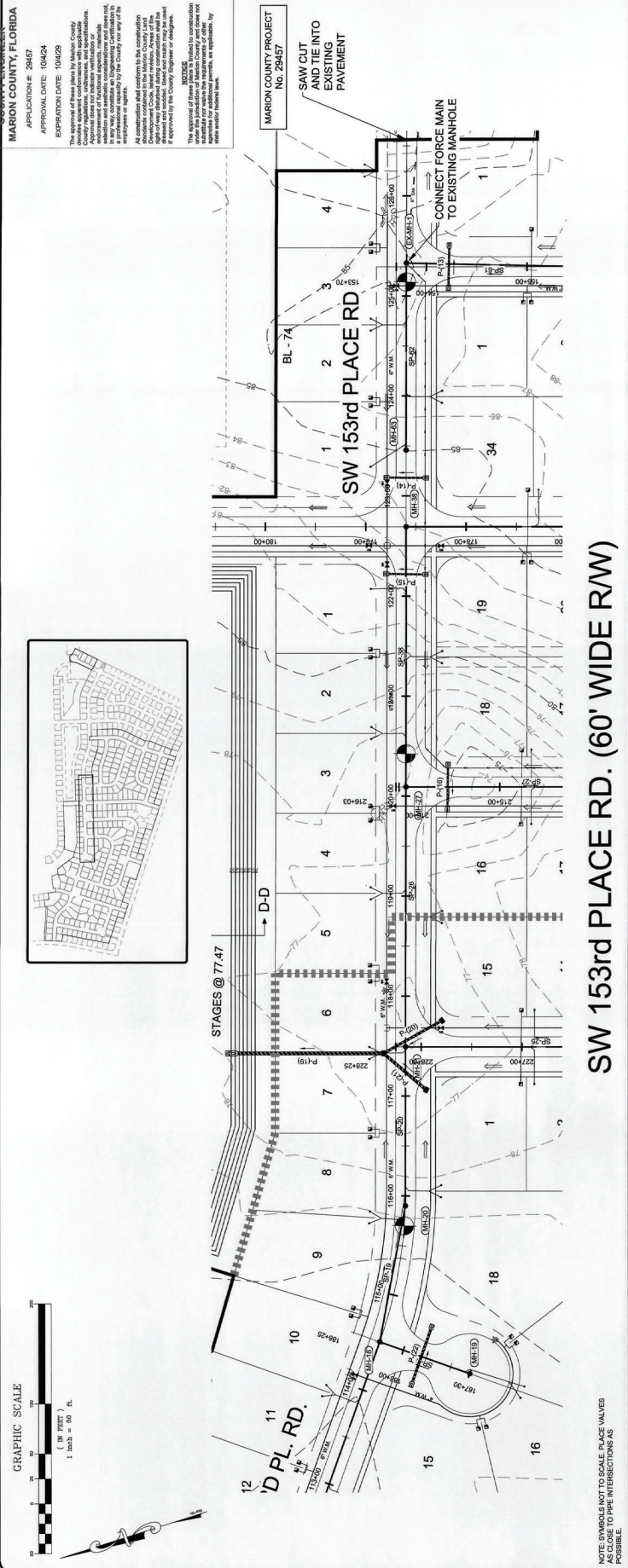
**MARION COUNTY PROJECT NO. 28457**

**SW 153rd PLACE RD. (60' WIDE RW)**

**MICHAEL W. RADOLFF ENGINEERING, INC.**  
 3817 E. LAKE WOOD AVENUE, SUITE 100, BOCA RATON, FL 33433  
 TEL: 561-993-1111 FAX: 561-993-1112  
 WWW.MICHAELRADOLFFENGINEERING.COM

**PROJECT NAME:** SW 153rd Rd.  
**LOCATION:** SECTION 29 & 30 TOWNSHIP 17 NORTH, RANGE 17 EAST, MARION COUNTY, FL  
**DATE:** 10/02/20

**PROJECT NO.:** 28457  
**SHEET NO.:** 126+00 OF 126+00



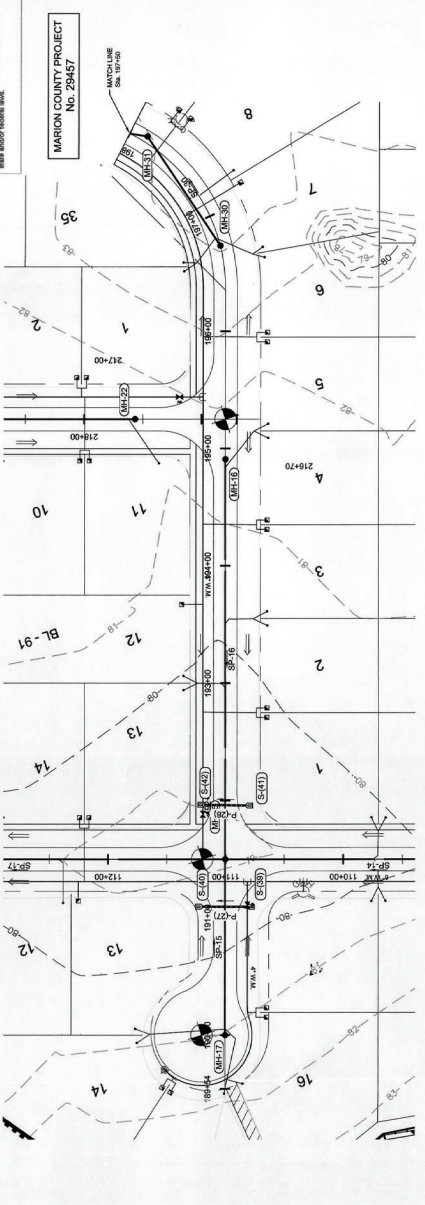
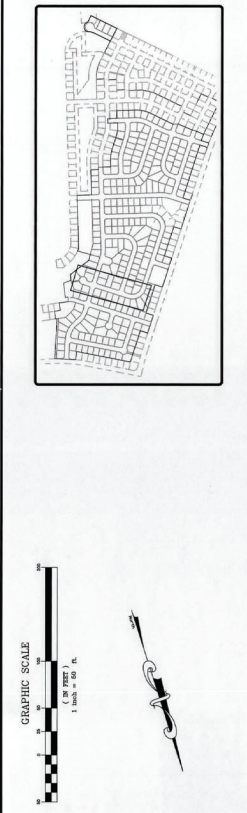
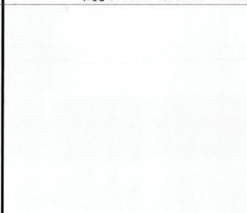
Project Name: Marion Oaks Unit 2 Improvement Plans	Sheet Name: CUL-DE-SAC / SW 37th Cir	Scale: 1" = 50'
Location: SECTION 9 & 10, TOWNSHIP 17 SOUTH, RANGE 21 EAST, MARION COUNTY, FL	City: Marion County, FL	Project No. 29457
Client: Marion County, FL	Contract: MMR	Drawn: MMR
Contract No. 2021-4-3	Issue: 12-1-22	Check: MMR
Revision: 02-13-24 MMR	Revision: 01-21-24 MMR	Revision: 02-13-24 MMR
Revision: 01-21-24 MMR	Revision: 01-21-24 MMR	Revision: 01-21-24 MMR

**MARION COUNTY PROJECT**  
No. 29457

**MARION COUNTY, FLORIDA**  
APPLICATION # 29457

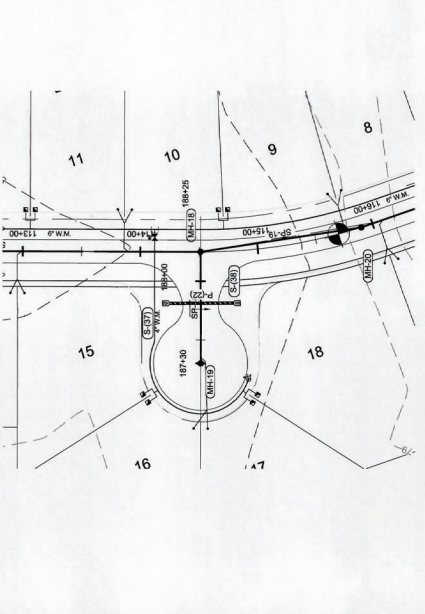
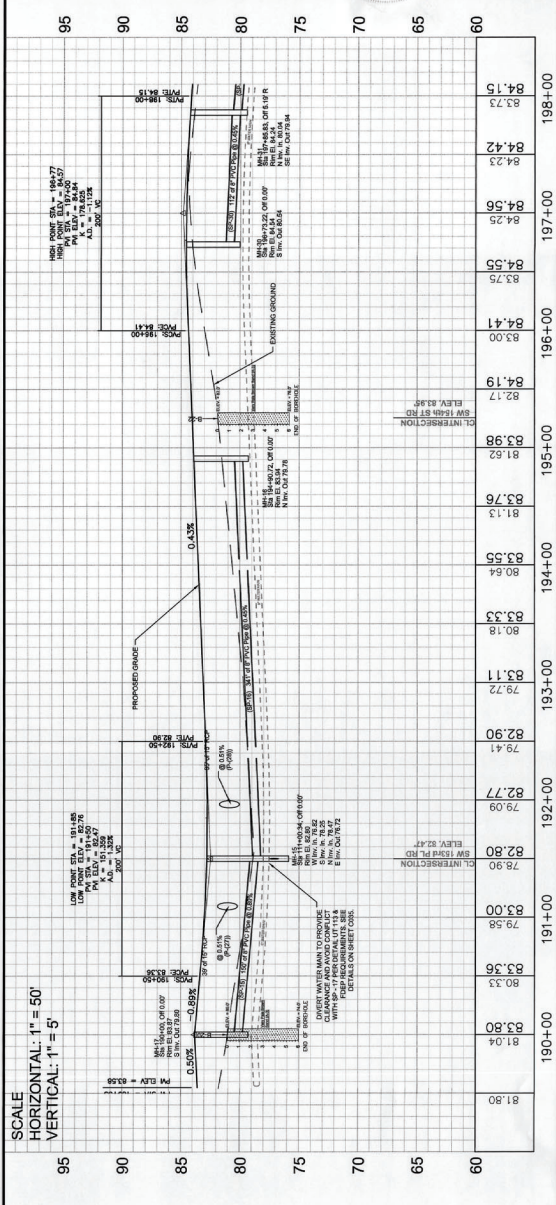
APPROVAL DATE: 04/24  
EXPIRATION DATE: 04/29

This document is the property of Marion County, Florida. It is to be used only for the project and location specified herein. Any reproduction or use of this document for any other project or location without the written consent of Marion County, Florida is strictly prohibited. Marion County, Florida reserves the right to modify or amend this document at any time without notice. The user of this document assumes all liability for any errors or omissions. The user of this document warrants that it is a true and accurate copy of the original document. The user of this document warrants that it is a true and accurate copy of the original document. The user of this document warrants that it is a true and accurate copy of the original document.



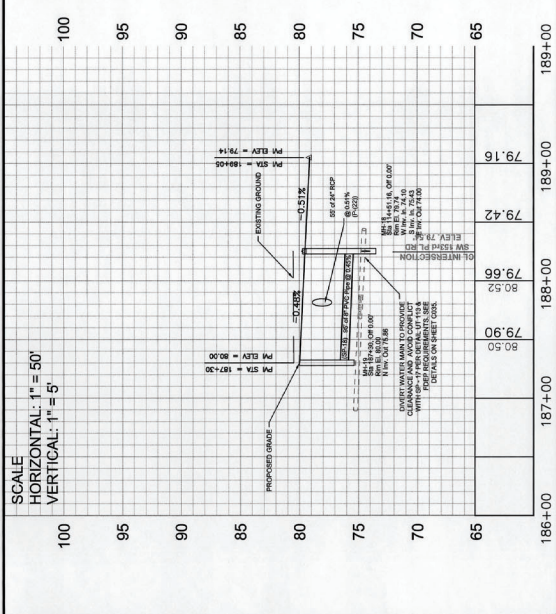
**SW 37th. CIR. Sec. 1 (60' WIDE R/W)**

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES TO PIPE IN INTERSECTIONS AS POSSIBLE.



**Cul-de-Sac (60' WIDE R/W)**

SCALE: HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'







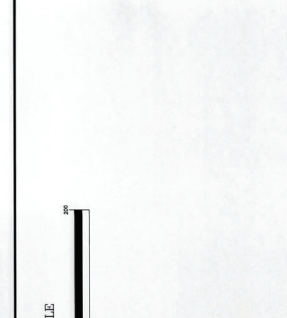
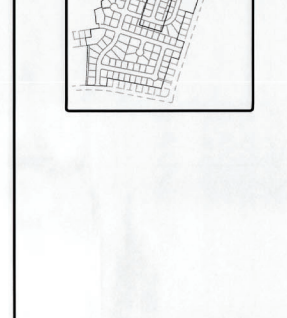
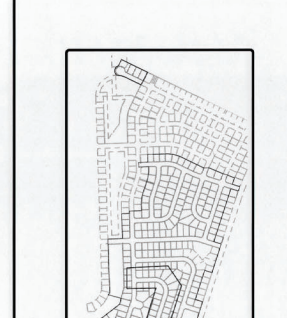
<p><b>MMR</b> MICHAEL W. RADLIFF ENGINEERING, INC. www.mradliffengineering.com</p>	<p>Project Name: Marion Oaks Unit 2 Improvement Plans                  Plan / Profile                  SW 154th St. Rd.                  STA. 217+00 to 228+06</p>	<p>Sheet No. 60                  of 45</p>
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**COUNCILMEMBER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

This approval of plans by Marion County is not a warranty, representation, or endorsement of any kind, and it does not constitute an assumption of liability by the County for any damages, claims, or expenses of any kind, or for any consequences that may arise from the use of the plans. The County assumes no responsibility for the design or construction of the improvements shown on these plans, and it does not warrant the accuracy or completeness of the information provided herein. The County's approval is limited to the information provided in the application and the plans, and it is not intended to constitute a contract or any other legal obligation. The County's approval is subject to the terms and conditions of the application and the plans, and it is not intended to constitute a contract or any other legal obligation. The County's approval is subject to the terms and conditions of the application and the plans, and it is not intended to constitute a contract or any other legal obligation.

**NOTICE**  
 The approval of these plans by Marion County is not a warranty, representation, or endorsement of any kind, and it does not constitute an assumption of liability by the County for any damages, claims, or expenses of any kind, or for any consequences that may arise from the use of the plans. The County assumes no responsibility for the design or construction of the improvements shown on these plans, and it does not warrant the accuracy or completeness of the information provided herein. The County's approval is limited to the information provided in the application and the plans, and it is not intended to constitute a contract or any other legal obligation. The County's approval is subject to the terms and conditions of the application and the plans, and it is not intended to constitute a contract or any other legal obligation.

**MARION COUNTY PROJECT**  
 No. 29457



NOTE: DIMENSIONS NOT TO SCALE. PLACE VALUES AS CLOSE TO SPIN INTERSECTIONS AS POSSIBLE.

SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

Station	Existing Ground Elevation	Proposed Grade Elevation
217+00	81.75	84.19
218+00	81.37	84.46
219+00	81.41	85.25
220+00	81.57	85.48
221+00	81.59	85.30
222+00	81.55	84.45
223+00	81.42	82.96
224+00	81.35	82.47
225+00	81.05	81.97
226+00	80.66	81.48
227+00	80.03	80.98
228+00	79.26	80.49
229+00	78.54	79.99
230+00	77.84	79.50
231+00	77.15	79.00
232+00	76.59	78.50
233+00	76.01	78.01

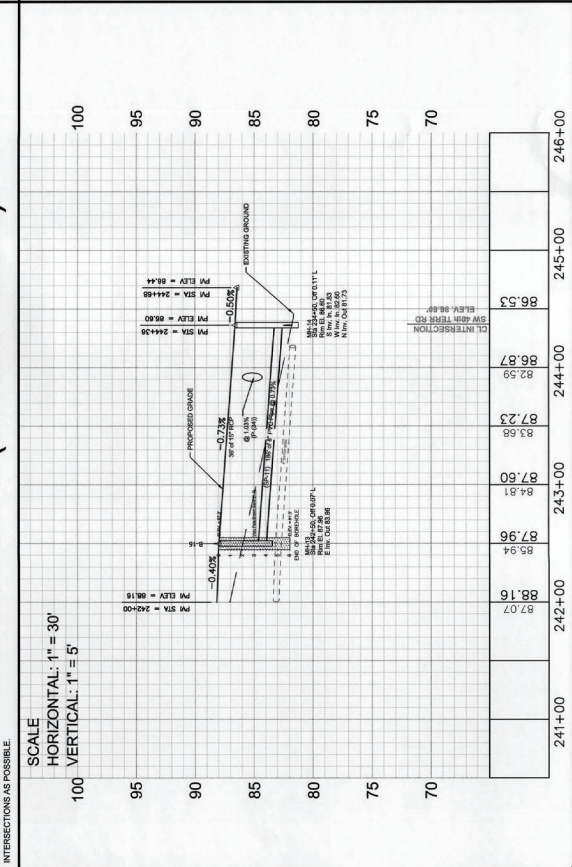
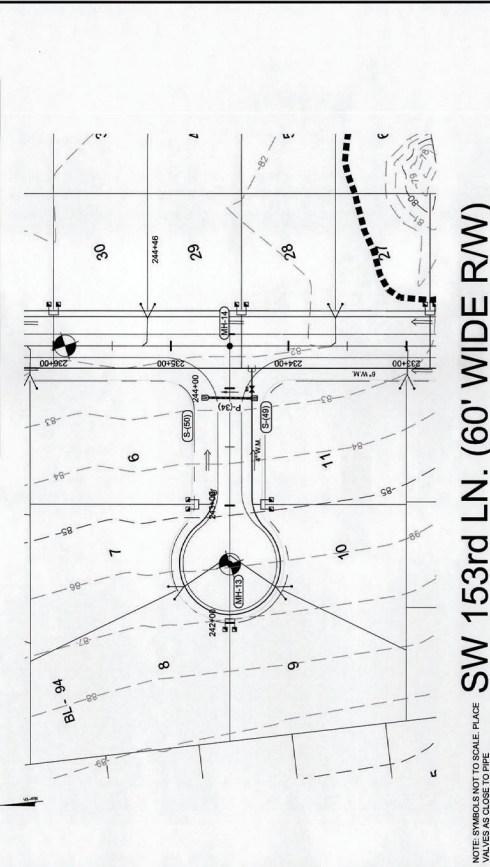
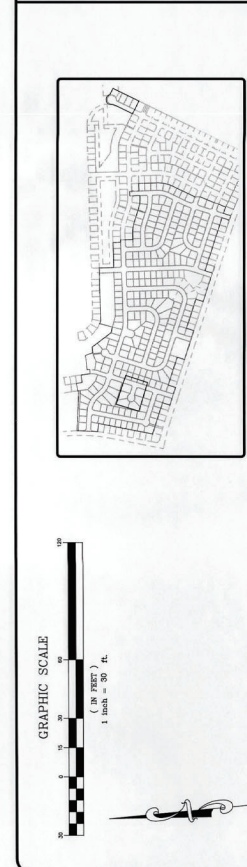
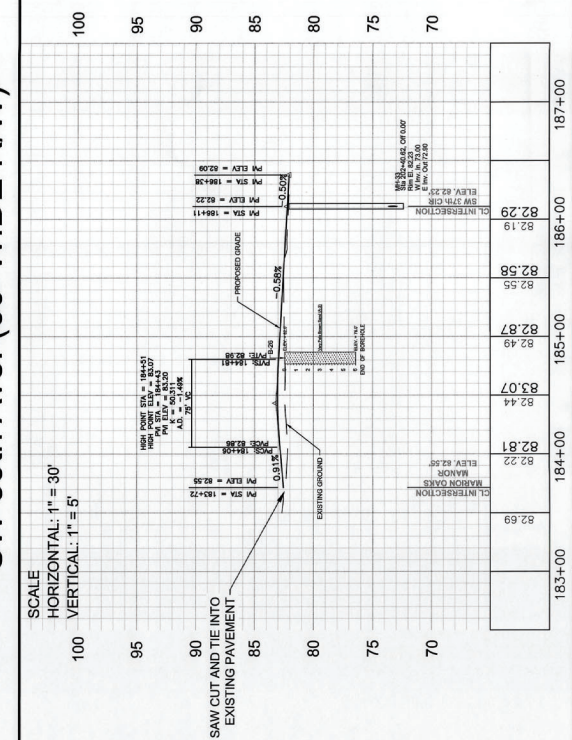
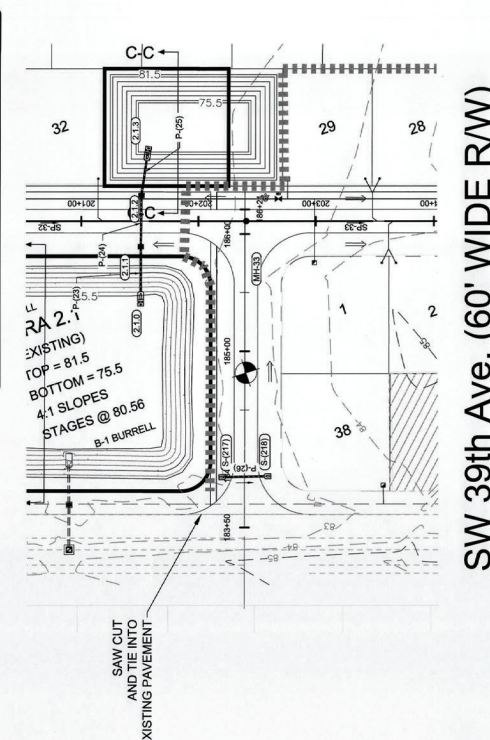
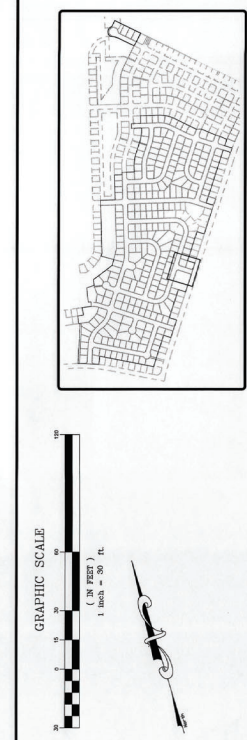
GRAPHIC SCALE  
 1 inch = 50 ft.  
 (1 IN REPRESENTS 50 FT.)

Project Name	Marion Oaks Unit 2 Improvements Plans
Location	Section 29 & 30 Township 29 South, Range 17 East Marion County, FL
Sheet No.	25
Scale	1" = 30'
Author	MARION COUNTY PROJECT No. 29457

**APPROVALS:**  
 MARION COUNTY, FLORIDA  
 APPLICATION # 29457  
 APPROVAL DATE: 10/6/20  
 EXPIRATION DATE: 10/6/20

This approval of these plans by Marion County is conditional upon the applicant's compliance with all applicable laws, rules, regulations, ordinances, and specifications. The applicant shall be responsible for obtaining all necessary permits and approvals from all other applicable agencies. This approval does not constitute an endorsement or warranty of any kind by Marion County. The applicant shall be responsible for obtaining all necessary permits and approvals from all other applicable agencies.

**NOTICE:**  
 The applicant shall be responsible for obtaining all necessary permits and approvals from all other applicable agencies. This approval does not constitute an endorsement or warranty of any kind by Marion County. The applicant shall be responsible for obtaining all necessary permits and approvals from all other applicable agencies.

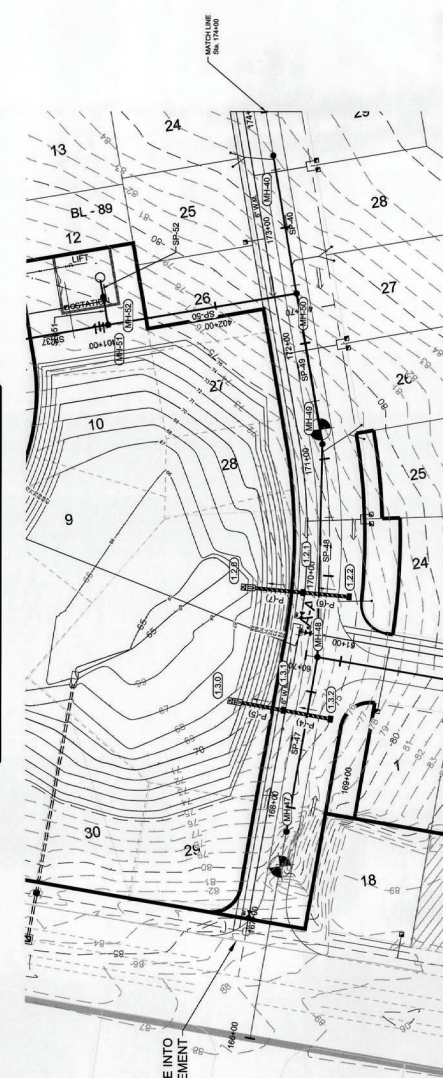


Project Name: Marion Oaks Unit 2 Improvement Plans	Location: Section 22, Township 12 South, Range 17 East, Marion County, FL	Scale: 1" = 50'	Sheet No. 45 of 45
Client: MWR	Contract No. 12-1-22	Revision: 02	Date: 02/21/22
Designer: MWR	Checker: MWR	Project: 12-1-22	Drawn: 02/21/22
Approved: MWR	Scale: 1" = 50'	Project: 12-1-22	Drawn: 02/21/22

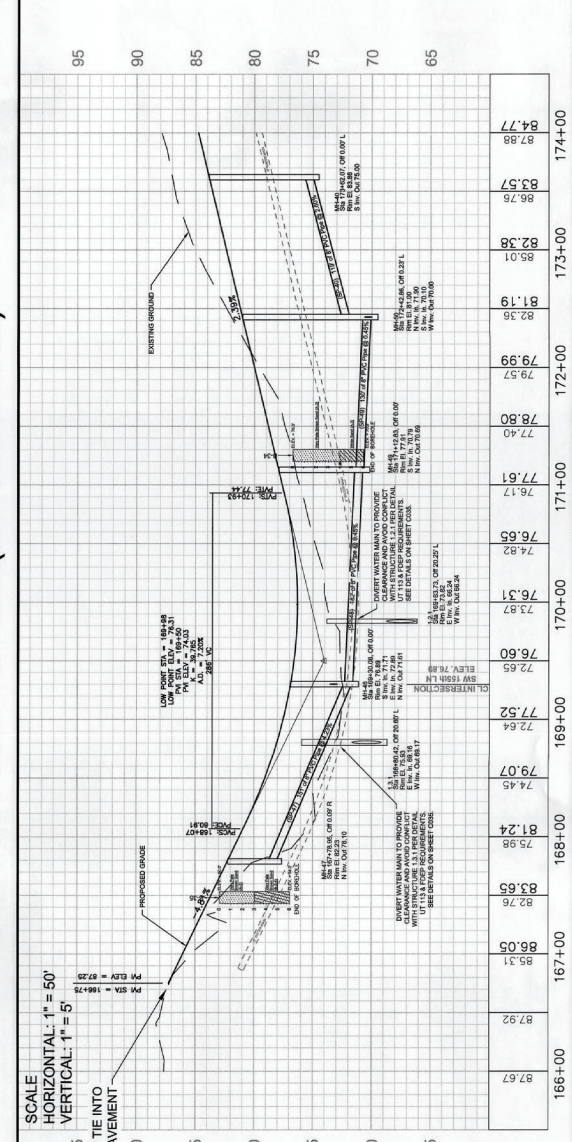
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is not a warranty, representation, or endorsement of any products, materials, or methods, nor does it constitute an assumption of liability for any damages, claims, or expenses of any kind. The user of these plans shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall indemnify and hold Marion County harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of these plans.

**MARION COUNTY PROJECT**  
 NO. 29457



SW 37th Terrace (60' WIDE R/W)



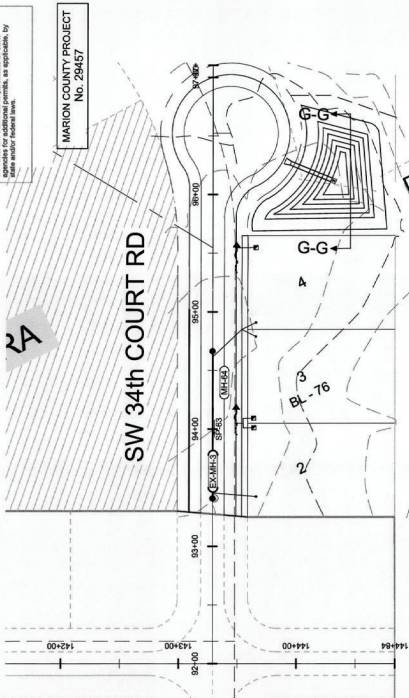
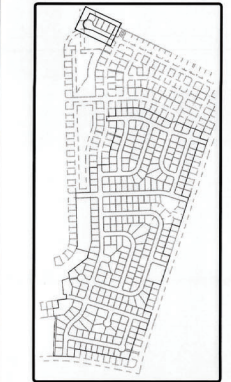
NOTE: DIMENSIONS MAY VARY TO SCALE. BE AWARE AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.



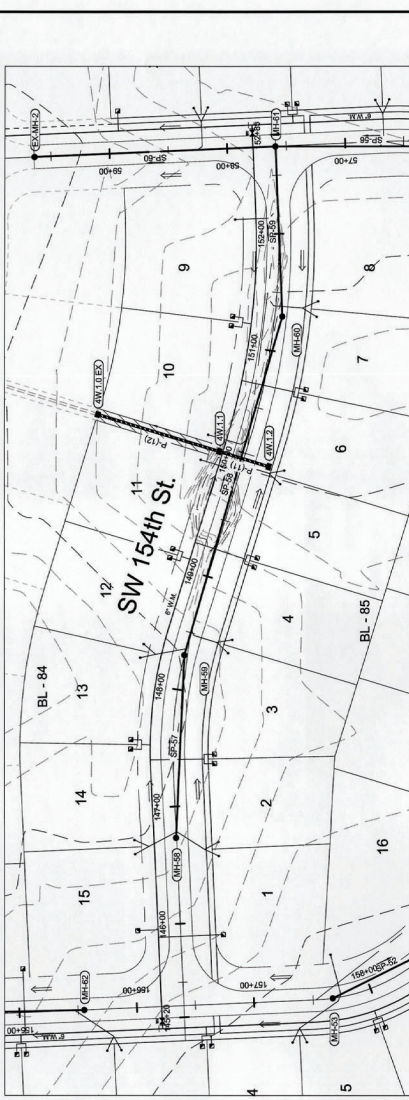
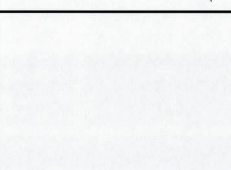
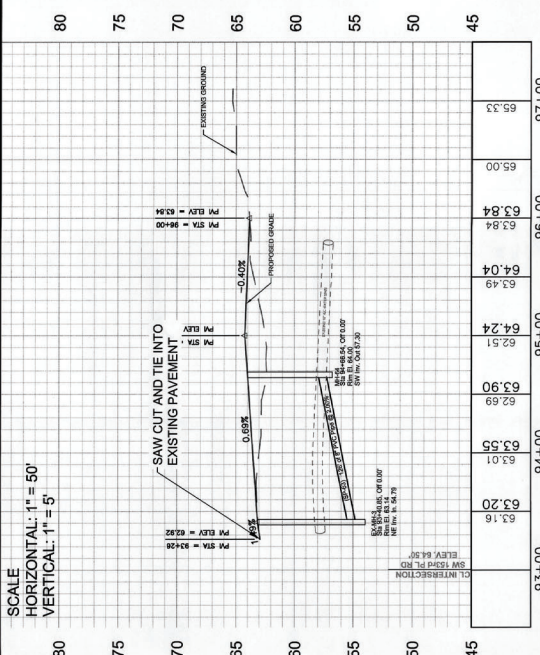
Sheet No. 45	Project Name: Marion Oaks Link 2 Improvement Plans	Location: MARION COUNTY, FLORIDA	Scale: 1" = 50'
Client: Marion County	Drawn: MJK	Checked: MJK	Date: 12-1-22
Project No. 2015-17	Revision: 1	Revision: 1	Revision: 1

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

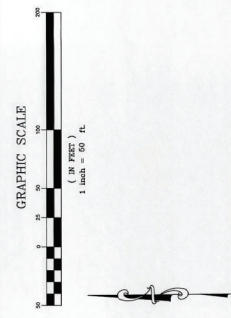
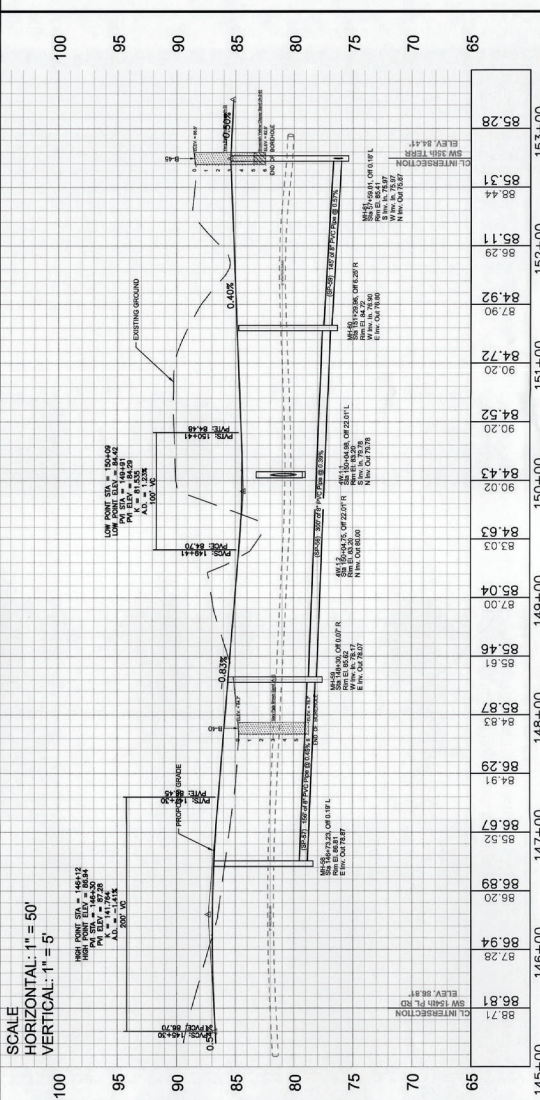
The approval of these plans by Marion County is conditional upon the applicant's compliance with all applicable laws, rules, regulations, and ordinances of Marion County, Florida, and the Department of Transportation, Florida Department of Transportation, and the Florida Department of Transportation. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary easements and rights-of-way from the appropriate agencies. The applicant is also responsible for obtaining all necessary approvals from the appropriate agencies. The applicant is also responsible for obtaining all necessary approvals from the appropriate agencies.



SW 34th Ct. Rd. (60' WIDE R/W)



SW 154th St. (60' WIDE R/W)



NOTE: SYMBOLS NOT TO SCALE. PLACE VALUES AS CLOSE TO THE INTERSECTIONS AS POSSIBLE.



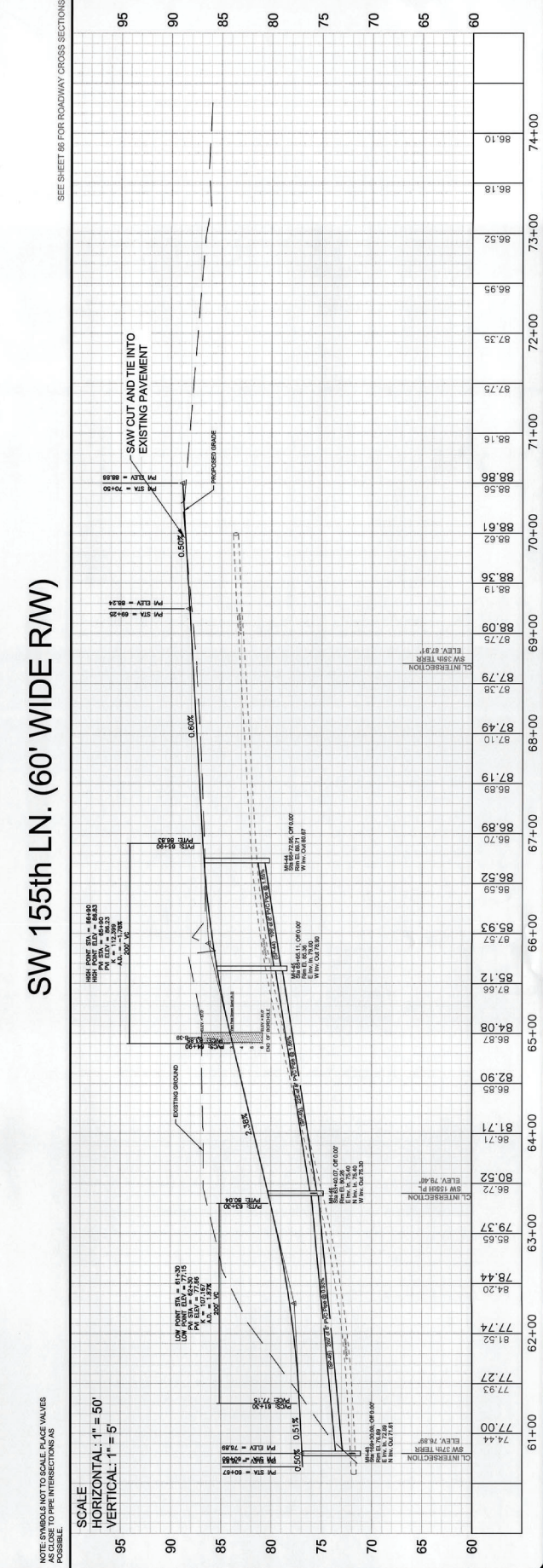
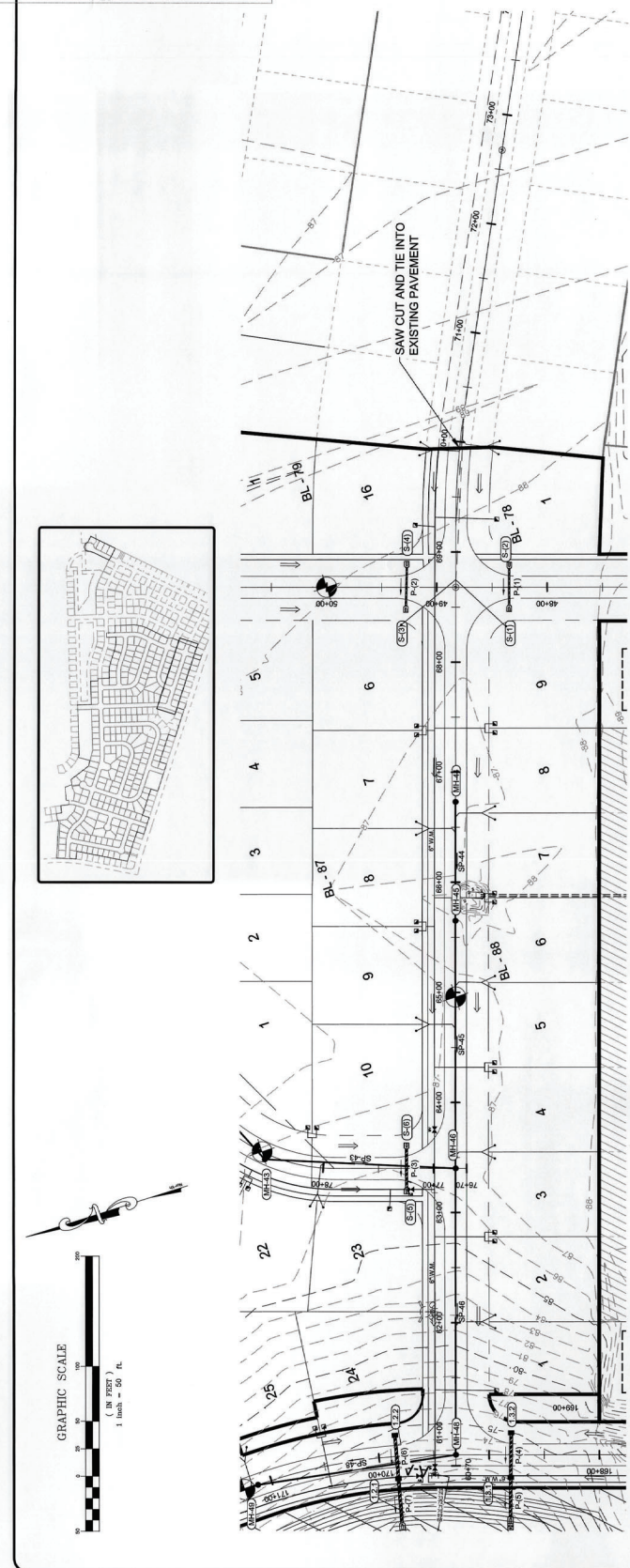


<p>Project Name: Marion Oaks Unit 2 Improvements                  SW 155th Ln                  STA. 60+70 TO 74+00</p>	<p>Sheet No. 86 of 85</p>
<p>Client: Marion Oaks Unit 2 Improvement                  2100 SW 155th Ln, Suite 201, Fort Lauderdale, FL 33316</p>	<p>Scale: 1" = 50'</p>
<p>Design: MWR                  Check: MWR                  Date: 12-1-22</p>	<p>Revision: 01                  Description: Update Elevation</p>

**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

This approval of these plans by Marion County is based on the information provided by the applicant and the applicant's representation, observation, and investigation. The applicant is responsible for the accuracy and completeness of the information provided. The County Engineer is not responsible for the accuracy or completeness of the information provided by the applicant or for the consequences of any errors or omissions. The County Engineer is not responsible for the consequences of any errors or omissions in any way, including but not limited to, the design, construction, or operation of the project. The County Engineer is not responsible for the consequences of any errors or omissions in any way, including but not limited to, the design, construction, or operation of the project.

**MARION COUNTY PROJECT**  
 NO. 29457



**SW 155th LN. (60' WIDE RW)**

SCALE  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'

NOTE: DIMENSIONS NOT TO SCALE. PLACE VALUES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

Project Name: Marion Oaks Unit 2 Improvements Plans	Sheet No. 02	of 45
Location: SW 55th Terr (Truss) / SW 55th Terr	Scale: 1" = 50'	Date: 9/2
Client: Marion Oaks Unit 2	Author: MWR	Check: MWR
Contract No. 12-1-22	Issue: 2021-43	Revision: 03-3-MIK
Contractor: MICHAEL W. RADCIFF ENGINEERING, INC.	City: Marion County, Florida	Project: Marion Oaks Unit 2

**MARION COUNTY PROJECT No. 29457**

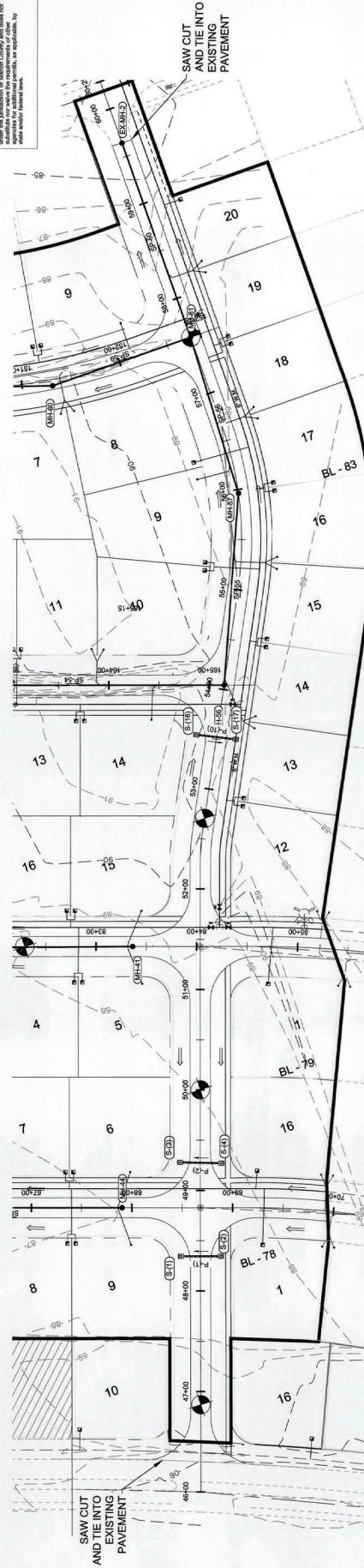
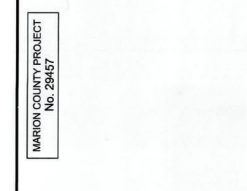
**MARION COUNTY, FLORIDA**

APPLICATION #: 29457

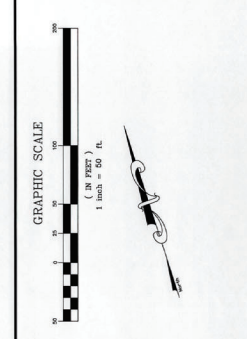
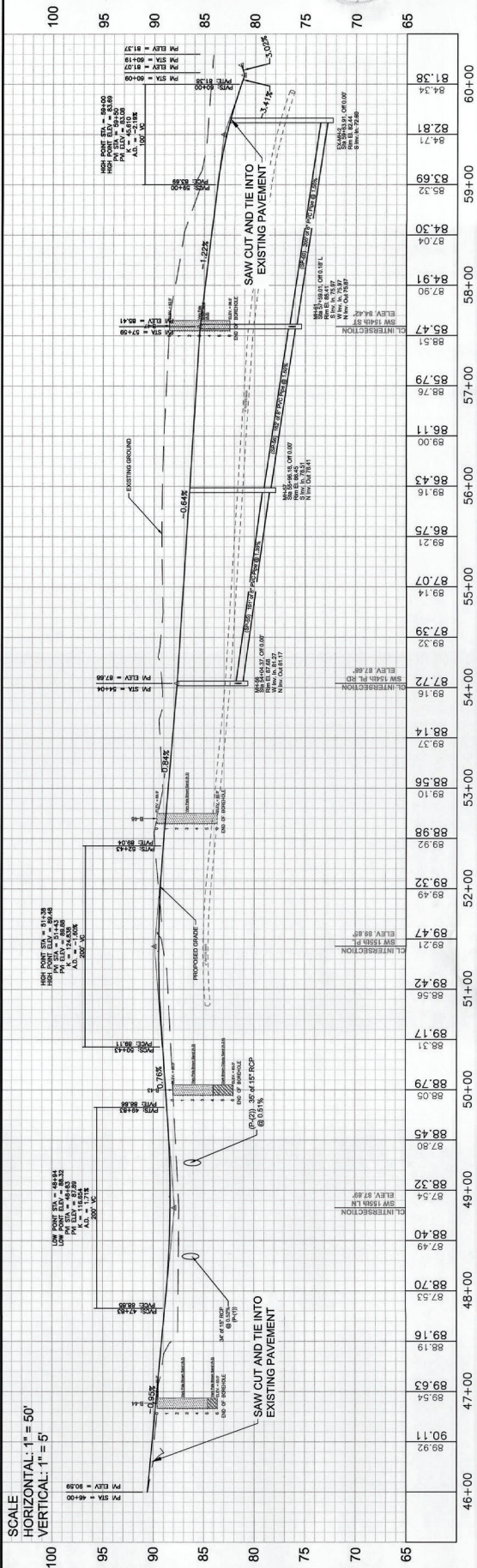
APPROVAL DATE: 10/6/24

EXPIRATION DATE: 10/6/29

This approval of these plans by Marion County is based on the information provided by the applicant and the County Engineering Department. It does not constitute an endorsement or approval of the project, nor does it constitute a warranty of any kind. The County Engineering Department is not responsible for the design or construction of the project. All construction shall be in accordance with the applicable codes and regulations of Marion County, Florida. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The County Engineering Department reserves the right to require the applicant to provide additional information or to suspend or revoke this approval if it is determined that the project does not comply with the applicable codes and regulations.



**SW 35th TERR. (60' WIDE RW)**



SCALE  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

NOTE: DIMENSIONS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.





Project Name: Marion Oaks Line 2  
 Location: SECTION 22 E. 11th Street, Block 21, Lot 1, Marion County, FL  
 Date: 11/20/22  
 Scale: 1" = 100'

**MWR** MICHAEL W. RADLOFF ENGINEERING, INC.  
 1111 S. 10th Ave, Suite 400, Marion, FL 32053  
 Phone: 904.241.1111  
 Fax: 904.241.1111  
 www.radloffengineering.com

Drawn: MWR  
 Check: MWR  
 Date: 11-20-22  
 Scale: 1" = 100'

DATE	BY	REVISIONS
03-13-2016	MWR	ISSUES PER COUNTY COMMENTS
07-21-2016	MWR	ISSUES PER COUNTY COMMENTS
08-13-2016	MWR	ISSUES PER COUNTY COMMENTS

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/4/29  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is not a warranty, endorsement, or acceptance of any product, material, or equipment. The County Engineer's office is not responsible for the design or construction of the project. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies.

**MARION COUNTY PROJECT**  
**No. 29457**

**RESIDENTIAL SERVICE LOCATIONS**

7.3.2 UT 103

SECTION # 2

**NOTES:**

1. ALL RESIDENTIAL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
3. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.

**PIPE LOCATING WIRE AND DETECTABLE TAPE**

7.3.2 UT 104

SECTION # 2

**NOTES:**

1. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
3. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.

**BEDDING AND TRENCHING 2**

7.3.2 UT 105

SECTION # 2

**NOTES:**

1. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
3. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.

**UTILITY MAIN MARKER**

7.3.2 UT 109

SECTION # 2

**NOTES:**

1. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
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4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.

**TAPPING SADDLE AND GATE VALVE ASSEMBLY**

7.3.2 UT 108

SECTION # 1

**NOTES:**

1. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
3. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.

**WATER AND RECLAIMED WATER SERVICES (TYPICAL)**

7.3.2 UT 107

SECTION # 2

**NOTES:**

1. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
3. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.

**SINGLE FAMILY RESIDENTIAL CUL-DE-SAC UTILITY PLAN**

7.3.2 UT 106

SECTION # 1

**NOTES:**

1. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
2. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
3. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
4. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
5. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
6. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.
7. ALL SERVICES SHALL BE LOCATED AT THE CURB OR SIDEWALK.





DATE	BY	REVISIONS PER COUNTY COMMENTS
08-13-24MJK		REVISIONS PER COUNTY COMMENTS
07-01-24MJK		REVISIONS PER COUNTY COMMENTS
03-13-24MJK		REVISIONS PER COUNTY COMMENTS

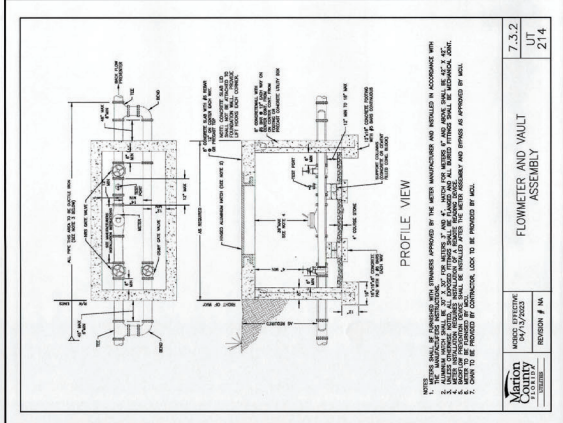
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07-01-24MJK		REVISIONS PER COUNTY COMMENTS
03-13-24MJK		REVISIONS PER COUNTY COMMENTS

DATE	BY	REVISIONS PER COUNTY COMMENTS
08-13-24MJK		REVISIONS PER COUNTY COMMENTS
07-01-24MJK		REVISIONS PER COUNTY COMMENTS
03-13-24MJK		REVISIONS PER COUNTY COMMENTS

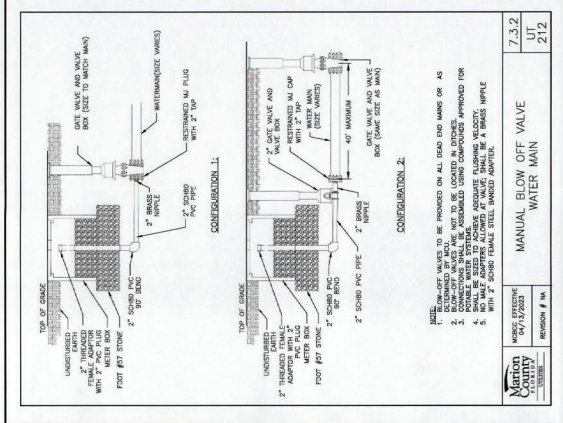
**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPROVAL #: 29457  
 APPROVAL DATE: 10/4/23

The approval of these plans by Marion County Engineers is not a warranty, representation, or endorsement of any kind, nor is it a guarantee of the accuracy or completeness of the information provided. The user of these plans shall be responsible for obtaining all necessary permits and for complying with all applicable laws, rules, and regulations. The user of these plans shall also be responsible for obtaining all necessary approvals from the appropriate authorities. The user of these plans shall also be responsible for obtaining all necessary approvals from the appropriate authorities.

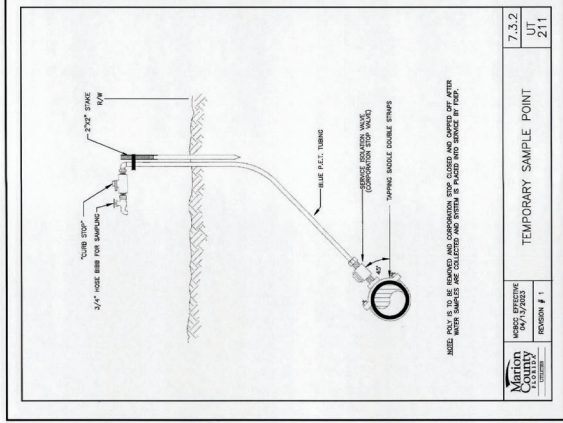
**MARION COUNTY PROJECT**  
 No. 29457



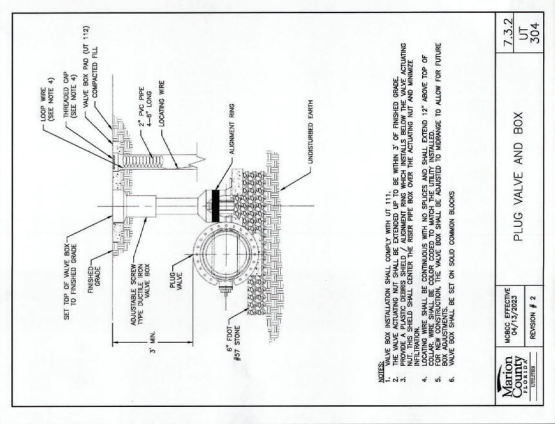
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SECTION # 1	214	



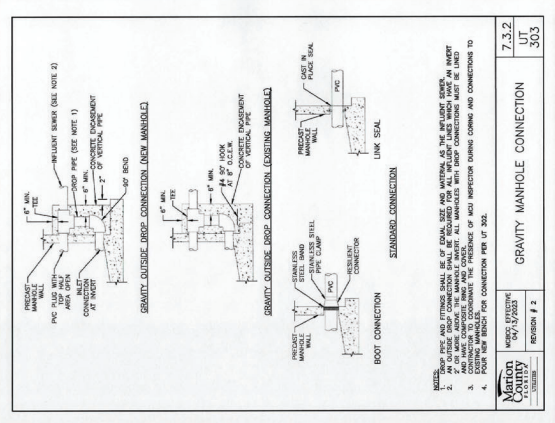
MARION COUNTY	7.3.2	UT
SECTION # 1	212	



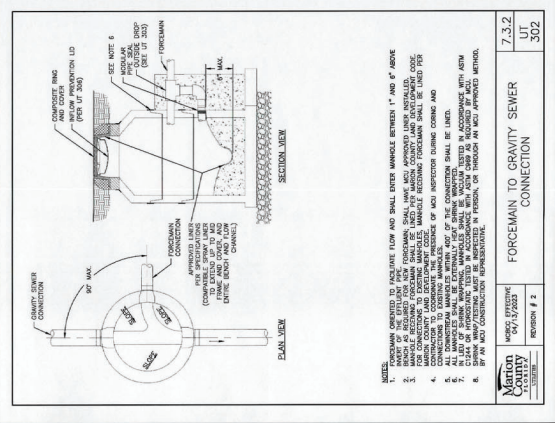
MARION COUNTY	7.3.2	UT
SECTION # 1	211	



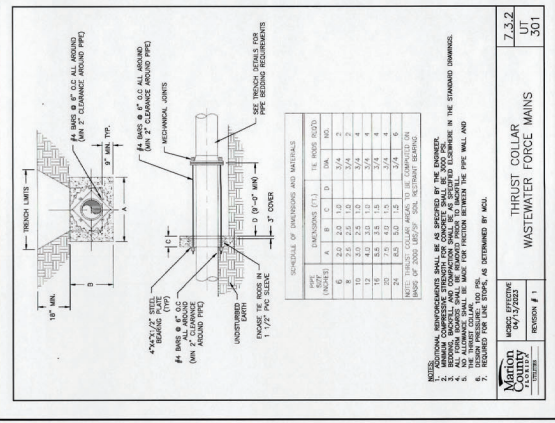
MARION COUNTY	7.3.2	UT
SECTION # 2	301	



MARION COUNTY	7.3.2	UT
SECTION # 2	305	



MARION COUNTY	7.3.2	UT
SECTION # 2	302	



MARION COUNTY	7.3.2	UT
SECTION # 1	301	

Sheet No. 0038 of 45



Project Name: Markon Oaks Unit 2  
Location: 25 S. TOWNSEND ST. TOWN OF SOUTH BRIDGE, ST. MARION COUNTY, FL.  
Water/Sewer Details

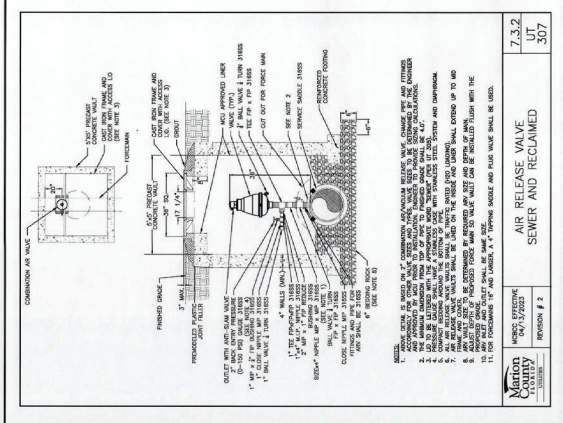
MICHAEL W. RADCLIFFE ENGINEERING, INC.  
11111 W. UNIVERSITY BLVD., SUITE 1000, TAMPA, FL 33613  
TEL: 813-908-1111 FAX: 813-908-1113  
WWW.MRENG.COM

DATE	11-28-22
BY	MJK
DATE	11-28-22
BY	MJK
DATE	11-28-22
BY	MJK
DATE	11-28-22
BY	MJK

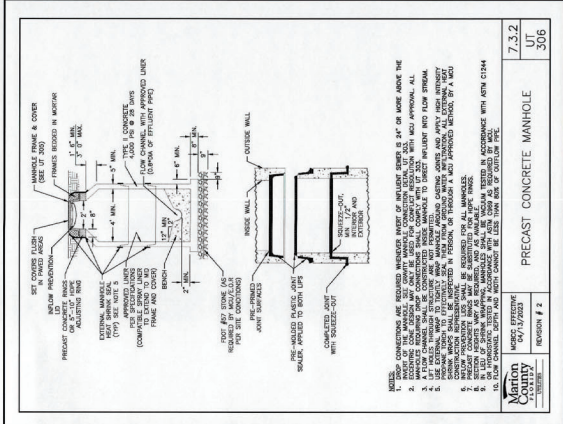
**COUNTY ENGINEER**  
MARION COUNTY, FLORIDA  
APPLICATION # 2847  
APPROVAL DATE: 10/4/20

The approval of these plans by Marion County, Florida, is based on the information provided by the applicant and the engineer. The engineer is responsible for the design and construction of the project. The approval does not constitute a warranty or guarantee of any kind. The engineer is not responsible for any errors or omissions in the plans or for any consequences arising therefrom.

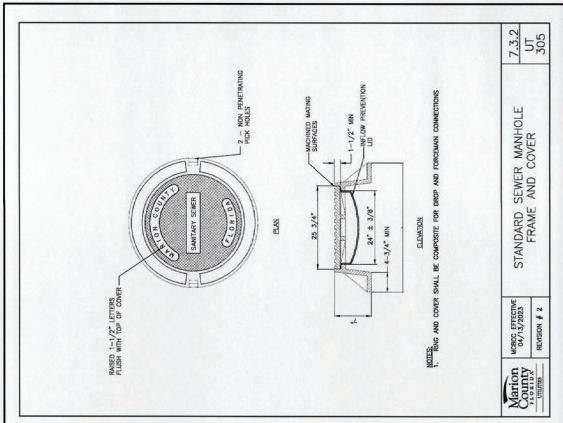
**MARION COUNTY PROJECT**  
No. 2847



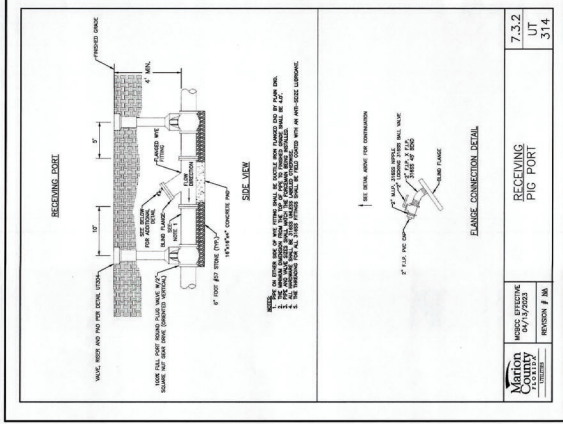
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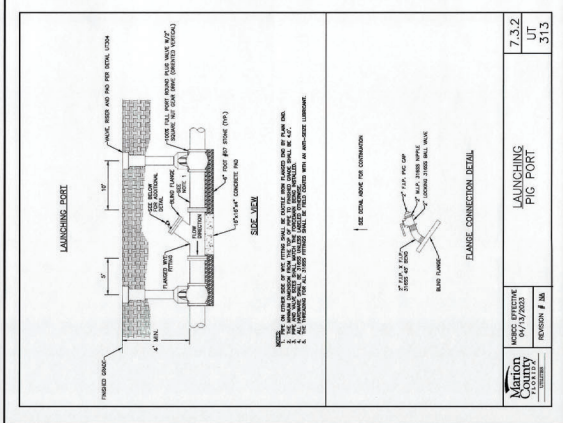
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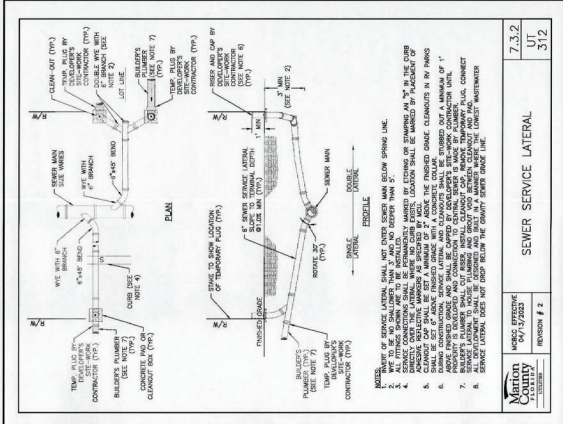
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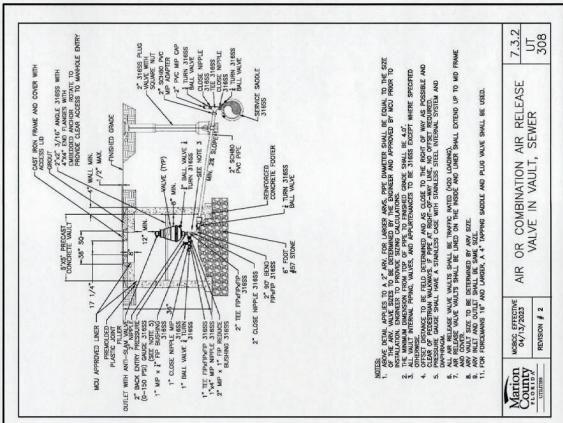
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314



7.3.2  
UT  
313



7.3.2  
UT  
312



7.3.2  
UT  
308

DATE	11-26-22
PROJECT	2021-43
DATE	10-1-20
PROJECT	2021-43
DATE	10-1-20
PROJECT	2021-43

**MICHAEL W. FADLIFE ENGINEERING, INC.**  
 13001 W. US HWY 90, SUITE 100, TAMPA, FL 33613  
 TEL: 813-973-1111 FAX: 813-973-1112  
 WWW.MICHAELWFE.COM

**Sewer/Lift Station Details**

Project Name: Marion Oaks Unit 2  
 Location: SECTION 23.6, TOWNSHIP 13 NORTH, RANGE 11 EAST, MARION COUNTY, FL  
 Scale: AS SHOWN  
 Date: 10/1/2022

Sheet No.	45
Case No.	2021-43

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 20457  
 APPROVAL DATE 10/28/22

EXPIRATION DATE 10/28/23

The County Engineer's Office has reviewed the plans and specifications for the proposed lift station and has approved them for construction. The County Engineer's Office is not responsible for the design or construction of the lift station. The County Engineer's Office is not responsible for the design or construction of the lift station. The County Engineer's Office is not responsible for the design or construction of the lift station.

**MARION COUNTY PROJECT**  
**No. 20457**

**COVER AND DOOR GROUNDING**

REVISION # 1

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	506	

**SEWER PIPE SUPPORT**

REVISION # 1

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	504B	

**GAUGE DIAPHRAGM ASSEMBLY**

REVISION # 1

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	504A	

**SERVICE PEDAESTAL**  
 2 OF 3

REVISION # 1

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	510	

**SERVICE PEDAESTAL**  
 1 OF 3

REVISION # 1

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	509	

**HOSE BIBB ASSEMBLY**

REVISION # 1

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	508	

**GROUND TEST ENCLOSURE**

REVISION # 1A

DATE	09/15/2022	7.3.2	UT
PROJECT	2021-43	507	





**Lift Station Details**  
 Project Name: MARION OAKS UNIT 2  
 Location: SECTION 2.12, TRACELAND 17 SOUTH MARSH 21 EAST MARION COUNTY, FL  
 Date: 11-28-22

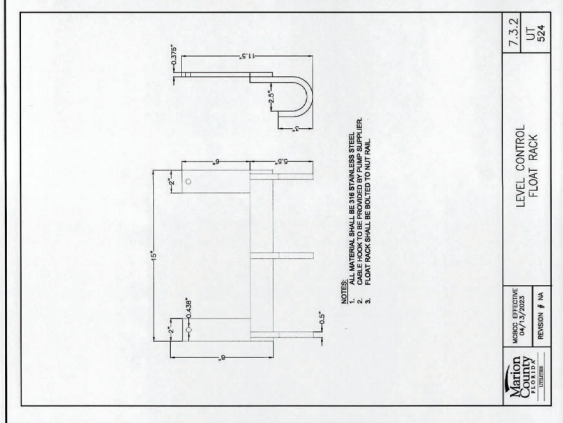
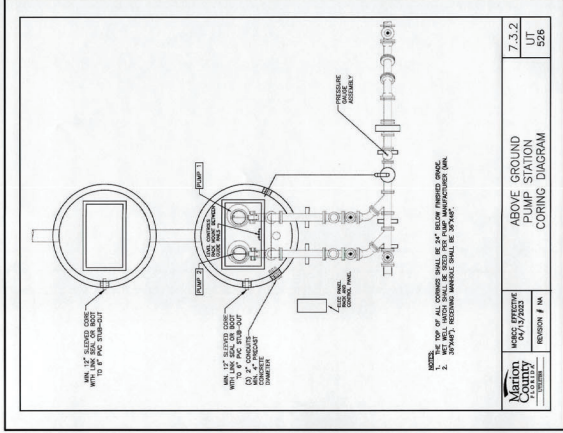
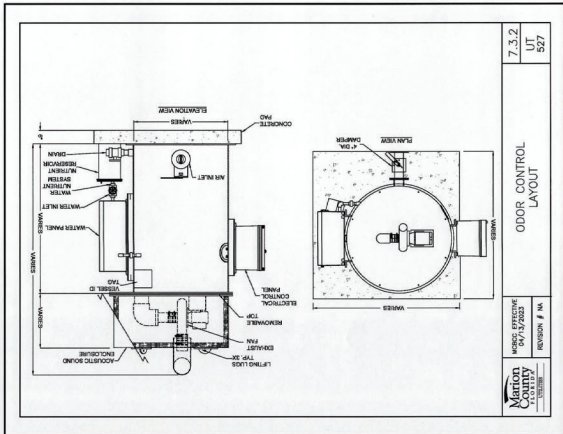
**MICHAEL W. RADCLIFF ENGINEERING, INC.**  
 2115 S. Lake Way, Palm Bay, FL 32909  
 Phone: 888-888-8888  
 Fax: 888-888-8888  
 Email: mwr@radcliffengineering.com  
 Website: www.radcliffengineering.com

Checked: dwp	Date: 11-28-22
Drawn: MWR	Scale: 1" = 100'
Design: MJK	Project: 2021-43
Approved: MWR	Sheet: 1 of 45

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 28457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County Engineer does not constitute an endorsement or approval by the County Engineer of the design, construction, or materials used in the project. The County Engineer is not responsible for the design, construction, or materials used in the project. The County Engineer is not responsible for the design, construction, or materials used in the project.

**MARION COUNTY PROJECT**  
 No. 28457

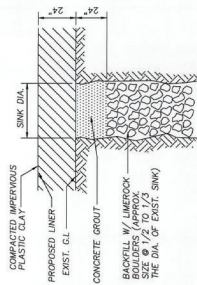


<b>Project Name:</b> Maroon Chain Link 2 Improvement Plans Location: MAROON CHAIN LINK 2 IMPROVEMENT PROJECT, MAROON COUNTY, FLORIDA Date: 10/20/18 Scale: 1" = 10'-0"	<b>Construction Details</b> Project No. 25457 Sheet No. 03-43 of 03-43	<b>Michael W. Radcliff Engineering, Inc.</b> 201 S. Lake Wales Avenue, Suite 101, Lake Wales, FL 33853 Phone: (888) 453-2500 Fax: (888) 453-1010 Email: info@mwre.com	Title: MARS Date: 10/20/18 Scale: 1" = 10'-0"	Title: MARS Date: 10/20/18 Scale: 1" = 10'-0"	Title: MARS Date: 10/20/18 Scale: 1" = 10'-0"
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**COUNTY ENGINEERS**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 25457  
 APPROVAL DATE: 10/24/18  
 PROPOSED DATE: 10/24/18

The approval of these plans by Marion County Engineers is based on the information provided by the applicant and is not a guarantee of the accuracy of the information provided. The applicant is responsible for the accuracy of the information provided and for obtaining all necessary permits and approvals from the appropriate authorities. The approval of these plans by Marion County Engineers is not a guarantee of the accuracy of the information provided. The applicant is responsible for the accuracy of the information provided and for obtaining all necessary permits and approvals from the appropriate authorities.

**MARION COUNTY PROJECT**  
 No. 25457



**EXIST. SINK CHIMNEY**  
 REPAIR METHOD 2, SECTION 4.0, APPLICANT'S HANDBOOK - KARST SENSITIVE AREAS, PARIMD, MAY 1988.

IF THE SINK CHIMNEY IS FOUND TO BE DAMAGED OR IN NEED OF REPAIR, THE DEVELOPER SHALL IMMEDIATELY NOTIFY THE CITY AND SHOWN AND ADOPT ONE BEFORE OR LURING CONSTRUCTION ACTIVITIES, ALL WORK IN THE AFFECTED AREA SHALL STOP IN THE AFFECTED AREA.

NO SURFACE WATER DRAINS INTO THE AFFECTED AREA.

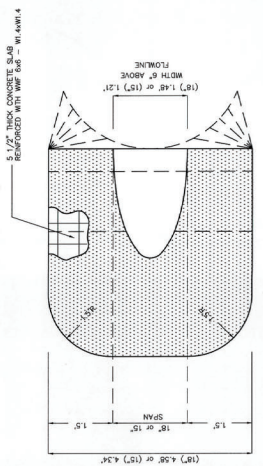
THE DEVELOPER SHALL TAKE IMMEDIATE MEASURES TO ENSURE TO FALL THE AFFECTED AREA AND PREVENT FURTHER DAMAGE TO THE AFFECTED AREA.

IF THE DEVELOPER SHALL VISUALLY INSPECT THE AFFECTED AREA TO FILL THE AFFECTED AREA AND PREVENT FURTHER DAMAGE TO THE AFFECTED AREA.

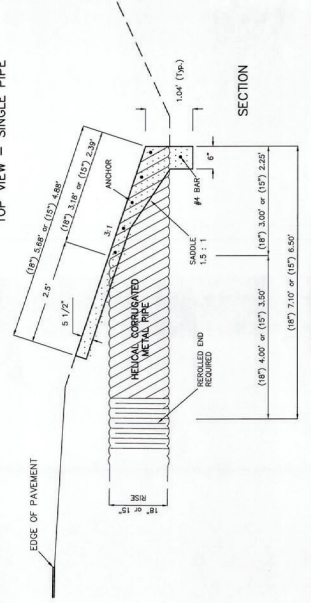
IF THE DEVELOPER SHALL VISUALLY INSPECT THE AFFECTED AREA TO FILL THE AFFECTED AREA AND PREVENT FURTHER DAMAGE TO THE AFFECTED AREA.

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- IF THE DEVELOPER SHALL VISUALLY INSPECT THE AFFECTED AREA TO FILL THE AFFECTED AREA AND PREVENT FURTHER DAMAGE TO THE AFFECTED AREA.

**KARST REPAIR DETAIL**

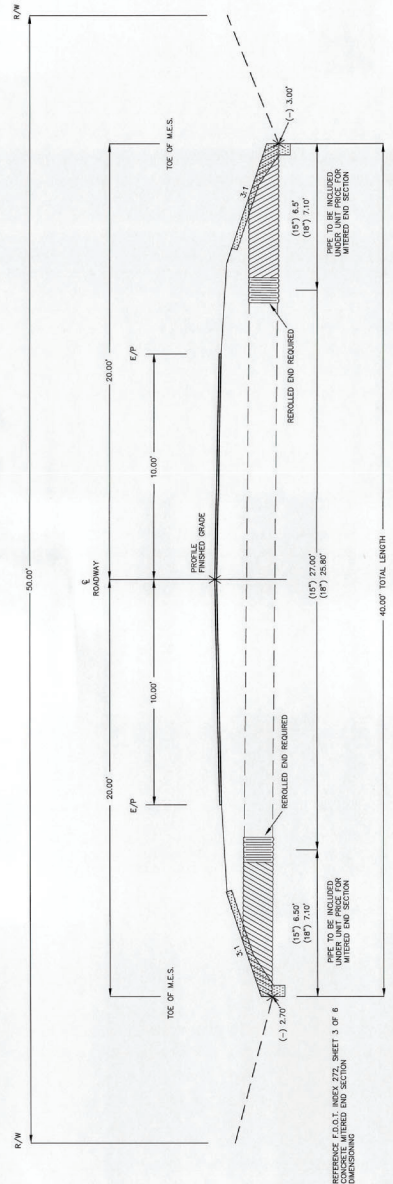


**TOP VIEW - SINGLE PIPE**

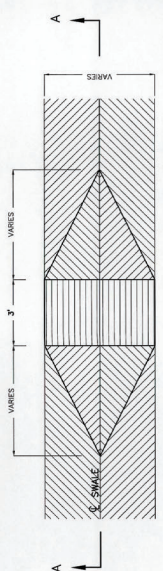


ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE MITERED END SECTIONS.

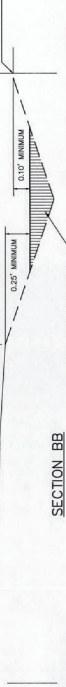
**CROSS DRAIN MITERED END SECTION**



**TYPICAL CROSS DRAIN DETAIL**



**PLAN VIEW**

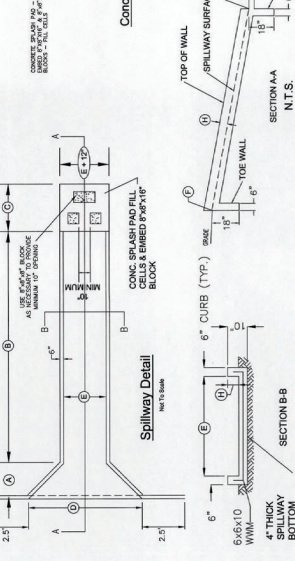


**SECTION BB**  
 NOT TO SCALE

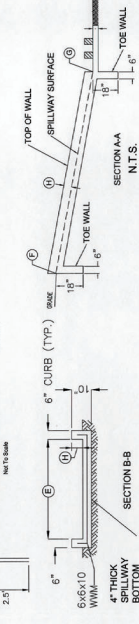
**TYPICAL DITCH BLOCK DETAIL**

DITCH BLOCK HEIGHT SHALL BE SET AT 0.25' BELOW EXISTING GRADE AT F.O.W. MINIMUM IS LOWER.

**SECTION AA**  
 NOT TO SCALE

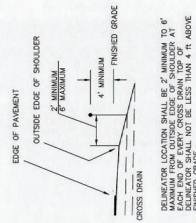


**Spillway Detail**  
 NOT TO SCALE



SPILLWAY CONSTRUCTION TABLE									
SPILLWAY	A	B	C	D	E	F	G	H	I
FLARE	LENGTH	SPASH PAD WIDTH	SPASH PAD DEPTH	TOP	BOTTOM	DEPTH	DEPTH	DEPTH	DEPTH
SP-1	5	37	4	5	3	3	6.11	28.07	6

**TYPICAL CROSS DRAIN DELINEATOR PLACEMENT DETAIL**



**SECTION AA**  
 N.T.S.

DELINATOR LOCATION SHALL BE 2" MINIMUM TO 6" MAXIMUM FROM THE EDGE OF THE CURB AT EACH END OF EVERY CROSS DRAIN TOP OF FINISHED GRADE. DELINATOR SHALL NOT BE LESS THAN 4" ABOVE FINISHED GRADE.

**CROSS DRAIN DELINEATOR PLACEMENT DETAIL**

PERSONS PER COUNTY COMMENTS	DATE	BY
PERSONS PER COUNTY COMMENTS	03-13-2016	MJK
PERSONS PER COUNTY COMMENTS	07-01-2016	MJK
PERSONS PER COUNTY COMMENTS	08-13-2016	MJK

Checked	MW	Date	12-1-22
Drawn	MW	Date	12-1-22
Project	MW	Date	2021-4-3
Scale	N.T.S.		

**Construction Details**

Location: Section 13, Township 7 North, Range 18 West, Marion County, Florida

Project: Marion Oaks Unit 2 Improvement Plans

Sheet No. of 3 of 3

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
 APPLICATION # 29457  
 APPROVAL DATE: 10/02/24

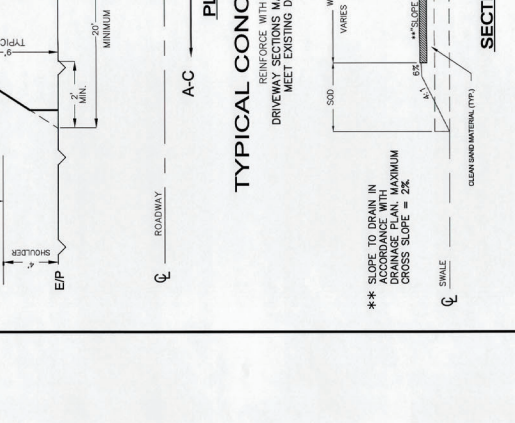
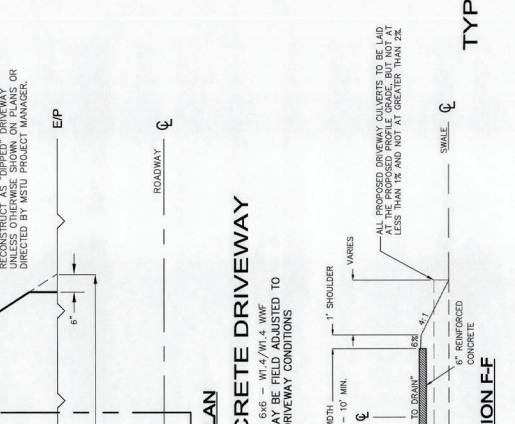
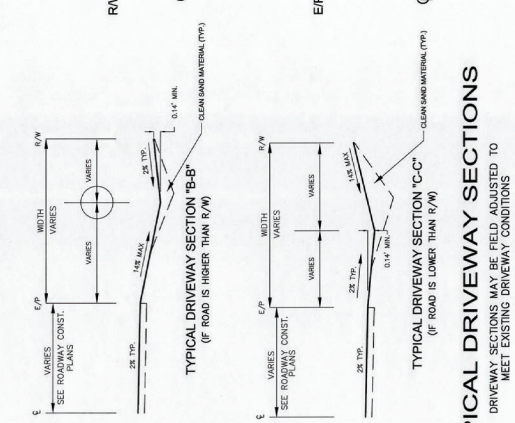
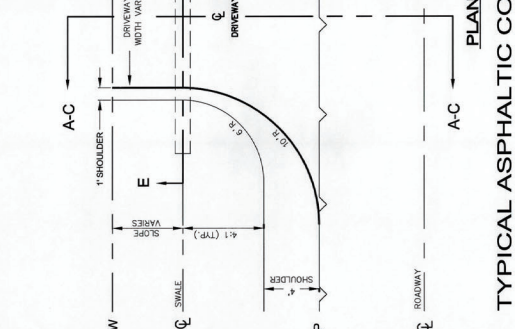
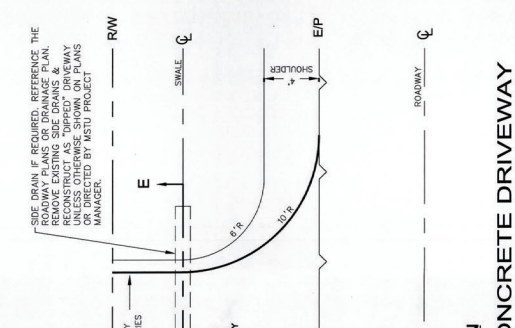
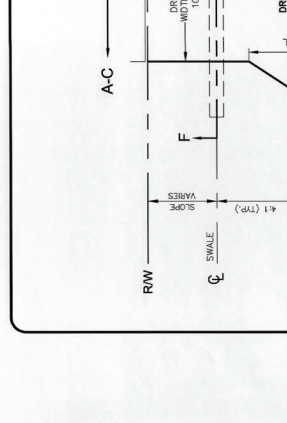
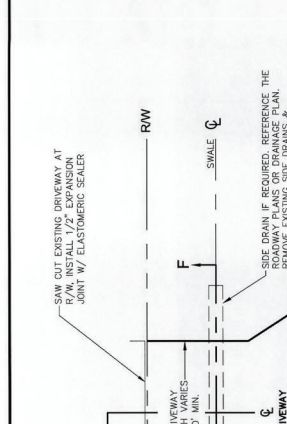
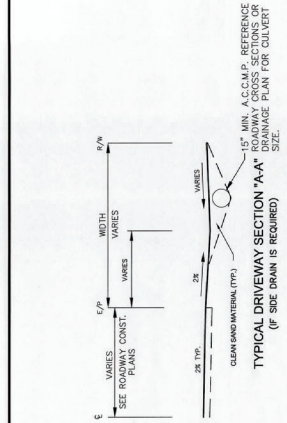
This approval of these plans by Marion County is based on the information provided by the applicant and is not a guarantee of the accuracy or completeness of the information provided. The applicant is responsible for obtaining all necessary permits and approvals for the project. The County Engineer's office is not responsible for the design or construction of the project.

**MARION COUNTY PROJECT**  
 No. 29457

**TYPICAL DRIVEWAY SECTION "A-A"**  
 (IF SIDE DRAIN IS REQUIRED)

15" MIN. A.C.C.M.P. REFERENCE TO ROADWAY PLAN FOR DRIVEWAY WIDTH AND SLOPE.

SEE ROADWAY CONST. PLANS FOR DRIVEWAY WIDTH AND SLOPE.



**TYPICAL ASPHALTIC CONCRETE DRIVEWAY**  
 DRIVEWAY SECTIONS MAY BE FIELD ADJUSTED TO MEET EXISTING DRIVEWAY CONDITIONS

**TYPICAL DRIVEWAY SECTIONS**  
 DRIVEWAY SECTIONS MAY BE FIELD ADJUSTED TO MEET EXISTING DRIVEWAY CONDITIONS

**TYPICAL CONCRETE DRIVEWAY**  
 REINFORCE WITH #4 @ 18" W/ 4" WVF  
 DRIVEWAY SECTIONS MAY BE FIELD ADJUSTED TO MEET EXISTING DRIVEWAY CONDITIONS

**TYPICAL UTILITY LOCATION DETAIL**  
 UNLESS OTHERWISE APPROVED BY COUNTY ENGINEER

**TYPICAL MAILBOX DETAIL**  
 BOCC POLICY 99-02  
 DRIVEWAYS WILL BE PAVED TO THE RIGHT-OF-WAY LINE AND CULVERTS INSTALLED (IF NEEDED) TO ANY LOTS IMPROVED WITH FENCE AND GATE OR TO LOTS ON WHICH A BUILDING PERMIT HAS BEEN OBTAINED. ALL TO BE IN EXISTENCE PRIOR TO DATE BIDS ARE ADVERTISED.



COUNTY ENGINEER  
MARION COUNTY, FLORIDA  
APPLICATION # 2467  
3 PERIOD DATE 3M24  
EXPIRATION DATE 3M24

The approval of these plans by Marion County is not a warranty, express or implied, of the accuracy or completeness of the information provided, nor does it constitute an endorsement of any product, material, or service. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. All construction shall conform to the applicable codes and regulations of Marion County, Florida. The County Engineer's office is not responsible for the design or construction of any structure or facility shown on these plans. The County Engineer's office is not responsible for the design or construction of any structure or facility shown on these plans.

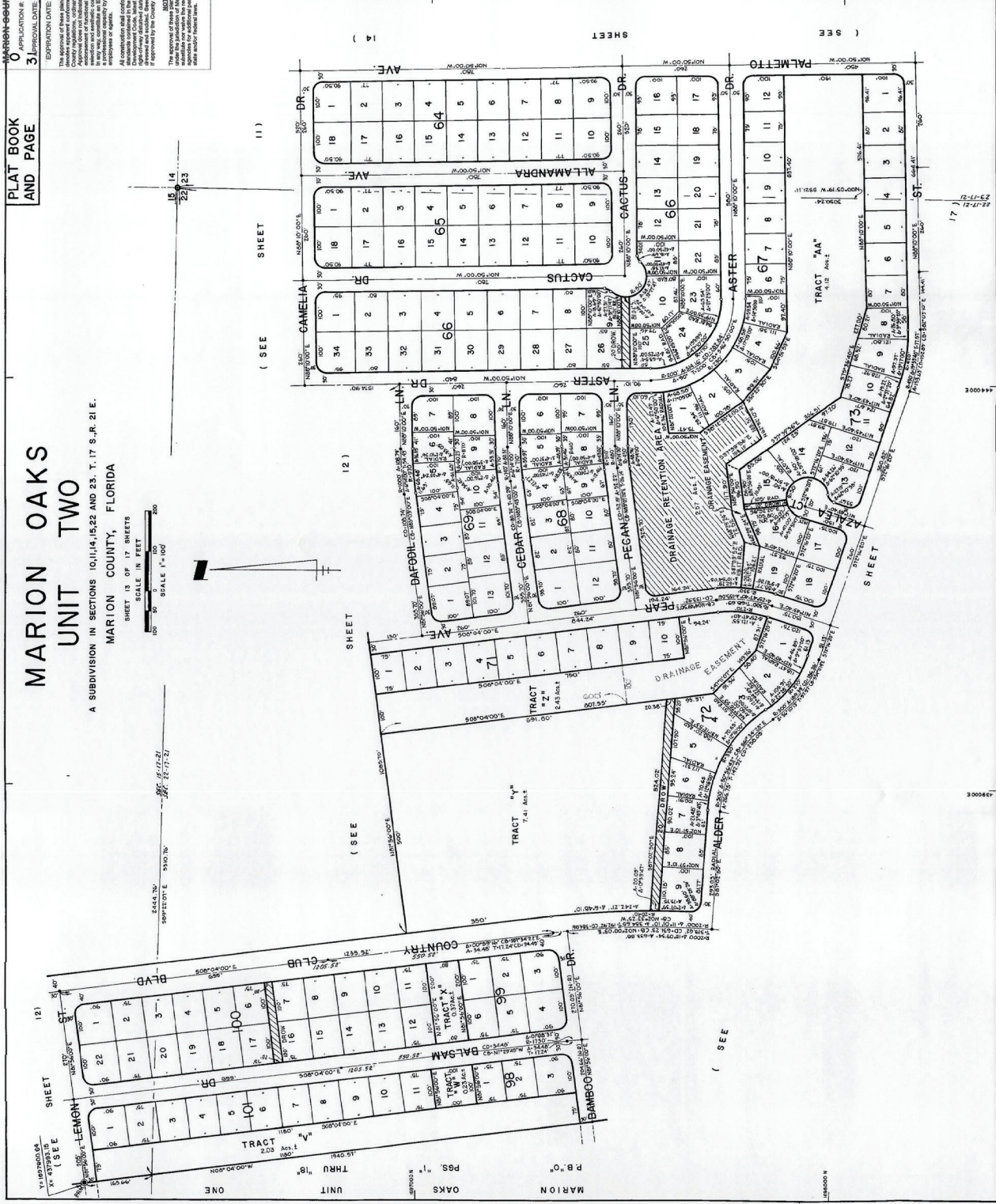
PLAT BOOK  
AND PAGE

# MARION OAKS UNIT TWO

A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.  
MARION COUNTY, FLORIDA

SHEET 13 OF 17 SHEETS  
SCALE IN FEET  
SCALE 1" = 100'

15 14  
22 23



NOTICE: There may be additional restrictions that are not recorded on this plat that may be found in the public records of this County.

187 LOTS THIS SHEET  
31  
13-17

COUNTY ENGINEER  
MARION COUNTY, FLORIDA  
APPLICATION # 2857  
32 EXPIRATION DATE 10/29

This approval of these plans by Marion County, Florida, is based on the information provided by the applicant and does not constitute a warranty of any kind. The County Engineer is not responsible for the accuracy of the information provided or for the results of any construction or other action taken in reliance on these plans. The County Engineer is not responsible for the accuracy of the information provided or for the results of any construction or other action taken in reliance on these plans. The County Engineer is not responsible for the accuracy of the information provided or for the results of any construction or other action taken in reliance on these plans.

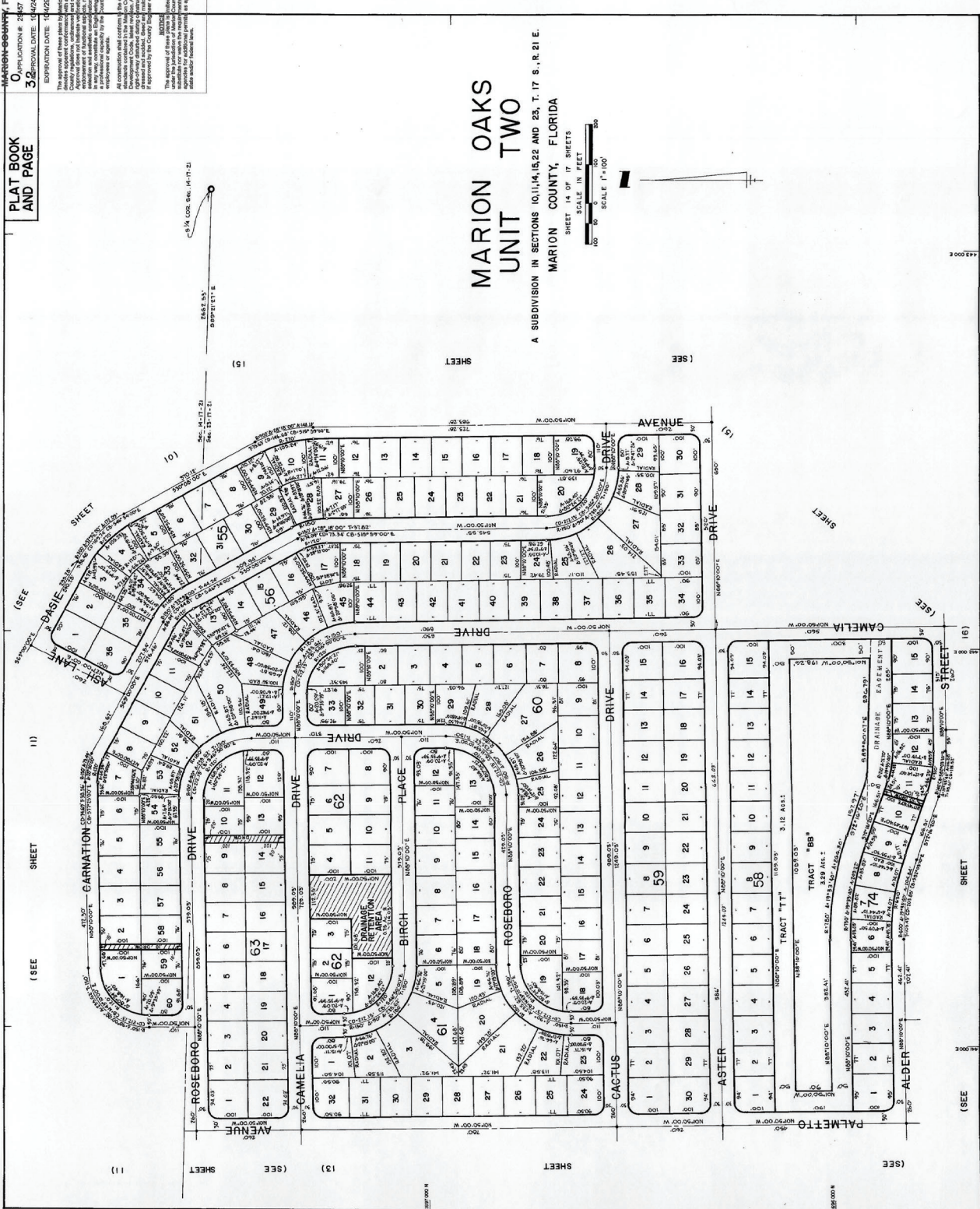
PLAT BOOK  
AND PAGE

MARION OAKS  
UNIT TWO

A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.

MARION COUNTY, FLORIDA

SHEET 14 OF 17 SHEETS  
SCALE IN FEET  
SCALE 1" = 100'



285 LOTS THIS SHEET  
32  
14-17

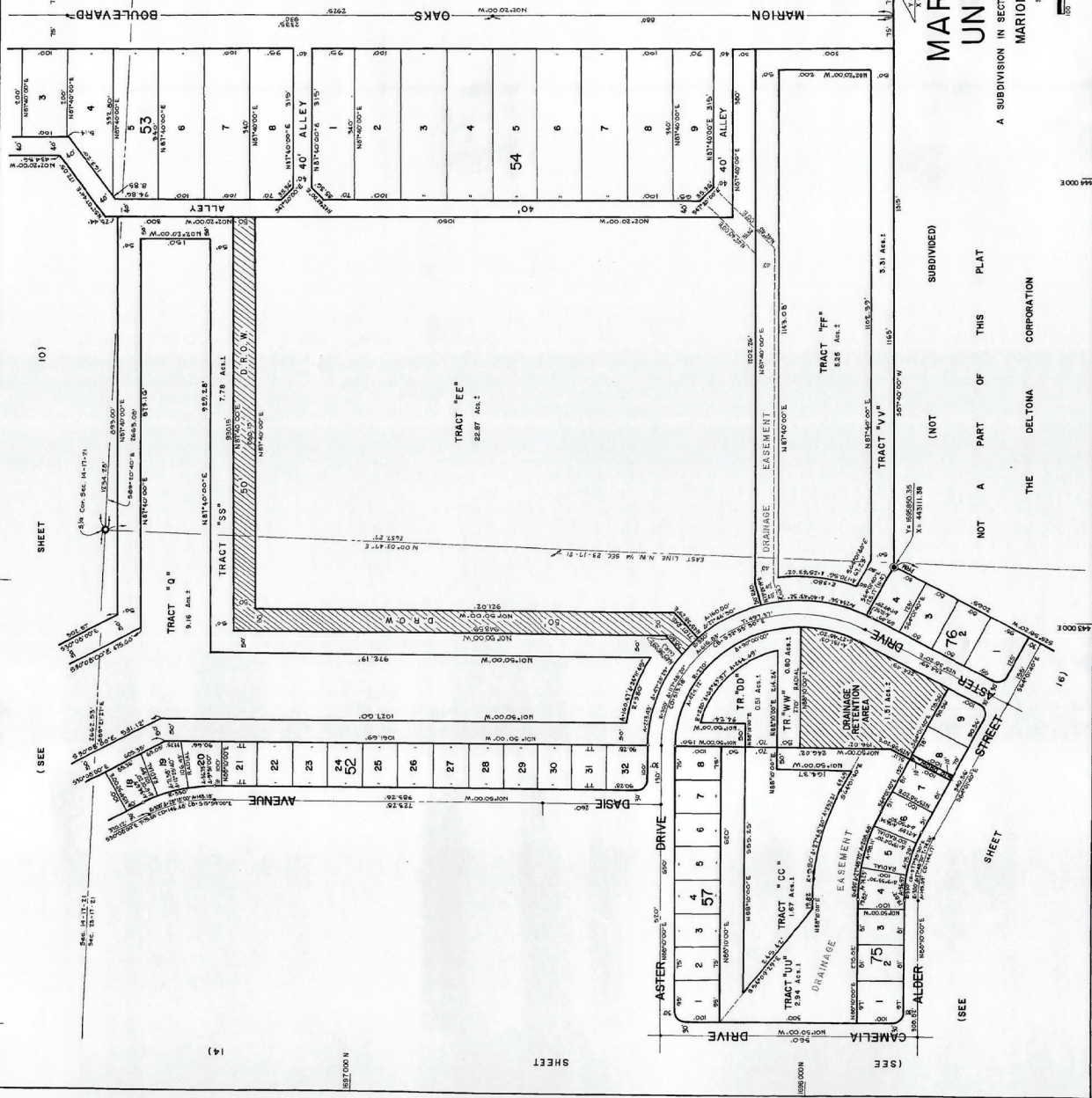
NOTICE: There may be additional records that are not recorded in this records of this County.

COUNTY ENGINEER  
MARION COUNTY, FLORIDA

LOCATION # 2467  
APPROVAL DATE: 11/24/24  
SHEET NO. 33

This approval of these plans by Marion County is based on the information provided and does not constitute a warranty of accuracy, reliability, or completeness. It is the responsibility of the applicant to ensure that all information is true and correct. The County Engineer's office is not responsible for any errors or omissions in these plans. All construction shall conform to the current Florida Building Code, Florida Fire Prevention Code, and Florida Electrical Code. The County Engineer's office is not responsible for any errors or omissions in these plans. All construction shall conform to the current Florida Building Code, Florida Fire Prevention Code, and Florida Electrical Code. The County Engineer's office is not responsible for any errors or omissions in these plans.

PLAT BOOK  
AND PAGE



MARION OAKS  
UNIT TWO

A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.  
MARION COUNTY, FLORIDA

SHEET 15 OF 17 SHEETS  
SCALE IN FEET  
SCALE 1" = 100'

51 LOTS THIS SHEET  
33 15-17

(SEE SHEET 10)

(SEE SHEET 14)

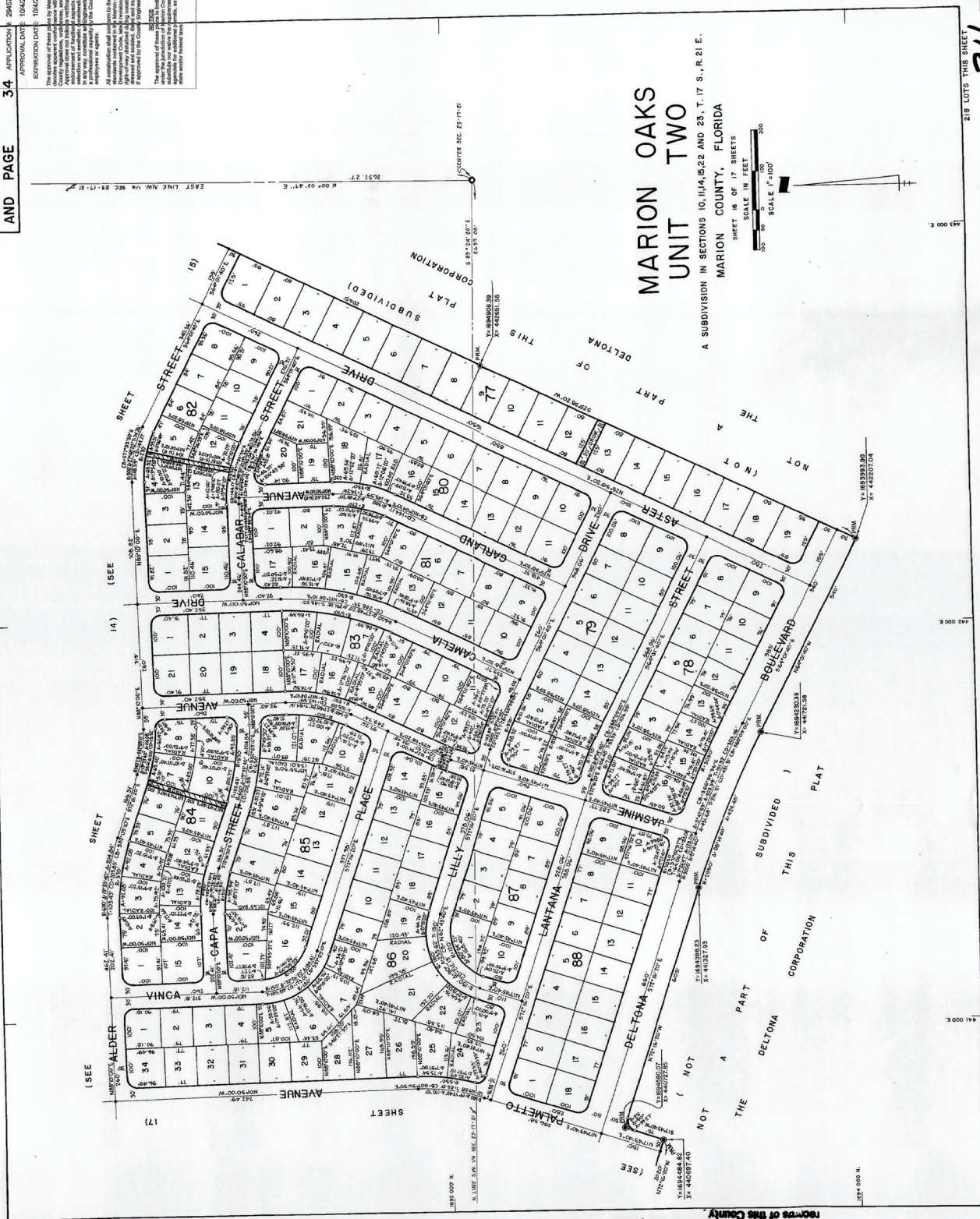
(NOT A PART OF THIS PLAT)

(SEE SHEET 16)

NOTICE: There may be additional records that are not recorded on this plat that may be found in the public records of this County.

**COUNTY ENGINEER**  
**MARION COUNTY, FLORIDA**  
**PLAT BOOK AND PAGE**  
**34 2847**  
 APPLICATION NO. 04429  
 APPROVAL DATE: 04/29  
 EXPIRATION DATE: 04/29

The approval of these plans by Marion County, Florida, is based on the information furnished by the applicant and the County Engineer, and does not constitute a warranty of the accuracy of the information furnished. The County Engineer is not responsible for the accuracy of the information furnished by the applicant or for the consequences of any error or omission in the plans or for the consequences of any action taken by any person in reliance on the plans.



NOTICE: THERE MAY BE ADDITIONAL RECORDS THAT ARE NOT RECORDED ON THIS PLAT. THESE RECORDS SHOULD BE OBTAINED FROM THE RECORDS OF THE COUNTY.

218 LOTS THIS SHEET  
 34 16-17

COUNTY ENGINEER  
 MARION COUNTY, FLORIDA  
 APPLICATION # 39457  
 35 SUBDIVISION # 10429  
 EXPIRATION DATE 10/4/29

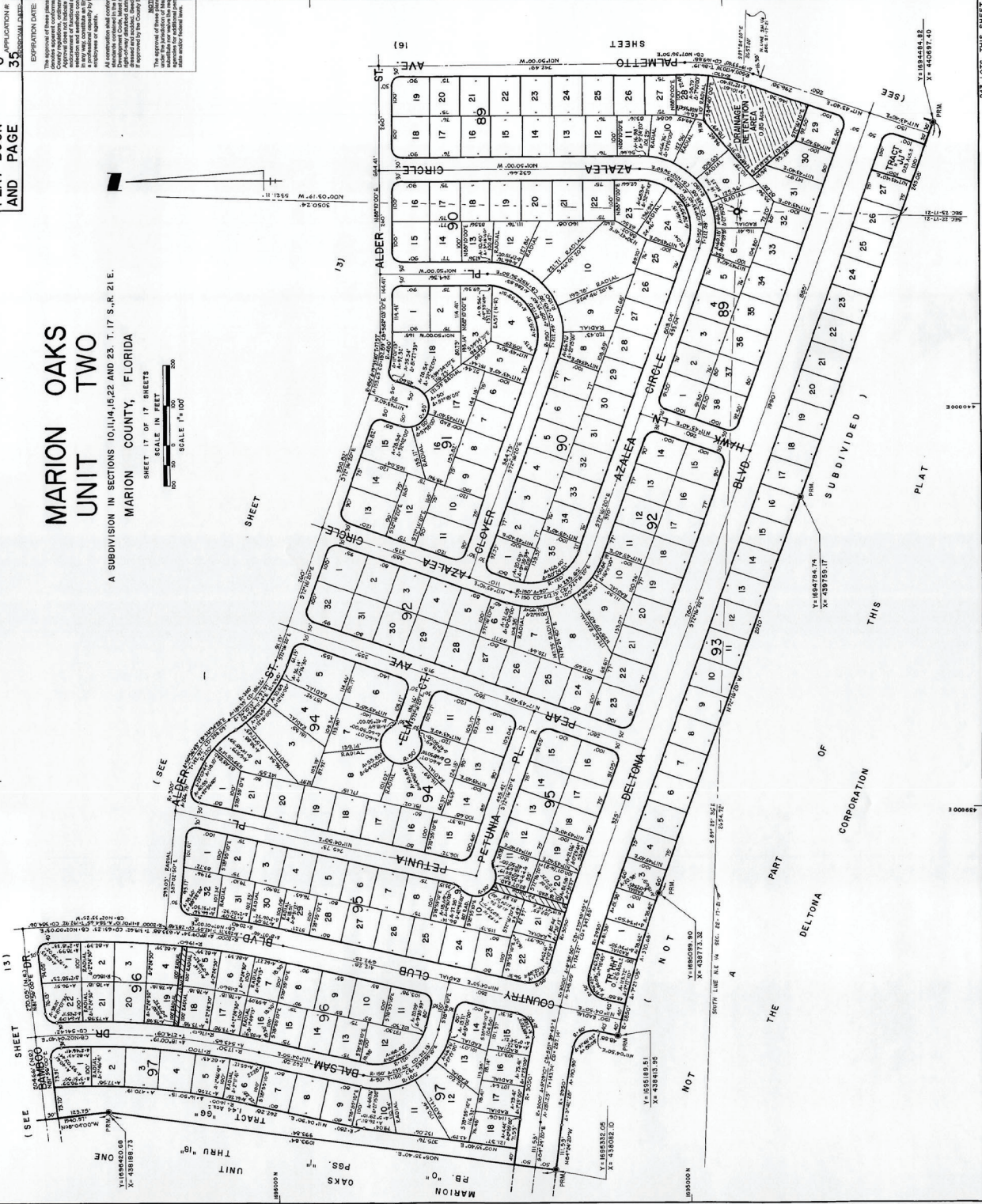
The approval of these plans by Marion County  
 is subject to the following conditions:  
 1. The applicant shall obtain all necessary  
 permits from the appropriate state and  
 federal agencies.  
 2. The applicant shall obtain all necessary  
 approvals from the appropriate state and  
 federal agencies.  
 3. The applicant shall obtain all necessary  
 approvals from the appropriate state and  
 federal agencies.

PLAT BOOK  
 AND PAGE

**MARION OAKS  
 UNIT TWO**  
 MARION COUNTY, FLORIDA

A SUBDIVISION IN SECTIONS 10, 11, 14, 16, 22 AND 23, T. 17 S., R. 21 E.

SHEET 17 OF 17 SHEETS  
 SCALE IN FEET  
 1" = 50'



NOTICE: There may be additional  
 restrictions that are not recorded on this  
 plat that may be found in the public  
 records of Marion County.

245 LOTS THIS SHEET  
**35**  
 17-17

**MOOREHEAD ENGINEERING**  
**MARION COUNTY, FLORIDA**  
 APPLICATION #: 29457  
 APPROVAL DATE: 10/4/24  
 EXPIRATION DATE: 10/4/29

The approval of these plans by Marion County is not a warranty, endorsement, or approval of the quality or value of the work shown hereon, nor does it constitute an approval of the engineering or other services shown hereon. The engineer or other professional person shown hereon is not responsible for the work of any other professional person shown hereon.

**GRAPHIC SCALE**  
 0 10 20 30 40 50  
 1 inch = 50 ft.  
 (1 IN. = 50 FT.)

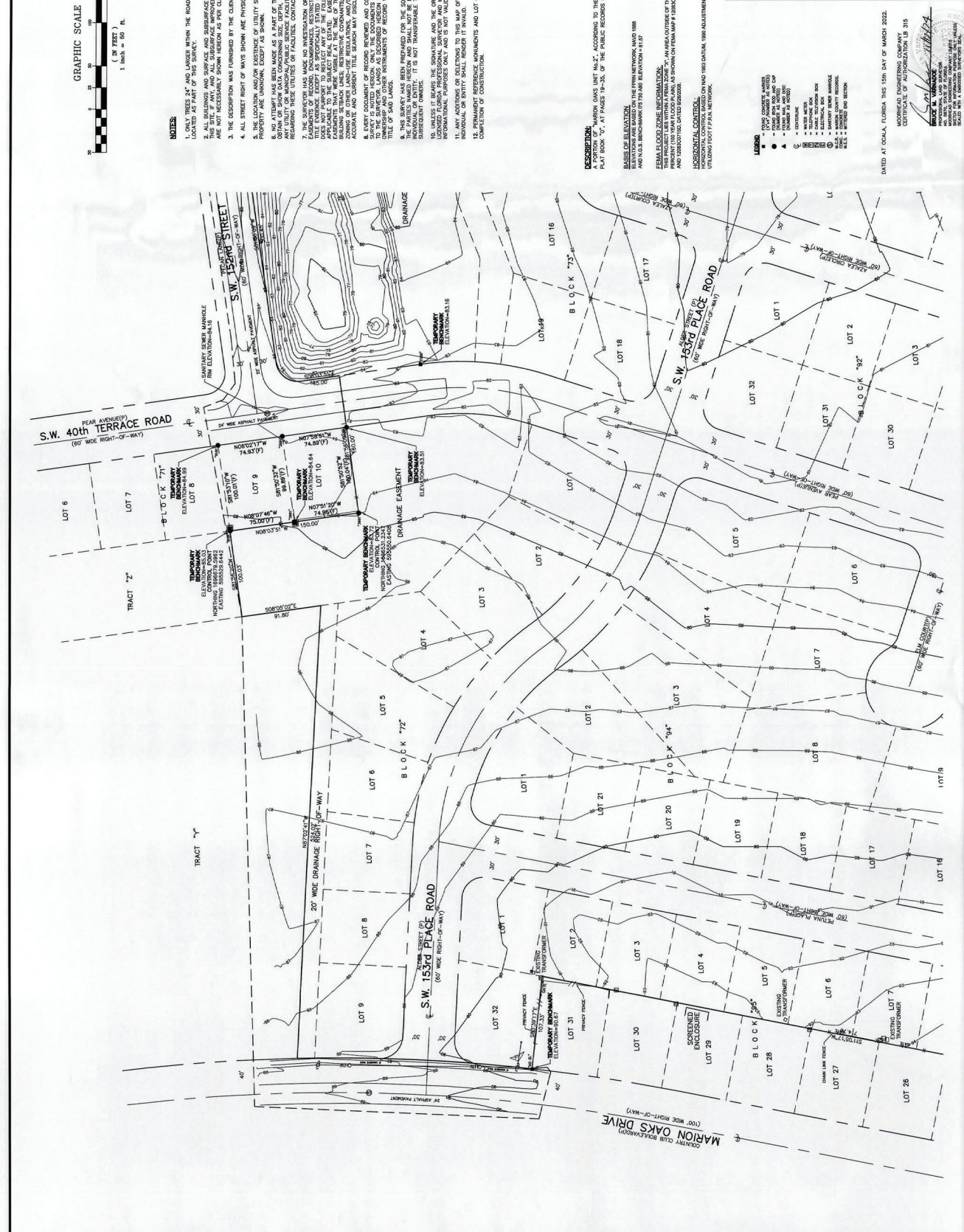
- NOTES**
1. ONLY TREES 24" AND LARGER WITHIN THE ROAD RIGHT-OF-WAY ARE TO BE REMOVED AND LOCATED AS PART OF THIS SURVEY.
  2. ALL BUILDINGS AND SURFACE AND SUBSURFACE IMPROVEMENTS ADJACENT TO THE PROPERTY ARE TO BE SHOWN AND NOT NECESSARILY SHOWN HEREON AS PER CLIENT'S REQUEST.
  3. THE DESCRIPTION WAS FURNISHED BY THE CLIENT.
  4. ALL STREET RIGHT-OF-WAYS SHOWN ARE PHYSICALLY OPEN.
  5. THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY ARE UNKNOWN, EXCEPT AS SHOWN.
  6. THIS SURVEY WAS MADE AS A PART OF THIS BOUNDARY SURVEY TO DETERMINE THE LOCATION OF THE PROPERTY AND TO DETERMINE THE LOCATION OF ANY UTILITY OR MUNICIPAL PUBLIC SERVICE FACILITY FOR INFORMATION OF THE CLIENT.
  7. THE SURVEYOR HAS MADE NO INVESTIGATION OR INSPECTION OF RECORDS, EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS OF RECORD IN CONNECTION WITH THIS SURVEY. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED HEREON IS COMPLETELY ACCURATE AND CORRECT IN ALL RESPECTS. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICE PROVIDED BY THE SURVEYOR AND DOES NOT EXTEND TO ANY OTHER MATTER.
  8. THE SURVEYOR HAS MADE NO INVESTIGATION OR INSPECTION OF RECORDS, EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS OF RECORD IN CONNECTION WITH THIS SURVEY. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED HEREON IS COMPLETELY ACCURATE AND CORRECT IN ALL RESPECTS. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICE PROVIDED BY THE SURVEYOR AND DOES NOT EXTEND TO ANY OTHER MATTER.
  9. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL UNDOUBTED SEAL OF THE LICENSED PROFESSIONAL SURVEYOR AND JUMPER THIS MAP IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL SURVEY.
  10. ANY ADDITIONS OR DELETIONS TO THIS MAP OF SURVEY BY ANY OTHER INDIVIDUAL OR ENTITY SHALL RENDER IT INVALID.
  11. PERMANENT REFERENCE MONUMENTS AND LOT CORNERS WILL BE SET AT THE COMPLETION OF CONSTRUCTION.

**TOPOGRAPHIC SURVEY**  
**RADCLIFFE ENGINEERING**  
**MARION OAKS UNIT 2**  
**MOOREHEAD ENGINEERING COMPANY**  
 CONSULTING ENGINEERS AND SURVEYORS  
 P.O. BOX 300, 302 S.E. 14th AVENUE, Ocala, Florida 34479  
 PHONE: 352-237-1144 FAX: 352-237-1145  
 E-MAIL: radcliffe@moorehead-engineering.com

Job No.: 21-131 | Drawing: 21131a | Sheet: 12 of 30  
 Drawn by: EAM | Approved by: BMW | PLS 2023 PLS 11-143  
 Date Plotted: 08/03/2022 | Title: 03-11-52

**SHEET NO. 12 OF 30 SHEETS**

This sheet has been prepared for the purpose and use of the project and site shown hereon. It is not to be used for any other purpose without the express approval of the engineer or other professional person shown hereon. The engineer or other professional person shown hereon is not responsible for the work of any other professional person shown hereon.



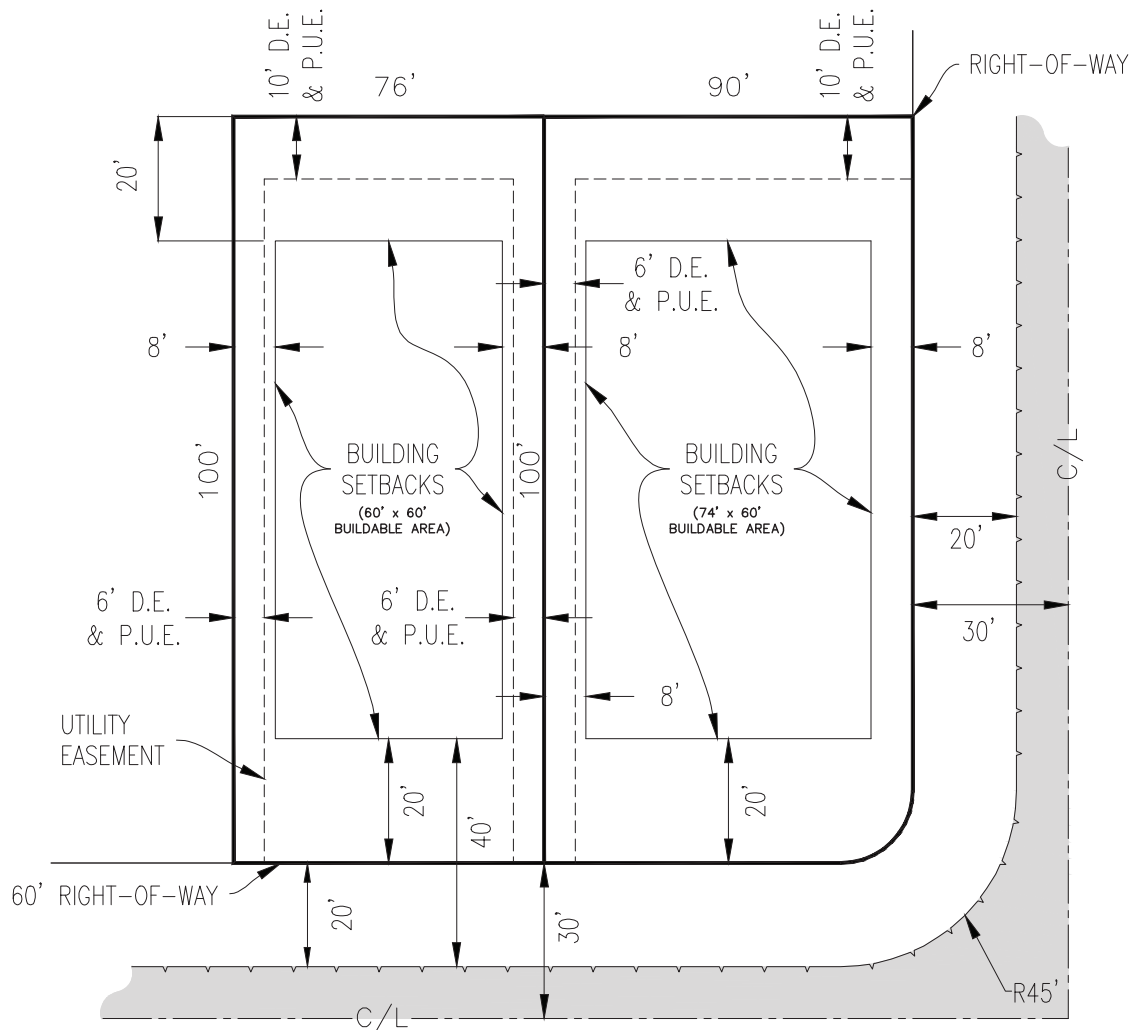












TYPICAL INTERIOR LOT DETAIL  
60' RIGHT-OF-WAY  
NOT TO SCALE

TYPICAL CORNER LOT DETAIL  
60' RIGHT-OF-WAY  
NOT TO SCALE

DETAIL PER PLANS APPROVED 10/4/24

**BUILDING SETBACKS**

APPROVED PLAN (10/4/24)	CURRENT CODE (9/29/25 LDC)
FRONT : 20	FRONT : 20
REAR : 20	REAR : 20
SIDE : 8	SIDE : 8

D.E. = DRAINAGE EASEMENT  
P.U.E. = PUBLIC UTILITY EASEMENT

Project Name: 2025-17 Marion Oaks Unit 2	Drawn: MIK	<b>MICHAEL W. RADCLIFFE ENGINEERING, INC.</b> 2611 S.E. Lake Weir Avenue Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010 Certificate No. EB-0006198 Michael W. Radcliffe P.E. #31170 - Christopher A. Gwin P.E. #66568 <a href="http://www.radcliffeengineering.com">www.radcliffeengineering.com</a>
Sheet Name: Setback Exhibit	Scale: NTS	
	Date: 2025-11-11	