



Marion County

Development Review Committee

Meeting Agenda

Monday, July 21, 2025

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **ADOPT THE FOLLOWING MINUTES:**
 - 3.1. **July 14, 2025**
4. **PUBLIC COMMENT**
5. **CONSENT AGENDA: NONE**
6. **SCHEDULED ITEMS:**
 - 6.1. **Multi-Family - 37 Laurel Pass - Waiver Request to Minor Site Plan in Review**
37 Laurel Pass Ocala
Project #2025030061 #32644 Parcel #9024-0541-01
Linn Engineering & Design

LDC 6.12.12.D - Sidewalks
CODE states at the discretion of the Development Review Committee, in lieu of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction. This amount shall be determined by the project engineer and approved by the County with payment required prior to final plan approval. The County may use these funds toward the construction of sidewalks throughout the County based on priorities established by the Board.
APPLICANT requests a waiver for fee in lieu of construction.
 - 6.2. **Estate of Michael Couture - Rezoning to PUD With Concept Plan**
Project #2019100517 #32746 Parcel # 47667-000-00
Tillman & Associates Engineering

- 6.3. Kim Triani Pool Spa Deck Enclosure - Waiver Request to Major Site Plan**
16049 SE 100th Ln Ocklawaha
Project #2025070024 #33057
Parcel #90411-002-01 Permit #2025060769
Costas Oasis

LDC 2.21.1.A(1) - Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver for two lots combined to one address. Stormwater should not be an issue. Large parcels all sand and absorbed. Possible swale. Two large lots. No surrounding development. Soil is all sand and permeable space is more than ample. Possible swale if necessary. Applicant requests a waiver to the major site plan for swimming pool construction. The site will be over the allowed 9,000 square feet per Marion County LDC - 2,961 square feet of deck area. The pool is permeable at 790 square feet.

- 6.4. White Pool Addition - Waiver Request to a Major Site Plan**
6095 SW 93rd Loop Ocala
Project #2025070015 #33042 Parcel #35700-02-055
White James Robert

LDC 2.21.1.A(1) Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet

APPLICANT request project be allowed over impervious allowance of 3340 square feet

- 6.5. Fortin - Waiver Request to Major Site Plan**
13966 SE 156th Ln Weirsdale
Project #2025070036 #33063 Parcel #49362-009-00
Pierre Fortin

LDC 2.21.1.A - Major Site Plan

CODE states - A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet. (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips. (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area. APPLICANT requests a waiver to the major site plan for new home. The site will be over the allowed 9,000 sq ft per Marion County LDC. The total amount of impervious surface is 12,241 sq ft.

- 6.6. New Pavilion - Waiver Request to Major Site Plan**
10369 SE 118th Ln Belleview
Project #2025070008 #33035
Parcel #39393-000-08 Permit #2025041518
Miguelena Manuel

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver because the total property is 6.3 acres and I'm adding a pool, pavilion and garage. Due to the size of the property and general layout, the new addition will not affect the neighbors or community.

- 6.7. Dieguez Eladio J & Myrian - Family Division Waiver Request**
Project #2016030044 #33043 Parcel #05794-004-00
Christine Quimby
- 6.8. Jonathan & Melissa Lee, Alice Santos - Family Division Waiver Request**
fka: Duryea Frederick
Project #2008040032 #33046 Parcel #40134-000-04
Melissa Lee

- 6.9. **Road Closing-SE 59th Ave - Road Closing / Abrogation
Portion of 3752-002-002 & 3752-008-02
8862 SE 59th Ave Ocala
Project #2025070003 #33023 Parcel #3752-002-002
Iglesia Pentecostal Poder Desd**
- 6.10. **Stanton Weirsdale Drainage Retention Area - Waiver Request to a Major
Site Plan
Project #2025070039 #33066 Parcel #49794-000-00
NV5, Inc.**

LDC 6.13.3(C)(5) Types of stormwater management facilities

CODE states A retention/detention area that is adjacent to a public right-of-way shall be constructed to be aesthetically pleasing with curvilinear form and shall be landscaped with a mixed plant pallet meeting Marion-friendly landscaping standards minimally consisting of four shade trees and 200 square feet of landscaping comprised of shrubs and/or groundcover for every 100 lineal feet of frontage or fractional part thereof, or, in the case of a wet facility, a littoral zone meeting the governing water management district criteria. The proposed landscaping shall be arranged to provide ease of maintenance and screening of stormwater structures. APPLICANT request due to the size of the site and the size of the required drainage retention area, it will be difficult to provide the required landscaping. This DRA is being constructed within an existing neighborhood as a retrofit to reduce existing flooding issues and space utilized for landscaping will reduce the area/volume available for the DRA. Existing utility access will also make establishment and maintenance very difficult.

LDC 6.13.3(C)(1) Types of stormwater management facilities

CODE states retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade maximum around the entire perimeter of the facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County Engineer or his designee. APPLICANT requests that due to the size of the required DRA the maintenance path around the DRA needs to be reduced to 10 feet from 12 feet. This is a residential location.

7. **CONCEPTUAL REVIEW ITEMS: NONE**
8. **DISCUSSION ITEMS:**
9. **OTHER ITEMS:**
10. **ADJOURN:**



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19939

Agenda Date: 7/21/2025

Agenda No.: 3.1.

SUBJECT:
July 14, 2025



Marion County

Development Review Committee

Meeting Minutes

412 SE 25th Ave
Ocala, FL 34471
Phone: 352-671-8686

Monday, July 14, 2025

9:00 AM

Office of the County Engineer

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1. ROLL CALL

MEMBERS PRESENT:

Michael Savage Chairman (Building Safety Director)
Ken McCann, Vice Chairman (Fire Marshal)
Steven Cohoon (County Engineer)
Chuck Varadin (Growth Services Director)
Tony Cunningham (Utilities Director)

OTHERS PRESENT:

Chris Rison (Planning/Zoning)
Ken Odom (Planning/Zoning)
Liz Madeloni (Planning/Zoning)
Erik Kramer (Planning/Zoning)
Susan Heyen (Parks)
Michelle Sanders (911 Management)
Linda Blackburn (Legal)
Alexander Turnipseed (Office of the County Engineer)
Kevin Vickers (Office of the County Engineer)
Chris Zeigler (Office of the County Engineer)
Dane Scott (Office of the County Engineer)
Aaron Pool (Office of the County Engineer)
Debbie Lovell (Office of the County Engineer)
Kelly Hathaway (Office of the County Engineer)
Sandi Sapp (Office of the County Engineer)

2. PLEDGE OF ALLEGIANCE

3. ADOPT THE FOLLOWING MINUTES:

3.1. July 7, 2025

Motion by Chuck Varadin to approve the minutes, seconded by Ken McCann

Motion carried 5-0

4. PUBLIC COMMENT: None

5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL

5.1. Corta - Ocala West - Parcels 24 and 25 - Preliminary Plat

Project #2024020037 #31849

CHW, an NV5 Company

5.2. Corta Commons - Ocala West - Preliminary Plat

Project #2024020064 #31766 Parcel #3501-200-018, 3501-200-019, 3501-200-020, 3501-200-021, 3501-200-022, 3501-200-023, 3501-200-034, 3501-200-035, 3501-200-036, 3501-200-037, 3501-200-038, 3501-200-039, 3501-200-040, 3501-400-003, & 3501-400-004

MJ Stokes Consulting

5.3. McGinley Phase 1 Amenity - Major Site Plan

Project #2024100023 #32093

Tillman & Associates Engineering

Motion by Ken McCann to approve items 5.1. through 5.3. on the consent agenda, seconded by Tony Cunningham

Motion carried 5-0

6. SCHEDULED ITEMS:

6.1. Headsprings, LLC - Waiver Request to a Major Site Plan

5495 NE 25TH ST Ocala

Project #2022070125 #32134 Parcel #24141-000-00

Davis Dinkins Engineering, P.A.

LDC 2.12.8. Current boundary and topographic survey

CODE states Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.

APPLICANT request - The topography is shown to the center line of the adjacent streets on the east and south, and approximately 100 feet off site to the north and west and is sufficient for design and construction. The survey was completed in

2022 with the property transaction and no development has occurred. A replat is in process which will include an updated boundary certification so a waiver of the 12-month requirement is requested.

Motion by Steven Cohoon to approve, seconded by Tony Cunningham

Motion carried 5-0

LDC 6.13.8B(7) Minimum Pipe Size

CODE states Sizes. Stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements.

APPLICANT - A waiver is requested for utilizing privately maintained pipes smaller than 18-inch diameter.

Motion by Steven Cohoon to approve contingent on providing supporting calculations, seconded by Tony Cunningham

Motion carried 5-0

LDC 6.11.3.A (3). Traffic Impact Analysis

CODE states A Traffic Study is required for projects generating 100 or more peak hour trips. For projects where all impacted roadways are below 0.50 v/c a Traffic Assessment is all that is required with the exception of those projects increasing the v/c ratio on an impacted roadway by 20 percent or more.

APPLICANT request - The site is not anticipated to generate more than 100 PM peak hour trips, so a full TIA is not required. The Traffic Assessment was provided in connection with the SUP 240102SU approved by the BoCC in February 2024 and should be sufficient to satisfy this comment.

Motion by Steven Cohoon to not require traffic study contingent upon providing NCHRP (National Cooperative Highway Research Program) right turn lane report for each proposed connection point, seconded by Tony Cunningham

Motion carried 5-0

LDC 6.11.5. - Driveway access

CODE states Driveways provide the physical transition between a site and the abutting roadway. Driveways should be located and designed to minimize impacts on traffic while providing safe entry and exit from the development served. The location and design of the connection must take into account characteristics of the roadway, the site, and the potential users.

APPLICANT request - The driveway placement is consistent with the plan submitted with SUP24010SU approved by the BoCC in February 2024.

Motion by Steven Cohoon to approve as proposed, seconded by Michael Savage

Motion carried 5-0

LDC 6.8.6.A - Buffers

CODE states It is the intent of this section to eliminate or reduce the negative

impacts of the adjacent uses upon each other such that the long term continuance of either use is not threatened by such impacts and the uses may be considered compatible.

Motion by Chuck Varadin to deny the waiver, seconded by Michael Savage

Motion carried 5-0

LDC 6.8.7.A - Parking and vehicular use areas

CODE states A minimum five-foot wide landscape area consisting of shrubs and groundcovers, excluding turfgrass, shall be provided around the perimeter of parking areas to form a landscape screen with a minimum height of three feet achieved within one year of planting. A land use buffer that abuts a parking area may satisfy this requirement.

APPLICANT request - A waiver is needed to use ornamental trees in islands where shown due to conflicts with existing or proposed utilities.

Motion by Chuck Varadin to deny the waiver with staff recommendation of support to the Board of County Commissioners, seconded by Michael Savage

Motion carried 5-0

LDC 6.9.2.A - Irrigation plan

CODE states an irrigation plan shall be provided prior to issuance of a development order or building permit.

APPLICANT request - A waiver is requested to utilize the irrigation performance standards as the basis for the installation contractor as has been historically done.

Motion by Steven Cohoon to approve, seconded by Tony Cunningham

Motion carried 5-0

LDC 2.12.9. - Show adjacent streets serving development

CODE states - Provide location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project.

APPLICANT request - The short extension of the existing access driveway is consistent with adjacent and connected development, and consistent with the plan present in SUP 24010SE approved by the BoCC in February 2024.

Motion by Steven Cohoon to deny the waiver with staff recommendation of approval, if roadway goes through road abrogation process, to the Board of County Commissioners, seconded by Tony Cunningham

Motion carried 5-0

LDC Division 5 - Modified Assessment for Listed Species

CODE states - The Environmental Assessment for Listed Species is a supporting document for various applications, wherein submittal of the EALS accompanies or precedes the submission of the application. Marion County features a variety of habitat types which may include species identified and listed as endangered, threatened, or of special concern by the US Fish and Wildlife Service and Florida Fish and Wildlife Conservation Commission. Additionally, Marion County includes significant natural areas which are relatively undisturbed and include flora or fauna

that reflect the conditions of the area at the time colonial settlement occurred in Florida and Marion County as identified by the Florida Department of Environmental Protection and the Florida Natural Areas Inventory. The identification and preservation of these habitats, species, and areas is critical to balance development and quality of life in Marion County.

APPLICANT request - An ESA was completed at the time of the property transaction in 2022 and did not reveal listed species. That ESA has also been provided. The owner is aware of their responsibility and will perform another one if needed within the 90 days prior to construction.

Motion by Michael Savage to approve as submitted, seconded by Chuck Varadin

Motion carried 5-0

LDC 6.11.8B(1) - Parking requirements

CODE states - Parking spaces for residential and non-residential developments shall be provided consistent with Tables 6.11-4 and 6.11-5.

APPLICANT request - The parking count is based on rooms only, the ancillary space in the hotel is for use by the hotel guests not the general public. The parking count meets both the County and Brand standards.

Motion by Steven Cohoon to approve, seconded by Michael Savage

Motion carried 5-0

LDC 4.4.4B(1) - On-site signs

CODE states - Temporary signs. (1) Except as indicated above, no temporary signs shall be erected without obtaining a permit. Signs failing to comply with the requirements of this section are illegal and subject to immediate removal.

APPLICANT requests a waiver since the signage will be by separate permit and also is being addressed by the ongoing and concurrent re-plat to address shared infrastructure (such as the sign) and future development.

Applicant withdrew

LDC 6.13.7B(2) - Geotechnical criteria

CODE states - Number of tests. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. The County Engineer or his designee, may require additional tests if the initial tests indicate the need for them.

APPLICANT request - The multiple borings across the site are reasonably consistent and similar to the borings previously reported for the Holiday Inn site. As such they were utilized for the small water quality DRA.

Motion by Steven Cohoon to approve, seconded by Ken McCann

Motion carried 5-0

LDC 6.7.8. Protected tree replacement requirements

CODE states - All trees not permitted for removal must be protected and maintained. For those protected trees permitted for removal, trees shall be replaced in

accordance with the minimum standards set forth below. All trees not permitted for removal must be protected and maintained. For those protected trees permitted for removal, trees shall be replaced in accordance with the minimum standards set forth below. A. Replacement is not required where the property owner retains existing trees on the site which total an average of 100 inches DBH per acre. If replacement is necessary, a minimum of 100 inches DBH per acre on average shall be achieved. B. If the pre-development number of inches is less than 100 DBH per acre on average, the property owner shall replace trees to equal the pre-development number of DBH inches. C. Replacement of trees less than 30 inches DBH and permitted for removal shall be as described below: (1) Existing trees measuring 10 inches DBH to 19 inches DBH shall be replaced with a ratio of one-inch replacement per two inches removed and the minimum replacement tree size is 3.5-inch caliper. (2) Existing trees measuring 20 inches DBH to 29 inches DBH shall be replaced with a ratio of 1.5 inches replacement per two inches removed and the minimum replacement tree size is 3.5-inch caliper. D. Replacement of trees 30 inches DBH or greater and permitted for removal shall be as described below: (1) All trees which receive a favorable assessment may be approved for removal by the County's Landscape Architect or his designee under the following circumstances: (a) The tree materially interferes with the proposed location, service or function of the utility lines or services, or rights-of-way, and (b) The tree cannot be preserved through re-design of the infrastructure. (2) All trees which receive a favorable assessment shall be replaced inch-for-inch and the minimum replacement tree size is 4.0-inch caliper. (3) All trees which receive an unfavorable assessment shall be replaced with a ratio of 1.5 inches replacement per two inches removed and the minimum replacement tree size is 3.5-inch caliper. E. Trees removed pursuant to a permit for construction in rights-of-way, approved by the County, State or Federal authority, shall not be required to replace the DBH of trees removed if such authority demonstrates that such trees conflict with proposed utilities, drainage, or roadway construction.

APPLICANT request - The site was reviewed by a certified arborist and the majority of the hardwood oaks are Water Oaks which have a shorter life expectancy than other heritage oaks species such as the Live Oak which can create a safety concern for the property owner after construction disturbances. The proposed landscape plan includes a variety of species including Live Oaks and is planted the highest reasonable density and spacing that will allow the trees to thrive with the layout that was previously approved with the special use permit.

Motion by Chuck Varadin to deny, seconded by Steven Cohoon

Motion carried 5-0

LDC 6.7.10.B - Tree mitigation fund (if needed)

CODE states - An application to pay in lieu of installing any required replacement trees is made through the County's Landscape Architect. The "pay in lieu" option shall only be used for replacement trees and for no other landscape or tree planting requirement as stated in this Code.

APPLICANT request - If the waiver for Section 6.7.8. is waived, this will not apply. If the section is not waived, then a waiver of the fee is requested as an additional payment over the heavily proposed landscape is excessive when the existing trees being removed are not heritage-type species.

Motion by Chuck Varadin to deny, seconded by Steven Cohoon

Motion carried 5-0

- 6.2. Farm Credit Building Addition - Waiver Request to a Previously Approved Major Site Plan**
Project #2023080063 #31389
Davis Dinkins Engineering

Fee in lieu of will be based on DRC's decision.

LDC 6.12.12. A, B, C

CODE states A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards. B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met. C. The sidewalk system shall provide connectivity between existing and proposed developments.

APPLICANT Requesting a fee in lieu of for a small portion on the west and eastern property lines to allow for future design flexibility and extension at the time additional sidewalks are installed.

Motion by Steven Cohoon to approve as proposed, seconded by Chuck Varadin

Motion carried 5-0

- 6.3. Emerald Village - Final Plat**
96 Cypress Rd Ocala
Project #2024080015 #32614 Parcel #9029-0723-00
JCH Consulting Group, Inc.

This item was tabled by DRC on 6/30/25.

Motion to untable by Tony Cunningham, seconded by Ken McCann

Motion carried 5-0

LDC 2.18.1. - Applicability

CODE states Improvement Plans shall be submitted for construction, including but not limited to public or private roads, road modifications, traffic signal installations/modifications, offsite road improvements, and other offsite linear type construction such as utility and stormwater installations. All public or private road improvements shall comply with this Code. Offsite improvements and traffic signal installations/modifications shall be submitted as a separate application.

APPLICANT requests a waiver for an Improvement Plan for Emerald Village AR 32614.

Motion by Steven Cohoon to approve, contingent on an early out trip generation of statement of what the highest and best traffic generation that could occur on this site is, developer's agreement being executed prior to the final plat detailing TIA requirements for first lot and cross access agreement that has to go before the Board of County Commissioners, seconded by Michael Savage

Motion carried 5-0

- 6.4. Green Turf Acres Replat 3564-037-001 & 3564-037-002 - Waiver Request to Final Plat
Project #2025050070 #32897 Parcel #3564-037-002
JCH Consulting Group, Inc.**

This item was denied by DRC on 6/30/25. The applicant is requesting to be reheard.

Motion to rehear by Steven Cohoon, seconded by Ken McCann

Motion carried 5-0

LDC Sec. 2.17.1. - Applicability

CODE states Preliminary Plats shall be submitted for each development where platting is required in this Code or by Florida Statute.

APPLICANT requests for a waiver for a preliminary plat for Green Turf Acres Replat.

Motion by Chuck Varadin to approve with conditions showing the front, side and rear setbacks for both parcels, providing a simple traffic statement and cross access easement for both parcels, and boundary survey for with title opinion, seconded by Steven Cohoon

Motion carried 5-0

- 6.5. Dunnellon Plaza - Waiver Request to a Major Site Plan in Review
Project #2023120015 #30925 Parcel #32909-011-01
Harris Civil Engineers, LLC**

LDC 6.13.8B(7) - Minimum Pipe Size

CODE states Stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements. APPLICANT request - Harris Civil Engineers, LLC (HCE) is submitting this letter request for the pipe size use of fifteen (15) Inches for gravity flow storm drainage on the above-mentioned project. Pursuant to Marion County Land development code section 6.13.8.b.(7), the project seeks to be permitted to construct the Stormwater conveyance system with a minimum pipe size of fifteen (15) inches, in lieu of the stated Eighteen (18) inches. Further, the design plans show eight (8) inch pipes for the roof drainage connections only. Per code, Roof drains prior to connection with the overall stormwater system as exempt from minimum diameter Requirements. There are two (2) locations on plan for yard drains, which have a twelve (12) inch Connection. It is our understanding that this size is acceptable for yard drain applications only. All infrastructure in the development will be privately owned and

maintained. HCE created a hydraulic Capacity computer model for the stormwater collection system to confirm that the pipes have been sized sufficiently. With the fifteen (15) inch pipes included in the model, the hydraulic grade line does Not exceed the rim elevation set for the inlet structures during a 25-year/24-hour rainfall event. Please refer to the stormwater collection design report and calculation report for the analysis.

Motion by Steven Cohoon to approve contingent on providing supporting documents, seconded by Ken McCann

Motion carried 4-0

LDC 6.12.22 Sidewalks

CODE states at the discretion of the development review committee, in lieu of construction along external streets, the developer may pay a sidewalk fee to the county in an amount necessary to complete construction. This amount shall be determined by the project engineer and approved by the county with payment required prior to final plan approval. The county may use these funds toward the construction of sidewalks throughout the county based on priorities established by the board.

APPLICANT - owner requests to pay \$49,625.00 construction waiver fee in lieu of constructing a sidewalk along US Hwy 41.

Motion by Steven Cohoon to approve as proposed paying of fee in lieu of, seconded by Mike Savage

Motion carried 5-0

**6.6. Azaleas Skilled Nursing Facility - Waiver to a Major Site Plan in Review
Project #2025010041 #32388 Parcel #35695-019-03
Clymer Farner Barley, Inc.**

LDC 6.13.7.B Geotechnical Criteria

CODE states Minimum requirements. (1) Depth. Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. (2) Number of tests. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. The County Engineer or his designee, may require additional tests if the initial tests indicate the need for them. (3) Infiltration/permeability tests. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. (4) Aquifer parameters. The estimated seasonal high ground water elevation and confining layer shall be clearly identified.

APPLICANT requests a waiver for the minimum number of borings and infiltration/permeability tests for two (2) of our stormwater ponds: B-03 and B-04. These retention areas are so small that there is not enough area to conduct two

separate soil borings and/or infiltration/permeability tests with independent results, resulting in unnecessary drilling and cost.

Motion by Steven Cohoon to approve, seconded by Tony Cunningham

Motion carried 4-0

LDC 6.13.8.B(7) Minimum Pipe Size

CODE states Sizes: Stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements. APPLICANT requests approval for the use of 12 inch and 15-inch yard drains within our stormwater management system. All stormwater conveyance pipes are at least 18" in diameter. Hydraulic calculations are provided to ensure that sizing is sufficient.

Motion by Steven Cohoon to approve, seconded by Michael Savage

Motion carried 5-0

**6.7. Ocala Preserve Satellite Amenity - Waiver to Major Site Plan in Review
Project #2024040096 #31464 Parcel #1367-0802013
Atwell, LLC**

LDC 6.9.2. Submittal requirements

CODE states A. An irrigation plan shall be provided prior to issuance of a development order or building permit. B. All irrigation systems, including temporary, shall comply with the design standards included herein and shall be monitored for leaks and the adequate delivery of water. C. An irrigation plan which includes the following items shall be submitted:(1)Signature and seal of the authorized design professional is required, excluding those plans prepared by the owner of an owner occupied single-family residence or owner occupied duplex;(2)Limits of areas to be irrigated;(3)Table or chart which includes all components used within the system:(a)Symbol legend(b)Type of component, including brand and model(c)Application rate of each emitter type(d)Precipitation rate of each emitter type(4)System performance table:(a)Design pressure(b)Operating pressures(c)GPM of each zone(5)Location of rain sensor and/or soil moisture sensor;(6)Location of controller;(7)Location of point-of-connection or well;(8)Location of backflow prevention device;(9)Location of all valves, mainlines, lateral lines, and emitters;(10)Construction details as applicable to the design;(11)Notes including installation instructions and County's contractor licensing requirements when a contractor is used;(12)Notes regarding the close out and completion requirements; and(13)Notes regarding maintenance, post-construction adjustments, and watering restriction.

APPLICANT request - Consistent with other approval for irrigation on this project, we are asking for a waiver to provide a full irrigation plan at this stage of approvals. We have been doing irrigation design as design build, creating a fully automated system consistent with the criteria in Division 9, Section 6.9. The final plan will be submitted for approval prior to issuing a Certificate of Occupancy.

Motion by Michael Savage to deny the waiver, seconded by Chuck Varadin

Motion carried 5-0

- 6.8. World Equestrian Estates Ph 1-Plat Vacation - Plat Vacation
450 NW 92nd Avenue Rd Ocala
Project #2025060075 #33013 Parcel #21081-048-00
Golden Ocala Equestrian, LLC**

Motion by Chuck Varadin to approve condition on providing language of the road maintenance, seconded by Tony Cunningham

Motion carried 5-0

- 6.9. Bay Laurel PUD Master Plan Amendment - Master Plan
Project #2024120048 #32318 Parcel #35300-000-17
Kimley-Horn & Associates**

Motion by Chuck Varadin to approve; seconded by Ken McCann

Motion carried 5-0

- 6.10. Hebron Evangelical Church - Waiver Request to a Major Site Plan
2675 SW 177 PI Rd Ocala
Project #2025070007 #33034 Parcel #8007-0000-21
Hebron Church**

LDC 2.21.1.A - Major Site Plan

CODE states A.A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds:(1) collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet. (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips. (3)A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT requests moving a mobile unit (modular classroom) onto the property to be used for VBS, after-school tutoring. This was a gift from another church.

Motion by Steven Cohoon to approve the waiver subject to 1. The applicant providing controls for the excess run-off generated by the 100-year 24-hour storm, 2. A permit hold will be in effect until a sketch of the controls is provided and approved by stormwater department, 3. (a) a final hold will be in effect until staff conducts a final inspection verifying construction has occurred and disturbed areas have vegetative cover established at time of final inspection and (b) the applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls, as well as Stormwater staff being involved in Minor Site Plan process, seconded by Chuck Varadin

Motion carried 5-0

- 6.11. Edgar Perez & Yunia Valdes - Waiver Request for Family Division
Project #2025060054 #32988 Parcel # 35699-012-04
Newco Homes Of Ocala**

LDC 2.16.1.B(10) - Family Division

CODE state a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands. outside of the Farmland Preservation Area each of the new tract and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be a shared access that is at least forty (40) feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT is asking for a family division to deed 1.34 acres to his son, Edgar Raul Perez. They will be sharing the already existing legal access of 20' (see attached recorded 21' wide, 414' in length documented and recorded easement) they will then continue back with the 40' easement to the new cut out.

Motion by Steven Cohoon to approve however applicant must provide survey and title work, seconded by Ken McCann

Motion carried 5-0

**6.12. Freedom Commons - Revision to AR# 27553 - Master Plan
Project #2021060029 #32506 Parcel #35623-000-00
Tillman & Associates Engineering, LLC**

Motion by Michael Savage, seconded by Chuck Varadin

Motion carried 5-0

7. CONCEPTUAL REVIEW ITEMS: None

8. DISCUSSION ITEMS:

DRC Agenda link

Sidewalks – Discussion by the County Engineer concerning sidewalks to nowhere and the County’s responsibility to maintain them in perpetuity.

9. OTHER ITEMS: None

Motion by Michael Savage to adjourn, seconded by Steven Cohoon

Motion Carried 5-0

10. ADJOURN: 11:30 AM

Michael Savage, Chairman

Attest:

Kelly Hathaway
Development Review Coordinator



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19940

Agenda Date: 7/21/2025

Agenda No.: 6.1.

SUBJECT:

Multi-Family - 37 Laurel Pass - Waiver Request to Minor Site Plan in Review

37 Laurel Pass Ocala

Project #2025030061 #32644 Parcel #9024-0541-01

Linn Engineering & Design

LDC 6.12.12.D - Sidewalks

CODE states at the discretion of the Development Review Committee, in lieu of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction. This amount shall be determined by the project engineer and approved by the County with payment required prior to final plan approval. The County may use these funds toward the construction of sidewalks throughout the County based on priorities established by the Board. APPLICANT requests a waiver for fee in lieu of construction.

July 14, 2025

PROJECT NAME: MULTI-FAMILY - 37 LAUREL PASS

PROJECT NUMBER: 2025030061

APPLICATION: MINOR SITE PLAN #32644

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit? Verify if in primary springs protection zone. Will it need an enhanced septic system?
STATUS OF REVIEW: INFO
REMARKS: Within City of Belleview service area.
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)
STATUS OF REVIEW: INFO
REMARKS: Initial Review: Provide an environmental assessment consistent with LDC Div. 6.5; or provide a brief exemption request letter consistent with LDC Sec. 6.5.3
6/23/25: Submitted and transmitted to FWC
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Initial review: Will there be an on-site sign?
6/23/25: No sign proposed by applicant. Otherwise, separate sign permit will be required
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 3/25/25-add waivers if requested in future
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 6 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 2.12.25 - Marion Friendly Landscape Areas
STATUS OF REVIEW: INFO
REMARKS: MFLA not required on this site
- 7 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.4 - Shade tree requirements
STATUS OF REVIEW: INFO
REMARKS: No shade tree requirement on this site
- 8 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: INFO
REMARKS: due to OHE, understory trees used in terminus island

- 9 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.11 - Landscape installation
STATUS OF REVIEW: INFO
REMARKS: All Landscape to be installed by landscape contractors licensed by Marion County Building Dept, or the State of Florida
- 10 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: What is sight line triangle shown through part of terminus island?
- 11 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?
STATUS OF REVIEW: INFO
REMARKS: Not in flood zone.
- 12 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Minor Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the

right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

13 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.20.2.B - \$150.00 Minor Site Plan fee payable to Marion County BCC effective July 8, 2019

STATUS OF REVIEW: NO

REMARKS: Initial Review: Provide \$150.00 for Growth Services' zoning review of minor site plan. This item will remain as [NO] until paid.

6/23/25: Not paid at this time

14 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements, (buffering) 6.8.6

STATUS OF REVIEW: NO

REMARKS: Initial review: Show required buffer areas labeled by type and dimensions. ROW buffers are not required for Juniper or Laurel Pass because they are classified as local roads. Buffers are not required between Multiple Family uses. Type A Buffer is required adjacent to the existing/vacant commercial properties. Refer to LDC Sec. 6.8.6 for Type A standards and other land use buffer information. Applicant may request a waiver to provide modified buffers or ask for exemption.

6/23/25: Buffers included. Will there be any garbage collection areas? Outdoor AC equipment indicated. In either case, buffering/screening shall be provided per LDC Sec. 6.8.9. Please indicate.

15 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 6/27/25 - Sidewalk fee in-lieu-of construction requires a DRC waiver. Contact OCE Customer Service (352) 671-8686 to schedule DRC review.

4/7/25 Sidewalks are required along Laurel Pass and Juniper Rd. Staff supports a waiver for sidewalks along Laurel Pass and a waiver for fee-in-lieu of construction along Juniper Rd. If approved, waiver for fee-in-lieu of construction comes out to \$5,000.00.

16 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: NO

REMARKS: New Sheet TDC_LE_37LP_IR-01 is missing the North Arrow and Scale.

17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1. Type C buffers are required along roadways (Juniper Rd and Laurel Pass), please show on plan 2. If shade trees will conflict with OHE, evergreen understory trees may be used on a 1:1 basis. 3. Pine trees in buffers and near structures are not recommended, due to issues as they mature. Please consider alternative canopy trees.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32644

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/10/2025 Parcel Number(s): 9024-0541-01 Permit Number: 32644

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Quadplex- 37 Laurel Pass Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block 541 Lot 1 Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Jorge Collado
Signature: *Jorge Collado*
Mailing Address: 5028 Saint Denis Ct City: Belle Isle
State: FL Zip Code: 32812 Phone # 407-575-8583
Email address: colladoworldwide@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Linn Engineering and Design Contact Name: Chad Linn
Mailing Address: P.O. Box 140024 City: Orlando
State: FL Zip Code: 32814 Phone # 407-775-5194
Email address: clinn@linnengineering.com

D. WAIVER INFORMATION:

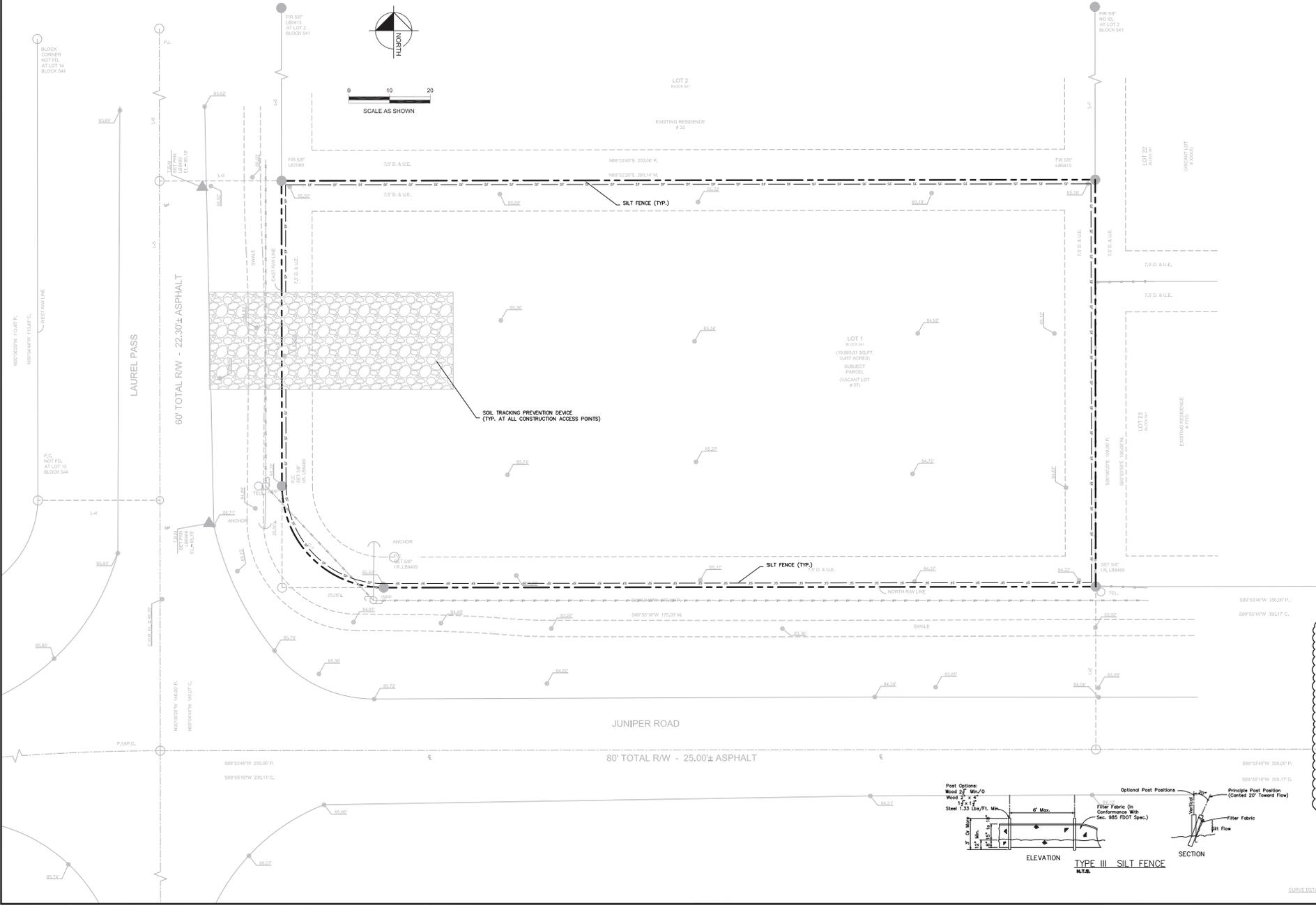
Section & Title of Code (be specific): _____ Section. 6.12.12- Sidewalks
Reason/Justification for Request (be specific): _____ Fee in lieu of construction

DEVELOPMENT REVIEW USE:

Received By: Email 7/11/25 Date Processed: 7/14/25 BM Project # 2025030061 AR # 32644

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

40586



MINOR SITE PLAN-QUADPLEX 37 LAUREL PASS OCALA, FL 34480 MARION COUNTY FLORIDA	EXISTING CONDITIONS AND DEMOLITION PLAN	DESIGN ENGINEER: CHAD S. LINN, P.E. FLORIDA REGISTRATION NUMBER: 57524	SCALE(S) NOTED: DESIGNED BY: SAT DRAWN BY: SAT CHECKED BY: CSL	SEAL	DATE: 03/25
	PROJECT NO. 36300-25-200	SHEET NUMBER C03	LINN ENGINEERING P.O. BOX 200 OCALA, FL 32914 PHONE: 352-771-0404 FAX: 352-771-0404 CAL. LIC. NO. 31710	REVISIONS	DATE

CURVEDRAW

Drawing name: Z:\Projects\36300-25-200_37 Laurel Pass-4-Adon Investments\36300_37 Laurel Pass-4-Plan\Site Plan - Site Planning - C04-Site Plan - Mar 16, 2025 12:43pm by: Chad

SITE DATA

PARCEL ID# 9024-0541-01
 PROJECT AREA: 0.457 ACRES 19,885 SF
 EXISTING ZONING: R-3
 PROPOSED USE: QUAD PLEX-APARTMENTS
 BUILDING: 2,400 SF
 MAX BUILDING HEIGHT: 40'-0"
 PROVIDED BUILDING HEIGHT: 26'-0"
 NUMBER OF STORIES: 2
 DENSITY: MAX. 16 UNITS/AC.
 MIN. 4 UNITS/AC.

DENSITY ALLOWED: MAX. 7 UNITS/AC.
 MIN. 2 UNITS/AC.

PROPOSED UNITS:
 3 BEDROOMS: 4 UNITS
 TOTAL PROPOSED UNITS: 4 UNITS

PARKING REQUIRED:
 3 BEDROOM: 2 SPACES/D.U. = 2 X 4 = 8 SPACES
 TOTAL REQUIRED PARKING: 8 SPACES

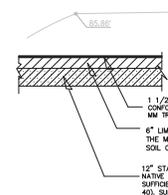
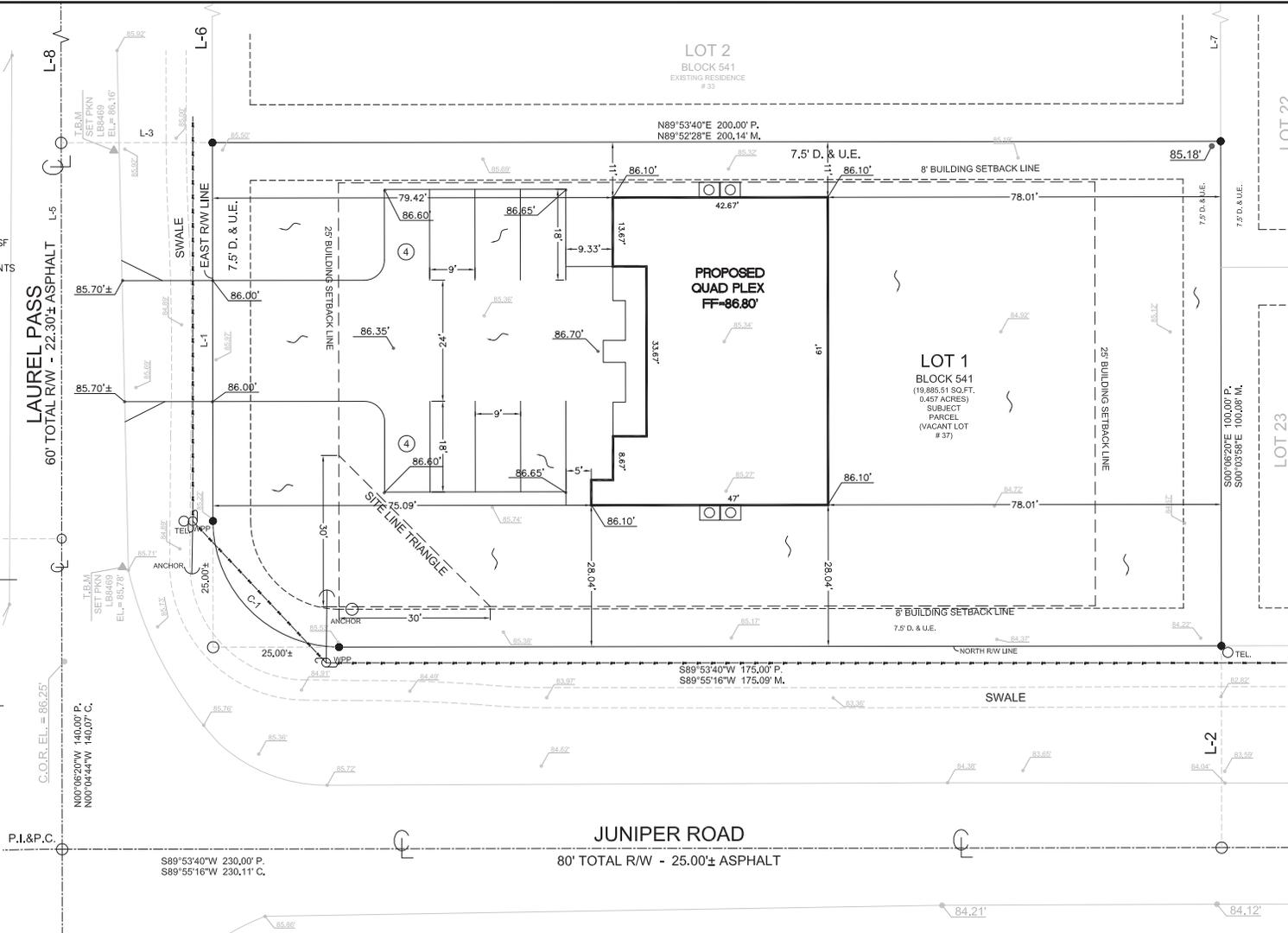
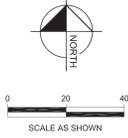
PARKING PROVIDED
 REGULAR SPACES (9'x18') 8 SPACES
 TOTAL SPACES 8 SPACES

MAXIMUM IMPERVIOUS AREA:
 MINOR SITE PLAN 35% IMPERVIOUS MAX. = 6967 SF

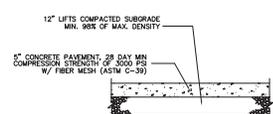
PROPOSED IMPERVIOUS AREA:
 IMPERVIOUS AREA (PARKING, SIDEWALK, ETC.): 3,681 SF
 BUILDING: 2,400 SF
 TOTAL IMPERVIOUS AREA 6,081 SF

BUILDING SETBACKS:
 FRONT 25 FEET
 REAR 25 FEET
 SIDE 8 FEET
 SIDE 8 FEET

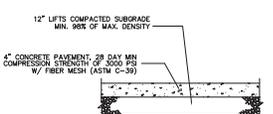
LANDSCAPE BUFFER:
 FRONT 15 FEET
 REAR 0 FEET
 SIDE 0 FEET
 SIDE 0 FEET



TYPICAL PAVEMENT SECTION
 N.T.S.



CONCRETE DRIVE ISLE DETAIL ON SITE

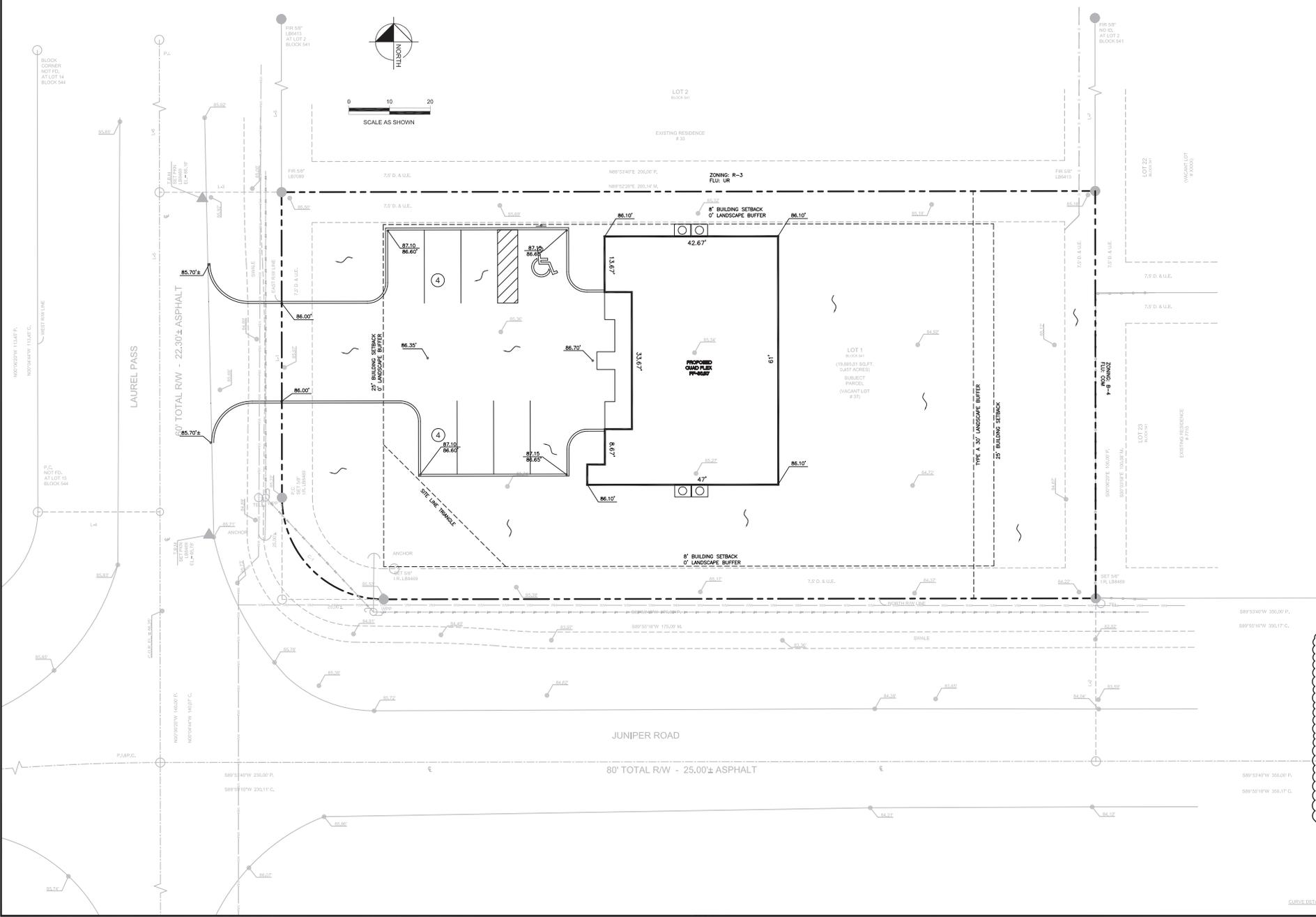


CONCRETE SIDEWALK DETAIL ON SITE

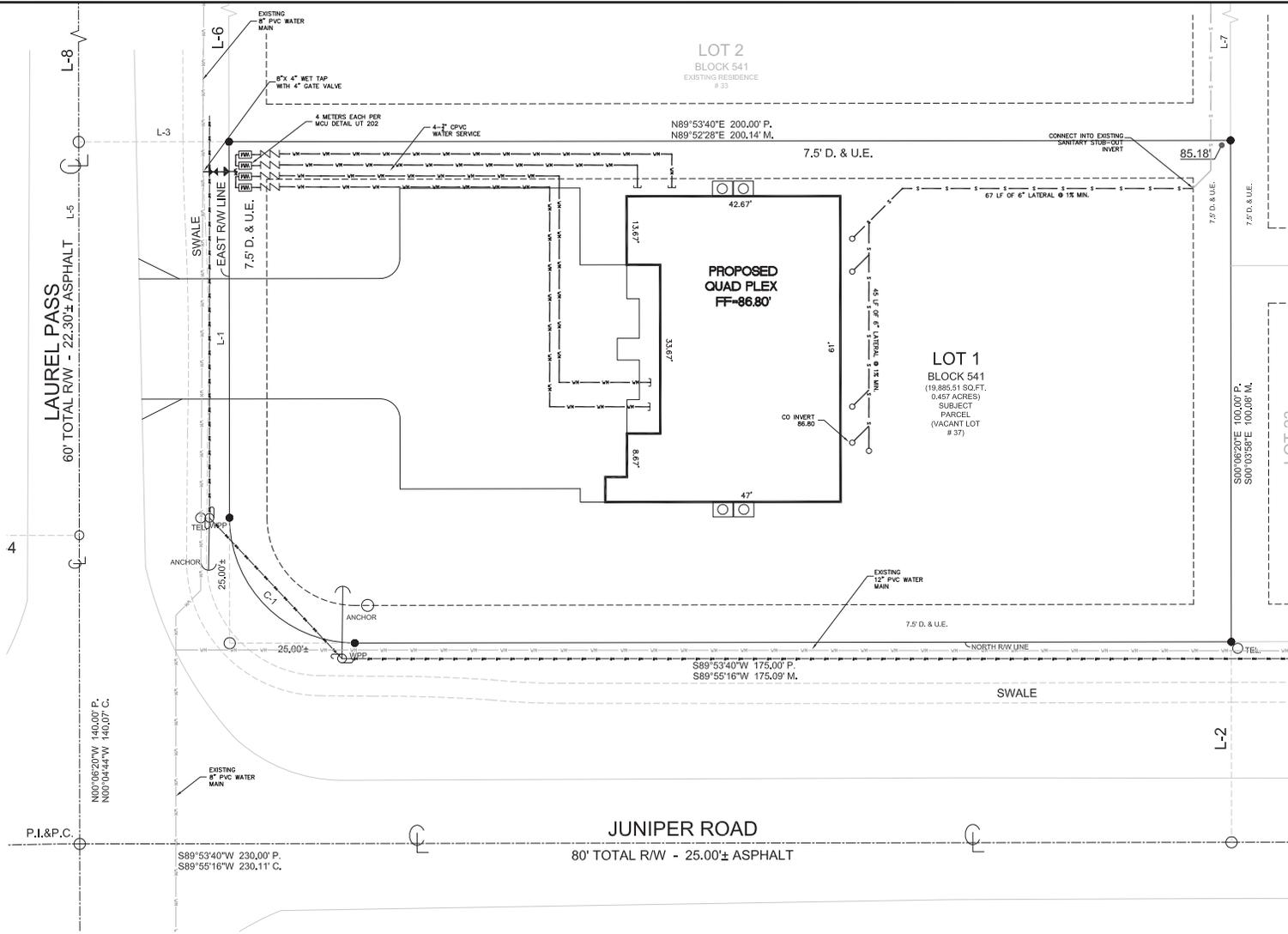
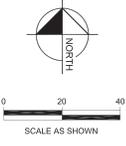
DESIGN ENGINEER: CHAD S. LINN, P.E. FLORIDA REGISTRATION NUMBER: 57524 CHECKED BY: CSL		DESIGNER: CHAD S. LINN, P.E. FLORIDA REGISTRATION NUMBER: 57524 CHECKED BY: CSL		LINN ENGINEERING, INC. P.O. BOX 1000 ORLANDO, FL 32814 PHONE: 407-771-0400 FAX: 407-771-0400 CAL. LIC. NO. 31710
		DATE: 03/25	PROJECT NO: 36300-25-200	
SCALE(S) NOTED: DECORATED BY: SAT DRAWN BY: SAT CHECKED BY: CSL				REVISIONS NO. DATE BY

Drawing name: Z:\Projects\35300-Adon Investments\35-200_37 Laurel Pass-4 Plan\CHA\C05 PGD.dwg Layout11 Jan 16, 2025 1:32pm by: Shreika Thomas

40586

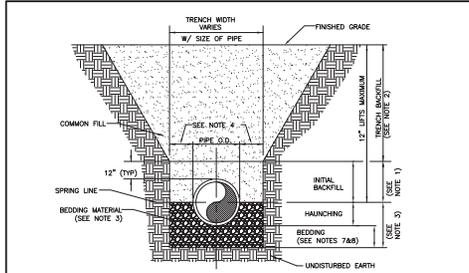


MINOR SITE PLAN-QUADPLEX 37 LAUREL PASS OCALA, FL 34480	DATE 03/25
	PROJECT NO. 36300-25-200
SHEET NUMBER C05	CURVE DATA
FLORIDA MARION COUNTY	
PAVING, GRADING AND DRAINAGE PLAN	
SCALE(S) NOTED DESIGNED BY SAT DRAWN BY SAT CHECKED BY CSL	DESIGN ENGINEER CHAD S. LINN, P.E. FLORIDA REGISTRATION NUMBER 57524
SEAL	
L I N N ENGINEERING, INC. P.O. BOX 200 ORLANDO, FL 32814 PHONE: 407-274-0194 FAX: 407-274-0198 CAL. LIC. NO. 31710	
REVISIONS	
DATE 02/2025 SAT	COMMENTS

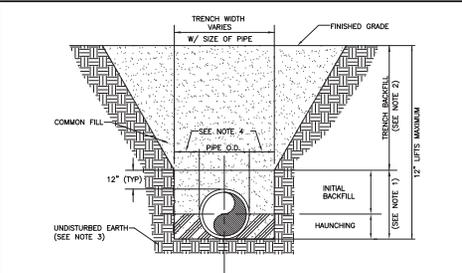


- NOTE:
- THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE AN ACCESS BOXES) TO BE INSTALLED IN AN ACCESSIBLE LOCATION WHERE ACCESS TO OR WITHIN A STRUCTURE OR AREA IS DIFFICULT BECAUSE OF SECURITY (OR ACCESS TO FIRE PROTECTION SYSTEMS OR APPLIANCES IS REQUIRED). THE ACCESS BOXES SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037 (NFPA 1 - FIRE CODE, 2019 EDITION, SECTION 14.2.2.1). THE CITY OF DELTONA REQUIRES A KEY ACCESS BOX TO BE INSTALLED AND UTILIZES THE KNOX BOX SYSTEM. THE KNOX BOX CAN BE ORDERED THROUGH THE WEB SITE KNOXBOX.COM UNDER DELTONA FIRE DEPARTMENT. ALL COSTS ASSOCIATED WITH THE KEY BOXES ARE THE RESPONSIBILITY OF THE PURCHASING PROPERTY OWNER OR CONTRACTOR. THE ACCESS BOX SHALL BE INSTALLED AND LOCATED:
 - AT OR NEAR THE RECOGNIZED MAIN PUBLIC ENTRANCE ON THE EXTERIOR OF THE STRUCTURE WITH LOCATIONS TO BE APPROVED BY THE FIRE SAFETY DIVISION.
 - THE ACCESS BOX SHALL BE LOCATED AT A HEIGHT OF NOT LESS THAN SIX (6) FEET AND NOT MORE THAN EIGHT (8) FEET ABOVE FINAL GRADE.
 - THE ACCESS BOX SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND LISTING.
 - NO STEPS, DISPLAYS, SINKS OR OTHER FEATURES, OR STRUCTURAL PROTRUSIONS SHALL BE LOCATED UNDER THE ACCESS BOX, WHICH WOULD ALLOW INTRUDERS TO ACCESS THE BOX WITHOUT ASSISTANCE.
 - A KNOX BOX SHALL BE LOCATED AT THE ENTRANCE TO THE BUILDINGS AND/OR ANY OTHER LOCATIONS WHERE ACCESS TO FIRE PROTECTION SYSTEMS OR APPLIANCES ARE REQUIRED. PROVIDED THE KNOX BOX LOCATION ON THE SITE PLAN.
 - IF A NEW HYDRANT IS INSTALLED SHALL BE INSTALLED, TESTED, AND PAINTED PER NFPA 291, BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. PLEASE NOTE FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY LANE CLOSEST TO THE HYDRANT.
 - MCU PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCU INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCU'S CONSTRUCTION OFFICER AT 352-307-6163.

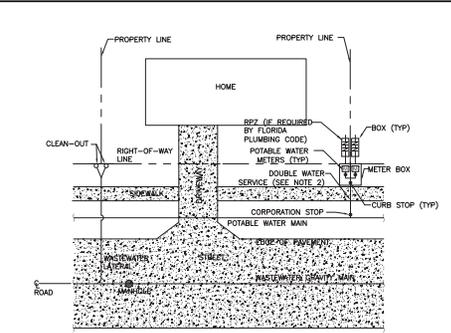
DATE 03/25	
PROJECT NO. 36300-25-200	
SHEET NUMBER C05	
QUAD PLEX 37 LAUREL PASS OCALA, FL 34480	
FLORIDA	
UTILITY PLAN	
DESIGN ENGINEER CHAD S. LINN, P.E. FLORIDA REGISTRATION NUMBER 57524	SEAL
LINN ENGINEERING, INC. P.O. BOX 2000 ORLANDO, FL 32814 PHONE: 407-271-6164 FAX: 407-271-6165 CAL. LIC. NO. 31710	
REVISIONS	DATE



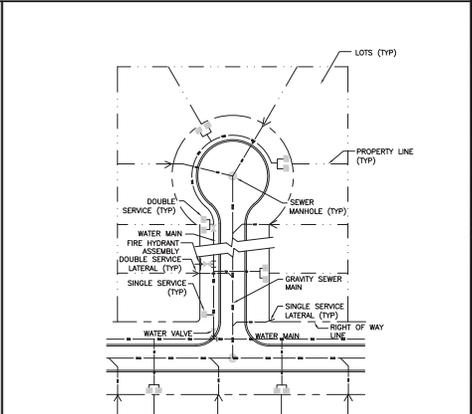
- NOTES:**
- INITIAL BACKFILL COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER ASTM D-1557.
 - TRENCH BACKFILL COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER ASTM D-1557.
 - BEDDING MATERIAL SHALL CONFORM TO FOOT NO. 57 SPECIFICATIONS.
 - 2" MAX (12" MIN) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 12" AND LARGER.
 - DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.
 - ONE COMPACTION TEST SHALL BE REQUIRED FOR EACH LIFT NOT TO EXCEED 200'.



- NOTES:**
- INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER ASTM D-1557.
 - TRENCH BACKFILL COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER ASTM D-1557.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH BEDDING AND TRENCHING. 1" DETAIL MAY BE REQUIRED AS DIRECTED BY M.C.U.
 - 12" MAX (12" MIN) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.
 - ONE COMPACTION TEST SHALL BE REQUIRED FOR EACH LIFT NOT TO EXCEED 200'.



- NOTES:**
- EACH POTABLE WATER SERVICE SHALL SERVE TWO LOTS.
 - EACH SERVICE SHALL BE EQUIPPED WITH A DUAL CHECK BACKFLOW PREVENTER.
 - EACH RESIDENTIAL UNIT SHALL BE INDIVIDUALLY METERED.
 - SITING - CONTRACTOR SHALL INSTALL WATER, WASTEWATER AND RECLAIMED WATER SERVICES.
 - METER AND DUAL CHECK BACKFLOW SERVICE SHALL BE INSTALLED BY M.C.U. METER BOX SHALL BE INSTALLED BY A LICENSED CONTRACTOR.
 - AN APPROPRIATE BACKFLOW PREVENTION ASSEMBLY, PER THE COUNTY CROSS-CONNECTION ORNANCE, SHALL BE REQUIRED WHERE OTHER SURROUNDING WATER SOURCES, INCLUDING SWIMMING POOLS, ARE PRESENT.
 - SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY ETCHING OR STAMPING A "W", "S", OR "RW" IN THE CURB DIRECTLY OVER THE SERVICE LATERAL.



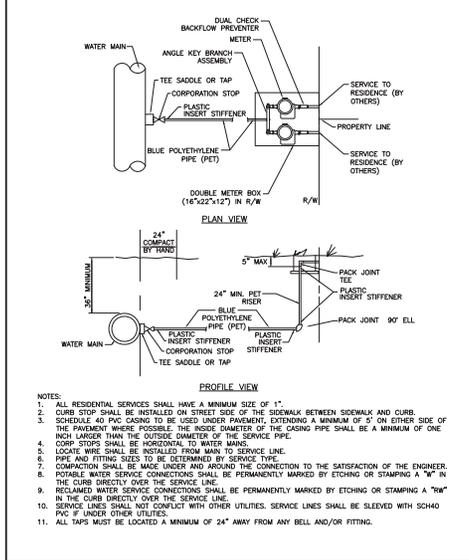
- NOTES:**
- FIRE HYDRANTS ON DEAD-END STREETS SHALL REQUIRE A MINIMUM 8" WATER MAIN TO THE POINT OF CONNECTION OF THE FIRE HYDRANT.

	MCBC EFFECTIVE 04/13/2023 REVISION # 2	7.3.2	UT 102	BEDDING AND TRENCHING 1

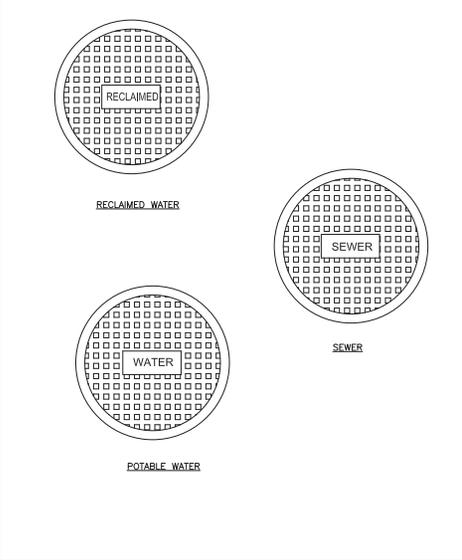
	MCBC EFFECTIVE 04/13/2023 REVISION # 2	7.3.2	UT 103	BEDDING AND TRENCHING 2

	MCBC EFFECTIVE 04/13/2023 REVISION # 2	7.3.2	UT 105	RESIDENTIAL SERVICE LOCATIONS

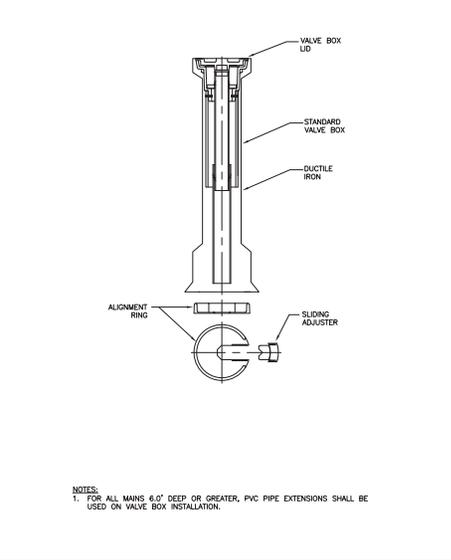
	MCBC EFFECTIVE 04/13/2023 REVISION # 1	7.3.2	UT 106	SINGLE FAMILY RESIDENTIAL CUL-DE-SAC UTILITY PLAN



- NOTES:**
- ALL RESIDENTIAL SERVICES SHALL HAVE A MINIMUM SIZE OF 1".
 - CURB STOP SHALL BE INSTALLED ON STREET SIDE OF THE SIDEWALK BETWEEN SIDEWALK AND CURB.
 - SCHEDULE 40 PVC CASING TO BE USED UNDER PAVEMENT, EXTENDING A MINIMUM OF 5" ON EITHER SIDE OF THE PAVEMENT WHERE POSSIBLE. THE INSIDE DIAMETER OF THE CASING PIPE SHALL BE A MINIMUM OF ONE INCH LARGER THAN THE OUTSIDE DIAMETER OF THE SERVICE PIPE.
 - CURB STOPS SHALL BE HORIZONTAL TO WATER MAINS.
 - LOCATE WIRE SHALL BE INSTALLED FROM MARK TO SERVICE LINE.
 - PIPE AND FITTING SIZES TO BE DETERMINED BY SERVICE TYPE.
 - COMPACTION SHALL BE MADE UNDER AND AROUND THE CONNECTION TO THE SATISFACTION OF THE ENGINEER.
 - POTABLE WATER SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY ETCHING OR STAMPING A "W" IN THE CURB DIRECTLY OVER THE SERVICE LINE.
 - RECLAIMED WATER SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY ETCHING OR STAMPING A "RW" IN THE CURB DIRECTLY OVER THE SERVICE LINE.
 - SERVICE LINES SHALL NOT CONFLICT WITH OTHER UTILITIES. SERVICE LINES SHALL BE SLEEVED WITH SCH40 PVC IF UNDER OTHER UTILITIES.
 - ALL WPS MUST BE LOCATED A MINIMUM OF 24" AWAY FROM ANY BELL AND/OR FITTING.

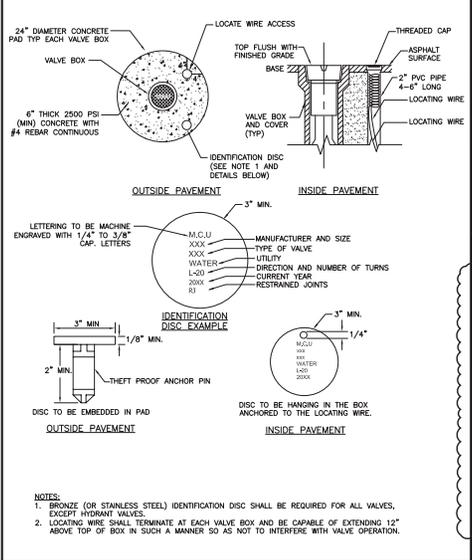


	MCBC EFFECTIVE 04/13/2023 REVISION # NA	7.3.2	UT 110	TYPICAL VALVE BOX COVER



- NOTES:**
- FOR ALL MAINS 6.0' DEEP OR GREATER, PVC PIPE EXTENSIONS SHALL BE USED ON VALVE BOX INSTALLATION.

	MCBC EFFECTIVE 04/13/2023 REVISION # 1	7.3.2	UT 111	SEALED VALVE BOX, ADJUSTABLE



- NOTES:**
- BRONZE (OR STAINLESS STEEL) IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES, EXCEPT HYDRANT VALVES.
 - LOCATING WIRE SHALL TERMINATE AT EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.

	MCBC EFFECTIVE 04/13/2023 REVISION # 1	7.3.2	UT 112	VALVE BOX PAD

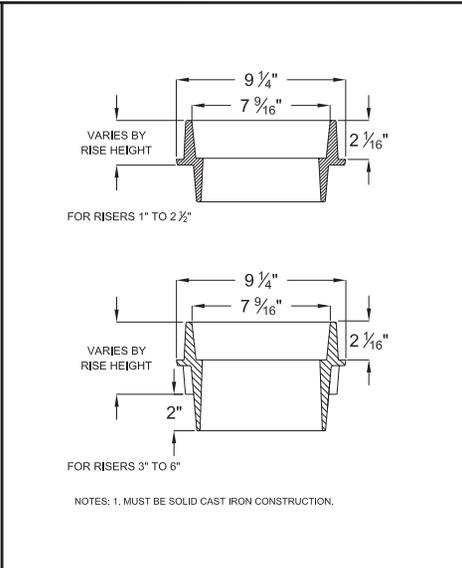
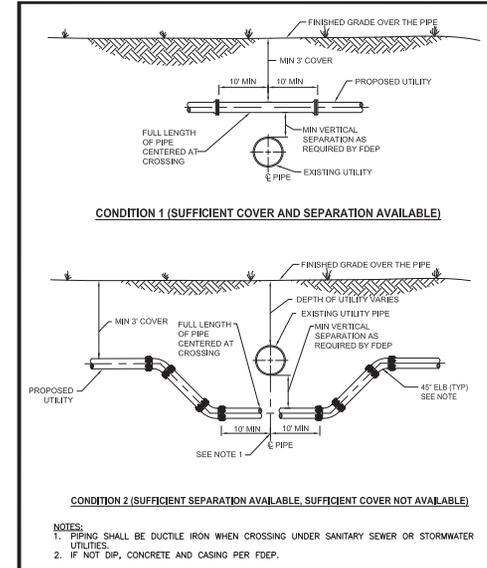
	MCBC EFFECTIVE 04/13/2023 REVISION # 2	7.3.2	UT 107	WATER AND RECLAIMED WATER SERVICES (TYPICAL)

	MCBC EFFECTIVE 04/13/2023 REVISION # NA	7.3.2	UT 110	TYPICAL VALVE BOX COVER

	MCBC EFFECTIVE 04/13/2023 REVISION # 1	7.3.2	UT 111	SEALED VALVE BOX, ADJUSTABLE

	MCBC EFFECTIVE 04/13/2023 REVISION # 1	7.3.2	UT 112	VALVE BOX PAD

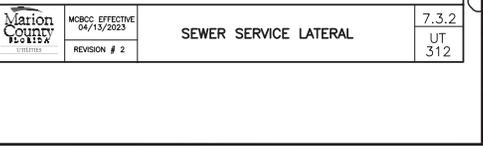
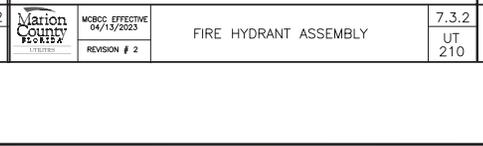
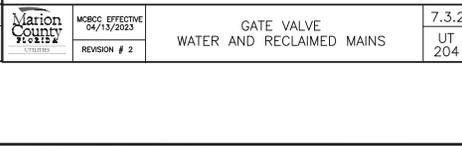
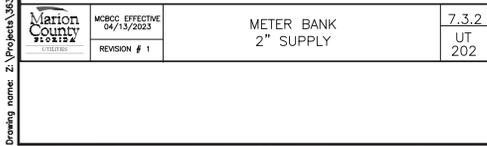
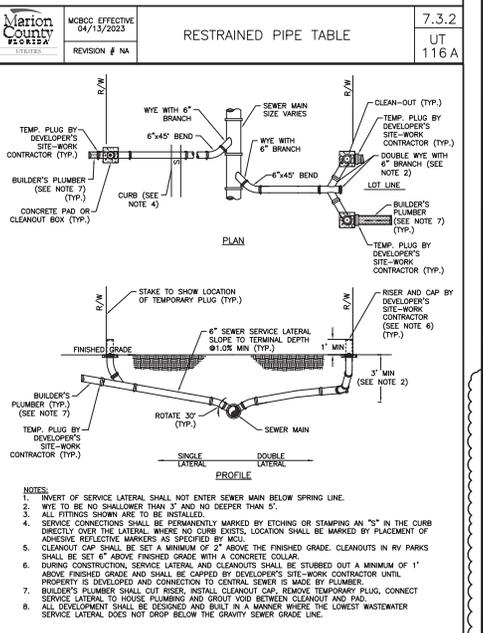
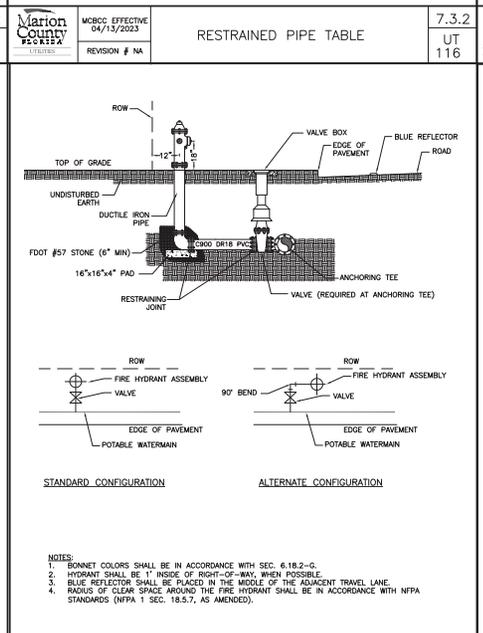
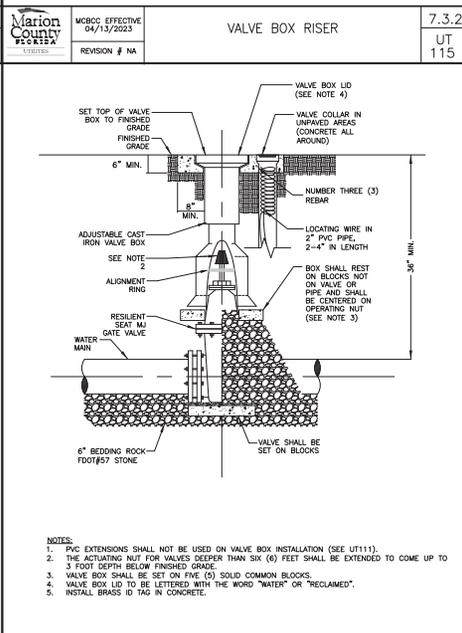
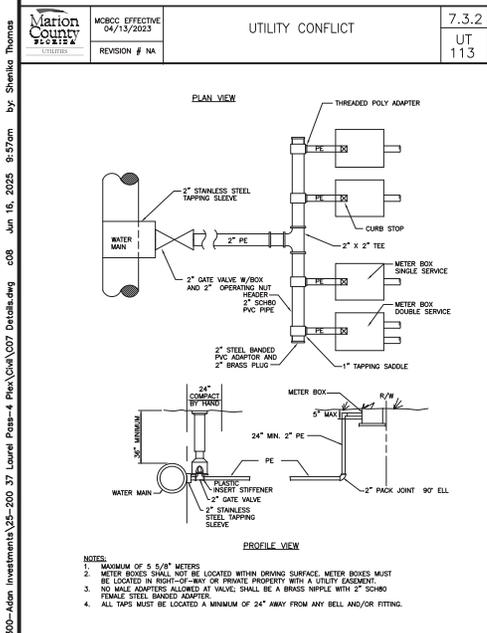
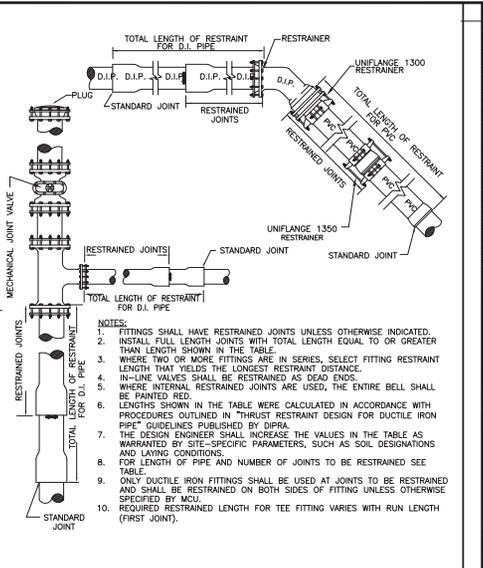
DESIGN ENGINEER: CHAD S. LUNA, P.E. FLORIDA REGISTRATION NUMBER: 57524 SEAL	DATE: 07/2025
SCALE AS NOTED: DESIGNED BY: SAT DRAWN BY: SAT CHECKED BY: CSL	REVISIONS: DATE: BY:
PROJECT NUMBER: 36300-25-200 SHEET NUMBER: C07	MINOR SITE PLAN-QUADPLEX 37 LAUREL PASS OCALA, FL 34480 MARION COUNTY, FLORIDA



MINIMUM RESTRAINED LENGTH (FT)
 - EACH SIDE OF FITTING AND VALVE
 FOR DIP, PE ENCASED DIP OR BARE PVC V=VERTICAL-DOWN
 WATER MAIN: PRESSURE: 150 PSI. DEPTH OF COVER: 3.0 FT.

Band Type	Pipe Length (ft)							
	4"	6"	8"	10"	12"	16"	20"	24"
11-1/4"	H 2	3	4	5	6	8	9	
22-1/2"	H 4	6	7	9	10	12	15	17
90°	H 6	9	11	13	16	20	24	28
110°	H 8	11	13	16	20	24	28	32
120°	H 10	13	16	20	24	28	32	36
135°	H 12	15	17	20	24	28	32	36
150°	H 14	17	20	24	28	32	36	40
165°	H 16	19	22	26	30	36	42	48
180°	H 18	21	24	28	32	36	42	48
195°	H 20	23	26	30	36	42	48	54
210°	H 22	25	28	32	36	42	48	54
225°	H 24	27	30	34	38	44	50	56
240°	H 26	29	32	36	40	46	52	58
255°	H 28	31	34	38	42	48	54	60
270°	H 30	33	36	40	44	50	56	62
285°	H 32	35	38	42	46	52	58	64
300°	H 34	37	40	44	48	54	60	66
315°	H 36	39	42	46	50	56	62	68
330°	H 38	41	44	48	52	58	64	70
345°	H 40	43	46	50	54	60	66	72
360°	H 42	45	48	52	56	62	68	74

Minimum Design Criteria
 Bedding Type: 4
 Safety Factor: 1.5
 Soil: Sand-Silt
 Run Length (First Joint): 10 ft.



<p>Marion County Logo</p> <p>MCBCC EFFECTIVE 04/13/2023</p> <p>REVISION # 1</p>	<p>UT 202</p>	<p>Marion County Logo</p> <p>MCBCC EFFECTIVE 04/13/2023</p> <p>REVISION # 2</p>	<p>UT 204</p>	<p>Marion County Logo</p> <p>MCBCC EFFECTIVE 04/13/2023</p> <p>REVISION # 2</p>	<p>UT 210</p>	<p>Marion County Logo</p> <p>MCBCC EFFECTIVE 04/13/2023</p> <p>REVISION # 2</p>	<p>UT 312</p>
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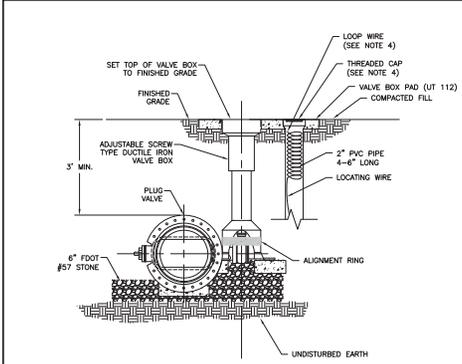
DESIGNED BY: SAUL S. LINN, P.E.
 DRAWN BY: SAT
 CHECKED BY: CSJ

DESIGN ENGINEER: SAUL S. LINN, P.E.
 FLORIDA REGISTRATION NUMBER: 57524

DATE: 03/25
 PROJECT NO: 36300-25-200
 SHEET NUMBER: C08

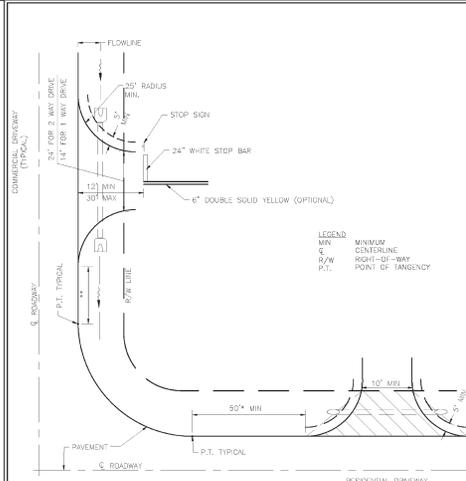
MINOR SITE PLAN-QUADPLEX
 37 LAUREL PASS
 OCALA, FL 34480

FLORIDA
 MARION COUNTY



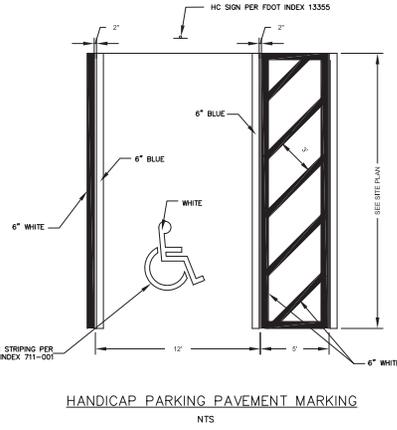
- NOTES:
1. VALVE BOX INSTALLATION SHALL COMPLY WITH UT 111.
 2. THE VALVE ACTUATING NUT SHALL BE EXTENDED UP TO BE WITHIN 3' OF FINISHED GRADE.
 3. PROVIDE A PLASTIC KERBSHIELD / ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
 4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.
 5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIRRAGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS.
 6. VALVE BOX SHALL BE SET ON SOLID COMMON BLOCKS

	MCBCB EFFECTIVE 04/13/2023 REVISION # 2	PLUG VALVE AND BOX	7.3.2 UT 304
		MCBCB EFFECTIVE 10/12/2019 REVISION # NA	COMMERCIAL & RESIDENTIAL DRIVEWAYS AT INTERSECTIONS 7.3.1 TS 025

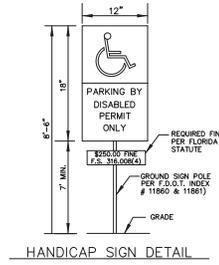


- NOTES:
1. THIS DISTANCE SHALL BE THE LESSER OF 1/2 THE LOT WIDTH OR 50 FT.
 2. SEE TABLE 6.11-3 FOR SPACING REQUIREMENTS.
 3. STOP SIGN AND STOP BARR SHALL BE PROVIDED WHEN PROJECTED DRIVEWAY DAILY TRAFFIC IS 25 VEHICLES PER HOUR OR GREATER.

	MCBCB EFFECTIVE 10/12/2019 REVISION # NA	COMMERCIAL & RESIDENTIAL DRIVEWAYS AT INTERSECTIONS	7.3.1 TS 025
		MCBCB EFFECTIVE 04/13/2023 REVISION # 2	PLUG VALVE AND BOX



HANDICAP PARKING PAVEMENT MARKING



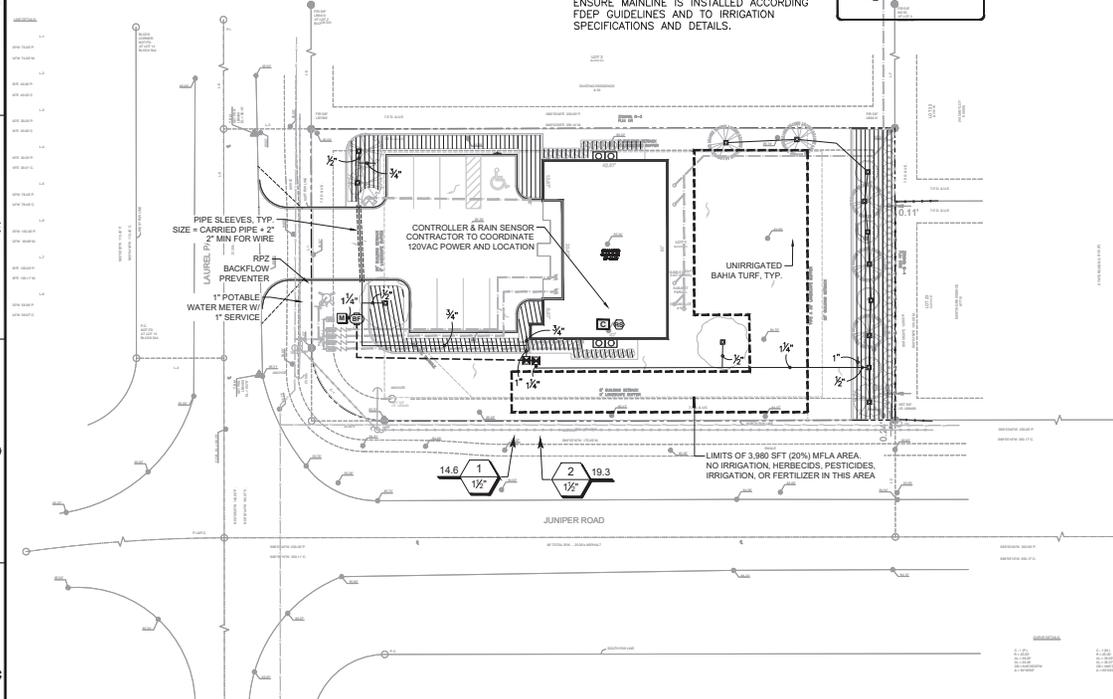
- NOTES:
1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD.
 2. TOP PORTION OF SIGN SHALL HAVE (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH WHITE OPAQUE LEGEND AND BORDER.
 4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 6. INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

MINOR SITE PLAN-QUADPLEX 37 LAUREL PASS OCALA, FL 34480 	MARION COUNTY FLORIDA	DATE 03/25
		PROJECT NO. 36300-25-200
SHEET NUMBER C09	UTILITY DETAILS	SCALE DESIGN ENGINEER: CHAD S. LINN, P.E. DESIGNER: CHAD S. LINN, P.E. DRAWN BY: SAT CHECKED BY: CSL
SEAL	COMMENTS: 03/2025	REVISIONS NO. DATE BY

MAINLINE AND LATERAL LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING FDEP GUIDELINES AND TO IRRIGATION SPECIFICATIONS AND DETAILS.



DB NUMBER: LS240506

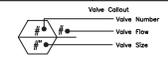


LANDSCAPE AREA CALCULATIONS:
 TOTAL SITE AREA: 13,858 +/- SQ. FT.
 TOTAL UPLAND LANDSCAPED AREA: 13,648 +/- SQ. FT.
 PLANTING MULCH AREAS: 3,505 +/- SQ. FT.
 UNIRRIGATED BAHIA TURF AREA: 10,143 +/- SQ. FT.
 20% MFLA REQUIRED= 19,886 X 20% = 3,977 SQ. FT.
IRRIGATED AREAS:
 TOTAL IRRIGATED AREA: 1,876 +/- SQ. FT.
 HIGH FLOW SPRAY AREA: 0 +/- SQ. FT. (100%)
 LOW FLOW DRIP AREA: 1,876 +/- SQ. FT. (100%)

NOTE: IRRIGATION SHALL BE IN ACCORDANCE WITH MARION COUNTY CODE. THE SYSTEM IS PROPOSED AS PERMANENT.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
☒	Rain Bird 1800-1400 Flood 1402	14	360	30	0.5	3'
☒	Rain Bird XCZ-150-LCDR High Flow Control Zone Kit, for Large Commercial Drip Zones. 1-1/2" PESB-R Scrubber Globe Valve with single 1-1/2" Pressure Regulating (RPB) Quick-Check Basket Filters. Flow range: 15-62gpm.	2				
	Area to Receive Dripline Jeslin TL0V-09-12 Techline Pressure Compensating Landscape Dripline with Check Valve. 0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern, 17mm.	1,795	if			
☒	Rain Bird ESP-IMES Reduced Pressure Backflow Preventer	1				
☒	Febo 82BY 1-1/4" Reduced Pressure Backflow Preventer	1				
☒	Rain Bird ESP-IMES 4 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready.	1				
☒	Rain Bird RSD-BEX Rain Sensor, with metal latching bracket, extension wire.	1				
☒	Water Meter 1" Water Meter	1				
---	Irrigation Lateral Line: PVC Class 200 SDR 21	405.7	if			
---	Irrigation Mainline: PVC Schedule 40	79.8	if			
---	Pipe Sleeve: PVC Schedule 40	26.4	if			



VALVE SCHEDULE (ALL ZONES SHALL RUN INDIVIDUALLY)

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Rain Bird XCZ-150-LCDR	1-1/2"	Bubbler	14.61	30.6	40.6	51.9	0.96 in/h
2	Rain Bird XCZ-150-LCDR	1-1/2"	Bubbler	19.32	30.6	39.5	52.3	0.96 in/h
	Common Wire				79.8			

CRITICAL ANALYSIS

Generated: 2025-06-11 16:21

P.O.C. NUMBER: 01
 Water Source Information:

FLOW AVAILABLE
 Water Meter Size: 1"
 Flow Available: 20.27 GPM

PRESSURE AVAILABLE
 Static Pressure at POC: 60 PSI
 Elevation Change: 5.00 ft
 Service Line Size: 1"
 Length of Service Line: 20.0 ft
 Pressure Available: 56 PSI

DESIGN ANALYSIS
 Maximum Station Flow: 19.32 GPM
 Flow Available at POC: 20.27 GPM
 Residual Flow Available: 0.95 GPM

Critical Station: 2
 Design Pressure: 30 PSI
 Friction Loss: 3.14 PSI
 Fittings Loss: 0.31 PSI
 Elevation Loss: 0 PSI
 Loss through Valve: 6 PSI
 Pressure Req. at Critical Station: 39.5 PSI
 Loss for Fittings: 0.18 PSI
 Loss for Main Line: 1.8 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Loss for Backflow: 6.76 PSI
 Loss for Water Meter: 2.06 PSI
 Critical Station Pressure at POC: 52.3 PSI
 Pressure Available: 52.3 PSI
 Residual Pressure Available: 3.74 PSI

Sec. 6.3.6. - Completion inspection requirements.

A. Irrigation installation professionals shall be accountable for the proper installation and compliance with the conditions of the irrigation permit and approved plans.

B. Upon completion of the installation, the contractor or owner shall request an inspection by the irrigation design professional. Prior to the inspection, the irrigation installation professional shall produce a clear and legible as-built diagram which accurately represents the irrigation system as installed. The diagram shall be presented and reviewed during the final inspection. The diagram may be a marked-up copy of the approved irrigation plan and shall include at a minimum:

- (1) Locations of all mainlines and mainline valves;
- (2) Locations of all remote control valves;
- (3) Water demand per zone in GPM, and
- (4) Total water demand per operating cycle.

C. The irrigation installation professional shall also provide to the owner:

- (1) Irrigation system scheduling information;
- (2) A copy of the irrigation controller owner's manual;
- (3) Irrigation system maintenance schedule, which includes:
 - (a) Instructions for seasonal adjustments of controller and sensors.
 - (b) Instructions covering how and when to check for leaks.
 - (c) A schedule for checking for proper irrigation distribution coverage.
- (4) Within 60 days after installation the irrigation controller shall be adjusted to be set in accordance with the applicable irrigation schedule set forth in this Code.

E. Upon completion of the irrigation system installation and the acceptance of the as-built diagram and operational information, a Final Inspection and Landscape/Irrigation Release shall be signed and sealed by the irrigation design professional and submitted to the County's Landscape Architect.

tdc DESIGN STUDIO
 LANDSCAPE ARCHITECTURE
 COMMUNITY PLANNING
 URBAN DESIGN
 1516 E. HILLCREST STREET STE. 105
 ORLANDO, FL 32803 PH: 407.254.2623

37 LAUREL PASS
 MARION COUNTY, FL
 Prepared For:
 IDEAL HOUSING INVESTMENTS

PROJECT
 SERIAL
 CONSULTANTS

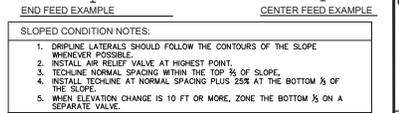
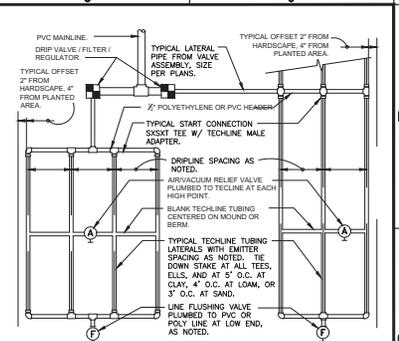
ISSUED FOR: 6/11/2025 PERMIT

PROJECT NO.	2025-09
DESIGNED BY	TFW
DRAWN BY	TFW
CHECKED BY	TDCTFW
DATE	6/11/2025
DRAWING SCALE	AS SHOWN

DRAWING TITLE
 IRRIGATION PLAN

DRAWING NUMBER
 IR-01

SHEET 1 OF 3

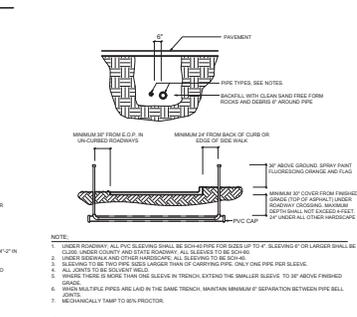
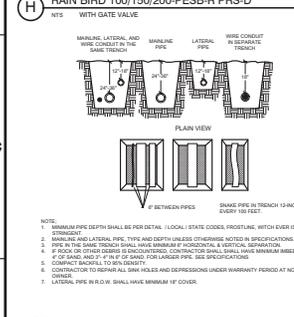
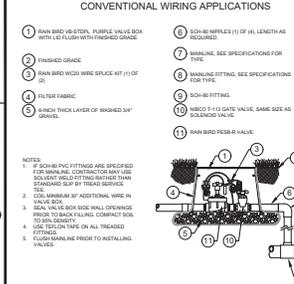
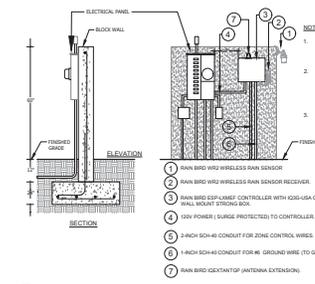
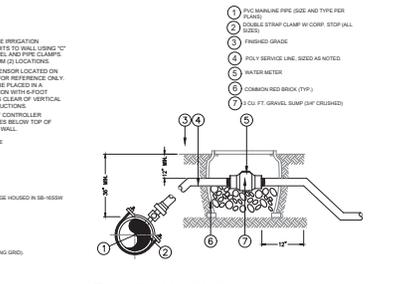
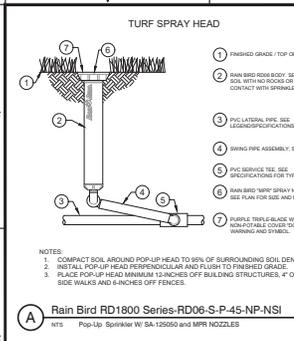
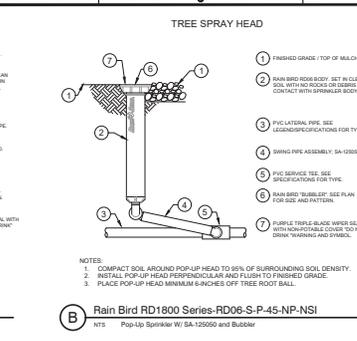
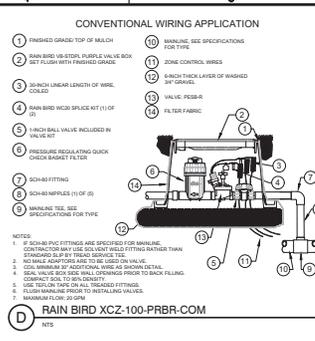
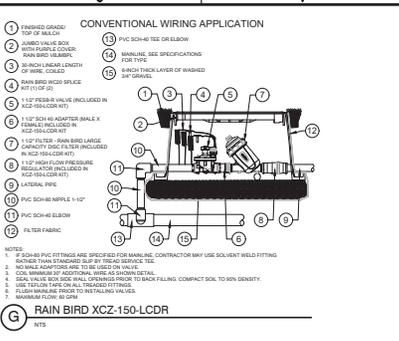
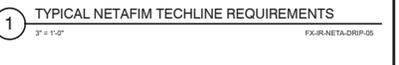
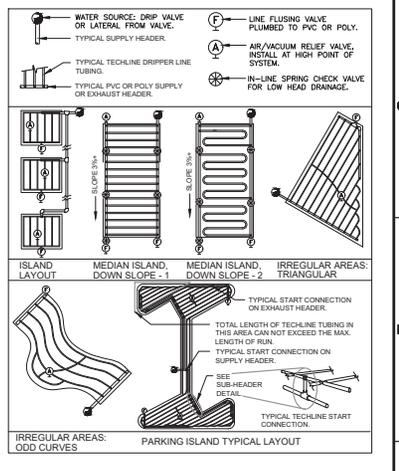


TECHLINE MAXIMUM LENGTH OF SINGLE LATERAL (FEET)

DRIPPER SPACING	12"	18"	24"
DRIPPER FLOW RATE (GPH)	0.4	0.6	0.9
DRIPPER SPACING	12"	18"	24"
GPH	15	29	43
GPM	232	438	553
GPM	397	521	643
GPM	548	665	785
GPM	729	854	979
GPM	920	1047	1171

TECHLINE FLOW PER 100 FEET

DRIPPER SPACING	0.4 GPH DRIPPER	0.6 GPH DRIPPER	0.9 GPH DRIPPER
DRIPPER SPACING	12"	18"	24"
GPH	40.00	6.67	11.02
GPM	41.00	6.68	11.02
GPM	N/A	N/A	31.00
GPM	N/A	N/A	46.00
GPM	N/A	N/A	61.00



GENERAL NOTES

- THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AS IT MAY NOT HAVE BEEN POSSIBLE TO ACCURATELY DEPICT THE EXACT LOCATIONS FOR ALL MATERIAL, OR ALL JOBSITE ELEMENTS. THE INSTALLER SHALL BE EXPECTED TO MAKE MINOR ADJUSTMENTS ON THE SITE AS NEEDED, IN ORDER TO MAINTAIN CONCRETE AND ACCURATE COVERAGE, AND MAINTAIN THE INTENT OF THE DESIGN. MODIFICATIONS WHICH INCREASE THE SPACING OF HEADS, OR DECREASE THE SIZING OF PIPE, SHALL NOT BE MADE WITHOUT PRIOR CONSENT OF THE PROJECT MANAGER. THE FINAL LOCATIONS FOR ALL MAJOR EQUIPMENT, INCLUDING CONTROLLERS, VALVES, SUPPLY CONNECTIONS, MAINLINES, ETC. SHALL BE DETERMINED IN THE FIELD, STAKED OUT BY THE CONTRACTOR, USING THE DRAWINGS AS A GUIDE, AND APPROVED PRIOR TO INSTALLATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING CODES AND REGULATIONS. ALTHOUGH DUE DILIGENCE HAS BEEN EXERCISED IN THE PREPARATION OF THE DOCUMENTS TO AVOID CONFLICTS, IT SHALL REMAIN THE RESPONSIBILITY OF THE INSTALLER FOR VERIFICATION AND CONFORMANCE TO THE PARTICULAR CODES FOR THIS LOCATION. THE INSTALLER SHALL OBTAIN ANY NECESSARY PERMITS, LOCATES, AND INSPECTIONS.
- ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. THE INSTALLATION SHALL BE COORDINATED WITH ALL NEW AND EXISTING IMPROVEMENTS, AND WITH THE ACTUAL INSTALLED BEDLINES, SOI LINES, AND PLANT LOCATIONS.
- THE INSTALLER SHALL BE FAMILIAR WITH ALL APPLICABLE DOCUMENTS, INCLUDING ANY WRITTEN SPECIFICATIONS THAT MAY HAVE BEEN ISSUED. ANY CONFLICT FOUND BETWEEN THE VARIOUS DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE PROJECT MANAGER FOR DETERMINATION.
- ALL MATERIAL AND LABOR NECESSARY TO PROVIDE A COMPLETE, FULLY OPERATIONAL, AND GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS. THIS SHALL INCLUDE CONFORMANCE TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE VARIOUS MANUFACTURERS OF THE EQUIPMENT, AND TO APPLICABLE TRAINING AND CERTIFICATION OF INSTALLATION PERSONNEL.
- UNLESS SPECIFICALLY STATED TO THE CONTRARY, PIPING AND WIRING PASSING UNDER PARKED OR OTHER IMPERVIOUS SURFACES SHALL BE INSTALLED IN SLEEVING OF ADEQUATE SIZE AND STRENGTH, SIDEWALKS AND DECKS, AND TURF PAVERS SHALL REQUIRE SLEEVING, EVEN IF NOT SHOWN ON THE DRAWINGS. CONTROL WIRING MAY BE RUN WITHIN A LARGER SLEEVE WITH MAINLINE PIPING, BUT ONLY IF PROTECTED BY A SMALLER CONDUIT. WIRE MAY NOT BE TAPED TO THE MAINLINE IN LIEU OF THIS CONDUIT, AS ABRASION OF THE WIRE JACKETS IS LIKELY TO OCCUR.
- SLEEVES UNDER PARKING AND DRIVEWAYS MAY BE THE RESPONSIBILITY OF OTHER THAN THE BRIGATION CONTRACTOR (SUCH AS THE PAVING OR SITE CIVIL CONTRACTOR). CONSULT OTHER DOCUMENTS FOR ADDITIONAL INFORMATION. ANY NEEDED SLEEVE WHICH EITHER CANNOT BE FOUND OR IS DAMAGED BEYOND PRACTICAL USE SHALL BE REPORTED TO THE PROJECT MANAGER, IMMEDIATELY, ALONG WITH RECOMMENDATIONS FOR CORRECTIVE ACTION. SLEEVES UNDER SIDEWALKS, DECKS, ETC. ARE NORMALLY INSTALLED BY THE IRRIGATION CONTRACTOR.
- CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHENEVER POSSIBLE. WIRE SHALL DIRECT BURIAL PER 1/4 GRADE.
- ALL SPRINKLER HEADS SHALL BE OF THE PROPER SIZE AND TYPE FOR THE LOCATION AND PLANT MATERIAL. HEADS SHALL BE INSTALLED IN THE PRESCRIBED MANNER, PLUMB, AND WITH THE PROPER HEIGHT WITH RESPECT TO GRADE AND/OR PLANT MATERIAL. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCES FROM ALL PAVING, CURBS, SIDEWALKS, WALLS, AND OTHER OBSTACLES, SO THAT DAMAGE TO EQUIPMENT DOES NOT OCCUR DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. ALL SPRINKLERS SHALL BE ADJUSTED TO OBTAIN OPTIMAL COVERAGE OF PLANT MATERIAL, WHILE MINIMIZING OVERSPRAY ONTO WINDOWS, WALLS, PAVING OR OTHER IMPERVIOUS SURFACES, PARTICULARLY WOODWORK AND/OR TRIM. THE INSTALLER SHALL UTILIZE THE PROPER SPRAY NOZZLE PATTERN FOR THE LOCATION, AS WELL AS PRESSURE-COMPENSATING HEADS OR SCREENS, AND ADJUSTABLE-PATTERN NOZZLES WHERE A FIXED PATTERN IS NOT SUITABLE TO CONTROL COVERAGE OR OVERSPRAY.
- RISER-MOUNTED HEADS SHALL BE INSTALLED WITHIN THE FIRST ROW OF PLANT MATERIAL, SO THAT THE HEAD IS PROTECTED AND CONCEALED BY THE MATERIAL. IT MAY BE REQUIRED TO RELOCATE HEADS NOT CONFORMING TO THIS STIPULATION AFTER PLANTS ARE INSTALLED. THIS SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. RISERS SHALL BE STAKED AS SHOWN IN THE DETAILS, AND PAINTED A DURABLE FLAT COLOR, TO BE AGREED UPON BY THE PARTIES.
- TREE BUBBLER HEADS SHALL BE CONSIDERED TEMPORARY, AND WILL BE CAPPED OFF ONCE MATERIAL IS ESTABLISHED.
- THE CONTROLLER SHALL REQUIRE A STANDARD 120-VOLTS POWER FEED, WHICH SHALL BE COORDINATED BY THE INSTALLER, AND COVERED UP BY A LICENSED ELECTRICIAN. IT IS PREFERRED THAT A DEDICATED CIRCUIT BE PROVIDED FOR THIS CONTROL. A 3-AMP FUSE OR CIRCUIT BREAKER ARRESTOR SHALL BE PROVIDED ON THE POWER FEED, AND A DEDICATED

ROADWAY / HARDSCAPE SLEEVING

- UNDER ROADWAY, ALL PVC SLEEVING SHALL BE 20% ABOVE FOR GRADES UP TO 1% SLOPING OR LARGER SHALL BE 25% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING SHALL BE 20% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING SHALL BE 25% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING SHALL BE 25% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING SHALL BE 25% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING SHALL BE 25% ABOVE QUANTITY AND TYPE INDICATED.
- UNDER SIDEWALKS AND OTHER HARDSCAPE, ALL SLEEVING TO BE 20% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING TO BE 20% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING TO BE 20% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING TO BE 20% ABOVE QUANTITY AND TYPE INDICATED. ALL SLEEVING TO BE 20% ABOVE QUANTITY AND TYPE INDICATED.
- BRIDGE THINGS MORE THAN 18 INCHES IN TRENCH EXTEND THE SMALLER SIZE TO 30\"/>

RAIN BIRD ESP-LXMEF WALL MOUNT CONTROLLER

- IN HEAVY DUTY 1/2\"/>

METER CONNECTION

- PVC MAINLINE PIPE (SIZE AND TYPE PER PLANS)
- PVC END FEED VALVE
- PVC END FEED CLAMP W/ COPR STOP (ALL SIZES)
- PVC END FEED BRASS
- PVC END FEED BRASS (1\"/>

1	2	3	4	5	6	7	8	9			
IRRIGATION NOTES & SPECIFICATIONS <p>Irrigation design based on the TDC Design Studio Landscape Plan dated 7/19/2021. Contractor shall refer to these plans to coordinate sprinkler and pipe locations.</p> <p>The system has been designed to conform with the requirements of all applicable codes, laws, ordinances, rules, regulations and conventions. Should any conflict exist, the requirements of the codes shall prevail. It is the responsibility of the owner/installation contractor to ensure the entire system is installed as designed. Irrigation contractor responsible for obtaining all required permits according to federal, state and local laws.</p> <p>The scope of work is shown on the plans, notes and details. The Irrigation Contractor shall be certified as a CERTIFIED IRRIGATION CONTRACTOR by the Irrigation Association. The certification shall be current and in good standing.</p> <p>THE WORK</p> <p>The work specified in this section consists of furnishing all components necessary for the installation, testing, and delivery of a complete, fully functional automatic landscape irrigation system that complies with the irrigation plans, specifications, notes, and details. This work shall include, but not be limited to, the providing of all required material if applicable (pumps), backflows, pipes, valves, fittings, controllers, wire, primer, glue, etc.), layout, protection to the public, excavation, assembly, installation, back filling, compacting, repair of road surfaces, controller and low voltage feeds to valves, cleanup, maintenance, guarantee and as-built plans.</p> <p>All irrigated areas shall provide 100% head-to-head coverage from a fully automatic irrigation system with a rain (and freeze as appropriate) shut off device. If the rain shut off device is a rain sensor, it shall be installed to prevent activation by adjacent heads. Zones are prioritized first by public safety and then by hydraulic concerns. This sequencing will be a mandatory punch list item.</p> <p>These plans have been designed to satisfy/exceed the Florida Irrigation Society Standards and Specifications for Turf and Landscape Irrigation Systems, fourth edition. All products should be installed per manufacturer's recommendation. Contractor shall verify all underground utilities 72 hours prior to commencement of work.</p> <p>It is the responsibility of the irrigation contractor to familiarize themselves with all grade differences, location of walls, retaining walls, structures and utilities. Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstruction, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions, or differences, should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.</p> <p>Irrigation contractor shall repair or replace all items damaged by their work. Irrigation contractor shall coordinate their work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc.</p> <p>The contractor shall take immediate steps to repair, replace, or restore all services to any utilities which are disrupted due to their operations. All costs involved in disruption of service and repairs due to negligence on the part of the contractor shall be their responsibility.</p> <p>POINT OF CONNECTION (P.O.C.)</p> <p>There is ONE P.O.C. (s)</p> <p>#1-P.O.C. is a new 1" potable meter & RPZ Backflow (by others) with a 1" service line by the downstream of the water meter.</p> <p>Contractor to verify these minimum conditions can be met prior to ordering of materials and the beginning of installation. If the conditions can not be met, the contractor must notify the designer prior to proceeding with the work. If the contractor does not do so, the contractor proceeds at their own risk and becomes responsible for any future work required to make the system perform as required.</p> <p>THE PIPE</p> <p>Pipe locations shown on the plan are schematic and shall be adjusted in the field. When laying out mainlines place a maximum of 18" away from either the back of curb, front of walk, back of walk, or other hardscapes to allow for ease in locating and protection from physical damage. Install all lateral pipe near edges of pavement or against buildings whenever possible to allow space for plant root balls. Always install piping inside property boundaries.</p> <p>All pipes are to be placed in planting beds. If it is necessary to have piping under hardscapes, such as roads, walks, and patios, the pipes must be sleeved using Class 200 PVC with the sleeve diameter being twice the size of the pipe it is carrying with a minimum sleeve size of 2".</p> <p>Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.</p> <p>MAINLINE</p> <p>Mainline shall be Pantone Purple Sch 40 solvent-weld (sized per plan) PVC with Sch 40 PVC solvent-weld fittings.</p> <p>Contractor to ensure all mainline piping is properly restrained using mechanical joint fittings, restraining collars, threaded rods, thrust blocks, etc., as and where required. Contractor shall refer to pipe manufacturers recommended installation practices for further direction.</p> <p>PVC pipe joint compound and primer: The PVC cement shall be Weld-On 711 (grey, slow-drying, heavy duty) and the primer shall be Weld-On P70 (purple tinted, compatible with cement), or approved equals.</p> <p>ELECTRICAL POWER SUPPLY</p> <p>Electrical supply for irrigation pumps, controllers, sensors, relaysto be provided by irrigation contractor. Contractor to coordinate with local utilities for the installation of, and connection to, site available power supplies for required electrical components as set forth in the irrigation plans.</p> <p>All electrical work is to comply with the National Electrical Code and any, and all, other applicable electrical codes, laws and regulations. A licensed electrician shall perform all electrical hook-ups. Power for each controller/CCU shall be a dedicated 120 volt, 20 amp circuit unless otherwise specified in the plans. Power for each pump to be according to pump specifications indicated in these plans.</p>			<p>WIRING</p> <p>Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire, suitable for direct burial and continuous operation at rated voltages.</p> <p>Tap and bundle control wires every 10' and run alongside the mainline. At all turns in direction make a 2" coil of wire. At all valve boxes coil wire around a 3/4" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3MDBYR connectors.</p> <p>Number all wires, using an electrical book of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.</p> <p>Wire sized, numbered and colored as follows: #14 white for common #14 spare black common #14 individual color coded hot wire #14 spare yellow hot wire</p> <p>Spare wires Leaving each controller, run six spare wires in both directions (twelve spare wires total). Install as 2 common spares (4 total) and 4 hot wires (8 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must be all numbered and color coded as required in these plans.</p> <p>Controller and Pump station Control Panel grounding - Contractor to utilize 4"X8"X5/8" copper grounding plates, 5/8"X10" copper clad grounding rods, "One Strike" CAD wells at all connection points, #6 bare copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractors letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded and tested. Each component must have its own separate grounding grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.</p> <p>LAYOUT</p> <p>Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.</p> <p>Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail Sheet.</p> <p>Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.</p> <p>Shrub heads shall be installed on 3/4" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other landscaped areas. Shrub heads shall be installed to a standard height of 4" below maintained height of plants and shall be installed a minimum of 6" within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse valves; in this case the risers shall be purple PVC and shall not be painted.</p> <p>Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.</p> <p>VALVES</p> <p>Sequence all valves so that the farthest valve from the P.O.C. operates first and the closest to the P.O.C. operates last. The closest valve to the P.O.C. should be the last valve in the programmed sequence.</p> <p>Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.</p> <p>Using an electric branding iron, brand the valve I.D. letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.</p> <p>EQUIPMENT</p> <p>All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple swing joints unless otherwise detailed.</p> <p>All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.</p> <p>TRENCHING</p> <p>Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.</p> <p>Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.</p> <p>INSTALLATION</p> <p>Solvent Weld Pipe: Cut all pipe square and deburr. Clean pipe and fittings of foreign material; then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement, first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin layer on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe a 1/4 turn and hold for 10 seconds. Make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded.</p>			<p>Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.</p> <p>Gasketed Pipe: With pipe in the trench, cut pipe square, deburr, and place beveled edge on male portion of pipe, if not using a piece with a factory bevel. Clean pipe and fittings of foreign material; then apply a small amount of pipe grease to the rubber gasket on the female end. Fully insert the male end of the pipe into the bell end of adjacent pipe until the bevel is fully seated into the bell. Restrain pipe as required.</p> <p>BACK FILL</p> <p>The Back fill 6" below, 6" above, and around all piping shall be of clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter.</p> <p>Main line pipe depth measured to the top of pipe shall be: 24" minimum for 3/4"-2 1/2" PVC with a 30" minimum at vehicular crossings; 30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings; 36" minimum for 6" PVC with a 36" minimum at vehicular crossings.</p> <p>Lateral line depths measured to top of pipe shall be: 18" minimum for 3/4"-3" PVC with a 30" minimum at vehicular crossings; 24" minimum for 4" PVC and above with a 30" minimum at vehicular crossings.</p> <p>Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2' on each side of every joint (bell tests, 90's, tees, 45's, etc.). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.</p> <p>FLUSHING</p> <p>Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.</p> <p>Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.</p> <p>Use screens in heads and adjust heads for proper coverage avoiding excess water on walls, walks and paving.</p> <p>TESTING</p> <p>Soil: At a minimum of 2 locations on the site, soil tests for Infiltration and texture shall be performed according to the USDA Soil Quality Test Kit Guide. The tests shall be documented in a USDA Soil Worksheet. (All of the above is available at http://soils.usda.gov/ses/assessment/test_kit.html) The completed worksheet shall be submitted to the owners representative for review/approval. Do not proceed without written direction from the owner/owner's representative.</p> <p>Mainline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. Fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe. For HDPE pipe, see HDPE notes. For gasketed pipe, testing requires measurement of the water pumped into the mainline system, using a hydrostatic pump, to maintain 125 PSI - this water volume shall be no more than the result of the following formula: $L=(ND)(P)/7400$ where L=Allowable leakage in gallons per hour N=Number of joints in pipe tested D=Nominal diameter of pipe (in inches) P=Average Test Pressure (in PSI)</p> <p>If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.</p> <p>Lateral Lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.</p> <p>Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.</p> <p>Upon completion of the operational test, run each zone until water begins to puddle or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.</p> <p>SUBMITTALS</p> <p>Pre-Construction: The contractor must submit for written approval, prior to installation, five (5) copies of the manufacturer's cut sheets/specifications for all components to be used in the irrigation system.</p> <p>After project completion: As a condition of final acceptance, the irrigation contractor shall provide the owner with: 1. Irrigations As-Built - shall be provided utilizing a sub-foot Global Positioning System (GPS) to accurately locate all mainlines, sleeves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections in Florida East State Plane, NAD 83, and CORS 98 format. The data collected shall be in POINT format and include an ID for each data point with Manufacturer, Type, Size, and Depth. All mainline and</p>			<p>independent runs of wire shall be located every 30' for straight runs and at every change of direction. Sleeves will be located at end points and every 20' of length. All underground items shall include depth in inch format. These POINTS once collected shall be imported into an AutoCAD DWG geo-referenced base file to be labeled accordingly. The completed AS-Built shall be a Geo-Referenced DWG file and delivered to the owner on a compact disk (CD).</p> <p>2. Controller charts - Upon completion of "as-built" prepare controller charts; one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside of the controller door. The reduction shall be hermetically sealed inside two 2mil pieces of clear plastic.</p> <p>3. Grounding Certification - Provide ground certification letters for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indicating location tested (using IR plan symbols), date, time, test method, and testing results.</p> <p>INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:</p> <ol style="list-style-type: none"> Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor. Mainline installation inspection(s) - all mainline must be inspected for proper pipe, fittings, depth of coverage, backfill, and installation method Mainline pressure test - All mainline shall be pressure tested according to this designs requirements Flow Meter calibration - All flow meters must be calibrated, provide certified calibration report for all flow meters. USDA Soil Quality Tests for infiltration/texture Coverage and operational test Final inspection Punch list inspection <p>FINAL ACCEPTANCE</p> <p>Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.</p> <ol style="list-style-type: none"> All above inspections are completed, documented, and approved by owner. Completion and acceptance of as-built drawings. Acceptance of required controller charts and placement inside of controllers. All other submittals have been made to the satisfaction of the owner. <p>GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.</p> <p>MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES</p> <ol style="list-style-type: none"> Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks: <ol style="list-style-type: none"> Turn on each zone from the controller to verify automatic operation. Check schedule to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements. Check remote control valves to ensure proper operation. Check setting on pressure regulator to verify proper setting, if present. Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller. Check for leaks - mainline, lateral lines, valves, heads, etc. Check all heads as follows: <ol style="list-style-type: none"> Proper set height (top of sprinkler is 1" below mow height) Verify head pop-up height - 6" in turf, 12" in ground cover, and pop-up on riser in shrub beds. Check wiper seal for leaks - if leaking, clean head and re-inspect. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed Check for proper alignment - perfectly vertical; coverage area is correct; minimize over spray onto hardscapes. Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage. Verify the pop-up riser retracts after operation. If not, repair/replace as needed. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports. Check rain shut-off device monthly to ensure it functions properly. Inspect all filters monthly and clean/repair/replace as needed. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked. Check pump stations for proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed. Winterize, if applicable, as weather in your area dictates. Follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations. Conduct additional inspections, maintenance tasks, etc. that are particular for your site. 		



37 LAUREL PASS, FL
 MARION COUNTY, FL
 Prepared For:
 IDEAL HOUSING INVESTMENTS

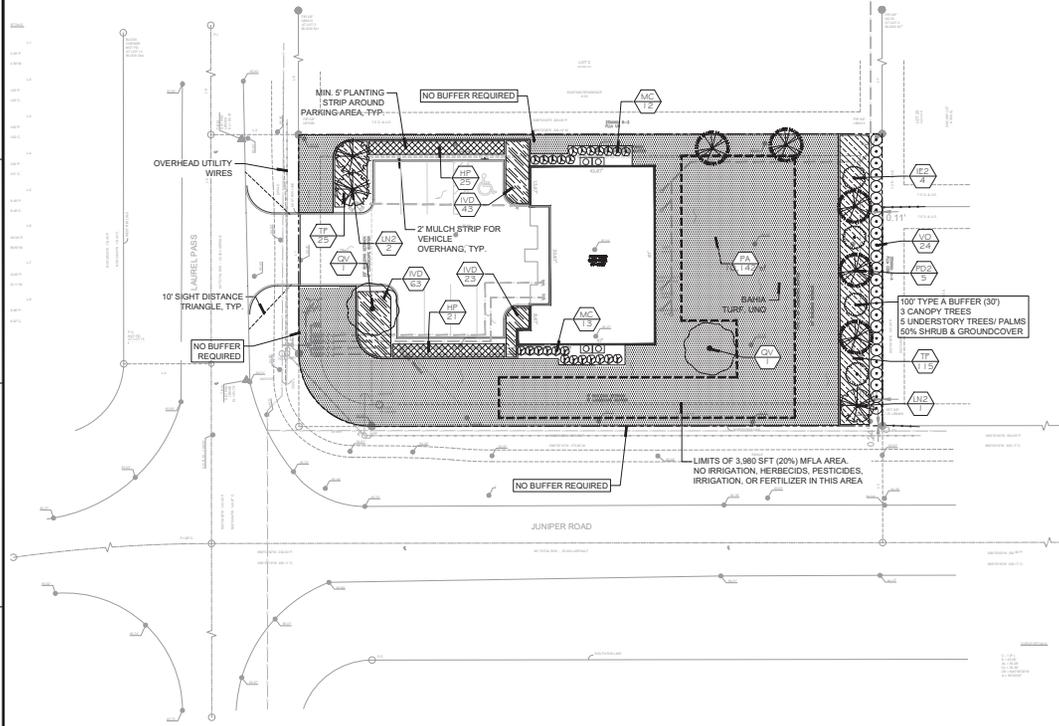
PROJECT	37 LAUREL PASS, FL MARION COUNTY, FL
CONSULTANTS	TDC DESIGN STUDIO
SCALE	AS SHOWN

DESIGNED BY	TTV
DRAWN BY	TTV
CHECKED BY	TDC/TTV
DATE	6/11/2025
DRAWING SCALE	AS SHOWN

PROJECT NO.	2025-09
DESIGNED BY	TTV
DRAWN BY	TTV
CHECKED BY	TDC/TTV
DATE	6/11/2025
DRAWING SCALE	AS SHOWN

DRAWING TITLE	IRRIGATION SPECIFICATIONS
DRAWING NUMBER	IR-03
SHEET	3 of 3

3 NUMBER: LS240586



TREE REMOVAL SUMMARY:
NO TREES ON SITE

LANDSCAPE AREA CALCULATIONS:
TOTAL SITE AREA: 19,886 +/- SQ. FT.
TOTAL UPLAND LANDSCAPED AREA: 13,648 +/- SQ. FT.
PLANTING/MULCH AREAS: 3,506 +/- SQ. FT.
UNIRRIGATED BAHIA TURF AREA: 10,142 +/- SQ. FT.
20% MFLA REQUIRED= 19,886 X 20% = 3,977 SQ. FT.

SHADE TREE CALCULATIONS:
TOTAL SITE AREA: 19,886 +/- SQ. FT.
SHADE TREES PRESERVED: 0
SHADE TREES PROVIDED: 7
19,886 SQ. FT. / 7 TREES = 1 TREE PER 2,840 SQ. FT.
(MINIMUM 1 PER 3,000 SQ. FT.)

TREE PROTECTION NOTE:
PER SEC. 7.6.3.E
TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE CONDITIONS OF TREE REMOVAL PERMITS. ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:
(1) THE CLEANING OR CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
(2) THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
(3) THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY.
(4) IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, THE TREE(S) MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM REPLACEMENT SIZE OF 3.5-INCH CALIPER. THE COUNTY RESERVES THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AUTHORIZED BY THE COUNTY'S LANDSCAPE ARCHITECT.

SEC. 6.8.12 - LANDSCAPE COMPLETION INSPECTION REQUIREMENTS.
UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PLANT SCHEDULE (351/378) 93% NATIVE THIS IS A "FLORIDA FRIENDLY LANDSCAPE PLAN"

CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	MITIGATION INCHES PROVIDED
NATIVE TREES						
Y	IEZ <i>Ilex x alternata</i> 'Eggleston' / Eggleston Holly	30 gal	2"	STANDARD	8'-10" H x 4'-5" W	4
N	LN2 <i>Lagerstroemia indica</i> x <i>laurea</i> 'Nalchez' / Nalchez Cape Myrtle	30 gal	2"	CAL. FTG.	8'-10" H x 3'-4" W	3
Y	PD2 <i>Pinus elliottii</i> var. <i>Densa</i> / Densa Slash Pine	45 gal	3.5"	CAL	10'-12" H x 5'-6" W	5
Y	QV <i>Quercus virginiana</i> / Southern Live Oak	65 gal	3.5"	CAL	12'-14" x 6'-8"	7
SHRUBS						
Y	MC <i>Myrcianthes fragrans</i> / Simpson's Stopper	3 gal	30"	36"	36" o.c.	25
N	VO <i>Viburnum odoratissimum</i> / Sweet Viburnum	3 gal	24"	30" x 24"	48" o.c.	24
SHRUB AREAS						
Y	HP <i>Hamelia patens</i> 'Compacta' / Dwarf Scarlet Bush	3 gal @	16"	24" x 18"	24" o.c.	48
Y	IVD <i>Ilex vomitoria</i> 'Schilling's Dwarf' / Schilling's Dwarf Holly	3 gal @	10"	12" x 10"	24" o.c.	129
GROUND COVERS						
Y	PA <i>Paspalum notatum</i> 'Argentine' / Bahia Grass	sod				10,142 sf
Y	TF <i>Tripsacum floridanum</i> / Dwarf Fakahatchee Grass	1 gal	18"	height, full	36" o.c.	140

PLANTING NOTES:
1. ALL PLANT MATERIAL SIZES ARE MINIMUM SIZES. CONTAINER SIZES SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZED SPECIFIED.
2. FINAL ARRANGEMENT OF PLANT MATERIAL SHALL BE STAKED BY THE CONTRACTOR FOR THE APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLMENT.
3. THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
4. ALL MULCH SHALL BE MEDIUM PINE BARK NUGGETS MULCH 3 INCHES THICK WHEN COMPACTED.
5. CONTRACTOR RESPONSIBLE TO REMOVING ALL INVASIVE OR PROHIBITED PLANT SPECIES ONSITE.
6. ALL LANDSCAPING SHALL CONFORM TO CITY OF MARION COUNTY LANDSCAPE, BUFFER, AND TREE REQUIREMENTS.

SOD NOTE:
1. ALL SOD SHALL BE ARGENTINE BAHIA GRASS (*Paspalum notatum* 'Argentine'). FINAL QUANTITTY TO BE DETERMINED IN FIELD BY CONTRACTOR.

SIGHT DISTANCE NOTE:
1. ALL LANDSCAPING WITHIN SIGHT TRIANGLES SHALL CONFORM TO FOOT STANDARDS.
2. SHRUBS AND GROUNDCOVERS WITHIN SIGHT TRIANGLES SHALL NOT EXCEED 36" IN HEIGHT ABOVE PAVEMENT.
3. TREES IN SIGHT TRIANGLE SHALL HAVE A MINIMUM OF 6 FEET OF CLEAR TRUNK AT INSTALLATION, AND SHALL BE MAINTAINED AT 8 FEET AFTER ESTABLISHMENT.



37 LAUREL PASS
MARION COUNTY, FL
Prepared For:
IDEAL HOUSING INVESTMENTS

PROJECT
DESIGN
CONSULTANTS

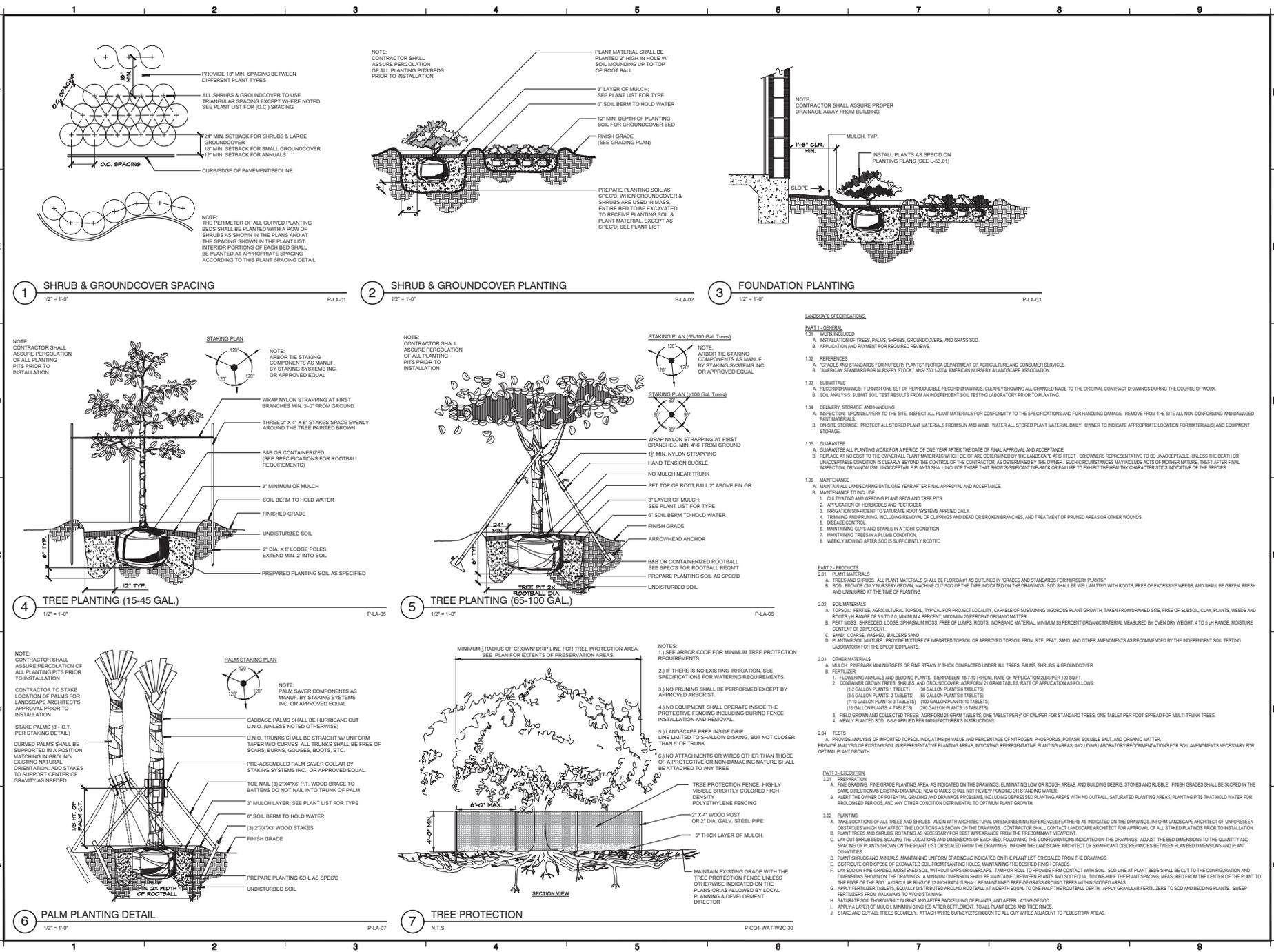
ISSUED FOR: 01/17/2025 PERMIT

PROJECT NO.	2025-09
DESIGNED BY	TFW
DRAWN BY	TFW
CHECKED BY	TDCTFW
DATE	6/11/2025
DRAWING SCALE	1"=20'

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER
LS-01

SHEET 1 OF 2



PROJECT	CONSULTANTS	SCALE	DATE

PROJECT NO.	2025-09
DESIGNED BY	TFW
DRAWN BY	TFW
CHECKED BY	TC/TFW
DATE	6/11/2025
DRAWING SCALE	AS SHOWN

DRAWING TITLE	LANDSCAPE DETAILS & SPECIFICATIONS
DRAWING NUMBER	LS-02
SHEET	2 of 2

BOUNDARY & TOPOGRAPHIC SURVEY

LYNX SURVEYORS CORP
 LAND SURVEYORS
 AND MAPPER LB 8469
 302 LAUREL ROAD EAST UNIT 291
 LAUREL, FLORIDA 34272

833-721-2907
 contact@lynxsurveyors.com
 www.lynxsurveyors.com



0 15' 30'
 1" = 30'
 GRAPHIC SCALE

PROPERTY AND OWNER INFORMATION

PROPERTY ADDRESS
 37 LAUREL PASS
 OCALA, FL 34840 USA

PARCEL ID :
 9024-0541-01

COUNTY / STATE :
 MARION COUNTY

FLOOD ZONE INFORMATION:

COMMUNITY NO : 120160
 PANEL : 0735
 SURFEX : D
 EFFECTIVE DATE: 08/29/2008
 FLOOD ZONE : X
 B.F.E. : N/A

FIELD DATE : 04/17/2024
 DRAWN DATE : 04/22/2024
 DRAWN BY : A.V.
 CHECKED BY : D.R.

LEGAL DESCRIPTION :
 LOT 1, BLOCK "541", SILVER SPRINGS SHORES UNIT NO. 24, according to the plat thereof, as recorded in Plat Book J, Pages 188 through 201, of the Public Records of Marion County, Florida.

CERTIFIED TO :

FREEDOM INVESTMENTS LLC

FREEDOM INVESTMENTS LLC, ITS SUCCESSORS AND/OR ASSIGNS AND THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT AS THEIR INTERESTS MAY APPEAR.

SURVEYOR'S NOTES

- LEGAL DESCRIPTION PROVIDED BY OTHERS, NO EXAMINATION OF TITLE MADE BY SURVEYOR. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- THIS CERTIFICATION IS ONLY FOR THE LINES DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS OR FREEDOM FROM ENCUMBRANCES OWNERSHIP, OR RIGHTS-OF-WAY.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED. WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ONLY VISIBLE ENCROACHMENTS LOCATED.
- THIS SURVEY IS INTENDED FOR CONSTRUCTION PURPOSES ONLY. EXCLUSIVELY FOR THIS USE BY THOSE TO WHOM IT IS CERTIFIED. THIS SURVEY IS TO BE USED FOR CONSTRUCTION, PERMITTING OR DESIGN. ANY OTHER USE IS NOT VALID WITHOUT WRITTEN CONSENT.
- NO EFFORT WAS MADE TO PROVE PLAT BOUNDARIES.
- ONLY IMPROVEMENTS SHOWN WHERE LOCATED. WE DO NOT DETERMINE WHO OWNS THE FENCES, TREES OR ANY OTHER IMPROVEMENTS.
- DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- PARCEL SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHT-OF-WAYS OF RECORD.
- EASEMENTS SHOWN ON THIS DRAWING ARE FROM THE RECORDED PLAT. ANY OTHER EASEMENT (S) PERTAINING TO THE HEREON DESCRIBED LAND (S) MUST BE FURNISHED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S AGENT PER FLORIDA STATUTE "CHAPTER 51-17" OF THE FLORIDA ADMINISTRATIVE CODE.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- PARCEL WAS SURVEYED FROM INFORMATION SUPPLIED BY THE CLIENT.
- THE ACCURACY OF CONTROL SURVEY DATA SHALL BE VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES. ALL CONTROL MEASUREMENTS SHALL ACHIEVE THE FOLLOWING CLOSURES: COMMON/HIGH RISK LINEAR: 1" FOOT IN 10,000' FEET; SUBURBAN LINEAR: 1 FOOT IN 7,500' FEET; RURAL LINEAR: 1 FOOT IN 5,000' FEET.
- BEARINGS AND DISTANCES SHOWN HEREON AS "M" (See Legend) ARE MEASURED BY GPS OBSERVATIONS (STATE PLANE COORDINATE SYSTEM NAD-83 F-WEST) THE BASIS OF BEARING IS BASED ON N 00°06'20"W ALONG THE CENTERLINE OF LAUREL PASS AS PLATTED.
- ELEVATIONS SHOWN HEREON ARE BASED ON UNAD 1988 DATUM. BENCHMARK USED (ASSUMED BY GPS OBSERVATION) WITH ELEVATION OF 86.16'.

I HEREBY CERTIFY THAT THE SURVEY OF THE HEREON DESCRIBED PROPERTY WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 51-101 F.A.C. & 51-102 F.A.C., FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 220.07, FLORIDA STATUTES.

GUSTAVO INTERIAN
 PROFESSIONAL SURVEYOR AND MAPPER PSM 6461

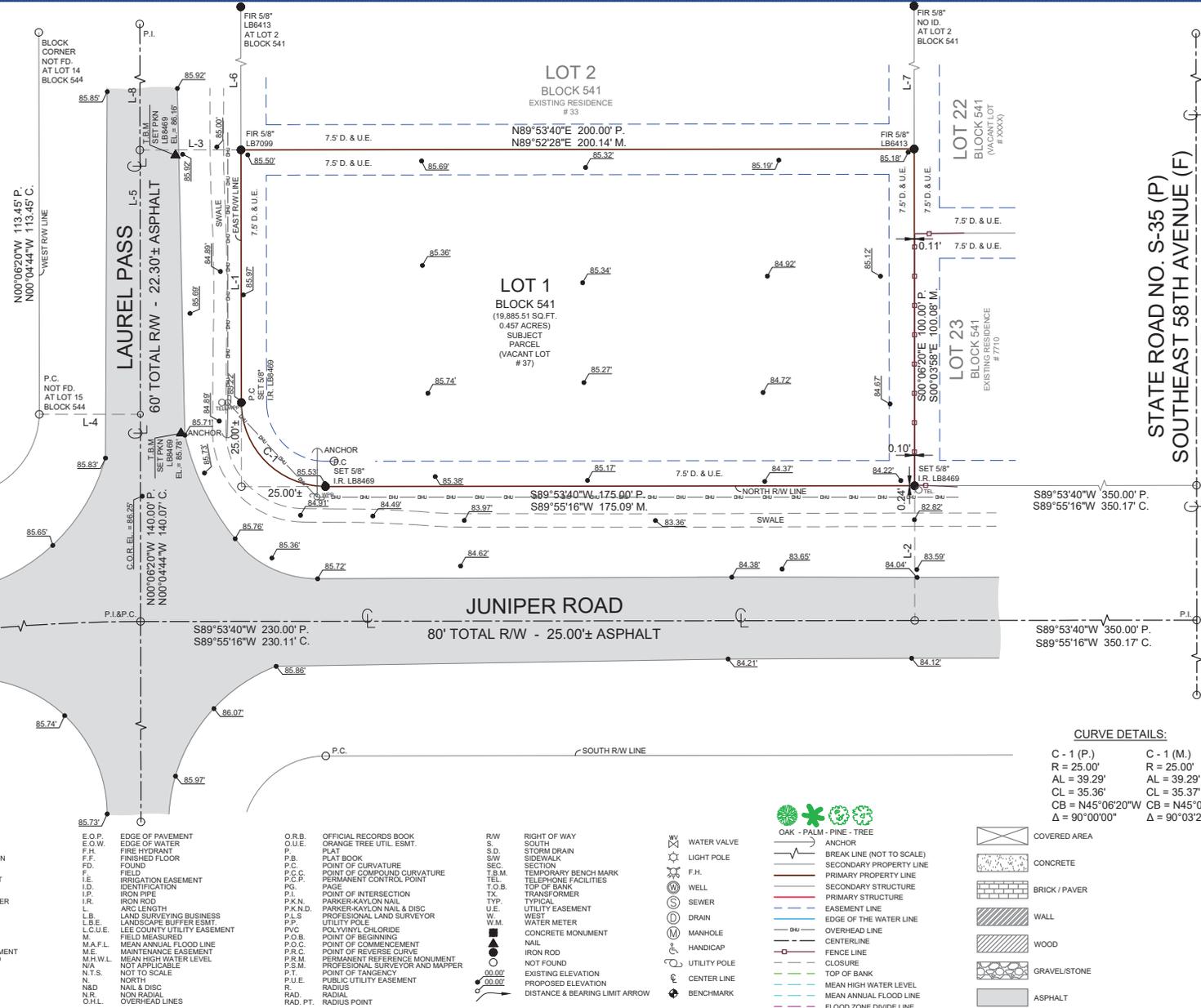
LINE DETAILS:

- L-1
 N00°06'20"W 75.00' P.
 N00°05'34"W 74.90' M.
- L-2
 S00°06'20"E 40.00' P.
 S00°04'43"E 40.02' C.
- L-3
 N89°53'40"E 30.00' P.
 S89°49'24"E 30.00' C.
- L-4
 N89°53'40"E 30.00' P.
 N89°55'16"E 30.01' C.
- L-5
 N00°06'20"W 78.49' P.
 N00°04'44"W 78.49' C.
- L-6
 N00°06'20"W 100.00' P.
 N00°03'32"W 99.89' M.
- L-7
 S00°06'20"E 100.00' P.
 S00°06'28"E 100.11' M.
- L-8
 N00°06'20"W 59.96' P.
 N00°04'44"W 59.97' C.

N00°06'20"W 113.45' P.
 N00°04'44"W 113.45' C.

S09°53'40"W 230.00' P.
 S89°55'16"W 230.11' C.

S89°53'40"W 350.00' P.
 S89°55'16"W 350.17' C.



CURVE DETAILS:

C - 1 (P.)	R = 25.00'	C - 1 (M.)	R = 25.00'
	AL = 39.29'		AL = 39.29'
	CL = 35.36'		CL = 35.37'
	CB = N45°06'20"W		CB = N45°04'45"W
	Δ = 90°00'00"		Δ = 90°03'23"

- | | | | | | | | | | | |
|--------|-------------------------|----------|----------------------------------|--------|----------------------|------|-------------|---------------------------|--|--|
| A/C | AIR CONDITIONER | O.R.B. | OFFICIAL RECORDS BOOK | R/W | RIGHT OF WAY | W.V. | WATER VALVE | OAK - PALM - PINE - TREE | | |
| A.E. | ACCESS EASEMENT | P. | PARKER-KAYLON NAIL | S. | SOUTH | X | CROSS | ANCHOR | | |
| B.E. | BEARING REFERENCE | P.B. | PLAT BOOK | S.D. | STORM DRAIN | X | CROSS | BREAK LINE (NOT TO SCALE) | | |
| B.F.E. | BASE FLOOD ELEVATION | P.C. | POINT OF CURVATURE | S.W. | SIDEWALK | X | CROSS | SECONDARY PROPERTY LINE | | |
| B.M. | BENCHMARK | P.C.C. | POINT OF COMPOUND CURVATURE | SEC. | SECTION | X | CROSS | PRIMARY PROPERTY LINE | | |
| C. | CALCULATED | P.C.P. | PERMANENT CONTROL POINT | T.B.M. | TEMPORARY BENCH MARK | X | CROSS | SECONDARY STRUCTURE | | |
| C.M. | CONCRETE MONUMENT | P.F. | PAGE | T.E.L. | TELEPHONE FACILITIES | X | CROSS | TRANSFORMER | | |
| CONC. | CONCRETE | P.I. | POINT OF INTERSECTION | T.O.B. | TOP OF BANK | X | CROSS | UTILITY POLE | | |
| CALC. | CALCULATED | P.K.N. | PARKER-KAYLON NAIL | TR. | TRANSFORMER | X | CROSS | WELL | | |
| CATV | CABLE TELEVISION RISER | P.K.N.D. | PARKER-KAYLON NAIL & DISC | TYP. | TYPICAL | X | CROSS | SEWER | | |
| CB | CHORD BEARING | P.L.S. | LEE COUNTY UTILITY EASEMENT | U.E. | UTILITY EASEMENT | X | CROSS | DRAIN | | |
| CB | CHORD BEARING | P.L.S. | LEE COUNTY UTILITY EASEMENT | U.W. | UTILITY WATER | X | CROSS | MANHOLE | | |
| COR. | CROWN OF THE ROAD | P.V.C. | POINT OF BEGINNING | W.M. | WATER METER | X | CROSS | HANDICAP | | |
| C.O.R. | CROWN OF THE ROAD | P.V.C. | POINT OF BEGINNING | | | X | CROSS | UTILITY POLE | | |
| C.V.G. | COUNTY VALLEY GUTTER | P.O.B. | POINT OF BEGINNING | | | X | CROSS | WELL | | |
| C. | CALCULATED | P.O.C. | POINT OF COMPOUND CURVATURE | | | X | CROSS | SEWER | | |
| C.U.E. | COUNTY UTILITY EASEMENT | P.O.P. | POINT OF PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | MANHOLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | HANDICAP | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | UTILITY POLE | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | WELL | | |
| D. | DRILL HOLE | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | SEWER | | |
| D.E. | DRAINAGE EASEMENT | P.P.C. | PERMANENT CONTROL POINT | | | X | CROSS | DRAIN | | |



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19941

Agenda Date: 7/21/2025

Agenda No.: 6.2.

SUBJECT:

**Estate of Michael Couture - Rezoning to PUD With Concept Plan
Project #2019100517 #32746 Parcel # 47667-000-00
Tillman & Associates Engineering**



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

June 22, 2025

MARION COUNTY GROWTH SERVICES DEPARTMENT
KEN WEYRAUCH
2710 E SILVER SPRINGS BLVD
OCALA, FL 34470

SUBJECT: STAFF REVIEW COMMENTS LETTER
PROJECT NAME: ESTATE OF MICHAEL COUTURE
PROJECT #2019100517
APPLICATION: REZONING TO PUD WITH CONCEPT PLAN #32746

Dear Ken:

Below are the reviewers' comments for the above referenced project. This project has been scheduled for review by staff on Thursday, June 22, 2025.

DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Rezoning to PUD with conceptual plan
STATUS OF REVIEW: INFO
REMARKS: Will need to be Central Sewer/ Central Water

DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Rezoning to PUD with conceptual plan
STATUS OF REVIEW: INFO
REMARKS: Stormwater is not opposed to the rezoning. The applicant proposes to change the parcel's zoning from A-1 to PUD for a residential subdivision. The parcel 47667-000-00 is currently zoned A-1 and is 55 acres. A Major Site Plan Revision submittal will need to be reviewed and approved through DRC for the proposed development of the site. There is a County Flood Prone on this parcel. Please ensure LDC 6.13 is met with the Major Site Plan.

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 4.2.31.F(2)(b)10 - Identify proposed phasing on the plan
STATUS OF REVIEW: INFO
REMARKS:

DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 4.2.31.F(2)(b)(14) - Preliminary sidewalk and multimodal circulation plan
STATUS OF REVIEW: INFO
REMARKS: 6/12/25 - Sidewalks appear to be shown but would be more closely reviewed during improvement plan.

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: Rezoning to PUD with conceptual plan

STATUS OF REVIEW: INFO

REMARKS: Marion County has reviewed and approved the concept plan as provided for the location. Approval of this concept plan shall not be inferred or assumed that fire approval has been granted for the entire project. Project will be required to submit plans for review including site plans, improvement plans, building plans, etc. All plans submitted in the future will need to comply with national, state, and local fire codes as applicable to the project.

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.2 - Fire Flow/Fire Hydrant

STATUS OF REVIEW: INFO

REMARKS: Site plans shall note on the plans if a new hydrant is installed shall be installed, tested, and painted per NFPA 291, by a third party contractor and witnessed by a Marion County Fire Inspector.

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: NFPA 1 Chapter 18.2.3 Fire Dept Access Roads

STATUS OF REVIEW: INFO

REMARKS: Please ensure the site plan meets the minimum requirements per NFPA 1 Chapter 18 for fire department access. Need to show fire department access roads with a minimum of 20 feet in width with a stabilized surface to support the weight of a fire apparatus

DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Rezoning to PUD with conceptual plan

STATUS OF REVIEW: INFO

REMARKS: Review to take place during report writing phase.

DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Rezoning to PUD with conceptual plan

STATUS OF REVIEW: INFO

REMARKS: Parcel 47667-000-00 is within the Marion County Service Area. 12" MCU Water Main and Sewer Main is approximately 4600' away at the intersection of SE 73rd Ave and HWY 42. Conceptual Plan would be within connection distance.

DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider

STATUS OF REVIEW: INFO

REMARKS: Marion County Utilities - 4600'

DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider

STATUS OF REVIEW: INFO

REMARKS: Marion County Utilities - 4800'

DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.C(2)(e) - Grease Trap, FOG Worksheet

STATUS OF REVIEW: INFO

REMARKS: If amenity area will have food preparation or food serving, Grease Trap and FOG worksheet may be required.

DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.3.B - Springs Protection Zone
STATUS OF REVIEW: INFO
REMARKS: Parcel is located within the Secondary Springs Protection Zone.

DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: Based on the Concept Plan, coordination with Marion County Fire Rescue is recommended regarding fire protection requirements. Marion County Utilities (MCU) will provide water service; however, the Engineer of Record (EOR) is responsible for reviewing proposed connections and potential extensions to ensure adequate fire flow is available for the proposed development.

DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.17 - Water Reclamation/Reuse Facilities
STATUS OF REVIEW: INFO
REMARKS: Project is located OUTSIDE the Urban Growth Boundary.

DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: INFO
REMARKS: For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896.

DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Location of water and sewer facilities.
STATUS OF REVIEW: INFO
REMARKS: defer to mcu

DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Rezoning to PUD with conceptual plan
STATUS OF REVIEW: INFO
REMARKS: no tree removal prior to DRC site plan approval

DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: Rezoning to PUD with conceptual plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED

DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale
STATUS OF REVIEW: INFO
REMARKS: APPROVED

DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Rezoning to PUD with conceptual plan

STATUS OF REVIEW: NO

REMARKS: 6/12/25 RECOMMEND DENIAL – Proposed property is outside of the urban growth boundary and is anticipated to have a significant impact on SE 73rd Ave which currently has 10' lane widths and only 50' of right-of-way. This development will generate 1,566 daily trips, 115 AM peak HR trips, and 160 PM peak HR trips. A traffic methodology has been approved; however, the traffic study has not yet been submitted.

According to the most recent traffic data, 23% of the capacity on CR 42 will be available in the background 2028 condition. This project will consume 3.5% of this available capacity. If approved, only 19.5% of the capacity on CR 42 will be available. Traffic recommends the following conditions if approved: 1) right-of-way dedication along SE 73rd Ave required to achieve 120' total right-of-way, and 2) installation of a northbound left turn lane at the main driveway on SE 73rd Ave.

If you have any questions, please feel free to contact the Development Review Team at (352) 671-8682 or development.review@marionfl.org.

Sincerely,

The Development Review Team



Marion County
Board of County Commissioners

Growth Services ♦ Planning & Zoning

2710 E. Silver Springs Blvd.
Ocala, FL 34470
Phone: 352-438-2600
Fax: 352-438-2601

STAFF/OFFICE USE ONLY	
Case No.:	
AR No.:	
PA:	

PARCEL ACCOUNT NUMBERS: 47667-000-00

APPLICATION FOR PUD REZONING or PUD AMENDMENT

With: Concept Plan X Master Plan _____

The undersigned hereby requests a zoning change per Marion County Land Development Code (LDC), Article 4, Zoning, on the below described property and area, to **PUD (PLANNED UNIT DEVELOPMENT)** from:

A-1 General Agriculture for the purpose of a residential subdivision

Property Address: 15700 SE 73rd Avenue

Legal Description: Attach a copy of the deed(s) with property legal description and demonstrating ownership.

Required Documents: Attach a copy of the required PUD Documents listed in the checklist on the reverse side of this application as required by LDC Section 4.2.31.F(2) and LDC Division 2.13.

Total PUD Acreage: 55 +/- acres **Maximum Proposed Residential Units:** 175
(# SFR 175 # MF 0)

Maximum Non-Residential (Commercial or Industrial) Acreage: None

The property owner must sign this application unless written authorization naming the listed applicant/agent to act on his/her behalf is attached.

Estate of Michael P. Couture- C/O Rep. Eva Couture Tillman & Associates Engineering, LLC

Property Owner name (please print)

Applicant/Agent Name (please print)

P.O. Box 114 15490 SE 73rd Ave.

1720 SE 16th Avenue, Bldg. 100

Mailing Address

Mailing Address

Summerfield, FL 34492 34491

Ocala, FL 34471

City, State, Zip Code

City, State, Zip Code

Not Available 352-245-2638

352-387-4540

Phone Number (include area code)

Phone Number (include area code)

Not Available

Permits@Tillmaneng.com

E-Mail Address (include complete address)

E-Mail Address (include complete address)

Eva Couture

[Signature]

Signature*

Signature

*By signing this application, applicant hereby authorizes Growth Services to enter onto, inspect, and traverse the property indicated above, to the extent Growth Services deems necessary, for the purposes of assessing this application and inspecting for compliance with County ordinance and any applicable permits.

NOTE: A zoning change will not become effective until after a final decision is made by the Marion County Board of County Commissioners and any applicable appeal period concludes. The owner, applicant or agent must be present at the public hearing to represent this application. If no representative is present and the board requires additional information, the request may be postponed or denied. Notice of said hearing will be mailed to the above-listed address(es). All information given by the owner and/or applicant/agent must be correct and legible in order to be processed.

STAFF/OFFICE USE ONLY			
Project No.:	<u>2019 10 0517</u>	Code Case No.:	Application No.:
Rcvd by:	<u>EM</u>	Rcvd Date:	<u>4/15/23</u> FLUM: <u>RL</u> AR No.: <u>32746</u> Rev: 12/21/23

Empowering Marion for Success

X A) Application Fee:

NEW PUD or PUD Amendment Requiring Board of County Commissioners Approval	PUD Amendment that does NOT require Board of County Commissioners Approval
BASE FEE: \$1,000.00 AND PLUS \$5.00 X maximum number of potential residential dwelling units (DU) (IF ANY) AND PLUS \$5.00 X maximum acreage (AC) for non-residential development (commercial, industrial, institutional, etc.) (IF ANY).	BASE FEE: \$150.00 AND PLUS \$5.00 X maximum number of potential residential dwelling units (DU) (IF ANY) AND PLUS \$5.00 X maximum acreage (AC) for non-residential development (commercial, industrial, institutional, etc.) (IF ANY).
Fee Calculation Method Example: (Base Fee - \$1,000 or \$150.00) + (\$875.00 X Max DUs) + (0 X Max Non-Res AC) = \$1,875.00 Total Fee	

~~B~~B) Conceptual Plan with Architectural information: At a minimum, the PUD Rezoning Application shall be accompanied by a Conceptual Plan, in compliance with Land Development Code Division 2.13 and Land Development Code Section 4.2.31, along with accompanying documentation for review by the County Growth Services Department and shall provide documentation addressing the following:

1. The name of the proposed PUD shall be centered at the top of the sheet along the long dimension of the sheet.
2. Vicinity map that depicts relationship of the site to the surrounding area within a 1 mile radius.
3. Drawing of the boundaries of the property showing dimensions of all sides.
4. Provide the acreage of the subject property along with a legal description of the property.
5. Identify the Comprehensive Plan future land use and existing zoning of the subject property (including acreage of each) and for all properties immediately adjacent to the subject property.
6. Identify existing site improvements on the site.
7. A list of the uses proposed for the development.
8. A typical drawing of an interior lot, corner lot, and cul-de-sac lot noting setback requirements. For residential development, the typical drawings will show a standard house size with anticipated accessory structure.
9. Proposed zoning and development standards (setbacks, FAR, building height, etc.).
10. Identify proposed phasing on the plan.
11. Identify proposed buffers.
12. Identify access to the site.
13. Preliminary building lot typical(s) with required yard setbacks and parking lot locations. *(This information must address all possible principle and accessory structures for all uses.)*
14. Preliminary sidewalk locations.
15. Proposed parallel access locations.
16. Required traffic impact analysis in compliance with Land Development Code 2.12.29.
17. Show 100 year floodplain on the site.
18. Show any proposed land or right of way dedication.
19. Identify any proposed parks or open spaces.
20. A note describing how the construction and maintenance of private roads, parking areas, detention areas, common areas, etc. will be coordinated during development and perpetually after the site is complete
21. Architectural renderings or color photos detailing the design features, color pallets, buffering details.
22. Any additional information that may be deemed appropriate for the specific project (e.g., documentation and/or presentation material by the owner or applicant/agent, or information identified as required or recommended by County staff in the pre-application meeting conducted prior to submitting the application).

COVENTRY SQUARE P.U.D. CONCEPT PLAN

MARION COUNTY, FLORIDA

PARCEL # 47667-000-00

PROJECT AREA: ± 55.00 ACRES

FUTURE LAND USE: RURAL LAND

PROPOSED LAND USE: MEDIUM RESIDENTIAL

CURRENT ZONING: A-1

PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

DETACHED SFR UNITS

NOTES:

1. THIS IS WITHIN THE SECONDARY SPRINGS PROTECTION ZONE
2. SIDEWALKS ONE SIDE OF ALL STREETS INTERNALLY, ALONG SE 73rd AVENUE (OR PAY FEE IN LIEU OF)
3. ACCESSORY USES ALLOWED AS IN R-1
4. PROPERTY WITH IN FLOOD ZONE "X" PER FIRM-PAN 12083C0885D
5. RENDERINGS OF AMENITIES AND HOMES ARE INTENDED TO BE CONCEPTUALS THAT ARE SIMILAR OR COMPATIBLE TO PROPOSED PRODUCT. FINAL PRODUCT IS SUBJECT TO DIFFER BASED ON MATERIAL, COLOR, OR DESIGN
6. APPLICANT RESERVES THE RIGHT TO MODIFY LOCATION OF HOMESITES AND AMENITY AREA PRIOR TO APPROVAL OF MASTER PLAN PROVIDED BUFFERS AS APPROVED ARE INSTALLED.
7. THIS PROPERTY SHALL BE MAINTAINED BY AN ESTABLISHED HOA OR DEVELOPER.

Tillman & Associates
ENGINEERING, LLC.

CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

COVER SHEET

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 01

INDEX OF SHEETS

01	COVER SHEET
02	LIST OF REQUIREMENTS
03	PUD CONCEPT
04	OVERALL RENDERINGS (TO BE PROVIDED AT LATER DATE)
05-A	SITE DATA
05-B	NOTES
05-C	LEGAL DESCRIPTION
05-D	FUTURE LAND USE
05-E	ZONING CLASSIFICATION
05-F	FLOOD ZONE MAP
06	TYPICALS
07	CROSS SECTION
08	BUFFER DETAILS
09-A, 09-B	BUFFER RENDERING
10-A, 10-B	HOUSE RENDERING
11	OPEN SPACE MAP & CALCULATIONS
12-A, 12-B, 12-C, 12-D, 12-E, 12-F	AMENITY RENDERING
13	SIGNAGE

LIST OF REQUIREMENTS

1. THE NAME OF THE PUD SHALL BE CENTERED AT THE TOP OF THE SHEET ALONG THE LONG DIMENSION OF THE SHEET. SEE SHEET 01- COVER SHEET
2. VICINITY MAP THAT DEPICTS RELATIONSHIP OF THE SITE TO THE SURROUNDING AREA WITHIN A 1 MILE RADIUS. SEE SHEET 05-A-SITE DATA
3. DRAWING OF THE BOUNDARIES OF THE PROPERTY SHOWING DIMENSIONS OF ALL SIDES. SEE SHEET 03-PUD CONCEPT
4. PROVIDE THE ACREAGE OF THE SUBJECT PROPERTY ALONG WITH A LEGAL DESCRIPTION OF THE PROPERTY. SEE SHEET 05-C-LEGAL DESCRIPTION
5. IDENTIFY THE COMPREHENSIVE PLAN FUTURE LAND USE AND EXISTING ZONING OF THE SUBJECT PROPERTY (INCLUDING ACREAGE OF EACH) AND FOR ALL PROPERTIES IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY. SEE SHEET 05-D-FUTURE LAND USE, SHEET 05-E-ZONING CLASSIFICATION
6. IDENTIFY EXISTING SITE IMPROVEMENTS ON THE SITE. NO IMPROVEMENTS ON SITE
7. A LIST OF THE USES PROPOSED FOR THE DEVELOPMENT. SEE SHEET 01-COVER SHEET
8. A TYPICAL DRAWING OF AN INTERIOR LOT, CORNER LOT, AND CUL-DE-SAC LOT NOTING SETBACK REQUIREMENTS. FOR RESIDENTIAL DEVELOPMENT, THE TYPICAL DRAWINGS WILL SHOW A STANDARD HOUSE SIZE WITH ANTICIPATED ACCESSORY STRUCTURE. SEE SHEET 06-TYPICALS-NO CUL-DE-SAC BEING PROVIDED
9. PROPOSED ZONING AND DEVELOPMENT STANDARDS (SETBACK, FAR, BUILDING HEIGHT, ETC.) SEE SHEET 05-A-SITE DATA
10. IDENTIFY PROPOSED PHASING ON THE PLAN. TO BE DONE AT MASTER PLAN
11. IDENTIFY PROPOSED BUFFERS. SEE SHEET 03-PUD CONCEPT, SHEET 08-A, 08-B -BUFFER DETAILS, SHEET 09-A, 09-B-BUFFER RENDERINGS
12. IDENTIFY ACCESS TO THE SITE. SEE SHEET 03-PUD CONCEPT
13. PRELIMINARY BUILDING LOT TYPICAL(S) WITH REQUIRED YARD SETBACK AND PARKING LOT LOCATIONS. (THIS INFORMATION MUST ADDRESS ALL POSSIBLE PRINCIPLE AND ACCESSORY STRUCTURES FOR ALL USES.) SEE SHEET 06-TYPICALS
14. PRELIMINARY SIDEWALK LOCATIONS. SEE SHEET 01- COVER SHEET, SEE NOTES
15. PROPOSED PARALLEL ACCESS LOCATIONS. SEE SHEET 03-PUD CONCEPT
16. REQUIRED TRAFFIC IMPACT ANALYSIS IN COMPLIANCE WITH LAND DEVELOPMENT CODE 2.12.29. TO BE PROVIDED
17. SHOW 100 YEAR FLOODPLAIN ON THE SITE. SEE SHEET 05-F-FLOOD ZONE MAP
18. SHOW ANY PROPOSED LAND OR RIGHT OF WAY DEDICATION. TO BE DETERMINED
19. IDENTIFY ANY PROPOSED PARKS OR OPEN SPACES. SEE SHEET 11-OPEN SPACE MAP & CALCULATIONS, SEE SHEET 12-A-AMENITY RENDERINGS
20. A NOTE DESCRIBING HOW THE CONSTRUCTION AND MAINTENANCE OF PRIVATE ROADS, PARKING AREAS, DETENTIONS AREAS, COMMON AREAS, ETC. WILL BE COORDINATED DURING DEVELOPMENT AND PERPETUALLY AFTER THE SITE IS COMPLETE. SEE NOTE 7 ON COVER SHEET
21. ARCHITECTURAL RENDERINGS OR COLOR PHOTOS DETAILING THE DESIGN FEATURES, COLOR PALLETS, BUFFERING DETAILS. SEE SHEET 09-A, 09-B-BUFFER RENDERINGS, SEE SHEET 12-A,B,C,D,E,F-AMENITY RENDERINGS, SEE SHEET 13-SIGNAGE
22. ANY ADDITIONAL INFORMATION THAT MAY BE DEEMED APPROPRIATE DOR THE SPECIFIC PROJECT (E.G., DOCUMENTATION AND/OR PRESENTATION MATERIAL BY THE OWNER OR APPLICANT/AGENT, OR INFORMATION IDENTIFIED AS REQUIRED OR RECOMMENDED BY COUNTY STAFF IN THE PRE-APPLICATION MEETING CONDUCTED PRIOR TO SUBMITTING THE APPLICATION). N/A



CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
 Office: (352) 387-4540 Fax: (352) 387-4545

STRATEGIC DEVELOPMENT, COVENTRY SQUARE
 MARION COUNTY, FLORIDA

LIST OF REQUIREMENTS

DATE 3/18/25
 DRAWN BY _____
 CHKD. BY JH
 JOB NO. 24-9157
 SCALE _____
 SHT. 02

SITE DATA TABLE

OWNER/DEVELOPER:
 ENCLAVE HOUSING LLC,
 JOEL ROSENBERG

PARCEL: 47667-000-00

PROJECT AREA:
 TOTAL = 55.00 ± AC.

LAND USE & ZONING:
 EXISTING FUTURE LAND USE: RURAL LAND
 PROPOSED LAND USE: MEDIUM DENSITY REIDENTIAL
 EXISTING ZONING: A-1
 PROPOSED ZONING: PUD

DENSITY:
 TOTAL ALLOWABLE = 220 UNITS (PER MR LANDUSE)
 TOTAL SHOWN = 165 UNITS
 TOTAL DENSITY NOT TO EXCEED 175 UNITS

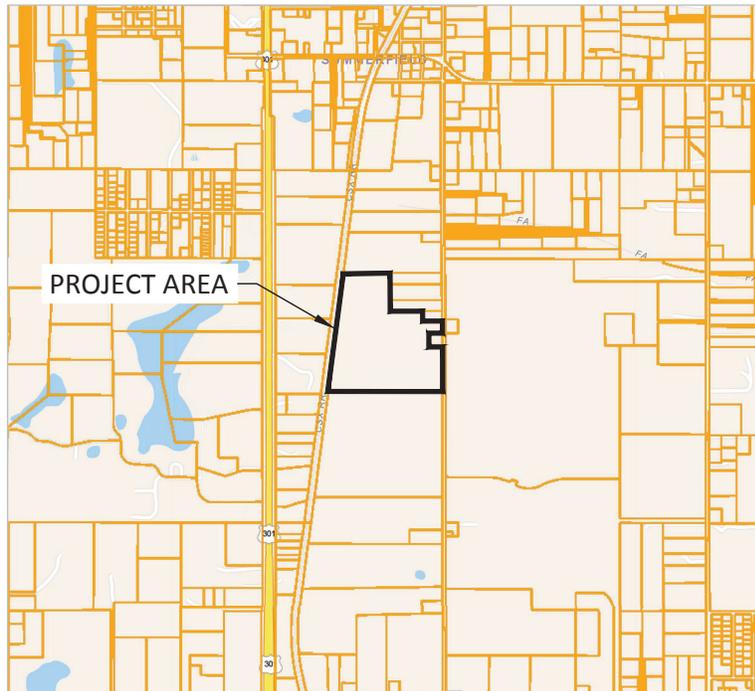
MINIMUM BUILDING LOT
LINE SETBACKS: - INCLUDES AMENITIES
 FRONT - 20' MIN.
 REAR - 15' MIN. (5') ACCESSORY
 SIDE - 5'/15' MIN. (5') ACCESSORY

MAX BUILDING HEIGHT:
 40'

PROPOSED LOTS:

	(A) 50' X 115' MIN. LOTS	114 UNITS
	(B) 60' X 115' MIN. LOTS	51 UNITS
TOTAL		165 UNITS

 PROPOSED BUFFERS:
 AS SHOWN ON CONCEPT PLAN



VICINITY MAP

Tillman & Associates
 ENGINEERING, LLC.

CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
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 Office: (352) 387-4540 Fax: (352) 387-4545

STRATEGIC DEVELOPMENT, COVENTRY SQUARE
 MARION COUNTY, FLORIDA

SITE DATA

DATE 3/18/25
 DRAWN BY _____
 CHKD. BY JH
 JOB NO. 24-9157
 SCALE _____
 SHT 05-A

NOTES:

1. THE PROJECT MAY BE DEVELOPED IN MULTIPLE PHASES, AT THE DISCRETION OF THE DEVELOPER. THE DEVELOPER SHALL NOTIFY THE COUNTY OF PROPOSED PHASING CHANGES AT THE TIME OF SITE PLAN SUBMITTAL(S). EACH PHASE MAY INCLUDE TEMPORARY SUPPORT TRAILERS (INCLUDING BUT NOT LIMITED TO SALES, CONSTRUCTION, DEVELOPMENT AND REAL ESTATE OFFICES) WHICH WILL BE REMOVED UPON COMPLETION OF WORK IN EACH APPLICABLE PHASE. INFRASTRUCTURE NECESSARY TO SUPPORT EACH PHASE OF THE PROJECT SHALL BE CONSTRUCTED CONCURRENTLY WITH THAT PHASE AS A CONDITION OF PLATTING AND/OR SITE PLAN APPROVAL.
2. ALL BUFFERS SHALL ADHERE TO THE MARION COUNTY LDC STANDARDS FOR ADJOINING USES ON THE EXTERIOR OF THE P.U.D. BOUNDARIES EXCEPT AS OTHERWISE DEFINED WITHIN THE SUBMITTED DOCUMENTS. NO INTERNAL BUFFER SHALL BE REQUIRED AND LEFT UP TO THE DISCRETION OF THE DEVELOPER.
3. THE PROJECT SHALL CONNECT TO MARION COUNTY UTILITIES FOR WATER AND SEWER.
4. APPLICANT RESERVES THE ABILITY TO REARRANGE OR MODIFY LOCATION OF HOUSING UNIT TYPES PRIOR TO APPROVAL OF FINAL MASTER PLAN. PROVISIONS FOR ADEQUATE BUFFERS WILL BE PROVIDED.
5. THIS PROJECT WILL BE PLATTED AS FEE-SIMPLE LOTS.
6. PRIVATE ROAD STATUS WITH 50' RIGHT-OF-WAY WIDTH TOGETHER WITH 10.00' UTILITY EASEMENT.
7. ALL LOTS IN THIS SUBDIVISION WILL BE SERVED BY CENTRAL WATER AND SEWER.
8. ALL LOTS/TRACTS IN THIS SUBDIVISION SHALL USE THE INTERNAL SUBDIVISION ROADWAYS FOR DRIVEWAY/VEHICLE ACCESS.
9. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
10. HOME OWNERS ASSOCIATION IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF BOTH NEW AND REPLACEMENT QUADRANT STREET SIGNS.
11. H.O.A. IS RESPONSIBLE FOR THE STORM WATER MAINTENANCE.
12. ACCESSORY STRUCTURES (SCREEN ENCLOSURES, ETC.) SHALL CONFORM TO THE BUILDING SETBACKS AS DETAILED.
13. ADDITIONAL PERMITS WILL BE REQUIRED FOR SIGNAGE, WHICH MAYBE LOCATED IN BUFFER EASEMENT. AND WILL COMPLY WITH LDC REGULATIONS.

DEVELOPMENT NOTES

1. ROADS, DETENTION AREAS, AND COMMON AREAS WILL BE CONSTRUCTED BY THE DEVELOPER AND WILL BE EVENTUALLY MAINTAINED BY DECLARANT POA .

ARCHITECTURAL STYLE

NOTES: FAÇADE COLORS SHALL BE LOW REFLECTANCE, SUBTLE, OR NEUTRAL TONE COLORS. BUILDING TRIM AND ACCENT AREAS MAY FEATURE BRIGHTER COLORS, INCLUDING PRIMARY COLORS.



CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
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 Office: (352) 387-4540 Fax: (352) 387-4545

STRATEGIC DEVELOPMENT, COVENTRY SQUARE
 MARION COUNTY, FLORIDA

NOTES

DATE 3/18/25
 DRAWN BY _____
 CHKD. BY JH
 JOB NO. 24-9157
 SCALE _____
 SHT 05-B

LEGAL DESCRIPTION:

PARCEL 9: TAX ID# 47667-000-00

THAT PART OF THE NORTH 675.00 FEET (BY PERPENDICULAR MEASUREMENT) OF THE SOUTHEAST 1/4 OF SECTION 19, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, LYING EAST OF RAILROAD.

AND

THAT PART OF THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, LYING EAST OF RAILROAD. LESS THE NORTH 1532.97 FEET THEREOF.

AND

THE NORTH 675.00 FEET (BY PERPENDICULAR MEASUREMENT) OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA. LESS RIGHT-OF-WAY FOR S.E. 73RD AVENUE ACROSS THE EAST SIDE THEREOF.

AND

THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA. LESS THE NORTH 1532.97 FEET THEREOF; LESS RIGHT-OF-WAY FOR S.E. 73RD AVENUE ACROSS THE EAST SIDE THEREOF.

AND

ALSO LESS THE FOLLOWING DESCRIBED THREE (3) PARCELS:
PROPERTY DESCRIBED IN O.R. BOOK 4016, PAGE 26, PUBLIC RECORDS OF MARION COUNTY, FLORIDA;
PROPERTY DESCRIBED IN O.R. BOOK 1157, PAGE 1676, PUBLIC RECORDS OF MARION COUNTY, FLORIDA;

AND

PROPERTY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; THENCE RUN S00°11'10"E ALONG THE EAST BOUNDARY OF SAID WEST 1/2 OF NORTHWEST 1/4 1532.97 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE S00°11'10"E 574.11 FEET TO A POINT WHICH IS N00°11'10"W 574.76 FEET FROM THE SOUTHEAST CORNER OF THE WEST 1/2 OF THE NORTHWEST 1/4; THENCE WEST 808.46 FEET; THENCE N00°54'12"W 574.17 FEET; THENCE EAST TO THE POINT OF BEGINNING.

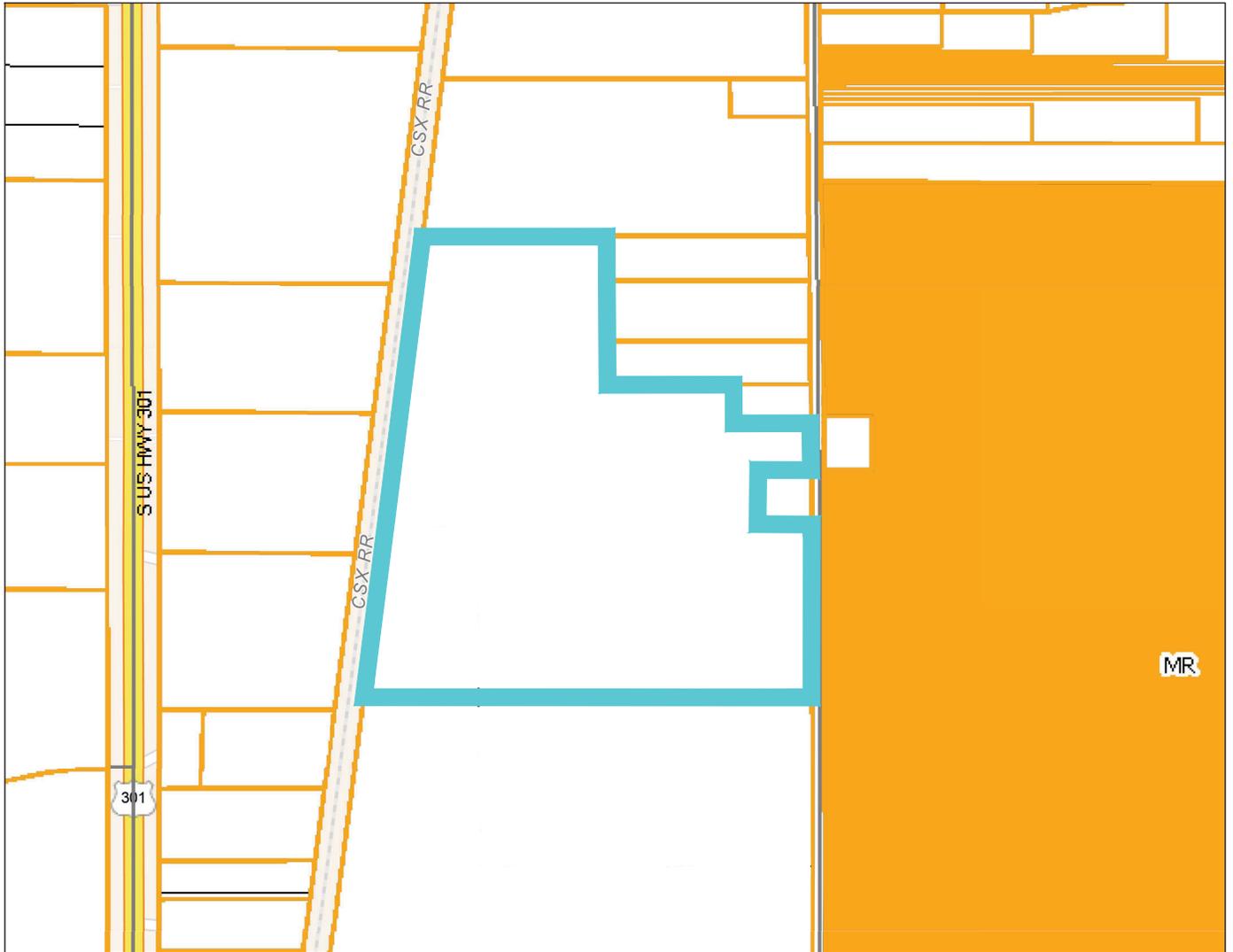


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Office: (352) 387-4540 Fax: (352) 387-4545

STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

LEGAL DESCRIPTION

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT 05-C



- | | |
|-------------------------|----------------------------------|
| Marion County | Medium Residential (1 - 4 du/ac) |
| Parcels | Preservation (N/A; N/A) |
| Future Land Use | Streets |
| Rural Land (1 du/10 ac) | |



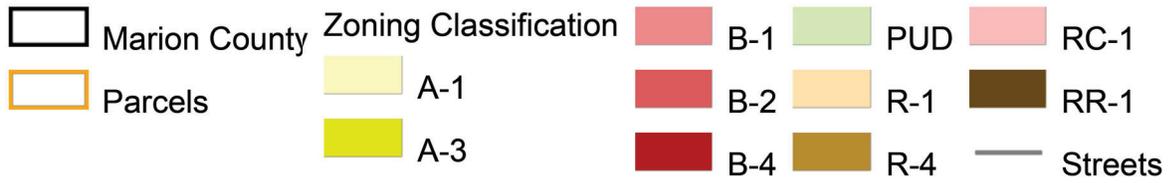
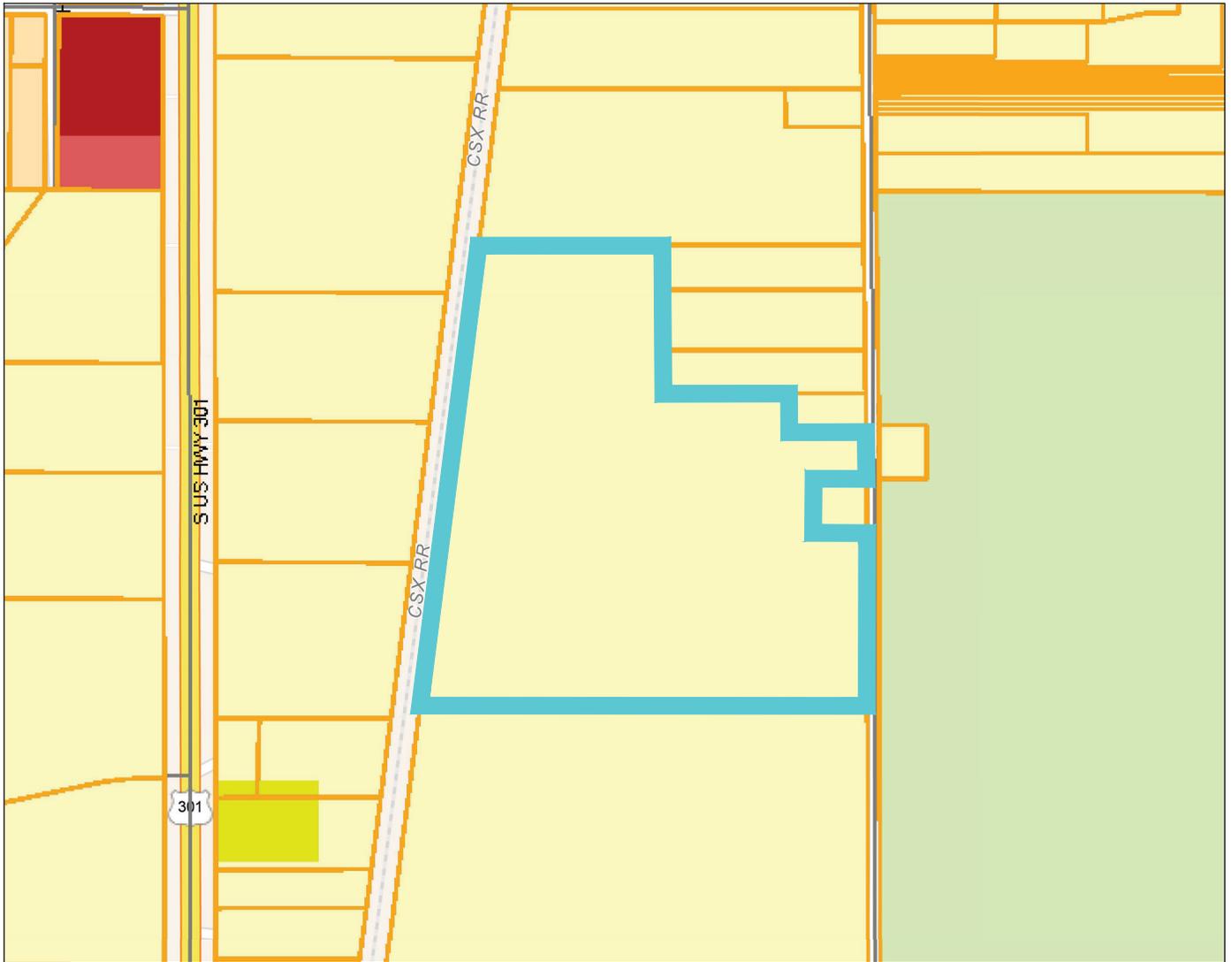
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

FUTURE LAND USE

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 05-D



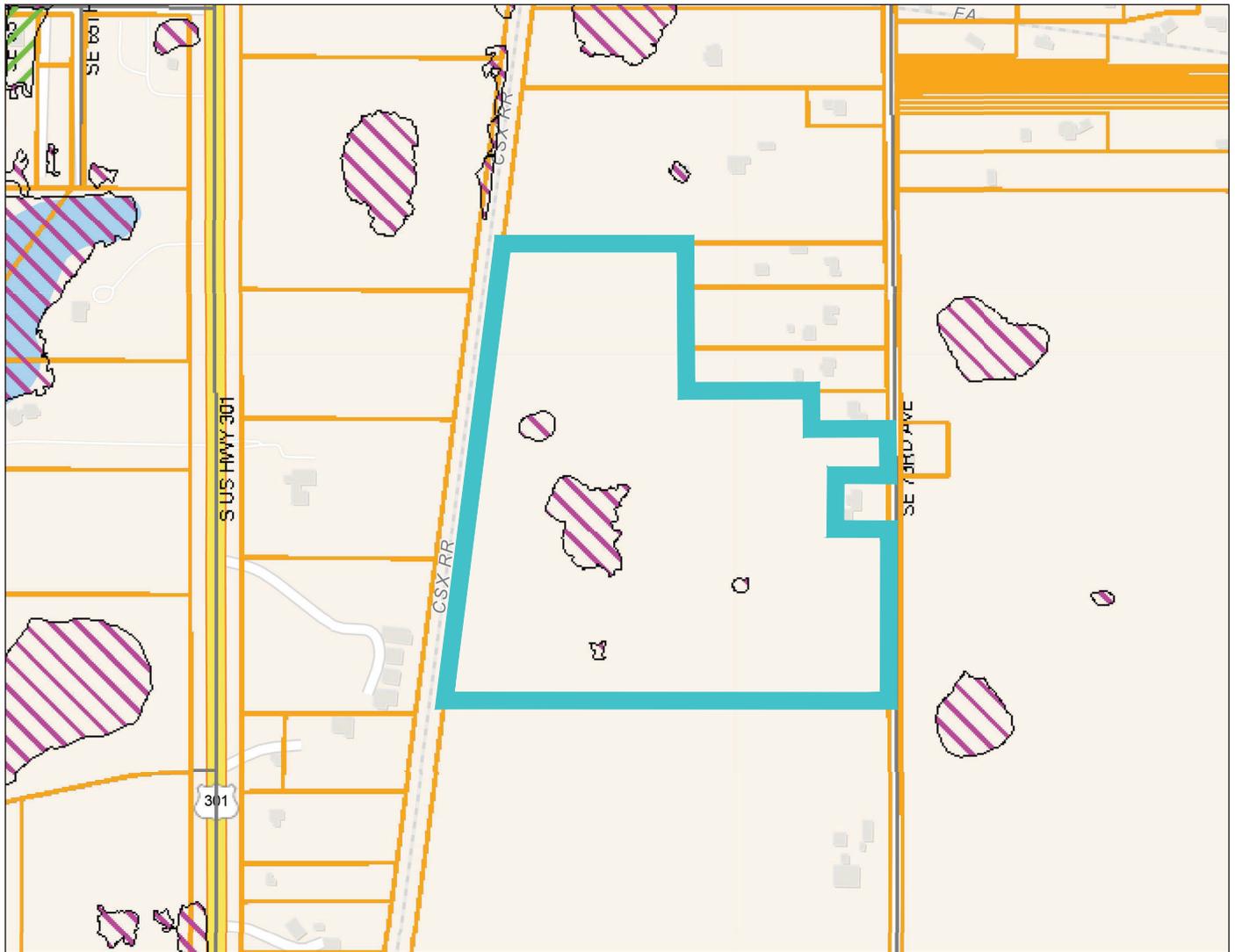
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

ZONING CLASSIFICATION

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 05-E



-  Marion County
-  Transitional Flood Prone Areas
-  Flood Prone Areas
-  Parcels
-  Streets



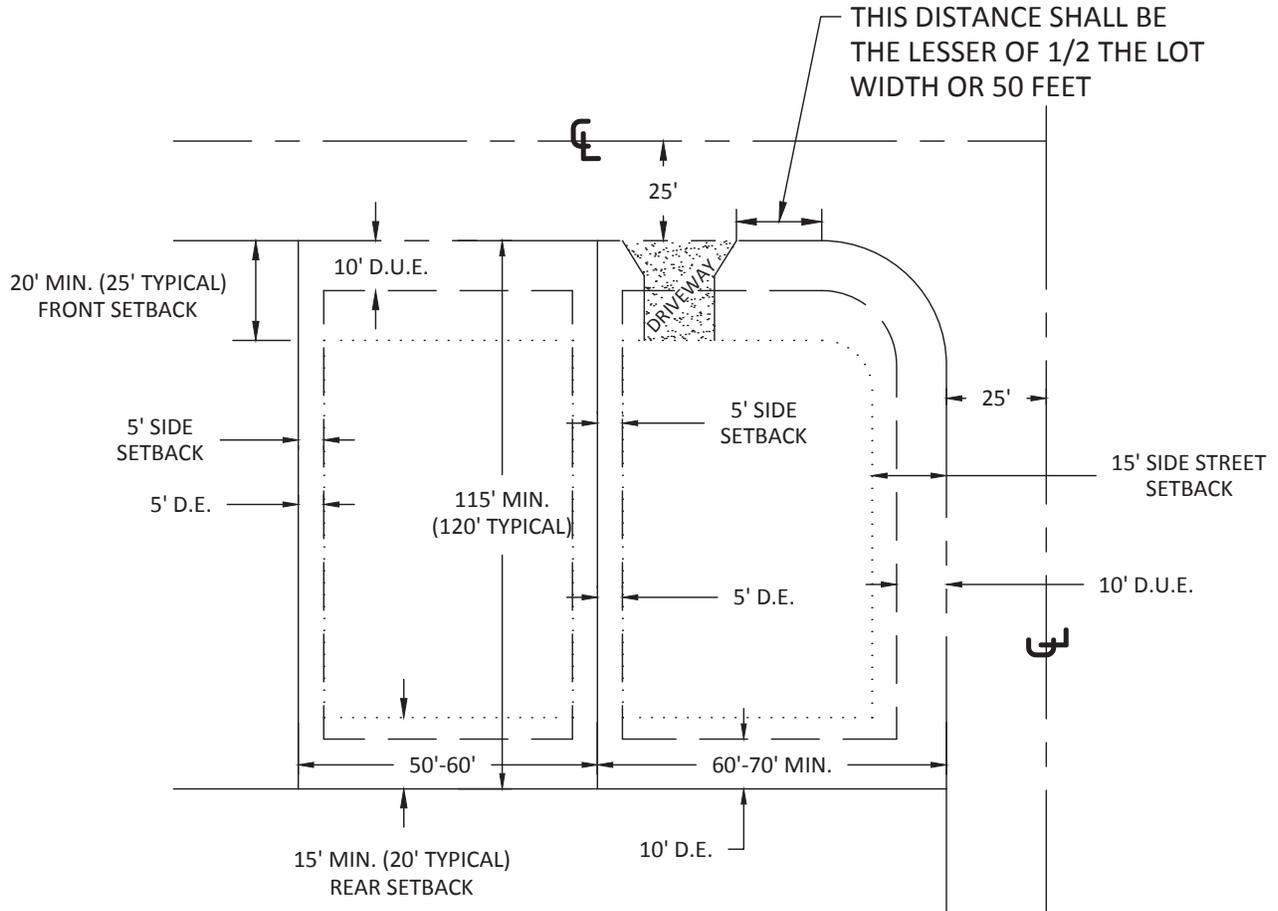
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

FLOOD ZONE MAP

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 05-F



TYPICAL LOT DETAILS

N.T.S

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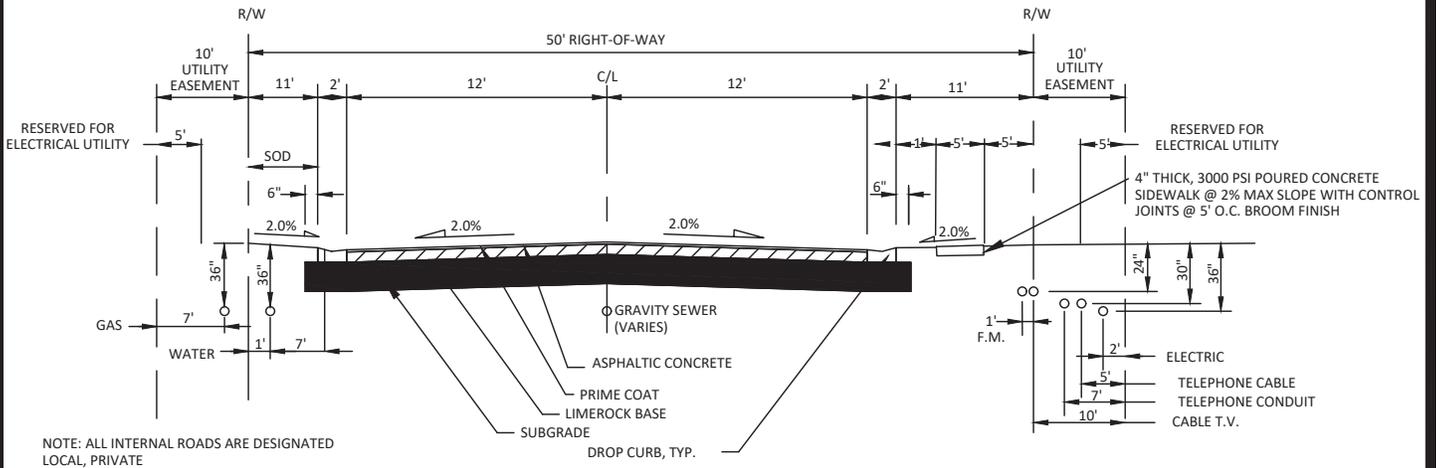
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MARION COUNTY, FLORIDA

TYPICALS

DATE 3/18/25
DRAWN BY
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT. 06



50' PRIVATE LOCAL RIGHT-OF-WAY ROADWAY SECTION

N.T.S

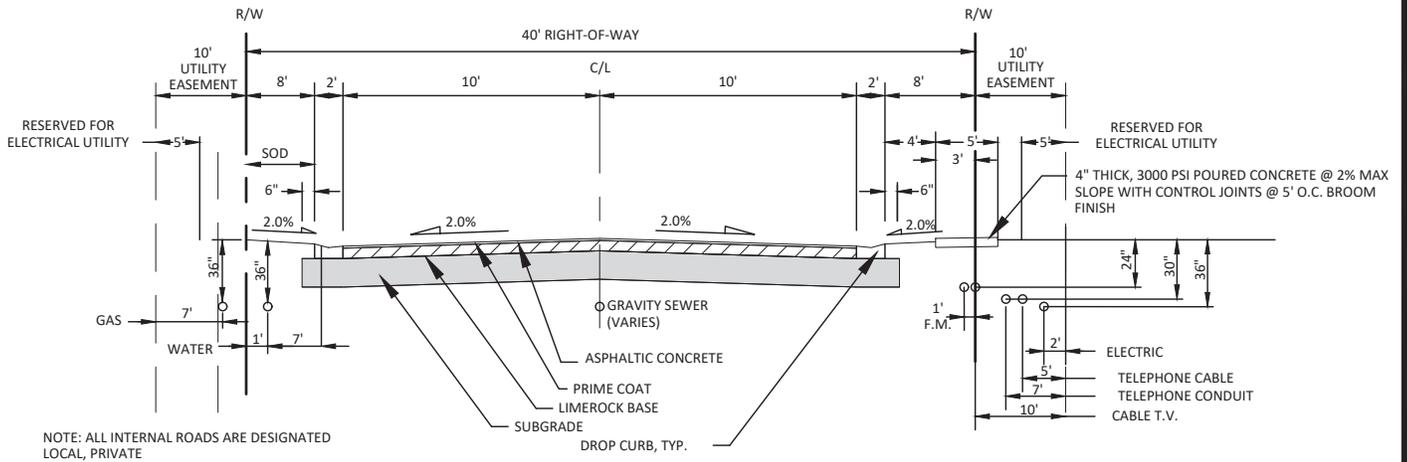
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MARION COUNTY, FLORIDA

CROSS SECTIONS

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 07



40' PRIVATE LOCAL RIGHT-OF-WAY ROADWAY SECTION

N.T.S

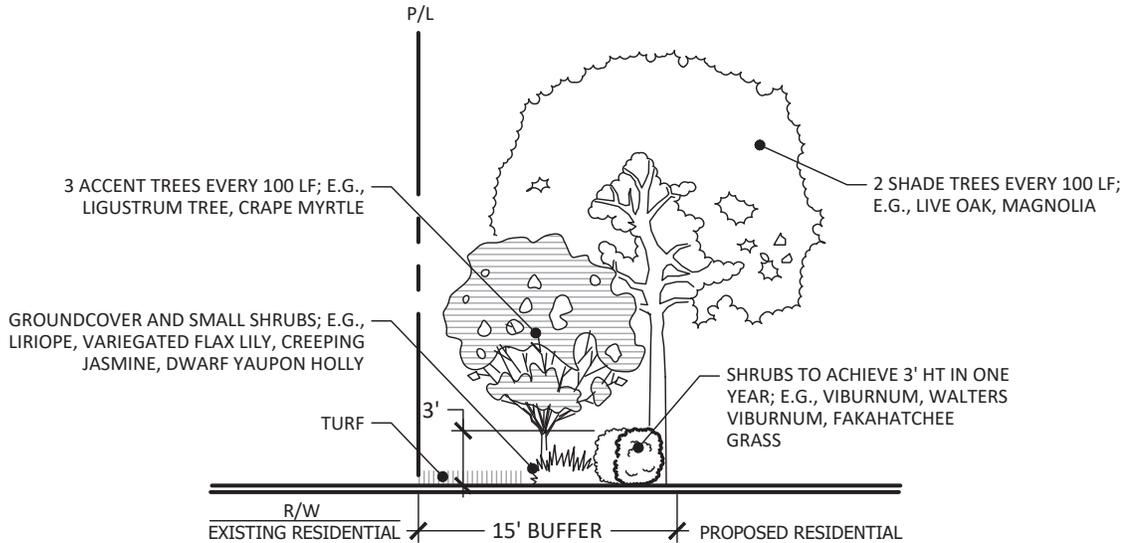
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MARION COUNTY, FLORIDA

CROSS SECTIONS

DATE 3/18/25
DRAWN BY SM
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 07

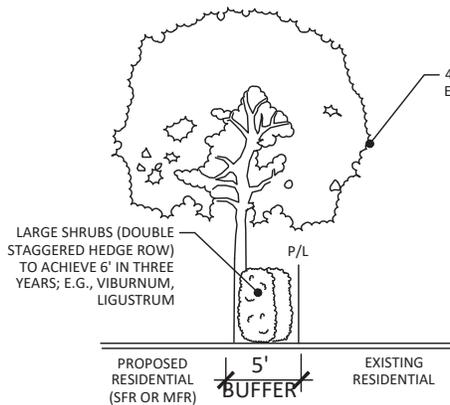


TYPE 'C' BUFFER (ALONG PUBLIC ROAD)

NOT TO SCALE

TYPE 'C' BUFFER

SHALL CONSIST OF A 15-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR.

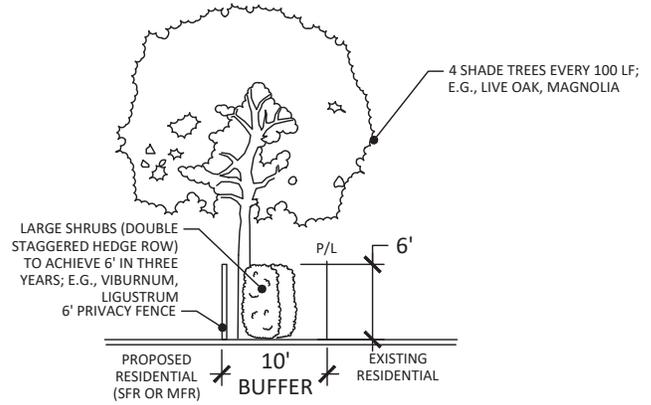


TYPE 'E' BUFFER

NOT TO SCALE

TYPE 'E' BUFFER

SHALL CONSIST OF A FIVE-FOOT WIDE LANDSCAPE STRIP. THE BUFFER SHALL CONTAIN AT LEAST FOUR SHADE TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS TO BE PLANTED IN A DOUBLE-STAGGERED ROW AND BE CAPABLE OF REACHING A MAINTAINED HEIGHT OF SIX FEET WITHIN THREE YEARS. GROUNDCOVERS AND/OR TURFGRASS SHALL NOT BE USED IN THIS BUFFER.



MODIFIED TYPE 'E' BUFFER

NOT TO SCALE

MODIFIED TYPE 'E' BUFFER

SHALL CONSIST OF A TEN-FOOT WIDE LANDSCAPE STRIP WITH A 6' PRIVACY FENCE. THE BUFFER SHALL CONTAIN AT LEAST FOUR SHADE TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS TO BE PLANTED IN A DOUBLE-STAGGERED ROW AND BE CAPABLE OF REACHING A MAINTAINED HEIGHT OF SIX FEET WITHIN THREE YEARS. GROUNDCOVERS AND/OR TURFGRASS SHALL NOT BE USED IN THIS BUFFER.

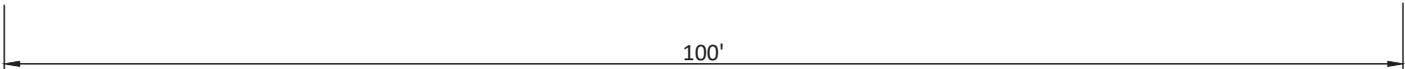
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MARION COUNTY, FLORIDA

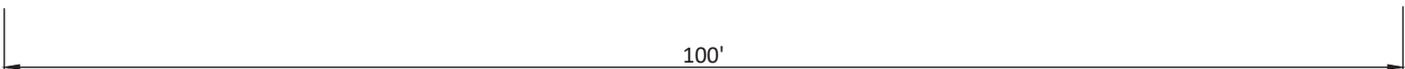
BUFFER DETAILS

DATE 3/18/25
DRAWN BY
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.
SHT. 08



100'

TYPE 'C' BUFFER



100'

TYPE 'C' BUFFER

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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

BUFFER RENDERINGS

DATE 03/25/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT 09-A



100'

TYPE 'E' BUFFER



100'

MODIFIED TYPE 'E' BUFFER

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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
 MARION COUNTY, FLORIDA

BUFFER RENDERING

DATE 03/25/25

DRAWN BY _____

CHKD. BY JH

JOB NO. 24-9157

SCALE _____

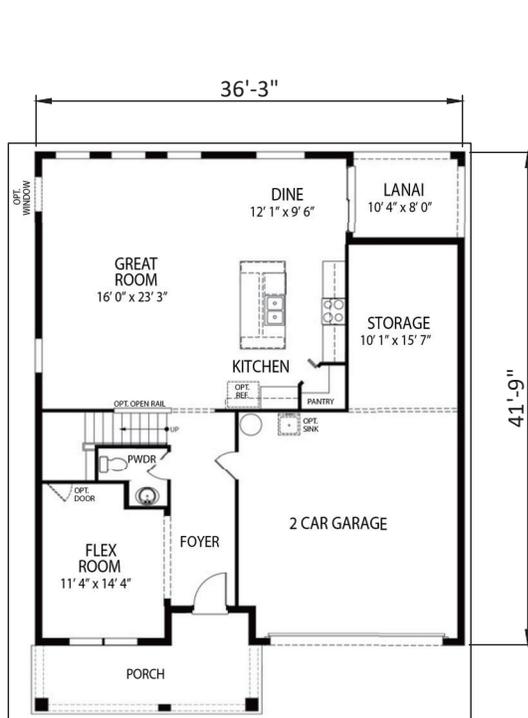
SHT 09-B



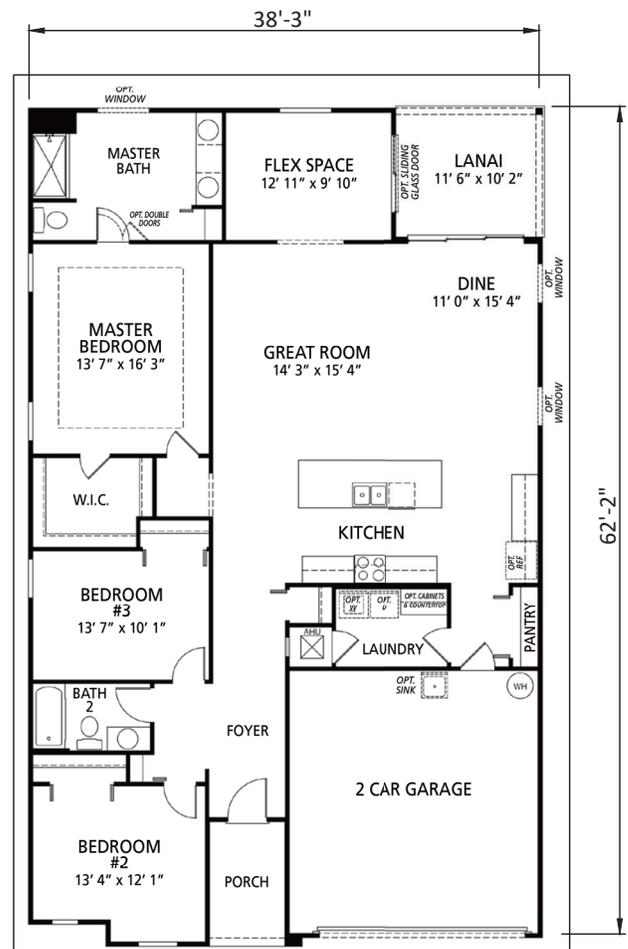
Carlisle



Drexel



4-5 Bedrooms 2-3 Car Garage
 2.5 Bathrooms 2,802 Finished Sq. Ft.



3-4 Bedrooms 2 Car Garage
 2 Bathrooms 1,988 Finished Sq. Ft.

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 MARION COUNTY, FLORIDA

HOUSE RENDERINGS

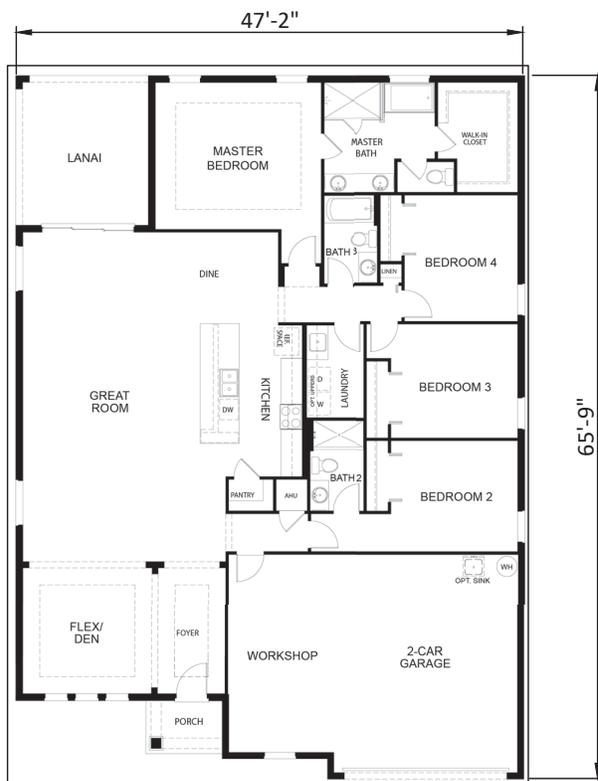
DATE 3/18/25
 DRAWN BY _____
 CHKD. BY JH
 JOB NO. 24-9157
 SCALE _____
 SHT. 10-A



Harmony



Melody



4 Bedrooms
3 Bathrooms
2-3 Car Garage
2,471 Finished Sq. Ft.



3-4 Bedrooms
2 Bathrooms
2-3 Car Garage
2,061 Finished Sq. Ft.

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MARION COUNTY, FLORIDA

HOUSE RENDERINGS

DATE 3/18/25
DRAWN BY
CHKD. BY JH
JOB NO. 24-9157
SCALE
SHT. 10-B



OPEN SPACE CALCULATIONS

REQUIRED:

1. OPEN SPACE: (20% OF PROJECT AREA) 0.20 X 55.0 = 11.00± AC.
2. IMPROVED OPEN SPACE (AMENITY): (5% OF OPEN SPACE) 0.05 X 11.00 = 0.55±AC.

PROVIDED:

TOTAL PROVIDED OPEN SPACE: 15.38±AC.

- 1. OPEN SPACE: 10.30 ± AC.
- 2. IMPROVED OPEN SPACE: 1.60 ± AC.
- 3. DRA: 2.10 ± AC. (25% of 8.41 Ac.)
- 4. BUFFERS: 1.38 ± AC.



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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

**OPEN SPACE MAP
AND CALCULATIONS**

DATE 3/18/25

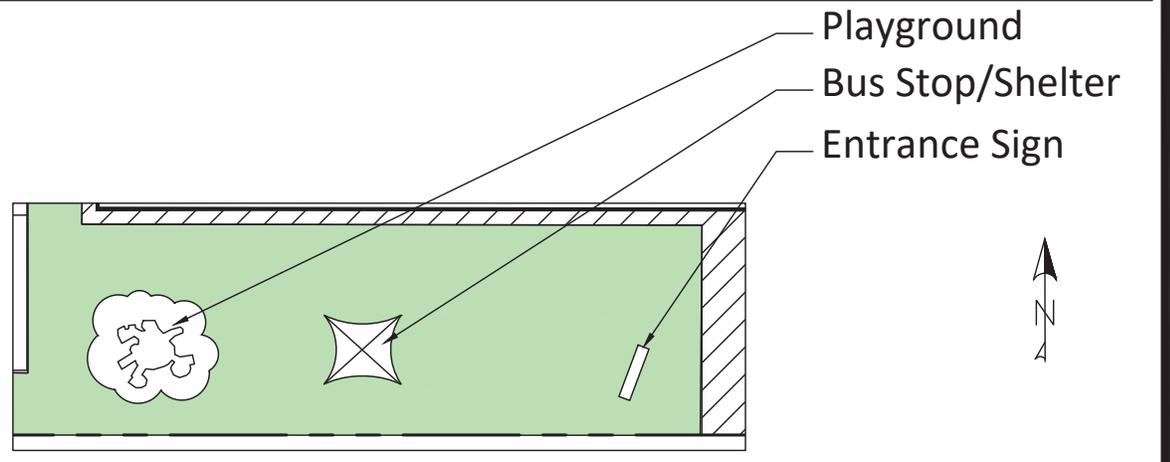
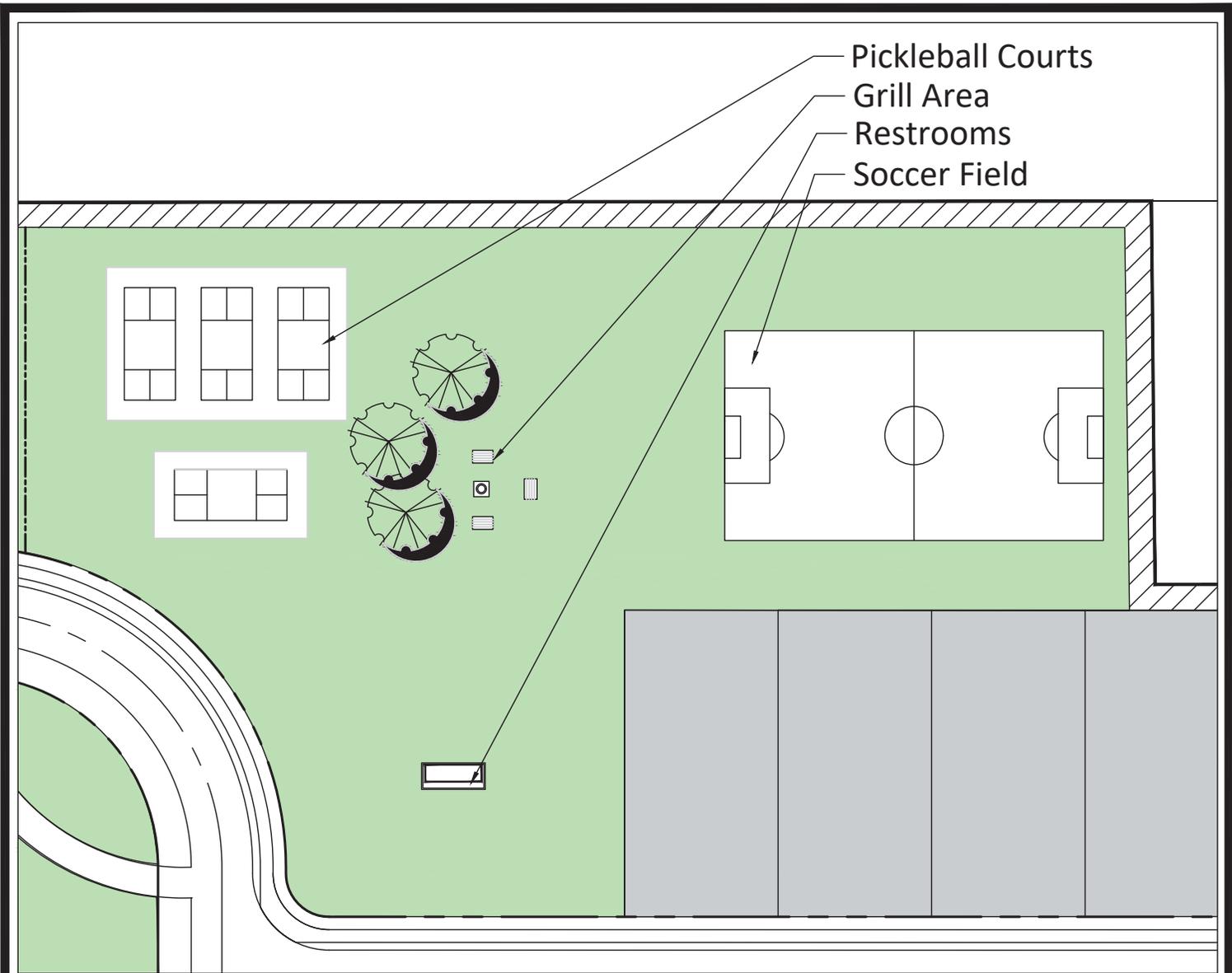
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SCALE 1"=250'

SHT. 11



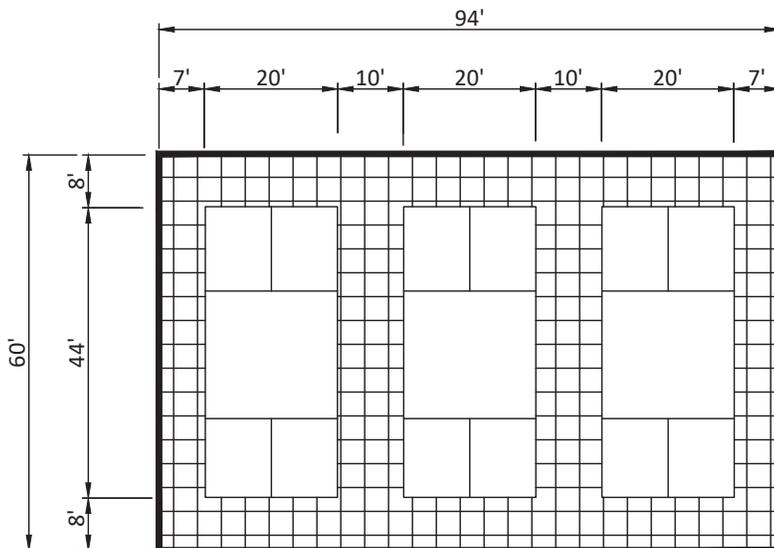
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MARION COUNTY, FLORIDA

AMENITY RENDERINGS

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE _____
SHT. 12-A



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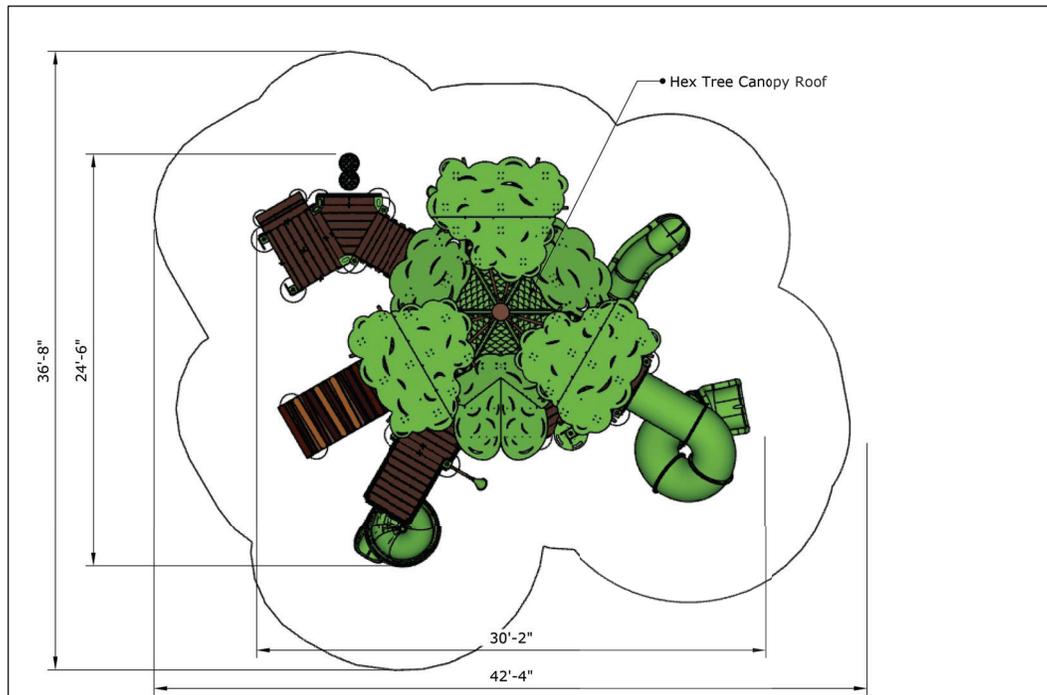
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

PICKLEBALL COURTS
AMENITY RENDERINGS

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT 12-B



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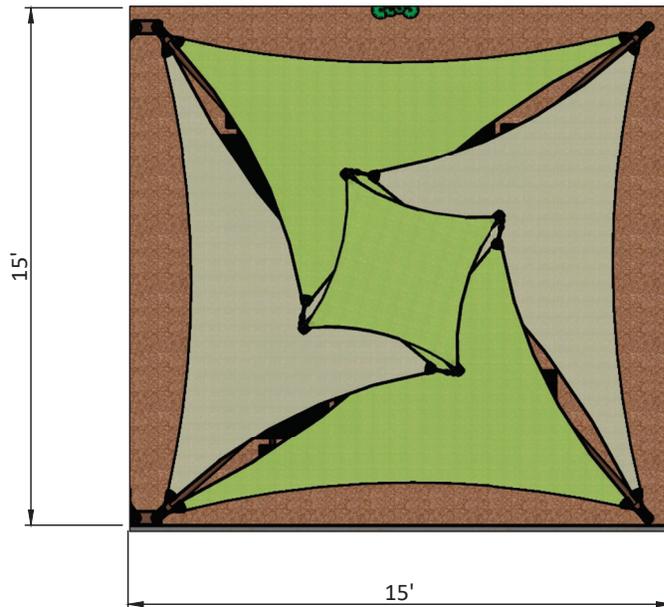
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

**PLAYGROUND
AMENITY RENDERINGS**

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT 12-C



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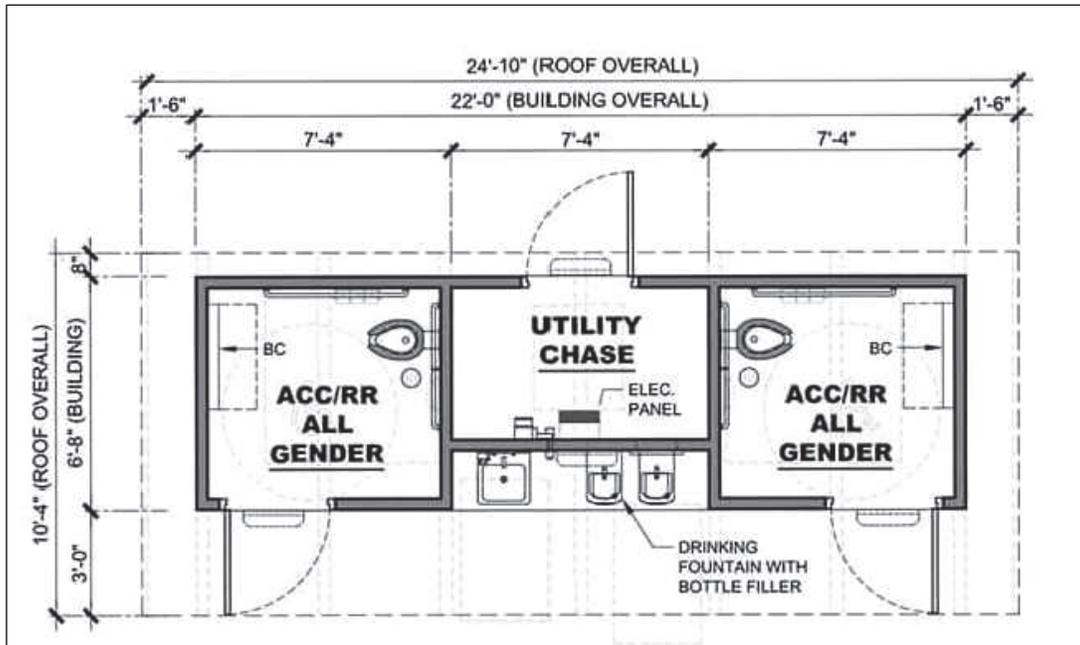
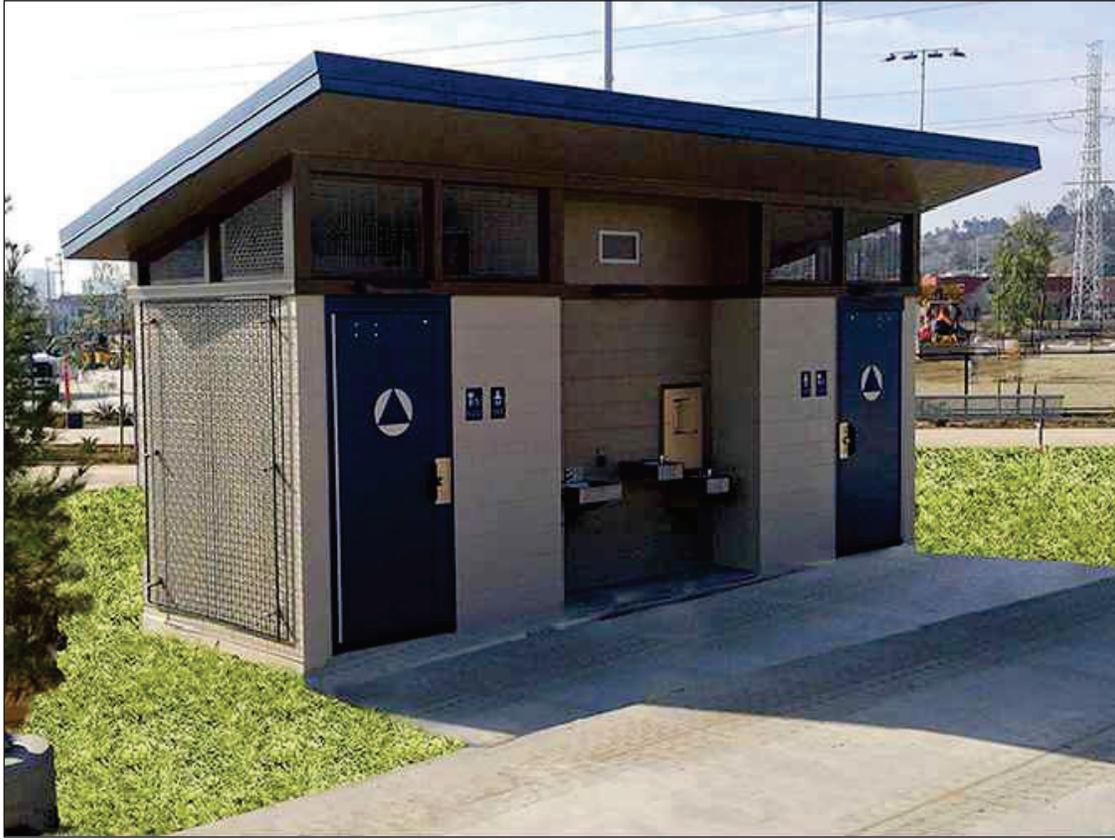
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

**BUS STOP / SHELTER
AMENITY RENDERINGS**

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT 12-D



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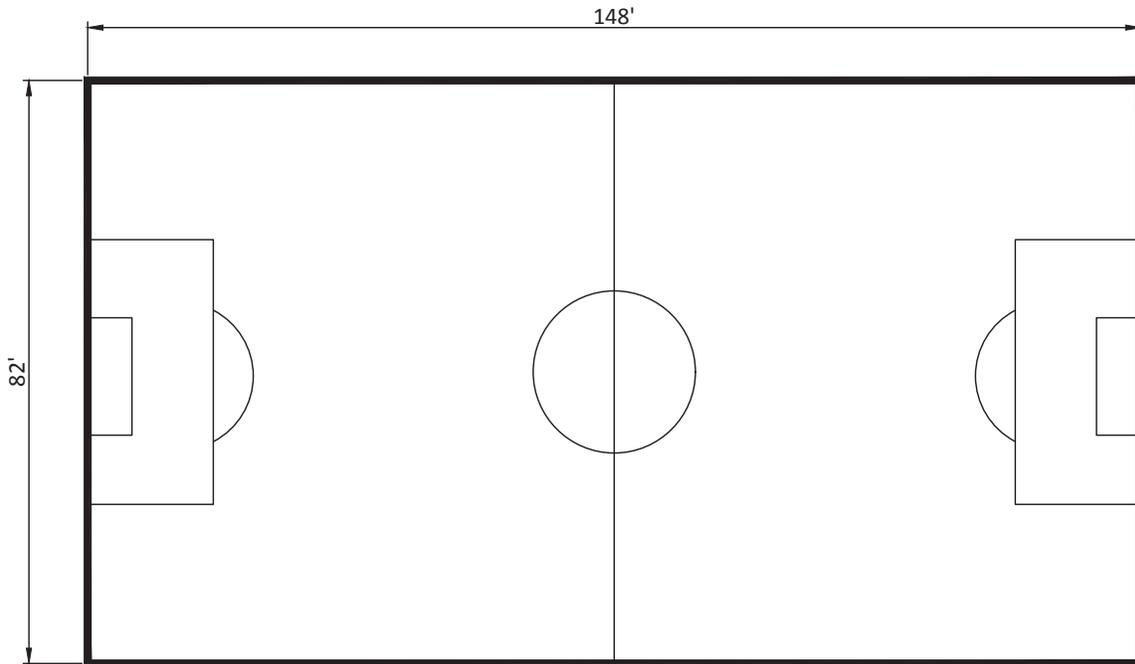
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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

RESTROOMS
AMENITY RENDERINGS

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT 12-E



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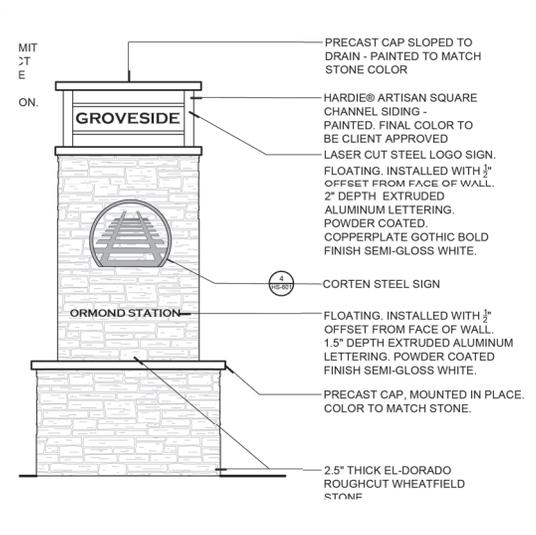
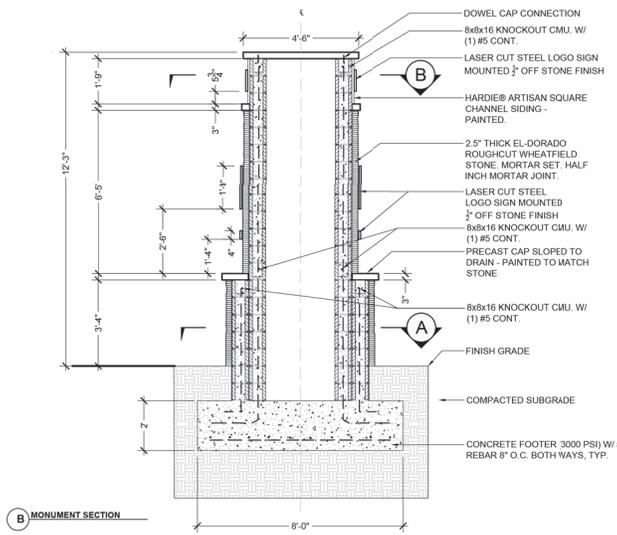
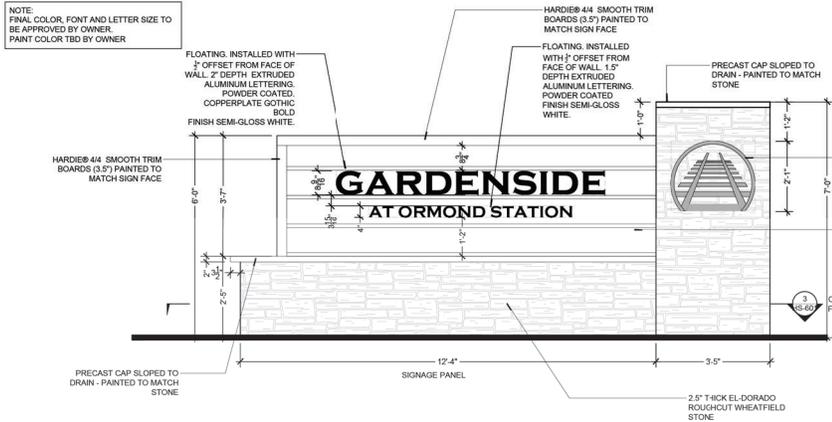
STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

**SOCCER FIELD
AMENITY RENDERINGS**

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT 12-F

Please note this is a sample



Please note that either sign may be placed at entrance location. All other signage to conform with LDC standards.

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STRATEGIC DEVELOPMENT, COVENTRY SQUARE
MARION COUNTY, FLORIDA

SIGNAGE RENDERINGS

DATE 3/18/25
DRAWN BY _____
CHKD. BY JH
JOB NO. 24-9157
SCALE N.T.S.

SHT. 13



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19942

Agenda Date: 7/21/2025

Agenda No.: 6.3.

SUBJECT:

Kim Triani Pool Spa Deck Enclosure - Waiver Request to Major Site Plan

16049 SE 100th Ln Ocklawaha

Project #2025070024 #33057

Parcel #90411-002-01 Permit #2025060769

Costas Oasis

LDC 2.21.1.A(1) - Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver for two lots combined to one address. Stormwater should not be an issue. Large parcels all sand and absorbed. Possible swale. Two large lots. No surrounding development. Soil is all sand and permeable space is more than ample. Possible swale if necessary. Applicant requests a waiver to the major site plan for swimming pool construction. The site will be over the allowed 9,000 square feet per Marion County LDC - 2,961 square feet of deck area. The pool is permeable at 790 square feet.

July 17, 2025

PROJECT NAME: KIM TRIANI POOL SPA DECK ENCLOSURE

PROJECT NUMBER: 2025070024

APPLICATION: DRC WAIVER REQUEST #33057

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: No issue with Fire

- 2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.

- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.

- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED Parcel 90411-002-01 is within the Marion County Utility service area but is currently outside of connection distance. Marion County Utilities has no comment regarding impervious surface area at this time.
The parcel is located outside the Urban Growth Boundary and within the Secondary Springs Protection Zone.

- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour storm from the total impervious overage on the property. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.
The applicant owns a 3.23 -acre parcel (90411-002-01) and according to the MCPA, there is approximately 3,081 sf existing impervious area on-site with 4,839 sf being added per permit 2022110711. The applicant is proposing to add 3,603 sf for a pool+deck. The total existing and proposed impervious area is 11,523 sf. The site will be approximately 2,523 sf over the allowed 9,000 sf per the Marion County LDC. There is no FEMA Special Flood Hazard Areas or Flood Prone Areas on the property. Staff recommends approval with conditions.



**Marion County
Board of County Commissioners**

AR #33057

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 06-19-25 Parcel Number(s): 90411-002-01 Permit Number: 2025-06-0769

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Kim Triani Pool Spa Deck Enclosure Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Kimberly Triani
Signature: [Signature]
Mailing Address: 10653 SE 100th Ln. City: Ocklawaha 32179
State: FL Zip Code: 32179 Phone #: _____
Email address: trianikimberly@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): COSTA'S OASIS Contact Name: David S. DeLafield
Mailing Address: 3004 Ohara Drive City: New Port Richey
State: FL Zip Code: 34655 Phone # cell 863-602-4332 office 352-49-7943
Email address: David.deLafield@COSTASOASIS.COM

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.21.1.A Major Site Plan
Reason/Justification for Request (be specific):
2 lots combined to 1 address. Storm water should not be an issue
Large parcels all sand and absorbent. Possible swale

DEVELOPMENT REVIEW USE:

Received By: Email 7/9/25 Date Processed: 7/10/25 CF Project # 2025070024 AR # 33057

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 2021.1.1A Major Site Plan

Reason/Justification for Request (be specific):
Two large lots. no surrounding development. Soil is all sand and permeable space is more than ample. possible SWALE if necessary.

~~Section & Title of Code (be specific)~~ Continued. - Applicant requests a waiver

~~Reason/Justification for Request (be specific):~~
To the major site plan for swimming pool construction, the site will be over the allowed 9000 sq ft. per marion county LDC. 2961 sq of deck area. pool is permeable @ 790 sq.

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

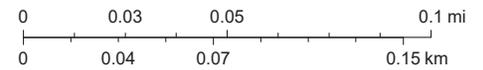
Marion County Florida - Interactive Map



7/10/2025, 11:22:59 AM

- Marion County
- Parcels
- County Road Maintenance
- OCE Maintained Paved
- Not Maintained
- Streets
- Green: Band_2
- Blue: Band_3
- Red: Band_1
- Aerial 2024

1:2,257

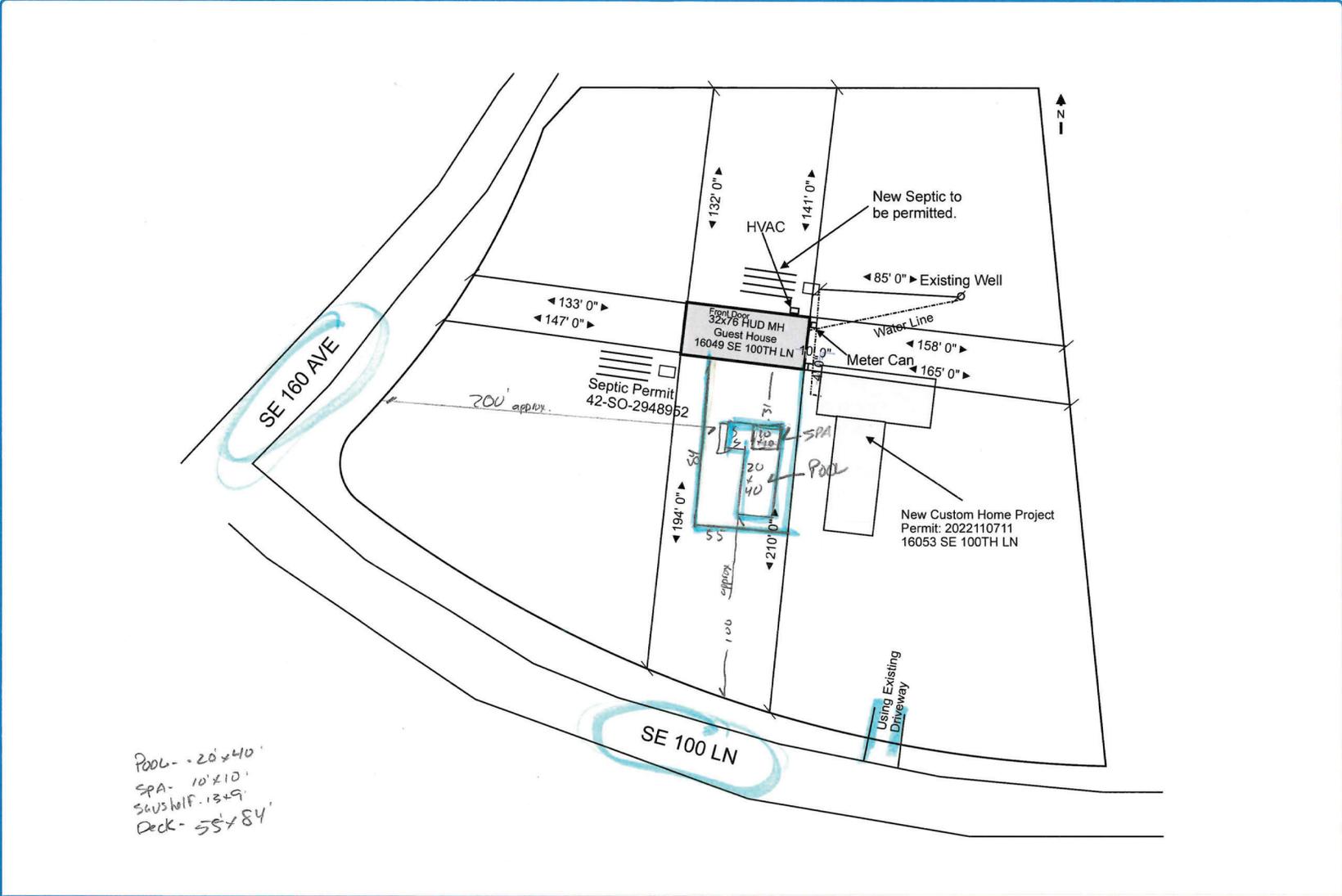


Marion County Property Appraiser, OCE, Marion County
BOCC

Marion County Board of County Commissioners

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1-60 SCALE



Site:	16053 SE 100th Ln Ocklawaha, FL 32179	Parcel:	90411-002-01	Project:	TRIANI - Septic	Drawn:	Jon	Notes:	ALLSTAR HOMES 352-622-9910
Title:	New Septic Permit Site Plan for 16053 SE 110TH LN	Scale:	1" : 80'	Date:	08/06//2024	Rev:	A		



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19943

Agenda Date: 7/21/2025

Agenda No.: 6.4.

SUBJECT:

White Pool Addition - Waiver Request to a Major Site Plan

6095 SW 93rd Loop Ocala

Project #2025070015 #33042 Parcel #35700-02-055

White James Robert

LDC 2.21.1.A(1) Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet

APPLICANT request project be allowed over impervious allowance of 3340 square feet



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

July 17, 2025

VILLAGER'S CHOICE POOL & SPA
ARIZ KING
2545 SOUTH STREET
LEESBURG, FL 34748

SUBJECT: DRC INFORMATIONAL LETTER
PROJECT NAME: WHITE POOL ADDITION
PROJECT #2025070015
APPLICATION: DRC WAIVER REQUEST #33042

Dear Ariz:

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for approval by the Development Review Committee on July 21, 2025. This item will be on the consent agenda and attendance is not required.

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Approved
- 2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.
- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: AAPPROVED – Parcel #35700-02-055 is currently connected to Marion County Utilities (MCU) water and sewer. Please note: Pool discharge is not permitted to be pumped into the MCU sewer system.
This parcel is located within the Urban Growth Boundary and the Secondary Springs Protection Zone.

5 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED

6 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED. The HOA (O&M Entity) has provided a letter accepting the additional runoff in excess of 1,121 sf (design impervious) into their subdivision's Master Stormwater System. Signed letter was submitted with the waiver request.

Note: The applicant owns a 0.36-acre lot (PID 35700-02-055) in the JB Ranch Phase 2A subdivision. There is 1,355 sf existing impervious coverage on the site. The project proposes to add 1,355 sf of impervious coverage. The JB Ranch Phase 2A subdivision assumes 3,350 sf impervious coverage per lot. Staff recommends approval with O&M Entity's acknowledgement and acceptance of the additional runoff to their system.

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 6/17/25 Parcel Number(s): 35700-00-055 Permit Number: 2025060836

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: White Commercial [] Residential [X] Subdivision Name (if applicable): JB Ranch Subdivision Phase 2A Lot 55 Unit Block Lot Tract

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): James Robert Jr. White & Sandra Lee Blood Signature: [Signature] Mailing Address: 6025 SW 93rd Loop City: Ocala State: FL Zip Code: 34416 Phone # 407-547-5460 Email address: pasadena.jim@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Village's Choice Pool Spa Contact Name: Ariz King Mailing Address: 2545 South St. City: Leesburg State: FL Zip Code: 34748 Phone # 407-988-9001 Email address: ariz@vc.pools.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 221.1.A Major Site Plan Reason/Justification for Request (be specific): project is over impervious allowance of 3300 sq feet.

DEVELOPMENT REVIEW USE: Received By: DAL Date Processed: 7/8/2025 Project # 2025070015 AR # 33042

ZONING USE: Parcel of record: Yes [] No [] Eligible to apply for Family Division: Yes [] No [] Zoned: ESOZ: P.O.M. Land Use: Plat Vacation Required: Yes [] No [] Date Reviewed: Verified by (print & initial):

Applicant Name (Owner): JAMES WHITE
Parcel ID (lot): 35700-02-055
Site Address: 6095 SW 93RD LOOP
Subdivision: JB RANCH PHASE 2A
Marion County Building Permit Application No. (if available): 2025060836
Waiver Application Request No. (if available): TBD

SW-1

ACKNOWLEDGEMENT AND ACCEPTANCE OF ADDITIONAL STORMWATER / LETTER OF NO OBJECTION

The above referenced project is within the JB RANCH PHASE 2A subdivision, which has a privately-maintained stormwater management system. This stormwater management system is operated and maintained by the VINE MANAGEMENT, LLC (name of maintenance entity). The subdivision Improvement Plans (AR# 27527) on file at the County show the stormwater facilities to be sufficient to accommodate the stormwater runoff from the 100 year-24 hour storm based on 3,350 square feet impervious coverage per lot. The above referenced lot currently has 3,116 square feet impervious coverage and the proposed project will add 1,355 square feet impervious coverage.

James R White
Owner Name (Print)


Owner Signature

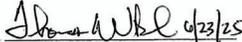
6/23/2025
Date

MASTER PERMITEE: PLEASE SELECT ONE OPTION FROM BELOW AND SIGN TO INDICATE YOUR APPROVAL

By signing below, I affirm that the above referenced project has been duly reviewed and POA agrees to accept the additional stormwater runoff indicated to the permitted stormwater management system.

By signing below, I affirm that the above referenced project has been duly reviewed by the POA and the POA does not accept the additional stormwater runoff indicated to the permitted stormwater management system. Construction may proceed with NO OBJECTION and it is understood that the Owner will need to construct stormwater controls on-site to address the excess impervious coverage.

Thomas Wanuck, President
POA Representative (Print)


POA Representative Signature Date

HOA/ POA/ DEVELOPER Contact Information:

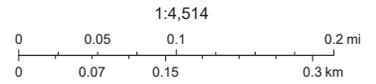
HOA/ POA/ DEVELOPER Name: JB Ranch HOA
Address: 3300 SW 34th Ave, Suite 112, Ocala FL 34474
Phone: 352-812-8086
Email: info@jbranch.com

Marion County Florida - Interactive Map



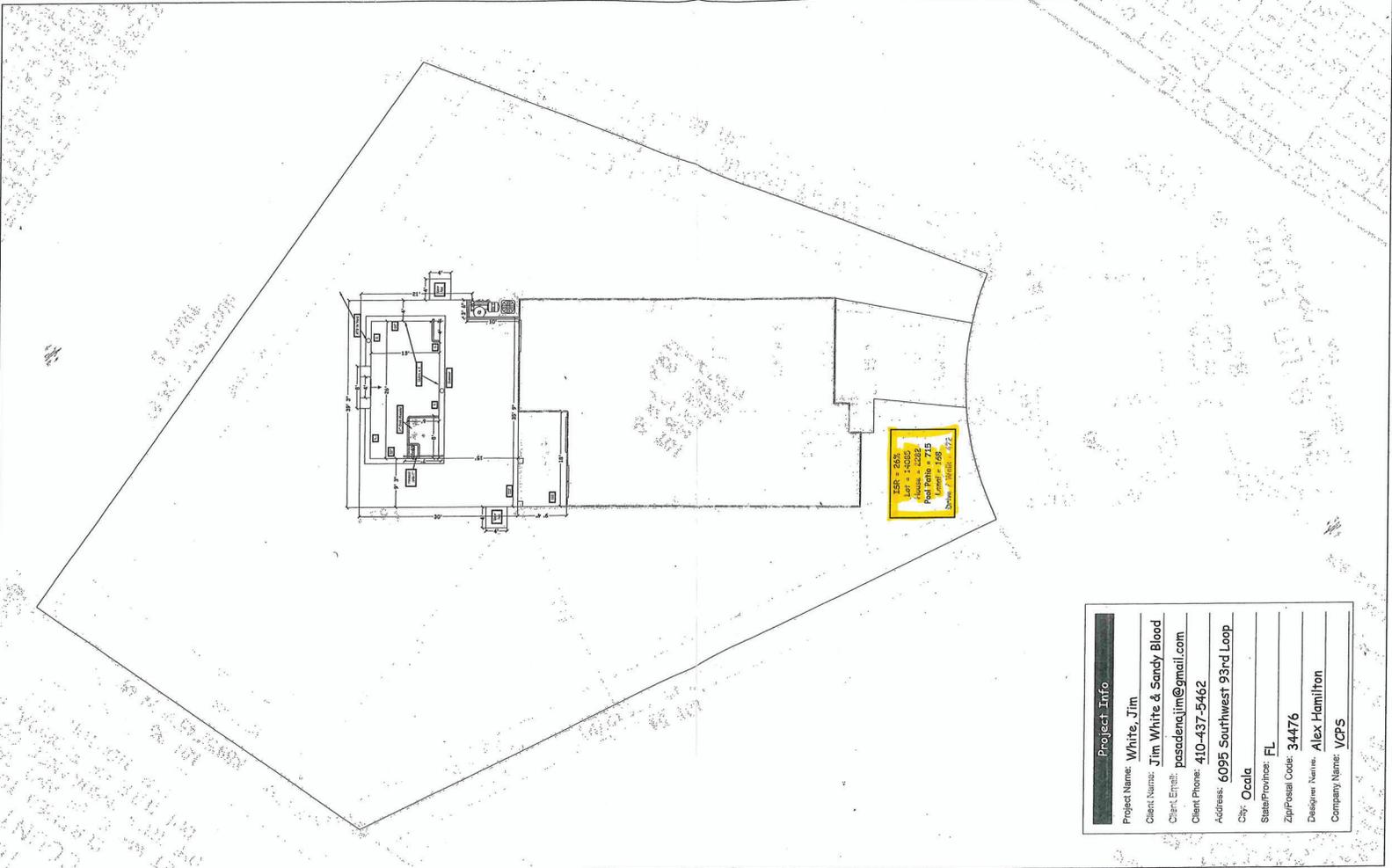
7/18/2025, 8:25:40 AM

- Marion County
- Aerial 2024
- Green: Band_2
- Streets
- Red: Band_1
- Blue: Band_3



Marion County BOCC

Marion County Board of County Commissioners
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Project Info

Project Name: White, Jim
 Client Name: Jim White & Sandy Blood
 Client Email: pasadena.jim@gmail.com
 Client Phone: 410-437-5462
 Address: 6095 Southwest 93rd Loop
 City: Ocala
 State/Province: FL
 Zip/Postal Code: 34476
 Designer Name: Alex Hamilton
 Company Name: VCPS



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19944

Agenda Date: 7/21/2025

Agenda No.: 6.5.

SUBJECT:

Fortin - Waiver Request to Major Site Plan

13966 SE 156th Ln Weirsdale

Project #2025070036 #33063 Parcel #49362-009-00

Pierre Fortin

LDC 2.21.1.A - Major Site Plan

CODE states - A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet. (2) The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips. (3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT requests a waiver to the major site plan for new home. The site will be over the allowed 9,000 sq ft per Marion County LDC. The total amount of impervious surface is 12,241 sq ft.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

July 17, 2025

PIERRE FORTIN

PO BOX 1924

LADY LAKE, FL 321581924

SUBJECT: DRC INFORMATIONAL LETTER

PROJECT NAME: FORTIN

PROJECT #2025070036

APPLICATION: DRC WAIVER REQUEST #33063

Dear Pierre,

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for the Development Review Committee on July 21, 2025. This will be a scheduled item and attendance is required.

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 2.21.1.A - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 2.21.1.A - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 2.21.1.A - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 2.21.1.A - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED Parcel 49362-009-00 is within the Marion County Utility service area but is currently outside of connection distance. The closest Marion County Utilities water infrastructure is approximately 3,300 feet away. A single family residential home would not be required to extend and connect to MCU water.

Well and septic systems are shown on the site plan, as required.

The parcel is located outside the Urban Growth Boundary and within the Secondary Springs Protection Zone.

5 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: LDC 2.21.1.A - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 25-year, 24-hour storm from the total impervious coverage on the property. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

The applicant owns a 1.01-acre parcel (PID 49362-009-00) and according to the MCPA, there is approximately 0 sf existing impervious area on-site. The applicant is proposing to add 12,241 sf for a SFR as well as for a future pool+deck. The total existing and proposed impervious area is 12,241 sf. The site will be approximately 3,241 sf over the allowed 9,000 sf per the Marion County LDC. There are no FEMA Special Flood Hazard Areas or Flood Prone Areas on the property. The HOA/POA is still active, and must provide a letter of no-objection to the project. Staff recommends approval with conditions.

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



**Marion County
Board of County Commissioners**

33063

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/3/25 Parcel Number(s): 49362-009-00 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Fortin Commercial Residential
Subdivision Name (if applicable): Greenwood Acres
Unit _____ Block _____ Lot 9 Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Pierre Fortin
Signature: [Signature]
Mailing Address: P.O. Box 1924 City: Lady Lake
State: FL Zip Code: 32158 Phone #: 352-516-8510
Email address: prfishing1@yahoo.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): _____ Contact Name: Pierre Fortin
Mailing Address: P.O. Box 1924 City: Lady Lake
State: FL Zip Code: 32158 Phone #: 352-516-8450
Email address: prfishing1@yahoo.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.2 11.A Major Street Plan
Reason/Justification for Request (be specific): Applicant requests a variance to the major site plan for new home. The site will be over the allowed 9,000 sq ft per Marion County LDC. Total amount of impervious surface is 12,241 sq ft

DEVELOPMENT REVIEW USE:

Received By: email 7/3/25 Date Processed: 7/10/25 kah Project # 2025070036 AR # 33063

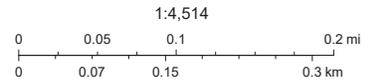
ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESUZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

Marion County Florida - Interactive Map



7/18/2025, 11:03:35 AM

- Marion County
- Aerial 2024
- Green: Band_2
- Streets
- Red: Band_1
- Blue: Band_3



Marion County BOCC

Marion County Board of County Commissioners
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Marion County

Development Review Committee

Agenda Item

File No.: 2025-19947

Agenda Date: 7/21/2025

Agenda No.: 6.6.

SUBJECT:

New Pavilion - Waiver Request to Major Site Plan

10369 SE 118th Ln Belleview

Project #2025070008 #33035

Parcel #39393-000-08 Permit #2025041518

Miguelena Manuel

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver because the total property is 6.3 acres and I'm adding a pool, pavilion and garage. Due to the size of the property and general layout, the new addition will not affect the neighbors or community.

July 17, 2025

PROJECT NAME: NEW PAVILION

PROJECT NUMBER: 2025070008

APPLICATION: DRC WAIVER REQUEST #33035

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED

- 2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater
Note: (3) active permits for a new garage, lanai, and pavilion.

- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater
Note: (3) active permits for a new garage, lanai, and pavilion.

- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED Parcel 39393-000-08 is within the Marion County Utility service area but is currently outside of connection distance. The nearest Marion County Utilities water infrastructure is approximately 2,600 feet away. The proposed pool and pavilion will not generate additional flows or place the property within connection distance.
The parcel is located outside the Urban Growth Boundary and within the Secondary Springs Protection Zone.

- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour storm from the total impervious overage on the property. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.
The applicant owns a 6.3 -acre parcel (39393-000-08) and according to the MCPA, there is approximately 7,126 sf existing impervious area on-site. The applicant is proposing to add approximately 7,729 sf for a pool+ deck as well as a detached garage. The total existing and proposed impervious area is 14,855 sf. The site will be approximately 7,355 sf over the allowed 7,500 sf per the Avonlea Phase 1 improvement plan. There is no FEMA Special Flood Hazard Areas or Flood Prone Areas on the property. Staff recommends approval with conditions.

33035



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 06/30/2025 Parcel Number(s): 39393-000-08 Permit Number: 2025041518

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: NEW PAVILLION Commercial [] Residential [x] Subdivision Name (if applicable): Unit Block Lot Tract

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Manuel Miguelena Signature: [Handwritten Signature] Mailing Address: 10369 SE 118th LN City: Belleview State: FL Zip Code: 34420 Phone #: 7865643134 Email address: miguelenam@icloud.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Contact Name: Mailing Address: City: State: Zip Code: Phone #: Email address:

D. WAIVER INFORMATION:

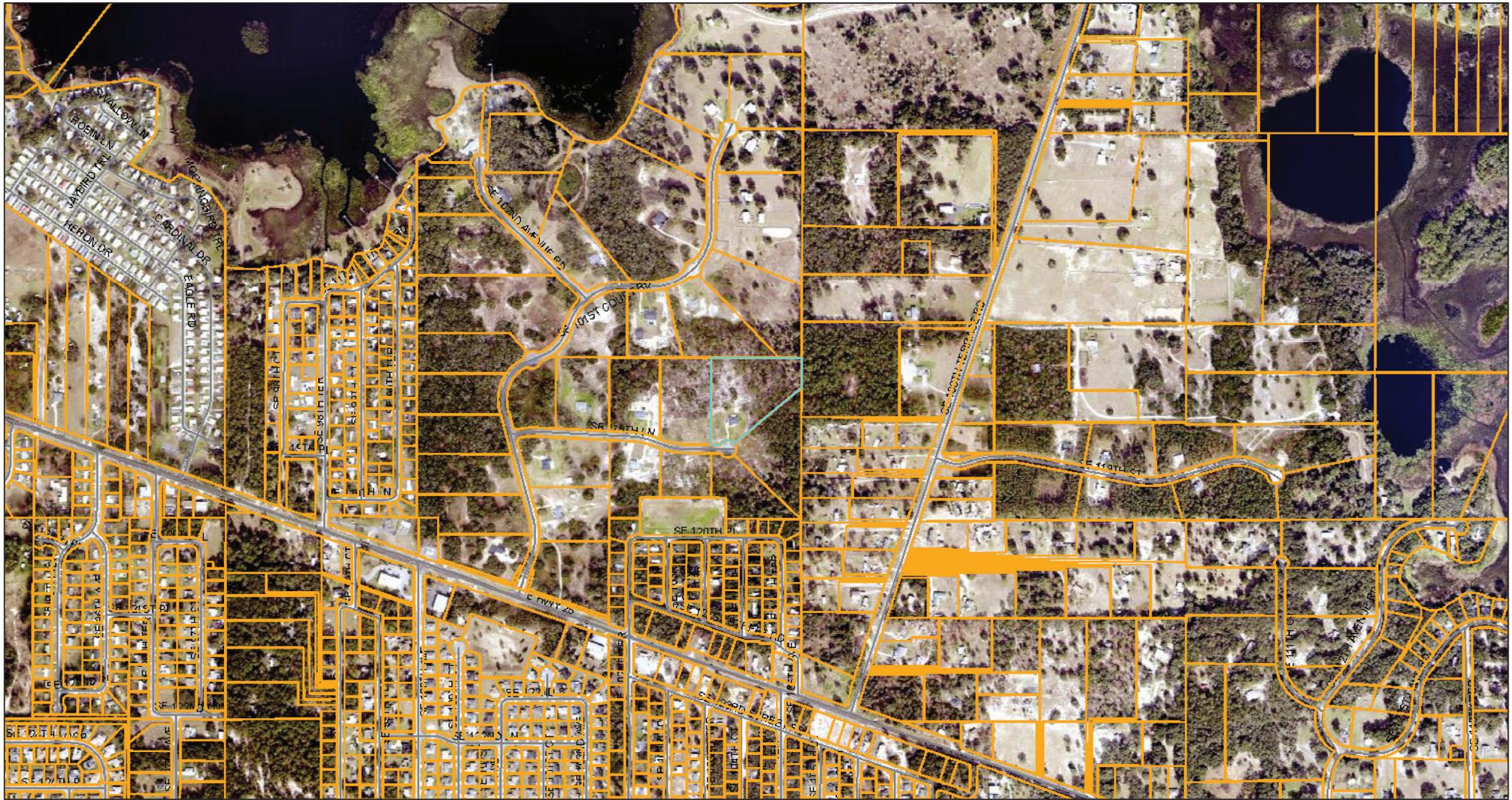
Section & Title of Code (be specific): 2.21.1.A Major Site Plan Reason/Justification for Request (be specific): The total property is 6.3 acres and I'm adding a pool, pavillion and garage. Due to the size of the property and general layout, the new addition will not affect the neighbors or community

DEVELOPMENT REVIEW USE:

Received By: [Handwritten Signature] Date Processed: 7/2/25 [Handwritten Signature] Project #: 2025 07 000 8 AR #: 33035

ZONING USE: Parcel of record: Yes [] No [] Eligible to apply for Family Division: Yes [] No [] Zoned: ESOZ: P.O.M. Land Use: Plat Vacation Required: Yes [] No [] Date Reviewed: Verified by (print & initial):

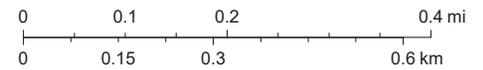
Marion County Florida - Interactive Map



7/2/2025, 12:18:04 PM

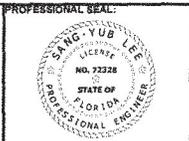
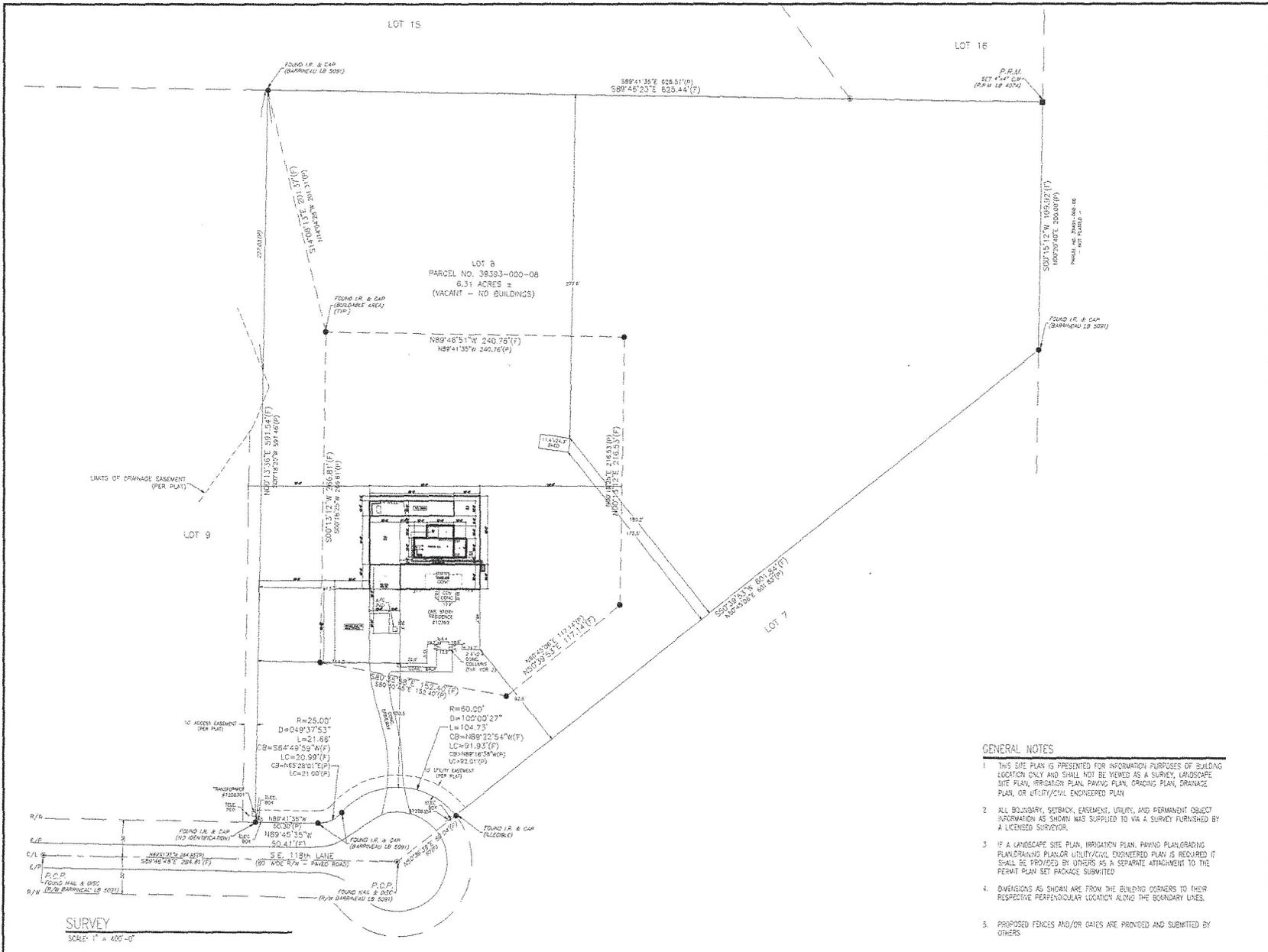
1:9,028

- Marion County
- Parcels
- Streets
- Aerial 2024
- Green: Band_2
- Blue: Band_3
- Red: Band_1

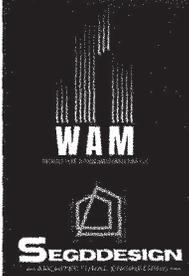


Marion County Property Appraiser, OCE, Marion County BOCC

Marion County Board of County Commissioners
 This map is provided "as is" without any warranty or representation of accuracy, timeliness, completeness, merchantability, or fitness. The user is responsible for verifying any information and assumes all risk for reliance on any information herein.



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY SANG-YUB LEE PER 73228 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
 300 KROGER ROAD DRIVE
 HOLLY SPRING, NC 27540



PROFESSIONAL SIGNATURE:
 Digitally signed by Sang-Yub Lee
 Date: 2025.05.17 15:45:02 -0400'

MODEL:
 JOB NUMBER: 24-1010
 DRAWING BY: WAM
 DATE: 12/18/2024
 SCALE: AS NOTED

PROJECT NAME:
 LOT 8, AVONLEA PHASE 1

County Comments:

No.	Date	Description

SHEET TITLE:
 SITE PLAN

SHEET NUMBER:
 A1

GENERAL NOTES

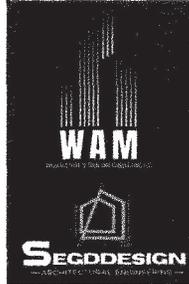
- THIS SITE PLAN IS PRESENTED FOR INFORMATION PURPOSES OF BUILDING LOCATION ONLY AND SHALL NOT BE VIEWED AS A SURVEY, LANDSCAPE SITE PLAN, IRRIGATION PLAN, PAVING PLAN, DRAINAGE PLAN, OR UTILITY/CIVIL ENGINEERED PLAN.
- ALL BOUNDARY, SETBACK, EASEMENT, UTILITY, AND PERMANENT OBJECT INFORMATION AS SHOWN WAS SUPPLIED TO VIA A SURVEY FURNISHED BY A LICENSED SURVEYOR.
- IF A LANDSCAPE SITE PLAN, IRRIGATION PLAN, PAVING PLAN/DRAINAGE PLAN, OR UTILITY/CIVIL ENGINEERED PLAN IS REQUIRED IT SHALL BE PROVIDED BY OTHERS AS A SEPARATE ATTACHMENT TO THE PERMIT PLAN SET PACKAGE SUBMITTED.
- DIVERSIONS AS SHOWN ARE FROM THE BUILDING CORNERS TO THEIR RESPECTIVE PERPENDICULAR LOCATION ALONG THE BOUNDARY LINES.
- PROPOSED FENCES AND/OR GATES ARE PROVIDED AND SUBMITTED BY OTHERS.

SURVEY
 SCALE: 1" = 400'-0"

DATE: 12/18/2024, 11:25:00 AM - 13:42:00 PM

PROFESSIONAL SEAL:

 SANG-YUB LEE #12345
 THIS SEAL HAS BEEN ELECTRONICALLY SIGNED & SEALED BY SANG-YUB LEE P.E. #72338. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE KEPT ON ANY ELECTRONIC COPIES.
 309 ADDISON PARK DRIVE
 HUNTER SPRINGS, NC 27540



PROFESSIONAL SIGNATURE:
 Digitally signed by Sang-Yub Lee
 Date: 2025.06.17 15:45:02 -04'00'

MODEL:
 JOB NUMBER: 24-1010
 DRAWING BY: WAM
 DATE: 12/18/2024
 SCALE: AS NOTED

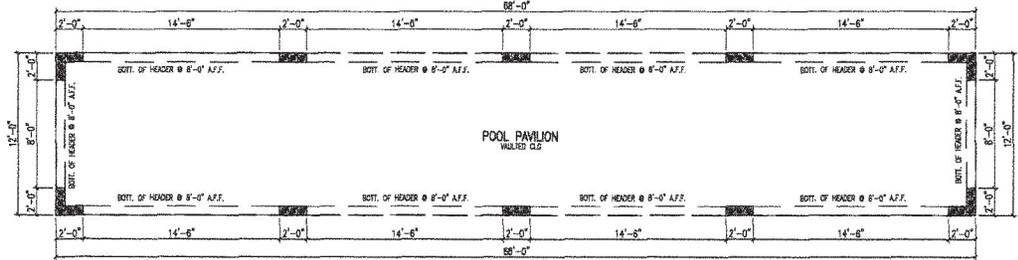
PROJECT NAME:
 LOT 8 - AVONLEA PHASE 1

County Comments:

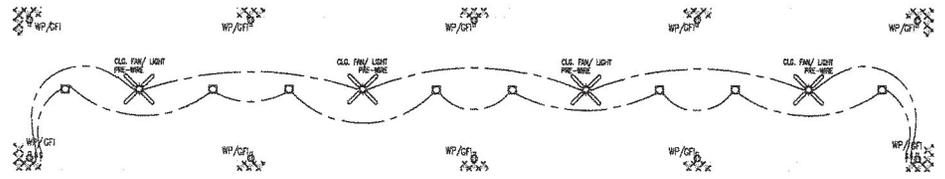
No.	Date	Description

SHEET TITLE:
 FLOOR AND ELECTRICAL PLANS

SHEET NUMBER:
A3



FLOOR PLAN
 SCALE 1/4" = 1'-0"



ELECTRICAL PLAN
 SCALE 1/4" = 1'-0"

ELECTRICAL SYMBOLS LEGEND

-  DUPLEX RECEPTACLE
-  GROUND FAULT INTERRUPTER (GFI)
-  WEATHERPROOF GROUND
-  RECESSED LED HIGH HAT
-  CEILING FAN WITH LIGHT PRE WIRE

DATE PLOTTED: 12/18/2024 11:25:23 AM 3524.6 mm

STRUCTURAL GENERAL NOTES

- IT IS THE SUB CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE-DOWNS MAY BE NECESSARY.
- DESIGN LIVE LOADS

ROOF	20 PSF
ELEVATED FLOORS	40 PSF
STAIRS	80 PSF
- DESIGN WIND LOAD IS 130 MPH(WVF) WITH SHAPE FACTORS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - 2023-2018 EDITION INTERNAL PRESSURE COEFFICIENT ± 0.55 OPEN STRUCTURE RISK CATEGORY II EXPOSURE "C"

FOUNDATIONS

- FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF, WHICH SHALL BE VERIFIED BY A FLORIDA REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE START OF WORK.
- PLACE FOOTINGS/SLAB ON COMPACTED SOIL. FOLLOW RECOMMENDATIONS OF SOILS REPORT.
- CAST-IN-PLACE CONCRETE**
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS, HAVE A SLUMP OF 4" PLUS OR MINUS 1", AND HAVE 2-4% AIR ENTRAINMENT.
 - ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 80.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. W/F SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6" LAP. THE FIBER MESH REINF. CONC. IS ACCEPTABLE ALTERNATIVE.
 - ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AC 318-02.
 - ALL REINFORCING DETAILS SHALL CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" AC 318-80.
 - SUB CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, ANCHOR BOLTS, INSERTS, ETC., AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED.
 - SUB CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC., NECESSARY TO SUPPORT REINFORCING STEEL.
 - ALL SLABS SHALL BE POURED MONOLITHICALLY, EXCEPT FOR REQUIRED CONSTRUCTION JOINTS.
 - THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

3"-----CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.
1-1/2"-----ALL OTHER CASES.
 - HORIZONTAL SLAB BARS SHALL BE BENT 1'-3" AROUND CORNERS, OR PROVIDE CORNER BARS WITH A 2'-0" LAP ON EACH LEG.
 - MINIMUM LAP SPLICE ON ALL REINFORCING SHALL BE 25 INCHES

WOOD CONSTRUCTION

- WOOD CONSTRUCTION SHALL CONFORM TO THE NDS "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION.
- ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE BORATE SBX-DOT (PRESSURE TREATED) OR BE ISOLATED BY USE OF A VAPOR BARRIER.
- ROOF SHEATHING SHALL BE 19/32" C - D PLYWOOD OR O.S.B. (40/20 RATING), NAILED WITH #4 RING-SHANK NAILS AT 6" O.C. AT SUPPORTED EDGES, AND #4 RING-SHANK NAILS AT 8" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE ONE PLYWOOD CLIP PER SPAN BETWEEN SHEET ENDS. PROVIDE SOLID 2x BLOCKING BETWEEN SUPPORTS AT ALL HIPPS, RIDGES, VALLEYS, AND CHANGES IN ROOF SLOPE.
- ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED GRADING AGENCY.

MASONRY WALL CONSTRUCTION

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM C90, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 PSI (7m = 1500 PSI).
- MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270
- COURSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
- VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH CELLS FILLED WITH COARSE GROUT.
- VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 6'-0". REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL TYPICAL UNLESS OTHERWISE NOTED. SEE TYPICAL GROUTING DETAILS FOR ADDITIONAL INFORMATION.
- REINFORCING STEEL SHALL BE LAPPED MINIMUM 30 BAR DIAMETERS WHERE SPLICED AT FOUNDATIONS OR FLOORS, OTHERWISE MINIMUM LAP IS 48 DIAMETERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- HORIZONTAL WALL REINFORCEMENT SHALL BE STANDARD TRUSS TYPE DWR-0-WAL AT 16" O.C. IF C/WI HAVE A STACK BOND.
- WHEN A FOUNDATION CONTEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS. CONTELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCEMENT.
- PROVIDE PRECAST CONCRETE LINTELS OVER ALL OPENINGS UNLESS NOTED OTHERWISE ON DRAWINGS. LINTELS SHALL BE OF SUFFICIENT SIZE AND REINFORCEMENT FOR THE GIVEN SPANS AND LOADING CONDITIONS. SUBMIT SHOP DRAWINGS WITH RATED LOAD CAPACITIES TO THE ARCHITECT FOR REVIEW.

FASTENER SUBSTITUTIONS

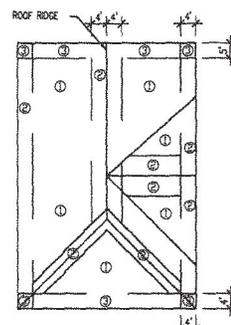
ALL NAILS ARE COMMON NAILS, UNLESS NOTED OTHERWISE. THE FOLLOWING FASTENERS ARE ACCEPTABLE SUBSTITUTIONS. THE ALTERNATE FASTENERS SHALL BE SPACED AT THE SAME SPACING AS THE SCHEDULED FASTENERS.

SCHEDULED FASTENER	ALTERNATE FASTENER
#4 COMMON NAIL	#4 RING SHANK NAIL #4 SCREW SHANK NAIL 0.131 P-NAIL
10# COMMON NAIL	10# RING SHANK NAIL 10# SCREW SHANK NAIL 0.148 P-NAIL
#6 COOLER NAIL	#6 x 1 1/4" TYPE S OR W DRYWALL SCREW

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION ON THIS PROJECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATION FROM THE PLANS PRIOR TO CONSTRUCTION.
- DRAWING SHALL NOT BE SCALED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATION FROM THE PLANS PRIOR TO CONSTRUCTION.
- INSTALL SOFFITS PER FBOR #703.1.3 AND RB16.
- ALL NON-BEARING WOOD PARTITIONS IN NET AREAS SHALL BE PRESSURE TREATED.

ROOF FASTENING ZONES



ROOF SHEATHING FASTENING SCHEDULE:
USE #4 RING-SHANK NAIL

PANEL EDGES	PANEL FIELD
⊙ NAILS 6" O.C.	⊙ NAILS 8" O.C.
⊙ NAILS 4" O.C.	⊙ NAILS 4" O.C.
⊙ NAILS 4" O.C.	⊙ NAILS 4" O.C.

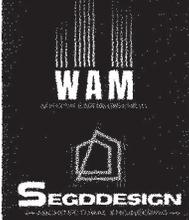
WATER PROOFING FOR THE BLDG SHALL SOLELY BE THE RESPONSIBILITY OF THE CONTRACTOR. STRUCTURAL ENGINEER OF RECORD ARE NOT LIABLE FOR WATER PROOFING DESIGN OR INTENT.

HURRICANE STRAP:
SEE SHURCO CATALOG FOR SPECIFIC NAILING PATTERN. OTHER CONNECTOR(USP) SHALL BE ACCEPTABLE WITH EQUAL OR LARGER CAPACITY.

INSTALLATION OF WINDOW/DOOR: SEE ATTACHMENT
FINISH (PAINTS) BY OWNER/G.C.



SANG-YUB LEE #72336
THIS PLAN HAS BEEN ELECTRONICALLY SIGNED & SEALED BY SANG-YUB LEE. THE SEAL IS A SECURE, SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
320 ANDISON ROAD, SUITE 100
MELT SPRING, FL 32079



PROFESSIONAL SIGNATURE:
Digitally signed by Sang-Yub Lee
Date: 2025.06.17 15:45:02 -0400

MODEL:
JOB NUMBER: 24-1010
DRAWING BY: WAM
DATE: 12/18/2024
SCALE: AS NOTED

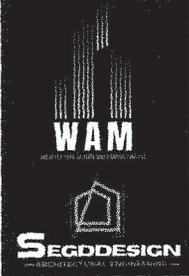
PROJECT NAME: LOT B - AVONILEA PHASE 1

County Comments:

No.	Date	Description

SHEET TITLE:
STRUCTURAL GENERAL NOTES

SHEET NUMBER:
S0



PROFESSIONAL SIGNATURE:
 Digitally signed by Sang-Yub Lee
 Date: 2025.06.17 15:45:02 -0400

MODEL:
 JOB NUMBER: 24-1010
 DRAWING BY: WAM
 DATE: 12/18/2024
 SCALE: AS NOTED

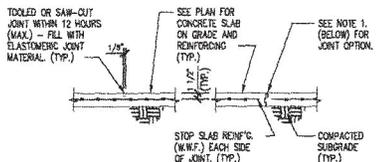
PROJECT NAME:
 LOT 8 - AVONILEA PHASE 1

County Comments:

No.	Date	Description

SHEET TITLE:
 PAVILION STRUCTURAL DETAILS

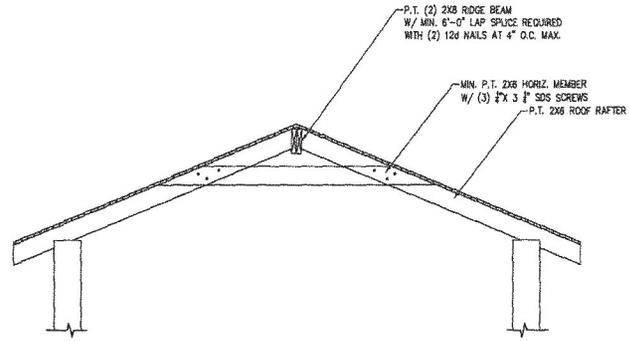
SHEET NUMBER:
S2



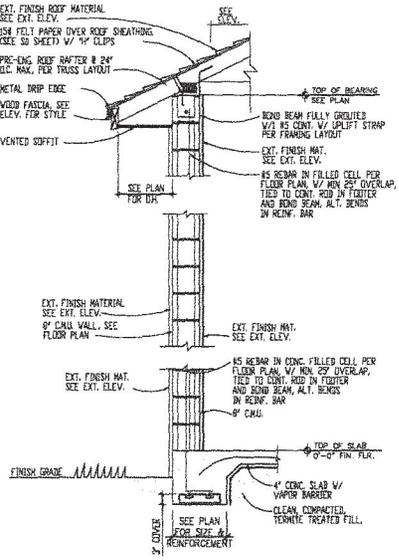
CONTROL JOINT CONSTRUCTION JOINT

- NOTE:
- CONSTRUCTION JOINTS MAYBE USED IN LIEU OF CONTROL JOINTS.
 - JOINT PLACEMENT REQUIREMENTS:
 FOR ENCLOSED / INTERIOR AREAS: 20'-0" O.C. (MAX.) EACH WAY
 FOR OUTSIDE / EXTERIOR AREAS: 8'-0" O.C. (MAX.) EACH WAY
 WHERE TOP OF SLAB SURFACES ARE TO BE FINISHED WITH TILE - GENERAL CONTRACTOR IS TO COORDINATE JOINT LOCATIONS WITH THAT OF TILE MORTAR JOINTS.

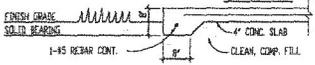
2 TYPICAL CONTROL JOINT DETAIL
 SCALE 3/4" = 1'-0"



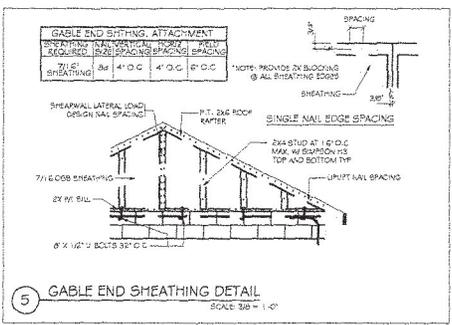
4 ROOF RAFTER DETAIL
 SCALE 3/4" = 1'-0"



1 TYP. BLOCK COLUMN DETAIL
 SCALE 3/4" = 1'-0"



3 TYPICAL PATIO SLAB EDGE
 SCALE 3/4" = 1'-0"



5 GABLE END SHEATHING DETAIL
 SCALE 3/8" = 1'-0"

DATE: Issued: June 17, 2025 - 15:45:02



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19948

Agenda Date: 7/21/2025

Agenda No.: 6.7.

SUBJECT:

Dieguez Eladio J & Myrian - Family Division Waiver Request

Project #2016030044 #33043 Parcel #05794-004-00

Christine Quimby

July 18, 2025

PROJECT NAME: DIEGUEZ ELADIO J & MYRIAN

PROJECT NUMBER: 2016030044 APPLICATION: FAMILY DIVISION WAIVER REQUEST #33043

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO REMARKS: N/A
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Conditional Approval subject to the applicant applying for stormwater compliance whenever either parcel proposes to adds impervious area to either parcel. The applicant is requesting to divide the 8.42-acre subject parcel (PID 05794-004-00) into two to create a 3-acre parcel and a 5.42-acre parcel. Adjacent parcels range in size from 0.77 acres to 25.9 acres.
There appears to be approximately 8,134 sf existing impervious coverage on subject parcel. There is a FEMA Flood Zone and two Flood Prone Areas on the property.
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: 7/9/25 - CONDITIONAL APPROVAL: NW 167th Ct must have been identified as a prescriptive road (easement), or it is otherwise established that legal access to NW 130th St exists.
- 6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Planning and Zoning approves the family division as it meets all the requirements from Marion County LDC. NOTE; warranty deed/title have been checked and applicant must complete all the remaining requirements to solidify the family division, ie; survey and new legal descriptions must be recorded along with the new deed/deed's, and the affidavit signed and notarized (all items returned to the zoning dept for completion).
- 7 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Planning and Zoning approves the family division as it meets all the requirements from Marion County LDC. NOTE; warranty deed/title have been checked and applicant must complete all the remaining requirements to solidify the family division, ie; survey and new legal descriptions must be recorded along with the new deed/deed's, and the affidavit signed and notarized (all items returned to the zoning dept for completion).

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 2.16.1.B(10) - Family Division

STATUS OF REVIEW: INFO

REMARKS: CONDITIONALLY APPROIVED - Parcel #05794-004-00 is located within the Marion County Utilities (MCU) service area but is currently outside of connection distance. An access easement will be required to allow for future utility extensions to serve the Parent Parcel. A 40' access easement is shown on the application. Proof of recording with the Marion County Clerk's Office will be required for MCU approval.

This parcel is located outside of the Urban Growth Boundary and within the Secondary Springs Protection Zone.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

RECEIVED

JUL 8 2025

Marion County Growth Service

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/7/25 Parcel Number(s): 05794-004-00 Permit Number:

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Dieguez Subdivision Name (if applicable): Commercial [] or Residential [X] Unit Block Lot Tract

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below. Hernandez -

Name (print): Myriam Dieguez, Eladio Dieguez Signature: Myriam Hernandez Dieguez, Eladio Dieguez Mailing Address: 12775 NW 167th Ct Williston City: Williston State: FL Zip Code: 32696 Phone # 352-207-6404 Email address: eladiodieguez64@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Christine Quimby, daughter @ Contact Name: Christine Quimby Mailing Address: 12775 NW 167th Ct Williston City: Williston State: FL Zip Code: 32696 Phone # 352-875-8195 Email address: cmdieguezz92@gmail.com

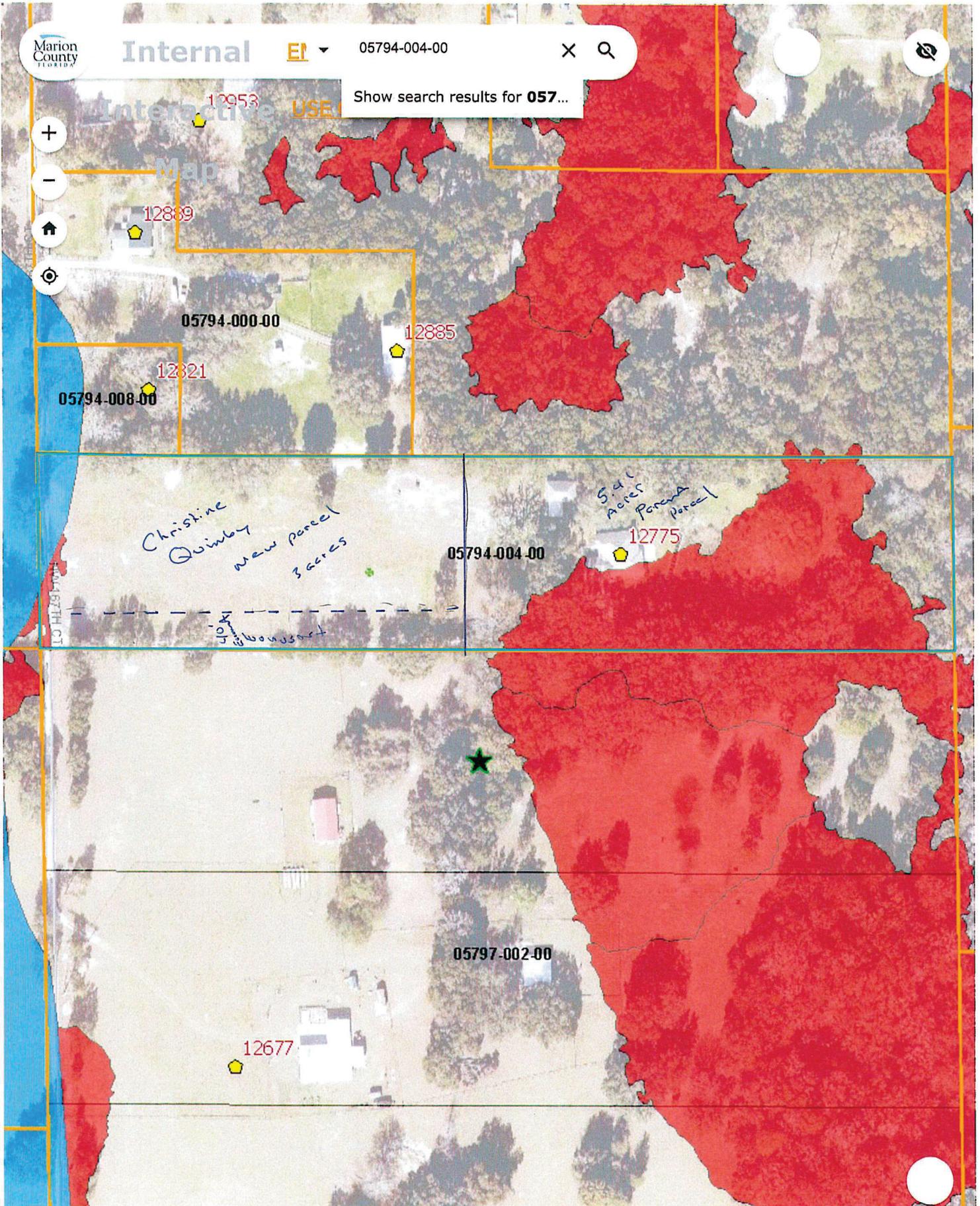
D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.16.1.B(10) - Family Division Reason/Justification for Request (be specific): Eladio Dieguez, Myriam Dieguez to give Christine Quimby three acres; the remaining acreage to parent parcel

DEVELOPMENT REVIEW USE:

Received By: Franco Date Processed: 7/8 Project # 2016030044 AR # 33043

ZONING USE: Parcel of record: Yes [X] No [] Zoned: A-1 ESOZ: NO P.O.M. 35 Land Use: RL Eligible to apply for Family Division: Yes [X] No [] Plat Vacation Required: Yes [] No [X] Date Reviewed: 7/8/25 Verified by (print & initial): Franco Cristina Franco Form Presv., secondary





Marion County

Development Review Committee

Agenda Item

File No.: 2025-19950

Agenda Date: 7/21/2025

Agenda No.: 6.8.

SUBJECT:

Jonathan & Melissa Lee, Alice Santos - Family Division Waiver Request

fka: Duryea Frederick

Project #2008040032 #33046 Parcel #40134-000-04

Melissa Lee

July 18, 2025

PROJECT NAME: JONATHAN & MELISSA LEE, ALICE SANTOS

PROJECT NUMBER: 2008040032 APPLICATION: FAMILY DIVISION WAIVER REQUEST #33046

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO REMARKS: N/A
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved. The applicant is requesting to divide the 3-acre subject parcel (PID 40134-000-04) into two to create a 1.03-acre parcel and a 1.97-acre parcel. Adjacent parcels range in size from 0.34 acres to 24.79 acres. There appears to be approximately 48,74 sf existing impervious coverage on subject parcel. There are no FEMA Flood Zones or Flood Prone Areas on the property. The applicant should note that a Major Site Plan or waiver is required when either parcel is proposed to exceed 9,000 sf impervious site coverage.
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: 7/10/25 - CONDITIONAL APPROVAL: Requirement to utilize a common driveway access to SE 113th St Rd should be specified.
- 6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Planning and Zoning approves the family division as it meets all the requirements from Marion County LDC. NOTE; warranty deed/title have been checked and applicant must complete all the remaining requirements to solidify the family division, ie; survey and new legal descriptions must be recorded along with the new deed/deed's, and the affidavit signed and notarized (all items returned to the zoning dept for completion).
- 7 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Planning and Zoning approves the family division as it meets all the requirements from Marion County LDC. NOTE; warranty deed/title have been checked and applicant must complete all the remaining requirements to solidify the family division, ie; survey and new legal descriptions must be recorded along with the new deed/deed's, and the affidavit signed and notarized (all items returned to the zoning dept for completion).

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 2.16.1.B(10) - Family Division

STATUS OF REVIEW: INFO

REMARKS: CONDITIONALLY APPROVED: Parcel 40134-000-04 is located within the Marion County Utility service area but is currently outside of connection distance.

Marion County Utilities will require documentation of the proposed easement to ensure it is categorized as an access easement that will allow for utility access for the future development of the 1.03-acre parcel from SE 113th Street Road.

This parcel is located outside the Urban Growth Boundary and within the Secondary Springs Protection Zone.

RECEIVED

JUL 9 2025

ca

Marion County
Growth Service



Marion County
Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 06/19/2025 Parcel Number(s): 40134-000-04 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: land split Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Alice F Santos, Jonathan Lee, Melissa Lee
Signature: *Alice F Santos, Jonathan Lee, Melissa Lee*
Mailing Address: 15465 SE 113th St Rd City: Ocklawaha
State: FL Zip Code: 32179 Phone # 407-619-8531
Email address: Faye@chillermedic.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): _____ Contact Name: Melissa Lee
Mailing Address: 15465 SE 113th St Rd City: Ocklawaha
State: FL Zip Code: 32179 Phone # 407-432-6127
Email address: Raginbuletswife@gmail.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): Family Division 2.16.1.B(10)
Reason/Justification for Request (be specific): give 1.03 Ac to Sister Debra Lynn Davis 3 David Davis

DEVELOPMENT REVIEW USE:

Received By: EM 7/9/25 Date Processed: 7/9/2025 Project # 2008 04 00.32 AR # 33046

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: A-1 ESOZ: N/A P.O.M. 312 Land Use: RL Plat Vacation Required: Yes No
Date Reviewed: 7/8/25 Verified by (print & initial): Clint Barkley (CB)

Marion County Florida

Interactive Map

15465 SE 113TH STREET RD. X Q

Show search results for 154...



Measurement



Acres

Measurement Result

1.03 Acres

Clear

Press CTRL to enable snapping

FISHER LANE P

GUAVA TRL

SE 115TH PLACE RD

Esri Community Map

1.03 Ac.
DEBRA DAVID
DAVIS

PARENT

40' EASEMENT

SE 113TH STREET RD





Marion County

Development Review Committee

Agenda Item

File No.: 2025-19951

Agenda Date: 7/21/2025

Agenda No.: 6.9.

SUBJECT:

Road Closing-SE 59th Ave - Road Closing / Abrogation

Portion of 3752-002-002 & 3752-008-02

8862 SE 59th Ave Ocala

Project #2025070003 #33023 Parcel #3752-002-002

Iglesia Pentecostal Poder Desd

July 18, 2025

PROJECT NAME: ROAD CLOSING-SE 59TH AVE

PROJECT NUMBER: 2025070003

APPLICATION: ROAD CLOSING / ABROGATION #33023

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: Approved
- 3 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: N/A
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: Marion County Fire does not support road closures that restrict access to any parcels.
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: Parcels 3752-002-002 and 3752-008-002 are located within the City of Belleview utility service area. Therefore, the proposed road closure has no impact on Marion County Utilities or future utility connections. Letters of No Objection from the City of Belleview and all surrounding jurisdictions have been included in the application package.
Additionally, the parcels are located within the Urban Growth Boundary and the Primary Springs Protection Zone.
- 6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Road Closing
STATUS OF REVIEW: NO
REMARKS: Defer to Traffic comments regarding future access for parcel to the south.
- 7 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: Road Closing
STATUS OF REVIEW: NO
REMARKS: 7/8/25 – RECOMMEND DENIAL: Road closure proposed by applicant is a primary alternative to direct access to the SE 58th Ave arterial road for a large area of commercial property directly south of applicant’s property adjoining SE 58th Ave. OCE Traffic anticipates requiring construction of the referenced road segment in the future as adjoining commercial property develops.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Application for Road(s) / Alley(s) Closing

Chapter 336 F.S. provides that before any such road(s) shall be closed and vacated, or before any right or interest of the county or public in any land delineated on any recorded map or plat as a road(s) shall be renounced and disclaimed, the commissioners shall hold a public hearing, and shall publish notice thereof, one time, in a newspaper of general circulation in such county at least 2 weeks prior to the date stated therein for such hearing. After such public hearing, any action of the commissioners, as herein authorized, shall be evidenced by a resolution duly adopted and entered upon the minutes of the commissioners. The proof of publication of notice of public hearing, the resolution as adopted, and the proof of publication of the notice of the adoption of such resolution shall be recorded in the deed records of the county.

All information must be typed or legibly written

1. APPLICANT INFORMATION: Date: _____
 Applicant: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
 Address: 8862 SE 59th Ave.
 City: Ocala State: Florida Zip Code: 34472
 Agent / Contact: Rev. Samuel Figueroa & Idilia Figueroa
 Address: 6860 SE 104th St.
 City: Belleview State: Florida Zip Code: 34420
 Phone Number: _____ Fax Number: _____
 Cell Number: (484) 264-4766 E-mail: sammy77.sf@gmail.com

2. PROPERTY INFORMATION:
 Road(s) / Alley(s) to be closed: SE 59th Ave - a portion adjacent to
 Parcel Number(s): 3752-002-002 + 3752-008-002
 Subdivision Name: Silver Springs Estates Sec/Twp/Range: _____ / _____ / _____
 Plat Bk/Pg: 5 / 128 Unit/Block/Lot: _____ / 2 + 8 / 2 + 2 - except 5. 55 Ft thereof

Attach a plat or current property ownership map and an aerial photo that includes the requested property highlighted and the surrounding area. Property ownership map and aerial photo may be printed from the Marion County website at: <https://maps.marioncountyfl.org/interactivemap/>

3. PURPOSE / REASON FOR REQUEST TO CLOSE ROAD(S) – check all that apply and describe below:

- Has never been opened or constructed
- Divides Applicant's property
- Transfer Development Rights
- Consolidate properties
- To redevelop
- To clear an existing encroachment
- Other

Form RC-AP

PETITION TO CLOSE AND ABANDON ROAD(S) / ALLEY(S)

Whereas, Tapsia Pentecostal Poder Desde Lo Alto, Inc. herewith petitions the Board of County Commissioners of Marion County, Florida, to adopt a Resolution declaring a Public Hearing for the purpose of considering the closing and abandonment of the following described road(s) pursuant to the provisions in Chapter 336, Florida Statutes, to wit:

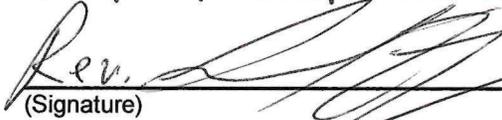
See Attached Exhibit 'A'

Whereas, Petitioner hereby states and represents the above described road(s) / alley(s) proposed for closing and abandonment does not constitute a portion of Federal or State Highway Systems nor was the land contained in the above description acquired for the State of Federal Highway system; and

Now therefore, Petitioner respectfully requests the Board of County Commissioners to adopt a resolution to close and abandon the road(s) / alley(s) above described, in accordance with the provisions of Chapter 336, Florida Statutes, to adopt and record a Resolution declaring a Public Hearing for the purpose of considering the closing and abandonment of the same.

DATE: 12/5/2024

8862 SE 59th Ave.
(Address)

BY: 
(Signature)

Ocala FL. 34472
(Address)

Rev. Samuel Figueroa
(Print Name)

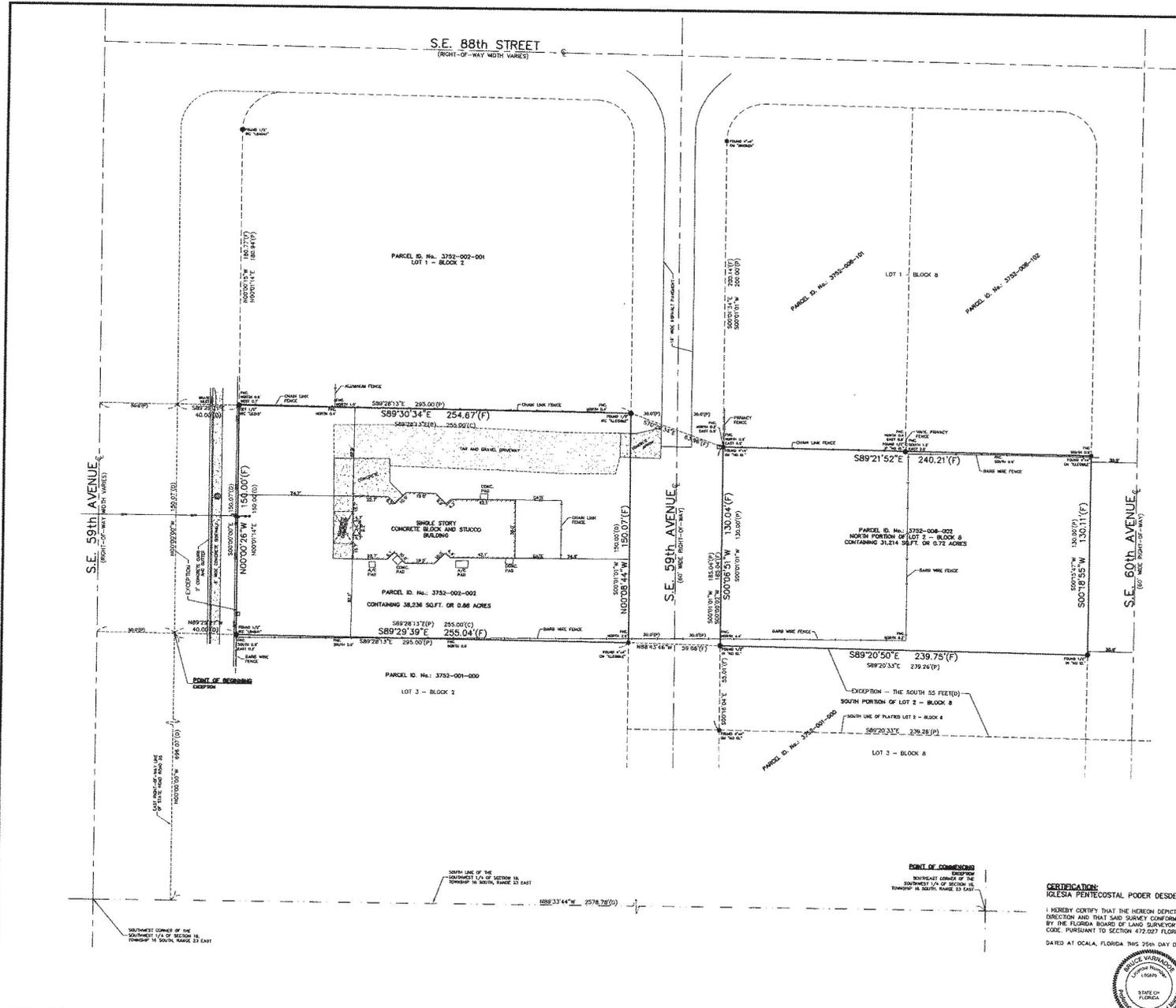
(484) 264-4766
(Phone)

(Signature)

(Print Name)

DESCRIPTION OF R/W ABROGATION:

BEGINNING AT THE NORTHEAST CORNER OF LOT 2, BLOCK 2, SILVER SPRINGS ESTATES ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK S, PAGE 128, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE S.70°29'34"E. A DISTANCE OF 63.96 FEET TO THE NORTHWEST CORNER OF LOT 2, BLOCK 8 OF SAID SILVER SPRINGS ESTATES; THENCE S.00°06'51"W. ALONG THE EASTERLY RIGHT OF WAY OF S.E. 59th AVENUE, A DISTANCE OF 130.04 FEET; THENCE DEPARTING SAID EASTERLY RIGHT OF WAY N.88°43'46"W. A DISTANCE OF 59.66 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2, BLOCK 2 SILVER SPRINGS ESTATES; THENCE N.00°08'44"W ALONG THE WESTERLY RIGHT OF WAY OF SAID S.E. 59th AVENUE, A DISTANCE OF 150.07 FEET TO THE POINT OF BEGINNING.



LEGEND

- (F) = FOUND CONCRETE MARKER (4"x4" PIPES AS NOTED)
- (C) = FOUND IRON ROD AND/OR CAP (SIZE, TYPE AND NUMBER AS NOTED)
- (S) = SET 1/2" IRON ROD AND CAP (AS LISTED)
- (M) = STORAGE DRAINAGE MANHOLE
- (U) = UTILITY POLE
- (A) = UTILITY POLE ANCHOR
- (P) = OVERHEAD WIRES
- (T) = TELEPHONE BOX
- (E) = ELECTRICAL BOX
- (L) = FENCE LINE
- (C) = CONTINUING
- (M) = FIELD MEASUREMENT
- (C) = CALCULATED MEASUREMENT
- (P) = PLAT MEASUREMENT
- (S) = SQUARED MEASUREMENT
- (S) = SQUARE
- (F) = FENCE
- (I) = IDENTIFICATION NUMBER
- (M.C.R.) = MARION COUNTY RECORDS
- (A.P.) = AIR CONDITIONING
- (F) = FENCE
- (C) = CONCRETE MONUMENT
- (I.R.C.) = IRON ROD AND CAP
- (I.P.) = IRON PIPE

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

- NOTES:**
- THE BEARINGS SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATES WEST ZONE, BASED ON THE FLORIDA DEPARTMENT OF TRANSPORTATION FPN NETWORK, N.A.D. 1983, 2011 ADJUSTMENT, AND REFERENCED TO THE NORTH LINE OF THE SUBJECT PROPERTY BLOCK N884750'E.
 - ALL BUILDINGS AND SURFACE AND SUBSURFACE IMPROVEMENTS ADJACENT TO THIS SITE, IF SHOWN HEREON AS PER CLIENT'S REQUEST ON THIS SITE, IF ANY, ARE NOT NECESSARILY SHOWN HEREON AS PER CLIENT'S REQUEST.
 - THE DESCRIPTION WAS FURNISHED BY THE CLIENT.
 - ALL STREET RIGHT OF WAYS SHOWN ARE PHYSICALLY OPEN.
 - THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY ARE UNKNOWN, EXCEPT AS SHOWN.
 - NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING SIZE, SEPTIC, CONDITION OR CAPACITY OF ANY UTILITY OR MUNICIPAL PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, CONTACT THE APPROPRIATE AGENCY.
 - ANY ADDITIONS OR DELETIONS TO THIS MAP OF SURVEY BY ANY OTHER INDIVIDUAL OR ENTITY SHALL RENDER IT INVALID.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THE SURVEYOR. LANDS AS DESCRIBED IN RECORDS WERE NOT ABSTRACTED FOR OWNERSHIP AND OTHER INSTRUMENTS OF RECORD WHICH MAY AFFECT LIFE, OR TITLE OF SAID LANDS.
 - THIS SURVEY HAS BEEN PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES NAMED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY IF IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - UNLESS IT BEARS THE ORIGINAL SIGNATURE AND SEAL OR THE DIGITAL EQUIVALENT OF THE LICENSED FLORIDA PROFESSIONAL SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

DESCRIPTION:

PER OFFICIAL RECORDS BOOK 1088, PAGES 1085-1086, M.C.R.

LOT 2, BLOCK 2, AND LOT 1, BLOCK 3, SILVER SPRINGS ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 128, PUBLIC RECORDS OF MARION COUNTY, FLORIDA, EXCEPT THE SOUTH 55 FEET.

LESS:

THE WEST 40.00 FEET OF LOT 2, BLOCK 2, SILVER SPRINGS ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 128, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 16 SOUTH, RANGE 23 EAST, BEING A FOUND 1/2" OCTAGON CONCRETE MONUMENT WITH 3" BRASS DISK STAMPED 7/4 COR 1879; THENCE NORTH 89°33'44" WEST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 16, A DISTANCE OF 1578.76 FEET TO THE EXISTING EAST RIGHT OF WAY LINE OF STATE ROAD 35; THENCE NORTH 00°00'00" WEST ALONG EXISTING SAID EXISTING EAST RIGHT OF WAY LINE, A DISTANCE OF 596.07 TO THE SOUTHWEST CORNER OF LOT 2, BLOCK 2, SILVER SPRINGS ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 128, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" WEST ALONG SAID EXISTING EAST RIGHT OF WAY LINE, A DISTANCE OF 150.07 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 89°33'44" WEST ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 40.00 FEET TO A POINT; THENCE SOUTH 00°00'00" EAST ALONG A LINE 40.00 FEET OF AND PARALLEL TO SAID EXISTING EAST RIGHT OF WAY LINE, A DISTANCE OF 150.07 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 2; THENCE NORTH 89°29'39" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

DESCRIPTION OF R/W ABROGATION

BEGINNING AT THE NORTHEAST CORNER OF LOT 2, BLOCK 2, SILVER SPRINGS ESTATES ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 128, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE S 0°00'00" E, A DISTANCE OF 43.89 FEET TO S 89°29'39" W; ALONG THE EASTERN RIGHT OF WAY OF S.E. 59th AVENUE, A DISTANCE OF 130.04 FEET; THENCE DEPARTING SAID EASTERN RIGHT OF WAY BY ANGLE 44° 18' 44" TO THE SOUTHWEST CORNER OF SAID LOT 2, BLOCK 2, SILVER SPRINGS ESTATES; THENCE N 00°00'00" E, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

REVISED 6/30/25 ADDED DESCRIPTION OF R/W ABROGATION

CERTIFICATION:
 I HEREBY CERTIFY THAT THE HEREON DEPICTED PARCEL OF LAND WAS SURVEYED UNDER MY DIRECTION AND THAT SAID SURVEY CONFORMS TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF SURVEYORS IN CHAPTER 1S-11, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

DATED AT OCALA, FLORIDA THIS 25th DAY OF FEBRUARY 2025.



MOORHEAD ENGINEERING COMPANY
 CONSULTING ENGINEERS - LAND SURVEYORS
 LAND PLANNERS
 P.O. BOX 998 300 S.E. 1st AVENUE OCALA, FLORIDA 34478
 PHONE: 352-332-6608 FAX: 352-887-0112
 www.moorheadeng.com

Bruce M. Varadero
 State of Florida
 License No. 12583

BOUNDARY SURVEY

IGLESIA PENTECOSTAL PODER DESDE LO ALTO

SILVER SPRINGS ESTATES
 PLAT BOOK 5, PAGE 128

MOORHEAD ENGINEERING COMPANY
 CONSULTING ENGINEERS - LAND SURVEYORS
 LAND PLANNERS
 P.O. BOX 998 300 S.E. 1st AVENUE OCALA, FLORIDA 34478
 PHONE: 352-332-6608 FAX: 352-887-0112
 www.moorheadeng.com

Job No: 25-028 Drawing: 25028s Scale: 1" = 30'
 Drawn by: EJM Approved by: BMV F.B. 2356 Pg. 70-75
 Date Filed: Office: 02-26-25 File: 02-25-25

SHEET NO. 1 OF 1 SHEETS

This plat has been prepared for the purposes and uses of the client named herein, his agents or assigns. Any reproduction of this plat, in whole or in part, by any method, without the written approval of said client or this company is strictly forbidden.

AFFIDAVIT

Before me the undersigned authority personally appeared Samuel Figueroa, As,
who does hereby duly swear under oath or penalty of perjury:

*President
Iglesia Pentecostal Poder Desde
Lo Alto, Inc*

1. That he/she is the owner of certain real property in Marion County, Florida further described as follows:

Legal Description:

SEE ATTACHED EXHIBIT 'A'

Parcel ID # 3752-002-002 + 3752-008-002

2. The he/she understands that the Marion County Board of County Commissioners is considering a petition to close and abandon a road(s)/alley(s), adjacent to or within the vicinity of his/her property.

3. That he/she recognizes and acknowledges that the closing and abandonment of the road(s)/alley(s) may affect access to his/her property; nevertheless, he/she:

has no objection to petition.

objects to the petition.

4. That he/she furthermore:

waives any right of damages

does not waive any rights of damages

or other form of judicial relief, which he/she may require against Marion County as a result of the closing and abandonment of the road(s)/alley(s).

Rev. [Signature]
Affiant Signature
(484) 264-4766
Phone
Sammy77.sf@gmail.com
E-mail

Affiant Signature

Phone

E-mail

STATE OF Florida

COUNTY OF Marion

Sworn to (or affirmed) and subscribed before me by means of:

physical presence or online notarization, this 5th day of December, 2024,
by Samuel Figueroa, who is personally
known to me or who has produced FDL# F260-780-75-459-0, as identification.



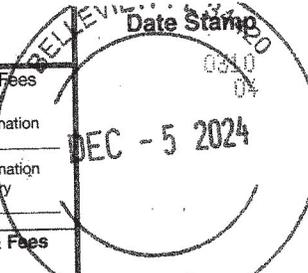
CHERYLANN WEAVER
Commission # HH 506303
Expires March 22, 2028

Cherylan Weaver
Notary Public

My Commission Expires: _____

Registered No.

RE392386569US



To Be Completed By Post Office	Postage \$	\$4.48	Extra Services & Fees <i>(continued)</i>
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	<input type="checkbox"/> Registered Mail	\$	\$
	<input type="checkbox"/> Return Receipt <i>(hardcopy)</i>	\$0.00	<input type="checkbox"/> Signature Confirmation Restricted Delivery
	<input type="checkbox"/> Return Receipt <i>(electronic)</i>	\$0.00	\$
<input type="checkbox"/> Restricted Delivery	\$1.00	Total Postage & Fees	\$26.23
Customer Must Declare Full Value	\$0.00	Received by	12/05/2024
		Domestic insurance up to \$50,000 is included based upon the declared value. International Indemnity is limited. (See Reverse).	

OFFICIAL USE

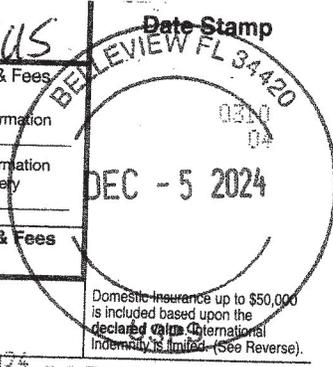
To Be Completed By Customer (Please Print) All Entries Must Be in Ballpoint or Typed	FROM	Iglesia Pentecostal Poder De La Alto
		Rev. Samuel Figueroa
		8862 SE 59th Ave.
		Ocala FL 34472
		De Groen Gertrudis
	TO	Hengelostraat 410
		7521 An Enshede
		Netherlands

PS Form 3806, Registered Mail Receipt
April 2015, PSN 7530-02-000-9051
For domestic delivery information, visit our website at www.usps.com

Copy 1 - Customer
(See Information on Reverse)

Registered No
RE 392 386 555 US

Date Stamp



To Be Completed By Post Office	Postage \$ RE3923865	Extra Services & Fees (continued)
	Extra Services & Fees	<input type="checkbox"/> Signature Confirmation \$
	<input type="checkbox"/> Registered Mail \$ 4.00	<input type="checkbox"/> Signature Confirmation Restricted Delivery \$
	<input type="checkbox"/> Return Receipt (hardcopy) \$ 21.75	Total Postage & Fees \$
	<input type="checkbox"/> Return Receipt (electronic) \$ 0.00	
<input type="checkbox"/> Restricted Delivery \$		
Customer Must Declare Full Value \$ 0.00	Received by 12/05/2024	Domestic insurance up to \$50,000 is included based upon the declared value. International indemnity is limited. (See Reverse).
OFFICIAL USE		

To Be Completed By Customer (Please Print) All Entries Must Be in Ballpoint or Typed	FROM	Iglesia Pentecostal Poder Desde lo Alto
		Rev. Samuel Figueroa
		8862 SE 59th Ave.
		Ocala, FL 34472
TO		Van Der Lof De Groen Aniek
		Hengelosestraat 410
		7521 Am Ende Enshede
		Netherlands

PS Form **3806, Registered Mail Receipt** Copy 1 - Customer
 April 2015, PSN 7530-02-000-9051 (See Information on Reverse)
 For domestic delivery information, visit our website at www.usps.com

9589 0710 5270 1772 7598 65

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com

Belleview, FL 34420

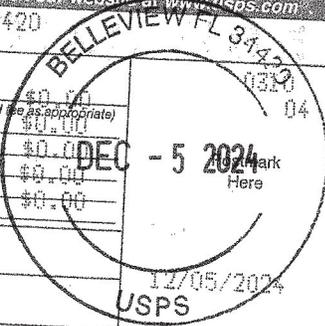
Certified Mail Fee \$4.85

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$1.77

Total Postage and Fees \$6.62



Sent To
 Development Review Offices Utilities
 Street and Apt. No., or PO Box No.
 11800 SE U.S. Highway 441
 City, State, ZIP+4®
 Belleview FL 34420

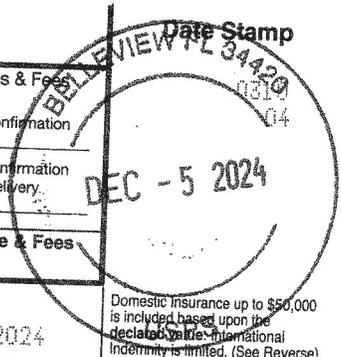
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

Registered No.

RF39238657018

Date Stamp

To Be Completed By Post Office	Postage \$	Extra Services & Fees (continued)
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	<input type="checkbox"/> Registered Mail \$	<input type="checkbox"/> Signature Confirmation Restricted Delivery \$
	<input type="checkbox"/> Return Receipt (hardcopy) \$	Total Postage & Fees \$
	<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Restricted Delivery \$		
Customer Must Declare Full Value \$ 0.00		Received by 12/05/2024



Domestic insurance up to \$50,000 is included based upon the declared value. International indemnity is limited. (See Reverse).

OFFICIAL USE

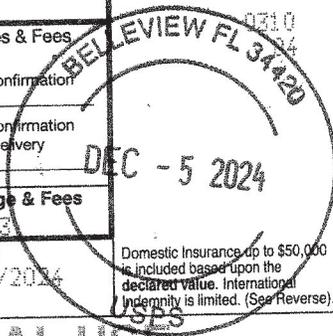
To Be Completed By Customer (Please Print) All Entries Must Be in Ballpoint or Typed	FROM	Iglesia Pentecostal Poder Desde lo Alto
		Rev. Samuel Figueroa
		8862 SE 59th Ave.
		Ocala, FL 34472
	TO	Schluter Michel
		Hengelosestraat 410
		7521 An Enshede
		Netherlands

PS Form 3806, Registered Mail Receipt
 April 2015, PSN 7530-02-000-9051
 Copy 1 - Customer (See Information on Reverse)
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Registered No. RE392386590US

Date Stamp

To Be Completed By Post Office	Postage \$	\$4.48	Extra Services & Fees (continued)	
	Extra Services & Fees		<input type="checkbox"/> Signature Confirmation	\$
	<input type="checkbox"/> Registered Mail	\$1.75	<input type="checkbox"/> Signature Confirmation Restricted Delivery	\$
	<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
	<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
	<input type="checkbox"/> Restricted Delivery	\$0.00	Total Postage & Fees	\$26.23
	Customer Must Declare Full Value	\$0.00	Received by	12/05/2024
			Domestic Insurance up to \$50,000 is included based upon the declared value. International indemnity is limited. (See Reverse).	



OFFICIAL USE

To Be Completed By Customer (Please Print) All Entries Must Be in Ballpoint or Typed	FROM	Iglesia Pentecostal Poder De lo Alto
		Rev. Samuel Figueroa
		8862 SE 59th Ave.
		Ocala, FL 34472
	TO	Pypen Robert
		Hengelbsestraat 410
	7521 An Enshede	
	Netherlands	

PS Form 3806, Registered Mail Receipt
 April 2015, PSN 7530-02-000-9051
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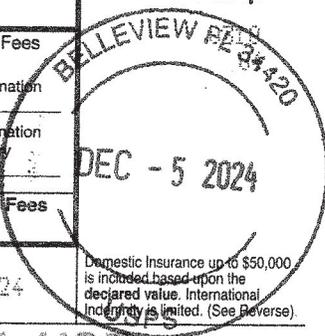
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 (See Information on Reverse)

Registered No.

RE392386586US

Date Stamp

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	<input type="checkbox"/> Registered Mail	\$1.75	<input type="checkbox"/> Signature Confirmation Restricted Delivery	\$
	<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
	<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
	<input type="checkbox"/> Restricted Delivery	\$0.00	Total Postage & Fees	\$ 24.23
	Customer Must Declare Full Value	\$ 0.00	Received by	12/05/2024



Domestic Insurance up to \$50,000 is included based upon the declared value. International indemnity is limited. (See Reverse).

OFFICIAL USE

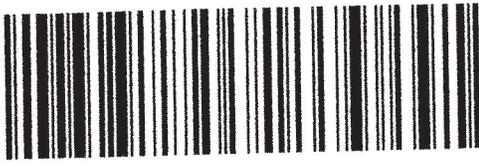
To Be Completed By Customer (Please Print) All Entries Must Be in Ballpoint or Typed	FROM	Iglesia Pentecostal Poder Desde lo Alto
		Rev. Samuel Figueroa
		8862 SE 59th Ave.
		Ocala, FL 34472
	TO	Schluter Paul
		Hengelostraat 410
		7521 An Enshede
		Netherlands

PS Form 3806, Registered Mail Receipt April 2015, PSN 7530-02-000-9051 Copy 1 - Customer (See Information on Reverse) For domestic delivery information, visit our website at www.usps.com®

Samuel Figueroa

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

CERTIFIED MAIL



9589 0710 5270 1772 7598 65

Retail



34420

RDC 99

U.S. POSTAGE PAID
FCM LG ENV
BELLEVIEW, FL 34420
DEC 05, 2024

\$6.62

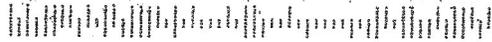
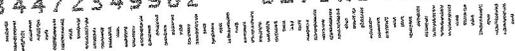
S2324H504533-04

To: Development Review Officer
Marion County Utilities
11800 SE U.S. Highway 441
Belleview, FL 34420

NIXIE 326 4E 1 7212/11/24

RETURN TO SENDER
NO SUCH STREET
UNABLE TO FORWARD

BC: 34472349962 2175N346192-00578



LETTER OF NO OBJECTION

To: Teco
Joan Domning
jdomning@tecoenergy.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Teco (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Please be active gas line in the ROW. Please call 811 prior to construction.

Cheyenne Thompson
Signature

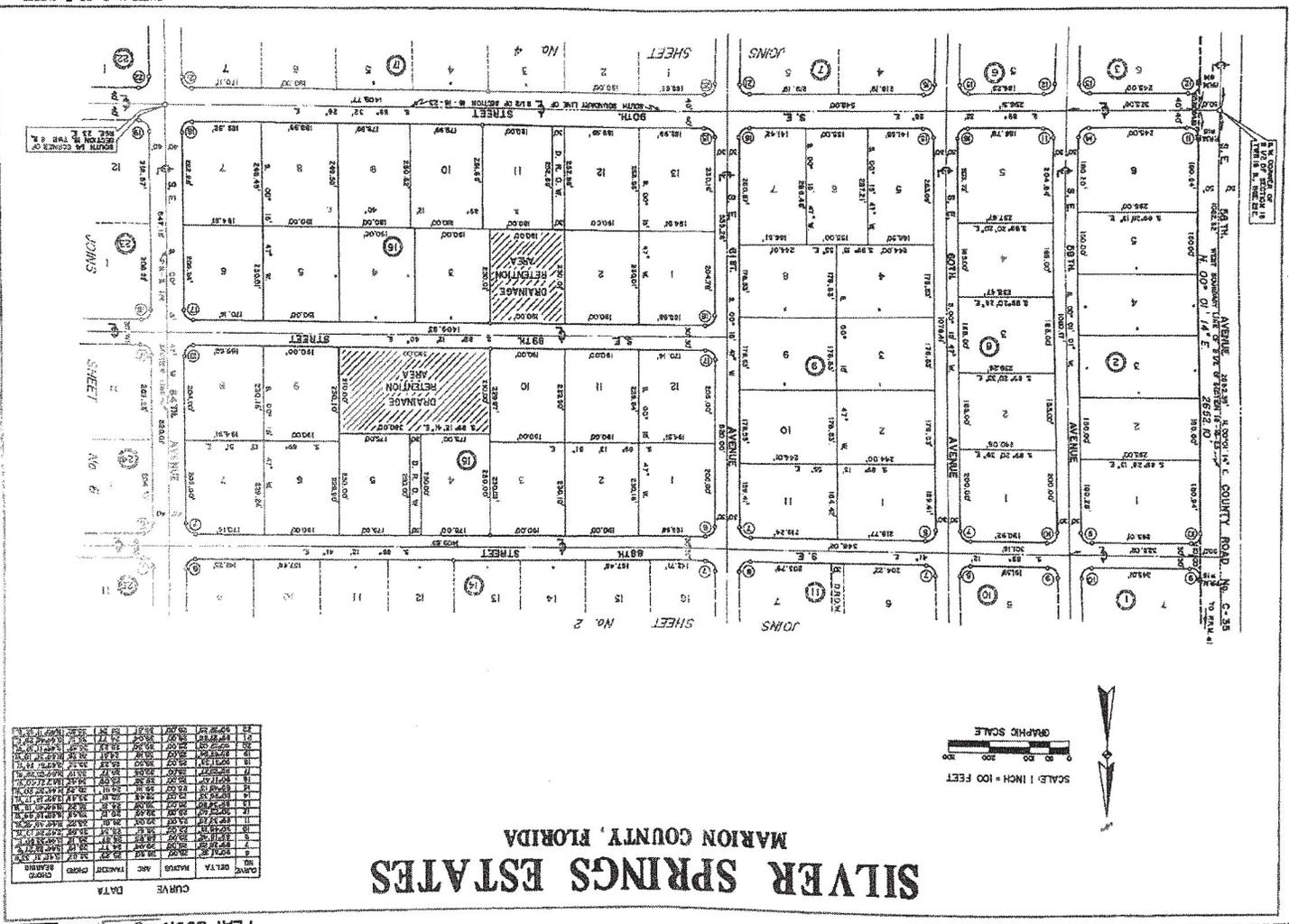
Cheyenne Thompson
Print Name

Admin Specialist Sr.
Title

January 02, 2024
Date

Enclosures:
Location Map

Form RC-UL

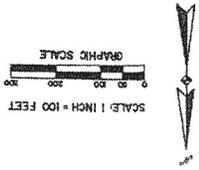


| NO. | CHORD | CHORD BEARING |
|-----|--------|-----------------|--------|-----------------|--------|-----------------|--------|-----------------|
| 1 | 100.00 | S 00° 00' 00" W |
| 2 | 100.00 | S 00° 00' 00" W |
| 3 | 100.00 | S 00° 00' 00" W |
| 4 | 100.00 | S 00° 00' 00" W |
| 5 | 100.00 | S 00° 00' 00" W |
| 6 | 100.00 | S 00° 00' 00" W |
| 7 | 100.00 | S 00° 00' 00" W |
| 8 | 100.00 | S 00° 00' 00" W |
| 9 | 100.00 | S 00° 00' 00" W |
| 10 | 100.00 | S 00° 00' 00" W |
| 11 | 100.00 | S 00° 00' 00" W |
| 12 | 100.00 | S 00° 00' 00" W |
| 13 | 100.00 | S 00° 00' 00" W |
| 14 | 100.00 | S 00° 00' 00" W |
| 15 | 100.00 | S 00° 00' 00" W |
| 16 | 100.00 | S 00° 00' 00" W |
| 17 | 100.00 | S 00° 00' 00" W |
| 18 | 100.00 | S 00° 00' 00" W |
| 19 | 100.00 | S 00° 00' 00" W |
| 20 | 100.00 | S 00° 00' 00" W |
| 21 | 100.00 | S 00° 00' 00" W |
| 22 | 100.00 | S 00° 00' 00" W |

PLAT BOOK 5 PAGE 130

THIS PLAT IS THE PROPERTY OF THE ENGINEER AND THE ENGINEER'S OFFICE AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND THE ENGINEER'S OFFICE.

NOTICE: This map has been prepared by a professional engineer and is subject to the provisions of the Florida Statutes, Chapter 471, F.S., and the rules of the State Board of Professional Engineers, Chapter 61B, F.A.C.



SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

SHEET No. 3 OF 7 SHEETS

LETTER OF NO OBJECTION

To: Marion County Utilities
Jody Kirkman c/o Carrie Hyde
(352) 307-6169
utilities@marionfl.org

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472
pastoraidifigueroa@gmail.com

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Marion County Utilities (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below: Defer to City of Belleview Utilities

[Signature]
Signature
Josh Kramer
Print Name

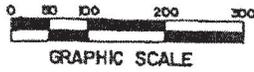
Deputy Director
Title
12/20/24
Date

Enclosures:
Location Map

SILVER SPRINGS ESTATES MARION COUNTY, FLORIDA

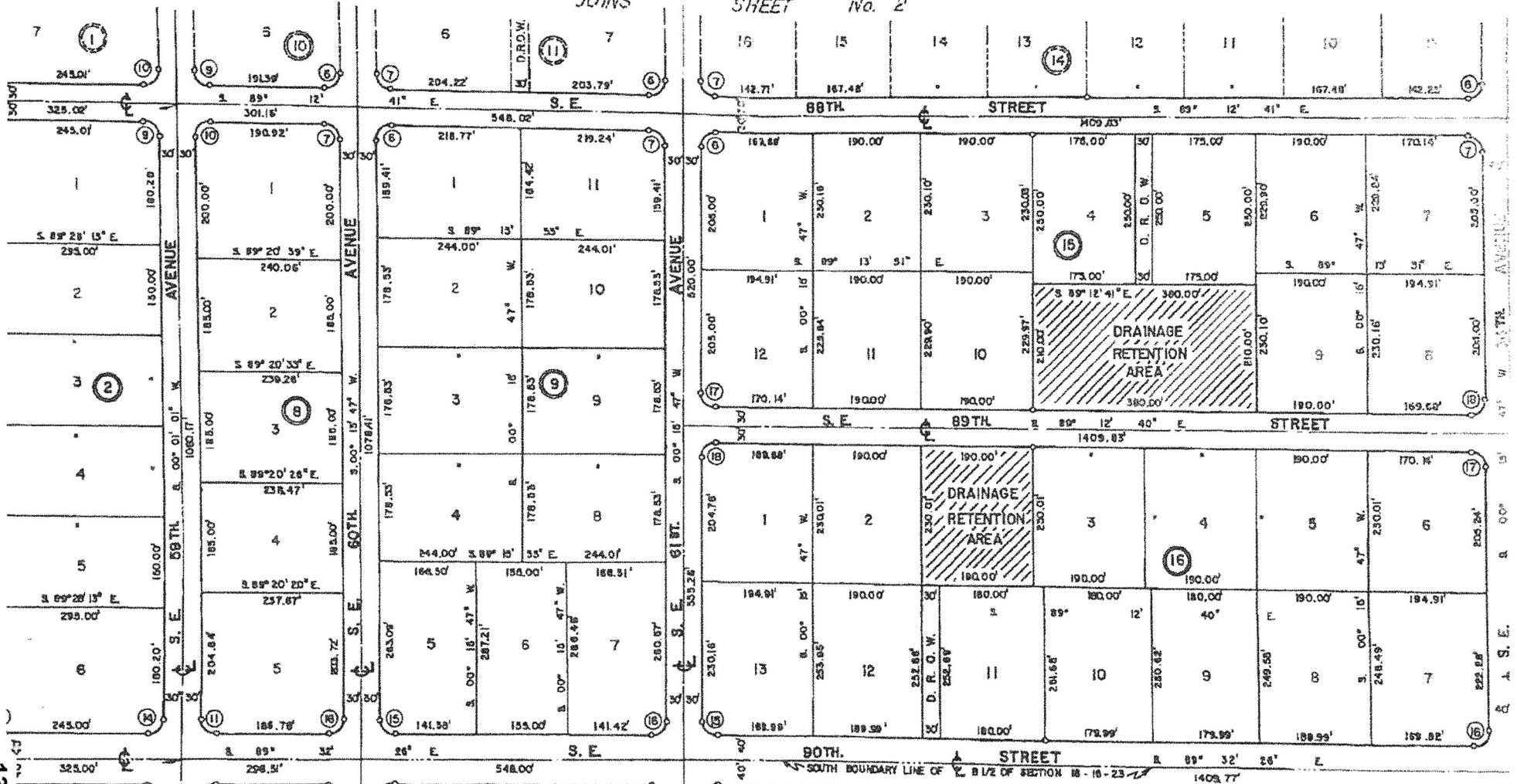
CURVE NO.	DELTA	RADIUS
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7	89°23'02"	25.00'
8	89°18'02"	25.00'
9	90°40'18"	25.00'
10	89°33'20"	25.00'
11	90°29'47"	25.00'
12	89°34'20"	25.00'
13	90°28'33"	25.00'
14	89°48'13"	25.00'
15	90°11'47"	25.00'
16	89°20'27"	25.00'
17	90°31'33"	25.00'
18	89°47'54"	25.00'
19	90°22'08"	25.00'
20	89°27'00"	25.00'
21	90°22'23"	25.00'
22	90°22'23"	25.00'

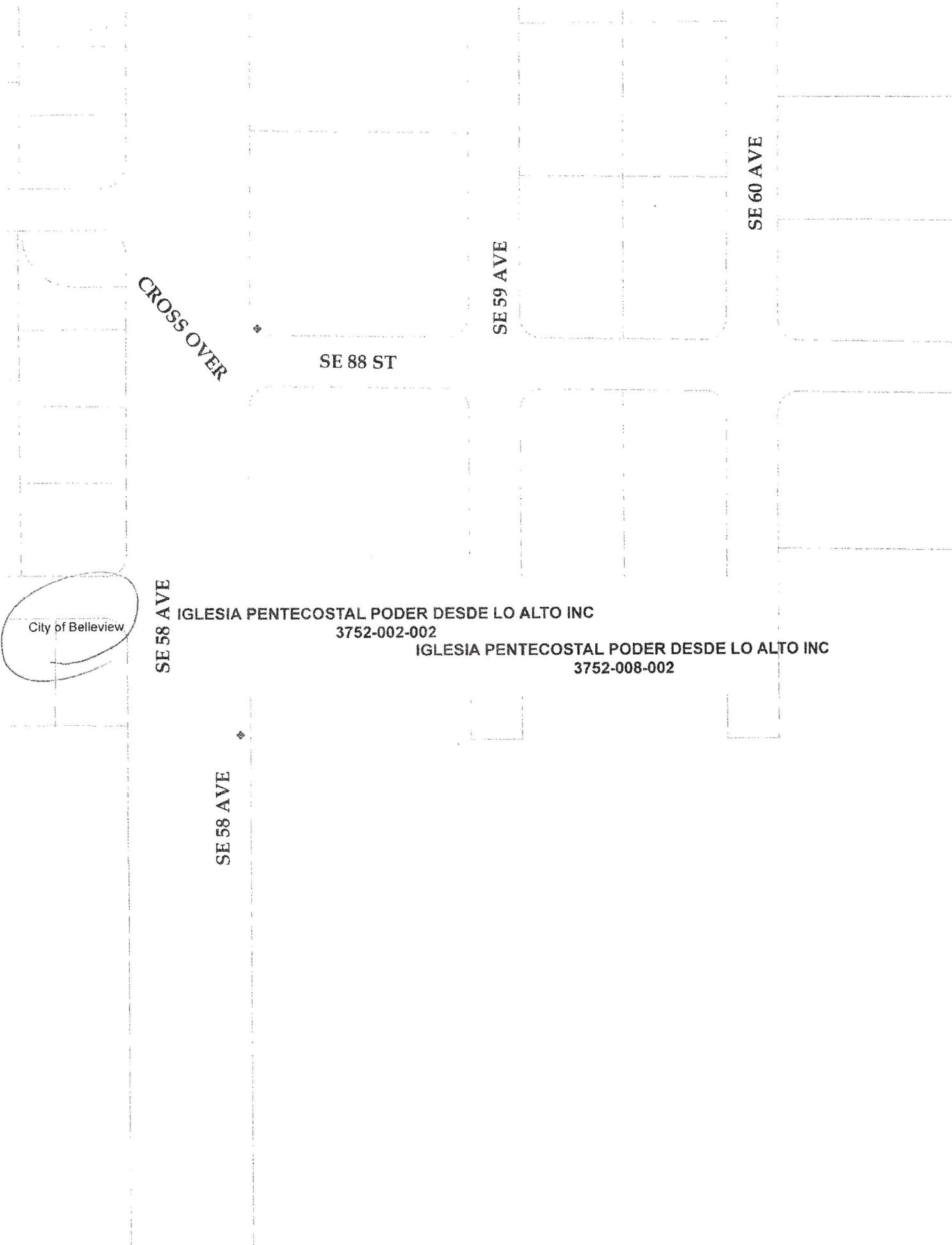
SCALE: 1 INCH = 100 FEET



JOINS

SHEET No. 2





CROSS OVER

SE 88 ST

SE 59 AVE

SE 60 AVE

City of Belleview

SE 58 AVE

SE 58 AVE

IGLESIA PENTECOSTAL PODER DESDE LO ALTO INC
3752-002-002

IGLESIA PENTECOSTAL PODER DESDE LO ALTO INC
3752-008-002

LETTER OF NO OBJECTION

To: Seco
(352) 569-9549
landrights@secoenergy.com
tracy.delema@secoenergy.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Atto, Inc.
Rev. Samuel Figueroa
8862 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Atto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Atto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Seco (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

The subject right of way is not located within SECO's service territory. We have no comments or objections.


Signature

Hannah Clark
Print Name

Land Rights Specialist
Title

12/09/2024
Date

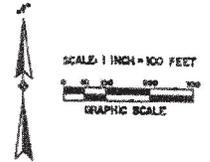
Enclosures:
Location Map

Form RC-UL

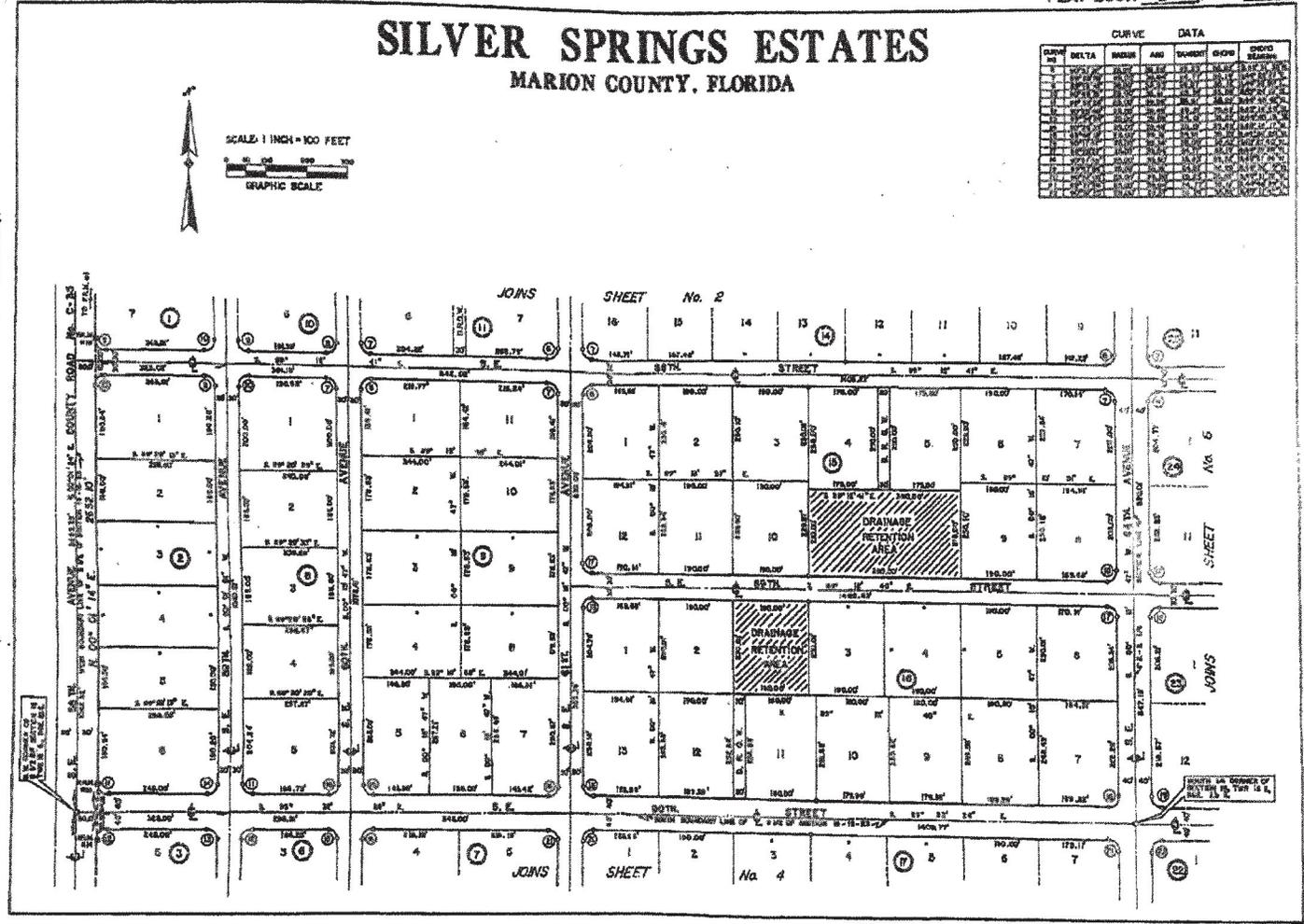
SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

CURVE NO.	CURVE DATA				
	DELTA	BEARING	ARC	CHORD	CHORD BEARING
1
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APPROXIMATE AREA OF EACH LOT AS SHOWN ON THIS PLAT IS BASED ON THE ASSUMPTION THAT THE LOTS ARE RECTANGULAR AND THAT THE DIMENSIONS SHOWN ARE CORRECT.



SHEET No. 2

SHEET No. 4

SHEET No. 3 OF 7 SHEETS

130

LETTER OF NO OBJECTION

To: Century Link
Kurt Judd
Phone (352) 401-6555
Kurt.e.judd@centurylink.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
88102 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Century Link (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

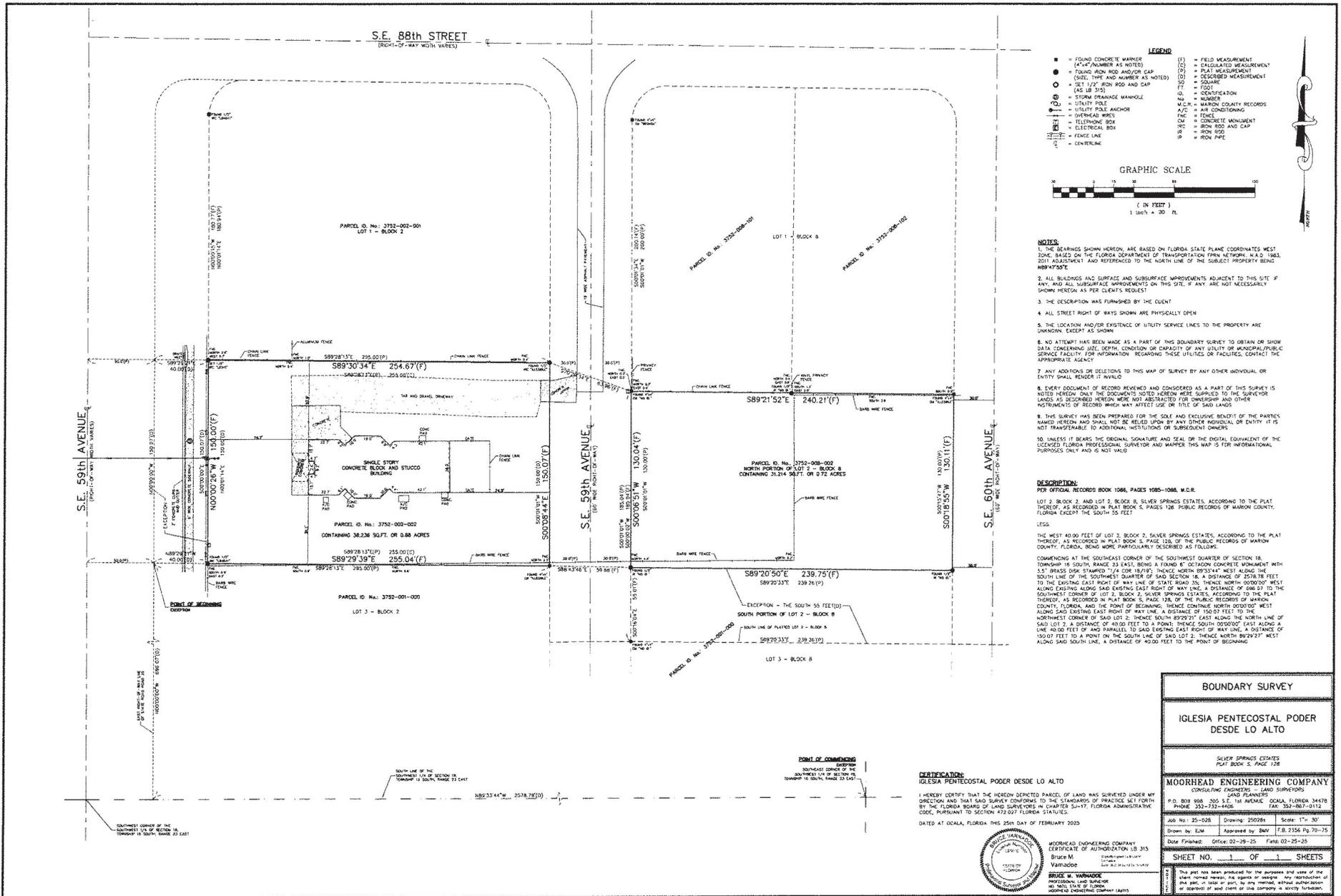
Kurt Judd
Signature

SR NETWORK IMPLEMENTATION ENGINEER
Title

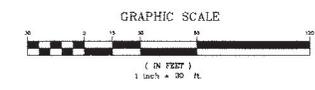
Kurt Judd
Print Name

12/06/2024
Date

Enclosures:
Location Map



- LEGEND**
- = FOUND CONCRETE MARKER (4\"/>
 - = FOUND IRON ROD AND/OR CAP (SIZ. TYPE AND NUMBER AS NOTED)
 - = SET 1/2\"/>
 - = STORM DRAINAGE MANHOLE (AS LB 315)
 - = UTILITY POLE
 - = UTILITY POLE ANCHOR
 - = OVERHEAD WIRE
 - = TELEPHONE BOX
 - = ELECTRICAL BOX
 - = FENCE LINE
 - = CENTERLINE
 - = FIELD MEASUREMENT
 - = CALCULATED MEASUREMENT
 - = PLAT MEASUREMENT
 - = DESCRIBED MEASUREMENT
 - = SLOPE
 - = FOOT
 - = IDENTIFICATION
 - = NUMBER
 - = MARION COUNTY RECORDS
 - = AIR CONDITIONING
 - = FENCE
 - = CONCRETE MONUMENT
 - = IRON ROD AND CAP
 - = IRON ROD
 - = IRON PIPE



- NOTES**
- THE BEARINGS SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATES WEST ZONE, BASED ON THE FLORIDA DEPARTMENT OF TRANSPORTATION TRIP NETWORK, N.A.D. 1983, 2011 ADJUSTMENT AND REFERENCED TO THE NORTH LINE OF THE SUBJECT PROPERTY BEING SURVEYED.
 - ALL BUILDINGS AND SURFACE AND SUBSURFACE IMPROVEMENTS ADJACENT TO THIS SITE IF ANY, AND ALL SUBSURFACE IMPROVEMENTS ON THIS SITE IF ANY ARE NOT NECESSARILY SHOWN HEREON AS PER CLIENT'S REQUEST.
 - THE DESCRIPTION WAS FURNISHED BY THE CLIENT.
 - ALL STREET RIGHTS OF WAYS SHOWN ARE PHYSICALLY OPEN.
 - THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY ARE UNKNOWN EXCEPT AS SHOWN.
 - NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING SIZE, DEPTH, CONDITION OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, CONTACT THE APPROPRIATE AGENCY.
 - ANY ADDITIONS OR DELETIONS TO THIS MAP OF SURVEY BY ANY OTHER INDIVIDUAL OR ENTITY SHALL RENDER IT VOID.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON ONLY THE DOCUMENTS NOTED HEREON WERE SUBMITTED TO THE SURVEYOR. LINES AS DESCRIBED HEREON WERE NOT ABSTRACTED FROM OWNERSHIP AND OTHER INSTRUMENTS OF RECORD WHICH MAY AFFECT USE OF TITLE OF SAID LANDS.
 - THIS SURVEY HAS BEEN PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES NAMED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY IF IT IS NOT TRANSMITTABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - NO INTENT TO BEAR THE ORIGINAL SURVEY AND DEAL OR BE THE ORIGINAL EQUIPMENT OF THE LICENSED FLORIDA PROFESSIONAL SURVEYOR AND MARKER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

DESCRIPTION:
PER OFFICIAL RECORDS BOOK 1086, PAGES 1085-1086, M.C.R.

LOT 2, BLOCK 2, AND LOT 3, BLOCK 2, SILVER SPRINGS ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 128 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA EXCEPT THE SOUTH 55 FEET.

LESS

THE WEST 40.00 FEET OF LOT 3, BLOCK 2, SILVER SPRINGS ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 128, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 16 SOUTH, RANGE 23 EAST, BEING A FOUND 8\"/>

TO THE SOUTHWEST CORNER OF SAID SECTION 18, A DISTANCE OF 2678.78 FEET TO THE EXISTING EAST RIGHT OF WAY LINE OF STATE ROAD 25, THENCE NORTH 02°00'00\"/>

ALONG SAID EXISTING EAST RIGHT OF WAY LINE, A DISTANCE OF 886.07 TO ITS SOUTHWEST CORNER OF LOT 2, BLOCK 2, SILVER SPRINGS ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 128, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND THE POINT OF BEGINNING, THENCE CONTINUE NORTH 02°00'00\"/>

ALONG SAID EXISTING EAST RIGHT OF WAY LINE, A DISTANCE OF 150.07 FEET TO THE NORTHWEST CORNER OF SAID LOT 2, THENCE SOUTH 89°27'21\"/>

ALONG SAID SOUTH LINE OF SAID LOT 2, THENCE NORTH 89°27'21\"/>

WEST ALONG SAID SOUTH LINE, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

BOUNDARY SURVEY	
IGLESIA PENTECOSTAL PODER DESDE LO ALTO	
SILVER SPRINGS ESTATES PLAT BOOK 2, PAGE 128	
MOORHEAD ENGINEERING COMPANY CONSULTING ENGINEERS - LAND SURVEYORS	
2240 PLANTERS P.O. BOX 908 305 S.E. 1st AVE. OCALA, FLORIDA 34478 PHONE 352-732-4400 FAX 352-867-3112	
Job No: 25-028	Drawing: 25028a
Scale: 1" = 30'	Drawn by: EJM
Approved by: BNV	F.B. 2354 Pg 70-75
Date Plotted: 02-28-25	Date: 02-25-25
SHEET NO. 1 OF 1 SHEETS	
<small>This plat has been prepared for the purposes and uses of the client named herein, and subject to the terms, conditions, stipulations, and approval of said client or this company as a safety foundation.</small>	

CERTIFICATION:
IGLESIA PENTECOSTAL PODER DESDE LO ALTO

I HEREBY CERTIFY THAT THE HEREON DEPICTED PARCEL OF LAND WAS SURVEYED UNDER MY DIRECTION AND THAT SAID SURVEY CONFORMS TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 320-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 474.007 FLORIDA STATUTES.

DATED AT OCALA, FLORIDA THIS 25th DAY OF FEBRUARY 2025

BRUCE M. VARNADO
PROFESSIONAL LAND SURVEYOR
NO. 26115 STATE OF FLORIDA
MOORHEAD ENGINEERING COMPANY



LETTER OF NO OBJECTION

To: Teco
Joan Domning
jdomning@tecoenergy.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8862 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Teco (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Please be active gas line in the ROW. Please call 811 prior to construction.

Cheyenne Thompson
Signature

Admin Specialist Sr.
Title

Cheyenne Thompson
Print Name

January 02, 2024
Date

Enclosures:
Location Map

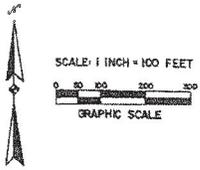
Form RC-UL

NOTICE: THERE ARE NO ADDITIONAL PROVISIONS THAT ARE NOT SHOWN ON THIS PLAN THAT MAY BE APPLICABLE TO THE PUBLIC RECORDS OF THIS COUNTY.

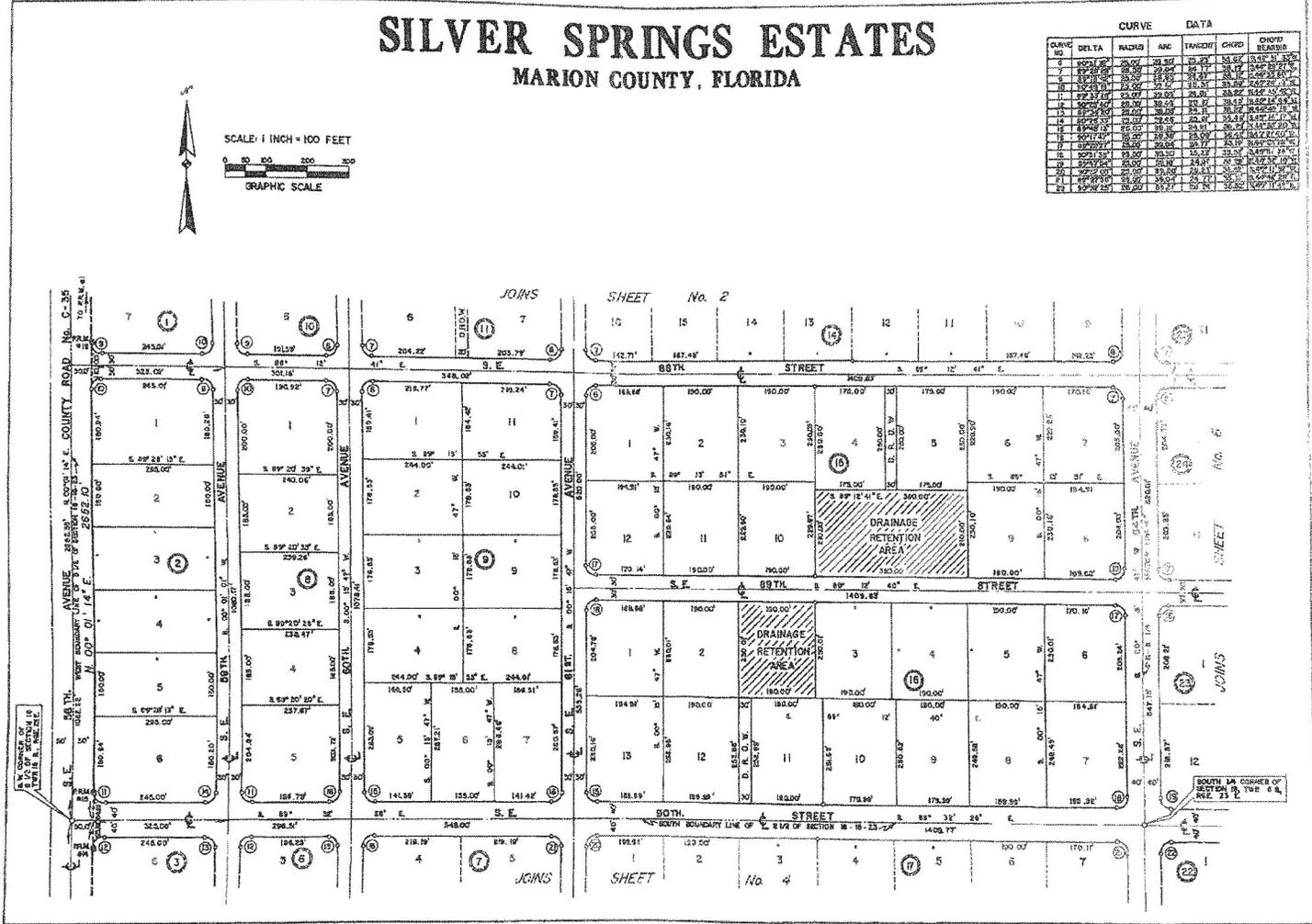
SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

CURVE		DATA				
CURVE NO.	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
1	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
2	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
3	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
4	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
5	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
6	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
7	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
8	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
9	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
10	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
11	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
12	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
13	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
14	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
15	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
16	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
17	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
18	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
19	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
20	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
21	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W
22	90°00'00"	100.00'	100.00'	100.00'	100.00'	S 90°00'00" W



NOTICE: THERE ARE NO ADDITIONAL PROVISIONS THAT ARE NOT SHOWN ON THIS PLAN THAT MAY BE APPLICABLE TO THE PUBLIC RECORDS OF THIS COUNTY.



LETTER OF NO OBJECTION

To: Duke Energy

Date: 12/5/2024

vacate@duke-energy.com

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8862 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Duke Energy (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Duke Energy has no objection to the above vacate request.

Irma Cuadra
Signature

Sr. Research Specialist
Title

Irma Cuadra
Print Name

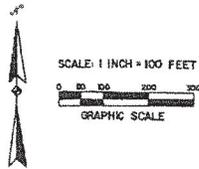
December 10, 2024
Date

Enclosures:
Location Map

NOTICE: THESE ARE IN ADDITIONAL SUBSECTION THAT ARE THE SUBJECT OF THIS PLAT AND MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY

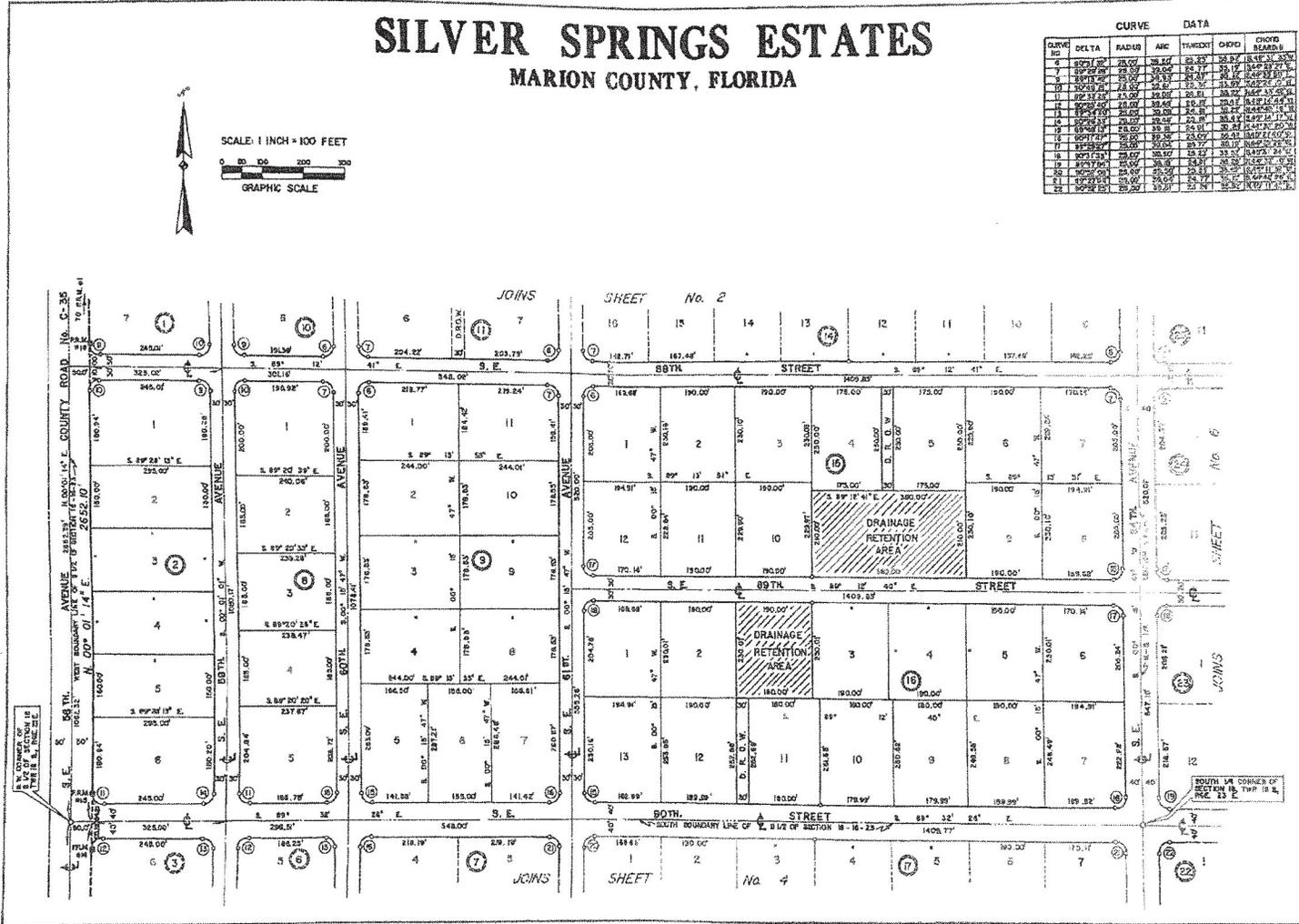
SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

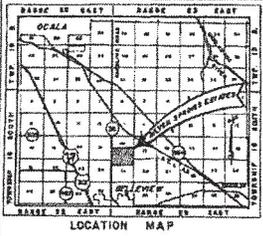


CURVE DATA						
CURVE NO.	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BEARINGS
1	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
2	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
3	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
4	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
5	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
6	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
7	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
8	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
9	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
10	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
11	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
12	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
13	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
14	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
15	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
16	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
17	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
18	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
19	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
20	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
21	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
22	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
23	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
24	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
25	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
26	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
27	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
28	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
29	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71
30	90° 00' 00"	100.00	100.00	70.71	70.71	S 45° 00' 00" W 70.71

NOTICE: THESE ARE IN ADDITIONAL SUBSECTION THAT ARE THE SUBJECT OF THIS PLAT AND MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY



NOTICE: THERE MAY BE ARBITRARY REPLICATIONS OF THIS AND THE RECORDS IN THIS PLAT THAT MAY BE THE PUBLIC RECORDS OF DADE COUNTY.



SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

IN SECTIONS 18 AND 19, TOWNSHIP 16 SOUTH, RANGE 23 EAST

DESCRIPTION
 THE NORTH 1/4 OF SECTION 18, TOWNSHIP 16 SOUTH, RANGE 23 EAST, AND THE SOUTH 1/2 OF SECTION 19, TOWNSHIP 16 SOUTH, RANGE 23 EAST, EXCEPT THE WEST 80.00 FEET THEREOF IN ROAD RIGHT-OF-WAY.

NOTICE: There may be arbitrary replications of this and the records in this plat that may be the public records of Dade County.

- LEGEND**
- ⊙ P.M. - PERMANENT REFERENCE MONUMENT (4" x 4" x 24" CONCRETE MONUMENT)
 - ⊙ P.C.P. - PERMANENT CONTROL POINT (4" x 4" x 24" CONCRETE MONUMENT)
 - INDICATES SECTION OR 1/4 SECTION CORNER
 - S.A. - DRAINAGE DETENTION AREA
 - D.R.O.W. - DRAINAGE RIGHT-OF-WAY
 - INDICATES CENTERLINE OF RIGHT-OF-WAY
 - R/W - RIGHT-OF-WAY
 - ⊙ REFERS TO CURVE NUMBER ON CURVE DATA TABLE
 - ⊙ INDICATE BLOCK IDENTIFICATION LETTER

- NOTES**
1. BEARINGS ARE BASED ON AN ASSUMED MERIDIAN.
 2. APPLICATION FOR SEPTIC TANKS AND/OR SUMP PUMPS SHALL BE CONSIDERED ON A LOT BY LOT BASIS EACH INDEPENDENT OF ANY SEWER INSTALLATION SHALL BE SUBJECT TO REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION.
 3. R.C.P.'S SHOWN ON THIS PLAT ARE TO BE SET WITHIN 30 DAYS FROM THE DATE THIS PLAT IS RECORDED.

OFFICIAL COVENANT
 THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, AS A CONDITION PRECEDENT TO THE ACCEPTANCE OF THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF PROPERTY SHOWN ON THIS PLAT, THAT THE LANDS INCLUDED IN THIS PLAT ARE SUBJECT TO SPECIAL ASSURANCES AS MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH THE MAINTENANCE, OPERATION AND CONSTRUCTION OF A CENTRAL WATER SYSTEM AND SEWER SYSTEM WHEN IN THE OPINION OF SAID BOARD OR OTHER GOVERNING BODY, HAVING JURISDICTION, SUCH FACILITIES BECOME NECESSARY TO PROTECT THE ENVIRONMENT AND HEALTH, SAFETY AND WELFARE OF THE GENERAL PUBLIC.

APPROVAL OF OFFICIALS

APPROVED BY: Shane E. Slavin COUNTY ENGINEER
 BY: W. H. Bradford, Jr. DIRECTOR OF PUBLIC WORKS
 BY: Walter Smith ZONING DIRECTOR
 BY: Alvin M. Pines COUNTY SANITARIAN
 BY: Donald H. Miller COUNTY PLANNER

THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, DOES HEREBY APPROVE THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS AND ACCEPTS THE FOREGOING DECLARATION.

AT TEST: Donald E. Hogan CLERK OF THE COUNTY COURT
Francis C. Thrippani CLERK OF THE COUNTY COURT

I HEREBY CERTIFY THAT THE ATTACHED PLAT CONFORMS WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND THAT SAID PLAT WAS FILED FOR RECORD IN PLAT BOOK 5 AT PAGE 128 TO 129 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AT 11:00 P.M. ON MARCH 2, 1977.

SHEET NO. 1	SHEET NO. 2
SHEET NO. 3	SHEET NO. 4
SHEET NO. 5	SHEET NO. 7

SHEET INDEX

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAT OF SILVER SPRINGS ESTATES IS A TRUE AND CORRECT REPRESENTATION OF THE LAND AS RECENTLY SURVEYED AND PLATTED UNDER MY DIRECTION, THAT THE PERMANENT REFERENCE MONUMENTS AS SHOWN THEREON WERE IN PLACE ON THE 21st DAY OF FEBRUARY, 1977, AND THAT THIS PLAT COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES.

MOORHEAD ENGINEERING COMPANY
Donald E. Stalward
 DONALD E. STALWARD
 REGISTERED SURVEYOR NO. 1377
 STATE OF FLORIDA

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION
 KNOW ALL MEN BY THESE PRESENTS THAT SILVER SPRINGS ESTATES, INC., A PARANAMIAN CORPORATION, AUTHORIZED TO DO BUSINESS IN THE STATE OF FLORIDA, HAS CAUSED TO BE MADE THE ATTACHED PLAT OF SILVER SPRINGS ESTATES, THE SAME BEING A SUBDIVISION OF THE LAND HEREIN DESCRIBED AND THAT THE WATER RETENTION AREAS, DRAINAGE RIGHT-OF-WAYS, AND ALL STREETS, DRIVEWAYS AND LAKES AS SHOWN ON THE ATTACHED PLAT TOGETHER WITH ALL IMPROVEMENTS THEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES HEREINAFTER INTO THEMSELVES, THEIR SUCCESSORS OR ASSIGNS, THE BENEFIT OF OR PERSONS THENCEOF WHENEVER DISCONTINUED BY LAW, AND THAT THE EASEMENTS AS SHOWN OR NOTED ARE RESERVED AND GRANTED FOR THE INSTALLATION AND MAINTENANCE OF DRAINAGE FACILITIES.

IN WITNESS WHEREOF THE SAID SILVER SPRINGS ESTATES, INC. HAS CAUSED THESE PRESENTS TO BE SIGNED IN ITS CORPORATE NAME BY ITS VICE-PRESIDENT, SECRETARY, AND CO-CORPORATE SIGN TO BE MEMORANDUM ATTACHED BY ITS VICE-PRESIDENT-SECRETARY ON THIS 22nd DAY OF FEBRUARY, 1977, ALL BY AND PURSUANT TO SPECIAL RESOLUTION OF THE BOARD OF DIRECTORS OF SAID CORPORATION.

John E. Kocumaker VICE-PRESIDENT-SECRETARY
 JOHN E. KOCUMAKER

NOTARY ACKNOWLEDGMENT
 STATE OF NEW YORK
 COUNTY OF NEW YORK
 BEFORE ME THIS DAY PERSONALLY APPEARED JOHN E. KOCUMAKER, AS VICE-PRESIDENT SECRETARY OF SILVER SPRINGS ESTATES, INC., TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO QUOTED THE FOREGOING INSTRUMENT, AND WHO ACKNOWLEDGED THAT HE DID SO AS AN OFFICER OF SAID CORPORATION, ALL BY AND PURSUANT TO SPECIAL RESOLUTION OF THE BOARD OF DIRECTORS OF SAID CORPORATION.

DATE: February 22, 1977
 NOTARY PUBLIC
 STATE OF NEW YORK AT LARGE
 BY COMMISSION EXPIRES 2-28-1977

CONSENT OF MORTGAGEE
 KNOW ALL MEN BY THESE PRESENTS THAT MID-FLORIDA PRODUCTION CREDIT ASSOCIATION, A FLORIDA CORPORATION, THE OWNER AND HOLDER BY ASSIGNMENT, RECORDED IN OFFICIAL RECORDS BOOK 813, PAGE 871 OF THAT CERTAIN MORTGAGE DATED AUGUST 21, 1976, AND RECORDED IN OFFICIAL RECORDS BOOK NO. 47, PAGE 117 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, ENCUMBERING THE PROPERTY DESCRIBED HEREON, DOES HEREBY CONSENT TO THIS PLAT AND JOINS IN THE ASSURE DEDICATION.

IN WITNESS WHEREOF WE HAVE HERETOBY CAUSED THESE PRESENTS TO BE SIGNED THIS 22nd DAY OF FEBRUARY, 1977.

WITNESSED AS TO ALL: MID-FLORIDA PRODUCTION CREDIT ASSOCIATION
 BY: Jerry E. Thomas PRESIDENT
James H. Kocumaker A. L. HANBROW, JR., VICE-PRESIDENT

NOTARY ACKNOWLEDGMENT
 STATE OF FLORIDA
 COUNTY OF ALACHUA
 BEFORE ME THIS DAY PERSONALLY APPEARED JERRY E. THOMAS AND A. L. HANBROW, JR., AS PRESIDENT AND VICE-PRESIDENT OF MID-FLORIDA PRODUCTION CREDIT ASSOC., TO ME WELL KNOWN TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND WHO ACKNOWLEDGED THAT THEY DO SO AS OFFICERS OF SAID ASSOCIATION, ALL BY AND WITH THE AUTHORITY INVESTED IN THEM AS OFFICERS OF SAID ASSOCIATION.

DATE: February 22, 1977
 NOTARY PUBLIC
 STATE OF FLORIDA - AT LARGE
 BY COMMISSION EXPIRES 2/28/77

PREPARED BY
 MOORHEAD ENGINEERING COMPANY
 305 S.E. FIRST AVE
 Ocala, Florida

LETTER OF NO OBJECTION

To: City of Belleview
Lezi Merritt
(352) 233-2115
(352) 245-7021
merritt@belleview-fl.org

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc
Rev. Samuel Figueroa
88102 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of Belleview (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Bob Titterton
Signature

Public Wks. Director
Title

Bob Titterton
Print Name

12-9-24
Date

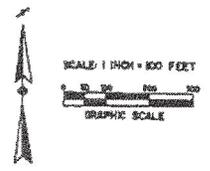
Enclosures:
Location Map

Form RC-UL

Notes: - There are no easements, encroachments, or other interests in this tract that are not shown on the public records of this county.

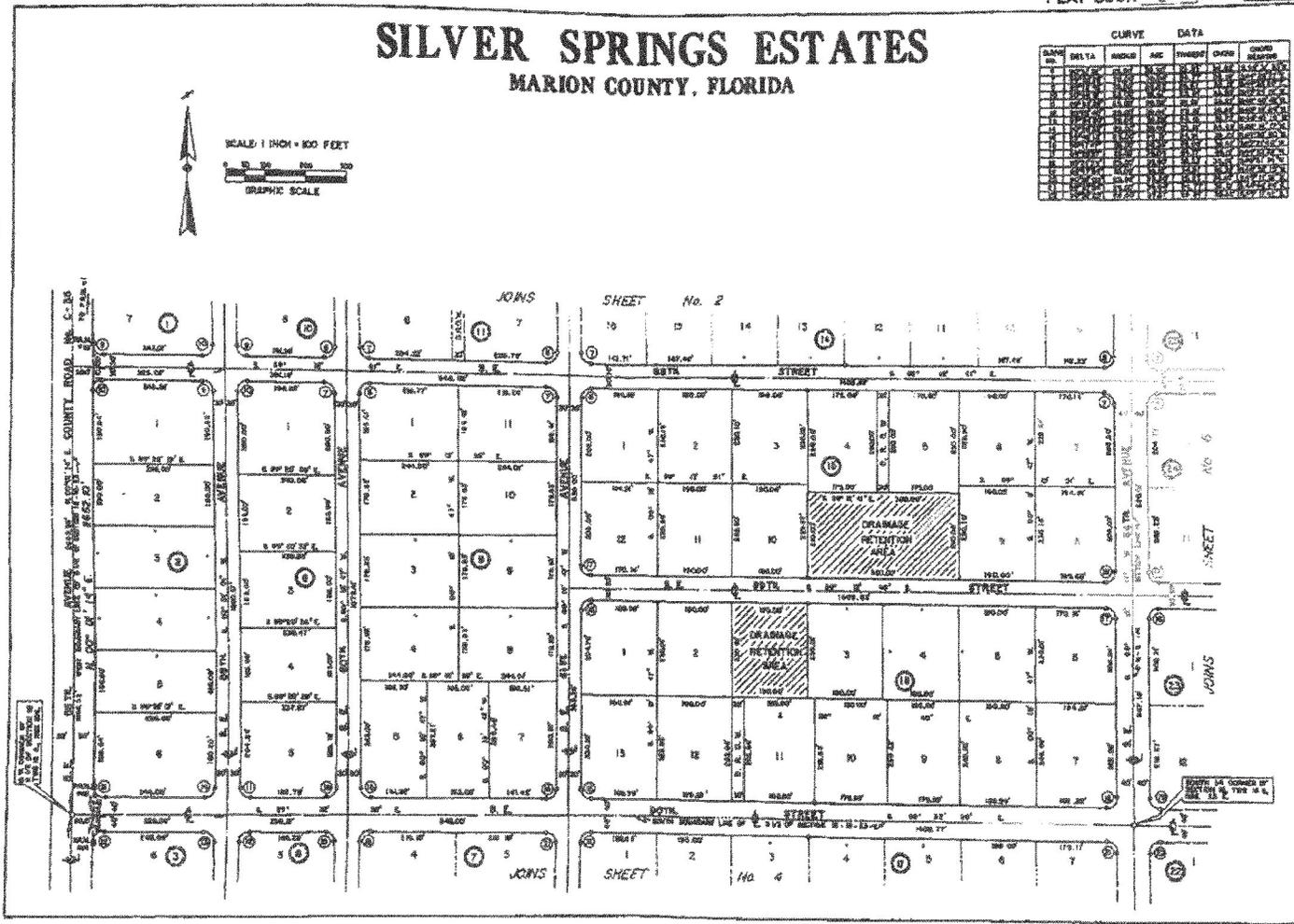
SILVER SPRINGS ESTATES

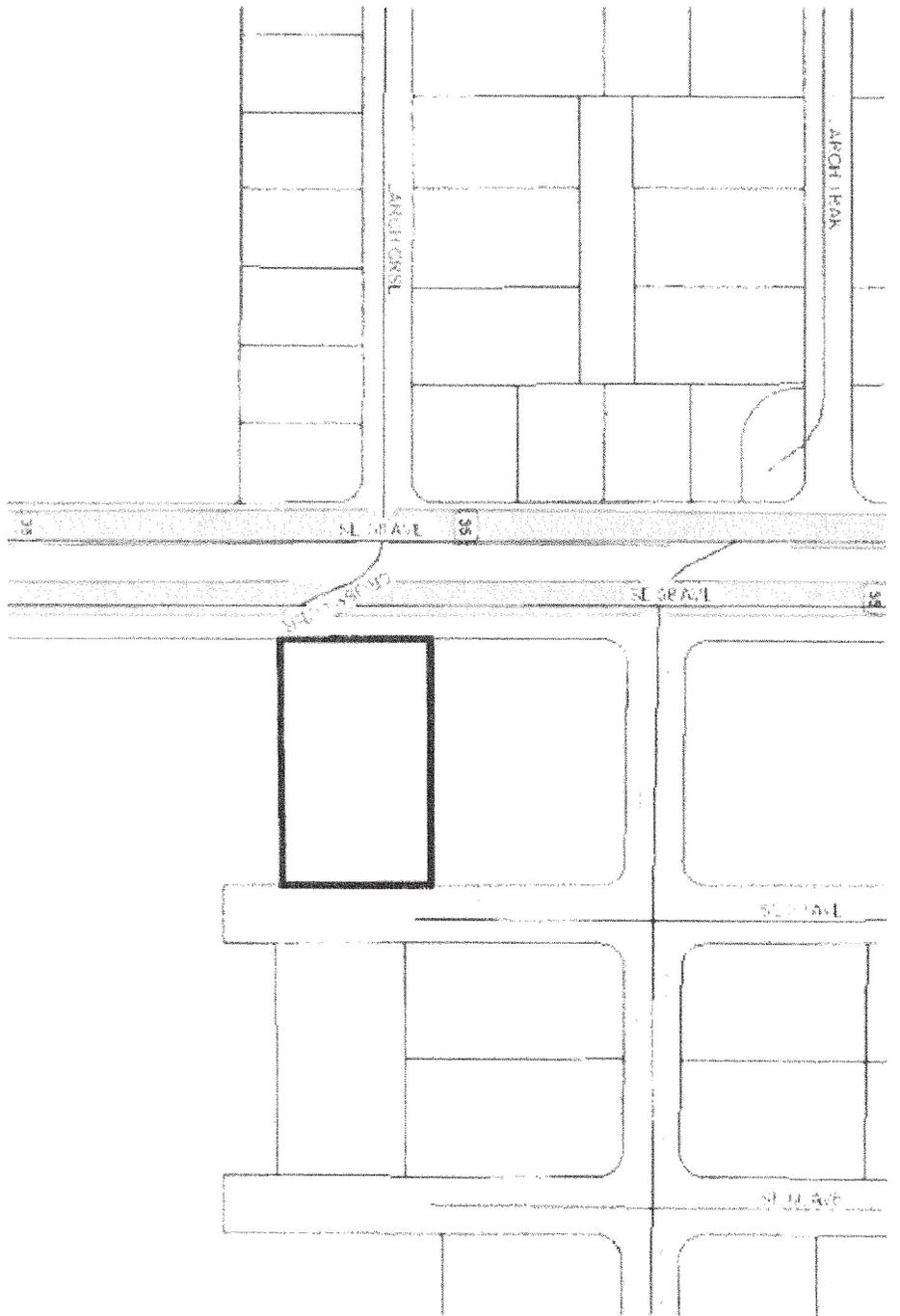
MARION COUNTY, FLORIDA



CURVE DATA					
LINE NO.	DELTA	CHORD	ARC	THROAT	CHORD BEARING
1	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
2	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
3	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
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14	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
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16	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
17	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
18	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
19	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
20	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
21	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
22	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
23	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
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27	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
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29	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
30	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
31	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
32	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
33	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
34	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
35	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
36	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
37	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
38	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
39	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
40	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
41	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
42	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
43	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
44	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
45	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
46	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
47	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
48	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
49	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
50	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
51	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
52	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
53	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
54	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
55	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
56	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
57	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
58	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
59	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
60	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
61	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
62	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
63	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
64	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
65	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
66	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
67	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
68	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
69	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
70	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
71	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
72	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
73	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
74	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
75	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
76	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
77	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
78	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
79	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
80	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
81	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
82	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
83	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
84	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
85	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
86	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
87	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
88	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
89	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
90	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
91	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
92	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
93	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
94	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
95	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
96	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
97	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
98	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
99	113.71	147.00	157.00	10.00	S 89.17° E 147.00'
100	113.71	147.00	157.00	10.00	S 89.17° E 147.00'

This plat is subject to the provisions of the Florida Statutes relating to the subdivision of land, and to the provisions of the Florida Statutes relating to the recording of plats.









December 9, 2024

Iglesia Pentecostal Poder Desde Lo Alto Inc.
8862 SE 59th Ave
Ocala FL 34472

Re: Easement Use: Abandon/vacate easement between parcel 3752-002-002 and 3752-008-002.
59th Ave. Marion County FL.

Please be advised that Charter Communications has no objection to the Vacate of Easement proposed on your request. I have enclosed your original request for your reference. Please let me know if I can be of further assistance.

Sincerely,

Dwayne Leachman

Dwayne Leachman
Construction Supervisor
Charter
COMMUNICATIONS

LETTER OF NO OBJECTION

To: Spectrum
Kenneth Powell
kenneth.powell14@charter.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
88102 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

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Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Spectrum (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map

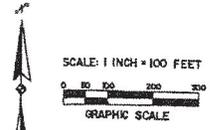
Form RC-UL

NOTICE: THERE ARE NO ADDITIONAL DESCRIPTIONS
 THERE ARE NO RECORDS ON THIS PLAT THAT BE
 FOUND IN THE PUBLIC RECORDS OF THIS COUNTY

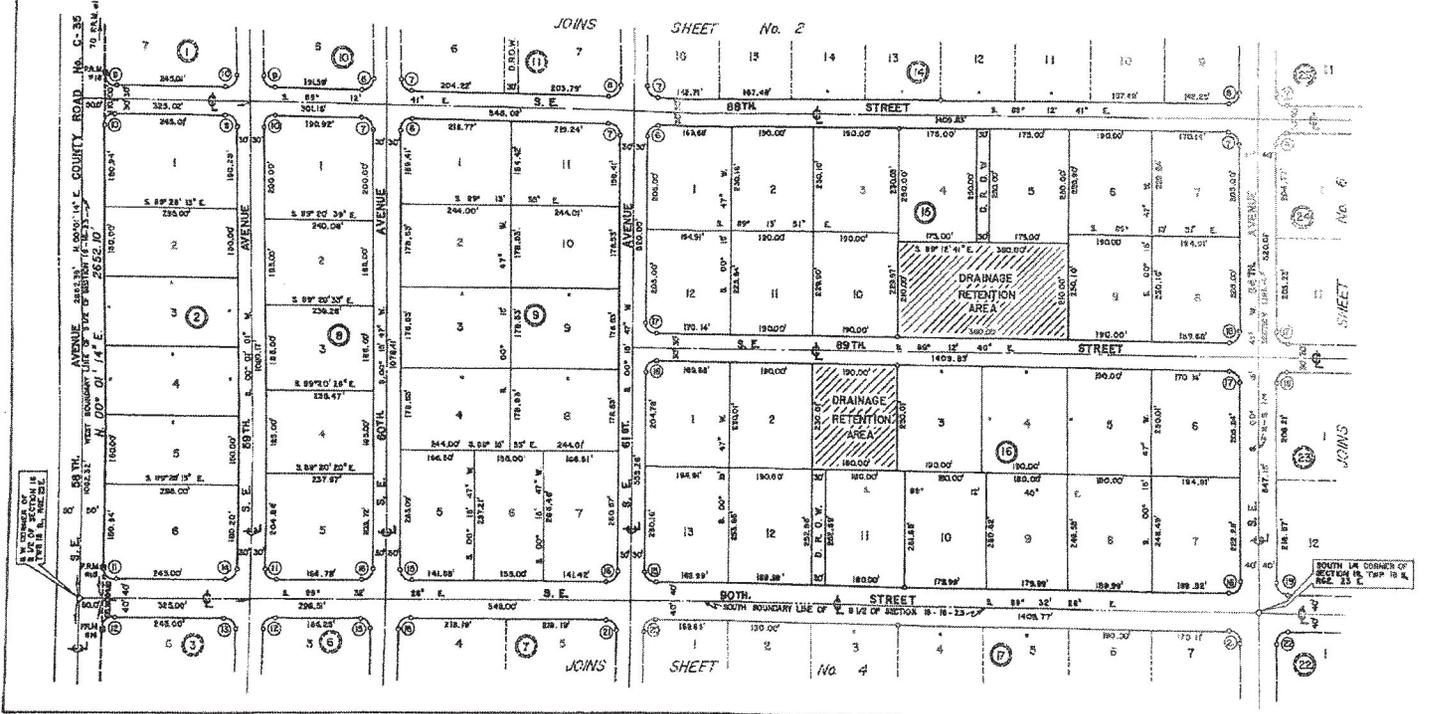
SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

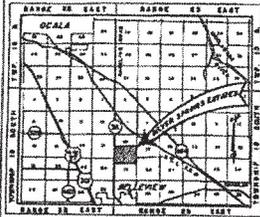
CURVE		DATA				
CURVE NO.	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
1	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
2	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
3	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
4	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
5	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
6	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
7	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
8	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
9	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
10	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
11	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
12	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
13	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
14	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
15	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
16	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
17	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
18	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
19	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
20	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
21	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W
22	89° 28' 13"	265.00	38.24	25.23	35.87	S 89° 28' 13" W



NOTICE: THESE ARE THE ORIGINAL RECORDS OF THE MARION COUNTY PLAT BOOK AND THE ORIGINAL RECORDS OF THE MARION COUNTY PLAT BOOK ARE THE ORIGINAL RECORDS OF THE MARION COUNTY PLAT BOOK.



NOTICE: THESE MAY BE SUBJECT TO REVISIONS. THEREFORE, THESE MAY BE SUBJECT TO REVISIONS. THEREFORE, THESE MAY BE SUBJECT TO REVISIONS.



LOCATION MAP

NOTICE: THESE MAY BE SUBJECT TO REVISIONS. THEREFORE, THESE MAY BE SUBJECT TO REVISIONS. THEREFORE, THESE MAY BE SUBJECT TO REVISIONS.

- LEGEND**
- P.M. - PERMANENT REFERENCE POINT (1/4" x 1/4" CONCRETE MONUMENT)
 - P.C.P. - PERMANENT CONTROL POINT (1/4" x 1/4" CONCRETE MONUMENT)
 - - INDICATES SECTION OR 1/4 SECTION CORNER
 - D.A. - DRAINAGE DETENTION AREA
 - D.L. - DRAINAGE RIGHT-OF-WAY
 - - - - - INDICATES CENTERLINE OF RIGHT-OF-WAY
 - R/W - RIGHT-OF-WAY
 - - - - - REFERS TO CURVE NUMBER ON CURVE DATA TABLE
 - Ⓢ - INDICATES BLOCK IDENTIFICATION LETTER

SHEET NO 1	SHEET NO 2
SHEET NO 3	SHEET NO 4
SHEET NO 5	SHEET NO 6
SHEET NO 7	SHEET NO 8

SHEET INDEX

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF SILVER SPRINGS ESTATES IS A TRUE AND CORRECT REPRESENTATION OF THE LAND AS RECENTLY SURVEYED AND PLATTED UNDER MY DIRECTION, THAT THE PERMANENT REFERENCE MONUMENTS AS SHOWN THEREON WERE IN PLACE ON THE 24TH DAY OF February, 1977, AND THAT THIS PLAT COMPLETES WITH THE REQUIREMENTS OF CHAPTER 171, FLORIDA STATUTES.

MODNEAD ENGINEERING COMPANY
 BY Donald E. Starbala
 DONALD E. STARBALA
 REGISTERED SURVEYOR NO. 1577
 STATE OF FLORIDA

SILVER SPRINGS ESTATES

MARION COUNTY, FLORIDA

IN
 SECTIONS 18 AND 19, TOWNSHIP 16 SOUTH, RANGE 23 EAST

DESCRIPTION

THE NORTH 1/4 OF SECTION 18, TOWNSHIP 16 SOUTH, RANGE 23 EAST AND THE SOUTH 1/2 OF SECTION 18, TOWNSHIP 16 SOUTH, RANGE 23 EAST, EXCEPT THE 1577.00 FEET THEREOF IS ROAD RIGHT-OF-WAY.

- NOTES**
1. DEAMINGS ARE BASED ON AN ASSUMED MERIDIAN.
 2. APPLICATIONS FOR DEEDS THEREON SHALL BE CONSIDERED ON A LOT BY LOT BASIS EACH DEPENDENT ON THE DEEDS. INSTALLATION SHALL BE SUBJECT TO REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION.
 3. R.C.P.'S SHOWN ON THIS PLAT ARE TO BE SET WITHIN 30 YEARS FROM THE DATE THIS PLAT IS RECORDED.

OFFICIAL COVENANT

THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, AS A CONDITION PRECEDENT TO THE ACCEPTANCE OF THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF PROPERTY SHOWN ON THIS PLAT, THAT THE LANDS INCLUDED IN THIS PLAT ARE SUBJECT TO SPECIAL ASSESSMENTS AS MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH THE MAINTENANCE, OPERATION AND CONSTRUCTION OF A CENTRAL WATER SYSTEM AND SEWER SYSTEM WHICH IS THE OBLIGATION OF SAID BOARD OR OTHER GOVERNING BODY HAVING JURISDICTION. SUCH FACILITIES BECOME NECESSARY TO PROTECT THE ENVIRONMENT AND HEALTH, SAFETY AND WELFARE OF THE GENERAL PUBLIC.

APPROVAL OF OFFICIALS

APPROVED BY _____ COUNTY ENGINEER
 BY Francis E. Thompson DIRECTOR OF PUBLIC WORKS
 BY James M. Jones JUNIOR DIRECTOR
 BY Alvin M. Jones COUNTY MANAGER
 BY Donald H. Miller COUNTY PLANNER

THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, DOES HEREBY APPROVE THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS AND ACCEPTS THE FOREGOING DEDICATION.

ATTEST: Francis E. Thompson
 FRANCIS E. THOMPSON
 CLERK OF THE COUNTY COURT

I HEREBY CERTIFY THAT THE ATTACHED PLAT CONFORMS WITH THE PROVISIONS OF CHAPTER 171, FLORIDA STATUTES, AND THAT SAID PLAT WAS FILED FOR RECORD IN PLAT BOOK 5 AT PAGES 128 TO 134, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AT 10:24 A.M. ON MARCH 2, 1977.

BY Francis E. Thompson
 FRANCIS E. THOMPSON
 CLERK OF THE COUNTY COURT

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT SILVER SPRINGS ESTATES, INC., A PANHANDLE CORPORATION, AUTHORIZED TO DO BUSINESS IN THE STATE OF FLORIDA, HAS CAUSED TO BE MADE THE ATTACHED PLAT OF SILVER SPRINGS ESTATES, THE SAME BEING A SUBDIVISION OF THE LAND HEREIN DESCRIBED AND THAT THE WATER RETENTION AREAS, CHANNELS, DRAINAGE DITCHES, AND ALL STREETS, AVENUES, AND LANES AS SHOWN ON THE ATTACHED PLAT TOGETHER WITH ALL IMPROVEMENTS THEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES RESERVING UNTO THEMSELVES, THEIR SUCCESSORS OR ASSIGNS THE REVENUES OF DEEDS SHOWING THEREON UNLESS DISCONTINUED BY LAW, AND THAT THE EASEMENTS AS SHOWN OR NOTED ARE RECEIVED AND GRANTED FOR THE INSTALLATION AND MAINTENANCE OF DRAINAGE FACILITIES.

IN WITNESS WHEREOF THE SAID SILVER SPRINGS ESTATES, INC. HAS CAUSED THESE PRESENTS TO BE SIGNED IN ITS CORPORATE NAME BY ITS VICE-PRESIDENT, SECRETARY, AND ITS CORPORATE SEAL TO BE HEREBY AFFIXED BY ITS VICE-PRESIDENT-SECRETARY ON THIS 27TH DAY OF February, 1977. ALL BY AND PURSUANT TO SPECIAL RESOLUTION OF THE BOARD OF DIRECTORS OF SAID CORPORATION.

SILVER SPRINGS ESTATES, INC.
 BY John H. Schoenaker
 JOHN H. SCHOENAKER, VICE-PRESIDENT-SECRETARY

NOTARY ACKNOWLEDGMENT

STATE OF NEW YORK
 COUNTY OF NEW YORK

BEFORE ME THIS DAY PERSONALLY APPEARED JOHN H. SCHOENAKER, AS VICE-PRESIDENT SECRETARY OF SILVER SPRINGS ESTATES, INC., TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND WHO ACKNOWLEDGED THAT HE DID SO AS AN OFFICER OF SAID CORPORATION, ALL BY AND PURSUANT TO SPECIAL RESOLUTION OF THE BOARD OF DIRECTORS OF SAID CORPORATION.

DATE: February 27, 1977
 NOTARY PUBLIC
 STATE OF NEW YORK AT LARGE
 MY COMMISSION EXPIRES June 30, 1978

CONSENT OF MORTGAGEE

KNOW ALL MEN BY THESE PRESENTS THAT MID-FLORIDA PRODUCTION CREDIT ASSOCIATION, A FLORIDA CORPORATION, THE OWNER AND HOLDER BY ASSIGNMENT, RECORDED IN OFFICIAL RECORDS BOOK 23, PAGE 271, OF THAT CERTAIN MORTGAGE DATED AUGUST 26, 1974, AND RECORDED IN OFFICIAL RECORDS BOOK 92, AT PAGE 17 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, CONCERNING THE PROPERTY DESCRIBED HEREON, DOES HEREBY CONSENT TO THIS PLAT AND ADRES IN THE ABOVE DEDICATION.

IN WITNESS WHEREOF WE HAVE HERETOFORE CAUSED THESE PRESENTS TO BE SIGNED THIS 27TH DAY OF FEBRUARY, 1977.

WITNESS AS TO ALL
 BY John E. Thomas COUNTY ENGINEER
 BY James M. Jones JUNIOR DIRECTOR
 BY Alvin M. Jones COUNTY MANAGER
 BY Donald H. Miller COUNTY PLANNER

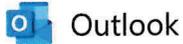
NOTARY ACKNOWLEDGMENT

STATE OF FLORIDA
 COUNTY OF ALACHUA

BEFORE ME THIS DAY PERSONALLY APPEARED JOHN E. THOMAS AND A. L. HARRISON, JR., AS PRESIDENT AND VICE PRESIDENT OF MID-FLORIDA PRODUCTION CREDIT ASSOC., TO ME WELL KNOWN TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND WHO ACKNOWLEDGED THAT THEY DO SO AS OFFICERS OF SAID ASSOCIATION. ALL BY AND WITH THE AUTHORITY INVESTED IN THEM AS OFFICERS OF SAID ASSOCIATION.

DATE: February 27, 1977
 NOTARY PUBLIC
 STATE OF FLORIDA AT LARGE
 BY COMMISSION EXPIRES 11/27/78

PREPARED BY
 MODNEAD ENGINEERING COMPANY
 305 S.E. FIRST AVE
 Ocala, Florida



Outlook

Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 1:49 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (8 MB)
2024-12-05_193027.pdf;

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Proof of email sent to Clay Electric

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>
Date: Thu, Dec 5, 2024 at 8:13 PM
Subject: LETTER OF NO OBJECTION WITH LOCATION MAP
To: <ghowe@clayelectric.com>

LETTER OF NO OBJECTION

To: Clay Electric
Quinton Howe
(352) 337-8115
qhowe@clayelectric.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
88102 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Clay Electric (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 1:50 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (8 MB)
2024-12-05_193027.pdf;

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Proof of Email sent to Cox

----- Forwarded message -----

From: Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date: Thu, Dec 5, 2024 at 8:17 PM
Subject: LETTER OF NO OBJECTION WITH LOCATION MAP
To: <paul.christopher@cox.com>

LETTER OF NO OBJECTION

To: Cox
Paul Christopher
(352) 813-5631
paul.christopher@cox.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
88102 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does Cox (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 1:52 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (7 MB)
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Proof of Email Sent to CSWR

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>
Date: Thu, Dec 5, 2024 at 8:25 PM
Subject: LETTER OF NO OBJECTION WITH LOCATION MAP
To: <support@cswrfloridauoc.com>

LETTER OF NO OBJECTION

To: CSWR-Florida
(855) 476-1942
support@CSwr-florida.ucc.com

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto, Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does CSWR-Florida (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map

Form RC-UL



Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 1:57 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

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Proof of Email sent to AQUA UTILITIES

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>
Date: Thu, Dec 5, 2024 at 8:38 PM
Subject: LETTER OF NO OBJECTION WITH LOCATION MAP
To: <dgiffin@wswatercorp.net>

LETTER OF NO OBJECTION

To: FGUA / AQUA Utilities
Donna Gillin
(352) 633-9700
(877) 657-8889
dgillin@wswatercorp.net

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does FGUA / AQUA Utilities (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map

Form RC-UL



Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>

Date Sat 6/28/2025 1:59 PM

To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (8 MB)

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Proof of Email sent to City of Ocala Engineering

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>

Date: Thu, Dec 5, 2024 at 7:50 PM

Subject: LETTER OF NO OBJECTION WITH LOCATION MAP

To: <slanier@ocalafl.org>

LETTER OF NO OBJECTION

To: City of Ocala (Engineering)
Sean Lanier
(352) 351-6772
slanier@ocala.fl.org

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8862 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of Ocala (Engineering) (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map

Form RC-UL



Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>

Date Sat 6/28/2025 2:01 PM

To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (8 MB)

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Proof of Email Sent to City Of Ocala Electric

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>

Date: Thu, Dec 5, 2024 at 7:55 PM

Subject: LETTER OF NO OBJECTION WITH LOCATION MAP

To: <rhahn@ocalafl.gov>

LETTER OF NO OBJECTION

To: City of Ocala (Electric)
Randy Hahn
(352) 351-6600
rhahn@ocala.fl.gov

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of Ocala (Electric) (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 2:03 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (7 MB)
2024-12-05_193027.pdf;

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Proof of Email sent to City Of Ocala Utilities

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>
Date: Thu, Dec 5, 2024 at 8:01 PM
Subject: LETTER OF NO OBJECTION WITH LOCATION MAP
To: <kcupp@ocalafl.org>

LETTER OF NO OBJECTION

To: City of Ocala (Utilities)
Karen Krupp
(352) 629-2489
Kkrupp@ocala.fl.org

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
88102 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto, Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

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Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of Ocala (Utilities) (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Outlook

Fwd: LETTER OF NO OBJECTION WITH LOCATION MAP

From Idilia Figueroa <pastoraidifigueroa@gmail.com>

Date Sat 6/28/2025 2:04 PM

To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (7 MB)

2024-12-05_193027.pdf;

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Proof of Email sent to City Of Ocala Water Resources

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>

Date: Thu, Dec 5, 2024 at 8:06 PM

Subject: LETTER OF NO OBJECTION WITH LOCATION MAP

To: <hcolon@ocalafl.org>

LETTER OF NO OBJECTION

To: City of Ocala (Water Resources Dept.) Date: 12/5/2024
Hector Colon
(352) 351-6733
hcolon@ocala.fl.org

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde Lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde Lo Alto, Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of Ocala (Water Resources Dept.) (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Fwd: Letter of No Objection with Location Map

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 2:11 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (9 MB)
2024-12-10_114731.pdf;

You don't often get email from pastoraidifigueroa@gmail.com. [Learn why this is important](#)

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Proof of Email sent to City Of McIntosh

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>
Date: Tue, Dec 10, 2024 at 11:51 AM
Subject: Letter of No Objection with Location Map
To: <Jgonzalez@townofmcintosh.org>

LETTER OF NO OBJECTION

To: City of McIntosh

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8862 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto, Inc. The owner wants to consolidate the parcels. The row is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of McIntosh (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Fwd: Letter of No Objection with Location Map

From Idilia Figueroa <pastoraidifigueroa@gmail.com>
Date Sat 6/28/2025 2:08 PM
To Woods, Elizabeth <Elizabeth.Woods@marionfl.org>

 1 attachment (8 MB)
2024-12-10_114731.pdf;

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Proof of Email sent to City Of Dunnellon

----- Forwarded message -----

From: **Idilia Figueroa** <pastoraidifigueroa@gmail.com>
Date: Tue, Dec 10, 2024 at 11:49 AM
Subject: Letter of No Objection with Location Map
To: mleonard@dunnellon.org <mleonard@dunnellon.org>

LETTER OF NO OBJECTION

To: City of Dunnellon

Date: 12/5/2024

From: Iglesia Pentecostal Poder Desde Lo Alto, Inc.
Rev. Samuel Figueroa
8802 SE 59th Ave.
Ocala, FL 34472

RE: Road Closing Application

Location: Portion of SE 59th Ave.

Iglesia Pentecostal Poder Desde lo Alto intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as located between parcel 3752-002-002 and 3752-008-002 which are both owned by Iglesia Pentecostal Poder Desde lo Alto Inc. The owner wants to consolidate the parcels. The ROW is 60 feet wide and has never been constructed.

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

Does City of Dunnellon (Utility Company Name) object to the proposed Road Closing? Yes No

If yes, please explain below:

Signature

Title

Print Name

Date

Enclosures:
Location Map



Marion County

Development Review Committee

Agenda Item

File No.: 2025-19952

Agenda Date: 7/21/2025

Agenda No.: 6.10.

SUBJECT:

**Stanton Weirsdale Drainage Retention Area - Waiver Request to a Major Site Plan
Project #2025070039 #33066 Parcel #49794-000-00
NV5, Inc.**

LDC 6.13.3(C)(5) Types of stormwater management facilities

CODE states A retention/detention area that is adjacent to a public right-of-way shall be constructed to be aesthetically pleasing with curvilinear form and shall be landscaped with a mixed plant pallet meeting Marion-friendly landscaping standards minimally consisting of four shade trees and 200 square feet of landscaping comprised of shrubs and/or groundcover for every 100 lineal feet of frontage or fractional part thereof, or, in the case of a wet facility, a littoral zone meeting the governing water management district criteria. The proposed landscaping shall be arranged to provide ease of maintenance and screening of stormwater structures.

APPLICANT request due to the size of the site and the size of the required drainage retention area, it will be difficult to provide the required landscaping. This DRA is being constructed within an existing neighborhood as a retrofit to reduce existing flooding issues and space utilized for landscaping will reduce the area/volume available for the DRA. Existing utility access will also make establishment and maintenance very difficult.

LDC 6.13.3(C)(1) Types of stormwater management facilities

CODE states retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade maximum around the entire perimeter of the facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County Engineer or his designee.

APPLICANT requests that due to the size of the required DRA the maintenance path around the DRA needs to be reduced to 10 feet from 12 feet. This is a residential location.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

July 18, 2025

NV5, INC.
JOHN MICHAEL SIMPSON
11801 RESEARCH DRIVE
ALACHUA, FL 32615

SUBJECT: DRC INFORMATIONAL LETTER

PROJECT NAME: STANTON WEIRSDALE DRAINAGE RETENTION AREA

PROJECT #2025070039

APPLICATION: DRC WAIVER REQUEST #33066

Dear John:

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for approval by the Development Review Committee on July 21, 2025. This item will be on the agenda and attendance is required.

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: N/A
- 2 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: N/A
- 3 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.
- 4 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.
- 5 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities

STATUS OF REVIEW: INFO
REMARKS: Defer to stormwater

- 6 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: Defer to stormwater

- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: APPROVED Parcel 49794-000-00 is within the Marion County Utility service area. Marion County Utilities has no comment regarding the buffers surrounding the DRA, as no additional flows are proposed.
The parcel is located outside the Urban Growth Boundary and within the Secondary Springs Protection Zone.

- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: 7/11/25-Defer to Stormwater

- 9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: 7/11/25-Defer to Stormwater

- 10 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: staff supports

- 11 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: staff supports

- 12 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: N/A

- 13 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: N/A

- 14 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: LDC 6.13.3(C)(5) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: N/A

15 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: LDC 6.13.3(C)(1) Types of stormwater management facilities
STATUS OF REVIEW: INFO
REMARKS: N/A

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

33066

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/8/2025 Parcel Number(s): 49794-000-00 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Standon Weirsdale Drainage Retention Area Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Marion County - Jared Goodspeed
Signature: _____
Mailing Address: 412 SE 25th Ave City: Ocala
State: FL Zip Code: 34471-2687 Phone # 352-671-8686
Email address: jared.goodspeed@marionfl.org

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): NV5, Inc. Contact Name: John Michael Simpson
Mailing Address: 11801 Research Drive City: Alachua
State: FL Zip Code: 32615 Phone # 386-518-5178
Email address: john-michael.simpson@nv5.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): Section 6.13.3 (C)(5) Public Stormwater Landscape Requirements
Reason/Justification for Request (be specific): Due to the size of the site and the size of the required drainage retention area, it will be difficult to provide the required landscaping. This DRA is being constructed within an existing neighborhood as a retrofit to reduce existing flooding issues and space utilized for landscaping will reduce the area/volume available for the DRA. Existing utility access will also make establishment and maintenance very difficult.

DEVELOPMENT REVIEW USE:

Received By: _____^{email} Date Processed: 7/11/25 Project # 2025070039 AR # 33066

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No

Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No

Date Reviewed: _____ Verified by (print & initial): _____



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.13.3 (C) (1) 6.13.3 (C) (1)

Reason/Justification for Request (be specific): Due to the size of the required DRA the maintenance path around the DRA needs to be reduced to 10' from 12'. This is a residential location.

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

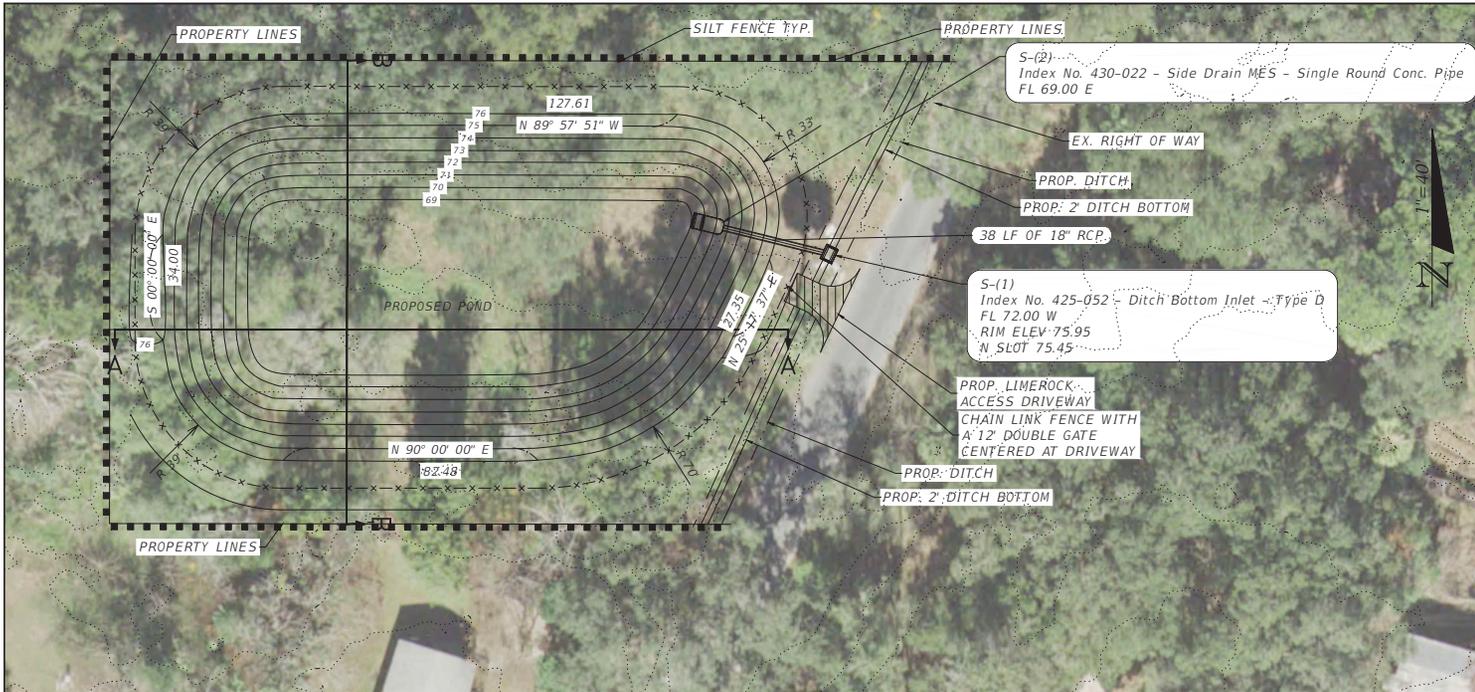
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

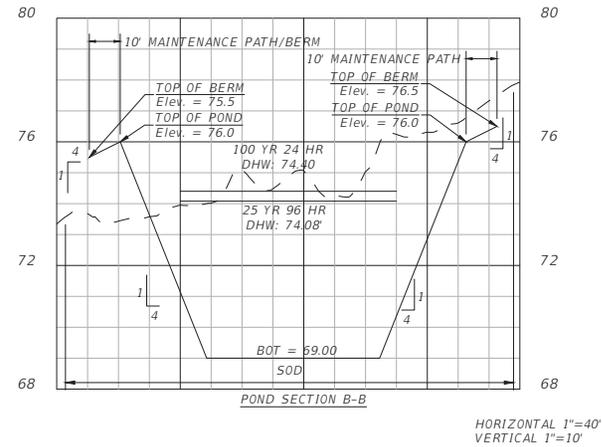
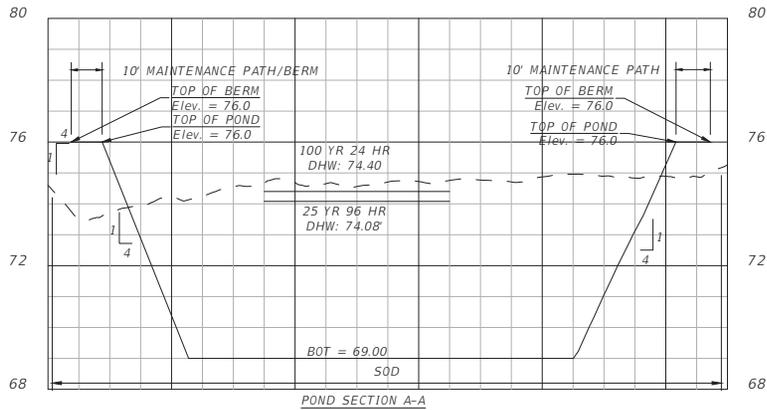
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____



- STORMWATER MANAGEMENT FACILITY NOTES:**
1. IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS. PROVIDE A SILTY SAND MIX WITH 15 TO 20 PERCENT SOIL FINES PASSING THE NO. 200 SIEVE AND HYDRAULIC CONDUCTIVITY VALUES ON THE ORDER OF 3 TO 5 FEET PER DAY. LABORATORY TESTING SHALL BE PERFORMED ON THE MIX TO DETERMINE FINAL PRODUCT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED.
 2. IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER-PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND (A2-6) THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
 3. EARTHEN BERM SHALL BE CONSTRUCTED WITH SOILS WITH A MINIMUM OF 15% SOIL FINES PASSING NO. 200 SIEVE. COMPACT BERM TO 95% MAXIMUM DENSITY PER AASHTO METHOD T-99 WITH MAXIMUM 12" LIFTS. FDOT A-3 SAND (OR ANY OTHER HIGHLY PERMEABLE MATERIAL) SHALL NOT BE USED.



REVISIONS				MATTHEW CANTRELL, P.E. P.E. LICENSE NUMBER 97282 NV5 11801 RESEARCH DRIVE ALACHUA, FL 32615 CERTIFICATE OF AUTHORIZATION 05075	STANTON WEIRSDALE		POND PLAN	SHEET NO. 5
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY		
					MARION	---		

Matthew Cantrell

6/30/2025 1:28:34 AM

N:\2025\25-0215\Departments\04_Engineering\03_Drainage\25021500000\Drainage\PDPLR001.dwg

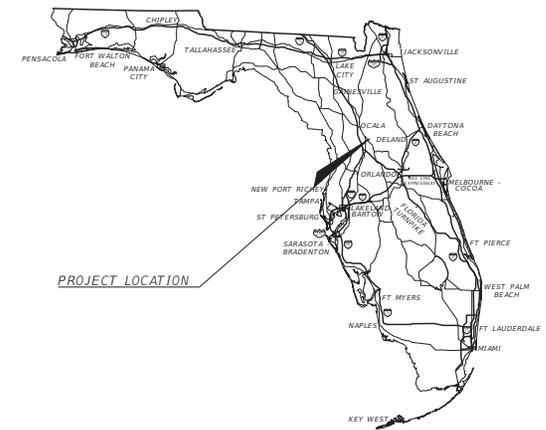
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61015-23.004, F.A.C.

MARION COUNTY

CONSTRUCTION PLANS

INDEX OF CONSTRUCTION PLANS

SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	SUMMARY OF PAY ITEMS
3 - 4	GENERAL NOTES
5	DRAINAGE MAP
6 - 7	POND PLAN
8	STORMWATER PLAN PREVENTION NOTES



100% PLANS
06/27/2025

	Existing			Proposed		
	Area (SF)	Area (AC)	%	Area (SF)	Area (AC)	%
Previous	336,596	7.73	87%	319,947	7.34	82%
Imprevious	52,384	1.20	13%	52,384	1.20	13%
Pond	0	0.00	0%	16,649	0.38	4%

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN IN THIS PLAN.

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

CONSTRUCTION PLANS
ENGINEER OF RECORD:

MATTHEW CANTRELL, P.E.
P.E. NO. 97282
COMPANY NAME: NV5
ADDRESS: 11801 RESEARCH DRIVE
ALACHUA, FL 32615
CERTIFICATE OF AUTHORIZATION NO.: 05075

COUNTY PROJECT MANAGER:
KEVIN VICKERS, P.E.

COUNTY PROJECT ENGINEER
STEVEN COHOON, P.E.

GOVERNING STANDARD PLANS:
Florida Department of Transportation, FY2024-2025 Standard Plans for Road and Bridge Construction and applicable Interim Revisions (IRs)
Standard Plans for Road Construction and associated IRs are available at the following website: <http://www.fdot.gov/design/standardplans>
Applicable IRs: IR536-001-01, IR521-001-01
Standard Plans for Bridge Construction are included in the Structures Plans Component

GOVERNING STANDARD SPECIFICATIONS:
Florida Department of Transportation, FY2024-2025 Standard Specifications for Road and Bridge Construction at the Following website:
<http://www.fdot.gov/programmanagement/Implemented/SpecBooks>

SHEET NO.
1

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SUMMARY OF PAY ITEMS			
ITEM NO.	LUMP SUM ITEM	UNIT	QUANTITY
101-1	MOBILIZATION	LS	1
102-1	MAINTENANCE OF TRAFFIC	LS	1
107-1	LITTER REMOVAL	AC	0.82
107-2	MOWING	AC	0.82
110-1-1	CLEARING AND GRUBBING	AC	0.82
120-1	REGULAR EXCAVATION	CY	2991
120-6	EMBANKMENT	CY	274
285-704	OPTIONAL BASE GROUP 4	SY	24
425-1541	INLETS, DT BOT, TYPE D, <10'	EA	1
430-174-118	PIPE CULVERT, OPTIONAL MATERIAL, ROUND, 18" SD	LF	38
430-984-125	MITERED END SECTION, OPTIONAL ROUND, 18" SD	EA	1
560-10-220	FENCING, TYPE B, 5.1'-6.0', STANDARD	LF	584
560-60-222	FENCE GATE, TYPE B, DOUBLE, 6.1' - 12.0' OPENING	EA	1

REVISIONS				MATTHEW CANTRELL, P.E. P.E. LICENSE NUMBER 97282 NV5 11801 RESEARCH DRIVE ALACHUA, FL 32615 CERTIFICATE OF AUTHORIZATION 05075	STANTON WEIRSDALE			<i>SUMMARY OF PAY ITEMS</i>	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	FINANCIAL PROJECT ID		2
					MARION	----			

Matthew Cantrell

6/27/2025 3:16:16 PM

N:\2025\25-0215\Departments\04_Engineering\03_Drainage\25021500000\Roadway\CESSRD01.dwg

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

GENERAL NOTES:

- ALL ROADWAY AND DRAINAGE LAYOUT CONSTRUCTION AND MATERIALS SHALL BE PER PLAN SPEC STANDARDS AND SPECIFICATIONS. MATERIALS SHALL MEET SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN APPROVED SOURCE. MATERIALS NOT COVERED UNDER THE STANDARD FDOT SPECIFICATIONS SHALL MEET THE REQUIREMENTS WITHIN THESE PLANS AND THE RESPECTIVE MANUFACTURER.
- ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY COUNTY OF GREEN COVE SPRINGS PUBLIC WORKS DEPARTMENT WITHOUT DELAY. ANY SURVEY MONUMENTS REMOVED BY THE CONTRACTOR WITHOUT REFERENCE BEING ESTABLISHED, WILL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ANY EXISTING BENCHMARKS ARE TO BE REESTABLISHED BY THE CONTRACTOR'S SURVEYOR, IF DISTURBED. PROJECT CONTROL SHALL BE REINSTALLED AT COMPLETION OF PROJECT.
- THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL ENCOUNTERED AND SHALL BACKFILL WITH CLEAN SUITABLE FILL MEETING FDOT ROAD AND BRIDGE CONSTRUCTION STANDARDS AND SPECIFICATIONS AS DETERMINED NECESSARY AND DIRECTED BY THE ENGINEER. SEE FDOT STANDARD PLANS 120-001 AND 120-002.
- ALL BORROW MATERIAL (OR EMBANKMENT) SHALL MEET THE REQUIREMENTS OF STANDARD PLANS AND SHALL BE FURNISHED BY THE CONTRACTOR FROM AREAS PROVIDED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN SAFE AREAS ACCEPTABLE TO THE COUNTY ENGINEERING DIVISION. NO MATERIAL IS TO BE WIND-ROWED ON THE PAVEMENT OR SHOULDERS OR WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS.
- ONE TRAVEL LANE AND RESIDENTIAL ACCESS MUST REMAIN OPEN AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO LAWFULLY REMOVE, TRANSPORT AND DISPOSE OF ALL MATERIALS NOT SALVAGED TO OWNER. EXCESS FILL MATERIAL SHALL BE UTILIZED TO THE FULLEST EXTENT POSSIBLE. REMAINING FILL SHALL, AT COUNTY OPTION, BE SALVAGED TO THE COUNTY AT AN APPROVED LOCATION FOR STOCKPILING. ALL DISTURBED AREAS SHALL BE STABILIZED BY SOD.
- ALL WATER, EQUIPMENT, MATERIALS, SUPPLIES, PRIME MATERIAL, COVER MATERIAL, ETC. INCLUDING NECESSARY MEANS, METHODS, SURVEYING AND MOT SHALL BE INCLUDED IN BID PRICE(S). OMISSIONS BY CONTRACTOR WILL NOT SERVE AS JUSTIFICATION FOR APPROVAL OF ADDITIONAL COMPENSATION.
- CONTRACTOR IS TO PROVIDE ALL REQUIRED SUBMITTALS AS PER BID DOCUMENTS FOR REVIEW AND APPROVAL BY COUNTY BEFORE ANY WORK IS TO COMMENCE ON THE RELEVANT PHASE OF THE PROJECT.
- ALL ITEMS AS SHOWN ON THE PLANS MAY BE INCREASED, DECREASED OR OMITTED AS DIRECTED BY THE ENGINEER OR THE AUTHORIZED REPRESENTATIVE.
- ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES WITHIN THE PROJECT LIMITS SHALL BE PROTECTED AND ADJUSTED WHERE NECESSARY TO MATCH PROPOSED FINISH GRADES.
- CONTRACTOR SHALL EXERCISE EXTREME CARE DURING THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ADJACENT PROPERTIES, AND EXISTING STRUCTURES OR FACILITIES ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER ANY NECESSARY UTILITY FIELD LOCATION OR RELOCATION, AS REQUIRED. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE FIELD VERIFIED BY CONTRACTOR.
- CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE ONE CALL OF FLORIDA, INC. (1-800-432-4770) AND UTILITY OWNERS LISTED HEREIN, 48 HOURS IN ADVANCE OF BEGINNING CONSTRUCTION AT THE JOB SITE.

MAINTENANCE OF TRAFFIC BY CONTRACTOR:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE PASSAGE OF TRAFFIC AND PROTECTION OF HIS WORK FORCE THROUGHOUT THE PROJECT.
- WORK ZONE TRAFFIC CONTROL SHALL ADHERE STRICTLY TO THE REQUIREMENTS OF THE FDOT STANDARD PLANS 102-600 SERIES, PART 6 OF THE MUTCD AND ANY SPECIFIC INSTRUCTIONS OF THE COUNTY. NONCOMPLIANCE WITH THESE STANDARDS WILL SERVE AS JUST CAUSE FOR STOPPING WORK AT NO EXPENSE TO OWNER.
- ONE TRAFFIC LANE MAY BE CLOSED DURING WORKING HOURS ONLY. CONTRACTOR IS TO CHECK AND MAINTAIN ON A DAILY BASIS ALL SIGNS, FLASHING LIGHTS, STRIPING AND OTHER ITEMS AS REQUIRED BY THE MAINTENANCE OF TRAFFIC PLAN.
- THE CONTRACTOR'S PROPOSED SEQUENCE OF OPERATIONS AND SPECIFIC MAINTENANCE OF TRAFFIC PLANS SHALL BE REVIEWED BY THE CITY PRIOR TO THEIR IMPLEMENTATION.
- ALL ABOVE GROUND OBSTRUCTIONS WITHIN THE CLEAR ZONE OF TEMPORARY OR PERMANENT LANES SHALL BE MARKED AND PROTECTED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS OR SPECIFIC INSTRUCTIONS OF COUNTY.
- TEMPORARY LANES SHALL BE STABILIZED AND SUITABLE FOR PASSENGER VEHICLES DURING ALL WEATHER CONDITIONS.

EROSION AND SEDIMENTATION CONTROL:

- THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF-SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
 - EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FOOT INDEX NO. 570-001 TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS.
 - TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. PERMANENT VEGETATION SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL (IF APPLICABLE). SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.
- NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO ANY SITE EXCAVATION AND/OR FILLING AND SHALL REMAIN IN PLACE UNTIL SITE EXCAVATION IS COMPLETE AND VEGETATION ESTABLISHED.
- ALL SLOPES STEEPER THAN 3H:1V REQUIRE LAPPED OR PEGGED SOD.
 - ALL INLET STRUCTURES AND PIPES SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR THE FDOT STANDARDS.
 - PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
 - ALL SYNTHETIC BALES, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT ONCE VEGETATION IS FULLY ESTABLISHED. CONTRACTOR SHALL REPLACE ANY PERFORMANCE TURF THAT DOES NOT ESTABLISH.

GOVERNING SPECIFICATIONS:

- GRASSING - SEEDING AND SODDING: SECTION 570 OF FDOT SPECIFICATIONS
- MAINTENANCE OF TRAFFIC: MUTCD AND FDOT STANDARD PLANS 102-600
- DRAINAGE EXCAVATION AND FILL: FDOT STANDARD PLANS 524-001. SECTION 524 OF FDOT SPECIFICATIONS
- CULVERTS: FDOT STANDARD PLANS 430-022. SECTION 430 OF FDOT SPECIFICATIONS
- DRAINAGE STRUCTURES: FDOT STANDARD PLANS 425-062 AND 430-022. SECTION 425 AND 430 OF FDOT SPECIFICATIONS

TESTING REQUIREMENTS:

- ALL TESTING SHALL BE PERFORMED BY A LICENSED/CERTIFIED LABORATORY. UPON SELECTION, THE LABORATORY SHALL BE APPROVED IN WRITING BY THE COUNTY PRIOR TO BEGINNING ANY ON-SITE TESTING OR MATERIAL COLLECTION.
- COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE COUNTY PUBLIC WORKS. PASSING RESULTS WILL BE REQUIRED PRIOR TO BEGINNING THE NEXT PHASE OF CONSTRUCTION.
- THE COUNTY SHALL BE NOTIFIED NO LESS THAN 24 HOURS IN ADVANCE FOR SCHEDULING INSPECTION OF PERTINENT STAGES OF CONSTRUCTION.
- PERFORM COMPACTION TESTING FOR CULVERTS AS DESCRIBED IN SECTION 125, FDOT SPECIFICATIONS, LATEST EDITION. A MINIMUM OF ONE TEST ON EACH SIDE OF THE CULVERT PER LIFT IS REQUIRED FOR THE BEDDING AND COVER ZONE. A MINIMUM OF ONE TEST PER LIFT IS REQUIRED IN THE TOP ZONE. PERFORM ADDITIONAL TESTING AS DIRECTED BY THE AUTHORIZED REPRESENTATIVE.
- PERFORM MODIFIED PROCTOR AND LBR TESTING FOR STABILIZED SUBGRADE AT A FREQUENCY OF ONE TEST PER LIFT PER 1,000 FT OF ROADWAY, OR AT A MINIMUM OF TWO TESTS PER ROADWAY SEGMENT, WHICHEVER IS GREATER. LIMEROCK BEARING RATIO VALUE SHALL EQUAL OR EXCEED 40, NO UNDER TOLERANCE PERMITTED.

MISCELLANEOUS NOTES:

- PERFORMANCE TURF, SOD TYPE SHALL BE BAHIA FOR THE ENTIRE PROJECT UNLESS THE AFFECTED HOMEOWNER HAS ANOTHER TYPE.
- BURNING OF MATERIALS AND/OR DEBRIS AS A MEANS OF DISPOSAL IS PROHIBITED WITHIN THE LIMITS OF THE PROJECT.

REVISIONS				MATTHEW CANTRELL, P.E. P.E. LICENSE NUMBER 97282 NV5 11801 RESEARCH DRIVE ALACHUA, FL 32615 CERTIFICATE OF AUTHORIZATION 05075	STANTON WEIRSDALE			GENERAL NOTES	SHEET NO. 3
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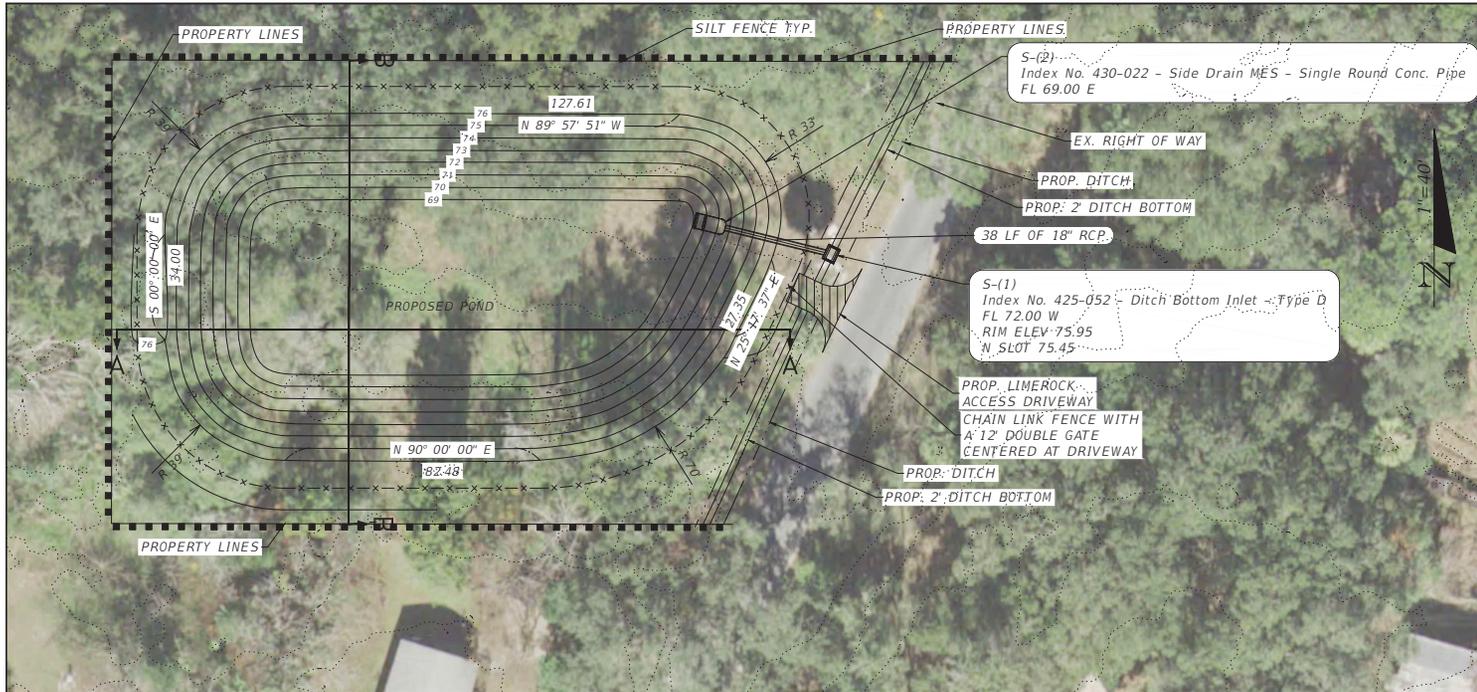
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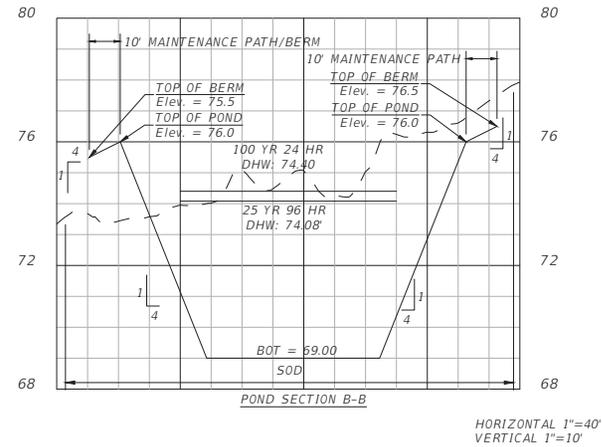
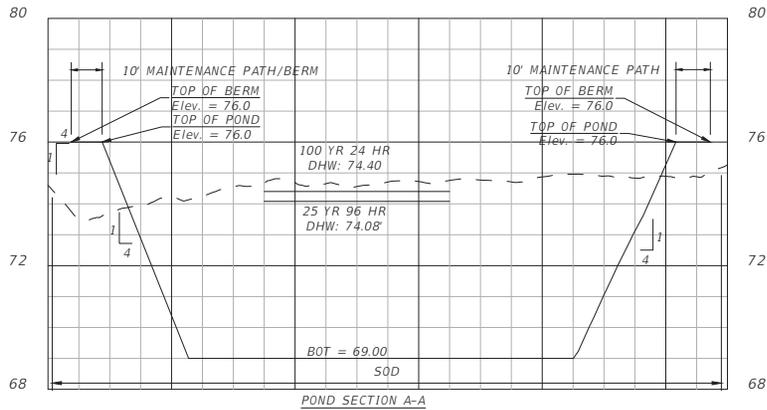
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ROAD NO.	COUNTY	FINANCIAL PROJECT ID	MARION				



- STORMWATER MANAGEMENT FACILITY NOTES:**
1. IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS. PROVIDE A SILTY SAND MIX WITH 15 TO 20 PERCENT SOIL FINES PASSING THE NO. 200 SIEVE AND HYDRAULIC CONDUCTIVITY VALUES ON THE ORDER OF 3 TO 5 FEET PER DAY. LABORATORY TESTING SHALL BE PERFORMED ON THE MIX TO DETERMINE FINAL PRODUCT. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED.
 2. IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER-PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND (A2-6) THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
 3. EARTHEN BERM SHALL BE CONSTRUCTED WITH SOILS WITH A MINIMUM OF 15% SOIL FINES PASSING NO. 200 SIEVE. COMPACT BERM TO 95% MAXIMUM DENSITY PER AASHTO METHOD T-99 WITH MAXIMUM 12" LIFTS. FDOT A-3 SAND (OR ANY OTHER HIGHLY PERMEABLE MATERIAL) SHALL NOT BE USED.



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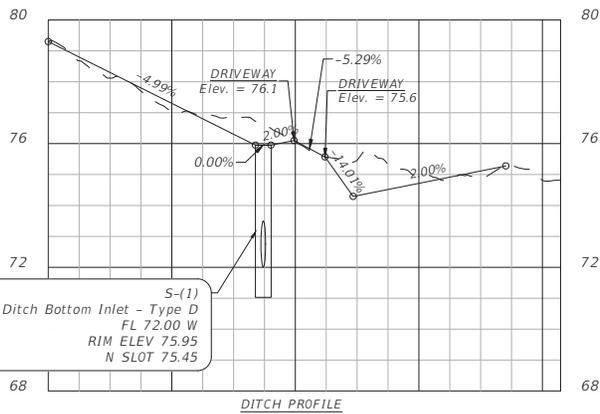
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POND PLAN

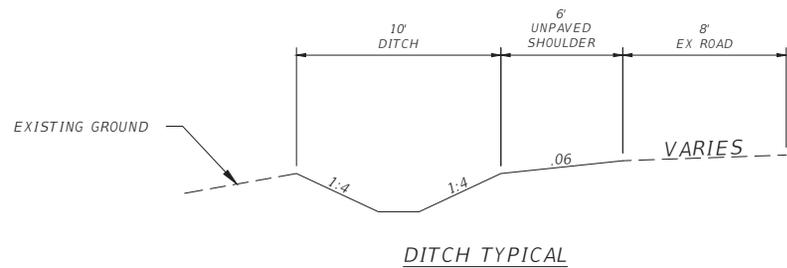
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HORIZONTAL 1"=40'
VERTICAL 1"=10'



DITCH TYPICAL

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POND PLAN

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THE FOLLOWING NARRATIVE OF THE STORM WATER POLLUTION PREVENTION PLAN CONTAINS REFERENCES TO THE FDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE DESIGN STANDARDS, AND OTHER SHEETS OF THESE CONSTRUCTION PLANS. THE FIRST SHEET OF THE CONSTRUCTION PLANS (CALLED THE KEY SHEET) CONTAINS AN INDEX TO THE OTHER SHEETS.

THE COMPLETE STORM WATER POLLUTION PREVENTION PLAN INCLUDES SEVERAL ITEMS:

- * THIS NARRATIVE DESCRIPTION,
- * THE DOCUMENTS REFERENCED BY THIS NARRATIVE,
- * THE CONTRACTOR'S APPROVED EROSION AND SEDIMENT CONTROL PLAN AS REQUIRED BY FDOT SPECIFICATION SECTION 104
- * REPORTS OF INSPECTIONS MADE DURING CONSTRUCTION.

1.0 SITE DESCRIPTION

A.) NATURE OF CONSTRUCTION ACTIVITY:
THE WORK ON THIS PROJECT PRIMARILY CONSISTS OF STORMWATER MANAGEMENT FACILITY AND DITCH CONSTRUCTION

B.) MAJOR SOIL DISTURBING AREAS:
IN THE SECTION 104 EROSION CONTROL PLAN, THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION ACTIVITIES. THE FOLLOWING IS A LIST OF SOIL DISTURBANCE ACTIVITIES FOR THIS CONSTRUCTION PROJECT.

1. EARTH WORK ASSOCIATED WITH STORMWATER FACILITY AND DITCHES.

C.) AREA ESTIMATES:
TOTAL SITE AREA: .82 AC
TOTAL AREA TO BE DISTURBED: .82 AC

D.) SITE MAP
THE CONSTRUCTION PLANS ARE BEING USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW:

*DRAINAGE PATTERNS: THE DRAINAGE MAP SHOWS GENERAL DRAINAGE PATTERNS.

*APPROXIMATE SLOPES: THE SLOPES OF THE SITE CAN BE SEEN IN THE TYPICAL SECTION AND THE CROSS SECTION SHEETS.

*AREAS OF SOIL DISTURBANCE: THE AREAS TO BE DISTURBED ARE LIMITED TO PROPERTY LINES.

*LOCATION OF TEMPORARY CONTROLS: THESE ARE SHOWN IN THE PLANS AND ARE REQUIRED AT ALL LOW-LYING AREAS.

*RECEIVING WATERS: SOME OF THE RUNOFF FROM THE PROJECT AREA DRAINS INTO LOW-LYING AREAS ADJACENT TO THE PROJECT, WHICH WILL INFILTRATE INTO THE GROUNDWATER TABLE BY PERCOLATION AND SOME RUNOFF WILL BE CARRIED BY THE ROADSIDE DITCHES.

2.0 CONTROLS

A.) EROSION AND SEDIMENT CONTROLS
EROSION AND SEDIMENT CONTROLS SHALL CONSIST OF TEMPORARY GRASSING, PERMANENT SEEDING AND SODDING, TEMPORARY MULCHING, SILT FENCES, FLOATING TURBIDITY BARRIERS, AND SYNTHETIC BALES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS 104, 120, 570, AND DESIGN STANDARDS 100-199.

ALL STRUCTURAL PRACTICES SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION ACTIVITIES THAT EITHER DIRECTLY OR INDIRECTLY DISTURB STABILIZED AREAS. STABILIZATION PRACTICES SHALL BE PERFORMED AS SOON AS PRACTICAL AT LOCATIONS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN ANY CASE THEY SHALL BE INITIATED WITHIN SEVEN (7) DAYS. THE CONTRACTOR SHALL BACKFILL AND TEMPORARILY STABILIZE WITH SOD WITHIN 48 HOURS OF COMPLETION OF THE CURING PERIOD FOR BOX CULVERTS OR BOX CULVERT EXTENSIONS, AND FOR ALL DRAINAGE STRUCTURE MODIFICATIONS.

1.) IN SECTION 104 EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE STABILIZATION PRACTICES PROPOSED TO CONTROL EROSION. THE CONTRACTOR SHALL INITIATE ALL STABILIZATION MEASURES AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. THE STABILIZATION PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

- TEMPORARY:
 - * ARTIFICIAL COVERINGS IN ACCORDANCE WITH SPECIFICATION SECTION 104.
 - * SEED AND MULCH, AND SOD IN ACCORDANCE WITH SPECIFICATION SECTION 104.
- PERMANENT:
 - * ASPHALT OR CONCRETE SURFACE.
 - * SOD IN ACCORDANCE WITH SPECIFICATION SECTION 570.

2.) STRUCTURAL PRACTICES:
IN THE SECTION 104 EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROPOSED STRUCTURAL PRACTICES TO CONTROL OR TRAP SEDIMENT AND OTHERWISE PREVENT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. SEDIMENT CONTROLS SHALL BE IN PLACE BEFORE DISTURBING SOIL UPSTREAM OF THE CONTROL. THE STRUCTURAL PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER:

* SILT FENCE AND TURBIDITY BARRIER IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENT CONTROL MANUAL AND SPECIFICATION SECTION 104, AND AS SHOWN ON SHEET 5. NO MATERIAL SHALL BE STOCKPILED IN EROSION PRONE AREAS.

STANDARDS:
NO MATERIAL SHALL BE STOCKPILED IN EROSION PRONE AREAS.

B.) STORM WATER MANAGEMENT
RUNOFF SHALL BE CONVEYED IN ACCORDANCE WITH FDOT FLORIDA EROSION AND SEDIMENT CONTROL MANUAL, AND SPECIFICATION SECTION 104. TYPE III SILT FENCE SHALL BE USED AT CROSS DRAINS.

C.) OTHER CONTROLS:
WASTE DISPOSAL:
ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AN AREA PROVIDED BY THE CONTRACTOR. THE CONTRACTOR IS REQUIRED TO DISPOSE OF ALL SOLID WASTE FROM THE PROJECT IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL LAWS, BY-LAWS, ORDINANCES, AND REGULATIONS.

OFF-SITE VEHICLE TRACKING & DUST CONTROL:
IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROPOSED METHODS FOR MINIMIZING OFFSITE VEHICLE TRACKING OF SEDIMENTS AND GENERATING DUST. THE PROPOSED METHODS SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

- * COVERING LOADED HAUL TRUCKS WITH TARPULINS.
- * REMOVING EXCESS DIRT FROM ROADS DAILY.
- * STABILIZING CONSTRUCTION ENTRANCES ACCORDING TO THE FDEP EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL.

SANITARY WASTE:
PORTABLE TOILETS SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR.

FERTILIZERS AND PESTICIDES:
IN THE SECTION 104 EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROCEDURES FOR APPLYING FERTILIZERS AND PESTICIDES. THE PROPOSED PROCEDURES SHALL COMPLY WITH APPLICABLE SUBSECTIONS OF SECTION 570 OF THE SPECIFICATIONS.

TOXIC SUBSTANCES:
IN THE SECTION 104 EROSION AND SEDIMENT CONTROL PLAN, THE CONTRACTOR SHALL PROVIDE A LIST OF TOXIC SUBSTANCES THAT ARE LIKELY TO BE USED ON THE JOB AND PROVIDE A PLAN ADDRESSING THE GENERATION, APPLICATION, MIGRATION, STORAGE AND DISPOSAL OF THESE SUBSTANCES.

THE CONTRACTOR IS REQUIRED TO COMPLY WITH THE SPECIFICATIONS.

D.) APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS:
THIS PROJECT SHALL COMPLY WITH STATE WATER QUALITY STANDARDS. PERMITS REQUIRED FOR THIS PROJECT IS AN FDEP NPDES PERMIT. THE CONTRACTOR IS REQUIRED TO COMPLETE, SIGN AND SEND THE FL DEP NPDES "NOTICE OF INTENT", AND "NOTICE OF TERMINATION" AS OPERATOR. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING DEBRIS FROM ENTERING THE WETLAND. ANY DEBRIS IN THE WETLAND SHALL BE REMOVED IMMEDIATELY.

3.0 MAINTENANCE

IN THE SECTION 104 EROSION CONTROL PLAN, THE CONTRACTOR SHALL PROVIDE A PLAN FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROLS THROUGHOUT CONSTRUCTION. THE MAINTENANCE PLAN SHALL AT A MINIMUM, COMPLY WITH THE FOLLOWING:

* SILT FENCE:
MAINTAIN PER SECTION 104. THE CONTRACTOR SHOULD ANTICIPATE REPLACING SILT FENCE ON 12 MONTH INTERVALS.

4.0 INSPECTIONS:

QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER.

TO COMPLY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN RAIN GAUGES AND RECORD THE DAILY RAINFALL. WHERE SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH. THE CONTRACTOR SHALL ALSO INSPECT THAT CONTROLS INSTALLED IN THE FIELD AGREE WITH THE LATEST STORMWATER POLLUTION PREVENTION PLAN.

- * POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
- * DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- * AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- * STRUCTURAL CONTROLS.
- * STORMWATER MANAGEMENT SYSTEMS.
- * LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

THE CONTRACTOR SHALL INITIATE REPAIRS WITHIN 24 HOURS OF INSPECTIONS THAT INDICATE ITEMS ARE NOT IN GOOD WORKING ORDER.

IF INSPECTIONS INDICATE THAT THE INSTALLED STABILIZATION AND STRUCTURAL PRACTICES ARE NOT SUFFICIENT TO MINIMIZE EROSION, RETAIN SEDIMENT, AND PREVENT DISCHARGING POLLUTANTS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES, AS APPROVED BY THE ENGINEER.

5.0 NON-STORM WATER DISCHARGES

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS. THE CONTRACTOR SHALL IDENTIFY ALL ANTICIPATED NON-STORM WATER DISCHARGES. THE CONTRACTOR SHALL DESCRIBE THE PROPOSED MEASURES TO PREVENT POLLUTION OF THESE NON-STORM WATER DISCHARGES. IF THE CONTRACTOR ENCOUNTERS CONTAMINATED SOIL OR GROUNDWATER, CONTACT CHW AT (352) 331-1976.

REVISIONS				MATTHEW CANTRELL, P.E. P.E. LICENSE NUMBER 97282 NV5 11801 RESEARCH DRIVE ALACHUA, FL 32615 CERTIFICATE OF AUTHORIZATION 05075	STANTON WEIRSDALE			SHEET NO. 7
DATE	DESCRIPTION	DATE	DESCRIPTION		ROAD NO.	COUNTY	FINANCIAL PROJECT ID	
----	----				MARION	----	STORMWATER PLAN PREVENTION NOTES	

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