

August 12, 2025

PROJECT NAME: STOKES ELECTRIC-MAJOR SITE PLAN

PROJECT NUMBER: 2024120001

APPLICATION: MAJOR SITE PLAN #32260

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 12/4/24-add waivers if requested in future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Marion County Utilities Contact Information
STATUS OF REVIEW: INFO
REMARKS: N/A
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU service area but outside connection distance to closest water main - defer to DOH for well review as shown on plan

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU service area but outside connection distance to closest sewer main - defer to DOH for septic review as shown on plan
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.3.B - Springs Protection Zone
STATUS OF REVIEW: INFO
REMARKS: Primary Springs Protection & within the Ocklawaha BMAP
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: 7/22/25 No fee for this review 6/19/25 - No fee for this review. 4.29.25 - No fee for this review. Previous Comment: \$130 - to pay by phone call 352-671-8686 & reference Utility Review Fee for AR 32260
- 11 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Lot Size
STATUS OF REVIEW: INFO
REMARKS: 6.16acres
6.16 x 1500gpd (well) = 9240gpd authorized sewage flow
- 12 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Total Flow
STATUS OF REVIEW: INFO
REMARKS: Office Area: 15gpd/employee/8hour shift and 15gpd per 100sqft of office space
Warehouse: 15gpd/employee/8hour shift and 100gpd per loading bay
400gpd estimated per builder
- 13 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: DEP Water Approval
STATUS OF REVIEW: INFO
REMARKS: Will need Limited Use Water System Permit through the Department of Health in Marion County. Construction permit and \$90 fee is required prior to drilling of the well. Please send application, fee, and design of water system to Evan.Searcy@FLHealth.gov
- 14 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Operating Permit Required
STATUS OF REVIEW: INFO
REMARKS: Limited Use Water System will also require an operating permit at \$90/ year. Before the operating permit can be issued it will require water sampling, some of which may take weeks to receive results back. Please plan accordingly so there will be no delay during construction.
- 15 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.12.6 - Location of septic systems & wells
STATUS OF REVIEW: INFO
REMARKS: Septic system is at least 100' from proposed well and 75' from any neighboring wells
- 16 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO

REMARKS: Need well permits through the Department of Health in Marion County.
Need septic permits through the Department of Environmental Protection

17 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?

STATUS OF REVIEW: INFO

REMARKS: [04/29/2025] If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.

[Original Comments] Please provide environmental assessment.

18 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?

STATUS OF REVIEW: INFO

REMARKS: Well/septic are proposed. Defer to MCU/DOH

19 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: Per discussions with Ken Weyrauch - "In the future, if the use becomes warehousing then a Special Use Permit will be required."



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32260

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 03/24/2025 Parcel Number(s): 13338-000-01 Permit Number: 2024120001

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: STOKES ELECTRIC - MAJOR SITE PLAN Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): CDH REALTY, LLC.
Signature: *Chuck Stokes*
Mailing Address: 421 S PINE AVE. City: OCALA
State: FL Zip Code: 34471 Phone # 352-843-2856
Email address: CHUCK@STOKESFL.COM

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): MASTROSERIO ENGINEERING, INC Contact Name: PAOLO MASTROSERIO
Mailing Address: 170 SE 32ND PLACE City: OCALA
State: FL Zip Code: 34471 Phone # 352-433-2185
Email address: PAOLO@MASTROSERIOENG.COM

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.12.12 - SIDEWALKS
Reason/Justification for Request (be specific): A WAIVER IS REQUESTED TO NOT INSTALL SIDEWALKS AS NO SIDEWALKS ARE IN THIS AREA.

DEVELOPMENT REVIEW USE:

Received By: Email Date Processed: 3/27/25 BM Project # 2024120001 AR # 32260
3/26/25

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.13.7 - GEOTECHNICAL CRITERIA
Reason/Justification for Request (be specific): THIS SITE HAD SOIL BORINGS TESTED AT THE TIME OF THE MASTER DRAINAGE PLAN DESIGN AND THEY FALL WITHIN THE FUTURE DRA EXPANSION. A WAIVER IS REQUESTED TO USE THE EXISTING SOIL BORING TESTS SINCE THEY DO FALL WITHIN THE DRA EXPANSION FOR THE ENTIRE DEVELOPMENT. SOIL BORINGS ARE CONSISTENT THROUGHOUT THE SITE.

Section & Title of Code (be specific) 2.21.4 - CONSTRUCTION, COMPLETION, AND CLOSE OUT
Reason/Justification for Request (be specific): A WAIVER IS REQUESTED TO ALLOW THE COMMENCEMENT OF CONSTRUCTION PRIOR TO MAJOR SITE PLAN APPROVAL AND APPROVE EARLY SITE WORK PERMIT. ONLY EARTHWORK IS REQUESTED WITH THIS WAIVER AND THIS CONSTRUCTION IS AT THE DEVELOPER'S RISK.

Section & Title of Code (be specific) 6.11.4B - CROSS ACCESS
Reason/Justification for Request (be specific): BASED ON OVERALL MASTER STORMWATER DESIGN AND EXISTING CONDITIONS. CROSS ACCESS CAN NOT BE PROVIDED DUE TO STORMWATER REQUIREMENTS AND IMPACTS.

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

STOKES ELECTRIC - MAJOR SITE PLAN

CONSTRUCTION NOTES:

1. REPRODUCTION OF THESE PLANS ARE NOT VALID UNLESS SIGNED & SEALED BY THE SURVEYOR AND ENGINEER IN RESPONSIBLE CHARGE. VALID PLANS MUST BE SIGNED AND SEALED WITH RAISED EMBOSSED SEALS. COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND THE PROFESSIONAL ENGINEER WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT UNAUTHORIZED CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.

2. CHANGES TO THESE PLANS ARE NOT VALID UNLESS PRIOR APPROVAL IS RECEIVED FROM BOTH THE APPROPRIATE GOVERNMENT AGENCIES AND THE PROJECT ENGINEER.

3. EXISTING IMPROVEMENTS ON THE SITE ARE AS SHOWN ON THE SURVEY. ALL EXISTING IMPROVEMENTS MAY NOT BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM A SITE INVESTIGATION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES OR FINDINGS TO THE PROJECT ENGINEER AND SURVEYOR. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION AND SHALL REMAIN IN DIRECT CONTACT WITH THE UTILITY COMPANIES THROUGHOUT THE ENTIRE PROJECT. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. MARION COUNTY SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.

4. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT REGULATIONS, THE MARION COUNTY WATER & SEWER CONSTRUCTION MANUAL, AND THE SAINT JOHN'S WATER MANAGEMENT DISTRICT REGULATIONS.

5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN CERTIFIED AS-BUILT DRAWINGS FROM A LICENSED SURVEYOR. THE CONTRACTOR SHALL SUBMIT THE AS-BUILT DRAWINGS TO THE PROJECT ENGINEER ONCE ALL CONSTRUCTION IS COMPLETED.

6. AFTER AND/OR DURING THE CLEANING AND GRUBBING PHASE OF THE SITE, A BURN PERMIT MUST BE OBTAINED IF BURNING IS TO TAKE PLACE ON-SITE.

7. ALL DRAINAGE FACILITIES MUST BE COMPLETED AND INSTALLED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS. THE DRAINAGE RETENTION AREA SHALL BE EXCAVATED TO WITHIN 1 FOOT OF THE PROPOSED BOTTOM. AFTER CONSTRUCTION OF THE ROADS IS COMPLETE AND PRIOR TO FINAL GRADING OF THE DRAINAGE RETENTION AREA, THE DRAINAGE RETENTION AREA SHALL BE EXCAVATED TO THE DESIGN BOTTOM ELEVATION. SOIL AT THE BOTTOM OF THE DRAINAGE RETENTION AREA SHALL BE UNDISTURBED AND OF SUITABLE MATERIAL.

8. ALL EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION. TYPE II SILT FENCE SHALL BE INSTALLED ALONG APPROPRIATE BOUNDARIES OF THE CONSTRUCTION SITE. THE SILT FENCE SHALL BE INSPECTED AT LEAST TWICE A WEEK OR AFTER EACH STORM EVENT IN ORDER TO ENSURE PROPER FUNCTION. THE SILT FENCE SHALL BE MAINTAINED IN A SAFE AND OPERABLE MANNER AT ALL TIMES. ANY INCIDENT OF EROSION, SEDIMENTATION, DEBRIS OR DUST OCCURRING ON-SITE OR OFF-SITE MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.

9. IF A SINKHOLE SHOULD FORM ON THE SITE, ALL APPLICABLE PROCEDURES REQUIRED BY THE WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT AGENCIES SHALL BE FOLLOWED. THE PROJECT ENGINEER, WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT AGENCIES SHALL BE NOTIFIED IMMEDIATELY FOR REPAIR PROCEDURES.

10. IF DURING ROAD CONSTRUCTION ANY UNSUITABLE MATERIALS ARE ENCOUNTERED, A MINIMUM OF 5 FEET OF UNDERLAY WILL BE REQUIRED FROM THE BOTTOM OF THE EXCAVATION. THE BACK-FILL MATERIAL SHALL BE OF SUITABLE MATERIAL. THE CONTRACTOR MUST CONTACT THE PROJECT ENGINEER PRIOR TO UNDERLAY.

11. THE ROAD CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL APPLICABLE UTILITY COMPANY CONSTRUCTION AND INSTALLATION. THE CONTRACTOR MUST ASSURE THAT ALL UTILITY CONDUIT, ROSSING, AND IMPROVEMENTS EXIST AND ARE LOCATED AS SHOWN ON THE PLANS. SUCH AS POTABLE WATER, SANITARY SEWER, AND STORMWATER FACILITIES.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL VEHICULAR & PEDESTRIAN ACCESS IS MAINTAINED IN A SAFE AND OPERABLE MANNER.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONUMENTATION (TEMPORARY OR PERMANENT) & CONSTRUCTION STAKING THAT HAVE BEEN IMPLACED OR DESTROYED DUE TO THE CONTRACTOR'S CONSTRUCTION. THE CONTRACTOR SHALL REPLACE ALL STAKING & MONUMENTATION (TO BE DONE BY A LICENSED SURVEYOR) AT THE CONTRACTOR'S EXPENSE.

14. THE CONTRACTOR SHALL COORDINATE WITH THE DEVELOPER ANY SLEEVING REQUIREMENTS IN THE ROADWAYS FOR IRRIGATION LINES AND/OR OTHER UTILITIES.

15. ALL QUALITY CONTROL & DENSITY TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TESTING.

16. ALL SUITABLE MATERIAL SHALL BE STOCKPILED ON-SITE AT A LOCATION DETERMINED BY THE PROJECT ENGINEER AND/OR DEVELOPER. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF-SITE UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER AND/OR DEVELOPER.

17. ANY WORK PROPOSED IN THE COUNTY RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT. THE RIGHT OF WAY PERMIT MUST BE OBTAINED FROM THE MARION COUNTY ENGINEERING DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ANY CONSTRUCTION IN THE RIGHT OF WAY MUST CONFORM TO CONSTRUCTION STANDARDS CONTAINED IN:

A) THE MARION COUNTY LAND DEVELOPMENT REGULATIONS FOR MATERIAL REQUIREMENTS & QUALITY CONTROL.

B) THE FOOT ROADWAY & TRAFFIC DESIGN STANDARDS, & C) FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, (UNLESS OTHERWISE SPECIFIED IN THESE PLANS).

18. ALL AREAS DISTURBED IN THE CONSTRUCTED RIGHT OF WAY MUST BE RESTORED AND SODDED. ALLOW FOR SOO WITH A 2" UNDERLAY. OTHER AREAS DISTURBED AFTER CONSTRUCTION SHALL BE GRASSSED, UNLESS SOO IS SPECIFICALLY PROPOSED.

19. TRAFFIC CONTROL & DEVICES IMPLEMENTED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH:

A) THE MARION COUNTY LAND DEVELOPMENT REGULATIONS

B) FOOT MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET & HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS & C) FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION

20. ALL PAYMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT REGULATIONS, AND IN CONFORMANCE WITH ALL APPLICABLE FOOT STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL, SERVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATIONS. TRAFFIC PAINT SHALL BE FOOT CODE T-1, T-2 AND HIGH INTENSITY THERMOPLASTIC.

21. THE UTILITIES CONTRACTORS SHALL BE RESPONSIBLE FOR ACQUIRING ANY CONSTRUCTION PERMITS NECESSARY PRIOR TO CONSTRUCTION. UTILITY COMPANIES SHALL BE SERVED BY THE PROJECT ENGINEER FOR APPROVAL. A WRITTEN REQUEST TO UTILIZE ANY EASEMENTS SHOWN ON THESE PLANS OR IN AREAS NOT PREVIOUSLY DESIGNATED AS A UTILITY EASEMENT, PRIOR TO CONSTRUCTION.

22. THE MINIMUM STRENGTH FOR ANY CONCRETE CONSTRUCTION SHALL BE 3000 PSI AT 28 DAYS UNLESS OTHERWISE INDICATED ON THESE PLANS.

23. EXISTING TREES TO REMAIN SHALL HAVE ANY LOW LIMBS TRIMMED TO ALLOW AERIAL CLEARANCE FOR VEHICLES AND/OR AIRCRAFT. EXISTING TREES TO BE REMOVED SHALL BE REMOVED PRIOR TO CONSTRUCTION. EXISTING TREES TO BE REMOVED SHALL BE REMOVED PRIOR TO CONSTRUCTION. EXISTING TREES TO BE REMOVED SHALL BE REMOVED PRIOR TO CONSTRUCTION.

24. AREAS AROUND ANY PROPOSED PIPE ENDS SHALL BE FINISH GRADED AND SODDED FOR A MINIMUM IN ALL DIRECTIONS OR AS SPECIFIED ON THESE PLANS. SINGLE ELEVATION TRANSITIONS TO PIPE ENDS SHALL BE 36 INCHES UNLESS OTHERWISE SPECIFIED.

25. CONSTRUCTION MUST BE CLEANED AT ALL PROPOSED CROSS DRAIN PLACEMENTS OF SOO OR GRASS AND MULCH.

26. DELINEATORS ARE TO BE LOCATED AT EACH END OF CROSS DRAINS HAVING INTERED ENDS. INSTALLATION SHALL BE AT MINIMUM 4 FEET FROM OUTSIDE EDGE OF SHOULDER. TOP OF DELINEATOR SHALL NOT BE LESS THAN 4" ABOVE FINISH GRADE.

UTILITIES SERVICE PROVIDERS:

1. POWER (SECO) (850) 894-8888
2. CABLE AND TELEPHONE (COX) (850) 420-2678
3. GAS (FICO) (407) 420-2678
4. WATER & SEWER (MARION COUNTY) (352) 367-4889

SUNSHINE STATE ONE CALL

CALL BEFORE YOU DIG

1-800-424-7776



SURVEYOR

ROGERS ENGINEERING, LLC
1105 SE 3RD AVE.
OCALA, FL 34471
352-822-8214

OWNER/DEVELOPER

CHUCK STOKES
CALL REALTY, LLC
421 S PINE AVE.
OCALA, FL 34471
352-843-2856



DRAWING FILE:
MASTER PLAN.DWG
DATE:
12-03-2024
DESIGNED BY: PM
DRAWN BY: AHC
CHECKED BY: PM

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS OTHERWISE NOTED. THE DRIVEWAY ACCESS MEETS FOOT RIGHT DISTANCE REQUIREMENTS.



OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AND MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN AND/OR PROVIDE AS SHOWN ON THE APPROVED PLAN, AND SHALL INSURE THE SWALES AND/OR DRAINAGE RETENTION FACILITIES DURING HEAVY RAINFALL, AND FOR THE FORMATION OF SINKHOLES, WASH OUTS, EROSION, AND BUILD UP OF DEBRIS.

CHUCK STOKES
CALL REALTY, LLC
421 S PINE AVE.
OCALA, FL 34471
352-843-2856

LOCATION MAP

SEC. 25, TWP. 14, RGE. 21
MARION COUNTY, FLORIDA



SITE DATA:

PROJECT NAME: STOKES ELECTRIC - MAJOR SITE PLAN
PROJECT LOCATION: SEC 25, TWP. 14, RGE. 21
P.I.D.: 13338-000-01
OWNER: C&N REALTY, LLC
ADDRESS: 421 S PINE AVE.
OCALA, FL 34471
TOTAL SITE AREA: 268,506 S.F. = 6.16 ACRES +/-
CURRENT ZONING: B-4
FUTURE LAND USE: COMMERCIAL
BUILDING SETBACKS: 40' FRONT, 10' SIDE, 25' REAR
BUILDING USE: WAREHOUSE
BUILDING F.A.R.: 0.0669 (17,960 SF)

PROPOSED DEVELOPMENT:

THE EXISTING PARCEL IS LOCATED IN MARION COUNTY, FL. THE INTENT IS TO CONSTRUCT WAREHOUSING FOR VEHICLES AND/OR AIRCRAFT. THE EXISTING PARCEL WILL BE SERVED BY THE PROJECT ACCESS. THE COMPLETION OF CONSTRUCTION REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

THIS DEVELOPMENT WILL ADHERE TO THE MARION COUNTY LAND DEVELOPMENT CODE REGULATIONS.

CONCURRENCY NOTE:

THE PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENT APPROVAL AND/OR GRANTED AND/OR RECEIVED ANY PUBLIC FACILITY CAPACITY. FUTURE RIGHTS TO BEAR ON THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENT DETERMINATION, AND FINAL APPROVAL TO DEVELOP OF THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENT REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

P.I.D.: 13338-000-00
ZONING: B-4
FLU: EMPLOYMENT CENTER

GENERAL NOTES:

- THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY ROGERS ENGINEERING, LLC.
- TREE SURVEY WAS PROVIDED BY ROGERS ENGINEERING, LLC.
- COPIES OF PERMITS FROM ALL APPROPRIATE AGENCIES SHALL BE PROVIDED ONCE APPROVAL IS OBTAINED FROM SUCH AGENCIES.
- ALL ROAD/PAVEMENT IN THIS SITE WILL BE DESIGNED FOR ELEVATIONS ABOVE THE 1699Y240M MAXIMUM STAGE ELEVATION OF ADJACENT LOW LYING AREAS.
- A TRAFFIC STATEMENT HAS BEEN PROVIDED.
- ALL LANDSCAPING SHALL COMPLY WITH THE MARION COUNTY LAND DEVELOPMENT REGULATIONS.
- THE DEVELOPER SHALL CONSTRUCT, LANDSCAPE, IMPROVE, AND MAINTAIN ALL OF THE COMMON AREAS AND GREEN SPACE AS SHOWN ON THESE PLANS.
- THE REQUIRED BUFFERS AND SETBACKS ARE AS SPECIFIED IN THESE PLANS.
- MASTROSERIO ENGINEERING, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- AN "AS-BUILT" CERTIFICATION WILL BE REQUIRED BY THE PROJECT ENGINEER AND ALL REGULATORY REVIEW AGENCIES INVOLVED IN THIS PROJECT.
- AT THE END OF THE PROJECT CONSTRUCTION, THE PROJECT ENGINEER SHALL PROVIDE TO THE APPROPRIATE AGENCIES, AN ELECTRONIC FILE CONTAINING THE PROJECT DEVELOPMENT PLANS IN AUTOCAD FORMAT.

WATER AND SEWER NOTES:

- WATER SUPPLY SHALL BE PROVIDED VIA A PROPOSED WELL. THE DISTRIBUTION SYSTEM SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE.
- SEWAGE COLLECTION SHALL BE PROVIDED VIA A SEPTIC SYSTEM AND SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDP & MARION COUNTY SPECIFICATIONS.
- WATER USAGE = 150 GPD
- SEWER USAGE = 150 GPD

PROPERTY INFORMATION:

- PROJECT IS LOCATED IN THE NORTHWESTERN SECTION OF MARION COUNTY, FLORIDA.
- THE PROPERTY IS PRESENTLY ZONED B-4.
- THIS PROJECT SHALL BE DEVELOPED BY C&N REALTY, LLC.

SPRINGS PROTECTION ZONE NOTE:

THIS SITE LIES WITHIN THE PRIMARY SPRINGS PROTECTION ZONE.

FLOOD ZONE NOTE:

BASED ON GRAPHICAL PLOTTING ONLY, THE PROPERTY DESCRIBED HEREON IS NOT IN A FLOOD HAZARD AREA. AS PER FLOOD INSURANCE RATE MAP NUMBER 13050506E, EFFECTIVE DATE 04-19-2017.

PLAN DATUM AND BENCHMARK NOTE:

VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "BM 15-14291-4".

SITE LIGHTING NOTE:

ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND COMPLIANT WITH LDC SEC. 6.7.9 OUTDOOR LIGHTING.

LEGAL DESCRIPTION:

PARCEL 1

LOT 15, BLOCK "D", SYLVANA ESTATES, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PART OF THE NORTH 1/2 OF THE SW 1/4 OF U.S. HIGHWAY NO. 441, SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, AND COMMENCING AT THE CORNER THEREOF; THENCE S 0° 0' 0" W, A DISTANCE OF 1121.88 FEET TO A POINT; THENCE N 89° 48' 15" W, 428 FEET TO A POINT; THENCE S 87° 0' 0" W, 218 FEET TO A POINT; THENCE S 89° 48' 15" W, 411.88 FEET TO A POINT; THENCE S 87° 0' 0" W, 89.88 FEET TO THE PRINCIPAL PLACE OF BEGINNING OF THE PARCEL HEREIN CONVEYED; THENCE CONTINUING N 53° 37' 15" W, A DISTANCE OF 14.87 FEET TO A POINT; THENCE S 87° 0' 0" W, A DISTANCE OF 178.88 FEET TO A POINT; THENCE SOUTH 21.6 FEET TO A POINT; THENCE N 89° 48' 15" W, A DISTANCE OF 73.81 FEET TO THE PRINCIPAL PLACE OF BEGINNING OF THE PARCEL HEREIN CONVEYED, BEING IN MARION COUNTY, FLORIDA.

AND

COMMENCING AT THE CORNER OF THE NW 1/4 OF SW 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, THENCE S 0° 0' 0" W, ALONG THE WEST BOUNDARY OF NE 1/4 OF SW 1/4 OF SAID SECTION 25, 69.88 FEET TO THE NORTHWESTERLY CORNER OF THE NW 1/4 OF SAID SECTION 25, 218 FEET TO A POINT; THENCE S 89° 48' 15" W, 118.88 FEET TO A POINT; THENCE SOUTH 21.6 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF COUNTY ROAD, THENCE N 89° 48' 15" W, 208 FEET, THENCE S 87° 0' 0" W, 218 FEET, THENCE S 89° 48' 15" W, 411.88 FEET, THENCE NORTH 53° 37' 15" W, 14.87 FEET TO THE CORNER OF THE NORTH 1/2 OF THE SW 1/4 OF SAID SECTION 25, THENCE N 89° 48' 15" W, 538 FEET TO THE NE CORNER OF THE NORTH 1/2 OF THE SW 1/4 OF SAID SECTION 25, THENCE ALONG THE NORTH BOUNDARY OF THE NORTH 1/2 OF THE SW 1/4 OF SAID SECTION 25, 1718.93 FEET TO THE POINT OF BEGINNING, ALL IN MARION COUNTY, FLORIDA.

PARCEL 2

THAT PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, LYING EAST OF OLD U.S. HIGHWAY NO. 441, MARION COUNTY, FLORIDA.

AS-BUILT NOTE:

EDR SHALL SUPPLY C&D AS-BUILTS INCLUDING NAD 83 W COORDINATES FOR ALL FEATURES PER CODE. AS-BUILTS SHALL BE SUBMITTED TO MCU A MINIMUM OF TWO WEEKS PRIOR TO THE F&P CLEARANCE REQUEST. THIS WILL ALLOW FOR ADEQUATE TIME TO REVIEW AHEAD OF THE BILL OF SALE AND CLEARANCE REQUEST AND AVOID DELAY. DELAYED EXPIRED BACTS AS A RESULT OF INSUFFICIENT TIME SHALL BE CONSIDERED/OWNER'S SOLE EXPENSE.

PROPOSED WAIVERS:

WAIVERS REQUESTED FOR THIS PROJECT:

CODE REFERENCE	DESCRIPTION	STATUS	CONDITIONS	DATE

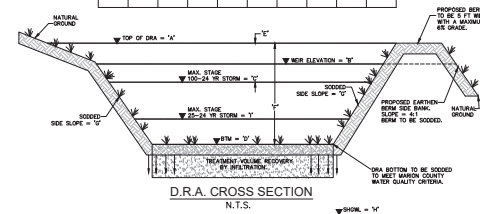
STOKES ELECTRIC - MAJOR SITE PLAN
MARION COUNTY, FL, SEC. 25, TWP. 14, RGE. 21

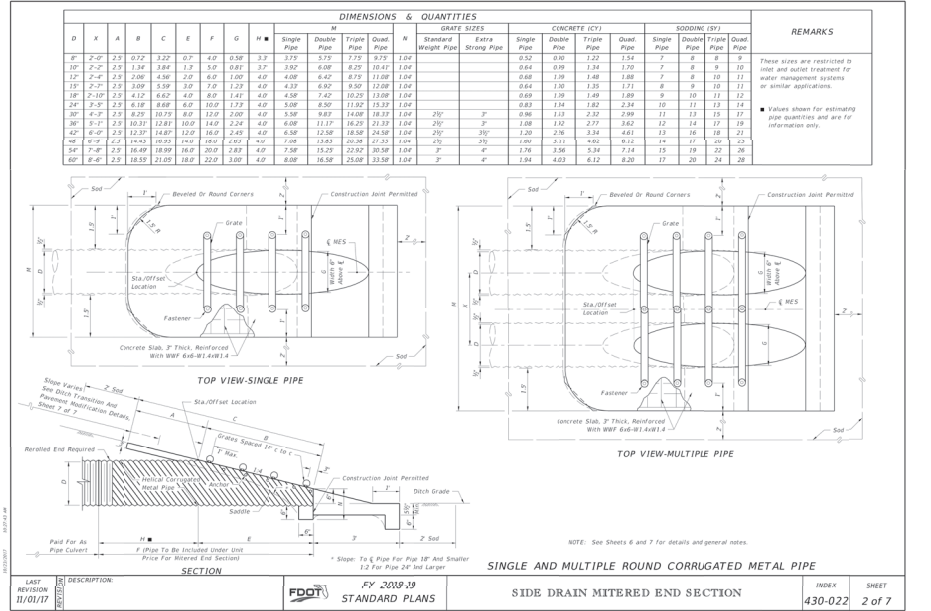
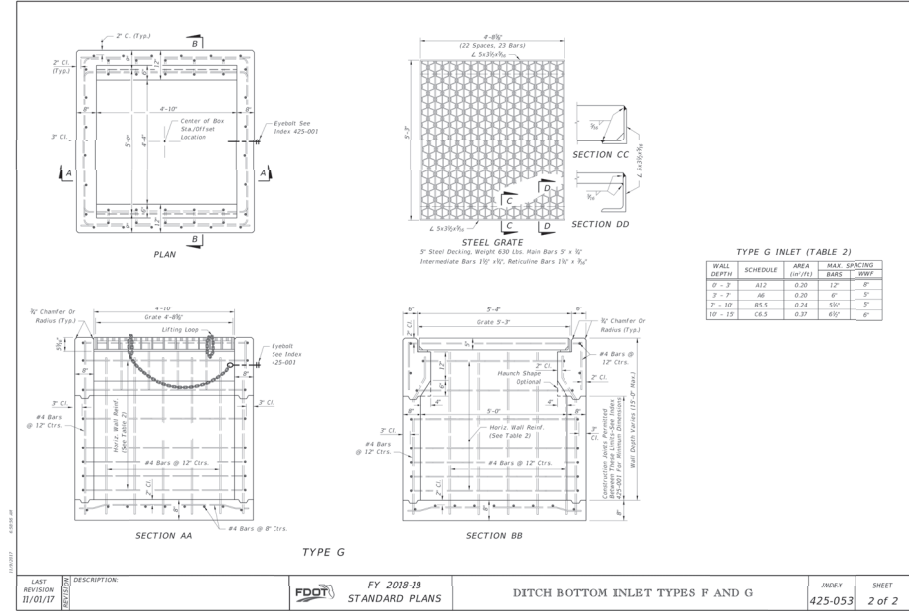
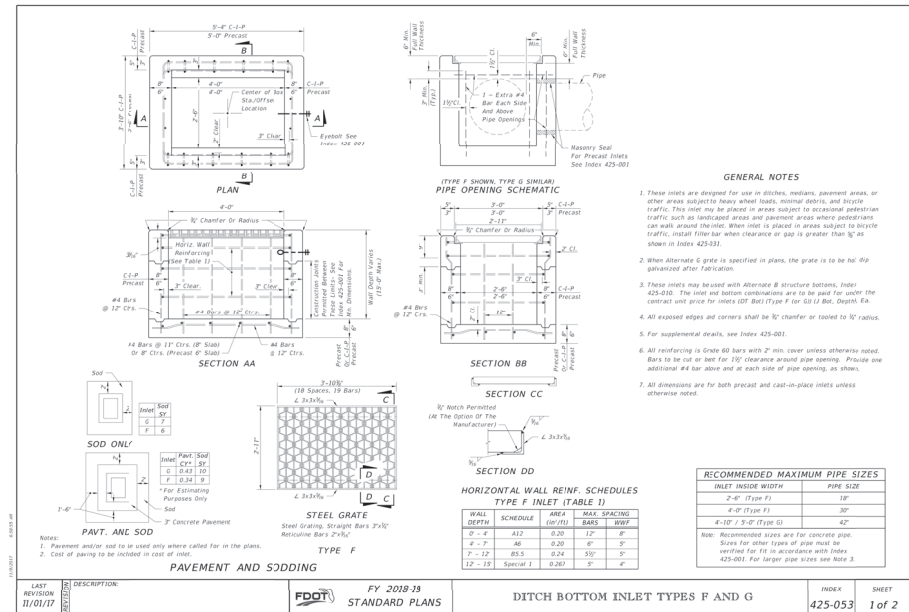
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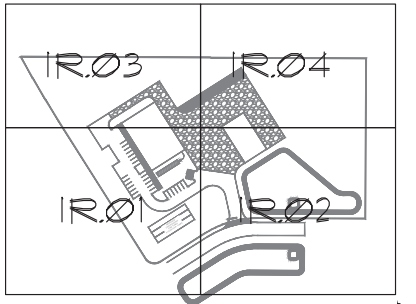
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SHEET
C1 of 5

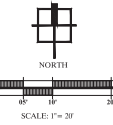
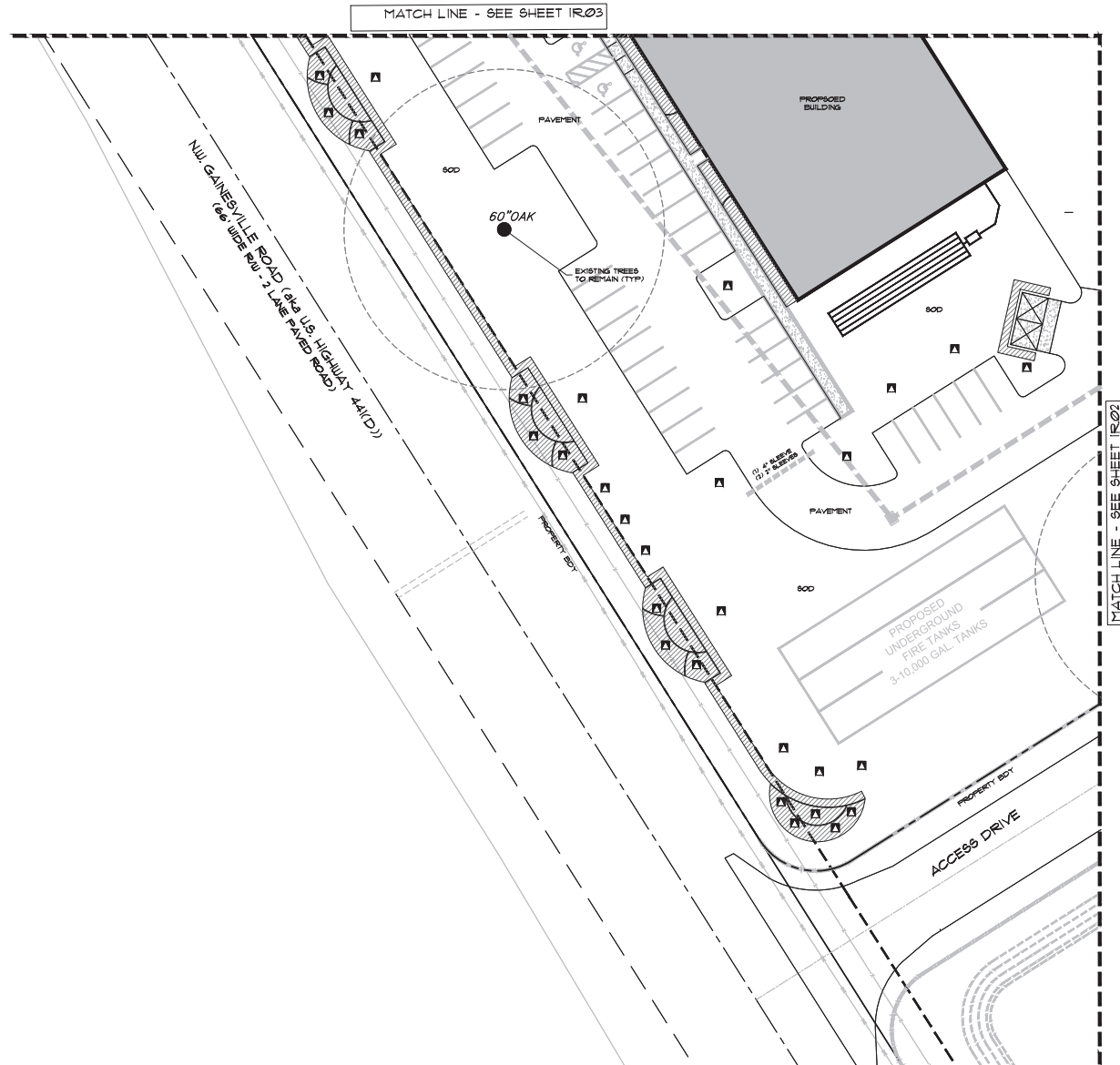








SHEET KEY MAP



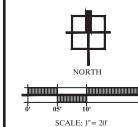
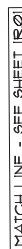
NO.	DATE	DESCRIPTION
1	11-20-24	INITIAL COUNTY SUBMITTAL

Stokes Electric
 PERMIT / CONSTRUCTION PLANS
 MARGON COUNTY, FLORIDA
 PREPARED FOR:
 MASTROBERG ENGINEERING
 IRRIGATION PLAN

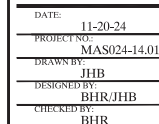


DATE: 11-20-24
 PROJECT NO: MAS024-14.01
 DRAWN BY: JHB
 DESIGNED BY: BHR/JHB
 CHECKED BY: BHR

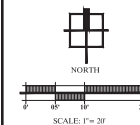
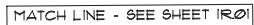
SHEET NO.
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Stokes Electric
 PERMIT / CONSTRUCTION PLANS
 MARION COUNTY, FLORIDA
 PREPARED FOR:
 MASTROSERIO ENGINEERING
 APPLICATION PLAN



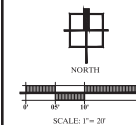
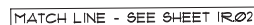
SHEET NO.
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Stokes Electric
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
PREPARED FOR:
MASTROSERIO ENGINEERING
APPLICATION PLAN

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IR.03



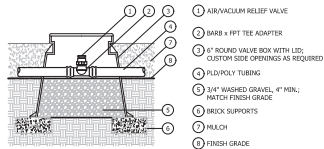
Stokes Electric
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
PREPARED FOR:
MASTROSERIO ENGINEERING
IRRIGATION PLAN

**Landscape Architect
In-Charge:**

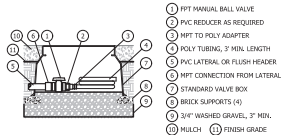


DATE: 11-20-24
PROJECT NO.: MAS024-14.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

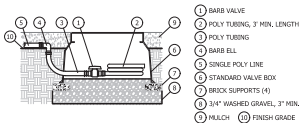
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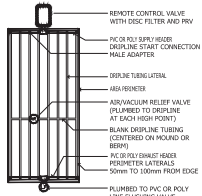
AIR/ VACUUM RELIEF VALVE ON GRADE
NOT TO SCALE



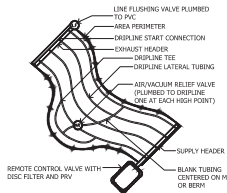
MANUAL FLUSH VALVE - PVC
NOT TO SCALE



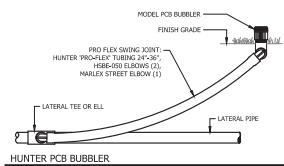
MANUAL FLUSH VALVE - POLY END RUN
NOT TO SCALE



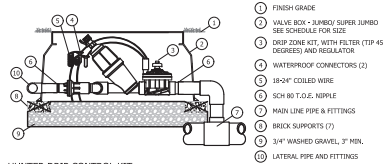
DRIPLINE END FEED LAYOUT
SCALE: NTS



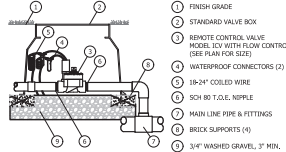
IRREGULAR AREAS - ODD CURVES
SCALE: NTS



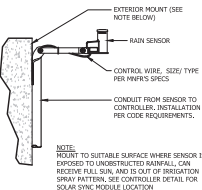
HUNTER PCB BUBBLER
NOT TO SCALE



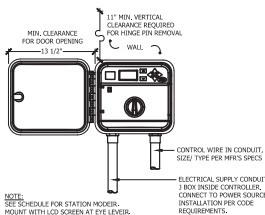
HUNTER DRIP CONTROL KIT
NOT TO SCALE



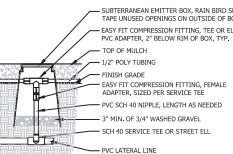
HUNTER ICV ELECTRIC GLOBE VALVE COMMERCIAL / MUNICIPAL
NOT TO SCALE



HUNTER RAIN-CLICK SENSOR
NOT TO SCALE



HUNTER CONTROLLER
NOT TO SCALE



PVC - TO - POLY TUBING CONNECTION
SCALE: NTS

IRRIGATION SCHEDULE

EMBL	MANUFACTURER / MODEL	TYPE	ABC	PSI	GPM*	RADIUS
▲	Hunter PCB-40 (1 bubbler per tree)	Thickie	TREE	15-70 psi	1 @ 0.50 gpm	

Area to Receive DripLine
Hunter PLD-06-12 (12), Contractor to verify per plans
DripLine with 0.6 GPM emitters, non-draining, pressure compensating, at 12" O.C., and row spacing at 12" O.C., off-set emitters for triangular spacing.

W Irrigation Well, Provide backflow prevention per county code. Well to be sized to meet irrigation flow demands.

Hunter ICV-101 - 1" Electric Globe Valve w/ Flow Control
Hunter ICV-151 - 1.5" Electric Globe Valve w/ Flow Control
Hunter ICV-201 - 2" Electric Globe Valve w/ Flow Control

Hunter ICZ-151-40 Drip Controller (FLOW 20-60 GPM) w/ 1" HY100 Filter System. Super Jumbo pit required

Hunter PRO-C Module Station Controller
Model: PC Outdoor
Provide PCM Modules as required

Hunter Rain-Click Sensor
Mount in location with open view to sky.

Irrigation Hardline: 2" PVC Class 200 SDR 21

Irrigation Lateral Line: PVC Class 160 SDR 26 (Not shown, Size per chart)

Sch 40 Irrigation Sleeve

NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS.

THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPURTENANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.

ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES.

IRRIGATION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - FOLLOWING ALL APPLICABLE CODES AND REGULATIONS CONCERNING THE WORK, WHETHER THEY ARE IMPLIED OR STIPULATED IN THE CONSTRUCTION DOCUMENTS.
 - REPORTING AND REPAIRING ANY DAMAGE CAUSED BY HIS WORK OR ACTIONS.
 - MAINTAINING THE JOB SITE IN A CLEAN, PROFESSIONAL AND WORKMANLIKE MANNER.
 - COORDINATION WITH ALL OTHER ASPECTS OF THE JOB AFFECTING THE FINISHED CHARACTER, INCLUDING ADJUSTMENTS TO HEAD AND PIPE LOCATIONS IF REQUIRED.
 - COMPLETING THE WORK IN A CONTINUOUS AND FLUID MANNER UNTIL IT IS COMPLETE, FROM SITE PREPARATION THROUGH FINAL WALK THROUGH AND TURNOVER.
 - REVIEWING THE SITE AS A WHOLE TO DETERMINE IF ANY ASPECTS OF THE PLANS PRESENT A CONFLICT WITH THE SITE CONDITIONS, ANY CONFLICTS SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - OBSERVING AND REPORTING ANY CONDITIONS WHICH WOULD AFFECT THE PERFORMANCE OF THE IRRIGATION SYSTEM(S) TO INCLUDE WATER QUALITY.
- THE SCOPE OF WORK SHALL INCLUDE:
 - PROVIDING A DESIGN/BUILD IRRIGATION SYSTEM BASED ON THE PERFORMANCE SPECIFICATIONS AND DETAILS AS PROVIDED IN THE CONSTRUCTION DOCUMENTS.
 - PRESENTATION OF SUBMITTALS AND SAMPLES OF MATERIALS AS REQUIRED.
 - SUBMITTAL OF A WRITTEN GUARANTEE INCLUDING ALL MANUFACTURER'S WARRANTIES.
 - SUPPLYING OF MATERIAL OF THE SPECIFIED TYPE, SIZE, AND QUANTITY.
 - PROVIDE A PROPERLY BALANCED IRRIGATION SYSTEM WHICH DELIVERS ADEQUATE WATER TO THE IRRIGATED AREAS WITHOUT APPLYING ANY WATER TO IMPROBABLE AREAS.
- THE IRRIGATION SYSTEM PROVIDED BY THE CONTRACTOR SHALL COVER THE IRRIGATION PROJECT AREAL LIMITS AS IDENTIFIED ON THE PLANS, OR AS APPROVED BY THE OWNER. THIS AREA SHALL BE USUALLY IRRIGATED WITH BALANCED HEAD TO HEAD COVERAGE, USING SEPARATE ZONES FOR TURF AND TREES/SHRUBS. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC CONTROLLER, AUTOMATIC RAIN CUT-OFF SWITCH, AND BACK-FLOW PREVENTION.
- THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR INSURING THAT WORK MEETS ALL REQUIREMENTS AS OUTLINED IN THE SPECIFICATIONS AND PLANS, IMPLIED OR STIPULATED. THE CONTRACTOR SHALL PROVIDE FOR ALL WORK AND MEET SAID REQUIREMENTS - ANY WORK THAT DOES NOT IS SUBJECT TO REPLACEMENT BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- ALL IRRIGATION INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- ALL IRRIGATION INSTALLATION/ MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES. <http://flrpa.floridapl.com>

IRRIGATION WATERING RESTRICTIONS, NON-RESIDENTIAL

- IRRIGATION IS NOT ALLOWED BETWEEN 10:00 A.M. AND 4:00 P.M.
- WHEN DAYLIGHT SAVINGS TIME IS IN EFFECT, NON-RESIDENTIAL LANDSCAPE IRRIGATION MAY OCCUR ONLY ON TUESDAY AND/OR FRIDAY.
- WHEN EASTERN STANDARD TIME IS IN EFFECT, NON-RESIDENTIAL LANDSCAPE IRRIGATION MAY OCCUR ONLY ON THURSDAY.
- FOR EACH DAY THAT IRRIGATION OCCURS, NO MORE THAN THREE-QUARTER INCH (3/4") OF WATER MAY BE APPLIED PER IRRIGATION ZONE, AND IN NO EVENT SHALL AN IRRIGATION ZONE OPERATE FOR MORE THAN ONE HOUR.
- ALL LANDSCAPE IRRIGATION SHALL BE LIMITED IN AMOUNT TO ONLY THAT WHICH IS NECESSARY TO MEET LANDSCAPE ESTABLISHMENT AND NEEDS.

NOTE: IRRIGATION OF A NEW LANDSCAPE IS ALLOWED AT ANY TIME OF DAY FOR THE INITIAL THIRTY (30) DAYS, AND EVERY OTHER DAY FOR THE NEXT THIRTY (30) DAYS, FOR A TOTAL OF ONE SIXTY (60) DAY PERIOD.

VALVE SIZING

PRESSURE LOSS NOT TO EXCEED 5 PSI:

Flow	1"	1 1/2"	2"
GPM	Globe	Globe	Globe
1	1.1		
5	1.9		
10	1.9		
15	1.6		
20	1.3	3	1
30	0.9	3	1
35	1.0	3	1
40	2.0	3	2
50	4	2	2
60	5.5	2	3
80	11.5	3	4
100	15	4	5
120	18	5	6
135		6	8
150		8	10

ZONE SCHEDULE

1	DRIP ZONE
2	DRIP ZONE
3	DRIP ZONE
4	TREE BUBBLER

LATERAL ZONE LINE PIPE SIZING DOWNSTREAM OF EACH ZONE VALVE (UNLESS OTHERWISE NOTED ON THESE PLANS)

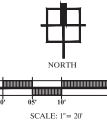
THE BELOW GUIDE GIVES A GENERAL OUTLINE FOR LATERAL ZONE LINE PIPE SIZING. SIZING SHOULD BE STARTED FROM THE FURTHEST MOST EXTREMITIES OF EACH ZONE AND WORKED BACK TO THE ZONE VALVE. CARE SHOULD BE TAKEN TO TOTAL EACH INTERSECTION OF LATERAL ZONE LINE TO KEEP AN ACCURATE ACCOUNT OF GPM ALL THE WAY BACK TO THE VALVE. THE GPM FOR EACH ZONE IS GIVEN AT EACH VALVE CALLOUT ON THE PLANS.

GALLONS PER MINUTE (GPM)	APPROPRIATE PIPE SIZE
0-10 GPM	3/4" PVC
11-16 GPM	1" PVC
17-25 GPM	1 1/4" PVC
26-35 GPM	1 1/2" PVC
36-55 GPM	2" PVC
56-85 GPM	2 1/2" PVC
86-120 GPM	3" PVC
121-200 GPM	4" PVC

VALVE CALLOUT



VALVE LOCATION SYMBOL



NO.	DATE	DESCRIPTION	INITIALS
1	11-20-24	INITIAL COUNTY SUBMITTAL	

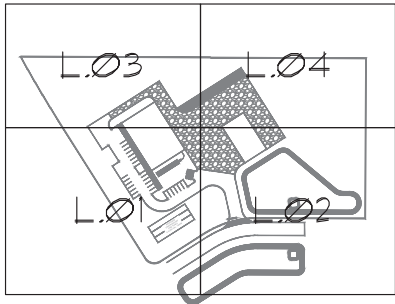
Stokes Electric
PERMIT / CONSTRUCTION PLANS
MARGON COUNTY, FLORIDA
PREPARED FOR:
MASTERSHED ENGINEERING
IRRIGATION PLAN



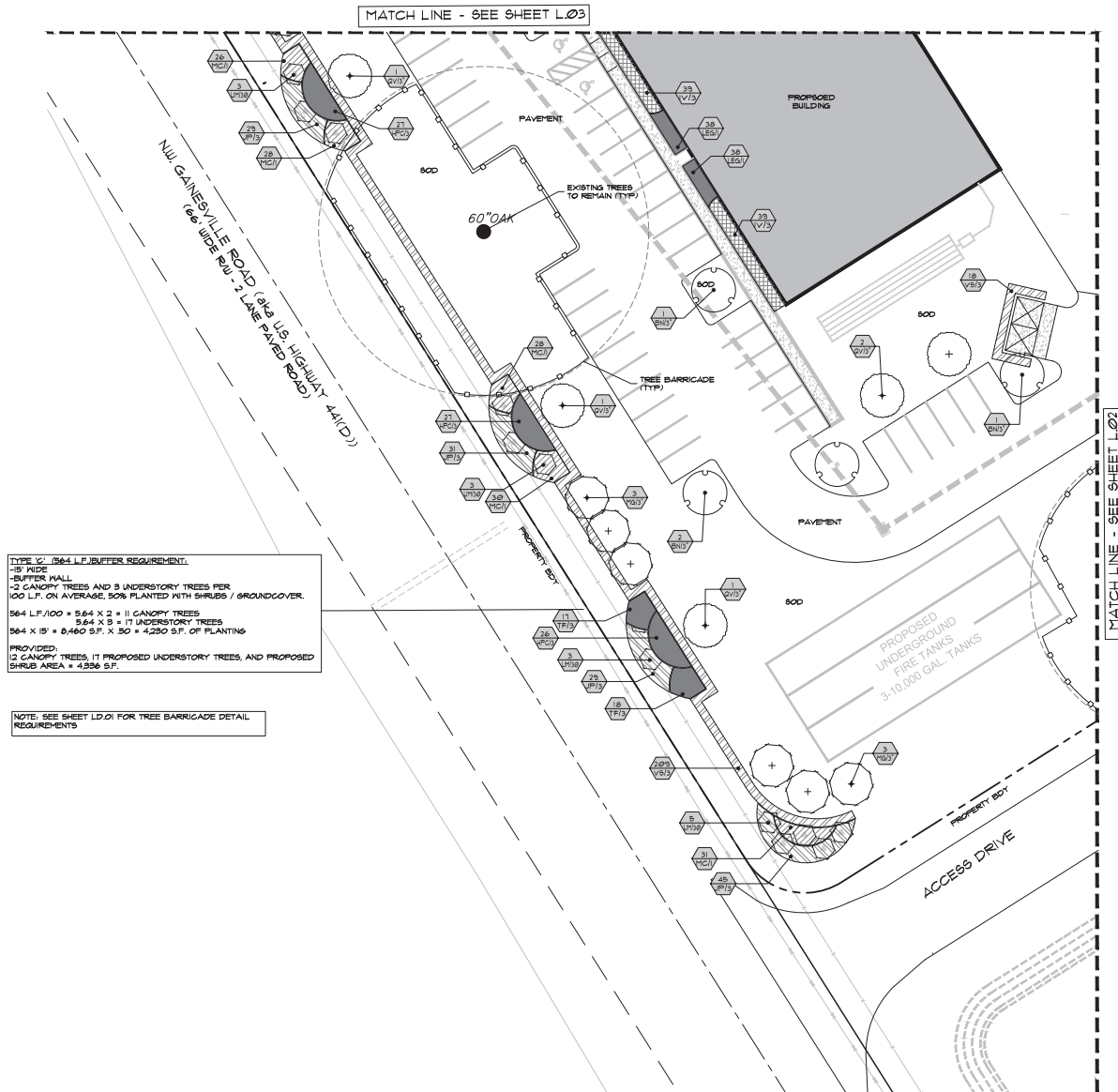
DATE: 11-20-24
PROJECT NO: MAS024-14.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

SHEET NO.
IRD.01

SHEET NO.
L.00

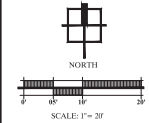


SHEET KEY MAP



TYPE 'C' 56.4 L.F. BUFFER REQUIREMENT.
 -15' WIDE
 -BUFFER MALL
 -2 CANOPY TREES AND 3 UNDERSTORY TREES PER
 100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUND COVER.
 56.4 L.F./100 = 5.64 X 2 = 11 CANOPY TREES
 5.64 X 3 = 17 UNDERSTORY TREES
 56.4 X 15' = 846.0 S.F. X .50 = 423.0 S.F. OF PLANTING
 PROVIDED:
 12 CANOPY TREES, 17 PROPOSED UNDERSTORY TREES, AND PROPOSED
 SHRUB AREA = 4356 S.F.

NOTE: SEE SHEET L.D.01 FOR TREE BARRICADE DETAIL
 REQUIREMENTS



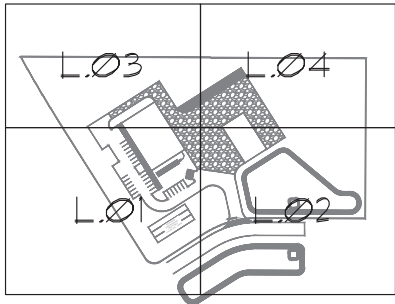
NO.	DATE	DESCRIPTION
1	11/20/24	INITIAL COUNTY SUBMITTAL

Stokes Electric
 PERMIT / CONSTRUCTION PLANS
 MORGAN COUNTY, FLORIDA
 PREPARED FOR:
 MASTROSHED ENGINEERING
 LANDSCAPE PLAN



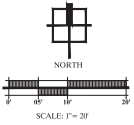
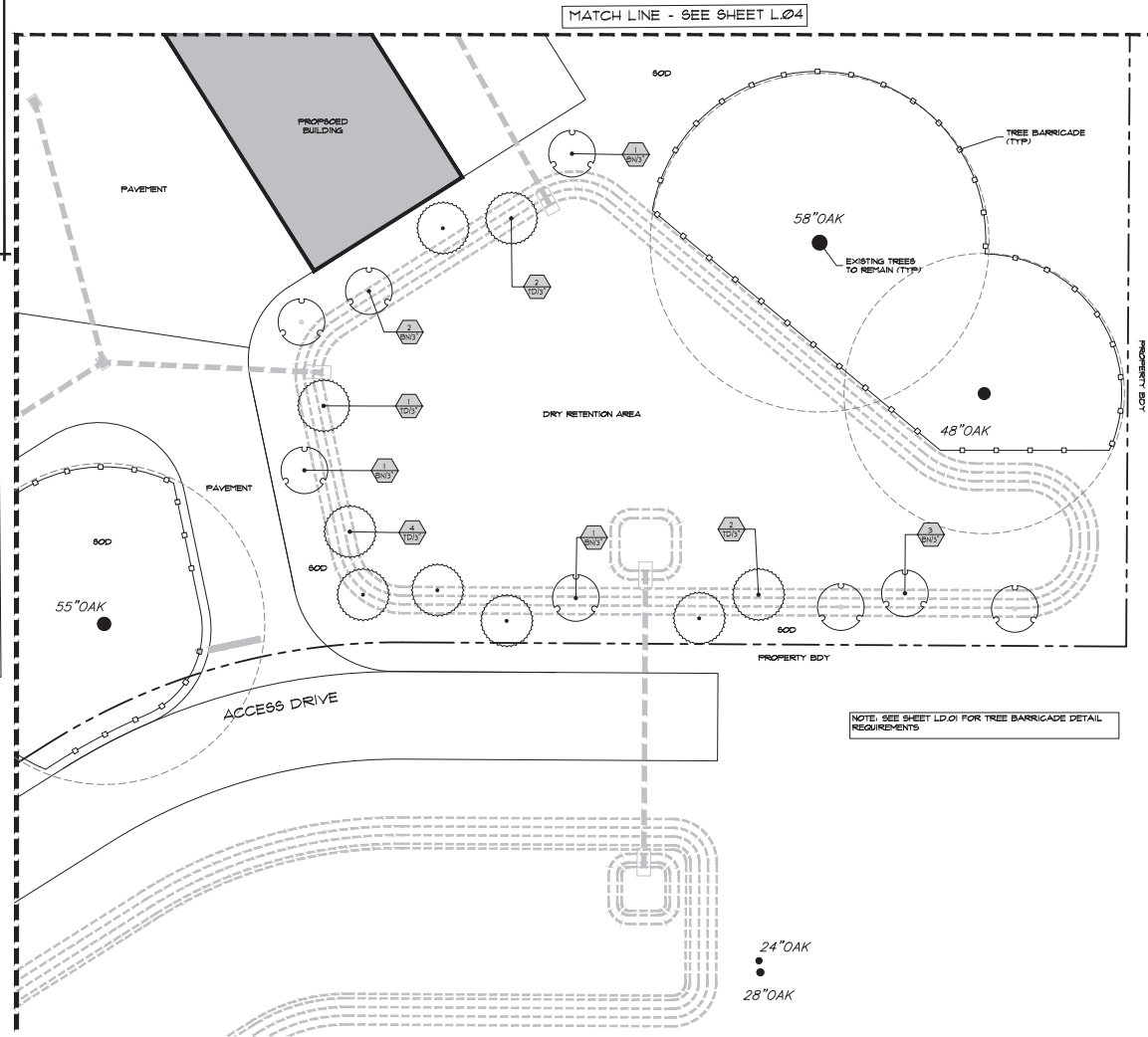
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 PROJECT NO.: MAS024-14.01
 DRAWN BY: JHB
 DESIGNED BY: BHR/JHB
 CHECKED BY: BHR

SHEET NO.
L.01



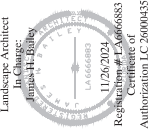
SHEET KEY MAP

MATCH LINE - SEE SHEET L.01



NO.	DATE	DESCRIPTION
1	11/20/24	INITIAL COUNTY SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		

Stokes Electric
 PERMIT / CONSTRUCTION PLANS
 MARGON COUNTY, FLORIDA
 PREPARED FOR:
 MASTROSHED ENGINEERING
LANDSCAPE PLAN

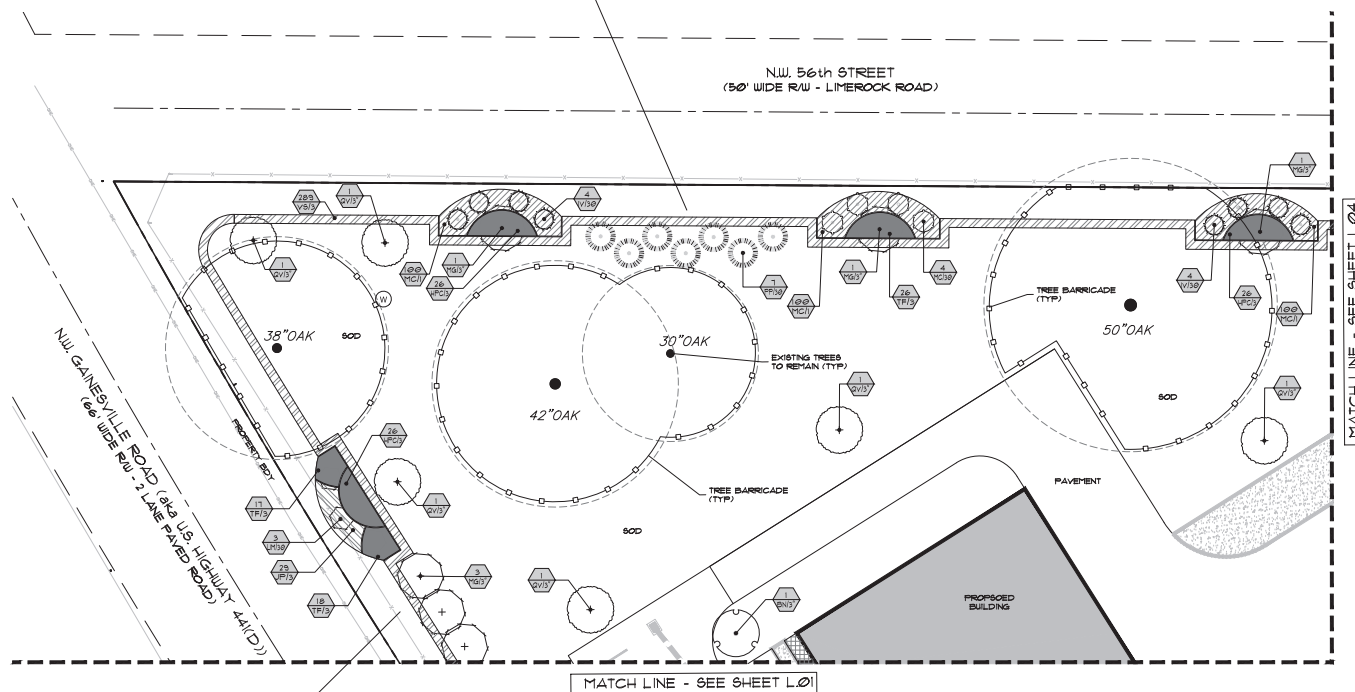


DATE: 11-20-24
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 DRAWN BY: JHB
 DESIGNED BY: BHR/JHB
 CHECKED BY: BHR

SHEET NO.
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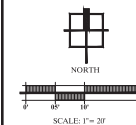


TYPE 1: 740 L.F. BUFFER REQUIREMENT:
 -15' WIDE
 -BUFFER WALL
 -2 CANOPY TREES AND 3 UNDERSTORY TREES PER
 100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / BROADCOVER.
 740 L.F./100 = 7.40 X 2 = 16 CANOPY TREES
 7.40 X 3 = 24 UNDERSTORY TREES
 740 X 15' = 11,170 S.F. X .50 = 5,585 S.F. OF PLANTING
 PROVIDED:
 31 CANOPY TREES, 24 PROPOSED UNDERSTORY TREES, AND PROPOS
 SHRUB AREA = 5,706 S.F.



TYPE C: 164 L.F. BUFFER REQUIREMENT.
-15' WIDE
-BUFFER MALL
-2 CANOPY TREES AND 8 UNDERSTORY TREES PER
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUND COVER.
564 L.F./100 = 5.64 x 2 = 11 UNDERSTORY TREES
5.64 x 9 = 50.76 UNDERSTORY TREES
564 x 15' = 8,460 S.F. x .50 = 4,230 S.F. OF PLANTING
PROVIDED:
-11 UNDERSTORY TREES, 11 PROPOSED UNDERSTORY TREES, AND PROPOSED
SHRUB AREA = 4,236 S.F.

NOTE: SEE SHEET LD.01 FOR TREE BARRICADE DETAIL REQUIREMENTS

[illegible]

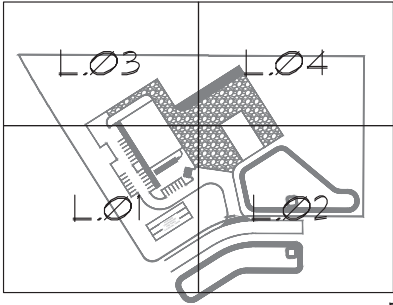
Stokes Electric
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
PREPARED FOR:
MASTROSERIO ENGINEERING
LANDSCAPE PLAN

Landscape Architect
In Charge:

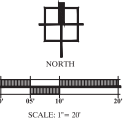
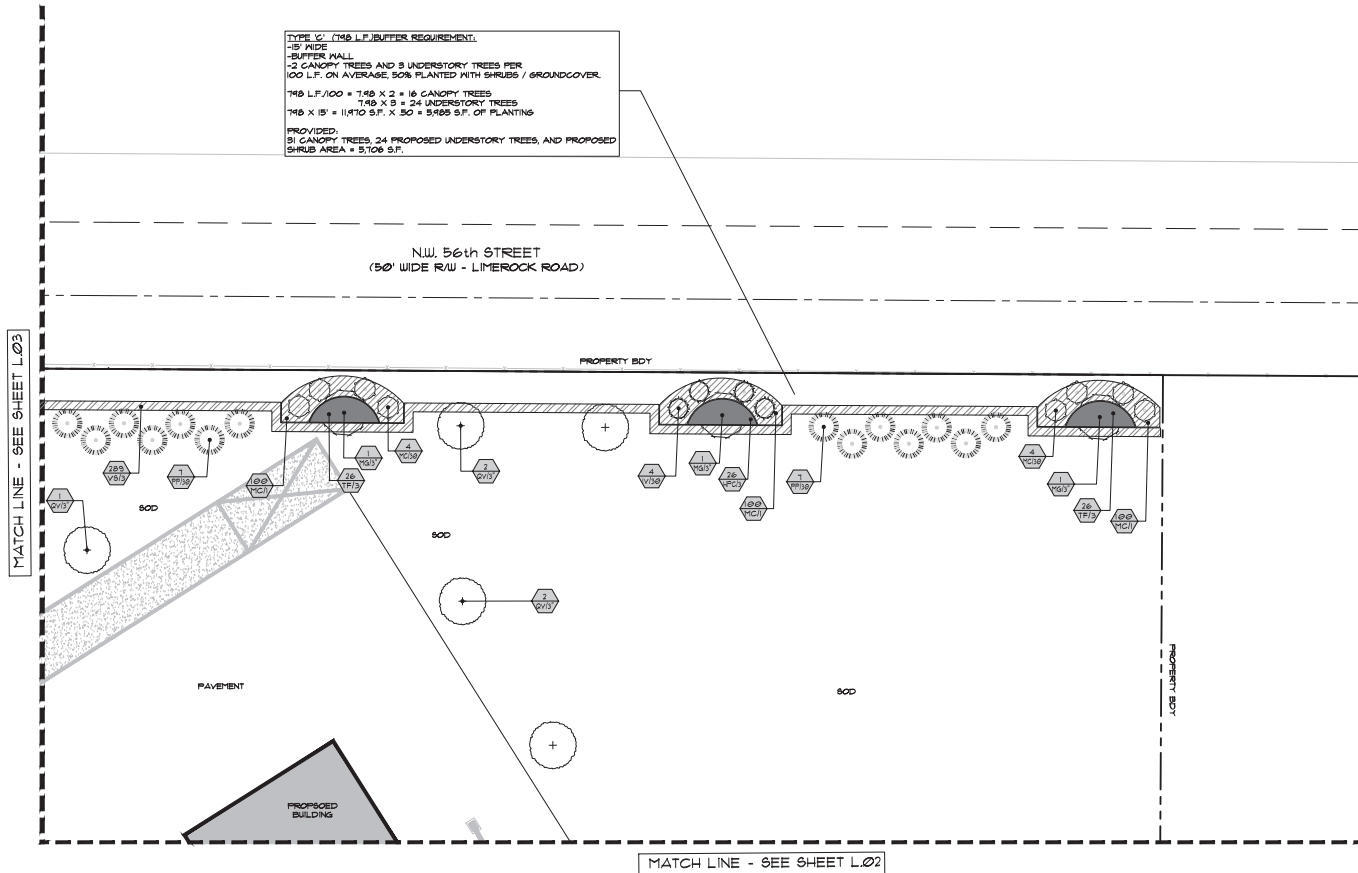
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DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

SHEET NO.

L.03

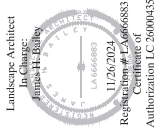


SHEET KEY MAP



NO.	DATE	DESCRIPTION
1	11/20/24	INITIAL COUNTY SUBMITTAL

Stokes Electric
 PERMIT / CONSTRUCTION PLANS
 MARION COUNTY, FLORIDA
 PREPARED FOR:
 MASTROSHED ENGINEERING
 LANDSCAPE PLAN



DATE: 11-20-24
 PROJECT NO: MAS024-14.01
 DRAWN BY: JHB
 DESIGNED BY: BHR/JHB
 CHECKED BY: BHR

SHEET NO.
L.04

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
TREES				
1V30	12	ILEX VOMITORIA	YAUPON HOLLY	30" GAL, DBH, 6' HT, X 3"-4" SFRD, 2" CAL., MULTI-TRUNK
CANOPY TREES				
BN3"	13	BETULA NIGRA	RIVER BIRCH	65" GAL OR RFG 13"-14" HT., 1"-8" SFR, 3"-3 1/2" CAL.
MG3"	15	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	CONT. OR RFG 15" HT., 1"-8" SFR, 3"-3 1/2" CAL, 2 1/2" DBH MIN, PER CITY CODE
PP30	21	PINUS PALUSTRIS	LONG LEAF PINE	DBH, 6'-7" X 2'-3", 2 1/2" GAL MIN
QV3"	16	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	65" GAL OR RFG, 12"-13" HT., 6"-7" SFR, 3" CAL, MIN
TD3"	9	TAXODIUM DISTICHUM	BALD CYPRESS	65" GAL, OR RFG, 13"-14" HT., 6"-7" SFR, 3 1/2" CAL, MIN, NATIVE
UNDERSTORY TREES				
LM30	11	LAGERSTROEMIA INDICA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	30" GAL, 6'-7" X 3'-4", MULTI-TRUNK, 5 CANES
MC30	12	MYRTICA CERIFERA	WAX MYRTLE	30" GAL, 6' HT. MIN X 4'-5", MULTI-TRUNK, NATIVE
SHRUB AREAS				
HPC3	184	HAMELIA PATENS 'COMPACTA'	DWARF SCARLET BUSH	3 GAL, 15"-18" HT., 15"-18" SFR, 14" HT MIN, 36" O.C.
1V3	18	ILEX VOMITORIA 'NANA'	DWARF YAUPON	3 GAL, 14"-15" HT., 14"-15" SFR, 14" HT MIN, 36" O.C, NATIVE
TR3	148	TRIPLODENDON FLORIDANUM	DWARF FAKAHATCHEE GRASS	3 GAL, 24" X 24", 36" O.C.
V3	116	VIBURNUM SUSPENSUM	SANDANKUA VIBURNUM	3 GAL, 18"-20" X 18"-20", FULL 36" O.C.
ORNAMENTAL GRASSES				
MC1	143	MULLENBERGIA CAPILLARIS	PINK MULY	1 GAL, 18" HT. X 18"-20", 8" HT MIN, SFR 36" O.C.
GROUND COVERS				
JF3	163	JUNIFERUS CHINENSIS 'FARSONI'	FARSON JUNIFER	3 GAL, 12"-16" X 12"-16", 30" O.C.
LEG1	16	LIRIOPE MUSCARI 'EMERALD GODDESS'	LIRIOPE	1 GAL, 5'-6" PFP, 18" O.C.

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING	FLORIDA NATIVE	DROUGHT TOLERANT
MUGH		Hardwood Mulch	Min. 9" Thick Layer	N/A	N/A
SOD	Paspalum Notatum 'Argentine'	Argentine Steno	All Round Sedges - To Be Provided By Site Contractor (Optional)	N	N

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL, AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

NATIVE PLANT CALCULATIONS

TOTAL PLANTS (TREES/SHRUBS/GROUNDCOVER): 2,023
TOTAL NATIVE PLANTS (TREES/SHRUBS/GROUNDCOVER): 1251 (62% NATIVE)

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV. 8, SEC. 6.8.12).
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION: (NOTE: PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.))

- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED: WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

TREE PROTECTION, REMOVAL, PERMITTING, AND INSPECTIONS

THE FOLLOWING REQUIREMENTS SHALL BE CONDITIONS OF TREE PROTECTION AND REMOVAL PERMITS, ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THE MARION COUNTY CODE:

- TREE PRESERVATION AND/OR REPLACEMENT INSPECTIONS ARE REQUIRED TO ENSURE COMPLIANCE WITH THE MARION COUNTY CODE AND WITH PERMITTING REQUIREMENTS.
- PRIOR TO ANY CLEARING, GRUBBING, OR ANY CONSTRUCTION, TREE PROTECTION BARRICADES SHALL BE ERCTED AROUND ALL TREES TO BE PRESERVED. PROTECTION BARRICADES SHALL BE APPROVED BY THE COUNTY'S LANDSCAPE ARCHITECT OR DESIGNEE PRIOR TO CONSTRUCTION.
- PRIOR TO ANY CLEARING, GRUBBING, OR CONSTRUCTION, A PRELIMINARY INSPECTION SHALL BE CONDUCTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR DESIGNEE TO CONFIRM THAT THE PERMITTEE HAS MARKED TREES PERMITTED TO BE REMOVED AND HAS INSTALLED TREE PROTECTION BARRICADES AROUND TREES TO BE PRESERVED. ANY DEFICIENCIES NOTED DURING THIS INSPECTION SHALL BE CAUSE TO WITHHOLD APPROVAL UNTIL THEY ARE CORRECTED BY THE PERMITTEE AND RE-INSPECTED. FOLLOWING THE PRELIMINARY INSPECTION, APPROVAL SHALL BE NOTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR HIS DESIGNEE ON THE PERMIT AND SHALL CONSTITUTE NOTICE TO PROCEED WITH TREE REMOVAL.
- CONTRACTOR SHALL HAVE ALL AGREEMENTS AND PERMITS SECURED FOR DEMOLITION AND PROTECTION ON PROJECT SITE.
- OWNER IS RESPONSIBLE FOR INSURING THAT ALL POSSIBLE MEASURES ARE TAKEN TO AVOID DAMAGE TO TREES NOT APPROVED FOR REMOVAL.
- TREES TO REMAIN SHALL BE PROTECTED PER THE MARION COUNTY, FLORIDA TREE PROTECTION AND REPLACEMENT SPECIFICATIONS, INCLUDING MINIMIZING ALTERATIONS TO THE SITE TOPOGRAPHY AND PROTECTING TREES FROM ANY DAMAGE TO PRESERVE THE LONG TERM VIABILITY OF EXISTING TREES.
- THE MOVEMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL, WITHIN THE TREE PROTECTION ZONE (TPZ) OR DRIP LINE OF ANY PROTECTED TREE IS PROHIBITED.
- THE CLEANING OF CONSTRUCTION EQUIPMENT, TOOLS, MATERIALS, OR THE DISPOSAL OF WASTE, E.G. PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, WITHIN THE TPZ OR DRIP LINE OF ANY PROTECTED TREE IS PROHIBITED.
- THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS EVERY WEEK THROUGHOUT CONSTRUCTION. ANY BARRICADE OR SIGN THAT IS DAMAGED OR MISSING SHALL BE IMMEDIATELY REPLACED.
- ANY TREE NOT PERMITTED FOR REMOVAL THAT IS DESTROYED OR DAMAGED SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, SHALL BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREES SHALL BE OF COMPARABLE SPECIES TO THE DESTROYED OR DAMAGED TREES WITH A MINIMUM REPLACEMENT SIZE OF 3.5-INCH CALIPER. THE COUNTY RESERVES THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AUTHORIZED BY THE COUNTY'S LANDSCAPE ARCHITECT.
- NO CERTIFICATE OF COMPLETION, AS APPROPRIATE, MAY BE ISSUED FOR ANY DEVELOPMENT INVOLVING THE REMOVAL OF TREES REQUIRING A PERMIT, UNTIL ALL REQUIRED INSPECTIONS HAVE BEEN COMPLETED AND APPROVED.
- A FINAL INSPECTION SHALL BE CONDUCTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR DESIGNEE AFTER COMPLETION OF TREE REMOVAL AND REPLACEMENT. FOLLOWING FINAL INSPECTION, AND IF FOUND TO BE IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS, APPROVAL SHALL BE NOTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR DESIGNEE ON THE PERMIT AND SHALL CONSTITUTE NOTICE OF COMMENCEMENT OF THE REQUIRED MAINTENANCE PERIOD OF REPLACEMENT TREES IF REPLACEMENT IS REQUIRED.

MARION COUNTY CODE REQUIREMENTS

NOTE: TREE REMOVAL, PRESERVATION, AND/OR REPLACEMENT INSPECTIONS PERMITS ARE PURSUANT TO MARION COUNTY LAND DEVELOPMENT CODE, ARTICLE 6, DIVISION 1, TREE PROTECTION AND REPLACEMENT
<https://www.marioncounty.com/library/flmarioncounty>

GENERAL NOTES: (REFER TO SEPARATE SPECIFICATIONS SHEET FOR COMPLETE REQUIREMENTS)

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL, AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WETNESS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE 811 AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- SOIL PROVIDED SHALL BE FREE OF LIMEROCK, FEEBLES OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
- MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://ffl1.fas.wfl.edu>
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
- FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
- ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, OPERATED, AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 9, IRRIGATION, 6.9.6, AND ALL OTHER STATE AND LOCAL STATUTES THAT APPLY. AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT, IF REQUIRED. IRRIGATION DESIGN AND AS-BUILT PLANS SHALL BE PROVIDED BY OTHERS. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND ACCEPTANCE OF THE AS-BUILT PLANS AND OPERATIONAL INFORMATION, A FINAL LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.15 AND SEC. 6.9.10.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE AS-BUILT SKETCH, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY; AND THE FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS BEEN RECEIVED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION PER MARION COUNTY LDC SEC. 6.9.1.

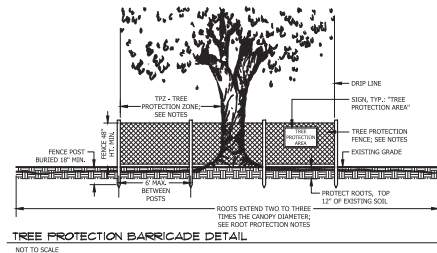
LANDSCAPE REQUIREMENTS

SITE TREE REQUIREMENTS

SITE: 6.16 AC (268,500 SF)
SITE TREE REQUIREMENT: 1 / 3000 + 50 SHADE TREES
PROVIDED: 16 EXISTING SHADE TREES (8 COUNTED AS 2.11 14 PROPOSED)

OPEN SPACE REQUIREMENT:

REQUIRED: 14.16 AC X 20' = 283 AC (66,694 SF)
(SEE CIVIL PLANS FOR PROVIDED OPEN SPACE CALCULATIONS)



TREE PROTECTION DETAIL NOTES

- BARRICADE AREAS MAY BE INCREASED IN SIZE OR COMBINED FOR MULTIPLE TREES, SO LONG AS BARRICADE DOES NOT ENROACH INTO THE TREE CANOPY DRIP LINE.
- BARRICADES SHALL BE CONSTRUCTED OF A RIGID AND LASTING MATERIAL THAT SHALL REMAIN WHOLE THROUGHOUT THE DURATION OF CONSTRUCTION.
- DAMAGED OR MISSING BARRICADES OR SIGNS SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
- THE MOVEMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL, WITHIN THE TREE PROTECTION ZONE (TPZ), DRIP LINE OF ANY TREE TO REMAIN, OR WITHIN A BARRICADE AREA IS PROHIBITED.
- THE CLEANING OF CONSTRUCTION EQUIPMENT, TOOLS, MATERIALS, OR THE DISPOSAL OF WASTE, E.G. PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, WITHIN THE TREE PROTECTION ZONE (TPZ), DRIP LINE OF ANY TREE TO REMAIN, OR WITHIN A BARRICADE AREA IS PROHIBITED.
- TREE PROTECTION ZONE: A CIRCULAR ZONE AROUND EACH PROTECTED TREE DEFINED AS FOLLOWS:
 - IF THE DRIP LINE IS LESS THAN SIX (6) FEET FROM THE TRUNK OF THE TREE, THE ZONE SHALL BE THAT AREA WITHIN A MINIMUM RADIUS OF SIX (6) FEET AROUND THE TREE.
 - IF THE DRIP LINE IS MORE THAN SIX (6) FEET FROM THE TRUNK OF THE TREE, BUT LESS THAN TWENTY (20) FEET, THE ZONE SHALL BE THAT AREA WITHIN A RADIUS OF THE FULL DRIP LINE AROUND THE TREE.
 - IF THE DRIP LINE IS TWENTY (20) FEET OR MORE FROM THE TRUNK OF THE TREE, THE ZONE SHALL BE THAT AREA WITHIN A MINIMUM RADIUS OF TWENTY (20) FEET AROUND THE TREE.

ROOT PROTECTION NOTES:

PROTECT AND CARE FOR EXISTING TREE ROOTS TO REMAIN BY MINIMIZING DAMAGE FROM COMPACTION, EXCAVATION AND DISEASE. WHEN WORK IS REQUIRED THAT MAY DAMAGE TREE ROOTS, HAND CLEAR AND EXCAVATE USING NARROW-TINE SPADING FORKS, AND COVER SOIL TO EXPOSE ROOTS. DAMAGED ROOTS SHALL BE PRUNED WITH A SHARP, CLEAN TOOL. IMMEDIATELY FOLLOWING ROOT PRUNING, TREES SHALL BE THOROUGHLY WATERED AND HAVE A FOUR (4) INCH COVER OF CLEAN FILL.



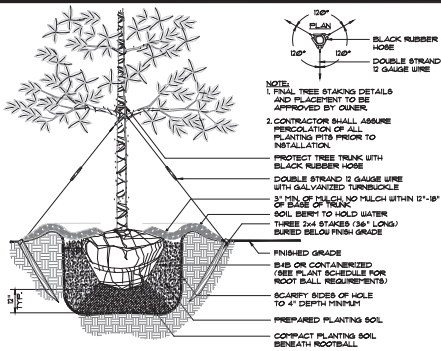
NO.	DATE	DESCRIPTION	INITIAL COUNTY SUBMITTAL	DATE	NO.
1	11/26/2024				

Stokes Electric
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
PREPARED FOR:
MASTERSHARD ENGINEERING
LANDSCAPE PLAN

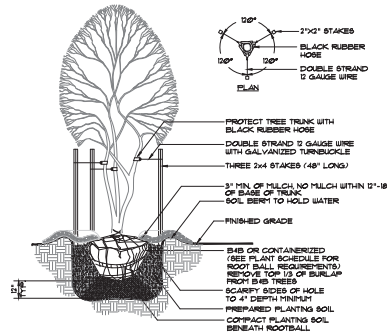


DATE: 11-20-24
PROJECT NO: MAS024-14.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

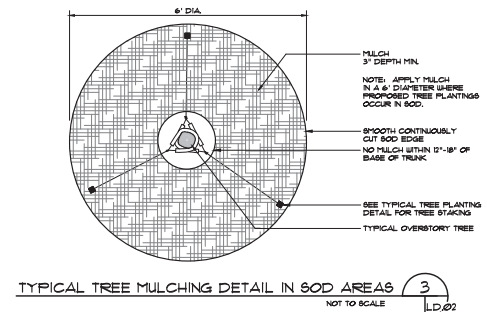
SHEET NO.
LD.01



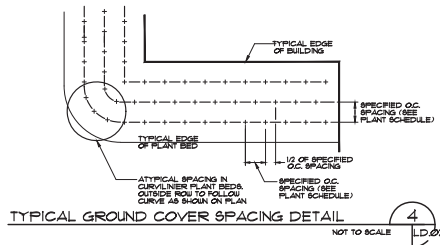
LARGE TREE PLANTING DETAIL
NOT TO SCALE LD.02



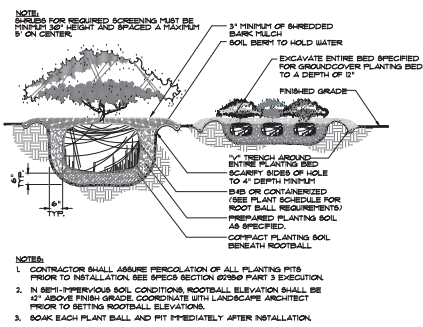
MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE LD.02



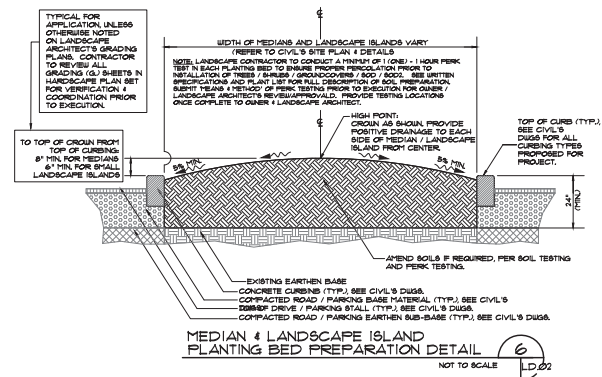
TYPICAL TREE MULCHING DETAIL IN SOD AREAS
NOT TO SCALE LD.02



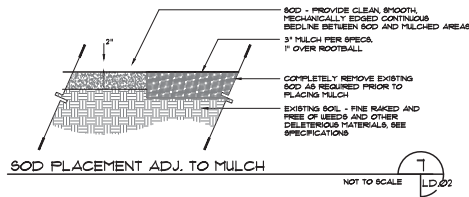
TYPICAL GROUND COVER SPACING DETAIL
NOT TO SCALE LD.02



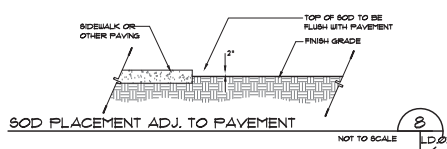
SHRUBS AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE LD.02



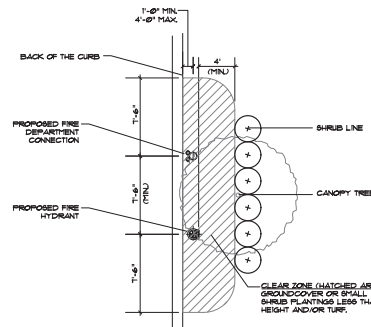
MEDIAN & LANDSCAPE ISLAND PLANTING BED PREPARATION DETAIL
NOT TO SCALE LD.02



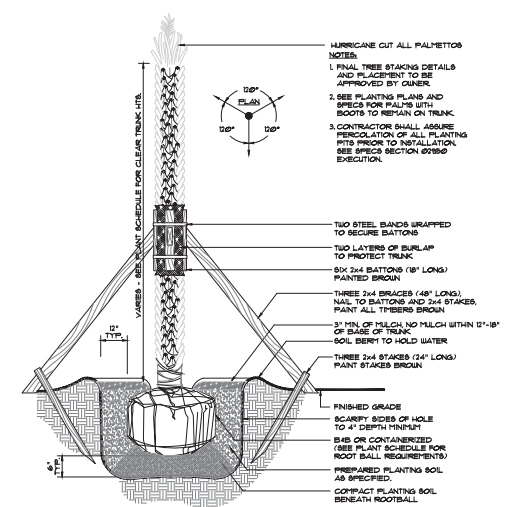
SOD PLACEMENT ADJ. TO MULCH
NOT TO SCALE LD.02



SOD PLACEMENT ADJ. TO PAVEMENT
NOT TO SCALE LD.02



FIRE HYDRANT / FDC PLANTING DETAIL
NOT TO SCALE LD.02



PALM TREE PLANTING DETAIL
NOT TO SCALE LD.02



NO.	DATE	DESCRIPTION	INITIAL COUNTY SUBMITTAL
1	11-20-24	PERMIT / CONSTRUCTION PLANS	
2			
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Stokes Electric
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
MASTROSENGER ENGINEERING
LANDSCAPE DETAILS



DATE: 11-20-24
PROJECT NO: MAS024-14.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

SHEET NO.
LD.02

PRIMARY & TOPOGRAPHIC SURVEY
FOR
CDH REALTY, LLC

LEGAL DESCRIPTION:

[illegible]

SURVEY REPORT:

1. FIELD BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FIELD WEST ZONE, NAD-83, AND DERIVED FROM THE L-1 NET NETWORK.
2. VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "BM 15-14-031-0", PUBLISHED ELEVATION = 87.374, NAVD-88.
- FIELD SURVEY DATE: 6/14/2023.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. ALL RIGHTS OF WAY SHOWN HEREON ARE PHYSICALLY OPEN UNLESS OTHERWISE STATED.
6. UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
7. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0506, SUFFIX E, WITH AN EFFECTIVE DATE OF 4/19/2017.
8. THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 54-17.050 THROUGH 54-17.059, ADMINISTRATIVE CODES OF THE STATE OF FLORIDA OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE DATA ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
9. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL SURVEY.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED
HEREON IS IN ACCORDANCE WITH ALL APPLICABLE
REQUIREMENTS OF THE MARION COUNTY L.D.C. AND
MEETS THE STANDARDS OF PRACTICE PER CHAPTER
2014-147 SECTION 1, SECTION 472.027, FLORIDA
STATUTES.

MEKELLE M. BOYER DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION No. 7398
STATE OF FLORIDA

[illegible]

CDH REALTY, LLC
FOR
A BOUNDARY & TOPOGRAPHIC SURVEY

JOB No.
KB 13338-000-00

DATE
9/3/2024

SCALE
N.T.S.

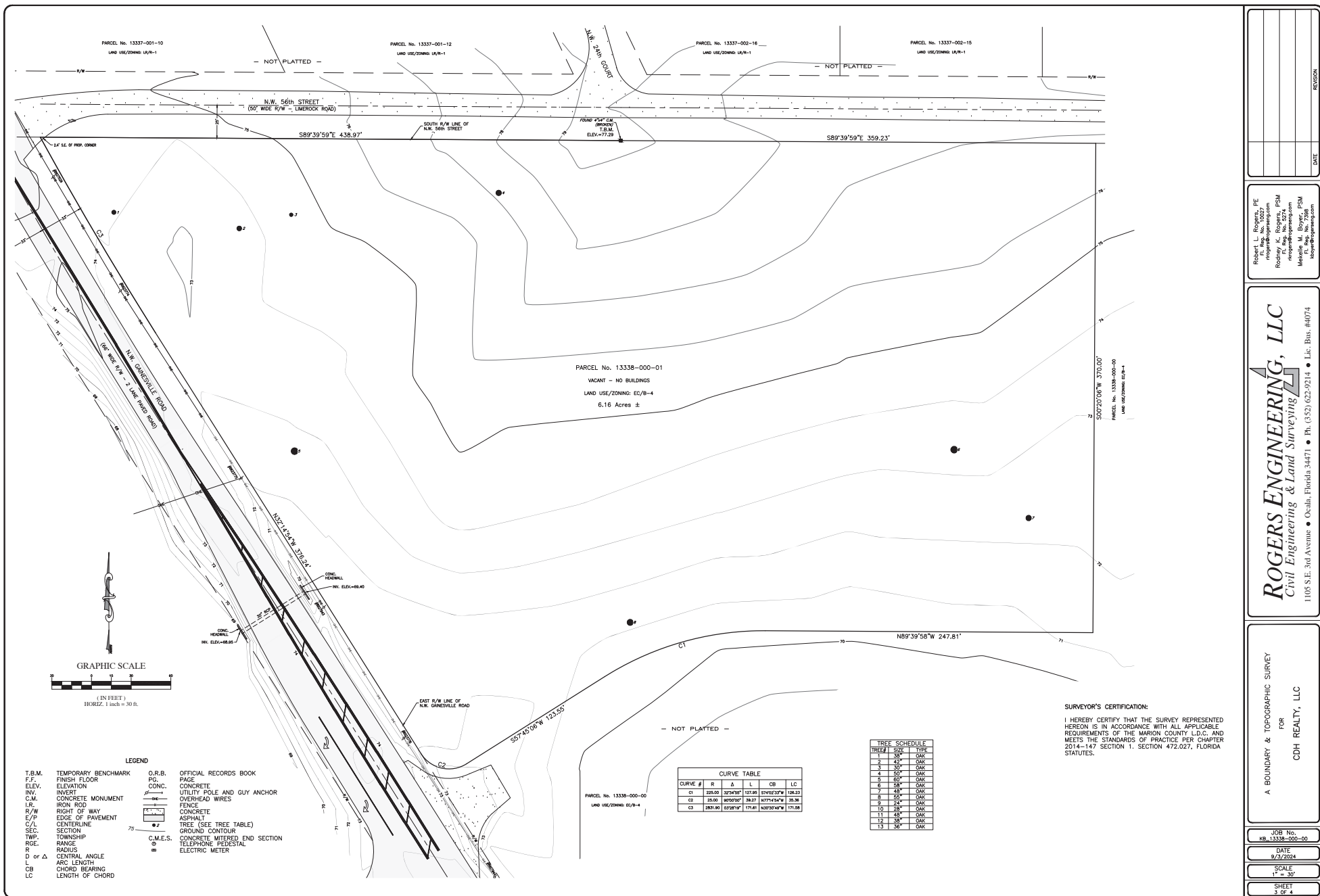
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1 OF 4

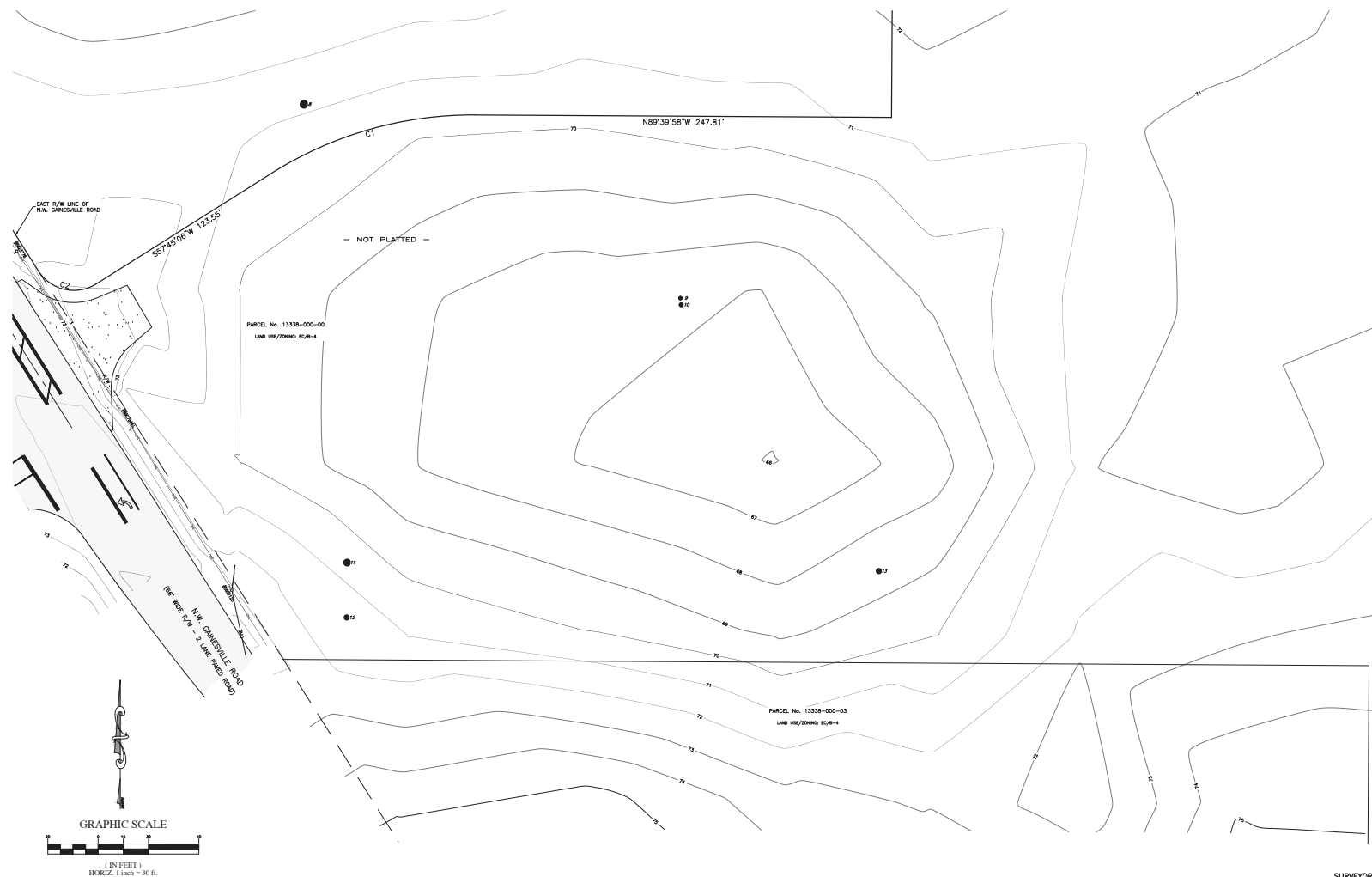
ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

Robert L. Rogers, PE
Fl. Reg. No. 10027
rrogers@rogersang.com

odney K. Rogers, PSM
Fl. Reg. No. 5274
rrogers@rogersang.com

Mekellie M. Boyer, PSM
Fl. Reg. No. 7398





LEGEND			
T.B.M.	TEMPERARY BENCHMARK	O.R.B.	OFFICIAL RECORDS BOOK
F.F.	FINISH	P.G.	PAGE
ELEV.	ELEVATION	CONC.	CONCRETE
UV	UTILITY		UTILITY POLE AND GUY ANCHOR
C/M	CONCRETE MONUMENT		OVERHEAD WIRES
R.D.	RIGHT OF WAY		FENCE
R/W	RIGHT OF WAY		ASPHALT
E/P	EDGE OF PAVEMENT		TREE (SEE TREE TABLE)
S/C	SECTION		GROUND CONTOUR
THP.	TOWNSHIP	C.M.E.S.	CONCRETE MIXED END SECTION
RGE.	RANGE		TELEPHONE POLE
R	RADIUS		ELECTRIC METER
o or d	ANGLE		
o	ARC LENGTH		
o	CHORD BEARING		
LC	LENGTH OF CHORD		

CURVE #	R	Δ	L	CB	LC
C1	225.00	32°34'00"	127.95	574°02'33"W	126.23
C2	35.00	90°00'00"	39.27	H77°4'54"W	35.38
C3	2831.90	03°28'19"	171.81	N30°30'40"W	171.58

TREE#	SIZE	TYPE
1	38"	OAK
2	42"	OAK
3	30"	OAK
4	50"	OAK
5	60"	OAK
6	58"	OAK
7	48"	OAK
8	55"	OAK
9	24"	OAK
10	28"	OAK
11	48"	OAK
12	38"	OAK
13	36"	OAK

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1, SECTION 472.027, FLORIDA STATUTES.

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
CDH REALTY, LLC

JOB No.
KB_13338-000-0

DATE
9/3/2024

SCALE
1" = 30'

SHEET
4 OF 4

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