

October 30, 2025

PROJECT NAME: CR 200A FROM NORTH OF NE 57TH STREET TO SOUTH OF NE 60TH STREET

PROJECT NUMBER: 2006060068

APPLICATION: OFFSITE IMPROVEMENTS #31973

- 1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet
STATUS OF REVIEW: INFO
REMARKS: 7/15/25-Verify
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 9/17/24-add waivers if requested in future
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with resubmittal.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 8 DEPARTMENT: ENGPJ - PROJECT MANAGER
REVIEW ITEM: Additional Comments
STATUS OF REVIEW: INFO
REMARKS: Prime coat (0.1 Gal/SY) should be applied on limerock.
The off-site improvements will have a one year warranty period. At the end of the one year warranty period, an inspection will occur. The ENGINEER and/or CONTRACTOR shall correct all defects, within the

roadway, the side streets, and driveways as directed by the County Engineer or a designee thereof.

The Contractor/Developer shall schedule a pre-construction conference with the Office of the County Engineer a minimum of one (1) week prior to beginning offsite improvements.

Maintenance of Traffic plans for offsite improvements shall be submitted at the pre-construction conference to be approved by the County Engineer.

Temporary Traffic Control (TTC) (Maintenance of Traffic) plans shall be provided for review and approval prior to work commencing in the right-of-way. TTC (MOT) shall adhere to the FDOT Design Standards and/or Manual on Uniform Traffic Control Devices (MUTCD), as applicable. (L.D.C. 7.1.1 C.)

If it is necessary for the Applicant to close a lane or road, they must fill out and submit a Lane/Road Closure Application, TTC (MOT) and map to Customer Service a minimum of two (2) weeks prior to the date the lane/road closure is requested.

9 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Offsite Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

For questions, please contact Angi Rosario @ 352-671-8667

10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.4 - Water Distribution System

STATUS OF REVIEW: INFO

REMARKS: 7/15/25: The proposed water mains shown on the plans need to be clearly labeled as Marion County Utilities (MCU) mains or include notation identifying them as belonging to MCU.

Given the presence of multiple City of Ocala utility listed on the same plans, it's important to clearly distinguish MCU infrastructure to avoid confusion for future contractors and ensure proper coordination during construction and maintenance. Previous comment unaddressed - identify all water mains as MCU to avoid any confusion with the City of Ocala's existing other utilities

11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet

STATUS OF REVIEW: NO

REMARKS: 7/15/25-Verify

12 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan

STATUS OF REVIEW: NO

REMARKS: 7/15/25-Verify

13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets prior to plan approval

STATUS OF REVIEW: NO
REMARKS: 7/15/25-Verify

14 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.

STATUS OF REVIEW: NO
REMARKS: 7/15/25-Verify

15 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.8 - Topographical Contours

STATUS OF REVIEW: NO

REMARKS: LDC requires that the survey have been performed in the last 12 months. LDC requires that one-foot contours extend 100 feet beyond the project boundary.

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity

STATUS OF REVIEW: NO

REMARKS: Steven Cohoon, PE should be listed on the owner's certification.

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: (1) For the curve number calculations, the portions of the ROW will be utilized for storage need to have a CN = 98 as a minimum. Please update the CN calcs to reflect. (2) Please update the post development basin map to depict the locations of the ditch blocks.

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4.C - Discharge Conditions

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(5) - Existing/Proposed Stormwater Structures

STATUS OF REVIEW: NO

REMARKS: Please ensure that ditch block design conforms to the detail TS 036 in the land development code.

22 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(11)(b) - Erosion Control

STATUS OF REVIEW: NO

REMARKS: Should there be erosion control in the bottom of the swales downstream of the planned construction in the ROW to intercept mobilized sediment (hay bale barricades, etc.)? There's a fair amount of longitudinal grade along this road.

23 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.

24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 7/25/25 - Plans cannot be approved without the 10' right-of-way dedication.

Sheet 3 - CR 200A is an arterial, which requires 120 ft of right-of-way. The current right-of-way is only 100 ft. A 10 ft right-of-way dedication should be provided along CR 200A for the entire length of the Woodridge PUD property.

25 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.5 - Cross sections

STATUS OF REVIEW: NO

REMARKS: 7/25/25 - Sheet 13 At STA. 107+50, modifications as needed are mandatory (even for a short distance) to conform to the recoverable slope standard of 1:4 instead of 1:3 as shown.

1. Sheet 13 - At STA. 107+50, the right slope is 1:3, which is a non-recoverable slope per the Florida Greenbook. Adjust the slope to 1:4, so it is recoverable.
2. Sheet 16 - At STA. 110+50, the left slope is 1:3, which is a non-recoverable slope per the Florida Greenbook. Adjust the slope to 1:4, so it is recoverable.



Marion County Board of County Commissioners

AR# 31973

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 09/06/2024

A. PROJECT INFORMATION:

Project Name: CR 200A from North of NE 57th Street to South of NE 60th Street.

Parcel Number(s): 14973-000-00

Section 28 Township 14 Range 22 Land Use _____ Zoning Classification _____

Commercial ☐ Residential ☒ Industrial ☐ Institutional ☐ Mixed Use ☐ Other _____

Type of Plan: IMPROVEMENT PLAN (OFFSITE)

Property Acreage _____ Number of Lots _____ Miles of Roads 0.21 Miles

Location of Property with Crossroads _____

Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*



Engineer:

Firm Name: AVANT Engineering Group, LLC Contact Name: Lizette Martinez

Mailing Address: 2699 Lee Road, Suite 401 City: Winter Park State: FL Zip Code: 32789

Phone # 407-775-2209 Alternate Phone # _____

Email(s) for contact via ePlans: lmartinez@avanteng.com



Surveyor:

Firm Name: JCH Consulting Group, Inc. Contact Name: Christopher J. Howson

Mailing Address: 426 SW 15th Street City: Ocala State: FL Zip Code: 34471

Phone # 352-405-1482 Alternate Phone # _____

Email(s) for contact via ePlans: _____

Property Owner:

Owner: Harvey W. Vandeven Contact Name: _____

Mailing Address: 1240 SE 12th CT City: Ocala State: FL Zip Code: 34471

Phone # _____ Alternate Phone # _____

Email address: _____

Developer:

Developer: HTM Developers, LLC Contact Name: Matt Fabian

Mailing Address: 4349 SE 20th Street City: Ocala State: FL Zip Code: 34471

Phone # _____ Alternate Phone # _____

Email address: mattfabian@gmail.com

Revised 6/2021



**CR 200A from North of NE 57th Street to South of NE 60th Street
Marion County, FL**

NOTES TO REVIEWER:

- 1. PROPOSED SANITARY FORCE MAIN AND WATER MAIN ARE SHOWN FOR REFERENCE ONLY. COORDINATION IS ON-GOING TO DETERMINE VERTICAL AND HORIZONTAL GEOMETRY.
- 2. HARMONIZING SLOPES SHOWS OUTSIDE OF THE RIGHT OF WAY ARE PROPOSED ONLY WITHIN LIMITS OF FUTURE DEVELOPMENT.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GABOR Z. CHIOREAN, P.E. AS INDICATED ON THE KEY SHEET.

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REVISIONS

DATE

BY

No.

DESIGNED BY

GZC

DRAWN BY

GZC

CHECKED BY

JL

CLIENT:

HTM DEVELOPERS LLC

PROJECT:

WOODLAND PLACE SUBDIVISION

LOCATION:

PARSON COUNTY, FLORIDA

REGULATION TYPE:

OFF-SITE IMPROVEMENTS

SHEET NO.

1A

AVANT

ENGINEERING GROUP

6600 S.W. 11TH AVENUE, SUITE 100

MIAMI, FLORIDA 33155-4001

PHONE: (305) 446-8082

FAX: (305) 446-8083

NOTES TO REVIEWER

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

WAIVERS

DATE APPROVED

MARION COUNTY

CR 200A FROM NORTH OF NE 57TH STREET
TO SOUTH OF NE 60TH STREET
OFF SITE IMPROVEMENT PLANS

INDEX OF ROADWAY PLANS

SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	GENERAL NOTES
3-4	TYPICAL SECTIONS
5-6	ROADWAY PLANS
7-9	ROADWAY PROFILE
10	INTERSECTION DETAIL
11-21	CROSS SECTIONS
22-24	TEMPORARY TRAFFIC CONTROL PLANS
25-26	UTILITY ADJUSTMENTS
27-28	SIGNING & PAVEMENT MARKING PLANS
29	GUIDE SIGN WORKSHEET

NOTE: NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER

OWNER:
MARION COUNTY
412 SE 5TH AVE.
OCALA, FL 34471

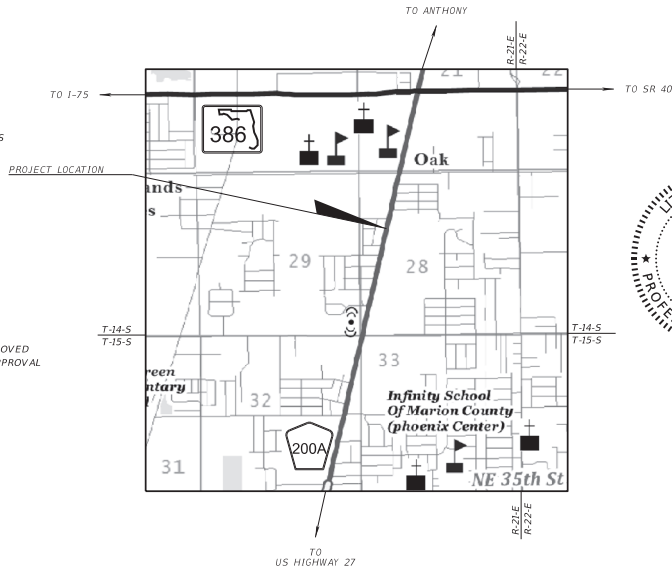
GOVERNING STANDARD PLANS:

Florida Department of Transportation, FY2025-26 Standard Plans for Road and Bridge Construction and applicable Interim Revisions (IRs).

Standard Plans for Road Construction and associated IRs are available at the following website: <http://www.fdot.gov/design/standardplans>

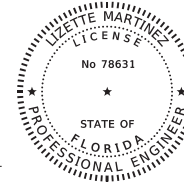
GOVERNING STANDARD SPECIFICATIONS:

Florida Department of Transportation, FY2025-26 Standard Specifications for Road and Bridge Construction at the following website: <http://www.fdot.gov/programmanagement/Implemented/SpecBooks>



MARION COUNTY APPROVAL STAMP

EXISTING IMPERVIOUS: 23,003 SF / 0.64 AC
PROPOSED IMPERVIOUS: 41,886 SF / 0.96 AC



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2699 LEE ROAD, SUITE 401
WINTER PARK, FL 32789
GABOR Z. CHIOREAN, P.E. NO. 90582
(407) 775-2209

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

LIZETTE MARTINEZ, P.E.
Registered Engineer No. 78631
STATE OF FLORIDA

OWNER CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS SHOWN ON THIS PLAN.

ELTON HOLLAND, P.E.
MARION COUNTY

FISCAL YEAR	SHEET NO.
25	1

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING A FLORIDA LICENSED SURVEYOR AND MAPPER FOR CONDUCTING THE FOLLOWING DESCRIBED WORK: EXISTING SECTION CORNERS AND OTHER LAND MARKERS OR MONUMENTS (INCLUDING INDIVIDUAL LOT CORNERS) WHICH ARE LOCATED WITHIN PROPOSED CONSTRUCTION AREA ARE TO BE REFERENCED PRIOR TO CONSTRUCTION AND RESET IN ACCORDANCE WITH CHAPTERS 177 AND 472 OF THE FLORIDA STATUTES AND 61017 OF THE FLORIDA ADMINISTRATIVE CODE.
2. VERTICAL DATA IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
3. ALL STATIONS AND OFFSETS ARE REFERENCED TO BASELINE UNLESS OTHERWISE NOTED IN THE PLANS.
4. STAGING AND MATERIAL STORAGE SHALL NOT BE CONDUCTED ON ABUTTING PRIVATE PROPERTY WITHOUT WRITTEN APPROVAL FROM THE OWNER.
5. THE CONTRACTOR IS TO MAINTAIN AND KEEP STREET NAME IDENTIFICATION SIGNS VISIBLE DURING CONSTRUCTION OPERATIONS. IN ORDER TO FACILITATE EMERGENCY VEHICLE TRAFFIC, PLACEMENT OF BUSINESS ENTRANCE SIGNS AND CHANNELIZING DEVICES ARE TO BE IN ACCORDANCE WITH FDOT'S STANDARD PLANS INDEX 102-600 THROUGH 102-680.
6. EROSION CONTROL ITEMS ARE ESTIMATED FOR PREVENTION, CONTROL, ABATEMENT OF EROSION, SEDIMENTATION, AND WATER POLLUTION. THESE ITEMS ARE TO BE USED AT THE LOCATIONS DESCRIBED IN THE CONTRACTORS APPROVED EROSION CONTROL PLAN OR AS DIRECTED BY THE PROJECT ENGINEER TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
7. ALL SYNTHETIC BALES, ROCK BAGS AND SILT FENCE, ETC. SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
8. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY THIS CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN, CONDITIONS WHICH NOW EXIST, AS DETERMINED BY THE ENGINEER.
9. MATCH SOD TYPES TO ADJACENT PROPERTIES, IF NO PARTICULAR TYPE IS EVIDENT THEN BAHIA SHALL BE USED.
10. THE CONTRACTOR SHALL FURNISH THE ENGINEER, PRIOR TO INCORPORATION INTO THE PROJECT, A CERTIFICATION FROM THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY, STATING THAT THE SOD, STRAW AND MULCH MATERIALS ARE FREE OF NOXIOUS WEEDS, INCLUDING TROPICAL SODA APPLE.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
12. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. UNDERGROUND UTILITY LOCATES HAVE NOT BEEN PERFORMED TO IDENTIFY DEPTH AND LOCATION OF UNDERGROUND UTILITIES.
13. THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE STATE ONE CALL OF FLORIDA (1-800-432-4770) AND UTILITY OWNERS LISTED BELOW AT LEAST TWO BUSINESS DAYS (OR 10 DAYS IF DIGGING UNDER WATER) IN ADVANCE OF BEGINNING CONSTRUCTION ON THE JOB SITE.

COMPANY	CONTACT	TELEPHONE NUMBERS
CITY OF OCALA ELECTRIC	LUKAS KING	(352) 502-3352
CENTURY LINK/LUMEN	ERIC WALLS	(407) 842-9634
14. EXISTING DRAINAGE STRUCTURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN, UNLESS OTHERWISE NOTED. EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED BY THE CONTRACTOR DURING CONSTRUCTION ACTIVITIES.
15. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH OTHER WORK WHICH MAY BE ONGOING ADJACENT TO, OR AFFECTING, THIS CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS AND ALL AFFECTED UTILITY COMPANIES.
16. CONTRACTOR SHALL PROTECT EXISTING UTILITIES, SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE/REPLACE ANY DAMAGE DURING CONSTRUCTION ACTIVITIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THE CONSTRUCTION OPERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL. DISPOSAL OF UNSUITABLE MATERIAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTED AREA. THE CONSTRUCTION AREA SHALL BE CLEARLY MARKED AT ALL TIMES.
19. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRODUCE, SUBMIT, AND OBTAIN APPROVAL OF THE REPRODUCIBLE AS-BUILT DRAWINGS FOR ANY JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
20. TESTING, AT A MINIMUM, MUST MEET THE REQUIREMENTS SET FORTH IN THE LAND DEVELOPMENT CODE, ARTICLE 7, CONSTRUCTION SPECIFICATIONS AND DESIGN DETAILS, SEC. 7.1.3 CONSTRUCTION SPECIFICATIONS, Q. QUALITY CONTROL, (3) TESTING REQUIREMENTS.

SIGNING AND PAVEMENT MARKING GENERAL NOTES:

1. ALL SIGNING AND MARKING SHALL CONFORM TO THE FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION DATED FY 2023-2024 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. ALL DIRECTIONAL ARROWS AND LETTERS FOR PAVEMENT MESSAGES SHALL BE APPLIED AS ONE SEGMENT PER FOOT STANDARD INDEX 711-001.
3. THE LANE WIDTH DIMENSIONS SHOWN IN THE SIGNING AND PAVEMENT MARKING PLANS REFLECT THE NOMINAL LANE WIDTHS, NOT THE DISTANCE BETWEEN THE STRIPES. SEE FDOT STANDARD INDEX 711-001.
4. THE CONTRACTOR SHALL USE CAUTION WHEN WORKING IN OR AROUND AREAS OF EXISTING LOOP AND LEAD-IN WIRES, OVERHEAD TRANSMISSION LINES, AND UNDERGROUND UTILITIES.
5. AT LOCATIONS WHERE FIELD UNDERGROUND UTILITIES ARE WITHIN 5 FEET OF THE PROPOSED SIGN'S FOUNDATION, THE CONTRACTOR SHALL HAND DIG THE FIRST 5 FEET.
6. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO FIELD ADJUST THE LOCATION OF ANY SIGN TO INSURE PROPER VISIBILITY.
7. RPM'S SHALL BE PLACED AS PER FDOT INDEX 706-001.
8. ALL REMOVED SIGNS AND THEIR SUPPORTS BECOME THE PROPERTY OF THE CONTRACTOR, TO BE DISPOSED OF PROPERLY UNLESS OTHERWISE NOTED IN THE PLANS.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE, REPLACE, UPDATE OR ADD SIGNING AND PAVEMENT MARKINGS IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IF SIGNS ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, AS DETERMINED BY THE ENGINEER, THE SIGNS SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
10. ALL DISTURBED PAVEMENT MARKINGS MUST BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR AS DEPICTED IN THE PLANS.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY LUZETTE MARTINEZ, P.E. AS INDICATED ON THE KEY SHEET.

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REVISIONS	DATE	BY

AVANT

ENGINEERING GROUP

2609 LEE ROAD, SUITE 400
FORT WORTH, TEXAS 76104
P: 817.336.7663
F: 817.336.7681
E: info@avanteng.com
W: www.avanteng.com

DESIGNED BY	GZC

DRAWN BY	GZC

CHECKED BY	JL

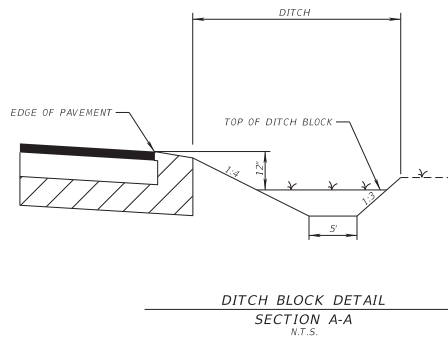
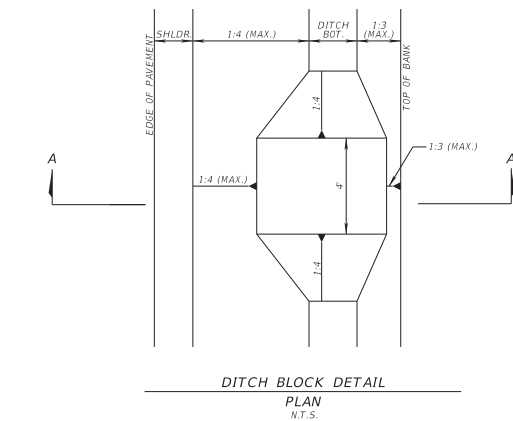
CLIENT:	HTM DEVELOPERS LLC
PROJECT:	WOODLAND PLACE SUBDIVISION
LOCATION:	PARSON COUNTY, FLORIDA
DESCRIPTION TYPE:	OFF-SITE IMPROVEMENTS

GENERAL NOTES

SHEET NO.

2

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



- NOTE:
1. ALL SWALE BLOCK CONSTRUCTION SHALL BE MECHANICALLY COMPACTED TO PROVIDE A FIRM AND UNYIELDING SURFACE PRIOR TO PLACEMENT OF SOD.
 2. SEE ROADWAY PLANS FOR DITCH BLOCK LOCATIONS AND ELEVATIONS.

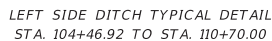
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AVANT
ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401

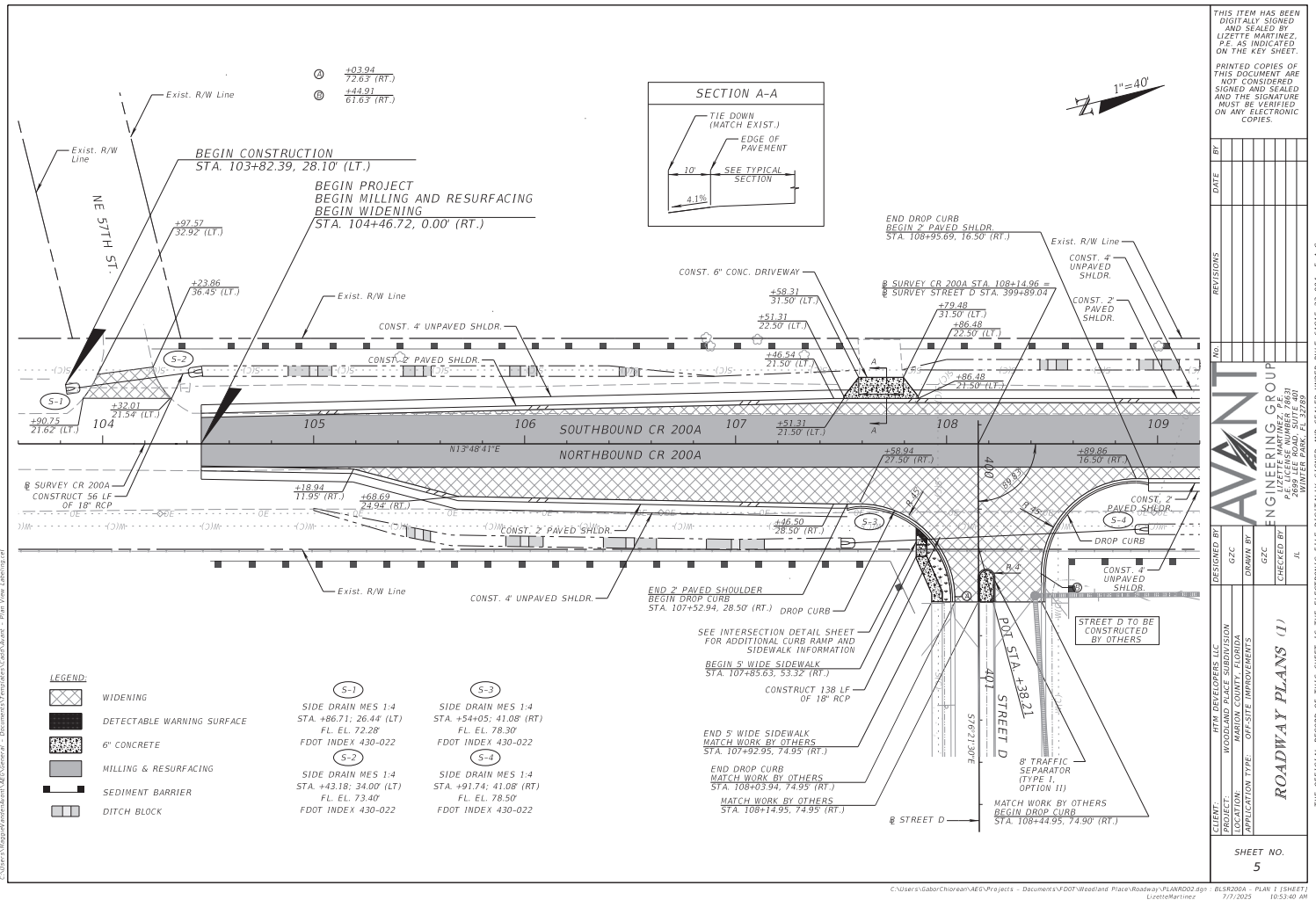
CLIENT: HTM DEVELOPERS LLC PROJECT: WOODLAND PLACE SUBDIVISION LOCATION: MARION COUNTY, FLORIDA APPLICATION TYPE: OFF-SITE IMPROVEMENTS	DESIGNED BY	GZC
	DRAWN BY	GZC
	CHECKED BY	ll
	TYPICAL SECTION	



POSTED SPEED = 45 MPH
DESIGN SPEED = 50 MPH

SHEET NO.
3

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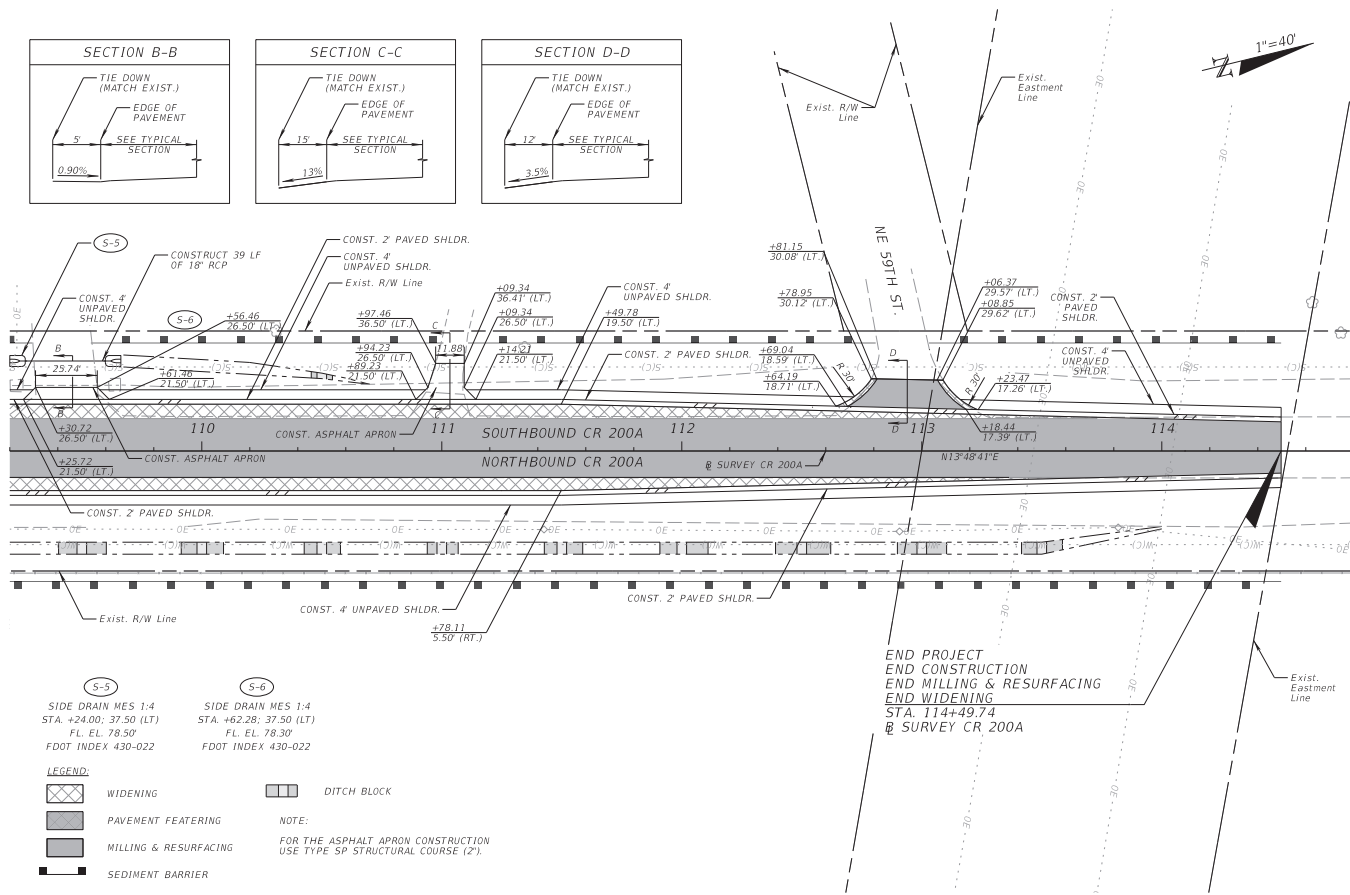
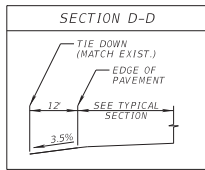
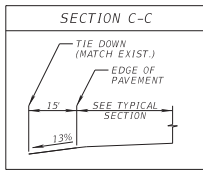
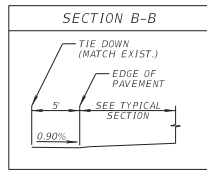
AVANT
ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401
WINTER PARK, FL 32789

CLIENT:	HTM DEVELOPERS LLC	DESIGNED BY:
PROJECT:	WOODLAND PLACE SUBDIVISION	
LOCATION:	MARION COUNTY, FLORIDA	GZC
PUBLICATION TYPE:	OFF-SITE IMPROVEMENTS	DRAWN BY:
		GZC
ROADWAY PLANS (1)		CHECKED BY:
		JL

CL	PR	LO	AP
SHEET NO. 5			

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7/7/2023 10:53:42 AM LzetteMartinez
C:\Users\LzetteMartinez\Documents\Roadway\BLSR200A - Plan View.dwg - Print View Labeling of



S-5
SIDE DRAIN HES 1:4
STA. +24.00; 37.50 (LT)
FL. EL. 78.50'
FDOT INDEX 430-022

S-6
SIDE DRAIN HES 1:4
STA. +62.28; 37.50 (LT)
FL. EL. 78.30'
FDOT INDEX 430-022

LEGEND:

	WIDENING		DITCH BLOCK
	PAVEMENT FEATERING		
	MILLING & RESURFACING		
	SEDIMENT BARRIER		

NOTE:
FOR THE ASPHALT APRON CONSTRUCTION
USE TYPE SP STRUCTURAL COURSE (2").

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NO.	REVISIONS	DATE	BY

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2609 LEE ROAD, SUITE 400
FORT LEE, FLORIDA 33546
TEL: 615-53-0014 FAX: 615-53-0014

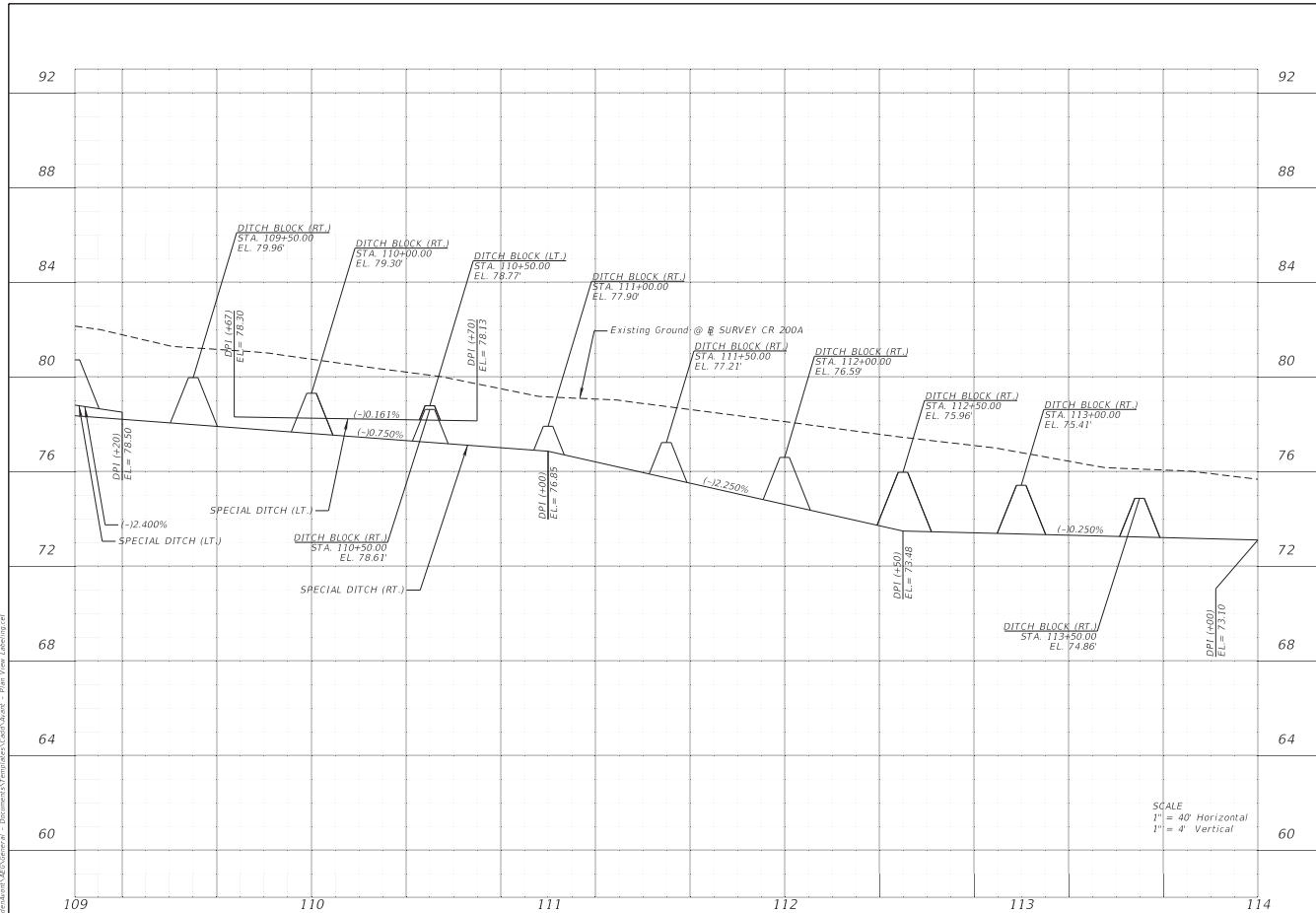
DESIGNED BY	GZC
DRAWN BY	GZC
CHECKED BY	JL
CLIENT:	HTM DEVELOPERS LLC
PROJECT:	WOODLAND PLACE SUBDIVISION
LOCATION:	PARSON COUNTY, FLORIDA
APPLICATION TYPE:	DOT-SITE IMPROVEMENTS

ROADWAY PLANS (2)

SHEET NO.
6

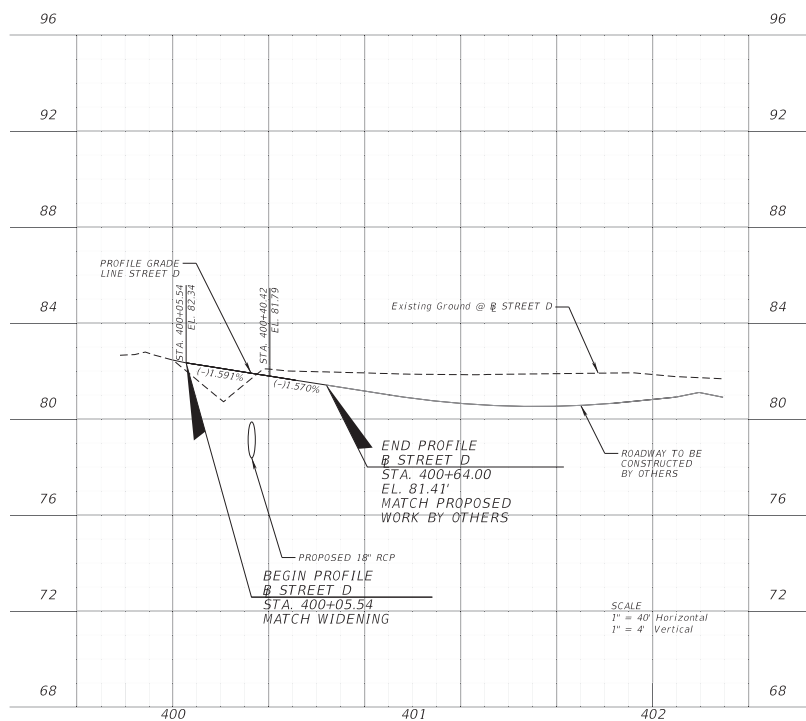
P:\P\DOT\Woodland Place\Roadway\PLANR002.dgn BLSR200A - PLAN 2 [SHEET]
LzetteMartinez 7/7/2023 10:53:42 AM

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7/7/2025 10:53:48 AM LizeetteMartinez
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P:\FDOT\Woodland Place\Roadway\PROF001.dgn : DITCHPROFILES - CR200A DITCH PROFILE-1 [SHEET]
LizetteMartinez 7/7/2025 10:53:49 AM



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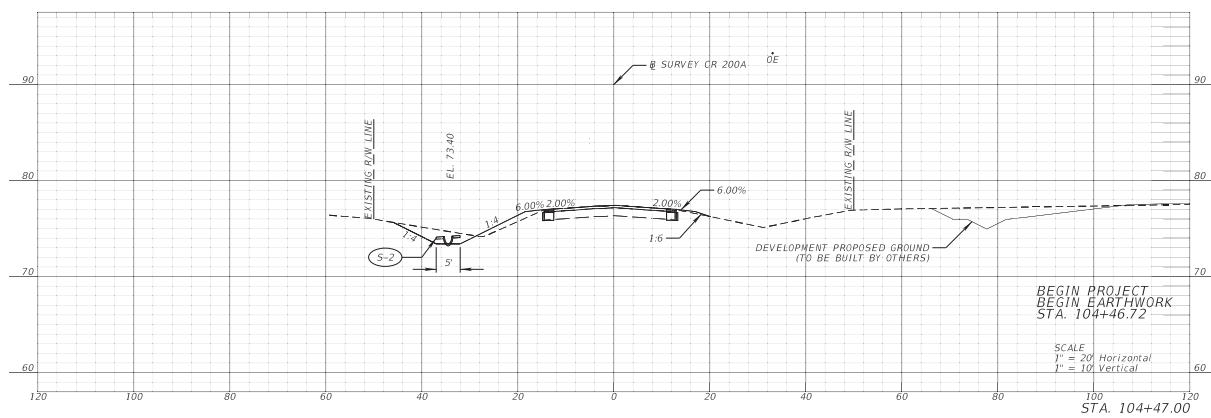
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ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401
WINTER PARK, FL 32789

DESIGNED BY	HTM DEVELOPERS LLC
GZC	WOODLAND PLACE SUBDIVISION
DRAWN BY	MARION COUNTY, FLORIDA
GZC	APPLICATION TYPE: OFF-SITE IMPROVEMENTS
CHECKED BY	
JL	

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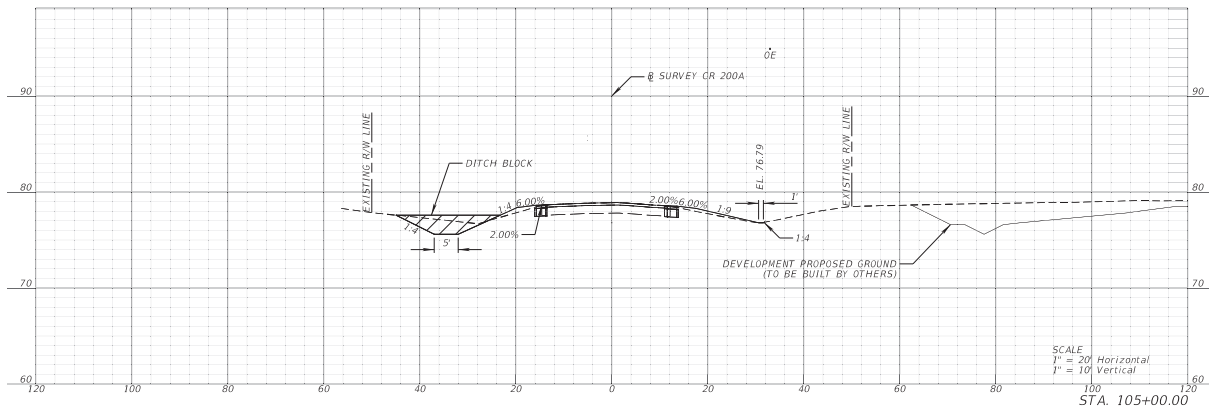
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LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401

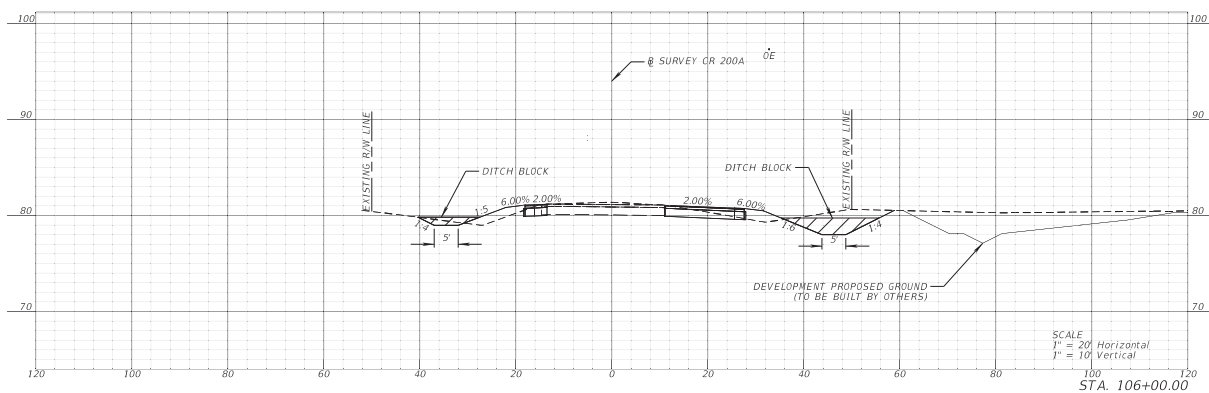
CLIENT:	HTM DEVELOPERS LLC	DESIGNED BY
PROJECT:	WOODLAND PLACE SUBDIVISION	
LOCATION:	MARION COUNTY, FLORIDA	GC
APPLICATION TYPE:	OFF-SITE IMPROVEMENTS	DRAWN BY
		GC
CROSS SECTIONS (1)		
		CHECKED BY
		II

SHEET NO.
11

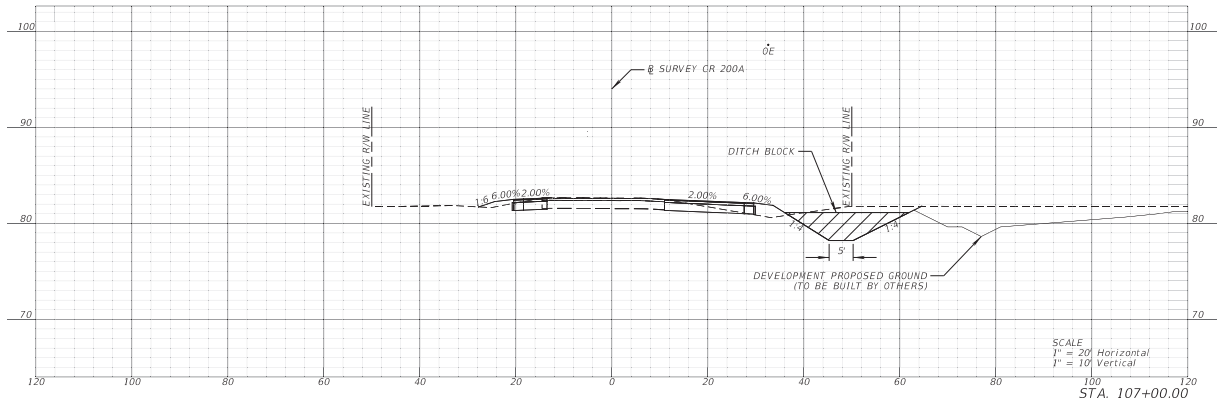
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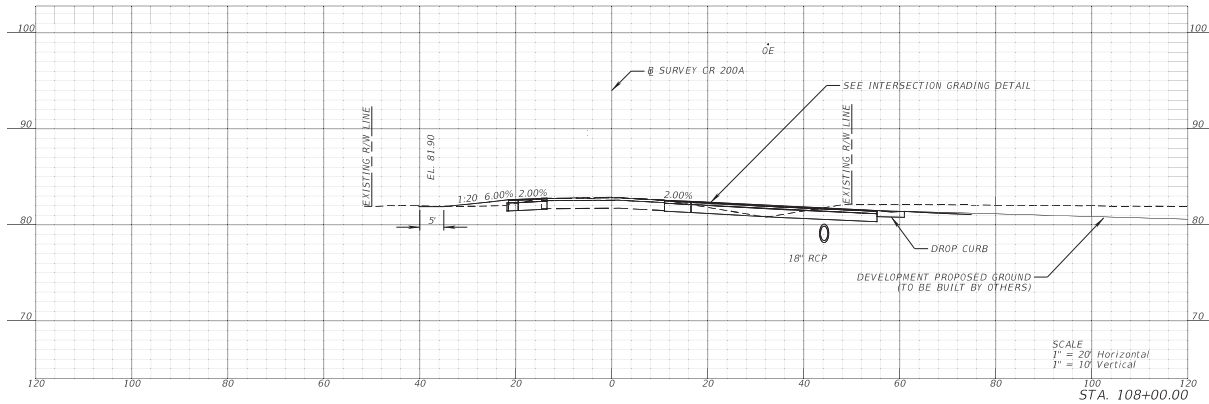


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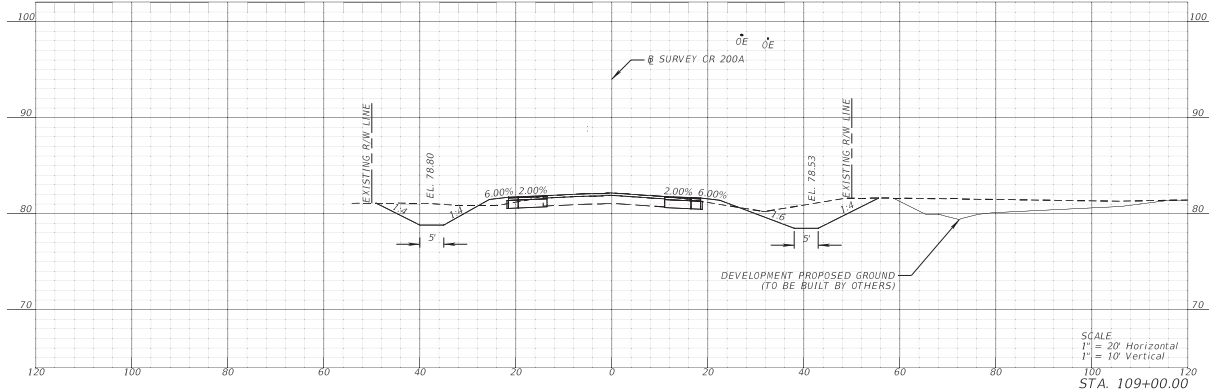


SHEET NO. 14	CLIENT: HTM DEVELOPERS LLC PROJECT: WOODLAND PLACE SUBDIVISION LOCATION: MARION COUNTY, FLORIDA APPLICATION TYPE: OFF-SITE IMPROVEMENTS	DESIGNED BY GZC DRAWN BY GZC CHECKED BY JL
	CROSS SECTIONS (4)	

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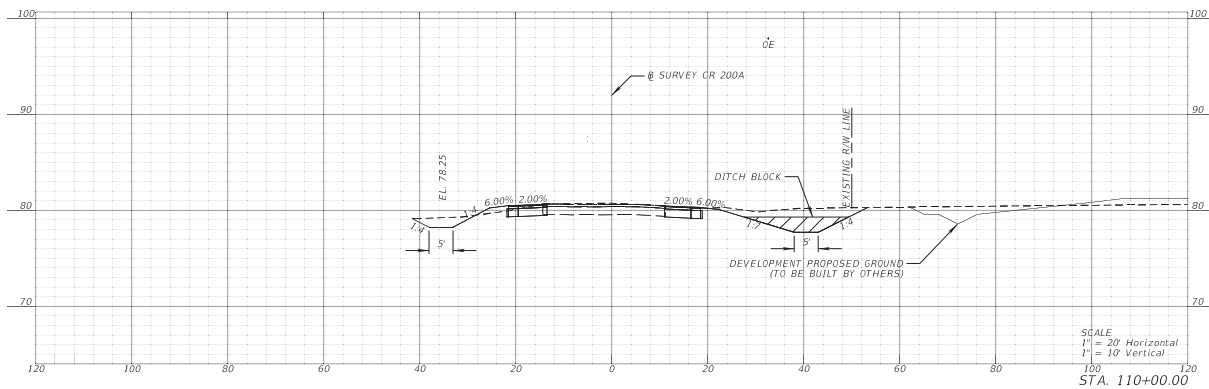


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SHEET NO.
16

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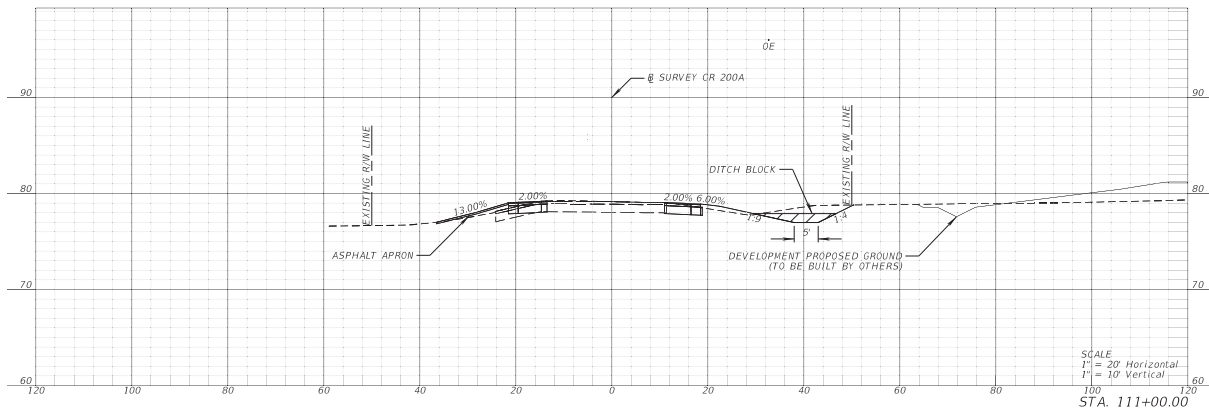
CLIENT: HTM DEVELOPERS, LLC PROJECT: WOODLAND PLACE SUBDIVISION LOCATION: MARION COUNTY, FLORIDA APPLICATION TYPE: OFF-SITE IMPROVEMENTS	DESIGNED BY
	DRAWN BY
	CHECKED BY
	JL

CROSS SECTIONS (7)

SHEET NO.

17

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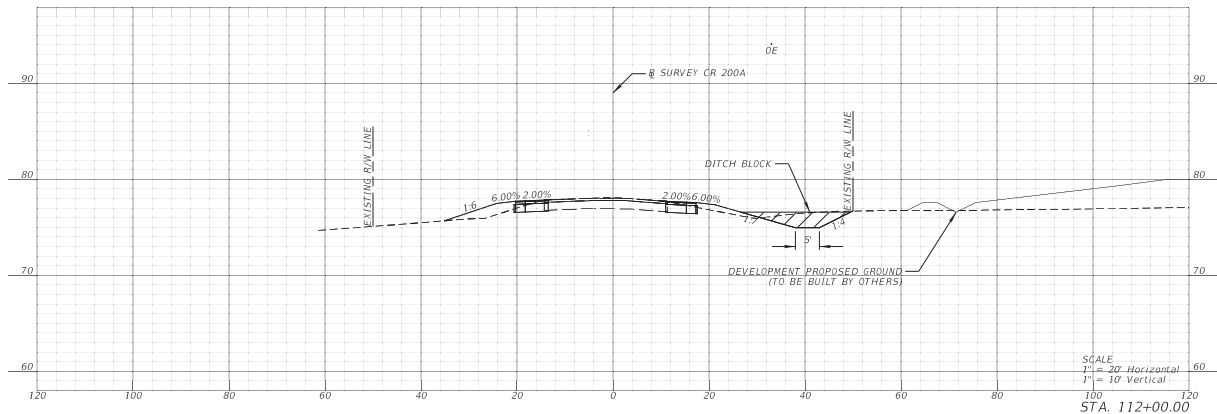
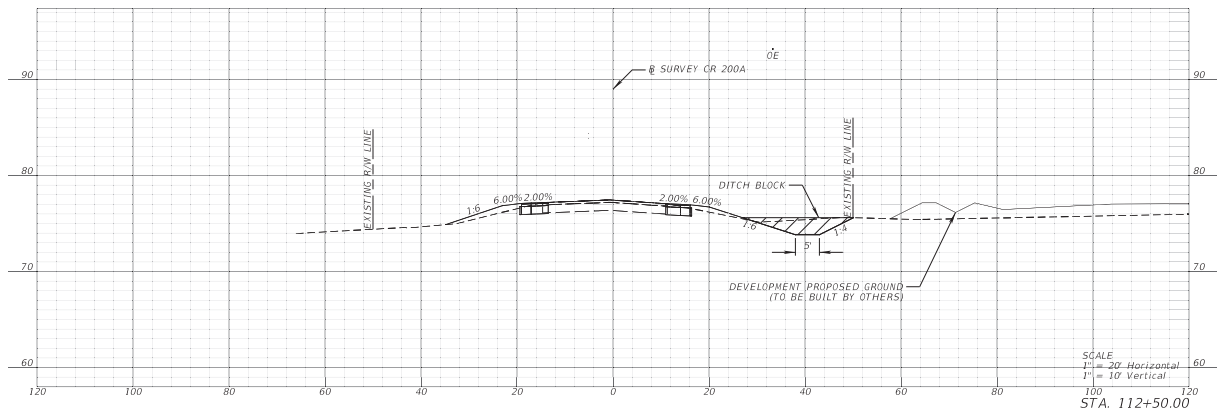
CLIENT: HTM DEVELOPERS LLC PROJECT: WOODLAND PLACE SUBDIVISION LOCATION: MARION COUNTY, FLORIDA APPLICATION TYPE: OFF-SITE IMPROVEMENTS	DESIGNED BY	
	DRAWN BY	
	CHECKED BY	
	JL	

CROSS SECTIONS (8)

SHEET NO.

18

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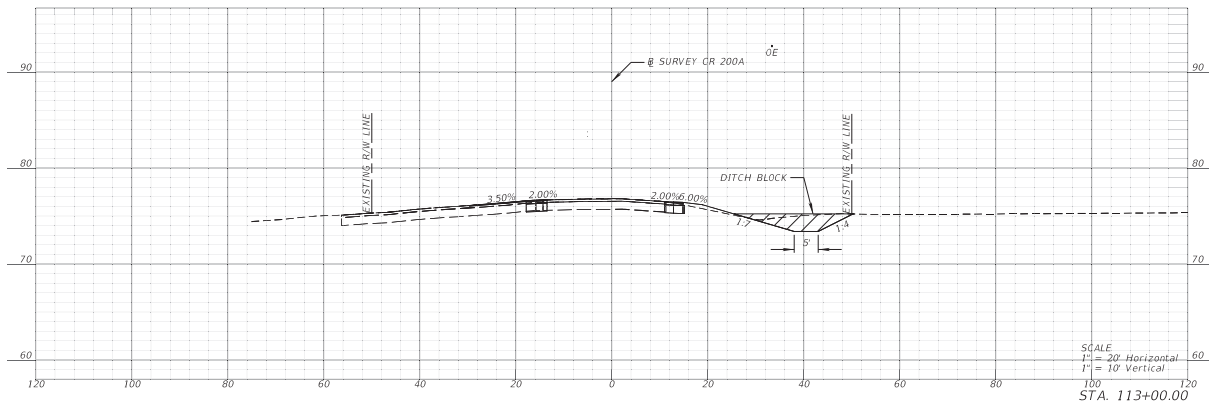


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No. 1
AVANT
ENGINEERING GROUP
2609 LEE ROAD, SUITE 400
FORT LEE, FLORIDA 33546
TEL: 615-533-0014
FAX: 615-533-0015
ELECTRONIC NUMBER 76631

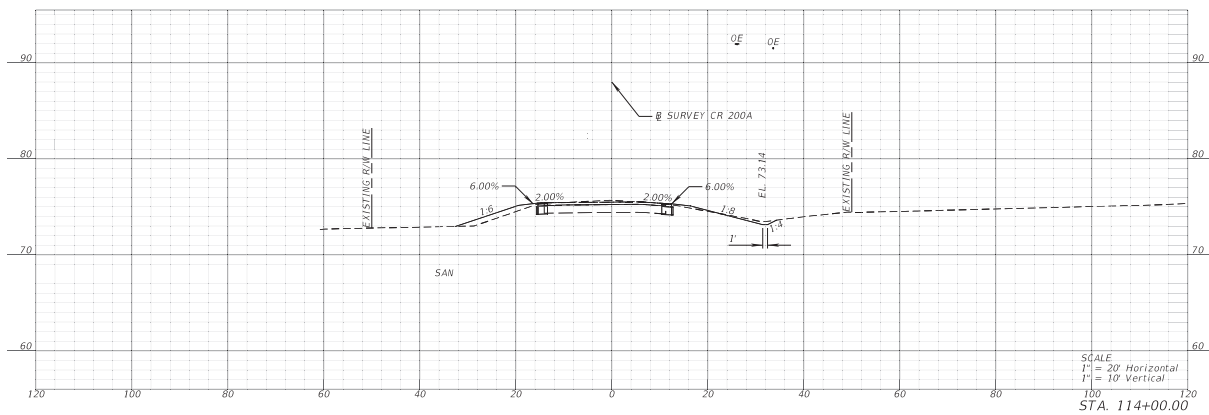
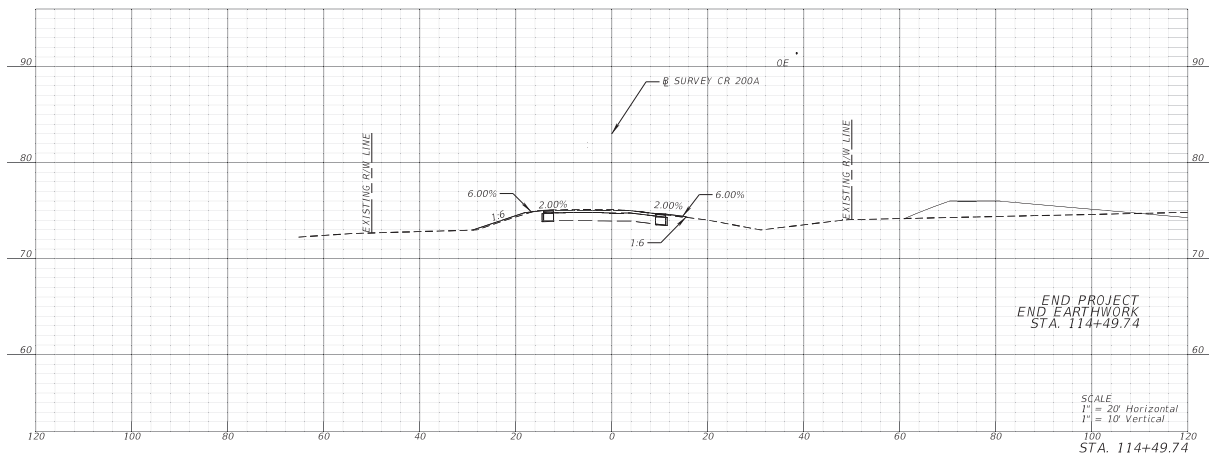
CLIENT:	HTM DEVELOPERS LLC	DESIGNED BY:	GZC
PROJECT:	WOODLAND PLACE SUBDIVISION	DRAWN BY:	GZC
LOCATION:	PARSON COUNTY, FLORIDA	CHECKED BY:	JL
REGISTRATION TYPE:	OTI-SITE IMPROVEMENTS		
CROSS SECTIONS (9)			
SHEET NO. 19			

[illegible]

DESIGNED BY	
<u>GZC</u>	
DRAWN BY	
<u>GZC</u>	
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JL	

CLIE	PRO	LOC	APPL	SHEET NO. 20

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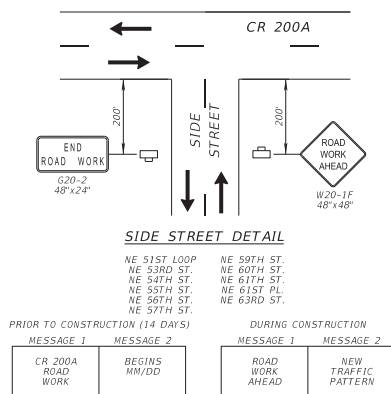
AVANT
ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401
WINTER PARK, FL 32789

CLIENT: HTM DEVELOPERS LLC PROJECT: WOODLAND PLACE SUBDIVISION LOCATION: MARION COUNTY, FLORIDA APPLICATION TYPE: OFF-SITE IMPROVEMENTS	DESIGNED BY	GZC
	DRAWN BY	GZC
	CHECKED BY	JL
	SHEET NO. 21	
	CROSS SECTIONS (11)	

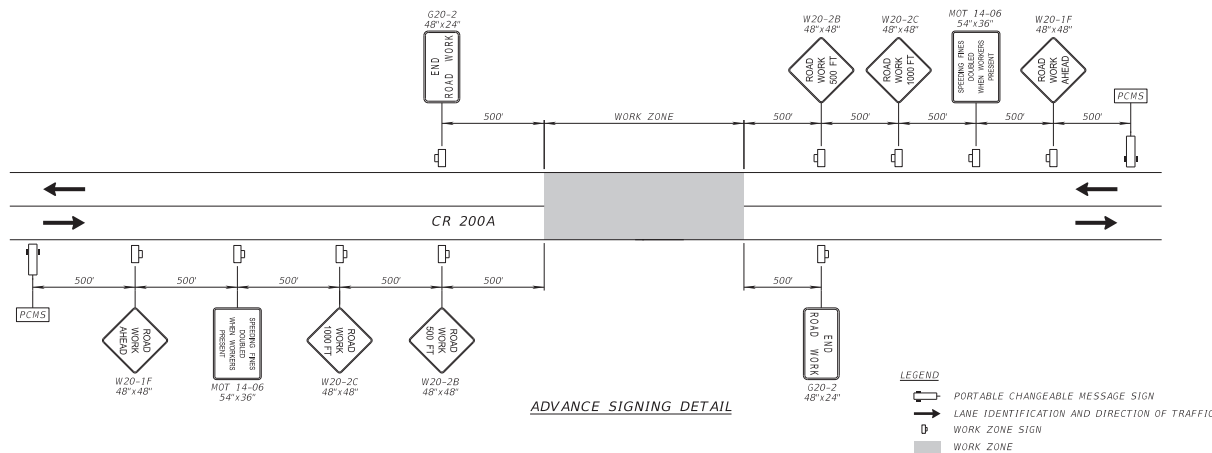
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TRAFFIC CONTROL GENERAL NOTES:

1. THE REGULATORY SPEED LIMIT FOR MAINTENANCE OF TRAFFIC (MOT) CALCULATIONS IS 45 MPH. MODIFICATION TO THE REGULATORY SPEED MAY REQUIRE RESUBMITTAL OF THE MOT PLAN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE OF THE TRAVEL WAY AT ALL TIMES.
3. PROJECT AREAS THAT ARE NOT ACTIVE CONSTRUCTION AREAS ARE TO BE KEPT FREE OF CONSTRUCTION DEBRIS AND UNNECESSARY OR CONFLICTING TRAFFIC CONTROL DEVICES.
4. ACCESS TO ALL DRIVEWAYS AND SUBDIVISION STREETS SHALL BE PROVIDED AT ALL TIMES, EXCEPT AS OTHERWISE INDICATED IN THESE PLANS.
5. TRAFFIC CONTROL FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD PLANS-FY 2024-25, INDEX 102-600 SERIES.
6. THE TRAFFIC AND TRAVEL WAYS SHALL NOT BE ALTERED BY THE CONTRACTOR TO CREATE A WORK ZONE UNTIL ALL LABOR, EQUIPMENT AND MATERIALS ARE AVAILABLE FOR THE CONSTRUCTION IN THAT AREA.
7. IN THE EVENT OF A HURRICANE OR OTHER EVACUATION NEED, THE CONTRACTOR SHALL COORDINATE THE SECURING OF ALL LOOSE MATERIAL, OPEN CLOSED LANS, BACKFILL EXCAVATION, REMOVE OBSTRUCTIONS TO DRAINAGE AND WATER FLOW, AND TAKE OTHER MEASURES AS DIRECTED BY THE ENGINEER NECESSARY TO PROTECT THE PUBLIC.
8. THE CONTRACTOR SHALL REMOVE ANY EXISTING OR TEMPORARY PAVEMENT MARKINGS THAT CONFLICT WITH THE TRAFFIC CONTROL PLANS, WHEN THE CONFLICT NO LONGER EXISTS. THE CONTRACTOR SHALL RESTORE THE PAVEMENT MARKINGS TO THEIR ORIGINAL OR AS SHOWN ON THE PLANS. REMOVAL OF EXISTING AND/OR TEMPORARY PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY HYDROBLASTING.
9. PLACEMENT OF POST-MOUNTED SIGNS WITHIN THE WORK ZONES SHALL BE IN ACCORDANCE WITH THE FDOT STANDARD PLANS-FY 2024-25 INDEX 102-600 SERIES.
10. VEHICULAR, BICYCLE, PEDESTRIAN AND TRANSIT ROUTES SHALL BE PROVIDED AT ALL TIMES.
11. COMPLETE PHASE I CONSTRUCTION PRIOR TO STARTING PHASE II CONSTRUCTION.
12. THERE ARE NO LANE CLOSURE RESTRICTIONS ALONG CR 200A. PRIOR TO THE CLOSURE OF A LANE, CONTRACTOR MUST SUBMIT A LANE/ROAD CLOSURE APPLICATION AND MAP TO MARION COUNTY CUSTOMER SERVICE A MINIMUM OF TWO (2) WEEKS PRIOR TO THE DATE THE LANE/ROAD CLOSURE IS REQUESTED.
13. A PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED WITH THE OFFICE OF THE COUNTY ENGINEER FOR OFFSITE IMPROVEMENTS, PRIOR TO COMMENCEMENT OF WORK. APPLICANT SHALL NOTIFY THE OFFICE OF THE COUNTY ENGINEER FOR OFFSITE IMPROVEMENTS OF ANY WORK CHANGES PRIOR TO COMMENCING CONSTRUCTION.



PCMS DETAILS



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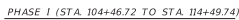
WAVANT
ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401

DESIGNED BY	HTM DEVELOPERS LLC
GZC	WOODLAND PLACE SUBDIVISION MARION COUNTY, FLORIDA
DRAWN BY	N:
GZC	ION TYPE: OFF-SITE IMPROVEMENTS
CHECKED BY	
II	

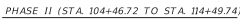
TEMPORARY TRAFFIC
CONTROL PLANS (1)

WOODLAND PLACE SUBDIVISION
MARION COUNTY, FLORIDA
SECTION TYPE: OFF-SITE IMPROVEMENTS

SHEET NO.
22



1. INSTALL SIGNS AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH STANDARD PLANS INDEX 102-600 AND 102-602.
2. MAINTAIN TWO LANES OF TRAFFIC DURING CONSTRUCTION BY REDUCING THE EXISTING LANE WIDTHS TO 10-FT PER THE PHASE I TTC TYPICAL SECTION OF THIS TRAFFIC CONTROL PLAN.
3. CONSTRUCT THE PROPOSED WIDENING AS CALLED FOR IN THE ROADWAY PLANS.



1. INSTALL SIGNS AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH STANDARD PLANS INDEX 102-600 AND 102-602.
2. MAINTAIN TWO LANES OF TRAFFIC DURING CONSTRUCTION BY REDUCING THE EXISTING LANE WIDTHS TO 10-FT PER THE PHASE II TTC TYPICAL SECTION OF THIS TRAFFIC CONTROL PLAN.
3. CONSTRUCT THE PROPOSED WIDENING AS CALLED FOR IN THE ROADWAY PLANS.

[illegible]

DESIGNED BY	
GZC	
DRAWN BY	
GZC	
CHECKED BY	
JL	

CLIENT:	
PROJECT:	
LOCATION:	
APPLICABLE:	
SHEET NO. 23	

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1. INSTALL SIGNS AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH STANDARD PLANS INDEX 102-600 AND 102-603.
2. UTILIZE FLAGGING OPERATION TO MAINTAIN A SINGLE 10-FT LANE DURING CONSTRUCTION PER THE PHASE III TTC TYPICAL SECTION OF THIS TRAFFIC CONTROL PLAN.
3. MILL AND RESURFACE ROADWAY AS SHOWN IN THE PLANS.



THE INTENT OF THIS PHASE IS TO MILL AND RESURFACE THE EXISTING SOUTHBOUND LANE AND PLACE THE FRICTION COURSE LAYER OVER THE SOUTHBOUND WIDENING FROM PHASE 1

1. INSTALL SIGNS AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH STANDARD PLANS INDEX 102-600 AND 102-603.
2. UTILIZE FLAGGING OPERATION TO MAINTAIN A SINGLE 12-FT LANE DURING CONSTRUCTION PER THE PHASE IV TTC TYPICAL SECTION OF THIS TRAFFIC CONTROL PLAN.
3. MILL AND RESURFACE ROADWAY AS SHOWN IN THE PLANS.

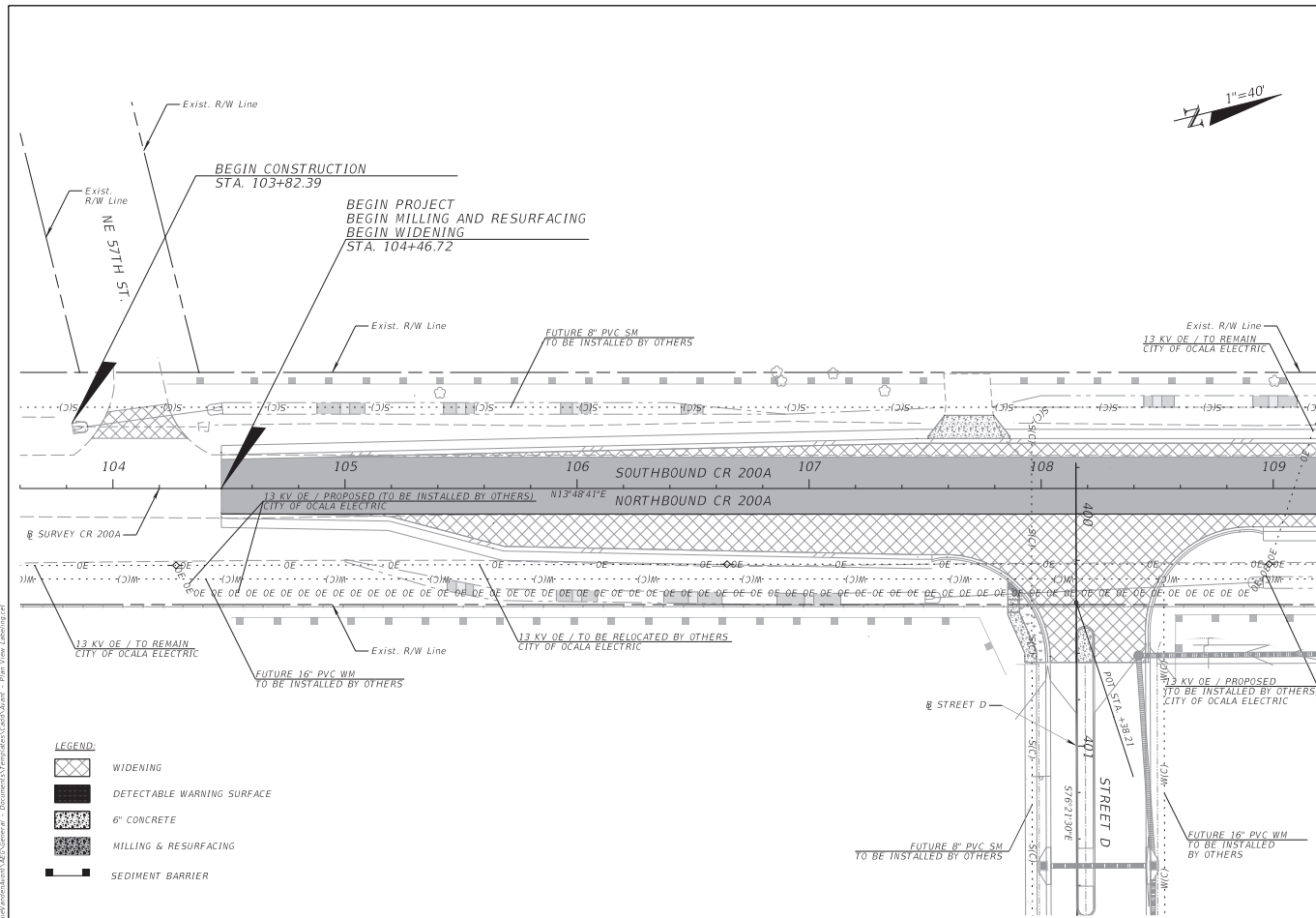
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ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 78631
2699 LEE ROAD, SUITE 401

CLIENT:	HTM DEVELOPERS LLC	DESIGNED BY	
PROJECT:	WOODLAND PLACE SUBDIVISION		
LOCATION:	MARION COUNTY, FLORIDA	GZC	
APPLICATION TYPE:	OFF-SITE IMPROVEMENTS	DRAWN BY	
TEMPORARY TRAFFIC CONTROL PLANS (3)		GZC	
		CHECKED BY	fl

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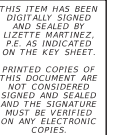


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P.E. LICENSE NUMBER 78631
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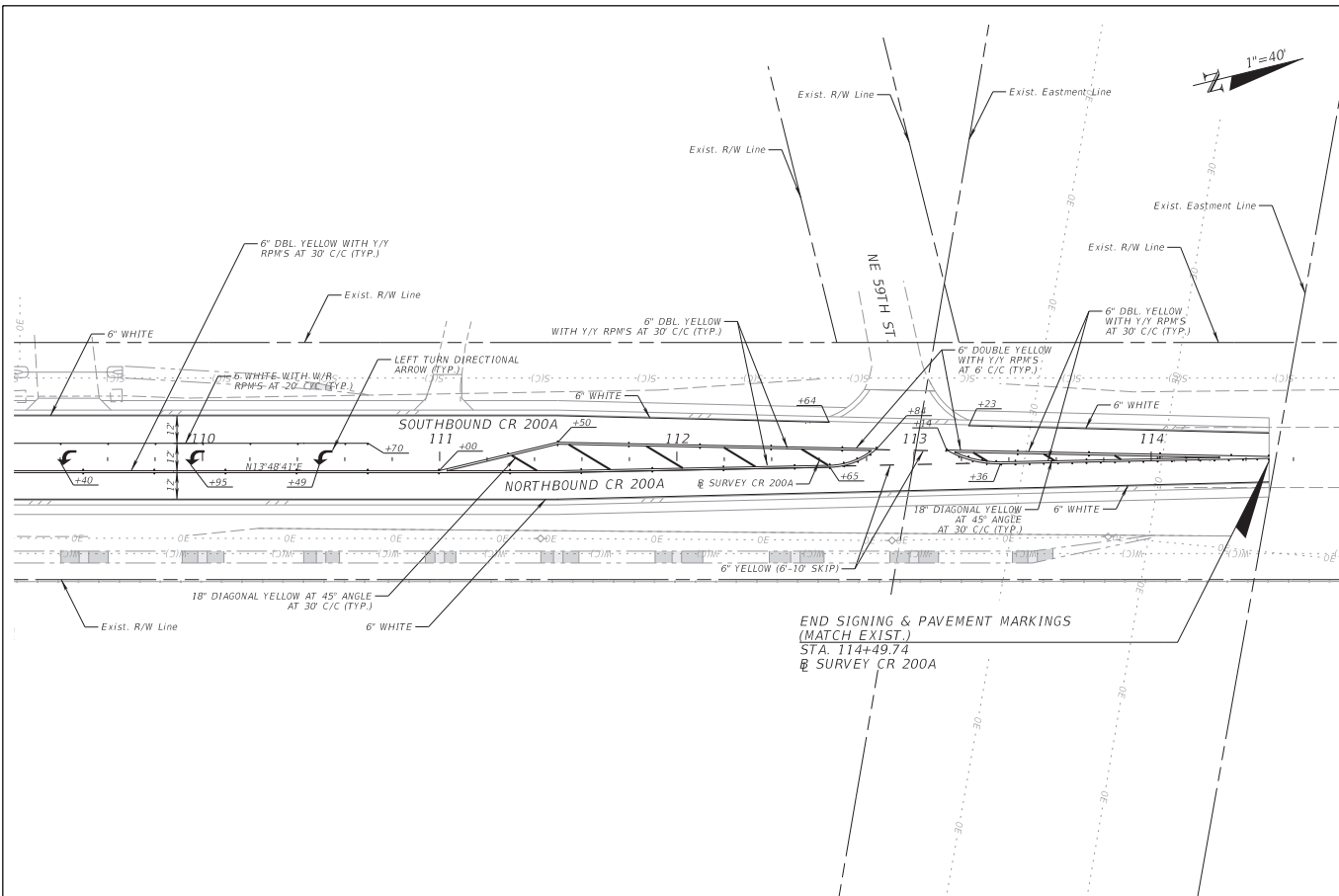
SHEET NO.
25

[illegible]

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ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 70631
2699 LEE ROAD, SUITE 401
WINTER PARK, FL 32789

CLIENT: HJM DEVELOPERS LLC	DESIGNED BY
PROJECT: WOODLAND PLACE SUBDIVISION	GZC
LOCATION: MARION COUNTY, FLORIDA	DRAWN BY
APPLICATION TYPE: OFF-SITE IMPROVEMENTS	GZC
	CHECKED BY
UTILITY ADJUSTMENTS (2)	

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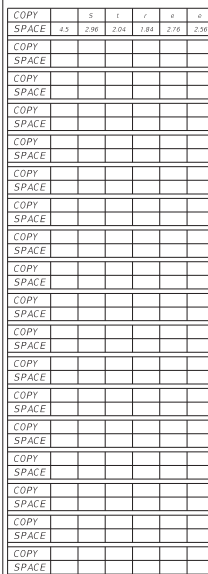
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ENGINEERING GROUP
LIZETTE MARTINEZ, P.E.
P.E. LICENSE NUMBER 76631
2699 LEE ROAD, SUITE 401

CLIENT:	HTM DEVELOPERS LLC	DESIGNED BY	
PROJECT:	WOODLAND PLACE SUBDIVISION		
LOCATION:	MARION COUNTY, FLORIDA	GZC	
APPLICATION TYPE:	OFF-SITE IMPROVEMENTS	DRAWN BY	
		GZC	
		CHECKED BY	
		II	

SHEET NO.
28

[illegible]

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