



## SUBMITTAL SUMMARY REPORT MajorSite-000600-2026

<b>PLAN NAME:</b>	Exalt Health Summerfield	<b>LOCATION:</b>	
<b>APPLICATION DATE:</b>	04/09/2026	<b>PARCEL:</b>	47696-000-00
<b>DESCRIPTION:</b>	The project will consist of the construction of a 40-bed inpatient rehab hospital, along with associated utilities, stormwater and parking infrastructure.		

CONTACTS	NAME	COMPANY
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Logan Reiber	Kimley-Horn and Associates Inc.
Owner	Erik de Vries	
Surveyor	Christopher Howson	JCH Consulting Group, Inc.
Surveyor	Christopher Howson	JCH Consulting Group, Inc.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	04/14/2026	04/28/2026	04/29/2026	Requires Re-submit
OCE: Plan Review (DR) v.2				Not Received

### SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	04/28/2026	04/23/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Civil Construction Plans - Sheet C-00 – Road name under Land Use Development Data is incorrect as US Highway 441, it should be S US Hwy 441, Sheets C-02, C-03, C-04, C-05, C-06A, C-06B, C-07A, C-08, C-10, C-11A, C-14, C-15A, & Landscape Plans – Sheets TM-01, L-01, - S US Hwy 441 is incorrectly labeled as U.S.27. Please correct on future submittals. - Additional Comments:			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/28/2026	04/16/2026	Approved
Fire Marshal (Plans) (Fire)	Anthony Marino	04/28/2026	04/14/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/28/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided ( <b>Not Resolved</b> ) - Submitted ESA does not seem to provide reference to listed species/plant communities, nor provide all maps as listed in submittal requirements in LDC Sec. 6.5.4. Please provide Environmental Assessment of Listed Species (EALS) meeting all submittal requirements in LDC Sec. 6.5.4., or submit an Exemption Request by a licensed professional certifying that criteria in LDC Sec. 6.5.3.C are met, with all criteria explicitly listed.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking ( <b>Not Resolved</b> ) - Please indicate land use code for cited ITE Park Generation Manual figures			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) ( <b>Not Resolved</b> ) - [INFO] In cover sheet, please indicate all proposed/approved waivers, including approval date/conditions			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation ( <b>Not Resolved</b> ) - [INFO] Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.			
<i>Corrections</i>	2.12.6 - Location of water and sewer ( <b>Not Resolved</b> ) - [INFO] Within Marion County Utilities service area. Defer to MCU			
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement ( <b>Not Resolved</b> ) - Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F). An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	2.12 - Lot area & lot width ( <b>Not Resolved</b> ) - Please confirm minimum lot width/area on cover sheet			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? ( <b>Not Resolved</b> ) - [INFO] Please coordinate with OCE-Traffic regarding any improvements to be made as indicated by traffic impact analysis. Please coordinate with OCE-Traffic and Sunset Hills Development association regarding cross access to south of subject property.			

# SUBMITTAL SUMMARY REPORT (MajorSite-000600-2026)

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/28/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	2.12.27 - Location & screening of outside storage ( <b>Resolved</b> ) - [INFO] No outdoor storage			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 ( <b>Not Resolved</b> ) - Are any signs proposed? If so, please indicate on site plan. Please note that signs will require separate sign permit.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering ( <b>Not Resolved</b> ) - (1) Please indicate buffer types on civil plans, not just on landscaping plans. (2) Staff was unable to identify enclosure height for garbage collection area. Please indicate on civil plans consistent with LDC Sec. 6.8.9.B			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties ( <b>Not Resolved</b> ) - See markup on cover sheet for adjacent property FLU designation			
<i>Corrections</i>	2.12.19 - Dimension & location of site improvement ( <b>Not Resolved</b> ) - Please indicate general dimensions (length/width) of building on site plan sheet(s).			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones ( <b>Not Resolved</b> ) - [INFO] (1) FEMA Flood Zone X; (2) No ESOZ; (3) Secondary Springs Protection Zone			
<i>Corrections</i>	Additional Growth Services Comments ( <b>Not Resolved</b> ) - See attached email correspondence regarding proposed use as type of hospital, which is permitted by right in B-2 zoning. Please note that upon time that proposed facility transitions into different use, including but not limited to uses such as long-term rehabilitation/assisted living facilities, a Special Use Permit must be applied for and approved by Board of County Commissioners. Please acknowledge.			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR ( <b>Not Resolved</b> ) - [INFO] Maximum FAR of 1.0			
<i>Corrections</i>	2.12.20 - Phases of development ( <b>Resolved</b> ) - [INFO] One phase seems to be indicated, with construction access indicated to north/south.			
<i>Comments</i>	For any questions related to this Planning/Zoning review, please contact <a href="mailto:jared.rivera@marionfl.org">jared.rivera@marionfl.org</a> or 352-438-2687.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/28/2026	04/24/2026	Requires Re-submit
<i>Comments</i>	1. Please submit signed and sealed Irrigation and photometric plans 2. See markup on plan			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	04/28/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	2.12.3 - Title block ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Title block on ALL sheets denoting type of application; (Major Site Plan) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	2.12.4 - Front page of the plan ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Missing type of application (Major Site Plan) & License Professional Certification signature - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			

# SUBMITTAL SUMMARY REPORT (MajorSite-000600-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	04/28/2026	04/27/2026	Requires Re-submit
<i>Comments</i>	<p>Road Project Map checked.  Property Owner certification does not match property appraiser's information. Please updated Owner's Certification or in the alternative show new ownership documentation. Please ensure that signer's authority documents are uploaded at time of correction. -EMW 04.27.2026</p> <p>IF APPLICABLE:  Sec. 2.18.1.I - Show connections to other phases.  Sec.2.19.2.H – Legal Documents  Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.  Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)  For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."  Sec. 6.3.1.B.2 – Required Right of Way Dedication  For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."  Sec. 6.3.1.D.3 - Cross Access Easements  For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."  Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)  "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."  Sec. 6.3.1.C.2 – Utility Easements  "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."  Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:  1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."  2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."  3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."  Sec.6.3.1.D(f) –  If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/28/2026	04/14/2026	Requires Re-submit
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications ( <b>Not Resolved</b> ) - (1) We need the following note on the cover page of the plans: "No change to the work as shown on the approved plans shall be made without notification to and approval by the office of the County Engineer." (2) LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback.			
<i>Corrections</i>	Additional Stormwater comments ( <b>Not Resolved</b> ) - (1) Info: Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction. (2) Info: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
<i>Corrections</i>	2.12.4.L(9)(b) - Data Block (Impervious Area) ( <b>Not Resolved</b> ) - Please identify the existing impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.			
<i>Corrections</i>	6.13.6.C - Best Management Practices ( <b>Not Resolved</b> ) - 6.13.6.C - Best Management Practices: Provide a sinkhole repair detail and note stating "a minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility".			
<i>Corrections</i>	6.13.2.B(6) - Freeboard ( <b>Not Resolved</b> ) - See comment under "6.13.7 □ Geotechnical Criteria"			
<i>Corrections</i>	6.13.2.A.3 - Retention/Detention Design Parameters ( <b>Not Resolved</b> ) - 6.13.2.A.3 - Retention/Detention Design Parameters: Show location and design parameters for all retention/detention areas including: 1. Dimensions or coordinates for constructability. 2. Cross sections along the width and length of each pond, showing the design high water elevation, estimated seasonal high water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. 3. Soil boring location with labels.			
<i>Corrections</i>	6.13.7 - Geotechnical Criteria ( <b>Not Resolved</b> ) - Minimum 2 borings and two infiltration test required. On the boring identified as Auger 1 is inside the proposed DRA			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria ( <b>Not Resolved</b> ) - See comment under "6.13.7 □ Geotechnical Criteria"			
<i>Corrections</i>	6.10 - Karst Topography and High Recharge Areas ( <b>Not Resolved</b> ) - Please provide a signed and sealed karst analysis			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis ( <b>Not Resolved</b> ) - See comment under "6.13.7 □ Geotechnical Criteria"			
<i>Corrections</i>	6.13.4.C - Discharge Conditions ( <b>Not Resolved</b> ) - See comment under "6.13.7 □ Geotechnical Criteria"			

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OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/28/2026	04/14/2026	Requires Re-submit
<i>Corrections</i>	Final signed and sealed hard copy signature page ( <b>Not Resolved</b> ) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance ( <b>Not Resolved</b> ) - An operation and maintenance manual is required for all projects. This is a standalone document from the plans and calculations. If you need an example of O&M documents that have been approved in the past, contact the stormwater department. The O&M manual will need to have the following certification on the cover: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management system and associated elements in accordance with the specifications shown herein and on the approved plans." This certification must be signed by the current property owner or their authorized representative. We used the State of Florida Sunbiz website to verify agents/member/officers of business entities. If the owner is an out of state organization we will need to see articles of incorporation/organization to verify the authority of the individual signing the certifications. For property ownership, we use the Marion County Property Appraiser's website. If you need an example contact the stormwater department.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency ( <b>Not Resolved</b> ) - This item will be reviewed upon resubmittal			
<i>Corrections</i>	6.13.2.A.12/6.12.5-Details, X-Sections, References ( <b>Not Resolved</b> ) - See comment under "6.13.2.A(3) <input type="checkbox"/> Retention/Detention Area Design Parameters"			
<i>Corrections</i>	6.13.4.D - Recovery Analysis ( <b>Not Resolved</b> ) - See comment under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria ( <b>Not Resolved</b> ) - See comment under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/28/2026	04/27/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/28/2026	04/20/2026	Requires Re-submit
<i>Corrections</i>	6.12.12 - Sidewalks ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Sidewalk is required along US 441. Staff supports payment of a fee in-lieu of sidewalk construction. The sidewalk fee has to be approved by the Development Review Committee through a waiver request. If the DRC approves the payment of a fee, the comes out to \$9,877.25 and must be paid prior to plan approval. - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	04/28/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Informational: Contractor to field verify existing main sizes and locations. (2) 12" Force Main and 12" Water Main shown on Utility Plan. - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Corrections</i>	6.14.5.A(8) - Connection to existing sanitary ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See Plan Comments - 6.14.5.A(8) - Connection to existing sanitary:			
<i>Corrections</i>	6.14.8.A - Completion & Closeout - PLAN NOTE: ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Marion County Utilities requires a PDF copy of the utility as-builts for the preliminary walkthrough and project closeout. MCU's GIS and Construction teams will review the PDF as-builts and provide comments. Once all comments have been addressed and revisions made, a DWG/CAD file will be requested to complete the final closeout process. - 6.14.8.A - Completion & Closeout - PLAN NOTE			
<i>Corrections</i>	6.14.6 - Utilities design to be owned by MCU ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Informational: A. All utility systems shall be designed for the estimated tributary population. B. All utility systems shall be designed utilizing components with a minimum 30 year life span. C. Systems intended to be owned and maintained by MCU shall be designed for the tributary population and in conformance with the adopted Marion County Utilities Master Plan, as amended. D. Water systems shall be designed to satisfy the domestic water demand and fire protection requirements. E. All systems to be owned, operated, or maintained by MCU shall be subject to a pre-design meeting with MCU .F. All meters shall be located in a meter easement located adjacent to or within the public right-of-way. G. All meters in an MCU maintained system shall be installed and inspected by MCU after receiving payment of applicable fees and charges. H. All pipe shall comply with state standards. I. The engineer shall provide the required lengths of mechanically restrained joints in table form on the plans. - 6.14.6 - Utilities design to be owned by MCU:			
<i>Corrections</i>	6.15.5 - Water Service & Connection ( <b>Resolved</b> ) - <b>Corrective Action:</b> Connecting to 12" Water main in two (2) locations for redundancy, 4" meters wit RPZ's - 6.15.5 - Water Service & Connection :			
<i>Corrections</i>	6.15.7 - Cross Connection Control/Backflow ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Informational: A backflow hold will be placed on the building permit. Backflows must be tested and the results reported to crossconnectioncontrol@marionfl.org before the final hold can be released. - 6.15.7 - Cross Connection Control/Backflow:			
<i>Corrections</i>	6.15.6.A - Potable Water Metering - loc/bank/size ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> 4" Meter(s) at two locations. (2) Meters must be located within the Right-of-way - 6.15.6.A - Potable Water Metering - loc/bank/size:			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Informational: Proposed mains shall be marked as private or public (MCU); points of demarcation shall be called out as necessary to identify changes in ownership. Shall include profile views unless otherwise noted. - 6.14.5.A(2) - Proposed mains & connections shown:			
<i>Corrections</i>	7.1.3 - UT DETAILS - current LDC version ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See Plan Comments - Use 214A Detail on both water connections. - 7.1.3 - UT DETAILS - current LDC version: UT details shall be current version based on latest edition of approved LDC			
<i>Corrections</i>	6.15.6.D - Meter Location ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Meters Must be within the ROW - 6.15.6.D - Meter Location:			
<i>Corrections</i>	6.14.5.C - Hydraulic Analysis ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Was a hydraulic analysis completed to analyze the water or wastewater pressures in this area? - 6.14.5.C - Hydraulic Analysis:			
<i>Corrections</i>	Review Fee as applicable (per Resolution) ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Utilities initial plan review: \$415.00 - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.4 - Capacity charges - domestic water/sewer ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Informational: Capital charges and flow rates will need to be calculated during the building permitting stage, prior to permit approval. - 6.14.4 - Capacity charges - domestic water/sewer			

# SUBMITTAL SUMMARY REPORT (MajorSite-000600-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	04/28/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: <b>(Not Resolved) - Corrective Action:</b> Add note to Utility Sheet(s) MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to the start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Development Review Officer; Heather.Proctor@MarionFL.org or (352) 438-2846 - 6.14.7 - Construction Inspection - PLAN NOTE:			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet <b>(Resolved) - Corrective Action:</b> Correct contact, project map and parcel (47696-000-00) - MCU Contact Info on Project Cover Sheet: Marion County Utilities, 11800 S US Hwy 441, Belleview FL 34420 - Customer Service 24/7/365 352-307-6000			
<i>Corrections</i>	6.15.3 - Fire Protection/Fire Flow Capacity <b>(Not Resolved) - Corrective Action:</b> See Plan Comments (2) Informational: Water service will be provided by Marion County Utilities. Please consult with Marion County Fire Rescue for any additional comments or requirements related to fire protection. - 6.15.3 - Fire Protection/Fire Flow Capacity:			
<i>Corrections</i>	6.16.5 - Wastewater Pump Stations <b>(Not Resolved) - Corrective Action:</b> Provide the completed force main pressure test to MCU. - 6.16.5 - Wastewater Pump Stations: Private pump stations (6.16.5 A, B); Public Lift Stations (6.16.5 C)			
<i>Corrections</i>	6.15.6.G & H - Meters up to 2" and over 2" <b>(Not Resolved) - Corrective Action:</b> Informational: Please note that 4-inch meters may require additional time to order and receive. The contractor should plan accordingly.. - 6.15.6.G & H - Meters up to 2" and over 2": Meters shall be provided by MCU and paid for by Builder/Developer. Meters shown on Page 19, are larger than 2", and will be installed by developer.			
<i>Corrections</i>	6.14.5.B - FDEP PWS and/or WW permits <b>(Not Resolved) - Corrective Action:</b> The Engineer of Record is responsible for requesting and submitting the appropriate FDEP Public Water System (PWS) and/or Wastewater (WW) permit applications, if applicable. All applications must be signed and sealed prior to submission for Marion County Utilities' signature and must be provided before the Utilities Pre-Construction meeting. - 6.14.5.B - FDEP PWS and/or WW permits:			
<i>Corrections</i>	6.14.5.B - Submit permits to MCU (DOT, ROW etc) <b>(Not Resolved) - Corrective Action:</b> Informational: Copies of all related permit applications and issued permits shall be submitted to the Development Reviewer for Marion County Utilities Department. (LDC 6.14.5 C). - 6.14.5.B - Submit permits to MCU (DOT, ROW etc):			
<i>Corrections</i>	6.17 - Water Reclamation/Reuse Facilities <b>(Resolved) - Corrective Action:</b> No reclaimed water available to this site. - 6.17 - Water Reclamation/Reuse Facilities:			
<i>Corrections</i>	Parcel numbers match project area <b>(Resolved) - Corrective Action:</b> 47696-000-00 - Parcel numbers match project area: The parcels (s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	6.14.4 - Capacity charges - irrigation <b>(Not Resolved) - Corrective Action:</b> Show irrigated SF on UTILITY PLAN PAGE - 6.14.4 - Capacity charges - irrigation: Projects using MCU irrigation shall must show the irrigation tap, meter placement, size, and backflow. Indicate total SF of irrigated area in anticipation of the irrigation meter request through Customer Service.			
<i>Corrections</i>	6.14.2 - Connection Requirements <b>(Resolved) - Corrective Action:</b> Connecting to Marion County Utilities water and wastewater. - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	6.16.4 - Wastewater Collection Systems <b>(Not Resolved) - Corrective Action:</b> "Marion County Utilities (MCU) will require proof of a successful, EOR signed and sealed, hydrostatic leak test for all private manholes and grease traps. MCU inspectors will not perform on-site testing for privately owned systems. A hold will be added to the site's building permit, if applicable.			
<i>Corrections</i>	Alternatively, all private manholes may be sealed using the WrapidSeal. " - 6.16.4 - Wastewater Collection Systems:			
<i>Corrections</i>	6.15.6.B - Irrigation Water Metering - size <b>(Not Resolved) - Corrective Action:</b> How is this site being irrigated? If by MCU Irrigation meter. Show meter with meter and backflow size on plans. Include total irrigated square feet on Utility Plan and cloud. - 6.15.6.B - Irrigation Water Metering - size:			
<i>Corrections</i>	6.14.2.C(2) - Industrial Pretreatment/FOG <b>(Not Resolved) - Corrective Action:</b> Lint trap required UT 311 (2) Identify grease trap(s) on plans and provide S&S calculations for the application. - 6.14.2.C(2) - Industrial Pretreatment/FOG:			
<i>Corrections</i>	Additional Utilities Comments <b>(Not Resolved) - Additional Utilities Comments</b>			
<i>Corrections</i>	6.14.9.B - Transfer of Assets to MCU - PLAN NOTE: <b>(Not Resolved) - Corrective Action:</b> If the project will require a transfer of facilities to Marion County, it must be done PRIOR TO the DEP Clearance Package application being approved by Marion County Utilities. This includes a Bill of Sale with supporting conveyed assets detail, approved. - 6.14.9.B - Transfer of Assets to MCU -			
<i>Comments</i>	Please see Plan Comments and Corrections			

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
<b>REVIEW SESSION FILES:</b>				
	01 Exalt Health Summerfield DRC Application - Site Plan.pdf			
	02 Survey - 260110 ALTA.pdf			
	03 Exalt Summerfield - Civil Construction Plans_DSS.pdf			
	04 Drainage Report - Summerfield_DSS.pdf			
	05 Exalt Summerfield Traffic Statement.pdf			
	07 Terracon Geotech Report 20260311.pdf			
	08 MCPA Property Record Card.pdf			
	09 Lift Station Report - Summerfield_DSS.pdf			
	10 Exalt Health Summerfield - Landscape Plans.pdf			
	A-1 Site Aerial Plan.pdf			
	A-2 NRCS Soils Map.pdf			
	A-3 FEMA Flood Map.pdf			
	A-4 USGS Quad Map.pdf			
	A-5 National Wetlands Map.pdf			
	A-6 Location Map.pdf			

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Alexander	Mentions of alternative pipe material other than RCP needs to be removed unless an alternative pipe material request is requested and approved	04/14/2026 2:57	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	13
jrivers	& MR	04/15/2026 9:09	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	1
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:02	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	1
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:02	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	1

# SUBMITTAL SUMMARY REPORT (MajorSite-000600-2026)

**REVIEW SESSION FILES:**

- 01 Exalt Health Summerfield DRC Application - Site Plan.pdf
- 02 Survey - 260110 ALTA.pdf
- 03 Exalt Summerfield - Civil Construction Plans\_DSS.pdf
- 04 Drainage Report - Summerfield\_DSS.pdf
- 05 Exalt Summerfield Traffic Statement.pdf
- 07 Terracon Geotech Report 20260311.pdf
- 08 MCPA Property Record Card.pdf
- 09 Lift Station Report - Summerfield\_DSS.pdf
- 10 Exalt Health Summerfield - Landscape Plans.pdf
- A-1 Site Aerial Plan.pdf
- A-2 NRCS Soils Map.pdf
- A-3 FEMA Flood Map.pdf
- A-4 USGS Quad Map.pdf
- A-5 National Wetlands Map.pdf
- A-6 Location Map.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:18	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	3
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:19	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	4
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:20	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	5
Kristie W	Correct street name is S US Hwy 441.	04/20/2026 3:21	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	6
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:21	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	7
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:22	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	8
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:23	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	9
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:24	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	11
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:25	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	13
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:26	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	14
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:27	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	19
Kristie W	Correct road name is S US Hwy 441.	04/20/2026 3:28	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	20
Kristie W	Correct road name is S US Hwy 441	04/20/2026 3:31	PM10 Exalt Health Summerfield - Landscape Plans.pdf	1
Kristie W	Correct road name is S US Hwy 441	04/20/2026 3:34	PM10 Exalt Health Summerfield - Landscape Plans.pdf	3
Kristie W	9-1-1 REQUIRES RESUBMIT	04/20/2026 3:36	PM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	1
Susan Heyen	1. 600 mitigation inches required, 475.5" proposed, how will deficit be addressed?2. Submit signed and sealed irrigation and photometric plans3. Landscape plan to be signed and sealed	04/20/2026 4:21	PM10 Exalt Health Summerfield - Landscape Plans.pdf	3
Susan Heyen	wavier required for parking perimeter planting, cross section of this area may be helpful	04/20/2026 4:24	PM10 Exalt Health Summerfield - Landscape Plans.pdf	3
Susan Heyen	Comfirm trees are 20'+ from buildings	04/20/2026 4:26	PM10 Exalt Health Summerfield - Landscape Plans.pdf	3
Susan Heyen	Majority of understory trees along this buffer shall be evergreen	04/24/2026 2:16	PM10 Exalt Health Summerfield - Landscape Plans.pdf	3
Heather Proctor	CALL OUT END OF COUNTY MAINTENANCE AT VALVE.	04/28/2026 10:29	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	19
Heather Proctor	IF THIS IS GREASE TRAP, SIGNED AND SEALED CALCULATIONS REQUIRED WITHIN PLAN SET.	04/28/2026 10:29	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	19
Heather Proctor	TYP: ALL ON-SITE HYDRANT BODIES MUST BE PAINTED YELLOW TO SIGNIFY PRIVATE OWNERSHIP AND MAINTENANCE.	04/28/2026 10:30	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	19
Heather Proctor	ADD NOTE FOR END OF COUNTY MAINTENANCE: WATER METER AND BEFORE THE DDC.	04/28/2026 10:31	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	19
Heather Proctor	ADD NOTE FOR END OF COUNTY MAINT AT METER AND DDC TO TERMINATE RIGHT AFTER VALVES.	04/28/2026 10:32	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	19
Heather Proctor	Because of the type of facility it needs to have meter bypass for maintenance purposes.	04/28/2026 10:33	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	23
Heather Proctor	PROVIDE PRESSURE TEST RESULTS TO MCU	04/28/2026 10:34	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	25
Heather Proctor	NEED LINT TRAP	04/28/2026 10:35	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	22
Heather Proctor	informational: Brass if not recommended on sewer. It will corrode and create additional maintenance for building owner	04/28/2026 10:36	AM03 Exalt Summerfield - Civil Construction Plans_DSS.pdf	25



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 5/20/2026 Parcel Number(s): 47696-000-00 Permit Number: MajorSite-000600-2026

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Exalt Health Summerfield Commercial  Residential   
Subdivision Name (if applicable): N/A  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Summerfield Rehab, LP  
Signature: \_\_\_\_\_  
Mailing Address: 50 Kennedy Plaza, 12th Floor City: Providence  
State: RI Zip Code: 02903 Phone #: (214) 762-7334  
Email address: erik@astreadevelopment.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Kimley-Horn and Associates, Inc. Contact Name: Logan R. Reiber, P.E.  
Mailing Address: 1800 2nd Street, Suite 900 City: Sarasota  
State: FL Zip Code: 34236 Phone #: (941) 379-7600  
Email address: logan.reiber@kimley-horn.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): \_\_\_\_\_ Section 6.8.7 - Parking areas and vehicular use areas  
Reason/Justification for Request (be specific): Applicant request a waiver from landscape requirement behind perimeter parking on north side of the site where a retaining wall is proposed. There is additional landscaping proposed beyond the wall and the adjacent parcel is commercial. This section of perimeter parking faces the back of adjacent property building.

**DEVELOPMENT REVIEW USE:**

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**Marion County  
Board of County Commissioners**

Office of the County Engineer

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Ocala, FL 34471  
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**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code (be specific) Section 6.12.12.D. - Sidewalks

Reason/Justification for Request (be specific): Applicant requests waiver to pay a fee in-lieu of sidewalk construction along US 441. There are no existing sidewalks adjacent to the project boundary.

Section & Title of Code (be specific) 6.13.7.B. - Geotechnical Criteria

Reason/Justification for Request (be specific): Applicant request waiver to have the second Auger location count towards the minimum requirements (two infiltration tests for each retention/detention area), despite being slightly outside the dry retention area footprint (< 30 LF). The borings are consistent and show good quality sand down to 12'. The pond is only proposed to be 6' in depth. The auger location are sufficient in determining the soil for the pond area.

Section & Title of Code (be specific) Section 7.1.3.J. - Drainage Facilities

Reason/Justification for Request (be specific): Applicant requests waver to use alternative materials within the stormwater conveyance system. Alternative materials are on the FDOT approved products list (HP Storm).

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

**LAND USE DEVELOPMENT DATA**

TOTAL AREA: 44.43 AC  
 PARCEL ID NO: 47866-09-00  
 PRESENT ZONING: COMMUNITY BUSINESS (B-2) AND GENERAL AGRICULTURE (A-1)  
 ADJUTING PROPERTIES ZONING:  
 NORTH: COMMUNITY BUSINESS (B-2)  
 EAST: RESIDENTIAL (R-1)  
 SOUTH: US HIGHWAY 441 ROW (PUD)  
 WEST: US HIGHWAY 441 ROW  
 FUTURE LAND USE: COM  
 ADJUTING PROPERTIES FUTURE LAND USE:  
 NORTH: COM  
 EAST: MR  
 SOUTH: MR  
 WEST: US HIGHWAY 441 ROW  
 PROJECT AREA: 44.43 AC

**LAND USE CHART**

PROPOSED IMPERVIOUS	0.90 AC (20.32%) (29,291 SF)
PROPOSED PERVIOUS	1.70 AC (38.37%)
PROPOSED PERVIOUS AREA	1.83 AC (41.19%)
TOTAL SITE AREA	4.43 AC (100%)
FLOOR AREA RATIO (FAR) PROPOSED	0.90 AC (20.32%)
OPEN SPACE PROVIDED	1.83 AC (41.19%)
DEVELOPABLE ACREAGE	4.43 AC (100.00%)

**PROJECT LOCATION**

12015 BELLEVUE FL 34491 US

**BUILDING SETBACKS**

REQUIRED:	NORTH	= 10'
	EAST	= 20'
	SOUTH	= 10'
	WEST	= 40'
PROVIDED:	NORTH	= 66'
	EAST	= 200'
	SOUTH	= 31'
	WEST	= 17'

**BUILDING HEIGHT**

PER LOC 42.17  
 MAXIMUM BUILDING HEIGHT = 50'  
 PROPOSED BUILDING HEIGHT = 22'  
 REFER TO ARCHITECTURAL PLANS, ALL STRUCTURES ONE STORY

**DESIGNER INFORMATION**

KIMLEY-HORN AND ASSOCIATES, INC. (THE) PARKING GENERATION MANUAL, 6TH EDITION  
 5239 SF HOSPITAL

**REQUIRED PARKING**

TOTAL PARKING REQUIRED	= 89 SPACES	(2.25 SPACES PER 1,000 SF)
HANDICAP PARKING REQUIRED	= 4 SPACES	(PER MARION COUNTY LDC TABLE 6.11.4)

**PARKING PROVIDED**

STANDARD OFF STREET PARKING	= 79 SPACES
HANDICAP PARKING PROVIDED	= 10 SPACES
TOTAL PARKING PROVIDED	= 89 SPACES

**CHARACTER AND INTENDED USE STATEMENT**

THE PROJECT WILL CONSIST OF THE CONSTRUCTION OF A 45-BED INPATIENT REHAB HOSPITAL, ALONG WITH ASSOCIATED UTILITIES, STORMWATER AND PARKING INFRASTRUCTURE

**WATER, POTABLE WATER SUPPLY WILL BE PROVIDED BY MARION COUNTY**

SEWER, WASTEWATER COLLECTION AND TREATMENT WILL BE PROVIDED BY MARION COUNTY

**GARBAGE, GARBAGE PICKUP WILL BE PROVIDED BY MARION COUNTY WASTE MANAGEMENT**

TREE LOCATION, THE PROPOSED DEVELOPMENT AND ITS ORIENTATION TO THE EXISTING TREES IS SHOWN ON THE CONSTRUCTOR PLANS. TREES WILL BE PRESERVED WHERE POSSIBLE. TREE REMOVAL PERMIT WILL BE APPLIED FOR PRIOR TO CONSTRUCTION IF NECESSARY.

**FEMA DESIGNATION**

THE SITE IS LOCATED WITHIN FLOOD ZONE "X" PER FEMA PANEL NO. 12683C00050 DATED 02/28/2008.

**SURFACE WATER MANAGEMENT SYSTEM**

DRAINAGE SYSTEM WILL BE MAINTAINED BY OWNER.

**WELLS**

THERE ARE NO EXISTING WELLS LOCATED ON SITE.

**ADA**

ALL SIDEWALK CROSSINGS AT CURBS, GUTTERS AND INTERSECTIONS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND FLORIDA ACCESSIBILITY CODE.

**LANDSCAPE PLANS**

INCLUDED WITH THIS SUBMITTAL.

**FLORIDA BUILDING CODE**

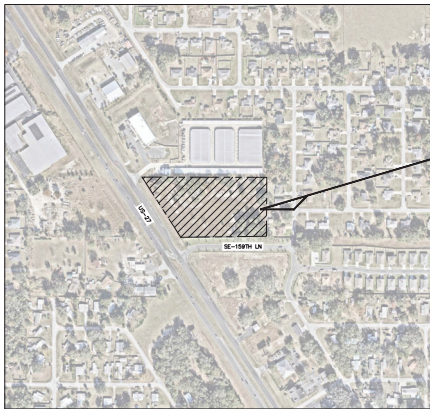
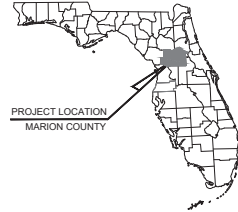
PLANS DESIGNED UNDER FBC, 7TH EDITION.

# CONSTRUCTION PLANS FOR EXALT HEALTH SUMMERFIELD

9-1-1 REQUIRES RESUBMIT

SECTION 22, TOWNSHIP 17 S, RANGE 23 E  
MARION COUNTY, FLORIDA

NO SITUS  
BELLEVUE FL 34491 US  
APRIL 2026



VICINITY MAP  
SCALE: 1" = 250'



PROJECT LOCATION

Sheet Number	Sheet Title
C-00	COVER SHEET
C-01	GENERAL NOTES
C-02	EXISTING CONDITIONS
C-03	AERIAL SITE PLAN
C-04	OVERALL SITE PLAN
C-05	ADA ROUTING PLAN
C-06A	FIRE TRUCK ROUTING EXHIBIT
C-06B	GARBAGE TRUCK ROUTING PLAN
C-07A	PAVEMENT MARKING AND SITE PLAN
C-07B	PAVEMENT MARKING AND SITE PLAN
C-08	EROSION CONTROL PLAN
C-09	EROSION CONTROL DETAILS
C-10	MASTER DRAINAGE PLAN
C-11A	PAVING GRADING AND DRAINAGE PLAN
C-11B	PAVING GRADING AND DRAINAGE PLAN
C-12	GRADING CROSS SECTIONS
C-13A	PAVING GRADING AND DRAINAGE DETAILS
C-13B	CONSTRUCTION DETAILS
C-14	MASTER UTILITY PLAN
C-15A	UTILITY PLAN
C-15B	UTILITY PLAN
C-16	UTILITY DETAILS
C-17	UTILITY DETAILS
C-18	UTILITY DETAILS
C-19	LIFT STATION DETAILS
TM-01	TREE MITIGATION PLAN
TM-02	TREE MITIGATION SPECIFICATIONS
L-01	LANDSCAPE PLAN
L-02	LANDSCAPE SPECIFICATIONS
L-03	LANDSCAPE DETAILS

**OWNER'S CERTIFICATION**

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

ERIK DE VRIES, GEO  
SUMMERFIELD REHAB, LP

DATE

PREPARED BY  
**Kimley-Horn**

© 2026 KIMLEY-HORN AND ASSOCIATES, INC.  
1800 SECOND STREET, SUITE 900, SARASOTA, FL 34238  
PHONE: (941) 579-7600  
WWW.KIMLEY-HORN.COM Project No. 26106

CALL 2 WORKING DAYS BEFORE YOU DIG  
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DIAL 811  
811  
811  
811

PROJECT DATUM NAVD 83  
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS SHOULD CONSIDER THE NECESSITY OF GROUNDWATER INVESTIGATION PRIOR TO CONSTRUCTION.  
THE SITE CONTRACTOR'S RESPONSIBILITY SHALL BE TO PREPARE AND SUBMIT TO THE APPLICANT A PROPOSED GROUNDWATER INVESTIGATION PLAN. ANY DISCREPANCIES FOUND BETWEEN THE CONTRACTOR'S INVESTIGATION AND THE APPLICANT'S INVESTIGATION SHALL BE BROUGHT TO THE CONTRACTOR'S ATTENTION FOR RESOLUTION PRIOR TO THAT CONTRACTOR'S

APPLICANT/TOWNER:  
SUMMERFIELD REHAB, LP  
50 KENNEDY PLAZA, 12TH FLOOR  
PROVIDENCE, RI 02903  
PHONE: (414) 762-7334  
EMAIL: ERIK@ASTREADEVELOPMENT.COM

ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
1800 SECOND STREET, SUITE 900  
SARASOTA, FLORIDA 34238  
PHONE: (941) 579-7600  
EMAIL: LOGAN.REIBER@KIMLEY-HORN.COM

ARCHITECT:  
ENVIRONMENTS FOR HEALTH  
801 CHERY ST. STE 200  
FORT WORTH, TX 76102  
PHONE: (817) 506-1917  
EMAIL: MATT.HURST@E4HARCHITECTURE.COM

SURVEYOR:  
JCH CONSULTING GROUP, INC.  
428 SW 15TH STREET  
OCALA, FL 34471  
PHONE: (352) 804-1482

LANDSCAPE ARCHITECT:  
KIMLEY-HORN AND ASSOCIATES, INC.  
1800 SECOND STREET, SUITE 900  
SARASOTA, FLORIDA 34238  
PHONE: (941) 579-7600  
EMAIL: MATT.DUNN@KIMLEY-HORN.COM

Logan R Reiber  
Professional Engineer  
No. 12500  
FLORIDA  
04/08/2026



THIS DOCUMENT IS PREPARED BY SECTION 106 OF THE 1988 FLORIDA CONSTITUTION AS A CONDITION OF ALLOCATION OF THIS DOCUMENT TO THE PROJECT CONTRACTOR. ANY REPRODUCTION OR ALTERATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF KIMLEY-HORN AND ASSOCIATES, INC. IS HEREBY STRONGLY DISCOURAGED. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF KIMLEY-HORN AND ASSOCIATES, INC.

DATE: APRIL 2026  
PROJECT NO.: 248377001

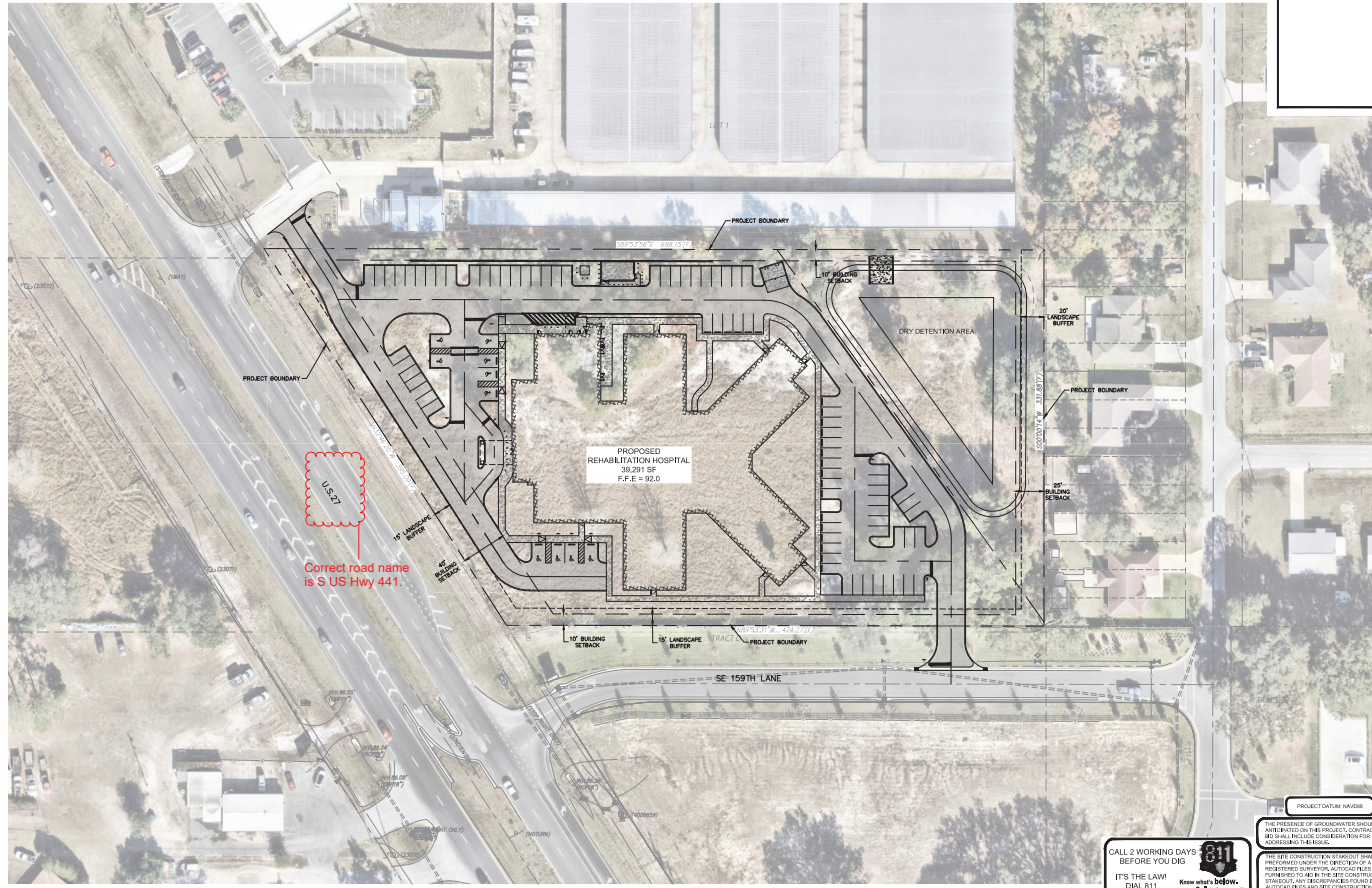
SHEET NUMBER: C-00

NO.	REVISIONS	DATE





EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP  
 30221 SE 159TH AVE, SUITE 100, SUMMERFIELD, FL 34989  
 WWW.EXALTHEALTH.COM  
 EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP  
 30221 SE 159TH AVE, SUITE 100, SUMMERFIELD, FL 34989  
 WWW.EXALTHEALTH.COM



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 IT'S THE LAW!  
 DIAL 811  
 Keep what's below. Call before you dig.  
 SUBMIT BY THE TIME ONE CALL OF FLORIDA, INC.

PROJECT DATA HOUSE  
 THE PRESENCE OF AN UNIDENTIFIED BURIED OR UNRECORDED UTILITY OR STRUCTURE IS NOT GUARANTEED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL UTILITIES AND STRUCTURES TO BE EXCAVATED OR REMOVED. ANY UNRECORDED UTILITIES OR STRUCTURES SHALL BE BROUGHT TO THE CONTRACTOR'S ATTENTION FOR CLARIFICATION PRIOR TO THAT EXCAVATION.

<b>Kimley»Horn</b> <small>WWW.KIMLEY-HORN.COM</small>	LICENSED PROFESSIONAL CIVIL ENGINEER LICENSE NUMBER: 10000 EXPIRES: 12/31/2024	DATE: 08/20/2024 SCALE: AS SHOWN DRAWN BY: J. HORN CHECKED BY: J. HORN PROJECT: EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP	NO. 1 REVISIONS DATE
	EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP FLORIDA SHEET NUMBER: C-03	AERIAL SITE PLAN	PROJECT: EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP

**LAND USE DEVELOPMENT DATA**

PROJECT AREA: 44.43 AC

LAND USE	AC	(%)	SQ. FT.
PROPOSED BUILDING	0.90	(2.02%)	(82,291 SF)
PROPOSED ROADS & PARKING	1.91	(4.28%)	(171,000 SF)
PROPOSED SIDEWALK	0.19	(0.43%)	(171,000 SF)
PROPOSED PAVED AREA	1.83	(4.13%)	(163,890 SF)
TOTAL SITE AREA	44.43	(100%)	(3,870,000 SF)

PARKING PER INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PARKING GENERATION MANUAL, 6TH EDITION)

30,201 SF HOSPITAL

REQUIRED PARKING:

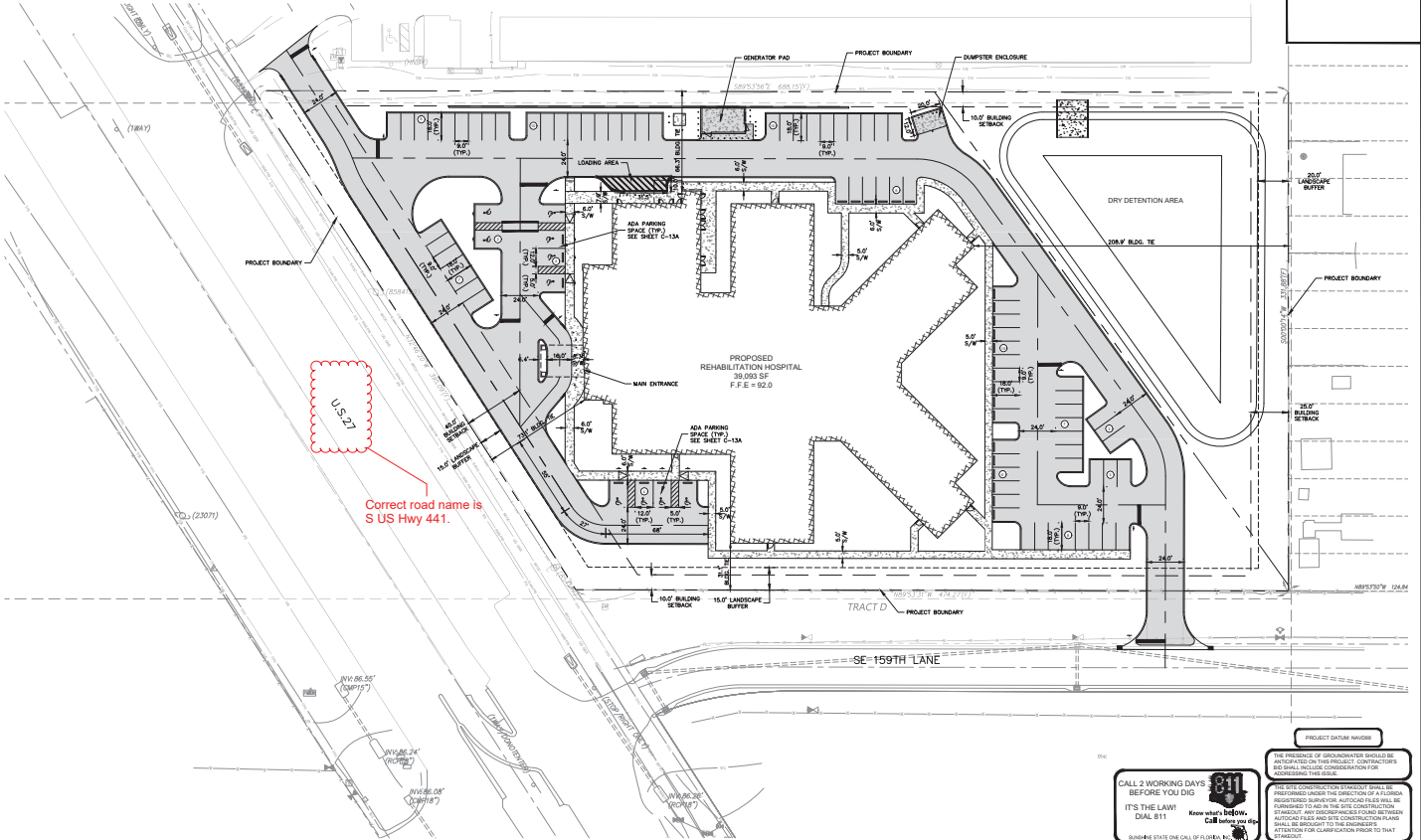
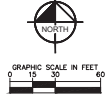
- TOTAL PARKING REQUIRED = 89 SPACES (2.25 SPACES PER 1,000 SF)
- HANDICAP PARKING REQUIRED = 4 SPACES (PER MARION COUNTY LOC TABLE 6.11-6)

PARKING PROVIDED:

- STANDARD OFF STREET PARKING = 79 SPACES
- HANDICAP PARKING PROVIDED = 10 SPACES
- TOTAL PARKING PROVIDED = 89 SPACES

**LEGEND**

[Symbol]	STANDARD DUTY ASPHALT
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	CONCRETE SIDEWALK



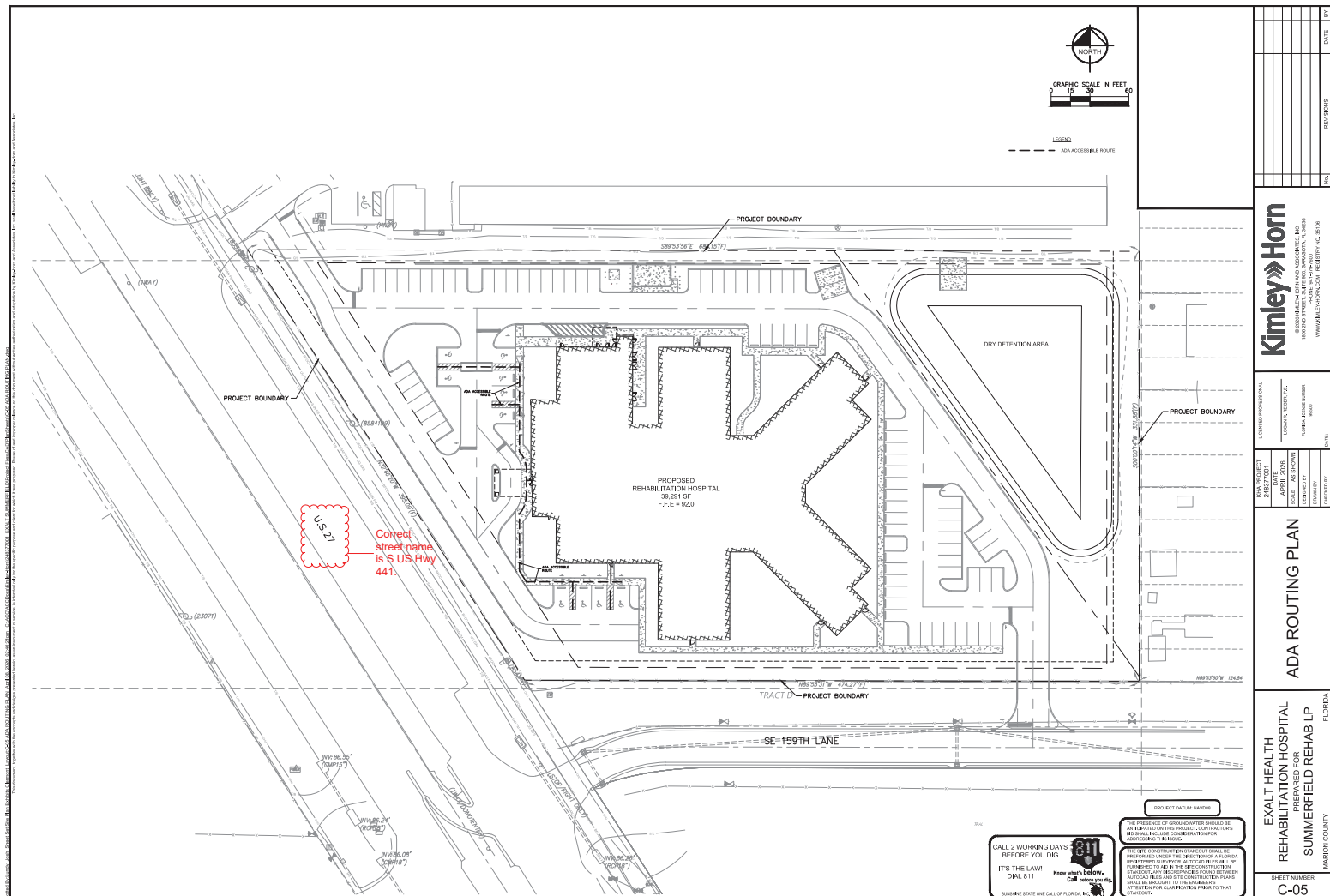
**CALL 2 WORKING DAYS BEFORE YOU DIG**  
IT'S THE LAW!  
DIAL 811  
Know what's below. Call before you dig.

**PROJECT DATA HOUSE**

THE PRESENCE OF ORIGINATOR'S MARKS OR AUTOMATED ON THIS PROJECT CONTRACTOR'S SHALL INCLUDE COORDINATION FOR PROTECTING THIS HOUSE.

FOR THE CONTRACTOR'S PROTECTION, ALL FIELD PREPARED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE PROVIDED TO AID IN THE SITE CONSTRUCTION. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND THE CONSTRUCTION SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT DATE.

<p><b>Kimley Horn</b></p> <p>1800 2ND STREET, SUITE 100, PALM SPRING, FL 33461 WWW.KIMLEY-HORN.COM, RECEIVING: 238.0808</p>	<p>DATE: _____</p> <p>REVISION: _____</p>
	<p>DATE: _____</p> <p>REVISION: _____</p>
<p>PROJECT: EXALT HEALTH REHABILITATION HOSPITAL - SUMMERFIELD REHAB LP</p> <p>CLIENT: EXALT HEALTH REHABILITATION HOSPITAL - SUMMERFIELD REHAB LP</p> <p>LOCATION: SE 159TH LANE, PALM SPRING, FL 33461</p>	<p>DATE: _____</p> <p>REVISION: _____</p>
<p><b>OVERALL SITE PLAN</b></p>	<p>DATE: _____</p> <p>REVISION: _____</p>
<p>EXALT HEALTH REHABILITATION HOSPITAL - SUMMERFIELD REHAB LP</p> <p>FLORIDA</p>	<p>DATE: _____</p> <p>REVISION: _____</p>
<p>SHEET NUMBER: C-04</p>	<p>DATE: _____</p> <p>REVISION: _____</p>

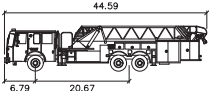
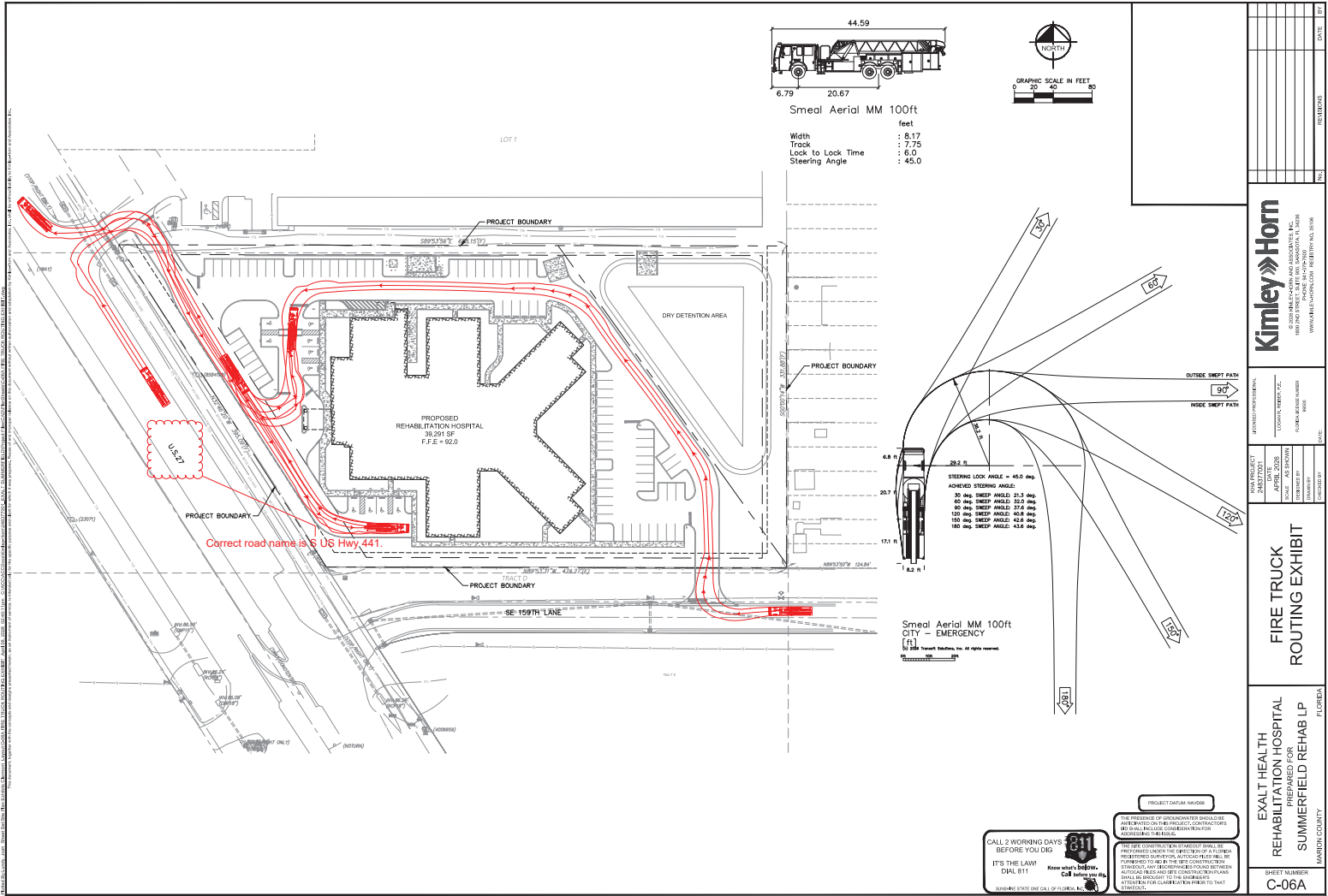


U.S. 27  
 Correct street name is S US Hwy 441.

**CALL 2 WORKING DAYS BEFORE YOU DIG**  
 IT'S THE LAW!  
 DIAL 811  
 Know what's below. Call before you dig.

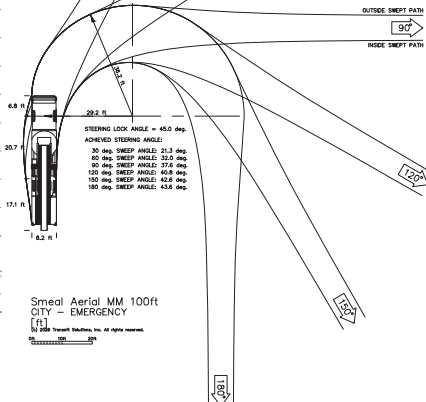
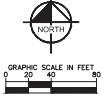
**PROJECT DATA TABLE**  
 THE PRESENCE OF UNANNOUNCED OBSTACLES ATTRIBUTED TO THE PROJECT CONTRACTOR'S NEGLIGENCE OR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES.

<b>EXALT HEALTH REHABILITATION HOSPITAL REHABILITATION HOSPITAL SUMMERFIELD REHAB LP</b> FLORIDA HIGHLAND COUNTY	<b>ADA ROUTING PLAN</b>
PROJECT NO. 2307001 DATE: 08/20/2023 SCALE: AS SHOWN DESIGNED BY: [Redacted] DRAWN BY: [Redacted]	SHEET NO. C-05 SHEET TOTAL: 05
PROJECT PROFESSIONAL COUNTY: HIGHLAND LICENSE NUMBER: [Redacted] EXPIRES: [Redacted]	DATE: [Redacted] REVISIONS: [Redacted]



Smeal Aerial MM 100ft

feet  
 Width : 5.17  
 Track : 7.75  
 Lock to Lock Time : 6.0  
 Steering Angle : 45.0



Smeal Aerial MM 100ft  
 CITY - EMERGENCY

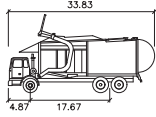
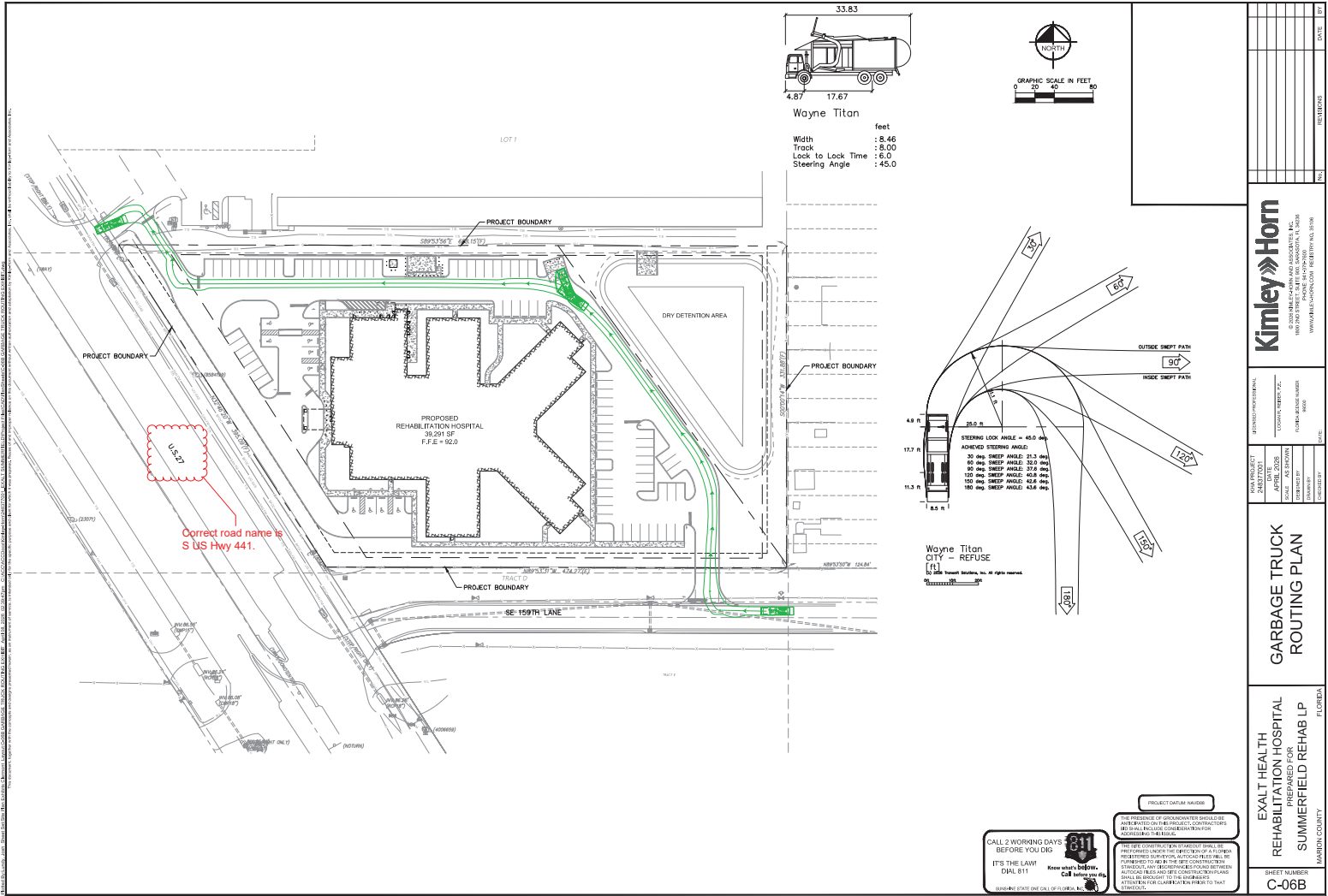
CALL 2 WORKING DAYS BEFORE YOU DIG  
 IT'S THE LAW!  
 DIAL 811

Keep what's below. Call before you dig.

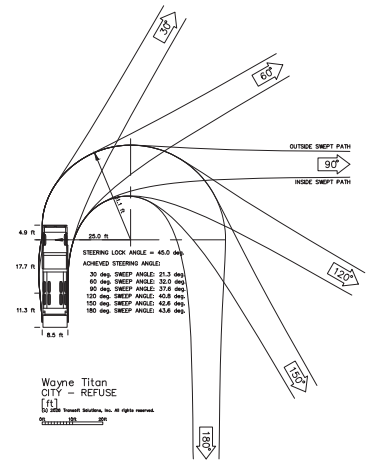
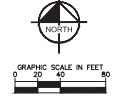
PROJECT DATA IN HOUSE

THE PRESENCE OF UNDISCOVERED UTILITIES IS NOT GUARANTEED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL UTILITIES BEFORE ANY EXCAVATION OR CONSTRUCTION WORK IS BEGUN. ANY UNDISCOVERED UTILITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CLIENT AND SHALL BE STOPPED IMMEDIATELY.

<p>Kimley-Horn        1000 WEST STREET, SUITE 100, GAINESVILLE, FL 32609        WWW.KIMLEY-HORN.COM   352.381.1100</p>	DATE
	REVISIONS
<p>PROJECT: EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP</p> <p>DATE: 08/20/2024</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: [Name]</p> <p>CHECKED BY: [Name]</p> <p>APPROVED BY: [Name]</p>	DATE
<p>EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP</p> <p>FLORIDA</p> <p>SHEET NUMBER: C-06A</p>	DATE



Wayne Titan  
 feet  
 Width : 4.46  
 Track : 5.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 45.0



Wayne Titan  
 CITY - REFUSE  
 (11)  
 82-288 Street Vehicle, No. 82 rights reserved.

U.S. 41  
 Correct road name is  
 S US Hwy 441.

**PROJECT DATA HOUSE**

**CALL 2 WORKING DAYS BEFORE YOU DIG**

**IT'S THE LAW!**  
DIAL 811

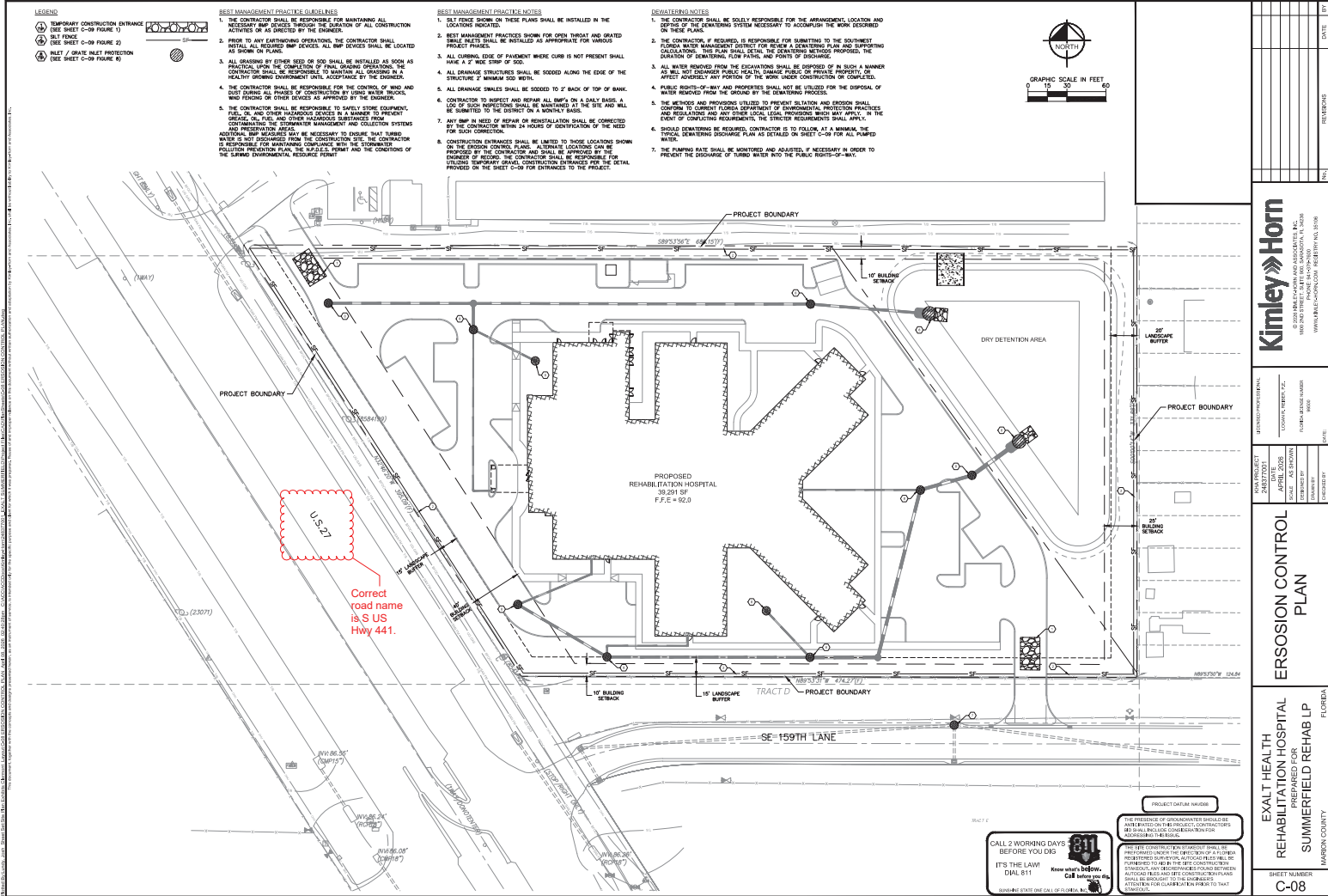
**811**  
Know what's BELOW. Call before you dig.

811 is a free service provided by the Florida Department of Transportation. It is not a guarantee of the accuracy of the information provided. Any discrepancies found between actual field and 811 data shall be brought to the digger's attention for clarification. It is the digger's responsibility to verify the location of all utilities before digging.

<b>Kimley Horn</b>	<b>EXALT HEALTH REHABILITATION HOSPITAL REHABILITATION PROJECT SUMMERFIELD REHAB LP</b>	<b>GARBAGE TRUCK ROUTING PLAN</b>	<b>FLORIDA</b>	<b>SEMI-ANNUAL</b>	<b>DATE</b>
PROJECT NO.: DATE: COUNTY: HERNANDO SCALE: AS SHOWN DRAWN BY: CHECKED BY: APPROVED BY: DATE:	SHEET NO.: SHEET TOTAL: DATE:	PROJECT NO.: DATE: COUNTY: HERNANDO SCALE: AS SHOWN DRAWN BY: CHECKED BY: APPROVED BY: DATE:	PROJECT NO.: DATE: COUNTY: HERNANDO SCALE: AS SHOWN DRAWN BY: CHECKED BY: APPROVED BY: DATE:	PROJECT NO.: DATE: COUNTY: HERNANDO SCALE: AS SHOWN DRAWN BY: CHECKED BY: APPROVED BY: DATE:	PROJECT NO.: DATE: COUNTY: HERNANDO SCALE: AS SHOWN DRAWN BY: CHECKED BY: APPROVED BY: DATE:
SHEET NUMBER: <b>C-06B</b>		FLORIDA		SEMI-ANNUAL	







- LEGEND**
- 1. TEMPORARY CONSTRUCTION ENTRANCE (SEE SHEET C-09 FIGURE 1)
  - 2. SILT FENCE (SEE SHEET C-09 FIGURE 2)
  - 3. SILT / GRATE INLET PROTECTION (SEE SHEET C-09 FIGURE 3)

**BEST MANAGEMENT PRACTICE GUIDELINES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES AS DIRECTED BY THE ENGINEER.
2. PRIOR TO ANY EARTHWORK OPERATIONS, THE CONTRACTOR SHALL INSTALL ALL REQUIRED BMP DEVICES. ALL BMP DEVICES SHALL BE LOCATED AS SHOWN ON PLANS.
3. ALL GRASSING BY OTHER SEED OR SOIL SHALL BE INSTALLED AS SOON AS PRACTICABLE. UPON THE COMPLETION OF FINAL GRASSING OPERATIONS, THE CONTRACTOR SHALL MAINTAIN AND MONITOR ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL ACCEPTABLE TO THE ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND SOIL DURING ALL PHASES OF CONSTRUCTION BY USING WIND BREAKS, WIND FENCES OR OTHER DEVICES AS APPROVED BY THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP STONE EQUIPMENT, LOGS, AND OTHER MATERIALS DEVICES IN A MANNER TO PREVENT OFF-SITE POLLUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTAMINATING THE DISPERSED MANAGEMENT AND COLLECTION SYSTEMS.

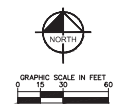
ADDITIONAL BMP DEVICES MAY BE NECESSARY TO ENSURE THAT EXCESS WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE CONTRACTOR'S POLLUTION PREVENTION PLAN, THE A.P.D.'S PERMIT AND THE CONDITIONS OF THE SAME ENVIRONMENTAL RESTORATION PERMIT.

**BEST MANAGEMENT PRACTICE NOTES**

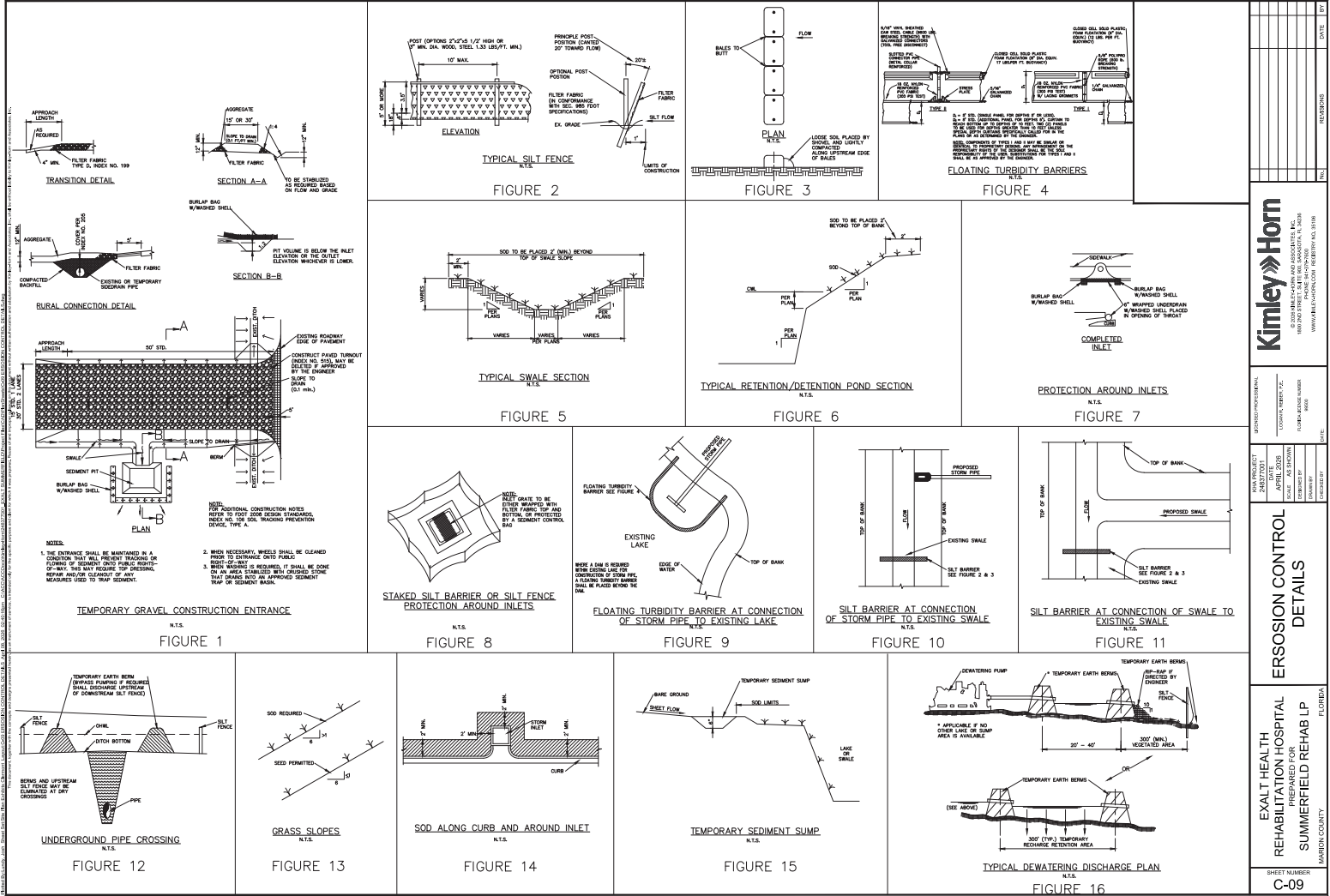
1. SILT FENCES SHOWN ON THESE PLANS SHALL BE INSTALLED IN THE LOCATIONS INDICATED.
2. BEST MANAGEMENT PRACTICES SHOWN FOR OPEN DRAINAGE AND GRATED DRAINAGE SHALL BE INSTALLED AS APPROPRIATE FOR VARIOUS PROJECT PHASES.
3. ALL CURBS, EDGE OF PAVEMENT WHERE CURB IS NOT PRESENT SHALL HAVE A 2" WIDE STRIP OF SOIL.
4. ALL DRAINAGE STRUCTURES SHALL BE SODDED ALONG THE EDGE OF THE STRUCTURE 2 MINIMUM SIDES WITH.
5. ALL DRAINAGE CHANNELS SHALL BE SODDED TO 2" BACK OF TOP OF BANK.
6. CONTRACTOR TO INSPECT AND REPAIR ALL BMP'S ON A DAILY BASIS. A LOG OF BMP INSPECTIONS SHALL BE MAINTAINED AS THE SITE AND WILL BE SUBMITTED TO THE DISTRICT ON A MONTHLY BASIS.
7. ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
8. CONSTRUCTION ENTRANCES SHALL BE LIMITED TO THOSE LOCATIONS SHOWN ON THE BROWN CONSTRUCTION PLANS. A TEMPORARY LOCATION CAN BE PROPOSED BY THE CONTRACTOR AND SHALL BE APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY GRANT, CONSTRUCTION ENTRANCES PER THE DETAIL PROVIDED ON THE SHEET C-09 FOR ENTRANCES TO THE PROJECT.

**DEWATERING NOTES**

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ARRANGEMENT, LOCATION AND DEPTH OF THE Dewatering SYSTEM NECESSARY TO ACCOMPLISH THE WORK DESCRIBED ON THESE PLANS.
2. THE CONTRACTOR, IF REQUIRED, IS RESPONSIBLE FOR SUBMITTING TO THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT FOR REVIEW A Dewatering PLAN AND SUPPORTING CALCULATION. THE PLAN SHALL SET FORTH THE Dewatering METHOD PROPOSED, THE DURATION OF Dewatering, FLOW PATHS, AND POINTS OF DISCHARGE.
3. ALL WATER REMOVED FROM THE EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID ANY ADVERSE EFFECTS TO THE SURROUNDING ENVIRONMENT OR TO THE EXISTING UTILITIES AND ANY OTHER LOCAL, STATE, FEDERAL, OR FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR THE DISPOSAL OF WATER REMOVED FROM THE EXCAVATIONS.
4. PUBLIC RIGHTS-OF-WAY AND PROPERTIES SHALL NOT BE UTILIZED FOR THE DISPOSAL OF WATER REMOVED FROM THE EXCAVATIONS.
5. THE METHODS AND PROCEDURES UTILIZED TO PREVENT SLURRY AND EROSION SHALL CONFORM TO CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRACTICES AND REGULATIONS AND ANY OTHER LOCAL, STATE, FEDERAL, OR FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR THE DISPOSAL OF WATER REMOVED FROM THE EXCAVATIONS.
6. SHOULD Dewatering BE REQUIRED, CONTRACTOR IS TO FOLLOW, AT A MINIMUM, THE FOLLOWING Dewatering DISCHARGE PLAN AS DETAILED ON SHEET C-09 FOR ALL PUMPED WATER.
7. THE PUMPING RATE SHALL BE MONITORED AND ADJUSTED, IF NECESSARY IN ORDER TO PREVENT THE DISCHARGE OF TURBID WATER INTO THE PUBLIC RIGHTS-OF-WAY.



PROJECT: EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP DATE: 08/20/2024 DRAWN BY: [Name] CHECKED BY: [Name] DESIGNED BY: [Name]	COUNTY: [Name] PROJECT NUMBER: [Number] SHEET NUMBER: C-08
<b>EROSION CONTROL PLAN</b>	
EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP FLORIDA	



EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP  
 10000 SUMMERFIELD BLVD, SUITE 100, SEASIDE, FL 32957  
 PROJECT NO. 2023-001  
 SHEET NO. C-09  
 DATE: 08/2023  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

**Kimley-Horn**

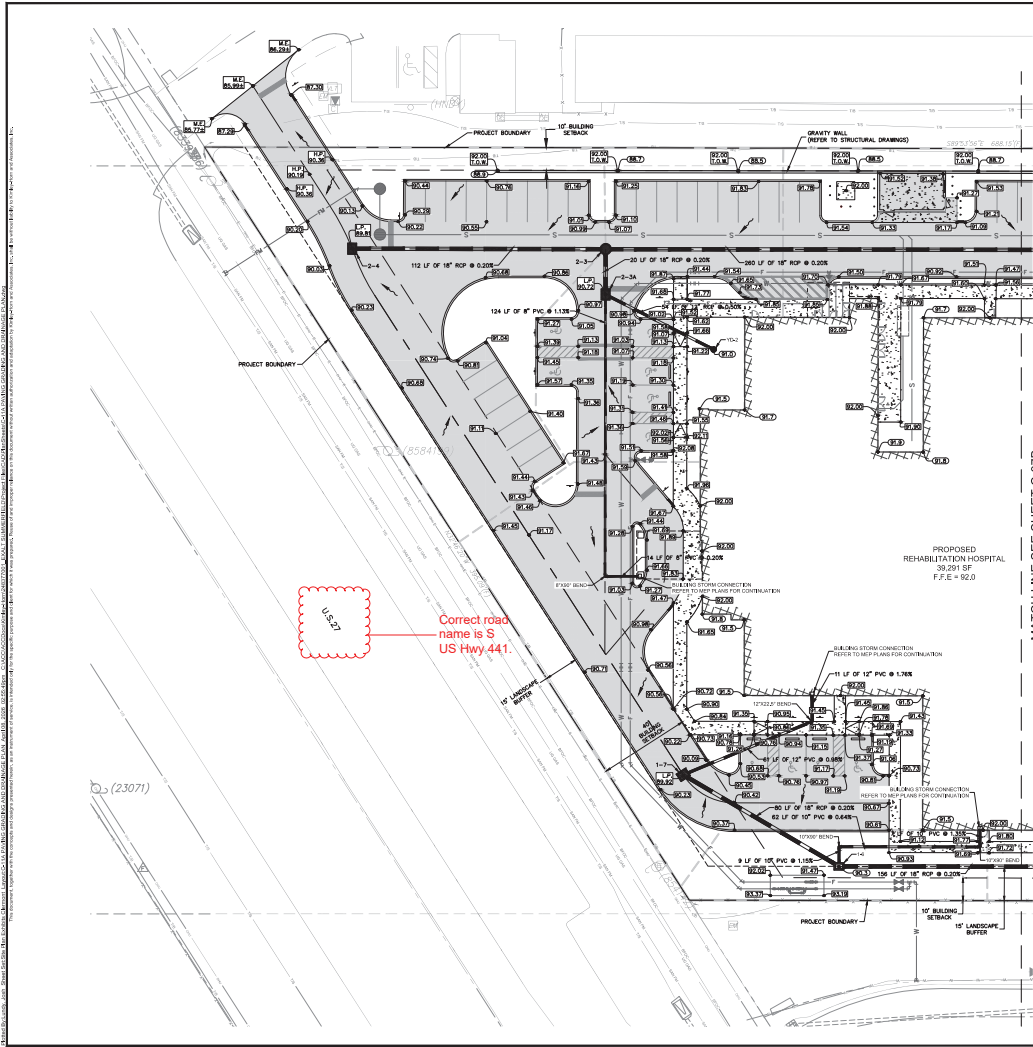
INCORPORATED  
 10000 SUMMERFIELD BLVD, SUITE 100, SEASIDE, FL 32957  
 WWW.KIMLEY-HORN.COM

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EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP  
 10000 SUMMERFIELD BLVD, SUITE 100, SEASIDE, FL 32957  
 PROJECT NO. 2023-001  
 SHEET NO. C-09  
 DATE: 08/2023  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP  
 10000 SUMMERFIELD BLVD, SUITE 100, SEASIDE, FL 32957  
 PROJECT NO. 2023-001  
 SHEET NO. C-09  
 DATE: 08/2023  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]





**PAVEMENT LEGEND**

STANDARD DUTY ASPHALT  
 HEAVY DUTY CONCRETE  
 CONCRETE SIDEWALK

**LEGEND**

PROPOSED STORM PIPE  
 MAJOR BASE LINE  
 MAJOR BASE LINE  
 PROPOSED PAVEMENT ELEVATION  
 EXISTING GRADE  
 MATCH EXISTING GRADE  
 HIGH POINT  
 LOW POINT  
 TOP OF WALL  
 BOTTOM OF WALL

- NOTES**
- SPOT GRADES ARE AT EDGE OF PAVEMENT ADJACENT TO CURB UNLESS OTHERWISE NOTED.
  - ELEVATIONS ARE FOR THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS NOTED.
  - ALL CURB RADIUS ARE 2', UNLESS OTHERWISE NOTED.
  - ALL HANDICAP PARKING SPACES (HPS) SHALL BE CONSTRUCTED WITH TACTILE SURFACES. SEE DETAIL PER FLAG-1, INDEX NO. 102-100.
  - STORM PIPING MATERIAL AND INSTALLATION SHALL BE FOR STATE AND FOOT OPERATIONS FOR THE APPLICATION SPECIFIED.
    - PAVED ROP OR TOP
    - UNPAVED ROPE, OR ROP
  - FOR ROOF DRAIN CONNECTIONS REFER TO ARCHITECTURAL DRAWINGS FOR CONNECTION.

- |  |   |
|--|---|
| 1-6<br>100' TYPE 10" BILET<br>SMA #4830, 27.92 FT<br>GRADE/NO. 9033<br>RV IN: 85.30 (S)<br>RV OUT: 85.30 (S) | 2-3A<br>100' TYPE 10" BILET<br>SMA #4830, 20.00 FT<br>GRADE/NO. 9033<br>RV IN: 85.32 (S)<br>RV OUT: 85.32 (S) |
| 1-7<br>100' TYPE 10" BILET<br>SMA #4830, 0.00<br>GRADE/NO. 9033<br>RV IN: 85.30 (S)<br>RV OUT: 85.32 (S)     | 2-4<br>100' TYPE 10" BILET<br>SMA #4830, 0.00<br>GRADE/NO. 9033<br>RV IN: 85.30 (S)<br>RV OUT: 85.30 (S)      |
| 2-5<br>200' TYPE 10" BILET<br>SMA #4830, 11.75 FT<br>GRADE/NO. 9033<br>RV IN: 85.30 (S)<br>RV OUT: 85.30 (S) | 2-6<br>200' TYPE 10" BILET<br>SMA #4830, 11.75 FT<br>GRADE/NO. 9033<br>RV IN: 85.30 (S)<br>RV OUT: 85.30 (S)  |

US-27  
 Correct road name is S  
 US Hwy.441.

MATCH LINE SEE SHEET C-07B

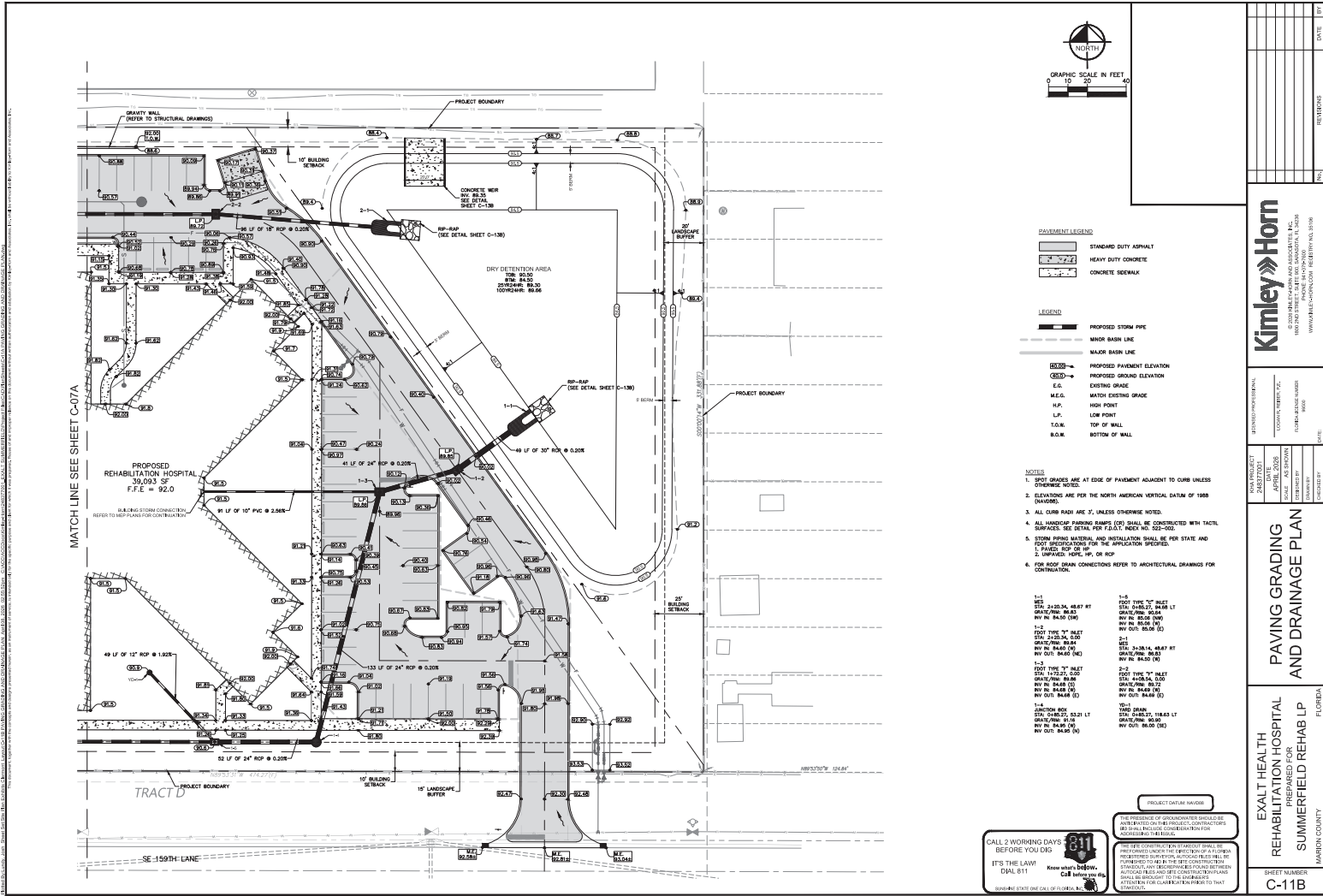
**CALL 2 WORKING DAYS BEFORE YOU DIG**  
 IT'S THE LAW!  
 DIAL 811  
 Call when a BOBOW. Call before you dig.  
 SUBMIT THE TIME CALL TO 811.CALLS.N.C.

**PROJECT DATA TABLE**

THE PRESENCE OF ENVIRONMENTAL REGULATIONS AUTHORITY ON THE PROJECT CONTRACTORS SHALL INCLUDE CONSIDERATION FOR REGULATIONS THEREIN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. ANY REGULATIONS FOUND BETWEEN APPLICABLE AGENCIES AND THE CONTRACTOR SHALL BE BROUGHT TO THE CONTRACTOR'S ATTENTION FOR CLARIFICATION PRIOR TO THAT DATE.

	PROJECT NO. 230707 DATE: 08/20/2024 SCALE: AS SHOWN DRAWN BY: J. BROWN CHECKED BY: J. BROWN ESTIMATED BY: J. BROWN APPROVED BY: J. BROWN	SHEET NO. C-11A SHEET NAME: EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP AND DRAINAGE PLAN PROJECT NAME: EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP PROJECT ADDRESS: 11000 SUMMERFIELD BLVD, TAMPA, FL 33613 PROJECT NUMBER: 230707 PROJECT DATE: 08/20/2024	DATE: 08/20/2024 BY: J. BROWN CHECKED BY: J. BROWN APPROVED BY: J. BROWN
	EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP AND DRAINAGE PLAN FLORIDA HARRISON COUNTY		



**PAVEMENT LEGEND**

STANDARD DUTY ASPHALT

HEAVY DUTY CONCRETE

CONCRETE SIDEWALK

**LEGEND**

PROPOSED STORM PIPE

MANHOLE BASIN LINE

MAJOR BASIN LINE

PROPOSED PAVEMENT ELEVATION

PROPOSED GROUND ELEVATION

E.G. EXISTING GRADE

M.E.S. MATCH EXISTING GRADE

H.P. HIGH POINT

L.P. LOW POINT

T.O.W. TOP OF WALL

B.O.B. BOTTOM OF WALL

- NOTES**
1. SPOT GRADES ARE AT EDGE OF PAVEMENT ADJACENT TO CURB UNLESS OTHERWISE NOTED.
  2. ELEVATIONS ARE FOR THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
  3. ALL CURB RADIUS ARE 2', UNLESS OTHERWISE NOTED.
  4. ALL HANDICAP PARKING SPACES (HPS) SHALL BE CONSTRUCTED WITH TACTILE SURFACES. SEE DETAIL PER FLAGG, INDEX NO. 802-1003.
  5. STORM PIPING MATERIAL AND INSTALLATION SHALL BE PER STATE AND LOCAL SPECIFICATIONS FOR THE APPLICATION SPECIFIED.
    1. PAVED, RCP OR UP.
    2. UNPAVED, HOPE, UP OR RCP.
  6. FOR ROOF DRAIN CONNECTIONS REFER TO ARCHITECTURAL DRAWINGS FOR CONNECTION.

<p>1-1 STA. 2+20.34, 45.87 FT GRAVELING 48.51 INV IN 84.00 (S)</p> <p>1-2 POST TYPE "T" INLET STA. 2+20.34, 5.00 GRAVELING 84.54 INV IN 84.00 (S) INV OUT 84.48 (S)</p> <p>1-3 POST TYPE "T" INLET STA. 1+52.32, 5.00 GRAVELING 84.54 INV IN 84.00 (S) INV OUT 84.48 (S)</p> <p>1-4 JUNCTION BOX STA. 0+82.37, 53.21 LT GRAVELING 84.54 INV IN 84.00 (S)</p>	<p>1-5 POST TYPE "T" INLET STA. 2+18.37, 48.56 LT GRAVELING 84.51 INV IN 83.06 (W) INV IN 83.00 (V) INV OUT 83.06 (S)</p> <p>2-1 STA. 2+38.14, 45.87 FT GRAVELING 84.51 INV IN 84.00 (S)</p> <p>2-2 POST TYPE "T" INLET STA. 2+38.14, 5.00 GRAVELING 84.51 INV IN 84.00 (S) INV OUT 84.48 (S)</p> <p>2-3 JUNCTION BOX STA. 2+48.37, 18.63 LT GRAVELING 84.54 INV OUT 84.00 (S)</p>
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PROJECT DATA TABLE

CALL 2 WORKING DAYS BEFORE YOU DIG  
IT'S THE LAW!  
DIAL 811  
Call when a B.O.B.W. Call before you dig.

THE PROVIDER OF PROFESSIONAL SERVICES IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED TO HIM BY THE SUB-CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AND FOR OBTAINING ANY NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE PROTECTION OF THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC AND FOR THE PROTECTION OF THE ENVIRONMENT.

**Kimley Horn**

EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP

PAVING GRADING AND DRAINAGE PLAN

FLORIDA

PROFESSIONAL ENGINEER

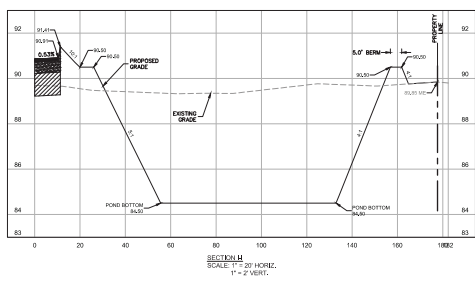
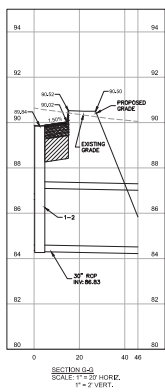
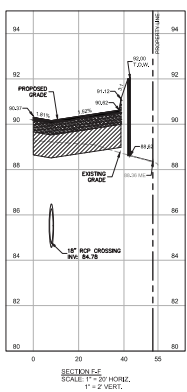
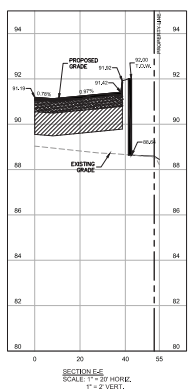
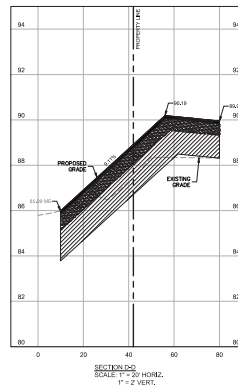
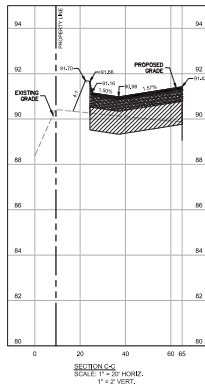
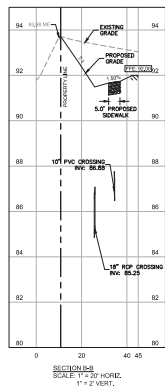
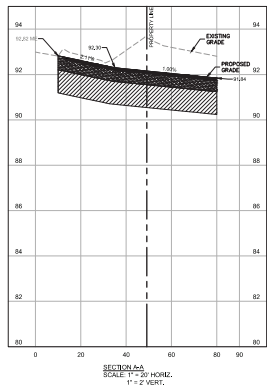
DATE: 08/14/2018

PROJECT NO: 18-0001

SHEET NO: C-11B

DATE: 08/14/2018

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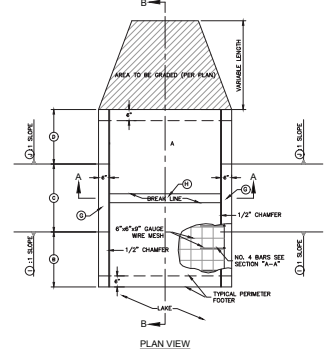
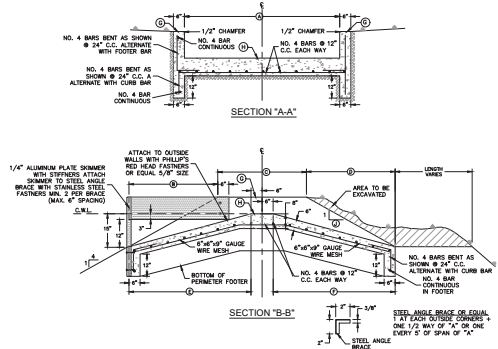
**CALL 2 WORKING DAYS BEFORE YOU DIG**  
 IT'S THE LAW!  
 DAL 611  
 811

**PROJECT DATA TABLE**  
 THE PRESENCE OF UNDEGROUND UTILITIES ATTRIBUTED TO THE PROJECT CONTRACTORS SHALL INCLUDE CONSTRUCTION OF THE FOLLOWING:  
 ALL NEW UTILITIES SHALL BE INSTALLED AND SHALL BE PROTECTED UNDER THE PROTECTION OF A CONCRETE PROTECTIVE PIPE COVER. ALL EXISTING UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR.

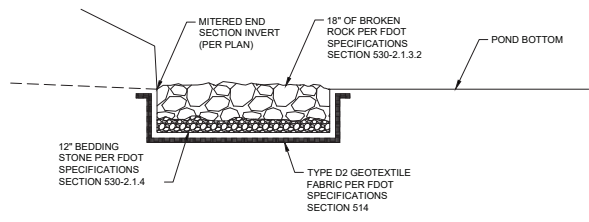
		PROJECT: EXALT HEALTH REHABILITATION HOSPITAL REHAB LP DATE: 08/20/2024 SCALE: AS SHOWN DRAWN BY: [Name] CHECKED BY: [Name]	
		SHEET NUMBER: C-12	
PROJECT LOCATION: [Address] COUNTY: [County]		DATE: [Date] REVISIONS: [Table]	



STRUCTURE NUMBER	CONTROL WEIR DATA CHART										REMARKS
WEIR-1	25'	15'	5'	5'	15'	15'	15'	55.30'	4.0'	4.0'	



**TYPICAL CONTROL WEIR**  
SDKH123A.DWG N.T.S.



**RIP-RAP DETAIL**

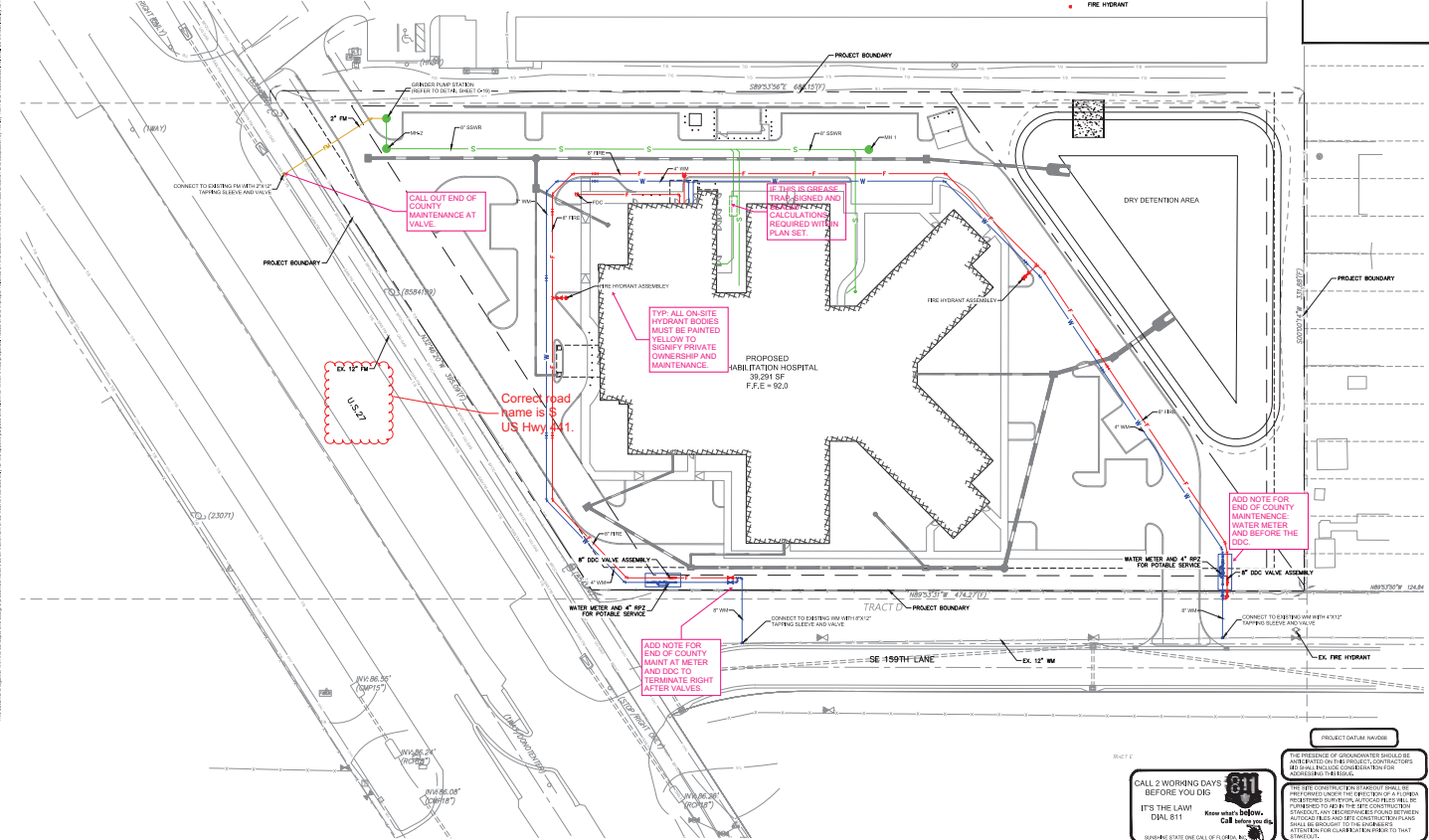
1800 END STREET, SUITE 100, WILMINGTON, N.C. 28403 WWW.KIMLEY-HORN.COM RECEIVING NO. 12008	
LISTED PROFESSIONAL ENGINEER NO. 10007 STATE OF NORTH CAROLINA EXPIRES 12/31/2017	DATE: 10/1/2017 DRAWN BY: J. SMITH CHECKED BY: J. SMITH IN CHARGE: J. SMITH
<b>CONSTRUCTION DETAILS</b>	
EXALT HEALTH REHABILITATION HOSPITAL RECONSTRUCTION OF THE SUMMERFIELD REHAB LP WILMINGTON COUNTY, FLORIDA	
SHEET NUMBER <b>C-13B</b>	

- NOTES:**
1. ALL UTILITIES SHALL BE REIN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
  2. SLOPE OF EXISTING PIPE SHALL BE MAINTAINED. PIPES SHALL BE SLOPED OR GRADATED FOR SLOPES LESS THAN 1% PIPES SHALL BE SLOPED FOR SLOPES GREATER THAN 1%.
  3. PROPOSED WATER MAINS SHALL BE AS FOLLOWS: DISTRIBUTION SYSTEMS SHALL BE 12" OR 18" DIAMETER. MAINS SHALL BE 24" OR 30" DIAMETER. PIPES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED. PIPES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED. PIPES SHALL BE 24" DEEP UNLESS OTHERWISE NOTED. PIPES SHALL BE 30" DEEP UNLESS OTHERWISE NOTED.
  4. EXISTING SANITARY SEWER MAINS SHALL BE 18" OR 24" DIAMETER. PIPES SHALL BE 15' DEEP UNLESS OTHERWISE NOTED. PIPES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED. PIPES SHALL BE 24" DEEP UNLESS OTHERWISE NOTED. PIPES SHALL BE 30" DEEP UNLESS OTHERWISE NOTED.
  5. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
  6. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3' COVER ON ALL UTILITIES.
  7. UNDESIRABLE UTILITIES SHALL BE REPAIRED, SUSPECTED AND APPROVED BEFORE INSTALLATION.
  8. TOPS OF STRUCTURE MANHOLES SHALL BE RAISED AS NECESSARY TO BE ALIGNED WITH PROPOSED FINISHED SURFACE ELEVATIONS.
  9. ALL CONCRETE ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH AT 3000 P.S.I.
  10. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY UTILITIES.
  11. REFER TO INTERFERING PLANNING DRAWINGS FOR PLAN OF ALL UTILITIES. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN IN THESE PLANS IS BASED ON RECORDS OF THE UNIVERSITY CITY COMPANY, AND WHERE POSSIBLE, ENCASUREMENTS SHALL BE MADE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO VERIFY THE LOCATION AND DEPTH OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INTERFERENCES AND COVER REPAIRS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
  12. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION OF NECESSARY ENCASUREMENTS AND SPECIAL CONDITIONS.
  13. PROTECT ALL TREES AND VEGETATION FROM EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES.
  14. REFER TO SHEETS C-14 AND C-15 FOR UTILITY CROSSING AND VERTICAL CLEARANCE DETAILS.

**LEGEND**

- PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
- FIRE MAIN
- GATE VALVE
- WATER MAIN
- EXISTING WATER MAIN
- PROPOSED SANITARY SEWER MAIN
- EXISTING SANITARY SEWER MAIN
- PROPOSED FORCE MAIN
- EXISTING FORCE MAIN
- PROPOSED GAS LINE
- W.M. WATER MAIN
- F.M. FORCE MAIN
- S.S.W. SANITARY SEWER
- S.S.S.W. SANITARY SEWER MANHOLE
- W.V. WATER VALVE
- F.V. FIRE VALVE

**GRAPHIC SCALE IN FEET**  
0 10 20 30 40



**Kimley Horn**  
CONSULTING ENGINEERS, ARCHITECTS, PLANNERS  
1000 N. UNIVERSITY AVENUE, SUITE 100  
ANN ARBOR, MI 48106  
WWW.KIMLEYHORN.COM

**MASTER UTILITY PLAN**

**EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP**  
FLORIDA

**PROJECT DATA TABLE**

PROJECT NO.	20180701
DATE	07/11/2018
SCALE	AS SHOWN
DESIGNED BY	DAVID J. HORN
CHECKED BY	DAVID J. HORN
DATE	07/11/2018

**PROJECT DATA TABLE**

PROJECT NO.	20180701
DATE	07/11/2018
SCALE	AS SHOWN
DESIGNED BY	DAVID J. HORN
CHECKED BY	DAVID J. HORN
DATE	07/11/2018

**REVISIONS**

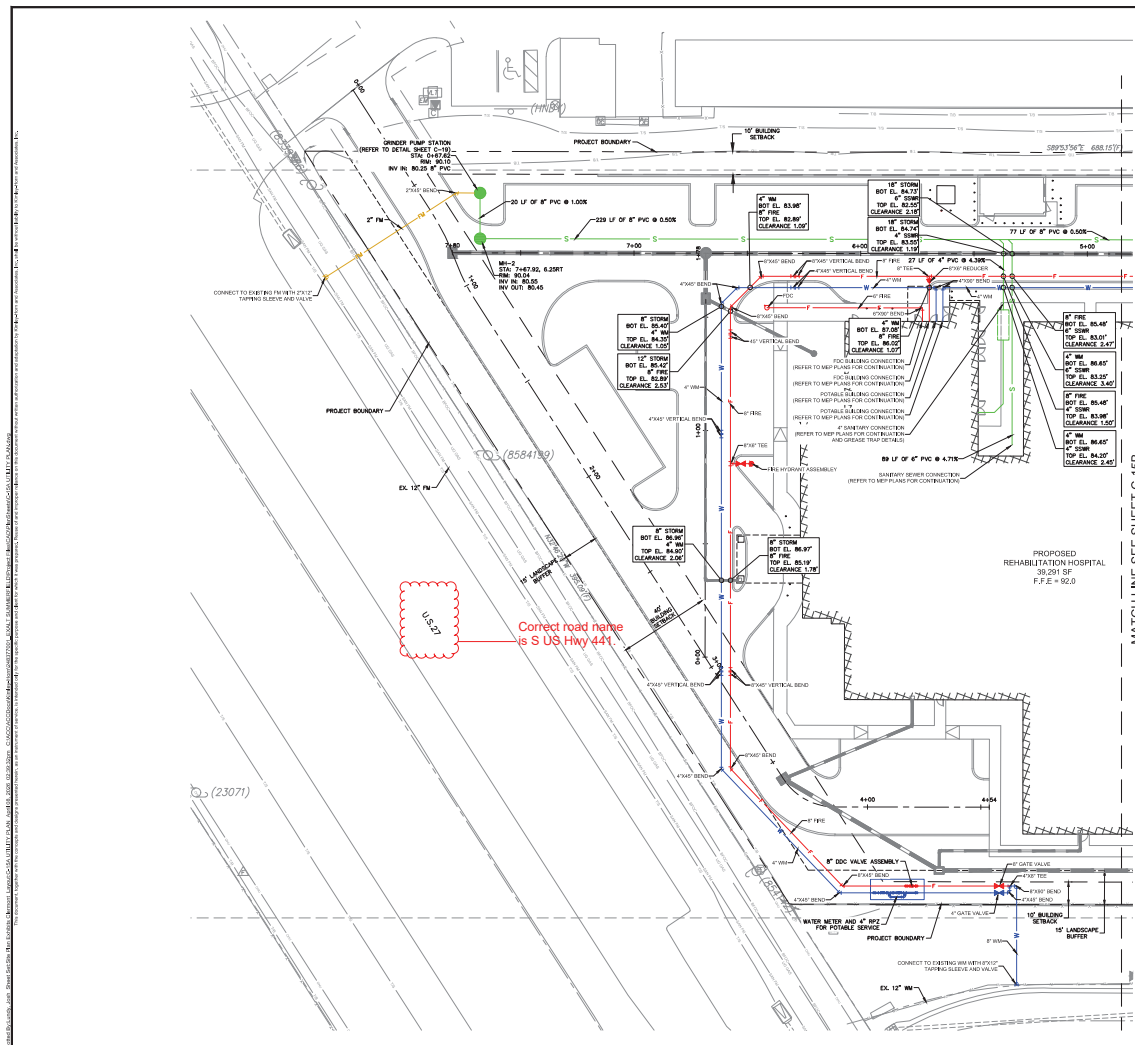
NO.	DATE	BY	DESCRIPTION


**SHEET NUMBER**  
C-14

**CALL 2 WORKING DAYS BEFORE YOU DIG**  
IT'S THE LAW!  
DIAL 811  
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**PROJECT DATA TABLE**

THE PRESENCE OF UNDESIRED UTILITIES IS NOT GUARANTEED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ENCLOSURES FROM THE APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND VEGETATION FROM EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INTERFERENCES AND COVER REPAIRS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.





GRAPHIC SCALE IN FEET  
0 10 20 30

**LEGEND**

- PROPOSED WATER SERVICE
- PROPOSED SINGLE SEWER SERVICE
- FIRE MAIN
- GAS
- WATER MAIN
- EXISTING WATER MAIN
- PROPOSED SANITARY SEWER MAIN
- EXISTING SEWER MAIN
- PROPOSED FORCE MAIN
- EXISTING FORCE MAIN
- PROPOSED GAS LINE
- WM, WATER MAIN
- FM, FORCE MAIN
- S.S.R., SANITARY SEWER
- SANITARY SEWER MANHOLE
- VALVE
- FIRE HYDRANT

**NOTES:**

1. ALL FIRE MAINS TO BE IN PLACE AND COMPLETED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. SANITARY SEWER SERVICE SHALL BE AS FOLLOWS:
  - (A) 12\"/>
3. POTABLE WATER SHALL BE AS FOLLOWS: DISTRIBUTION SYSTEMS PER 905.02 SHALL BE 1/2\"/>
4. DESIGNATED FIRE LINES SERVING BUILDING STRUCTURE SPRINKLER SYSTEMS SHALL BE 100% COVER ON ALL INTERSECTIONS.
5. ALL UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
6. TYPE OF FIBER OPTIC MANHOLES SHALL BE DETERMINED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT SURFACE ELEVATIONS.
7. ALL CONCRETE ENCLOSURES SHALL HAVE A MINIMUM STRENGTH COMPRESSIVE STRENGTH AT 28 DAYS.
8. EXISTING UTILITIES SHALL BE VERIFIED BY FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
9. REFER TO OTHER PLANNING DRAWINGS FOR THE AN OF ALL UTILITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, ELEVATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS BASED ON RECORDS OF THE PROJECT. FIELD VERIFICATION IS REQUIRED WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD SHALL BE RESPONSIBLE TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, ELEVATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, ELEVATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, ELEVATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS.
11. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND TESTING TO BE REQUIRED BY CODE AND/OR UTILITY SERVICE COMPANY.
12. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
13. PROVIDE 10' MIN. SEPARATION FROM EXISTING TREES TO PROPOSED UTILITY LINES.
14. REFER TO OTHER PLANS FOR A GUIDE FOR UTILITY CROSSING AND VERTICAL CLEARANCE DETAILS.


  

**PROJECT DATA TABLE**

PROJECT NAME	EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP
DATE	10/20/2023
SCALE	AS SHOWN
DESIGNED BY	XXXXXXXXXX
CHECKED BY	XXXXXXXXXX
DATE	10/20/2023

**CALL 2 WORKING DAYS BEFORE YOU DIG**  
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**PROJECT DATA TABLE**

PROJECT NAME	EXALT HEALTH REHABILITATION HOSPITAL SUMMERFIELD REHAB LP
DATE	10/20/2023
SCALE	AS SHOWN
DESIGNED BY	XXXXXXXXXX
CHECKED BY	XXXXXXXXXX
DATE	10/20/2023









