

January 8, 2025

PROJECT NAME: MARION OAKS UNIT 9 TOWNHOMES

PROJECT NUMBER: 2024070047

APPLICATION: MAJOR SITE PLAN #32259

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Verify with Sunbiz and project list. HR 12/17/24

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Water/Central Sewer
- 3 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU water service area with available water - connections shown
- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU sewer service area with available sewer ~1520' away (effective 10/3/24)
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)
STATUS OF REVIEW: INFO
REMARKS:
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability

- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.D - Hydraulic Analysis
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Bill of Sale
STATUS OF REVIEW: INFO
REMARKS: A Bill of Sale will be required before any DEP clearances are signed out by MCU. The Bill of Sale shall include (1) a completed cover document executed by ownership with two witnesses, (2) an Exhibit A of all materials installed with unit pricing for any water/wastewater components installed that shall be conveyed to MCU for future ownership, operation, and maintenance, and (3) an as-built which represents the items on Exhibit B. The as-built shall include all features identified in Code Sec 6.14.8.A with state plane coordinates. Since this item is required to be completed before respective DEP Clearance, it is typically the EoR that coordinates this item. The forms & process will be discussed at the pre-construction meeting after plan approval; EoR is expected to be in this pre-con, in addition to ownership & selected contractors.
- 14 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO REMARKS: Defer to MCFR - MCU water is available
- 15 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention
STATUS OF REVIEW: INFO
REMARKS: Sheet C003 - RPZ not needed on residential units, only irrigation
- 16 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.16.5.A & B - Private Wastewater Pump Stations
STATUS OF REVIEW: INFO
REMARKS: MCU reserves comment on this checklist item until developer/EoR response to wastewater availability
- 17 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: \$225 - to pay by phone call 352-671-8686 & reference AR 32259 Utility Review Fee
- 18 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: This area may be impacted by other multi-family development which may happen before or after approval of this site plan - if so, the developer of this parcel may end up having to (1) perform less than designed main extensions or (2) developing for other parcels which are not subject to any payback. MCU has no control over their plan approval, start/completion dates, or main installation scheduled.

- 19 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: MCU reserves the right to reject the building permit application until this Major Site Plan is fully approved by DRC.
- 20 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: No water meters will be authorized to be installed until this project is cleared by MCU Construction Officer Brian Nabbie. "Cleared" includes: all punchlist items complete, Bill of Sale in-hand, and DEP Clearances issued. Once project is completed, allow up to 5 working days for meter to be installed. To follow up on meter installations, contact MCU Customer Service at 352-307-6000; include building permit number.
- 21 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: Capital charges will apply and shall be paid prior to permit issuance. This information will be part of the utility account setup by MCU Permitting - 352-671-8533
- 22 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: Sheet ID "Layout w/Aerial" is not required to have the utility details or utility plan. While MCU doesn't have an issue with this sheet, we will not be using it; if another department requested the aerial, it can be cleared of all the utility components (unless they specifically requested it).
- 23 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: SUGGESTION ONLY - Sheet C005 titled "Utility Plan" maybe better served to be titled "Utility Details" but it may change the ability to properly re-version the sheet in ePlans (?) - please consult with Development Review staff 352-671-8686 for guidance before changing the page name. MCU will accept whichever outcome works best upon resubmittal.
- 24 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 12/3/24-add waivers if requested in future
- 25 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be

issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 26 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This item will be reviewed at resubmittal
- 27 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 28 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 29 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 30 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.6.C - Best Management Practices
STATUS OF REVIEW: NO
REMARKS: Please provide a Karst repair detail
- 31 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria
STATUS OF REVIEW: NO
REMARKS: See comment under "6.13.8.B(7) - Minimum Pipe Size"
- 32 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis
STATUS OF REVIEW: NO
REMARKS: See comment under "6.13.8.B(7) - Minimum Pipe Size"
- 33 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size
STATUS OF REVIEW: NO
REMARKS: Minimum pipe size is 18" diameter. Staff may support a waiver provided supporting calculations
- 34 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 7.1.3 - Drainage Construction Specifications
STATUS OF REVIEW: NO
REMARKS: LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site

specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback.

- 35 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.
- 36 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A - Water Connection Requirements
STATUS OF REVIEW: NO
REMARKS: NO - Sheet C003 - differentiate existing water main from proposed/new 155 LF water main extension.
INFO - [Since the water main runs along the full southern property boundary, Code does not require any additional water main construction if developer opts to not build this additional WM]
- 37 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A - Sewer Connection Requirements
STATUS OF REVIEW: NO
REMARKS: 5 units is a sewer connection distance of 1600' - new sewer main is available to connect as of 10/3/24 ~1520' away. Sewer connection required if the development is going to stay at 5 units; sewer connection can be eliminated if the units is reduced to 4 (1280' reach & outside connection distance requirement). Applicant must (1) reduce dwellings, or (2) include sewer connection, showing offsite sewer main extension, lift station hydraulics, and private LS specs. Reserve future wastewater comments until resubmittal.
- 38 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate
STATUS OF REVIEW: NO
REMARKS: flow demands for multi-family are 320 GPD; please revise cover sheet/demands as stated at 400 GPD
- 39 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified
STATUS OF REVIEW: NO
REMARKS: Identify where total irrigated SF is for irrigation meter - this will be used to calculate capacity charges when irrigation meter is requested of MCU Customer Service. Figure can be in response and/or on Sheet C003 when resubmitted.
- 40 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate
STATUS OF REVIEW: NO
REMARKS: flow demands for multi-family are 320 GPD; please revise cover sheet/demands as stated at 400 GPD

- 41 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:
STATUS OF REVIEW: NO
REMARKS: Add to Sheet C003 "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."
- 42 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts
STATUS OF REVIEW: NO
REMARKS: Add note to Sheet C003 "Surveyor shall deliver through EoR .pdf and .dwg as-builts including NAD 83 W coordinates for all features per Code defined in Sec 6.14.8A. As-builts shall be submitted to MCU a minimum of two weeks prior to any FDEP clearance request. This will allow for adequate time to review ahead of the Bill of Sale and clearance request and avoid delay. Delayed/expired BacTs as a result of insufficient time shall be Owner/Developer's sole expense." Northings and Eastings shall be required on all features in this section of Code.
- 43 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.A - Potable Water Metering - individual/banked, size
STATUS OF REVIEW: NO
REMARKS: Per MCU detail UT202 a max of 5 meters allowed on a 2" supply. Revise bank or adjust service size to support a larger bank. Call out revision on Sheet C003
- 44 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.B - Irrigation Water Metering - size
STATUS OF REVIEW: NO
REMARKS: Sheet C003 - call out size of irrigation meter in "Utility Connection Detail"
- 45 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?
STATUS OF REVIEW: NO
REMARKS: Revise the plan to add the following advisory note:
"DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MARION OAKS VESTED DRI AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES."



Marion County
Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32259

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 01/06/2025 Parcel Number(s): 8009-1279-21 Permit Number: 32259

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Marion Oaks Unit 9 Townhomes Commercial or Residential
Subdivision Name (if applicable): Marion Oaks Unit 9
Unit Block 1279 Lot 21

B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s), or the owner(s) may sign below, authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): 4C Partners, LLC (Rodrigo De Santi)
Property Owner's Signature: _____
Property Owner's Mailing Address: 2101 Park Center Drive, Suite 50
City: Orlando State: FL Zip Code: 32835 Phone # (305) 336-5484

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process. Letters will be faxed or emailed to the applicant.

Firm Name (if applicable): Menadier Engineering, LLC Contact Name: Bill Menadier, PE
Mailing Address: 13800 Tech City Circle, D302 City: Alachua State: FL Zip Code: 32615
Phone # (386) 347-5133 Alternate Phone # _____
FAX Number or Email address: wmenadier@menadier.com

D. WAIVER INFORMATION:

Section & Title of Code: Section 6.14.2.A Sewer Connection Requirements
Reason/Justification for Waiver Request: Waive the connection requirement. Project was not within connection distance during Minor Site Plan review. Required distance is 1600-ft and as of Oct 3, 2024 the nearest connection point is 1520-ft. Project and property aquisition was based on due diligence performed by client. Marion County Utilities provided email stating that sewer connection would not be required for five units.
(Attach sheet 3 for additional waivers)

FOR STAFF USE ONLY:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

Zoning Use: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ Must Vacate Plat: Yes No Date: _____ Verified by: _____
Land Use: _____ Date: _____ Verified by: _____

"Meeting Needs by Exceeding Expectations"

A MARION COUNTY MAJOR SITE PLAN FOR: Marion Oaks Unit 9 Townhomes

PREPARED FOR:
4C PARTNERS, LLC

MAINTENANCE PRACTICE AND SCHEDULE INSTRUCTIONS

MAINTENANCE RESPONSIBILITIES:

THIS PROJECT HAS BEEN DESIGNED TO PROVIDE SUITABLE REMOVAL OF STORM WATER FROM THE PROJECT USE AREA. THE RETENTION BASIN WAS SIZED TO MEET BOTH LOCAL AND STATE REQUIREMENTS. THE PROPOSED BASIN WILL ATTENUATE THE REQUIRED DESIGN STORMS WITH ZERO DISCHARGE TO ASSURE PROPER FUNCTIONING OF THE FACILITIES AFTER COMPLETION OF CONSTRUCTION. THE FOLLOWING RECOMMENDATIONS ARE SUGGESTED:

- ASPHALT PAVEMENT
 - AFTER COMPLETION OF CONSTRUCTION, THE INSIDE EDGES OF ALL TURNING RADII SHALL BE MONITORED TO ASSURE NO POTHoles, ETC. OCCUR BEHIND THE CURBING.
 - ALL PAVEMENT SHALL BE MONITORED TO ASSURE NO FAILURES OCCUR. IF A HOLE DEVELOPS, CUT A SQUARE EDGE AROUND FAILURE AND REPAIR WITH FULL DEPTH OF ASPHALT.
 - ASPHALT PAVEMENT SHALL BE CLOSELY MONITORED TO ASSURE NO FUEL SPILLAGE OCCURS THAT WOULD DESTROY BOTH PAVEMENT AND ALSO GRASS IN THE RETENTION BASIN. IF A SPILL DOES OCCUR, FLOOD IMMEDIATELY WITH LARGE VOLUMES OF WATER.
 - REPAIR ANY BROKEN CURBING IMMEDIATELY.
- CULVERTS
 - ALL CULVERTS MUST BE MAINTAINED TO ASSURE COMPLETE FULL VOLUME. IF THE ENDS BECOME CRUSHED OR SEDIMENT BUILDS UP IN THE CULVERTS, REPAIR AND/OR CLEAN IMMEDIATELY.
 - ALL DRAINAGE CULVERTS SHOULD BE INSPECTED QUARTERLY AND CLEANED TO ASSURE FULL VOLUME CAPACITY.
- GRATE INLETS
 - MAKE SURE GRATES ARE NOT CLOGGED WITH DEBRIS AFTER EACH RAINSTORM.
 - MAKE QUARTERLY CHECKS OF INTERIOR OF CONCRETE INLET AND REMOVE ANY SEDIMENT BUILDUP THAT OCCURRED.
 - ANY BROKEN GRATES OVER THE INLETS MUST BE REPLACED IMMEDIATELY.

REQUESTED WAIVERS APPROVED BY DRC ON JULY 29, 2024:

SECTION 6.12.12 SIDEWALKS
WAIVER TO CONSTRUCT SIDEWALKS ALONG TWO ADJACENT STREETS. PAYMENT IN LIEU OF CONSTRUCTING 339 L.F. OF SIDEWALK.

TRAFFIC STATEMENT:

PROPOSED DEVELOPMENT

MULTI-FAMILY HOUSING (LOW RISE)
ITE CODE: 220
DWELLING UNITS - 5

WEEKDAY

AVERAGE RATE: T = 6.74(x)
6.74(5) = 34 VTPD
TRIP DISTRIBUTION: 50% ENTER/ 50% EXIT
ENTERING: 17 VTPD
EXITING: 17 VTPD

A.M. PEAK HOUR (7AM-9AM)

AVERAGE RATE: T = 0.40 (x)
0.40(5) = 2 VTPH
TRIP DISTRIBUTION: 24% ENTER/ 76% EXIT
ENTERING: 0 VTPH
EXITING: 2 VTPH

P.M. PEAK HOUR (4PM-6PM)

AVERAGE RATE: T = 0.51 (x)
0.51 (5) = 2 VTPH
TRIP DISTRIBUTION: 55% ENTER/ 37% EXIT
ENTERING: 3 VTPH
EXITING: 1 VTPH

PROJECT WATER AND SEWER DEMANDS:

SANITARY SEWER DEMAND
THIS PROJECT WILL BE SERVED BY INDIVIDUAL SEPTIC TANK AND DRAINFIELDS.

MULTI-FAMILY RESIDENCE

3 BEDROOM DWELLING UNITS
300 GPD/ DU X 3 DU = 900 GPD

4 BEDROOM DWELLING UNITS
400 GPD/ DU X 2 DU = 800 GPD
TOTAL SEWER DEMAND = 1,700 GPD

WATER DEMAND - 1.2 x SEWER DEMAND
1.2 x 1,700 GPD = 2,040 GPD

IRRIGATION DEMAND - SEE SHEET L002

OPEN SPACE CALCULATIONS:

PROPOSED IMPROVEMENTS

PARCEL AREA: 30,258 S.F. (0.69 ACRES)

EXISTING IMPERVIOUS AREA 0 S.F.

PROPOSED IMPERVIOUS AREA
BUILDING 6,128 S.F.
ASPHALT 5,794 S.F.
CONCRETE 455 S.F.
TOTAL 12,377 S.F. (40.9%)

PROPOSED WATER RETENTION AREA: 2,394 S.F. (7.9%)

TOTAL OPEN SPACE PROVIDED - 15,458 S.F. (51.2%)
WATER RETENTION AREA NOT INCLUDED IN OPEN SPACE

STORMWATER WATERSHED DATA:

CONTRIBUTING AREA:
OFFSITE - 0 S.F.
ON-SITE - 22,269 S.F.
TOTAL 22,269 S.F. (0.51 ACRES)

EXISTING IMPERVIOUS AREA 0 S.F. (OFFSITE)

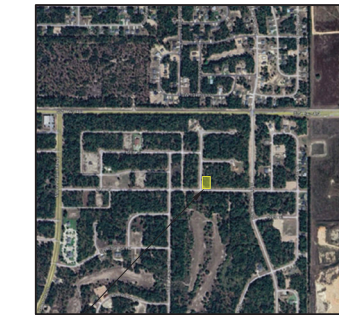
PROPOSED IMPERVIOUS AREA
BUILDING 6,128 S.F.
ASPHALT 5,794 S.F.
CONCRETE 455 S.F.
TOTAL 12,377 S.F.

CONCURRENCY NOTE:

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTY(IES) ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.



PROJECT NUMBER: 2024-01-015



SECTION 08, TOWNSHIP 17 S, RANGE 21 E
LOCATION SKETCH

SHEET NO.	CONTENTS
C001	TITLE SHEET
C002	DEMOLITION & EROSION CONTROL PLAN
C003	LAYOUT & UTILITY PLAN
C004	GRADING & DRAINAGE PLAN
C005	UTILITY DETAILS
L001	LANDSCAPE PLAN
L002	IRRIGATION PLAN
L003	LANDSCAPE DETAILS
8001	BOUNDARY & TOPOGRAPHICAL SURVEY

SITE DATA:

PROJECT NAME: MARION OAKS UNIT 9 TOWNHOMES

OWNER: 4C PARTNERS, LLC
2101 PARK CENTER DRIVE, SUITE 50
ORLANDO, FL 32835

PHONE: (305) 336-5484

LOCATION: 8009-1279-21

PARCEL NO.: 8009-1279-21

LOCATION: ADDRESS T.B.D.

OCCALA, FL 34473

LAND USE / ZONING: HR-R/PUD

PARCEL AREA: 30,258 SF (0.69 AC)

DENSITY: ALLOWED - 12 DU/AC

PROPOSED - (5 DU/0.69 AC) = 7.25 DU/AC

FLOOR AREA RATIO F.A.R. = 6.128 / 30,258 F.A.R. = 0.203 = 20.3%

MAXIMUM BUILDING HEIGHT: 50 FT

BUILDING SETBACKS:

FRONT: 49-FT

REAR: 25-FT

SIDE: 8-FT

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

PROPERTY LIES WITHIN FLOOD ZONES 'X' PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 1208302110 DATED AUGUST 28, 2008.

PROPERTY LIES WITHIN THE SECONDARY SPRINGS PROTECTION ZONE.

INTERIOR LANDSCAPE CALCULATIONS:

SEE LANDSCAPE & IRRIGATION PLANS

PARKING CALCULATIONS

PARKING REQUIREMENTS:
UP TO 3 BEDROOMS - 2 SPACES/DU
3 DU X (2 SPACES/DU) = 6 SPACES
4 OR MORE BEDROOMS - 3 SPACES/DU
2 DU X (3 SPACES/DU) = 6 SPACES

TOTAL = 12 SPACES

PROVIDED - 12 SPACES
5 GARAGE PARKING
7 PARKING STALLS

OPERATION & MAINTENANCE ENTRY:

4C PARTNERS, LLC

GENERAL NOTES:

- ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOG WITH A 2-INCH UNDERCUT. SOG SHALL BE ARGENTINA BAHIA UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
- ALL CONCRETE SHALL BE 3000 p.s.i. - 28 DAY STRENGTH UNLESS OTHERWISE NOTED.
- TO PREVENT EROSION DURING CONSTRUCTION, SILT FENCING SHALL BE INSTALLED AS INDICATED ON THE DEMOLITION & EROSION CONTROL PLAN AND MAINTAINED UNTIL THE COMPLETION OF ALL SITE CONSTRUCTION.
- ALL STRIPING SHALL BE 6" WIDE TRAFFIC PAINT, UNLESS OTHERWISE INDICATED, APPLIED WITH DOUBLE COAT A MINIMUM OF 24 HOURS APART IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FOOT DESIGN STANDARDS, LATEST EDITIONS. HANDICAPPED MARKINGS AND HANDICAPPED SIGNS SHALL CONFORM WITH FOOT'S FTP-20-06 AND FTP-22-06 AND STANDARD PLANS 711-001.
- ALL TRAFFIC CONTROL DEVICES SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE NW 8TH AVENUE CONSTRUCTION ENTRANCE SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN.
- NO SITE LIGHTING IS PROPOSED.
- ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
- THIS PROJECT WILL BE SERVED WATER BY MARION COUNTY UTILITIES. INDIVIDUAL SEPTIC TANKS AND DRAINFIELDS ARE PROPOSED FOR EACH UNIT.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE, AS APPLICABLE.
- TRAFFIC SIGNS SHALL BE INSTALLED ON 2" ROUND ALUMINUM POSTS, 14FT IN LENGTH. ALL SIGNS SHALL MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL STOP BARS SHALL BE 24" WIDE WHITE LEAD FREE THERMOPLASTIC.
- LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
- NO REVISIONS TO THE WORK SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- EACH TOWNHOME UNIT WILL INDIVIDUALLY OWNED.

MARION COUNTY OWNER'S CERTIFICATE:

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLANS.

RODRIGO DE SANTI
4C PARTNERS, LLC

DATE

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAN AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED, AND THE SITE IMPERVIOUS SURFACE RATIO IS LESS THAN 0.8.

WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

DATE	REVISIONS
11/27/24	PROCESSED FOR MARION COUNTY MAJOR SITE PLAN PER COUNTY LAND DEVELOPMENT CODE
10/11/24	ADDED TO THE COUNTY APPROVED PLANS PER MARION COUNTY LAND DEVELOPMENT CODE
9/24/24	REMOVED UNLABELED BUILDINGS
8/19/24	FOOTPRINT
8/19/24	ADDED ALL 12' X 20' COMMENTS

William A. Menadier, P.E.
Professional Engineer
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Ph. (386) 487-3131
www.menadier.com
PO Box 616 | Anaheim, Florida 32816

IF APPROVED THESE CALCULATIONS WITH A VALID SIGNATURE, THIS PLAN HAS BEEN REVIEWED, CHECKED AND SEALED BY LICENSED PROFESSIONAL ENGINEER AS OF THE DATE NOTED ON THE ELECTRONIC SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

A MARION COUNTY MAJOR SITE PLAN
FOR
MARION OAKS UNIT 9 TOWNHOMES
MARION COUNTY
Title Sheet

DATE:
2024-01-015

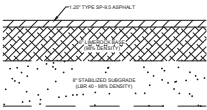
DATE:
11-27-2024

SCALE:
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C001

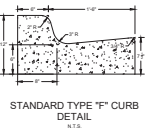


0' 10' 20' 40'
SCALE: 1" = 20'



ON-SITE PAVEMENT SECTION

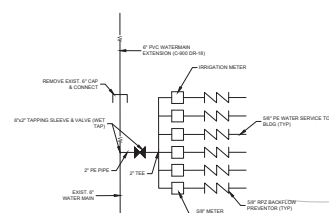
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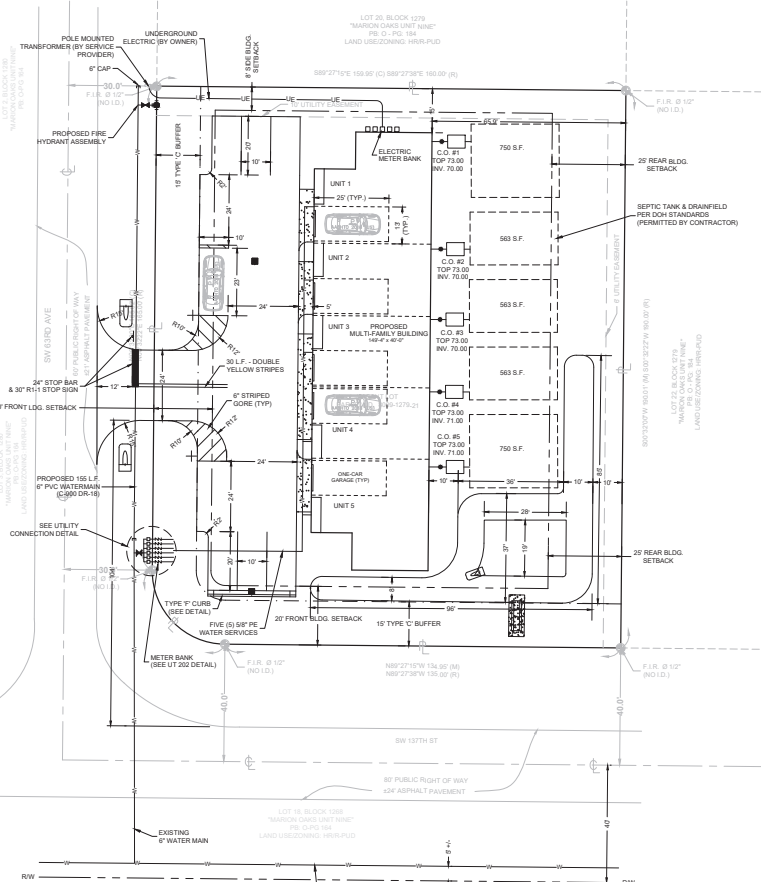
STANDARD TYPE "F" CURB DETAIL



DETAIL CONCRETE PAVEMENT



UTILITY CONNECTION DETAIL



UTILITY SEPARATION NOTES:

THE SEPARATION NOTES SHALL INCLUDE THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS TO COMPLY WITH RULES 62-604.400(2)(c) - (f), F.A.C. AND 62-604.400 (3), F.A.C. AS NOTED BELOW.

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62.610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62.610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62.610, F.A.C.

POTABLE WATER TESTING AND INSPECTION:

1. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE ENGINEER OF RECORD. PRESSURE TESTS SHALL BE IN ACCORDANCE WITH MARION COUNTY STANDARD SPECIFICATIONS. CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER AND APPLICABLE AGENCY INSPECTORS TWO (2) FULL BUSINESS DAYS IN ADVANCE OF PERFORMING TESTS.
2. CONTRACTOR SHALL PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING, AND OBTAIN CLEARANCE OF DOMESTIC AND FIRE LINE WATER SYSTEMS. COPIES OF ALL BACTERIOLOGICAL TEST RESULTS ARE TO BE SUBMITTED TO THE ENGINEER OF RECORD FOR CERTIFICATION PURPOSES.
3. ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA MANUAL M2, CONCERNING HYDROSTATIC TESTING OF PVC PIPING. OFF-SITE UTILITY HYDROSTATIC TESTING SHALL BE WITNESSED BY THE UTILITY OWNER'S REPRESENTATIVE.

POTABLE WATER SYSTEM NOTES:

1. ALL WATER MAIN PIPE FITTINGS AND APPURTANANCES SHALL BE INSTALLED TO COMPLY WITH MARION COUNTY STANDARD SPECIFICATIONS.
2. ALL WATER SERVICE LINES, VALVES AND METERS SHALL BE INSTALLED TO COMPLY WITH MARION COUNTY STANDARD SPECIFICATIONS.
3. ALL DIP PIPE SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON PIPE 4" TO 24", SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C151/A21.51. PIPE SHALL BE FURNISHED IN 18 OR 20 FOOT SECTIONS, PIPE THICKNESS SHALL BE CLASS 50, UNLESS OTHERWISE SPECIFIED.
4. ALL WATER SYSTEM CONSTRUCTION, UP TO AND INCLUDING POINT OF METERING AND BACK FLOW PREVENTION (IF REQUIRED), SHALL BE BUILT ACCORDING TO THE MARION COUNTY STANDARD SPECIFICATIONS.
5. CONTRACTOR TO INSTALL TEMPORARY BLOW-OFFS, AT THE ENDS OF PROPOSED WATER MAINS AND SERVICE LATERALS TO BUILDINGS), TO ASSURE ADEQUATE FLUSHING AND DISINFECTION/CHLORINATION.
6. ALL WATER MAINS SHALL BE STERILIZED IN ACCORDANCE WITH THE APPLICABLE SECTION OF THE LATEST AWWA SPECIFICATION C901 AND MARION COUNTY STANDARD SPECIFICATIONS.
7. ALL PVC WATER MAIN, 4" TO 8" DIAMETER PIPING, SHALL CONFORM TO ASTM D2241 AND ASTM 1784. PIPE SHALL BE AWWA C-900 DR-18. JOINTS SHALL BE RUBBER GASKETED PUSH-ON CONFORMING TO ASTM D1869.
8. POTABLE WATER MAINS SHALL BE PVC SDR 21 (200 PSI) FOR PIPES LESS THAN 4" DIAMETER. SCHEDULE 40 AND SCHEDULE 80 PIPING MATERIAL ARE ALSO ACCEPTABLE FOR PIPE SIZES LESS THAN 4" DIAMETER. THE ABOVE TYPE INSTALLATIONS MUST BEAR THE NSF-STAMP FOR COMPATIBILITY WITH POTABLE WATER USE.
9. ALL POLYVINYL CHLORIDE PIPE SHALL BE LAID WITH AN INSULATED 1/2 GAUGE A.W.G. SOLID STRAND COPPER WIRE WOUND AROUND THE PIPE FORMING ONE COMPLETE SPIRAL PER JOINT OF PIPE. THIS WIRE IS TO BE CONTINUOUS WITH SPLICES MADE ONLY BY METHODS APPROVED BY THE ENGINEER. THIS WIRE IS TO BE SECURED TO ALL VALVES, TEES, AND ELBOWS.
10. ALL POTABLE WATER WORK SHALL CONFORM WITH APPLICABLE MARION COUNTY STANDARD SPECIFICATIONS.
11. ALL F.D.E.P. PERMITS SHALL BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN F.D.E.P. CLEARANCE IS REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
12. AS-BUILT DRAWINGS MEETING THE MARION COUNTY WATER AND SEWER MANUAL REQUIREMENTS, OR EQUIVALENT, ARE TO BE SUPPLIED TO THE ENGINEER OF RECORD PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
13. ANY NEWLY INSTALLED FIRE HYDRANTS ARE TO BE FACTORY PAINTED RED. THE FIRE HYDRANT CAPS AND BONNET SHALL BE PAINTED THE APPROPRIATE ISO COLOR BASED ON THE FIRE FLOW TEST RESULTS AND WILL BE REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
14. ALL MAINS AND WATER SERVICES 2" OR ABOVE SHALL HAVE GATE VALVES INSTALLED. EACH VALVE IS REQUIRED TO HAVE A VALVE THE SHEET SUPPLIED WITH THE AS-BUILTS.

REVISION NO.	
DATE	

William A. Menadier, A.E. PE
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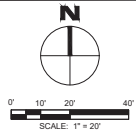
IF APPROVED HEREAS COPIES WITH A VALID SIGNATURE THIS DRAWING HAS BEEN PREPARED AND SEALED BY WILLIAM A. MENADIER, A.E. PE. ON THE DATE NOTED ON THE SHEET. THE ELECTRONIC SIGNATURE PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE SIGNATURE MUST BE VERIFIED BY THE ORIGINAL ELECTRONIC COPIES.

A MARION COUNTY MAJOR SITE PLAN FOR MARION OAKS UNIT 9 TOWNHOMES MARION COUNTY
Levaner & Utlip, Plan

DATE: 2024-01-015
DATE: 11-27-2024
SCALE: 1" = 20'

C003

WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

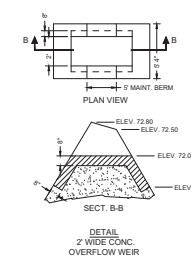
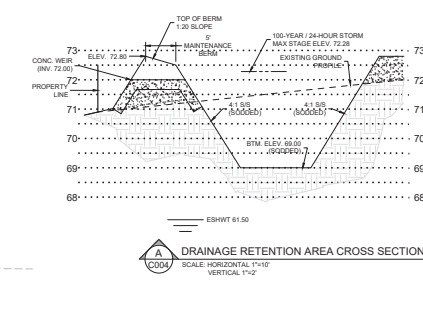
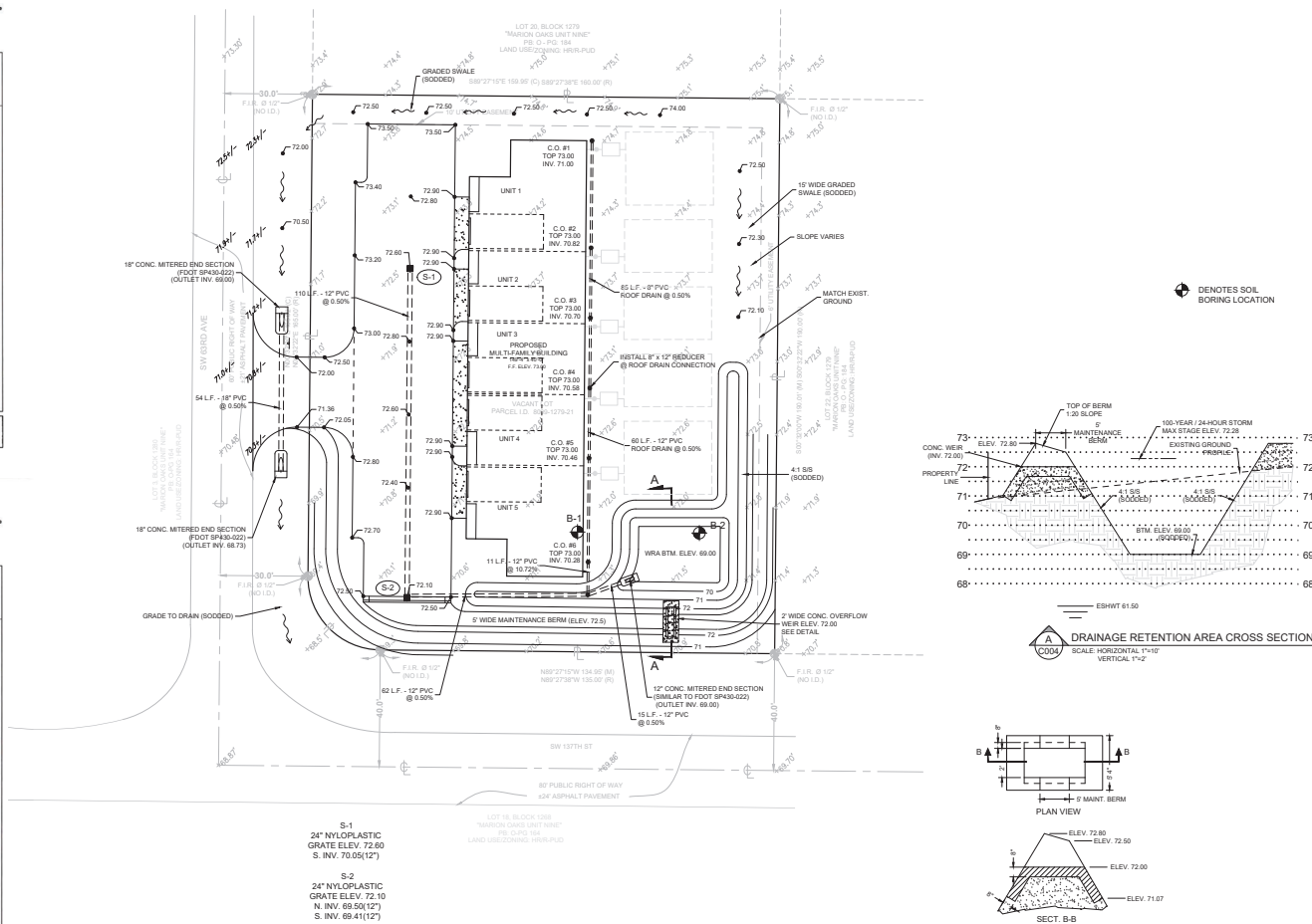


Log of Borehole : B-1			
Depth (ft)	Description	Remarks	Soil Profile
0	TOP TO BROWN FACE SAND (PT)	Ground Surface	
1		1.5' to 1.8' sanding 1.5' soil	
2			
3			
4			
5			
6			
7	ORANGE CLAYEY SAND (SP-30)	1.5' to 1.8' sanding 1.5' soil	
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			

Soil Data: C-20-24
 Drilled By: AJV DH
 Soil Method: ASTM D-158
 Ground Water Depth: NOT ENCOUNTERED
 Soil Profile: 1 OF 2

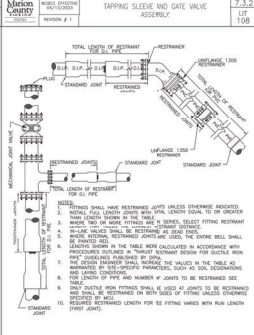
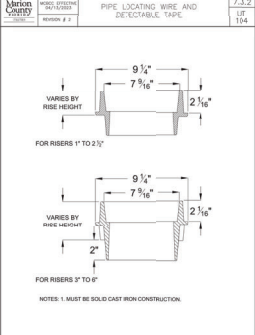
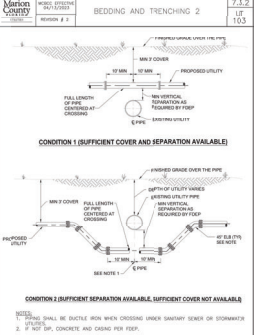
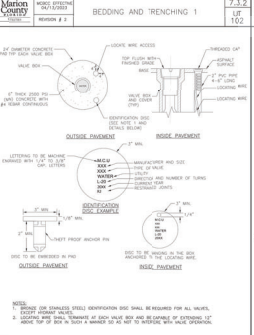
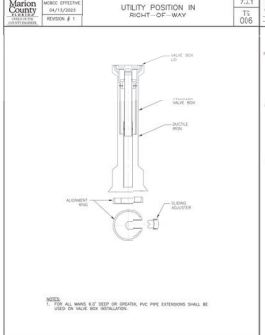
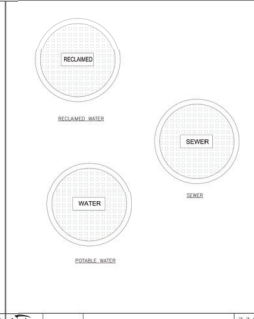
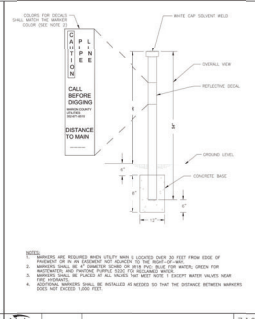
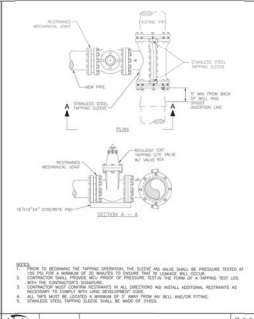
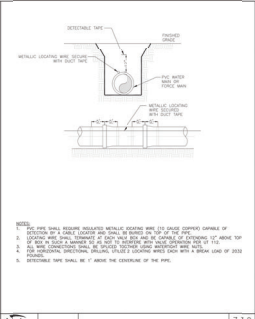
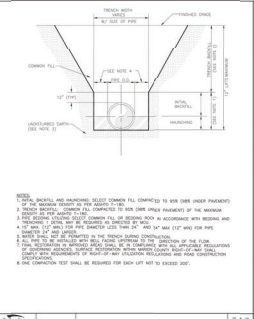
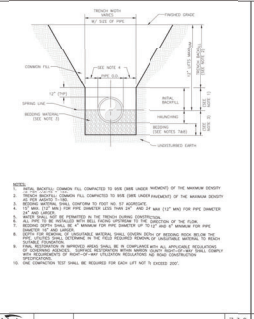
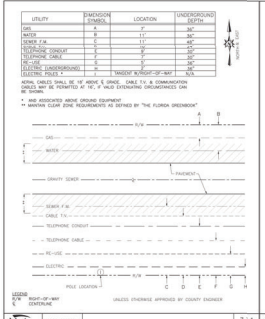
Log of Borehole : B-2			
Depth (ft)	Description	Remarks	Soil Profile
0	TOP TO BROWN FACE SAND (PT)	Ground Surface	
1			
2			
3			
4			
5			
6			
7			
8			
9			
10	ORANGE CLAYEY SAND (SP-30)		
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			

Soil Data: C-20-24
 Drilled By: AJV DH
 Soil Method: ASTM D-158
 Ground Water Depth: NOT ENCOUNTERED
 Soil Profile: 2 OF 2

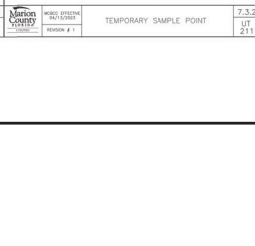
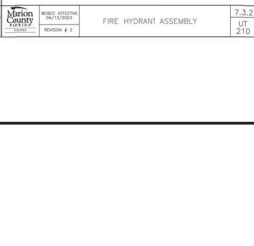
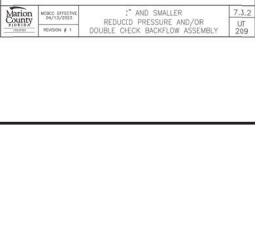
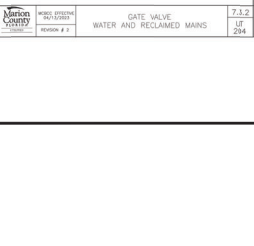
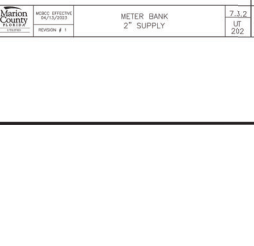
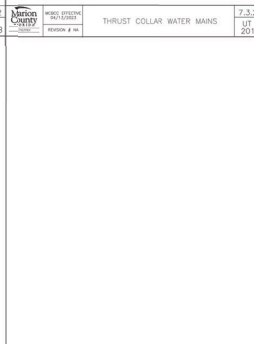
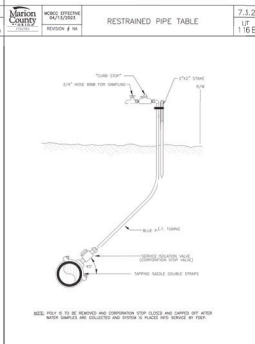
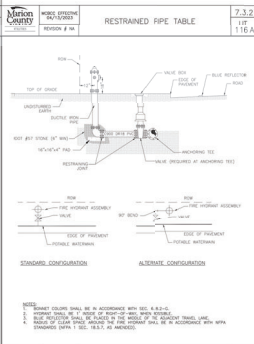
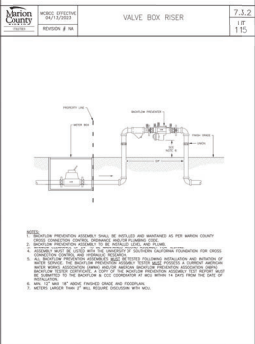
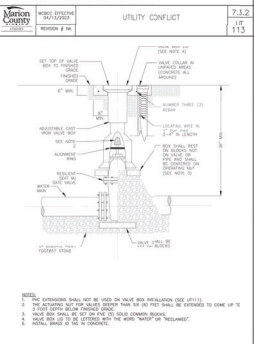
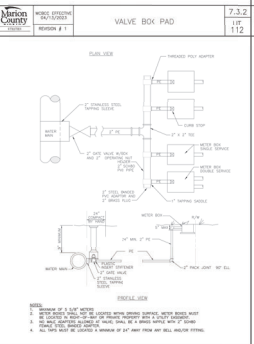
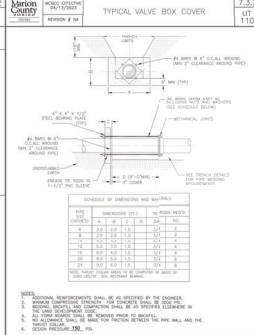


	WILLIAM A. MENADIER, M.E. P.E. www.wmenad.com www.menad.com
A MARION COUNTY MAJOR SITE PLAN FOR MARION OAKS UNIT 9 TOWNHOMES MARION COUNTY <i>Grading & Drainage Plan</i>	
JOB NO: 2024-01-015	DATE: 11-27-2024
SCALE: 1" = 20'	
C004	

WILLIAM A. MENADIER
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 74891



MINIMUM RESTRAINED LENGTH (FT)	HORIZONTAL RESTRAINED LENGTH (FT)
1/2"	10
3/4"	15
1"	20
1 1/4"	25
1 1/2"	30
1 3/4"	35
2"	40
2 1/4"	45
2 1/2"	50
2 3/4"	55
3"	60
3 1/4"	65
3 1/2"	70
3 3/4"	75
4"	80
4 1/4"	85
4 1/2"	90
4 3/4"	95
5"	100



REVISIONS

DATE

William A. Menadier, P.E.
www.wmenadier.com

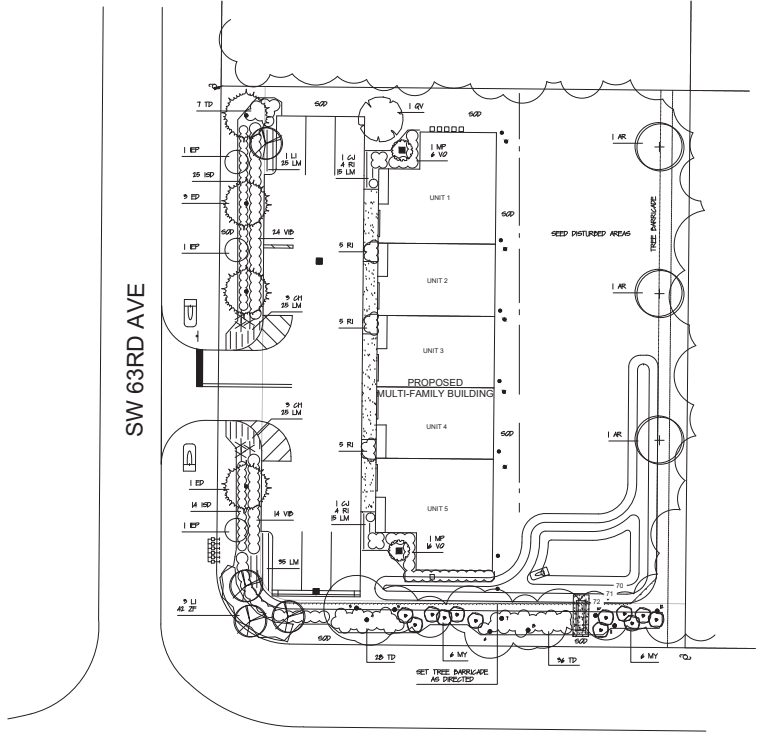
FOR A MARION COUNTY MAJOR SITE PLAN
FOR
MARION OAKS UNIT 9
TOWNHOUSES
MARION COUNTY
Utility Details

DATE: 2024-01-015
DATE: 11-27-2024
SCALE: --
C005

WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

PO Box 676 | Alachua, Florida 32016 | Ph. (904) 847-5133 | www.wmenadier.com

APPROVED FOR RECORDING WITH A VALID SIGNATURE. THIS PLAN HAS BEEN PRELIMINARILY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED LEGAL AND MUST BE VERIFIED WITH AN ELECTRONIC COPY.



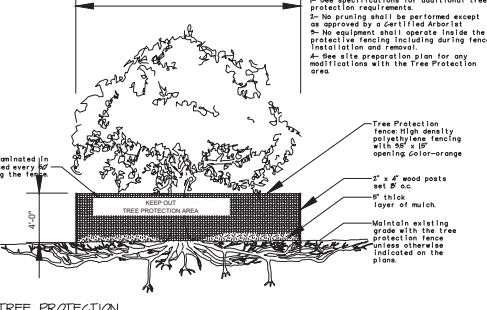
LANDSCAPE NOTES

1. ALL MATERIAL SHALL BE FLORIDA # GRADE OR BETTER
2. ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 2" - 3" OF FINE DARK MULCH
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHrub OR ORNAMENTAL TREES
4. ALL MATERIAL INSTALLED SHALL MEET THE SUB GRASSES AND STANDARDS FOR LANDSCAPE INSTALLATION
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRASSES AND STANDARDS
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
7. ALL NEW TREES MUST BE SHEDD OR SHEDD AS DETAIL
8. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY THE SCOPE OF WORK
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NUTRIENT FERTILIZER
12. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE
13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND REMOVING AIR-PACKETS
14. DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 40 - 50 GPD TO ALL NEW TREES
15. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
16. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 1' VERTICAL OVERHANG AREA
17. NEW GPD SHALL BE ARGENTINE-BANIA INSTALLED WITH NO GAPS OR OVERLAPS
18. ALL WIRE / NEW BACKING MUST BE COMPLETELY REMOVED PRIOR TO ACCEPTANCE
19. ALL SIDES SHALL BE FINISHED AND REPAIRED FOR MAINTENANCE
20. ALL OTHER FINISHED AREAS SHALL BE SEEDS WITH ARGENTINE-BANIA SEED MIX @ 8 LBS / 1000 SF
21. SEED AREAS SHALL BE OVER-ALIGNED WITH STRAW OR OTHER ACCEPTABLE MATERIAL
22. GPD / SEED AREAS SHALL BE CLEARED OF ALL ROCKS, STICKS, AND OTHER DEBRIS PRIOR TO INSTALLATION
23. PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL SHALL BE NEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL
24. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE
25. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO RECEIVING ANY INSPECTIONS AND/OR APPROVALS
26. THE CONTRACTOR SHALL KEEP THE SITE CLEAR OF ALL DEBRIS, REMOVED NET, ETC., AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PRECIPITATION WATER IS NOT BLOCKED
27. DO NOT PLANT NEW TREES TOO DEEP UNLESS THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL
28. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
29. ALL NEW TREES AND SHRUBS MUST MEET THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60)
30. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED
31. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
32. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE
33. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT NURSERY GRASSES AND STANDARDS
34. SET TREE BARRICADES ON 60' SOUTH AND 60' EAST PROPERTY LINES
35. PRESERVE ALL EXISTING TREES OUTSIDE THE TREE BARRICADES AS DIRECTED BY LANDSCAPE ARCHITECT

MARION COUNTY NOTES

1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 610 E SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE.
2. ALL REQUIREMENTS OUTLINED IN SECTION 610 E SHALL BE COMPLIED WITH BY ALL REPLACEMENT TREES REQUIRED ON THE SITE BY THIS CONSTRUCTION.
3. THE REPLACEMENT AND FINAL INSPECTIONS AS OUTLINED IN SECTION 610 E SHALL BE COMPLIED WITH NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
4. NOTES HAVE BEEN SHOWN REPAIRING LUBRICANTS (A.S.S.), TREE PROTECTION (A.T.S.), MAINTENANCE (A.M.), FERTILIZER (A.F.), AND WATERING (A.W.).
5. ALL REQUIREMENTS OUTLINED IN SECTION 610 E REPAIRING FERTILIZER AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
6. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SHOWN AND SIGNED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
7. ALL REQUIREMENTS OUTLINED IN SECTION 610 E REPAIRING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
8. ALL REQUIREMENTS OUTLINED IN SECTION 610 E REPAIRING LANDSCAPE INSTALLATION AND MAINTENANCE LUBRICANTS AND CERTIFICATION SHALL BE COMPLIED WITH.
9. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR THIS SHALL MEET THE LICENSING AND CERTIFICATION REQUIREMENTS UNDER SECTION 489.
10. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES.
11. TREES AND PALMS SHALL BE PROPERLY PLANTED AND SHEDD OR STAKED.
12. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY UT/PAS.
13. INSTALLATION SHALL MEAN REMOVAL, IN TEMPORARY AND REPLACEMENT IF NECESSARY OF ALL MATERIALS EXISTING AND/OR PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 90 DAYS.
14. TREE PROTECTION NOTES:
 1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE COMPLIED WITH THE DESIGN PROFESSIONAL ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE.
 2. THE CLEANING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TYPICAL OF ANY TREE WHICH IS PROTECTED IS NOT ALLOWED.
 3. THE DISPOSAL OF EQUIPMENT OR THE REMOVAL OF EQUIPMENT MATERIALS, DEBRIS, OR LIMB WITHIN THE TYPICAL OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 4. IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED IS DESTROYED OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION WITH THE EXCEPTION OF NATURAL EVENTS, 50% AS TO PLACE ITS LIMB TOWARD STREET OR SECTION OF THE TREE MUST BE REPLACED AT AN EQUIVALENT SIZE TO THE TOTAL (CROWNED DIA OF THE TREES) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREES SHALL BE OF COMPATIBLE SPECIES TO THE DESTROYED OR DAMAGED TREES WITH A MINIMUM REPLACEMENT SIZE OF 3/4-INCH CALIPER. THE COUNTY RESERVES THE RIGHT TO EVALUATE A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MAINTENANCE FUND MAY BE AUTHORIZED BY THE COUNTY LANDSCAPE ARCHITECT.

Cruciform drill line or other limit-line. Tree Protection area. See tree preservation plan for tree alignment.



TREE PROTECTION

LANDSCAPE MATERIAL LIST

1	AK	ACER NEURUM FLORIDA PLANE	FLORIDA MAPLE	NATIVE	48 GAL, 10' CAL. W/ TALL, SINGLE LEADER, FULL CANOPY
1	QY	GEORGIA VIRGINIA	LIME OAK	NATIVE	48 GAL, 10' CAL. W/ TALL, SINGLE LEADER, FULL CANOPY
4	ED	EUCALYPTUS RESUPENS	JAPANESE BLUEBERRY	NATIVE	18 GAL, 7' CAL. W/ TALL, SINGLE LEADER, FULL CANOPY
9	EP	LEUOCASTALMA	SMOKE TREE	NATIVE	18 GAL, 7' CAL. W/ TALL, SINGLE LEADER, FULL CANOPY
4	LI	LAURELSTRENGTH INDICA MITCHELL	GRAPE VITIFOLIA	NATIVE	18 GAL, 7' CAL. W/ TALL, SINGLE LEADER, FULL CANOPY
1	CJ	CASSELLA SPERACA	SWAMP CASSELLA	NATIVE	7 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	OT	ORONCHOS	EUROPEAN PALM	NATIVE	10 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	SD	LEUOCASTALMA	SWAMP HOLLY	NATIVE	7 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	LM	LEUOCASTALMA	BORNER GRASSES	NATIVE	1 GAL, 10" W/ TALL, FULL SPREAD
1	MY	MIRVITA FRANGULA	GRASS	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	NY	MIRVITA FRANGULA	HOWA WOODS	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	NY	MIRVITA FRANGULA	HOWA WOODS	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	TD	TROPICUM BACHLOIDES	PARROTALICE GRASSES	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	TD	TROPICUM BACHLOIDES	PARROTALICE GRASSES	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	VD	VERVURUM ASSORTITUM	WINDY VERVURUM	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
1	ZK	ZINIA FLORIDANA	SWEET VERVURUM	NATIVE	2 GAL, 2 1/2' CAL. W/ TALL, FULL SPREAD
8,500	SP	ARGENTINE-BANIA GPD	GDDT	NATIVE	8,500 SF - 8" GPD
8,500	SP	ARGENTINE-BANIA SEED MIX			

LANDSCAPE / OPEN SPACE

TOTAL PARCEL AREA	=	50,000 SF
LANDSCAPE SPACE REQUIRED	=	8,000 SF (16%)
LANDSCAPE SPACE PROVIDED	=	16,000 SF

TREE PRESERVATION

TOTAL PARCEL AREA	=	50,000 SF (60 AC)
EXISTING TREES	=	> 1,000' (AC)
TREE PRESERVATION REQUIRED	=	100' (10%)
TREE PRESERVATION PROVIDED	=	100'

NATIVE PLANT MATERIAL

TOTAL LANDSCAPE MATERIAL	=	48
NATIVE PLANTS REQUIRED	=	18
NATIVE PLANTS PROVIDED	=	18 (98% OUTSIDE US)

SOUTH BUFFER - 10' LT. TYPE 1/2, 1/2, 1/2, 1/2, 1/2

SHADE TREES REQUIRED	=	2 (1 / 100 LF)
ORNAMENTAL TREES REQUIRED	=	4 (1 / 100 LF)
GRASSES REQUIRED	=	8 (1 / 100 LF)
LANDSCAPE AREA REQUIRED	=	160 SF
LANDSCAPE AREA PROVIDED	=	160 SF

DRA LANDSCAPING

TOTAL ALLOW BLOW	=	48 LF
SHADE TREES REQUIRED	=	2 (1 / 100 LF)
ORNAMENTAL TREES REQUIRED	=	4 (1 / 100 LF)
GRASSES REQUIRED	=	8 (1 / 100 LF)
LANDSCAPE AREA REQUIRED	=	160 SF
LANDSCAPE AREA PROVIDED	=	160 SF

WEST BUFFER - 10' LT. TYPE 1/2, 1/2, 1/2, 1/2, 1/2

SHADE TREES REQUIRED	=	2 (1 / 100 LF)
ORNAMENTAL TREES REQUIRED	=	4 (1 / 100 LF)
GRASSES REQUIRED	=	8 (1 / 100 LF)
LANDSCAPE AREA REQUIRED	=	160 SF
LANDSCAPE AREA PROVIDED	=	160 SF

TREE LIST

1	1	7	PINE
1	1	7	PINE
1	1	7	PINE
1	1	7	PINE
1	1	7	PINE

NO.	DATE	DESCRIPTION
1		
2		

DATE	6 / 24
DRAWING NO.	
NEW NAME	
SCALE	1" = 20'
JOB NO.	
DATE	
NO.	
DATE	
NO.	
DATE	
NO.	

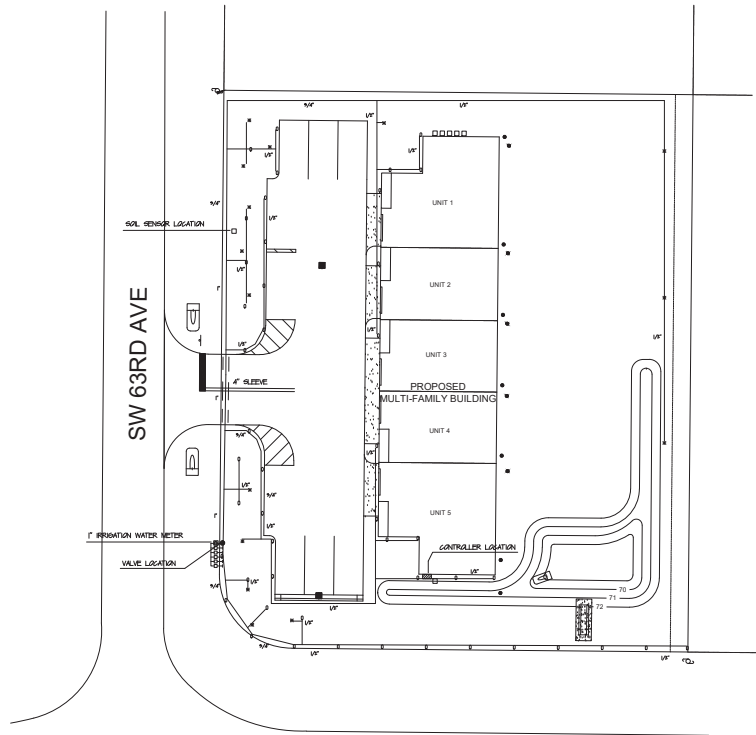
ENVIRONMENTAL DESIGN
 MARION COUNTY ARCHITECT
 1970 SE 4th STREET
 Ocala, Florida 34478
 (352) 622-8889
 WWW.EDK.COM
 ENVIRONMENTAL DESIGN



LANDSCAPE PLAN
 MARION OAKS UNIT 9
 TOWNHOMES
 FLORIDA
 MARION COUNTY



RICHARD A. KESSELING JR., P.L.A.
 LANDSCAPE ARCHITECT, STATE OF FLORIDA #858



SW 137TH ST

IRRIGATION LEGEND

- HUNTER MP 1600 SERIES POP-UP SPRAY HEADS
- ✱ HUNTER P50 SERIES DUBLER HEADS FOR TREES
- SOIL SENSOR LOCATION
- ┌ 1/2" WATER METER - IRRIGATION USE ONLY
- ▣ HUNTER X-GORE 4-STATION CONTROLLER
- 1/2" NELSON VALVE IN WATER-RESISTENT BOXES
- == SLEEVING - SCH. 40 P.V.C.

IRRIGATION ZONE DATA

- IRRIGATION ZONE = 253 GPM
- 253 GPM x 15' = 3795 GPD
- 3795 GPD / 7.7 = 493 GPD
- 6PM = GALLONS PER MINUTE
- 6PC = GALLONS PER ZONE PER RUN TIME
- 6PW = GALLONS PER WEEK
- 6PD = GALLONS PER DAY

IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4, 1/2, OR FULL GORGE AS EACH LOCATION REQUIRES
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE SHALL BE A NEW 1/2" WATER METER - IRRIGATION USE ONLY. COORDINATE WITH GAS PLUMBING
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND PROPOSED LAYOUT AND PROVIDE ANY QUESTIONS TO THE LANDSCAPE ARCHITECT IN WRITING, REGARDING AN UNDERSTANDING OF THE DESIGN INTENT. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
7. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET
8. THE OWNER SHALL PROVIDE AN ELECTRICAL GUTLET IN THE CONTROLLER AREA
9. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTENT BOXES
10. ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LAYOUTING OF THE PAVED AREAS
11. ALL SLEEVING SHALL BE SCH. 40 P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP
12. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP
13. RAINING RAINFALL DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING INSUFFICIENT RAINFALL. RISE SENSORS. IN ADDITION AN ANEMOMETER SENSOR WITH SOIL CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTMENTS
14. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
15. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
16. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
17. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
18. BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT THE METER LOCATION
19. SLEEVES MUST BE INSTALLED IN ALL HEADS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT ZONES ARE DESIGNED TO FUNCTION AT 90 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNER'S COVERAGE
20. CONTRACTOR MUST CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS
21. SYSTEM DOES NOT PROVIDE USER COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOIL AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
22. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE WALK ROOT SYSTEMS OF THE TREES TO BE PRESERVED
23. ALL IRRIGATION HEADS SHALL BE LOW-VOLU, MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
24. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FWS @ DWS/PAS/USLE/ASIS
25. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
26. POP-UP HEIGHTS WITHIN SOIL AREAS SHALL BE SET AT 4"
27. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SCREENS AND VERIFIED BY CONTRACTOR
28. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
29. ALL IRRIGATION INSTALLATION SHALL MEET IAS-508 AND 510 STANDARDS
30. NO IRRIGATION HEADS SHALL BE INSTALLED ON ROVERS UNLESS SPECIFICALLY NOTED AND DETAILED
31. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
32. BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS

MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SCHEDULED AND REACHED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 450 SHALL BE COMPLETED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
2. ALL REQUIREMENTS IN SECTION 450 REGARDING SYSTEM INSTALLATION SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLETED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-FRIENDLY PEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA THREAT AND RESTORATION PROGRAM
3. ALL REQUIREMENTS OUTLINED IN SECTION 450 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLETED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
4. ALL REQUIREMENTS OUTLINED IN SECTION 450 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLETED WITH
5. NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (436) WATERING INSTALLATION (455) AND INSTALLATION LICENSING REQUIREMENTS (450)



NO.	DATE	DESCRIPTION
1	10/24	NEW LAYOUT
2	11/24	COUNTY COMMENTS

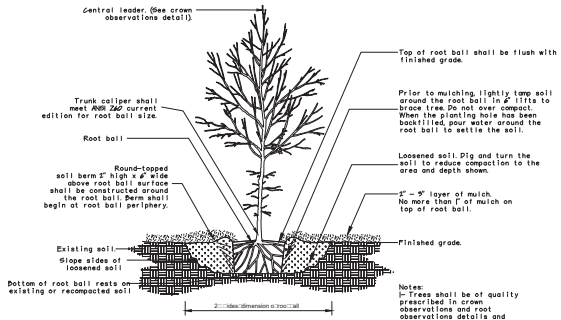
DATE:	6 / 24
DRAWING NO.:	
SCALE:	1" = 20'
JOB NO.:	
DESIGNER:	RAK
CHECKER:	
DATE:	

ENVIRONMENTAL DESIGN
 ANY PESTICIDES, LANDSCAPE ARCHITECT
 10000 SW 15TH AVE, SUITE 100
 BOCA RATON, FLORIDA 33433
 (561) 822-8899
 LANDSCAPE ARCHITECTURE, THE PLANNING, DESIGN
 AND CONSTRUCTION OF COMMERCIAL-RESIDENTIAL DESIGN

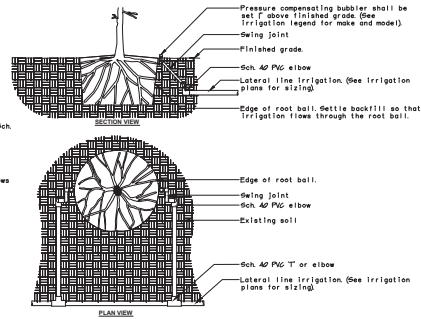


IRRIGATION PLAN
 MARION OAKS UNIT 9
 TOWNHOMES
 MARION COUNTY
 FLORIDA

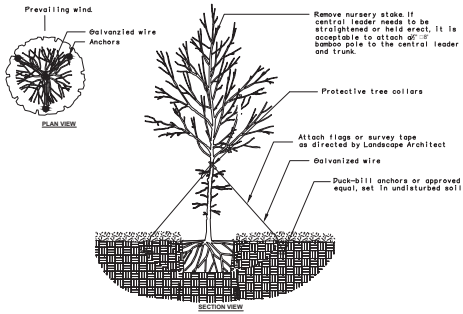
RICHARD A. KESSELRING JR., P.L.A., A.S.L.A.
 LANDSCAPE ARCHITECT, STATE OF FLORIDA #858



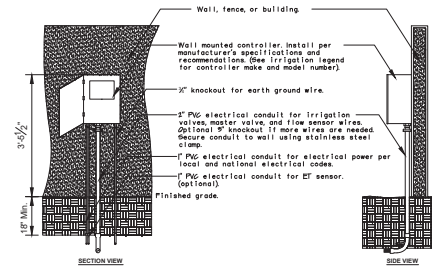
TREE INSTALLATION



TREE BUBBLER LAYOUT

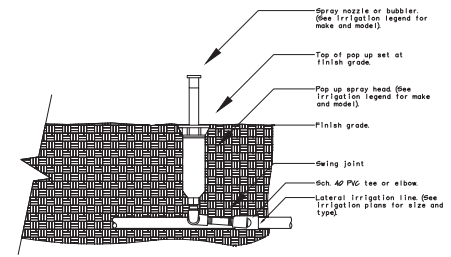


TREE STAKING - TREES < 2" CALIBER



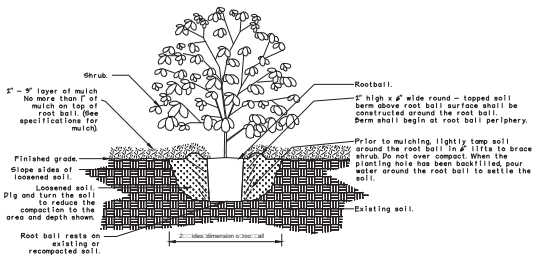
Notes:
 1- Conduit and controller wire to be bundled using electrical tape at 18" on center.
 2- Grounding rods shall be located between 6" to 24" away from the controller.
 3- Grounding rods shall be 1/2" in length. Connect the grounding rod to the controller using a galvanized copper wire per manufacturer's specifications.
 4- Rain sensor device shall be installed within 30' of the controller, a minimum of 6" high, and out from any overhead obstructions such as building overhangs, trees, or utilities.

WALL MOUNTED CONTROLLER

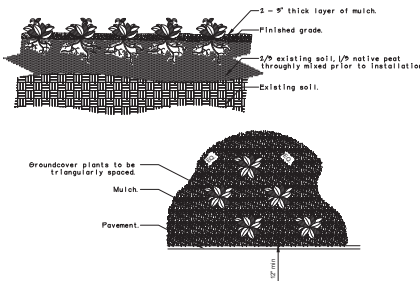


Notes:
 1- 2" pop ups shall be used in turf areas.
 2- Contractor shall settle soil around the pop up after installation.
 3- All pop up spray heads shall have check valves.
 4- All Sch. 40 PWC to Sch. 80 PWC connections shall be made using tention tape.

POP UP-SPRAY HEAD



SHRUB INSTALLATION



Notes:
 1- See planting legend for groundcover species, size, and spacing dimension.

GROUNDCOVER INSTALLATION

NO.	DATE	DESCRIPTION
1	07/23	COUNTY COMMENTS
2	07/24	NEW LAYOUT

DATE:	6 / 24
DRAWING NO.:	
NEW NAME:	
PK:	PG

DRAWN BY:	RAK
SCALE:	1" = 10'
JOB NO.:	

ENVIRONMENTAL DESIGN
 ANDY KESSELING, LANDSCAPE ARCHITECT
 10001 W. BAYVIEW BLVD., SUITE 100
 BOCA RATON, FL 33433
 (561) 422-7889
 LANDSCAPE ARCHITECTURE, SITE PLANNING,
 GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE & IRRIGATION DETAILS
 MARION OAKS UNIT 9
 TOWNHOMES
 MARION COUNTY FLORIDA



VIZCAYA SURVEYING AND MAPPING INC.

BOUNDARY AND TOPOGRAPHIC SURVEY

SECTION 08, TOWNSHIP 17S, RANGE 21E. MARION COUNTY

Scale 1"=30'

PROPERTY ADDRESS:
0 SW 63RD AVE
OCALA, FL 34473
 (PARCEL ID. 8009-1279-21)

DESCRIPTION:

LOT 21, BLOCK 1279, MARION OAKS UNIT NINE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK O, PAGE 184, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:

COMMUNITY: MARION COUNTY 120160
 MAP/PANEL NO. 12063C0715D
 SUFFIX: D
 FIRM DATE: 8/28/2008
 FLOOD ZONE: X

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MARION COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A TOPOGRAPHIC SURVEY ONLY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY BOARD, COMMISSION OR OTHER ENTITY.

BENCH MARK: DG8574 ELEVATION: 84.60 FEET (NAVD-88)

LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON AN ASSUMED VALUE OF N00°32'00"E FOR THE EAST RIGHT OF WAY LINE OF SW 63RD AVENUE AS DEPICTED ON THE MAP OF SURVEY.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

CERTIFY TO:

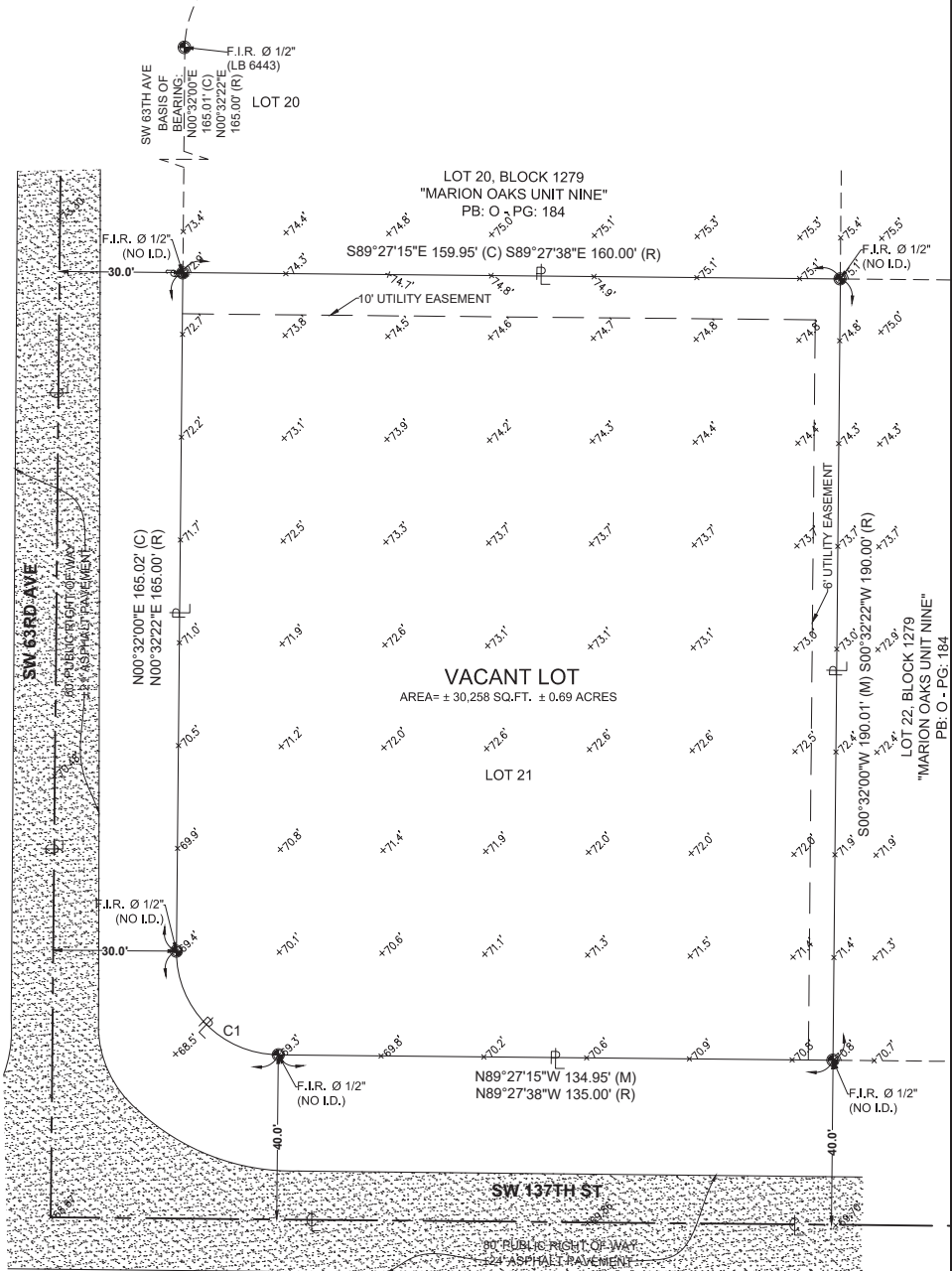
4C PARTNERS LLC

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THIS "TOPOGRAPHIC SURVEY" AND THE MAP OF SURVEY RESULTING THERE FROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "TOPOGRAPHIC SURVEY" MEETS THE INTENT OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

04-10-2024

ARTURO TOIRAC
 PROFESSIONAL LAND SURVEYOR No. 3102
 STATE OF FLORIDA



Vizcaya Surveying & Mapping INC
 13217 SW 46 LANE
 MIAMI, FL 33175
 TEL. 305-223-6060



Survey is not covered by Professional Liability Insurance.	A = ARC LENGTH A/C = AIR CONDITIONING PAD Alum.F = ALUMINUM FENCE BLDG = BUILDING B/C = BLOCK CORNER (C) = CALCULATED CB.S. = CONCRETE BLOCK STRUCTURE CH. = CHORD DISTANCE CL. = CLEAR C/L = CENTER LINE CLF = CHAIN LINK FENCE
ORIGINAL FIELD DATE 04-05-2024 REVISIONS	CLP = CONC. LIGHT POLE CONC. = CONCRETE D.E. = DRAINAGE EASEMENT Δ = CENTRAL ANGLE E = ELECTRIC SERVICE BOX EM = ELECTRIC METER (CAN) F.D.H. = FOUND DRILL HOLE F.H. = FIRE HYDRANT F.I.P. = FOUND IRON PIPE F.R. = FOUND REBAR FIRE HYDRANT
DRAWN J.C. SHEET No. 1/1	F.N. = FOUND NAIL G = GAS METER L.P. = LIGHT POLE MH = MAN HOLE M = MEASURED M/L = MONUMENT LINE N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE OE = OVERHEAD ELECTRIC LINES P.B. = PLAT BOOK P.C.P. = PERMANENT CONTROL POINT PG. = PAGE

LEGEND OF SURVEY ABBREVIATIONS	<input checked="" type="checkbox"/> = TRANSFORMER <input type="checkbox"/> = SIDEWALK <input type="checkbox"/> = TELEPHONE SERVICE BOX <input type="checkbox"/> = TV CABLE SERVICE BOX <input type="checkbox"/> = UTILITY & DRAINAGE EASEMENT <input type="checkbox"/> = UTILITY EASEMENT <input type="checkbox"/> = UTILITY & MAINTENANCE EASEMENT <input type="checkbox"/> = UTILITY POLE <input type="checkbox"/> = WATER WELL <input type="checkbox"/> = WATER METER
F.N. = FOUND NAIL G = GAS METER L.P. = LIGHT POLE MH = MAN HOLE M = MEASURED M/L = MONUMENT LINE N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE OE = OVERHEAD ELECTRIC LINES P.B. = PLAT BOOK P.C.P. = PERMANENT CONTROL POINT PG. = PAGE	P.R.M. = PERMANENT REFERENCE MONUMENT P/L = PROPERTY LINE (R) = RECORDED R = RADIUS RAD. = RADIAL RES. = RESIDENCE R/W = RIGHT OF WAY S = SEWER MANHOLE SEC. = SECTION S.I.P. = SET IRON PIPE No. _____ S/L = SET BACK LINE STY. = STORY

DRAWING BY:
 240ENGINEERING & DESIGN INC
 240engineeringanddesign@gmail.com

JOB No.:
 24329

ESCALE:
 1"=30'

CONTENT:
 TOPOGRAPHIC SURVEY