

This instrument prepared by:
Office of County Engineer
412 SE 25th Avenue
Ocala, FL. 34471

May 28, 2025

Return to:
Office of County Engineer
412 SE 25th Ave Bldg 1
Ocala, FL. 34471

Project: SW 49th/40th Avenue Phase 1
Project Parcel #: 12, 13, 14, 15, 16, 17, 18
Parcel ID#: 2390-009-000

PURCHASE AGREEMENT

THIS AGREEMENT is made by and between: **INDUSTRIAL TECHNOLOGIES & SERVICES AMERICAS, INC.**, a Delaware, limited liability company, f/k/a **SP FLOW TECHNOLOGY USA, INC.**, a merger with **PNEUMATIC PRODUCTS CORPORATON**, a Delaware corporation, having a mailing address of 525 Harbour Place Drive, #600, Davidson, NC 28036, hereinafter referred to as the **SELLER** and **MARION COUNTY**, a political subdivision of the State of Florida for use and benefit of **MARION COUNTY**, hereinafter referred to as **BUYER**.

WITNESSETH

For and in consideration of the mutual covenants and conditions herein contained, **SELLER** hereby agrees to sell and **BUYER** hereby agrees to buy the following property or interest therein, upon the following terms and conditions:

I. DESCRIPTION

- (a) Real estate or interest therein, identified as Parcel ID #: **2390-009-000** and further shown on Right-of-Way Maps and/or Sketch of Description for the **SW 49th/40th Avenue Phase 1** road project (from SW 66th Street to SW 42nd Street) incorporated herein by reference and attached as Exhibit "A", "B", "C".

- ☐ Fee Simple
- ☒ Temporary Construction Easement
- ☒ Drainage Right of Way
- ☐ Leasehold Interest

- (b) Personal property, Fixtures and Appliances identified as follows:

- 1) **Personal property:** Unless excluded below or by other terms of this Agreement, the following items which are owned by Seller and existing on the Property as of the date of the initial offer are included in the purchase: range(s)/ovens(s), refrigerator(s), dishwasher, disposal, ceiling fan(s), intercom, light fixture(s), drapery rods and draperies, blinds, window treatments, smoke detector(s), garage door opener(s), security gate and other access devices, and storm shutters/panels ("Personal Property").

Other Personal Property items included in this purchase are:

N/A

The following Personal Property items are excluded from the purchase:

N/A

- 2) **Fixtures and Built-In Appliances:** With the exception of the exclusion items listed below, the **SELLER** and **BUYER** agree that all existing improvements and fixtures located on or in the property, including but not limited to built-in appliances, built-in furnishings and attached wall-to-wall carpeting and flooring, windows, screens, shades, blinds, heating systems, HVAC components, air conditioners, pumps, electrical fixtures, and any other equipment or furniture that is fixed in position, shall be included in the sale of the Property.

The following exclusion items are fixtures and built-in appliances that will not be conveyed to

II. PURCHASE PRICE

(a) Itemized purchase price:

Land and Improvements) N/A	\$ <u>.00</u>
Drainage Easement Parcel# 13 (0.01ac)	\$ <u>40,892.98</u>
Drainage Easement Parcel# 14 (0.03ac)	\$ <u>inc.</u>
Drainage Easement Parcel# 15 (0.01ac)	\$ <u>inc.</u>
Drainage Easement Parcel# 16 (0.04ac)	\$ <u>inc.</u>
Drainage Easement Parcel# 17 (0.01ac)	\$ <u>inc.</u>
Drainage Easement Parcel# 18 (0.03ac)	\$ <u>inc.</u>
Temporary Construction Easement (Parcel# 12) (0.93ac)	\$ <u>34,106.00</u>
Damages (Severance/Cost-to-Cure) N/A	\$ <u>.00</u>
Other: Expert Fees	\$ <u>1,500.00</u>
Other: Attorney Fees	\$ <u>6,631.02</u>
Sub-Total	\$ <u>83,130.00</u>

- (b) Amount to be paid by BUYER to SELLER at closing (not including Buyer's closing costs, fees, prepaids and prorations, which will be noted on the Settlement Statement prior to Closing)
\$ 83,130.00.

III. CONDITIONS AND LIMITATIONS

- (a) It is mutually understood that this Agreement is contingent to and not binding upon the SELLER or BUYER until ratified and accepted by the Marion County Board of County Commissioners, signed by its Chairman, or Vice-Chair, and attested by the Clerk of the Court. This agreement shall be deemed rejected by BUYER if not ratified and accepted by the Board of County Commissioners and the SELLER acknowledges and agrees that this provision cannot be waived by BUYER or any Agent of BUYER.
- (b) SELLER is responsible for all taxes due and owing on the property as of the date of closing and agrees that all current taxes for the year in which this agreement is made on the property acquired shall be prorated and SELLER agrees to pay his and/or her share of said prorated taxes as of the date of closing. BUYER agrees to pay closings costs, such as recording fees, doc stamps and title insurance. Additionally, any delinquent taxes shall be collected and delivered to the Marion County Tax Collector.
- (c) SELLER is responsible for delivering unencumbered title to BUYER at closing. Any sums which BUYER must expend to clear encumbrances shall be deducted at closing from the purchase price shown in Section II. SELLER shall be liable for any existing encumbrances or any encumbrances arising after closing as a result of actions of the SELLER. The terms of this subsection shall survive the closing.
- (d) Any extension of occupancy beyond the date of closing must be authorized by the BUYER in writing. During the period from the date of closing until the SELLER surrenders possession to the BUYER, the SELLER shall exercise diligent care in protecting the property from theft and vandalism. All property, whether real or personal, included in this agreement shall be delivered to BUYER in the same condition existing as the effective date of this agreement, less any reasonable wear and tear.
- (e) Other: County shall build a parking lot cure plan similar to the plan proposed by Rodney Rogers as shown on Exhibit "C", adjusted for the directional median modifications as shown on Exhibit "B". County shall ensure that during construction the Premises are properly secured in the manner in which they were found, and County shall take all reasonable care to ensure fencing is secure at all times during County's accessing and constructing the Parking Area on the property. When accessing the property County shall conduct its

operations on the Permitted Area in a good and workmanlike manner, taking all possible precautions against damage to the Permitted Area and any facilities thereon. County shall maintain reasonable access to the remaining property during construction of the project and parking areas through the use of maintenance of traffic practices and procedures. County or its contractor shall communicate in advance any closure of access to the property which shall not exceed 8 hours where the remainder property is not accessible for truck delivery and customer parking.

IV. CLOSING DATE

- (a) This transaction shall be closed and the instrument of conveyance delivered within 90 days of the date of Board of County Commissioners acceptance. The time to close may be extended by BUYER to give SELLER time to cure title defects to deliver marketable fee simple title to the BUYER.

V. TYPEWRITTEN OR HANDWRITTEN PROVISIONS

- (a) Typewritten or handwritten provisions inserted herein or attached hereto as Addenda, and initialed by all parties, shall control all printed provisions in conflict herewith. All Addenda, whether typewritten or handwritten, attached hereto must be referenced and initialed in this section. In addition, all addenda must be signed by both the SELLER and BUYER. There () is (X) is not an addendum to this agreement.

VI. ENTIRE AGREEMENT

- (a) This agreement shall bind and inure to the benefit of the parties and their successors in interest. This agreement and any exhibits attached hereto constitutes the entire agreement between the BUYER and SELLER, and there are no other covenants, agreements, promises, terms, provisions, conditions, undertakings, or understandings, either oral or written, between them concerning the property other than those set forth herein. No subsequent alteration, amendment, change, deletion, or addition to this agreement shall be binding upon the BUYER or SELLER unless in writing and signed by both parties.

[This portion of page intentionally left blank. Signature pages follow.]

IN WITNESS WHEREOF, THE PARTIES has caused these presents to be executed in their respective name(s).

WITNESSES:

Jessica Scotto
(Signature)

Jessica Scotto
(Print or type name)

[Signature]
(Signature)

Jonathan deShetler
(Print or type name)

SELLER: INDUSTRIAL TECHNOLOGIES &
SERVICES AMERICAS, INC., a Delaware,
limited liability company, f/k/a SP FLOW
TECHNOLOGY USA, INC., a merger with
PNEUMATIC PRODUCTS CORPORATON,
a Delaware corporation

[Signature]
(Signature)

Mark Siler, VP and Assistant General Counsel
(Print or type name)

6-3-25
(Date)

ATTEST:

GREGORY C. HARRELL,
CLERK OF THE COURT

BUYER:
MARION COUNTY, A POLITICAL SUBDIVISION OF
THE STATE OF FLORIDA BY ITS BOARD OF
COUNTY COMMISSIONERS

BY: KATHY BRYANT, CHAIRMAN

(Date)

FOR USE AND RELIANCE OF MARION
COUNTY ONLY, APPROVED AS TO
FORM AND LEGAL SUFFICIENCY:

For: [Signature]
COUNTY ATTORNEY

SKETCH OF DESCRIPTION FOR:
PNEUMATIC PRODUCTS CORP.

DESCRIPTION: (TEMPORARY CONSTRUCTION EASEMENT) #12

A PORTION OF LOT 9 OF EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.W. CORNER OF SAID LOT 9, SAID POINT ALSO BEING ON THE EAST RIGHT OF WAY LINE OF S.W. 40TH AVENUE, RIGHT OF WAY WIDTH VARIES; THENCE ALONG SAID SAID EAST RIGHT OF WAY LINE, N.00°02'35"E., A DISTANCE OF 142.27 FEET TO A POINT ON THE NORTH BOUNDARY OF THE S.E. 1/4 OF THE S.E. 1/4 OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST; THENCE DEPARTING SAID NORTH BOUNDARY, CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19"E., A DISTANCE OF 1105.90 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 406.00 FEET, A CENTRAL ANGLE OF 16°27'32"E. AND CHORD BEARING AND DISTANCE OF N.08°44'50"E., 131.69 FEET; THENCE NORTHEASTERLY ALONG SAID EAST RIGHT OF WAY LINE AND THE ARC OF SAID CURVE, A DISTANCE OF 132.14 FEET TO THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF S.W. 43RD STREET ROAD, BEING A 100 FOOT RIGHT OF WAY; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, ALONG SAID SOUTH RIGHT OF WAY LINE, S.89°26'18"E., A DISTANCE OF 31.39 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 17°38'25" AND A CHORD BEARING AND DISTANCE OF S.09°20'17"W., 131.87 FEET; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE, SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 132.39 FEET TO THE END OF SAID CURVE; THENCE S.00°31'19"W., A DISTANCE OF 1105.65 FEET TO A POINT ON THE AFOREMENTIONED NORTH BOUNDARY OF THE S.E. 1/4 OF THE S.E. 1/4 OF SECTION 34; THENCE DEPARTING SAID NORTH BOUNDARY, S.00°02'35"W., A DISTANCE OF 142.37 FEET TO A POINT ON THE SOUTH BOUNDARY OF THE AFOREMENTIONED LOT 9; THENCE ALONG SAID SOUTH BOUNDARY, N.89°45'40"W., A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 0.95 ACRES MORE OR LESS.

SEE SHEET 2 OF 2 FOR SKETCH AND LEGEND

SHEET 1 OF 2
ONE IS NOT COMPLETE WITHOUT THE OTHER

NOTES:

1. DATE OF SKETCH: JANUARY 24, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47"W.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

NOTE ~ THIS IS NOT A SURVEY!

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SKETCH REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

1/24/2024

SIGNATURE DATE

TRAVIS@RMBARRINEAU.COM

TRAVIS P. BARRINEAU, P.S.M. - LS 6897
OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



R.M. BARRINEAU
AND ASSOCIATES
PROFESSIONAL SURVEYORS & MAPPERS

OneHurst Professional Park • 1300 S.E. 25th Loop • Suite 103 • Ocala, FLORIDA 34471
PHONE (352) 622-3133 • FAX (352) 368-3771 • www.rmbarrineau.com

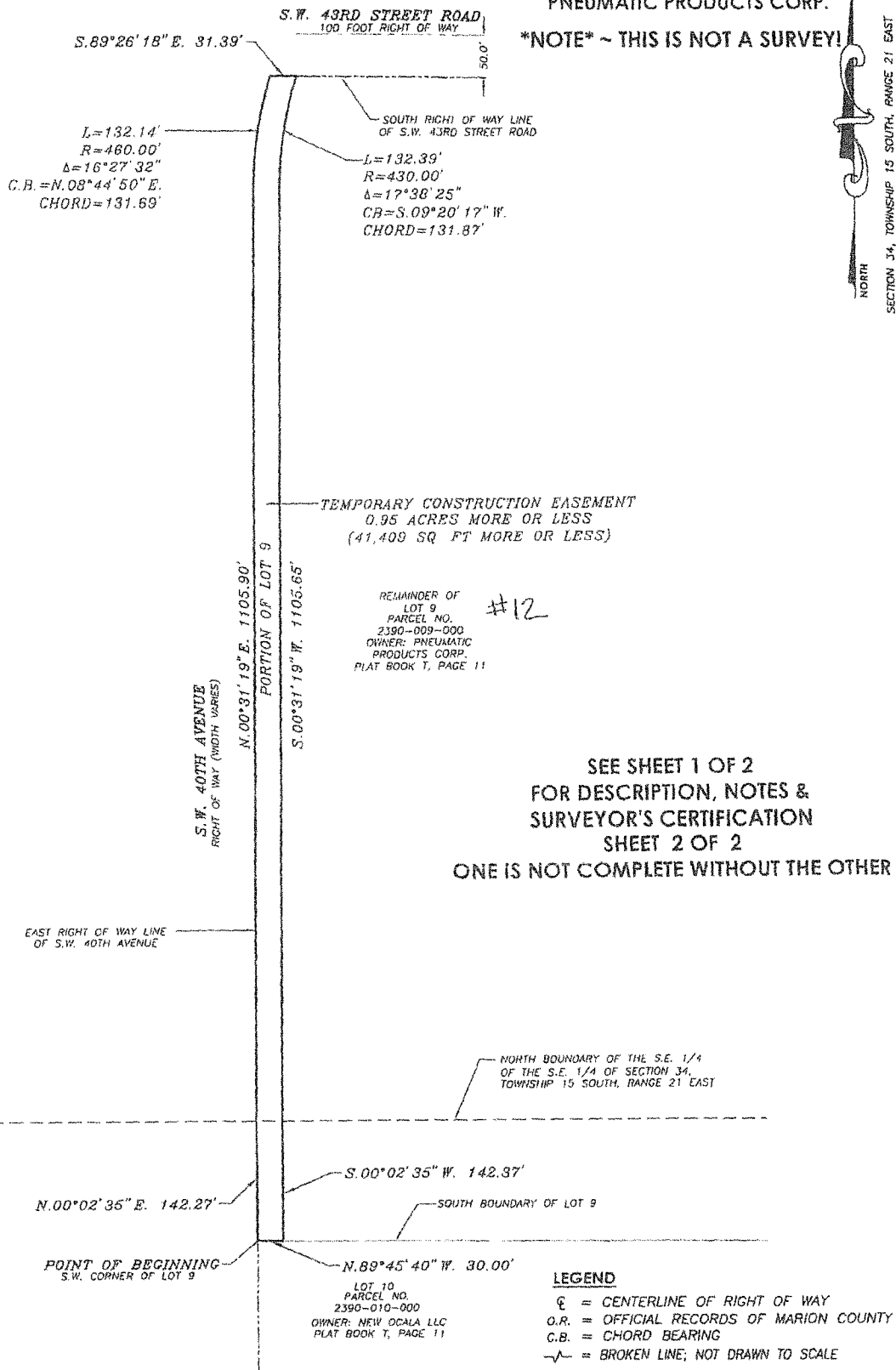
REGINALD M. BARRINEAU, P.S.M., FOUNDER • CERTIFICATE OF AUTHORIZATION NO. LB 5001
TRAVIS P. BARRINEAU, P.S.M. - LS 6897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	T-C-E LOT 9
APPROVED:	T.P.B.	SHEET 1 OF 2
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EXHIBIT # A pg 2 of 8

SKETCH OF DESCRIPTION FOR:
PNEUMATIC PRODUCTS CORP.

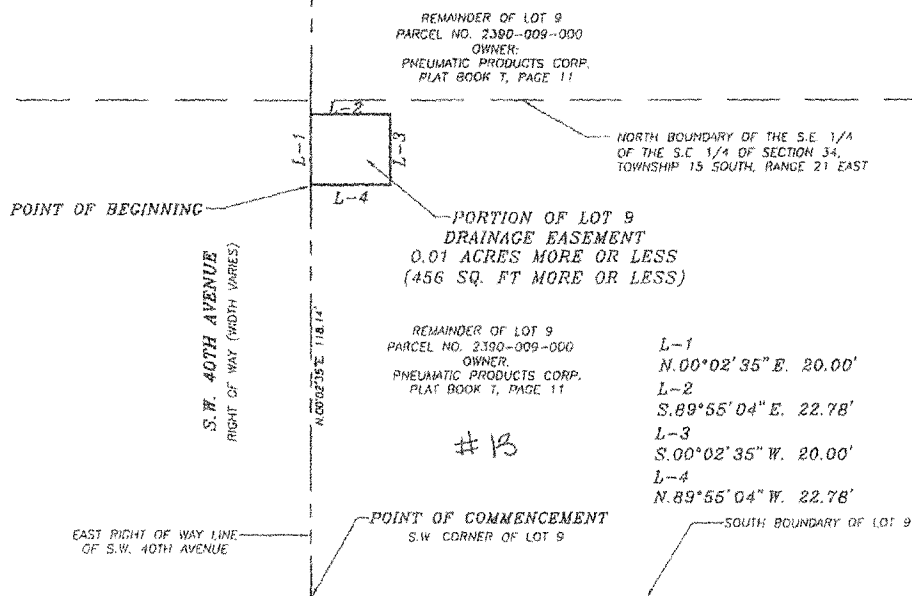
NOTE ~ THIS IS NOT A SURVEY!



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 REGINALD D. BARRINEAU, P.S.M. - FOUNDER • CERTIFICATE OF AUTHORIZATION NO. 181201
 TRAVIS P. BARRINEAU, P.S.M. - 131201

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	T-C-E LOT 9
APPROVED:	T.P.B.	SHEET 2 OF 2
SCALE: 1" = 140'	COPYRIGHT © JANUARY, 2024	

SKETCH OF DESCRIPTION FOR: PNEUMATIC PRODUCTS CORP.



DESCRIPTION: (DRAINAGE EASEMENT) #13

A PORTION OF LOT 9 EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SAID LOT 9; THENCE ALONG THE EAST RIGHT OF WAY LINE OF S.W. 40TH AVENUE, BEING A RIGHT OF WAY WIDTH THAT VARIES, N.00°02'35"E., A DISTANCE OF 118.14 FEET TO THE POINT OF BEGINNING. THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°02'35"E., A DISTANCE OF 20.00 FEET; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, S.89°55'04"E., A DISTANCE OF 22.78 FEET; THENCE S.00°02'35"W., A DISTANCE OF 20.00 FEET; THENCE N.89°55'04"W., A DISTANCE OF 22.78 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 456 SQUARE FEET MORE OR LESS.

NOTES:

1. DATE OF SKETCH: JANUARY 24, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47"W.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SKETCH REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOTE ~ THIS IS NOT A SURVEY!

LEGEND

- ℄ = CENTERLINE OF RIGHT OF WAY
- O.R. = OFFICIAL RECORDS OF MARION COUNTY
- C.B. = CHORD BEARING
- /- = BROKEN LINE; NOT DRAWN TO SCALE

1/25/2024

SIGNATURE DATE

TRAVIS@RMBARRINEAU.COM

Travis P. Barrineau

TRAVIS P. BARRINEAU, P.S.M. - LS 5897
OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

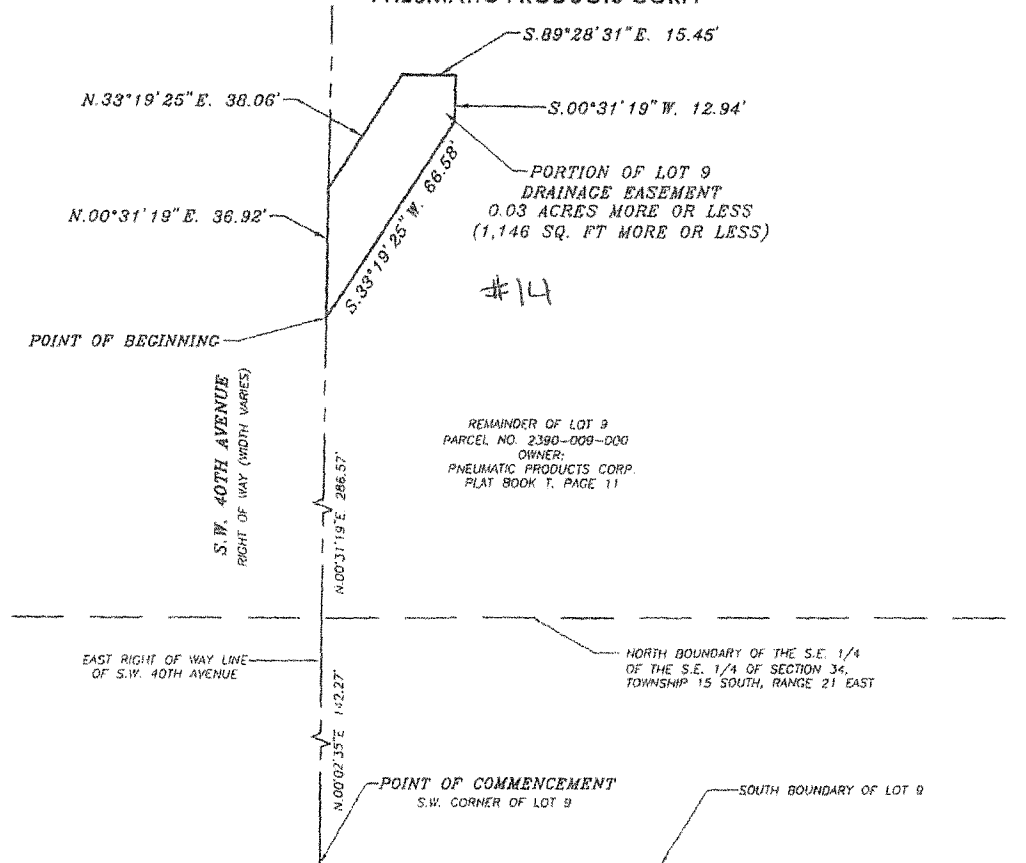


R.M. BARRINEAU
AND ASSOCIATES
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RECNALD H. BARRINEAU, P.S.M. - FOUNDER • CERTIFICATE OF AUTHORIZATION NO. LH 5091
TRAVIS P. BARRINEAU, P.S.M. - LS 5897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	D.E. LOT 9 A
APPROVED:	T.P.B.	SHEET 1 OF 1
SCALE: 1" = 40'		COPYRIGHT © JANUARY, 2024

SKETCH OF DESCRIPTION FOR:
PNEUMATIC PRODUCTS CORP.**DESCRIPTION:** (DRAINAGE EASEMENT) #14

A PORTION OF LOT 9 EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SAID LOT 9; THENCE ALONG THE EAST RIGHT OF WAY LINE OF S.W. 40TH AVENUE, BEING A RIGHT OF WAY WIDTH THAT VARIES, N.00°02'35"E., A DISTANCE OF 142.27 FEET TO A POINT ON THE NORTH BOUNDARY OF THE S.E. 1/4 OF THE S.E. 1/4 OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST; THENCE DEPARTING SAID NORTH BOUNDARY, CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19"E., A DISTANCE OF 286.57 FEET TO THE POINT OF BEGINNING. THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19"E., A DISTANCE OF 36.92 FEET; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, N.33°19'25"E., A DISTANCE OF 38.06 FEET; THENCE S.89°28'31"E., A DISTANCE OF 15.45 FEET; THENCE S.00°31'19"W., A DISTANCE OF 12.94 FEET; THENCE S.33°19'25"W., A DISTANCE OF 66.58 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 0.03 ACRES MORE OR LESS.

NOTES:

1. DATE OF SKETCH: JANUARY 24, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47"W.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

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NOTE* ~ THIS IS NOT A SURVEY!*LEGEND**

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- O.R. = OFFICIAL RECORDS OF MARION COUNTY
- C.B. = CHORD BEARING
- = BROKEN LINE; NOT DRAWN TO SCALE

1/25/2024

SIGNATURE DATE

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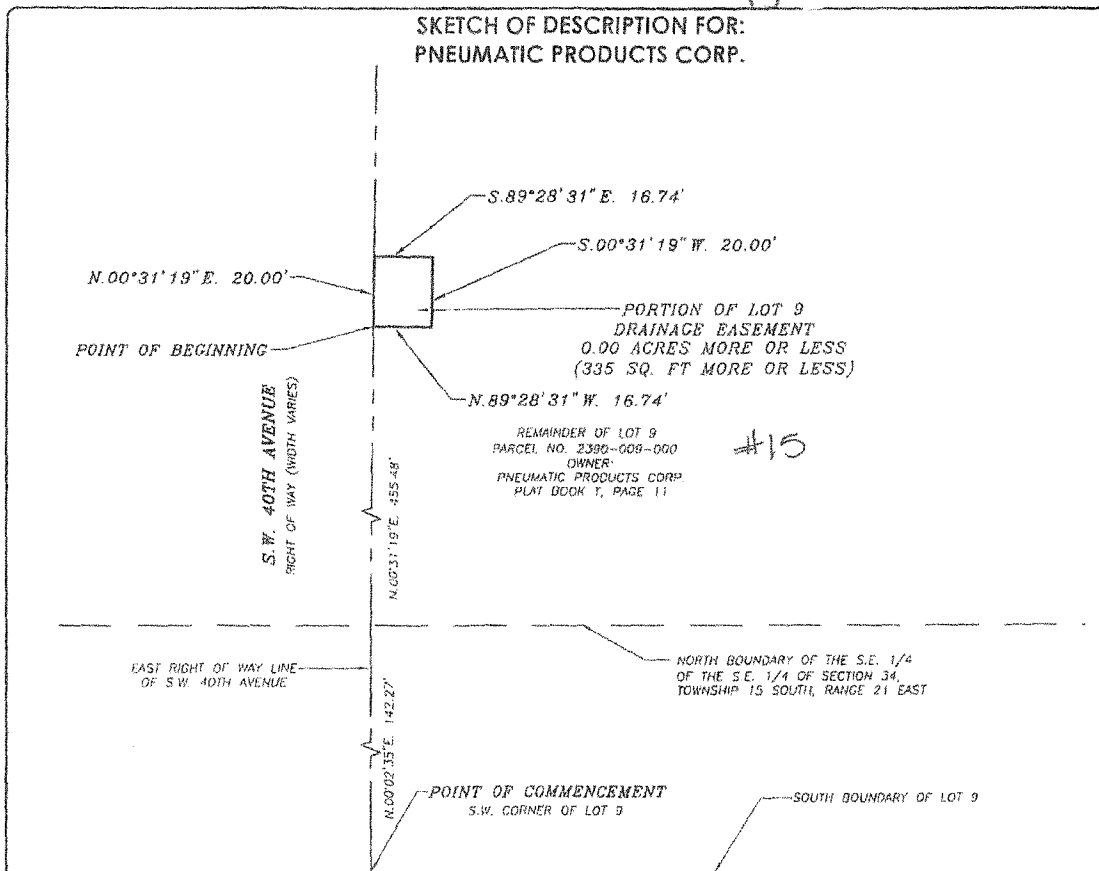


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REGINALD R. BARRINEAU, P.S.M. - FOUNDER • CERTIFICATE OF AUTHORIZATION NO. 19 991
TRAVIS P. BARRINEAU, P.S.M. - LS 6897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	D.E. LOT 9 B
APPROVED:	T.P.B.	SHEET 1 OF 1
SCALE: 1" = 40'	COPYRIGHT © JANUARY, 2024	



DESCRIPTION: (DRAINAGE EASEMENT) #15

A PORTION OF LOT 9 EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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NOTES:

1. DATE OF SKETCH: JANUARY 24, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47\"W.
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SURVEYOR'S CERTIFICATION:

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LEGEND

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- C.B. = CHORD BEARING
- /— = BROKEN LINE; NOT DRAWN TO SCALE

1/25/2024

SIGNATURE DATE

TRAVIS@RMBARRINEAU.COM

Travis P. Barrineau

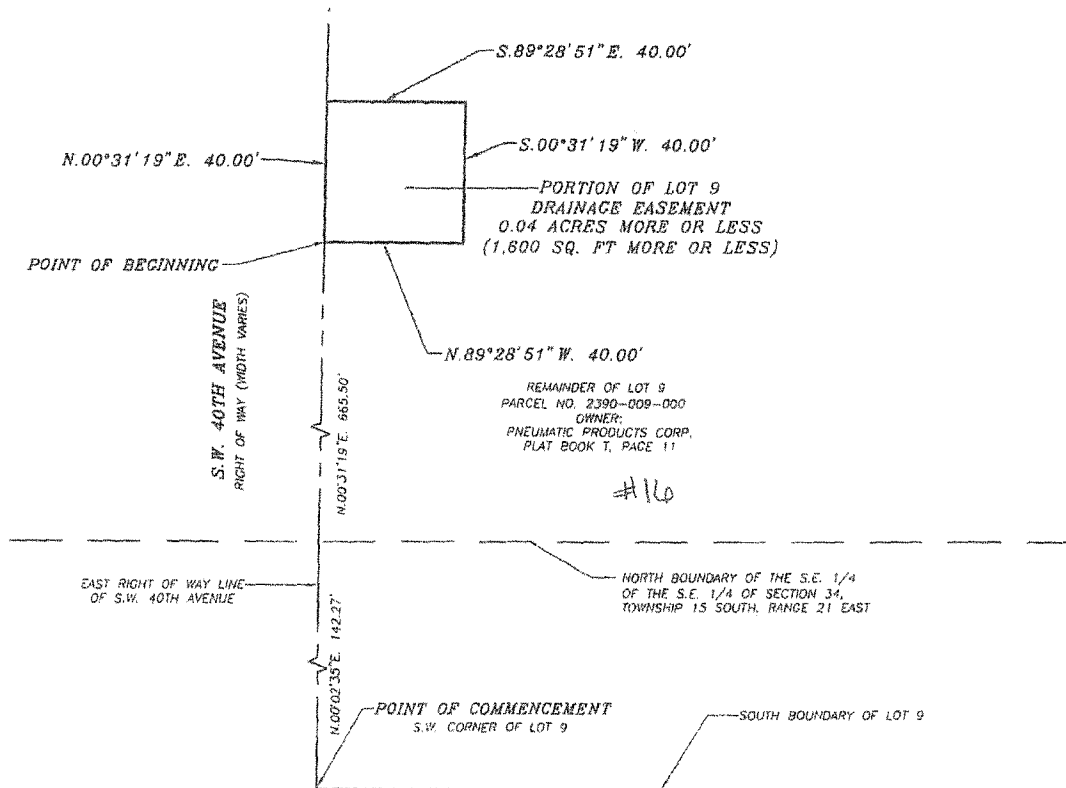
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NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



**R.M. BARRINEAU
AND ASSOCIATES**
PROFESSIONAL SURVEYORS & MAPPERS
On/Next Professional Park - 1309 S.E. 25th Loop Suite 103 Ocala, FLORIDA 34471
PHONE (352) 622-3133 • FAX (352) 393-3771 • www.rmbarineau.com
REGINALD E. BARRINEAU, P.S.M. - FOUNDER • CERTIFICATE OF AUTHORIZATION NO. LB 5091
TRAVIS P. BARRINEAU, P.S.M. - LS 6897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	D.E. LOT 9 C
APPROVED:	T.P.B.	SHEET 1 OF 1
SCALE: 1" = 40'		COPYRIGHT © JANUARY, 2024

SKETCH OF DESCRIPTION FOR:
PNEUMATIC PRODUCTS CORP.**DESCRIPTION:** (DRAINAGE EASEMENT) #116

A PORTION OF LOT 9 EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SAID LOT 9; THENCE ALONG THE EAST RIGHT OF WAY LINE OF S.W. 40TH AVENUE, BEING A RIGHT OF WAY WIDTH THAT VARIES, N.00°02'35\"E., A DISTANCE OF 142.27 FEET TO A POINT ON THE NORTH BOUNDARY OF THE S.E. 1/4 OF THE S.E. 1/4 OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST; THENCE DEPARTING SAID NORTH BOUNDARY, CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19\"E., A DISTANCE OF 665.50 FEET TO THE POINT OF BEGINNING. THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19\"E., A DISTANCE OF 40.00 FEET; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, S.89°28'51\"E., A DISTANCE OF 40.00 FEET; THENCE S.00°31'19\"W., A DISTANCE OF 40.00 FEET; THENCE N.89°28'51\"W., A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 0.04 ACRES MORE OR LESS.

NOTES:

1. DATE OF SKETCH: JANUARY 25, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47\"W.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SKETCH REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOTE* ~ THIS IS NOT A SURVEY!*LEGEND**

- ☒ = CENTERLINE OF RIGHT OF WAY
- O.R. = OFFICIAL RECORDS OF MARION COUNTY
- C.B. = CHORD BEARING
- /- = BROKEN LINE; NOT DRAWN TO SCALE

1/25/2024
SIGNATURE DATE
TRAVIS@RMBARRINEAU.COM

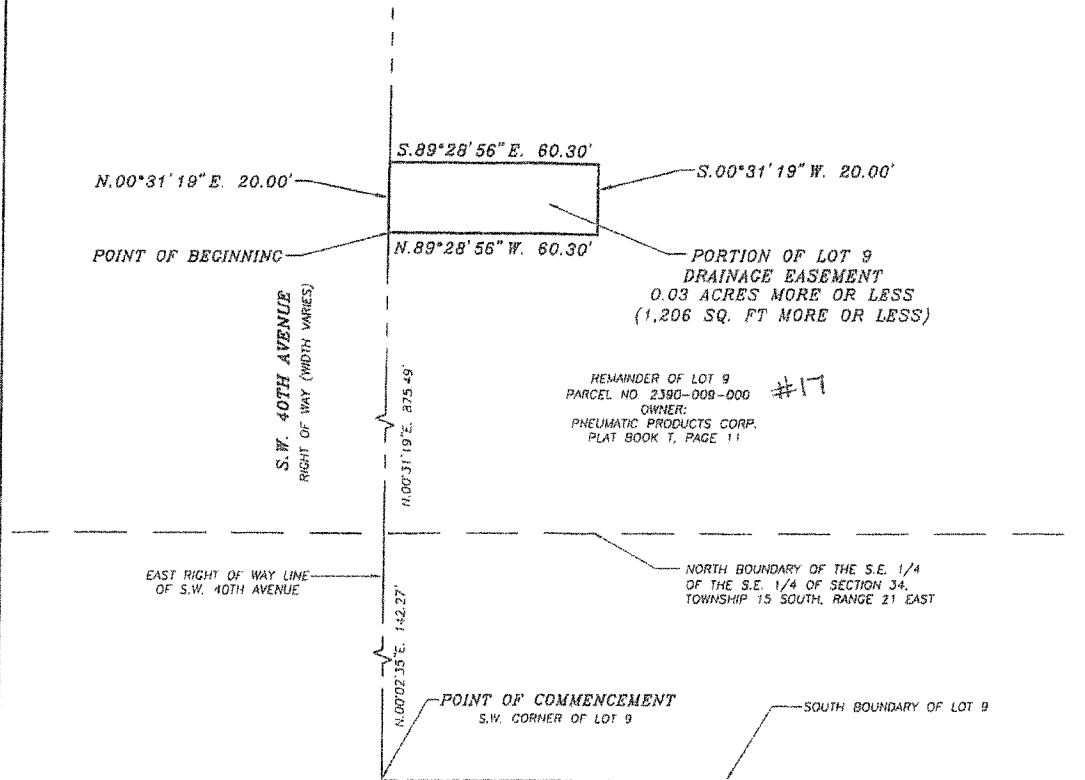
Travis P. Barrineau
TRAVIS P. BARRINEAU, P.S.M. + L.S. 6897
OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

R.M. BARRINEAU
AND ASSOCIATES
PROFESSIONAL SURVEYORS & MAPPERS
Oakhurst Professional Park • 1300 S.E. 25th Loop • Suite 103 • Ocala, FLORIDA 34471
PHONE (352) 622-3133 • FAX (352) 399-3771 • www.rmbarrineau.com

REGINALD H. BARRINEAU, P.S.M. FOUNDER • CERTIFICATE OF AUTHORIZATION NO. LB 0011
TRAVIS P. BARRINEAU, P.S.M. L.S. 6897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	D.E. LOT 9 D
APPROVED:	T.P.B.	SHEET 1 OF 1
SCALE: 1" = 40'		COPYRIGHT © JANUARY, 2024

SKETCH OF DESCRIPTION FOR:
PNEUMATIC PRODUCTS CORP.DESCRIPTION: (DRAINAGE EASEMENT) #17

A PORTION OF LOT 9 EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SAID LOT 9; THENCE ALONG THE EAST RIGHT OF WAY LINE OF S.W. 40TH AVENUE, BEING A RIGHT OF WAY WIDTH THAT VARIES, N.00°02'35"E., A DISTANCE OF 142.27 FEET TO A POINT ON THE NORTH BOUNDARY OF THE S.E. 1/4 OF THE S.E. 1/4 OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST; THENCE DEPARTING SAID NORTH BOUNDARY, CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19"E., A DISTANCE OF 875.49 FEET TO THE POINT OF BEGINNING. THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19"E., A DISTANCE OF 20.00 FEET; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, S.89°28'56"E., A DISTANCE OF 60.30 FEET; THENCE S.00°31'19"W., A DISTANCE OF 20.00 FEET; THENCE N.89°28'56"W., A DISTANCE OF 60.30 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 0.03 ACRES MORE OR LESS.

NOTES:

1. DATE OF SKETCH: JANUARY 25, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47"W.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

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NOTE ~ THIS IS NOT A SURVEY!

LEGEND

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O.R. = OFFICIAL RECORDS OF MARION COUNTY
C.B. = CHORD BEARING
-/- = BROKEN LINE; NOT DRAWN TO SCALE

1/25/2024
SIGNATURE DATE
TRAVIS@RMBARRINEAU.COM

TRAVIS P. BARRINEAU, P.S.M., LS 6897
OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

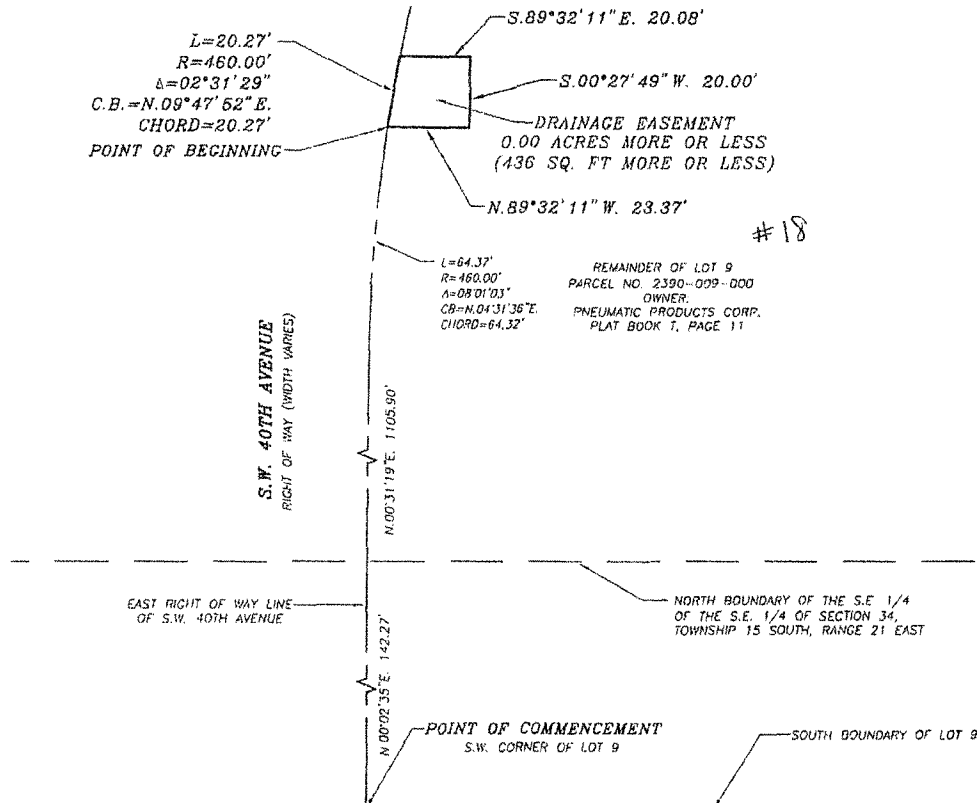


R.M. BARRINEAU
AND ASSOCIATES
PROFESSIONAL SURVEYORS & MAPPERS
Oakhurst Professional Park • 1308 S.E. 25th Loop • Suite 103 • Ocala, FLORIDA 34471
PHONE (352) 622-3133 • FAX (352) 360-3771 • www.rmbarrineau.com
REGISTERED: R.M. BARRINEAU, P.S.M. - FOUNDER • CERTIFICATE OF AUTHORIZATION NO. LS 5997
TRAVIS P. BARRINEAU, P.S.M. - LS 6897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	D.E. LOT 9 E
APPROVED:	T.P.B.	SHEET 1 OF 1
SCALE: 1" = 40'	COPYRIGHT © JANUARY, 2024	

EXHIBIT # A pg 8 of 8

**SKETCH OF DESCRIPTION FOR:
PNEUMATIC PRODUCTS CORP.**



DESCRIPTION: (DRAINAGE EASEMENT)

A PORTION OF LOT 9 EXECUTIVE PARK AS RECORDED IN PLAT BOOK T, PAGE 11 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SAID LOT 9; THENCE ALONG THE EAST RIGHT OF WAY LINE OF S.W. 40TH AVENUE, BEING A RIGHT OF WAY WIDTH THAT VARIES, N.00°02'35\"E. A DISTANCE OF 142.27 FEET TO A POINT ON THE NORTH BOUNDARY OF THE S.E. 1/4 OF THE S.E. 1/4 OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST; THENCE DEPARTING SAID NORTH BOUNDARY, CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N.00°31'19\"E., A DISTANCE OF 1105.90 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 460.00 FEET, A CENTRAL ANGLE OF 08°01'03\" AND A CHORD BEARING AND DISTANCE OF N.04°31'36\"E., 64.32 FEET; THENCE NORTHEASTERLY ALONG SAID EAST RIGHT OF WAY LINE AND THE ARC OF SAID CURVE, A DISTANCE OF 64.37 FEET TO THE POINT OF BEGINNING. STAYING ON SAID EAST RIGHT OF WAY LINE AND SAID CURVE WITH A RADIUS OF 460.00 FEET, A CENTRAL ANGLE OF 02°31'29\" AND A CHORD BEARING AND DISTANCE OF N.09°47'52\"E., 20.27 FEET; THENCE NORTHEASTERLY ALONG SAID EAST RIGHT OF WAY LINE AND THE ARC OF SAID CURVE, A DISTANCE OF 20.27 FEET TO THE END OF SAID CURVE; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, S.89°32'11\"E., A DISTANCE OF 20.08 FEET; THENCE S.00°27'49\"W., A DISTANCE OF 20.00 FEET; THENCE N.89°32'11\"W., A DISTANCE OF 23.37 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 436 SQUARE FEET MORE OR LESS.

NOTES:

1. DATE OF SKETCH: JANUARY 25, 2024
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
4. BEARINGS ARE BASED ON THE FLORIDA WEST GRID NAD-83 (1990 ADJUSTMENT), BETWEEN CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINTS 0012 & 0004, AS BEING S.77°45'47\"W.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
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1/25/2024
SIGNATURE DATE
TRAVIS@RMBARRINEAU.COM

Travis P. Barrineau
TRAVIS P. BARRINEAU, P.S.M. - LS 6897
OF R.M. BARRINEAU & ASSOCIATES, INC.

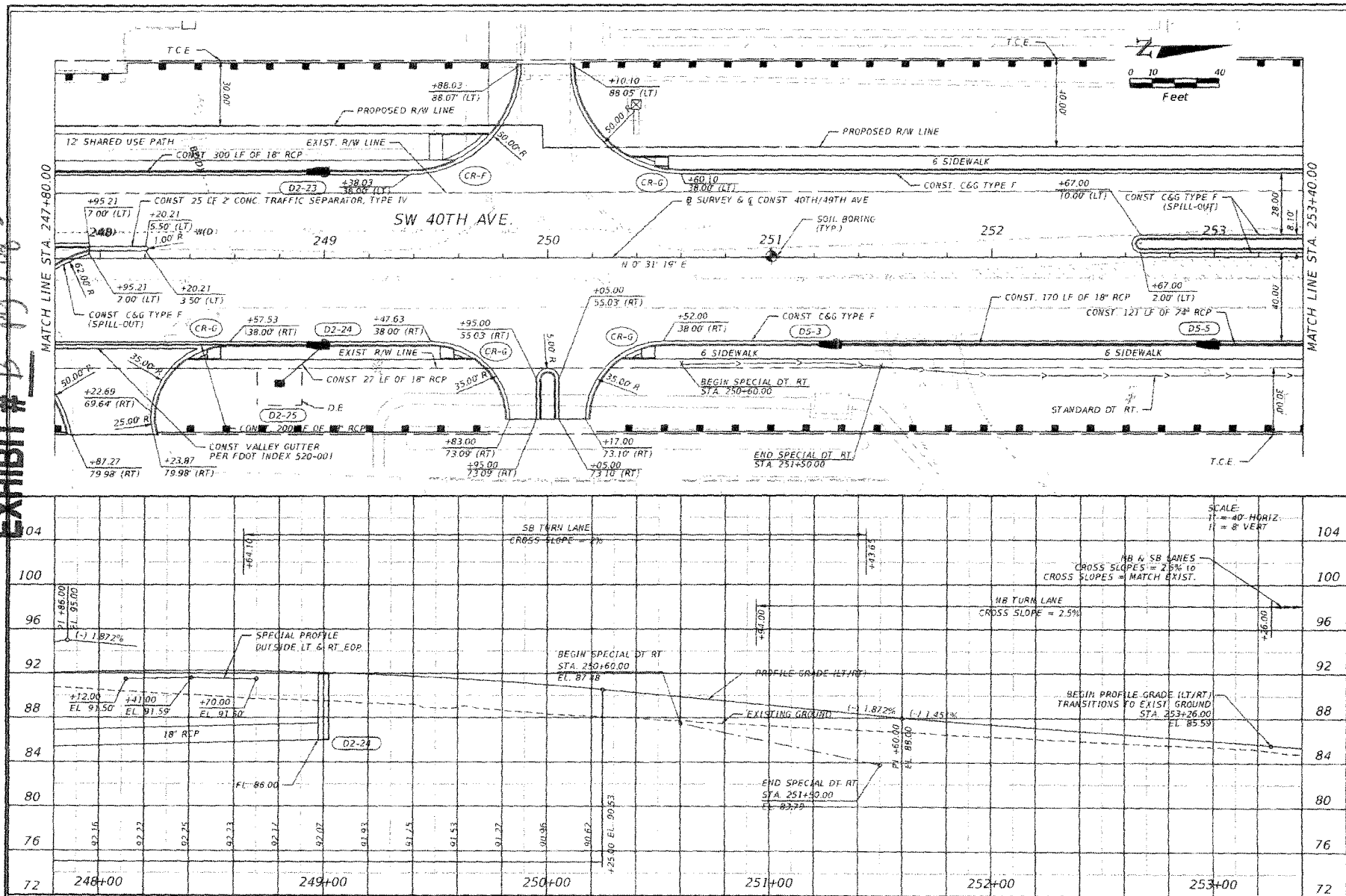
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PHONE (352) 622-3133 • FAX (352) 369-3771 • www.rm.barrineau.com
REGINALD M. BARRINEAU, P.S.M., FOUNDER • CERTIFICATE OF AUTHORIZATION NO. LS 5001
TRAVIS P. BARRINEAU, P.S.M. - LS 6897

DRAWN:	T.P.B.	J.O.# 15056
REVISED:		DWG.# 15056 SK TAKING
CHECKED:	T.P.B.	D.E. LOT 9 F
APPROVED:	T.P.B.	SHEET 1 OF 1
SCALE: 1" = 40'	COPYRIGHT © JANUARY, 2024	

EXHIBIT # B pg 1 of 2



INFRASTRUCTURE
CONSULTING & ENGINEERING

ENGINEER OF RECORD
MARTY L. MORLAN, P.E.
P.E. LICENSE NUMBER 45326
INFRASTRUCTURE CONSULTING
AND ENGINEERING
5555 W. BAYVIEW AVE.
TAMPA, FL 33624

REVISIONS

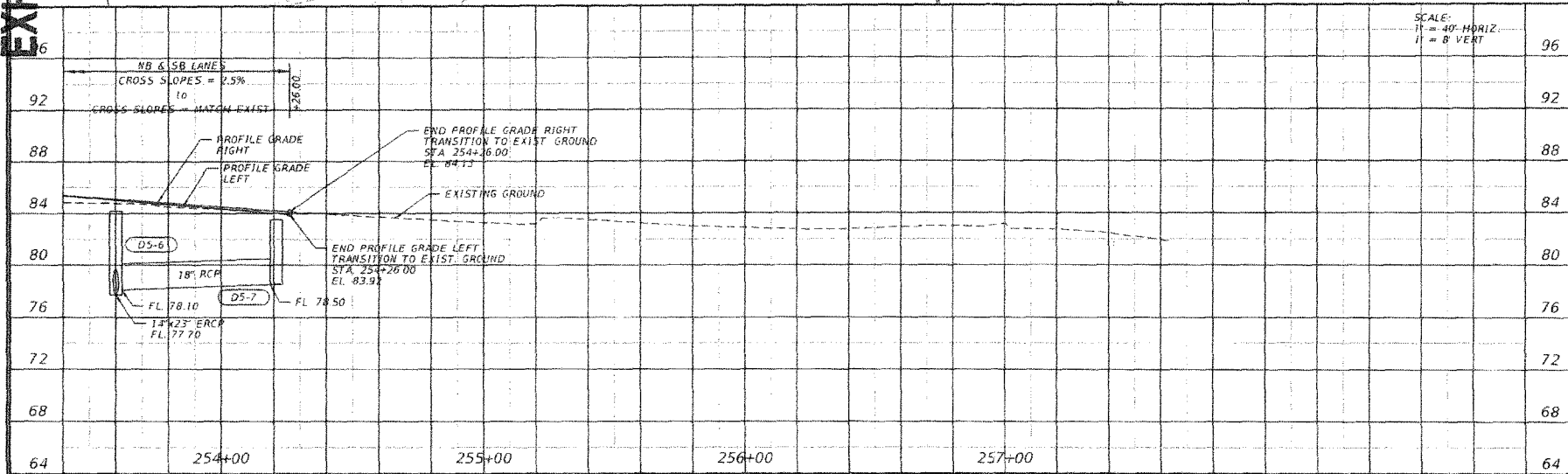
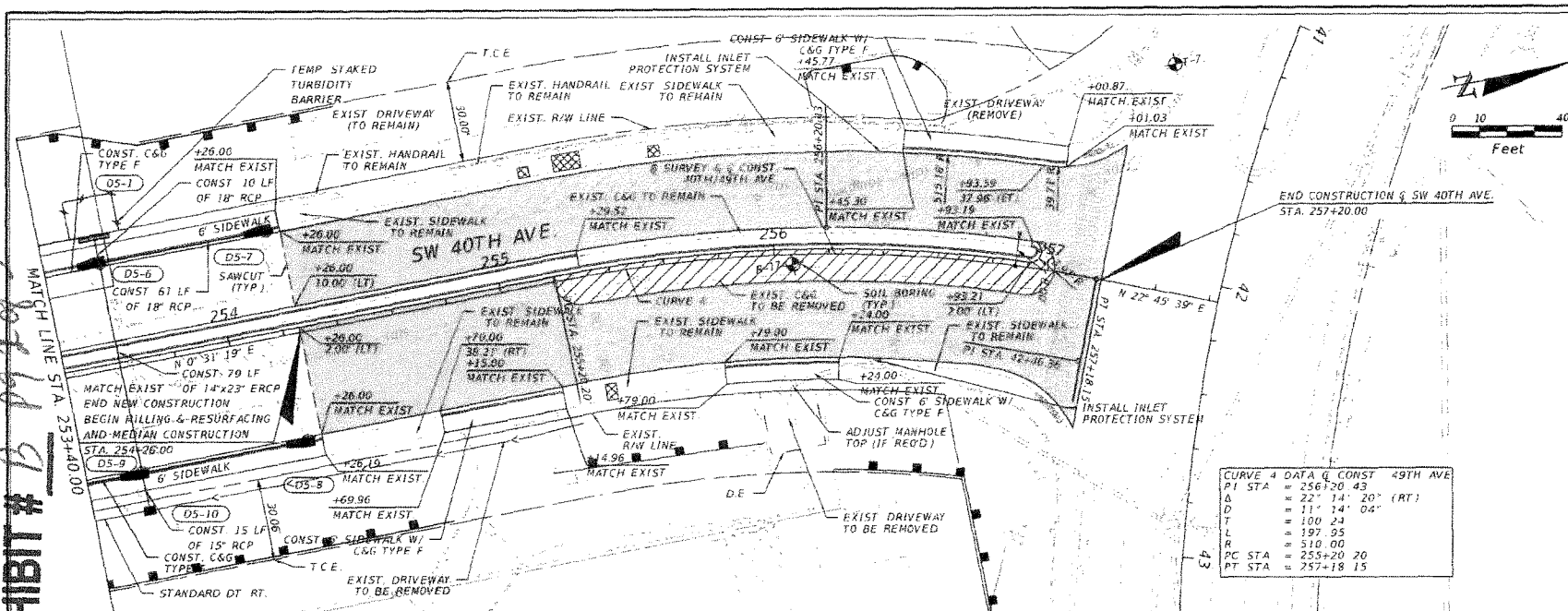
DATE

SHEET NO. 24

SW 40TH IMPROVEMENTS - PHASE 1
HANDY COUNTY, FLORIDA
ROADWAY
PLAN - PROFILE (14)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G13-23.004, F.A.C.

EXHIBIT # 1191X3



INFRASTRUCTURE
CONSULTING & ENGINEERING

ENGINEER OF RECORD
MARTY L MORLAN, P.E.
P.E. LICENSE NUMBER 45326
INFRASTRUCTURE CONSULTING
AND ENGINEERING
5550 W. IDLEWILD AVE.
TAMPA FL 33634

GNILSL

DATE:

SW 40TH / 49TH IMPROVEMENTS - PHASE 1

SHEET NO. 25

ROADWAY
PLAN - PROFILE (15)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

EXHIBIT # C pg 10 of 9

A SITE PLAN FOR SPX FLOW TECHNOLOGIES

City of Ocala, Florida
PARKING LOT MODIFICATIONS
PURSUANT TO SW 40th/49th AVE IMPROVEMENTS

ABBREVIATIONS & LEGEND:

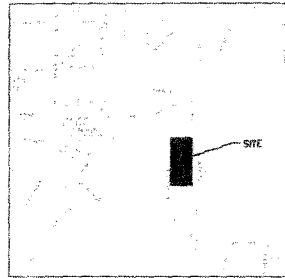
MANHOLE	MANHOLE
PAVEMENT	PAVEMENT
CHAIN-LINK FENCE	CHAIN-LINK FENCE
BOTTOM	BOTTOM
ELEVATION	ELEVATION
HIGH-DENSITY POLYETHYLENE	HIGH-DENSITY POLYETHYLENE
UNDERGROUND	UNDERGROUND
OVERHEAD	OVERHEAD
CONCRETE	CONCRETE
FRESH FLOOR ELEVATION	FRESH FLOOR ELEVATION
INSET	INSET
RIGHT OF WAY	RIGHT OF WAY
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CENTERLINE	CENTERLINE
RADIUS	RADIUS
FIRST FLOOR	FIRST FLOOR
INVERT	INVERT
CORRODED METAL PIPE	CORRODED METAL PIPE
REINFORCED CONCRETE PIPE	REINFORCED CONCRETE PIPE
CLEAN-OUT	CLEAN-OUT
POLYETHYLENE GLASS	POLYETHYLENE GLASS
FREE (SEE TREE SCHEDULE)	FREE (SEE TREE SCHEDULE)
U/V ELECTRICAL WIRING	U/V ELECTRICAL WIRING
U/V WATER LINES	U/V WATER LINES
GRAVITY SEWER LINE	GRAVITY SEWER LINE
SAFETY FORCE MAIN	SAFETY FORCE MAIN
CL	CL
UTILITY POLE AND GUY ANCHOR	UTILITY POLE AND GUY ANCHOR
HYDRANT	HYDRANT
WATER METER	WATER METER
BACKFLOW PREVENTER	BACKFLOW PREVENTER
GATE VALVE	GATE VALVE
EXISTING GROUND GRADE	EXISTING GROUND GRADE
PROPOSED PAVEMENT GRADE	PROPOSED PAVEMENT GRADE
PROPOSED CONC. BULK GRADE	PROPOSED CONC. BULK GRADE
PROPOSED PAVEMENT GRADE	PROPOSED PAVEMENT GRADE
PROPOSED GROUND GRADE	PROPOSED GROUND GRADE
EXISTING GROUND CONTOUR	EXISTING GROUND CONTOUR
DESIGN DIRECTION OF DRAINAGE	DESIGN DIRECTION OF DRAINAGE
EXISTING DIRECTION OF DRAINAGE FLOW	EXISTING DIRECTION OF DRAINAGE FLOW

GENERAL NOTES:

- ON-SITE ASPHALT PAVEMENT SHALL BE 1.25" TYPE SP-9.5 ASPHALT OVER 8" LIME/DOLOMITE BASE (LBR 100-200 DENSITY) OVER 8" STABILIZED SUBGRADE (LBR 40-800 DENSITY).
- ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SOODED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOO WITH A 2-INCH UNDERCUT. SOO SHALL MATCH THE EXISTING SOO AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
- ALL CONCRETE WALLS SHALL BE 4" THICK 3000 PSI (28 DAY STRENGTH), WITH CONSTRUCTION JOINTS PROVIDED AT 5 FT O.C.
- NO SITE WORK SHALL BE CONDUCTED PRIOR TO OBTAINING A "SITE PERMIT" FROM THE CITY OF OCALA. CALL THE CITY GROWTH MANAGEMENT DEPARTMENT AT (352) 629-8421 TO SCHEDULE A "PRE-CONSTRUCTION MEETING" WHICH IS REQUIRED PRIOR TO INSTALLING ANY EROSION CONTROLS AND OBTAINING THE SITE PERMIT.
- ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
- THERE SHALL BE NO DEVIATIONS FROM THIS PLAN UNLESS APPROVED BY THE PROJECT ENGINEER, THE CITY OF OCALA AND MARION COUNTY TRANSPORTATION.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIALS REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF OCALA LAND DEVELOPMENT CODE.
- IRRIGATION SHALL BE PROVIDED FOR 100% OF THE SITE'S OPEN SPACE THROUGH THE ESTABLISHMENT PERIOD.

SIGNAGE & STRIPING NOTES:

- THE STOP SIGN SHALL BE 30"x30" AND FABRICATED USING, AT A MINIMUM, 3M DIAMOND GRADE VSP REFLECTIVE SHEETING (REF DOT INDEX 11800).
- STOP POSTS SHALL BE 2"x2" SQUARE STEEL POSTS WITH 3/8" DIA HOLES @ 1" ON CENTER, HEIGHT TO BOTTOM OF SIGN = 7'-0" MIN. CITY OF OCALA TRAFFIC STANDARDS.
- ALL SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- CROSSWALK MARKINGS SHALL BE PER FOOT DESIGN STANDARD INDEX #17346.
- ALL STRIPING SHALL BE 6" WHITE WITH THE HANDICAP SPACES OUTLINED IN 8" BLUE, WITH PAINTED HANDICAP SYMBOL AND HANDICAP SIGN. HANDICAPPED MARKINGS AND SIGNAGE SHALL CONFORM WITH FOOT DESIGN STANDARDS INDEX 17346 AND 17355.



SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST
LOCATION MAP

INDEX:

SHEET NO.	CONTENTS
E001	TITLE SHEET
E002	PROJECT AREA PLAN
E003	DEMOLITION, SWEEP & TREE PROTECTION PLAN
E004	LAYOUT & UTILITY PLAN
E005	GRADING & DRAINAGE PLAN
E006	CONSTRUCTION DETAIL SHEET
E007	LANDSCAPE PLAN
E008	IRRIGATION PLAN
E009	LANDSCAPE & IRRIGATION DETAILS

OPEN SPACE CALCULATIONS:

PROJECT AREA 68,888 S.F. (1.56 ACRES)
EXISTING IMPERVIOUS AREA REMOVED - 27,042 S.F.
PROPOSED IMPERVIOUS AREA ADDED - 28,929 S.F.
EXISTING OPEN SPACE - 41,844 S.F.
PROPOSED OPEN SPACE - 42,257 S.F.

LANDSCAPE REQUIREMENTS:

SEE LANDSCAPE PLAN FOR TREE REQUIREMENTS

TRAFFIC STATEMENT:

THERE WILL BE NO INCREASE IN TRAFFIC ASSOCIATED WITH THIS PROJECT. THE PARKING LOT MODIFICATION IS NECESSARY DUE TO THE PROPOSED FOUR-LANE OF SW 40th AVENUE.

LEGAL DESCRIPTION:

LOT 9 OF EXECUTIVE PARK, AS RECORDED IN PLAT BOOK 1, PAGE 013, OF THE PUBLIC RECORDS OF MARION COUNTY, FL.

SITE DATA:

PROJECT NAME: SPX FLOW TECHNOLOGIES
- PARKING LOT MODIFICATIONS

ADDRESS:

PAVING PRODUCTS CORP.
4847 S.W. 40th AVENUE
OCALA, FL 34474

PHONE: (352) 237-1230

PARCEL NO.: 2180-009-000

SITE AREA: 19.8 ACRES

PROJECT AREA: 1.56 ACRES

LAND USE/ZONING: LOW INTENSITY / M-1

MAINTENANCE PRACTICE AND SCHEDULE INSTRUCTIONS

MAINTENANCE RESPONSIBILITIES:

THIS PROJECT HAS BEEN DESIGNED TO PROVIDE SUITABLE REMOVAL OF STORM WATER FROM THE PROJECT USE AREA. THE STORM WATER WILL BE RETAINED IN AN ON-SITE WATER RETENTION BASIN PERMITTED TO MEET BOTH LOCAL AND STATE REQUIREMENTS. TO ASSURE PROPER FUNCTIONING OF THE FACILITIES AFTER COMPLETION OF CONSTRUCTION, THE FOLLOWING RECOMMENDATIONS ARE SUGGESTED:

1. ASPHALT PAVEMENT

- AFTER COMPLETION OF CONSTRUCTION, THE INSIDE EDGES OF ALL TURNING RAIN SHALL BE MONITORED TO ASSURE NO POTHOLES, ETC. OCCUR BEHIND THE CURBING.
- ALL PAVEMENT SHALL BE MONITORED TO ASSURE NO FAILURES OCCUR. IF A HOLE DEVELOPS, CUT A SQUARE EDGE AROUND FAILURE AND REPAIR WITH FULL DEPTH OF ASPHALT.
- ASPHALT PAVEMENT SHALL BE CLOSELY MONITORED TO ASSURE NO FUEL SPILLAGE OCCURS THAT WOULD DESTROY BOTH PAVEMENT AND ALSO VEGETATION IN THE RETENTION BASIN. IF A SPILL DOES OCCUR, FLOOD IMMEDIATELY WITH LARGE VOLUMES OF WATER.
- REPAIR ANY BROKEN CURBING IMMEDIATELY.

2. CULVERTS

- ALL CULVERTS MUST BE MAINTAINED TO ASSURE COMPLETE FULL VOLUME. IF THE ENDS BECOME CRUSHED OR SEDIMENT BUILDS UP IN THE CULVERTS, REPAIR AND/OR CLEAN IMMEDIATELY.
- ALL DRAINAGE CULVERTS SHOULD BE INSPECTED QUARTERLY AND CLEANED TO ASSURE FULL VOLUME CAPACITY.

3. GRATE INLETS

- NAME SURE GRATES ARE NOT CLOGGED WITH DEBRIS AFTER EACH RAINSTORM.
- NAME QUARTERLY CHECKS OF INTERIOR OF CONCRETE INLET AND REMOVE ANY SEDIMENT BUILDUP THAT OCCURRED.
- ANY BROKEN GRATES OVER THE INLETS MUST BE REPLACED IMMEDIATELY.

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE CITY OF OCALA LAND DEVELOPMENT REGULATIONS.

ROBERT L. ROGERS
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 15027

NOTES: 1. SIGNATURE, DATE OF EXPIRATION, PROFESSIONAL ENGINEER NO. 15027
2. THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROBERT L. ROGERS, PE, ON 04-10-2011 USING A SIGNATURE CERTIFICATE
3. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID & TRUSTED
4. THE SIGN & NOTARIZATION DATE MUST BE OFFERED TO ALL SUBMITTERS



NOTICE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE MOST CURRENT ATTACHED PLANS PRIOR TO CONSTRUCTION.

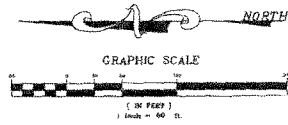


ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph: (352) 622-9214 • Lic: ETC #4074

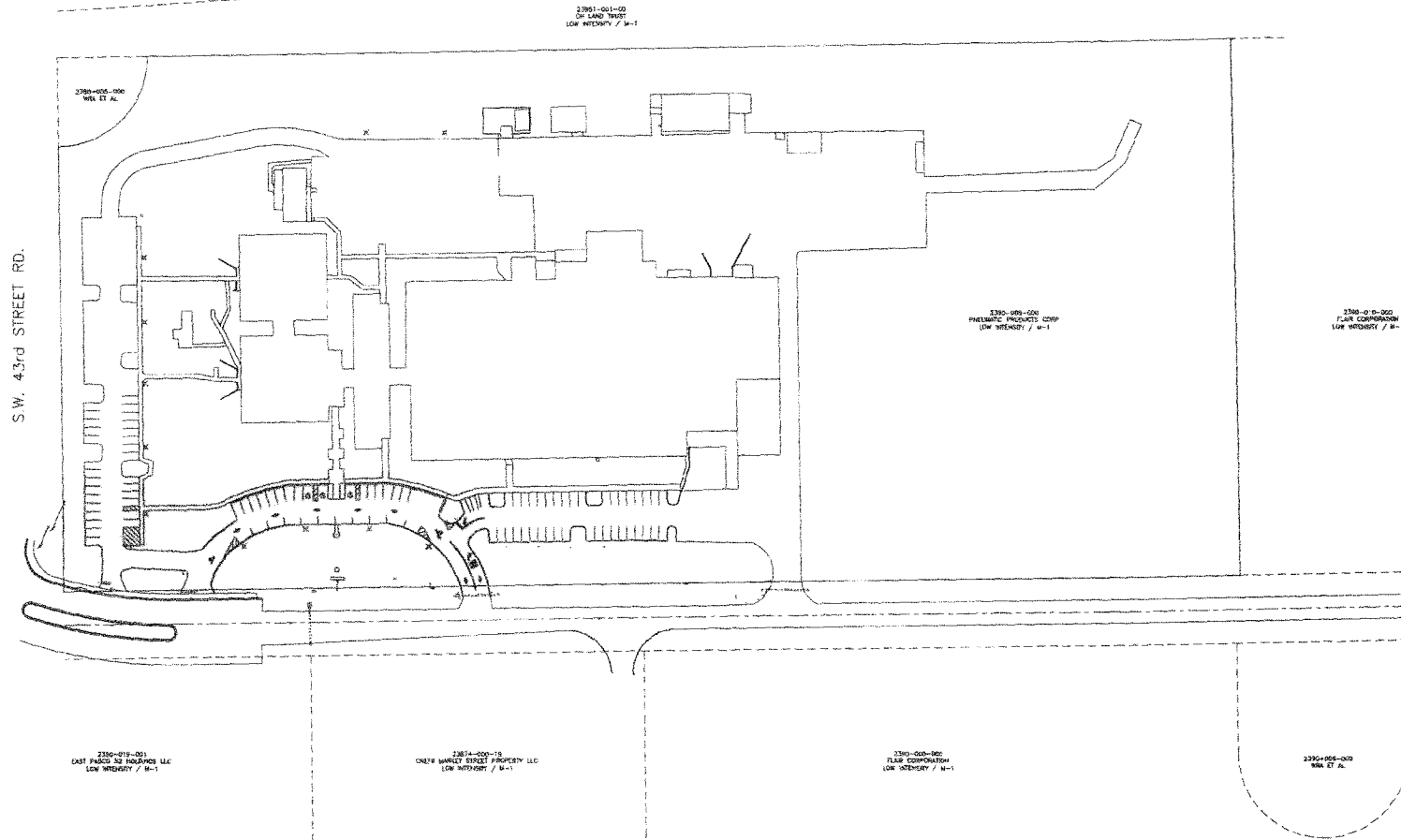
A SITE PLAN
FOR
SPX FLOW TECHNOLOGIES
Title Sheet

DATE
18-08-2011
SCALE
1" = 40'-0"

EXHIBIT # C pg 2 of 9



I-75 (SR 93)



NOTES
 1. THE SHADED AREA SHOWN HEREON REPRESENTS THE PROJECT AREA.
 2. THE PROJECT AREA = 45,486 S.F. (1.04 ACRES)
 3. THERE SHALL BE NO WORK PERFORMED OUTSIDE OF THE PROJECT AREA.

DATE	
REVISION	

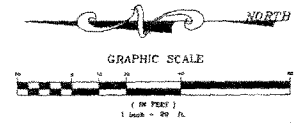
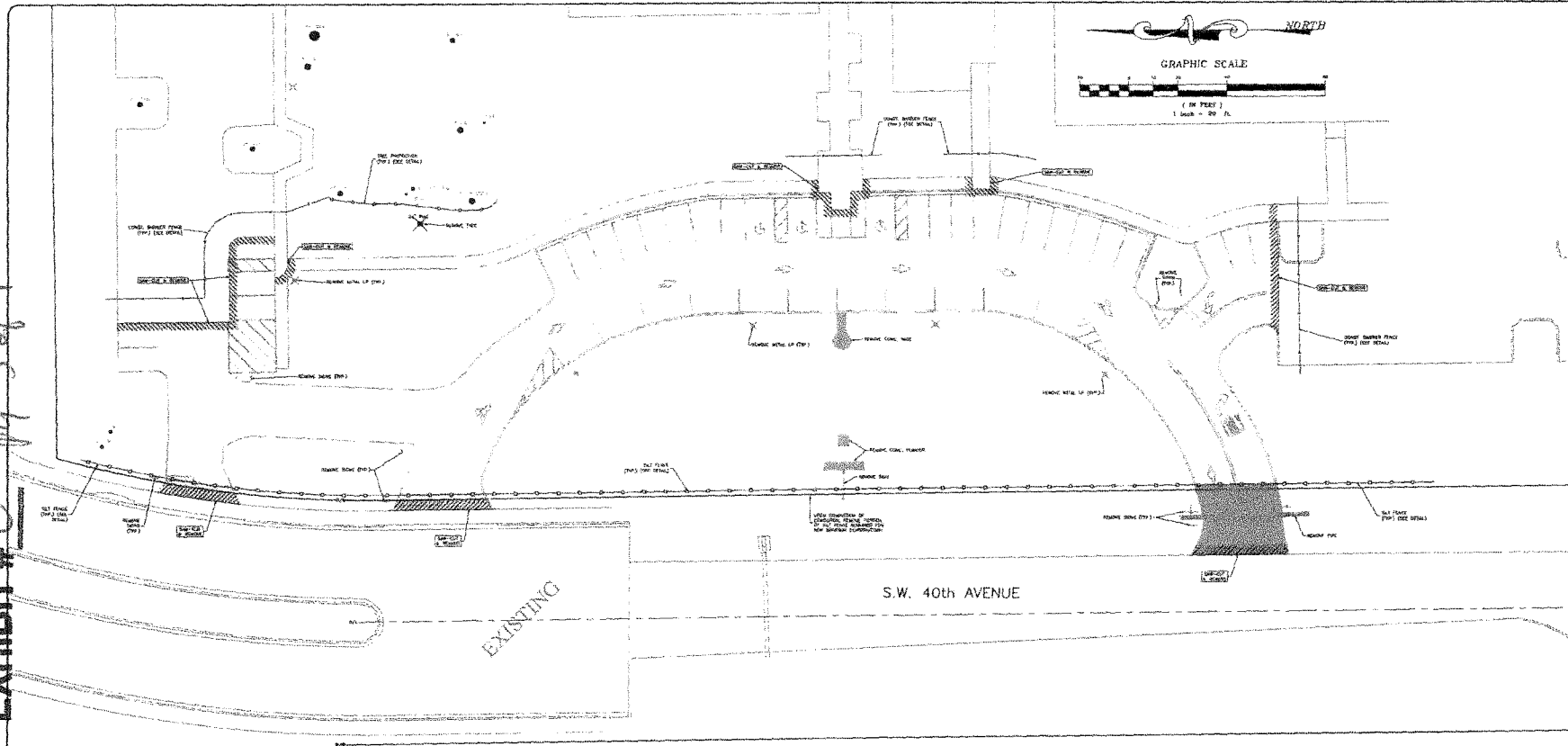
Robert L. Rogers, P.E.
 Registered Professional Engineer
 Robert L. Rogers, P.E.
 Registered Professional Engineer
 Robert L. Rogers, P.E.

ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying
 1105 S.E. 3rd Avenue • Ocala, Florida 34711 • Ph: (352) 622-0214 • Fax: (352) 622-0215

A SITE PLAN
 FOR
 SPX FLOW TECHNOLOGIES
 Project Area Plan

DATE	12-08-17
SCALE	1" = 60'
SHEET	0002

EXHIBIT # C 09 3 of 9



- TRUCK PROTECTION NOTES**
1. THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL MEASURES ARE TAKEN TO AVOID DAMAGE TO TREES NOT APPROVED FOR REMOVAL.
 2. PRIOR TO ANY CLEARING, GRUBBING OR ANY CONSTRUCTION, TREE PROTECTION BARRICADES SHALL BE CONSTRUCTED AROUND ALL TREES OR GROUPS OF TREES WITHIN THE CONSTRUCTION AREA WHICH ARE TO BE PRESERVED.
 3. THE CLEARING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TYP OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 4. THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT MATERIALS, DEBRIS, OR FILL WITHIN THE TYP OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 5. THE CONTRACTOR SHALL PROTECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY.

SEE CONSTRUCTION DETAIL SHEET FOR ALL DETAILS REFERENCED HEREON

- EROSION CONTROL NOTES**
1. PRIOR TO ANY CLEARING ACTIVITIES, THE CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED.
 2. THE SILT FENCE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITIES AND MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND RESTORATION OF ALL DISTURBED AREAS.
 3. THE CONTRACTOR SHALL PERSONALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ADJACENT CITY STREETS, DRIVEWAYS, AND SIDEWALKS TO KEEP THESE SURFACES IN A SUBSTANTIALLY CLEAN, FREE CONDITION. SWEEPING SHALL BE DONE ON A DAILY BASIS (MINIMUM TWICE PER WEEK) AND AFTER EVERY SIGNIFICANT WEATHER EVENT. AFTER EVERY SIGNIFICANT WEATHER EVENT, THE CONTRACTOR SHALL SWEEP THE DRIVEWAYS AND SIDEWALKS IMMEDIATELY AFTER EVERY SIGNIFICANT WEATHER EVENT.
 4. ALL MATERIALS, WASTE, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY MANNER.
 5. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL DEBRIS RESULTING FROM THE CLEARING, GRUBBING, TRIMMING AND UNDERCUTTING, AND PROPERLY CONTROLLED SHALL ON-SITE AND TRANSPORTED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE DISPOSED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY SEWAGE WATER SYSTEM.

- S.M.P.A.P. NOTES**
1. SILT FENCING (SEE DETAIL) SHALL BE INSTALLED PRIOR TO CLEARING OF THE PROPERTY AND MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND RESTORATION OF ALL DISTURBED AREAS.
 2. CONSTRUCT CONSTRUCTION BARRIER FENCING SHALL BE INSTALLED AS SHOWN TO KEEP VEHICLES AND PEDESTRIANS USING THE FACILITY OUT OF THE CONSTRUCTION AREA.
 3. ALL DRIVE ALLEYS SHALL BE PROTECTED BY EITHER OF THE FOLLOWING PROCEDURES:
(1) THE DRIVE SHALL BE PROTECTED BY A 2" X 4" FRAME WITH A 2" X 4" FRAME AROUND THE PERIMETER OF THE DRIVE AND A 2" X 4" FRAME AROUND THE DRIVE. THE DRIVE SHALL BE PROTECTED BY A 2" X 4" FRAME AROUND THE PERIMETER OF THE DRIVE AND A 2" X 4" FRAME AROUND THE DRIVE. THE DRIVE SHALL BE PROTECTED BY A 2" X 4" FRAME AROUND THE PERIMETER OF THE DRIVE AND A 2" X 4" FRAME AROUND THE DRIVE.
(2) INSTALL A 2" X 4" STEEL FRAME AROUND THE PERIMETER OF THE DRIVE WITH THE STEEL DRIVE A MINIMUM OF 8" INTO THE DRIVE WITH A 2" X 4" FRAME AROUND THE PERIMETER OF THE DRIVE AND A 2" X 4" FRAME AROUND THE DRIVE. THE DRIVE SHALL BE PROTECTED BY A 2" X 4" FRAME AROUND THE PERIMETER OF THE DRIVE AND A 2" X 4" FRAME AROUND THE DRIVE.
 4. SILT PROTECTION SHALL REMAIN IN PLACE UNTIL ALL SURFACE WORK WITHIN THE PROJECT HAS BEEN COMPLETED TO THEIR PROPOSED FINISHED CONDITION.



ROBERT L. ROYERS
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 10037

PROJECT: REMOVAL OF EXISTING IMPROVEMENTS AND RECONSTRUCTION OF NEW IMPROVEMENTS
SHEET NO. 12 OF 17
DATE: 12-08-17
SCALE: 1" = 20'
SHEET COUNT: 17

Robert L. Royers, PE
Professional Engineer
Florida Registration No. 10037

Robert L. Royers, PE
Professional Engineer
Florida Registration No. 10037

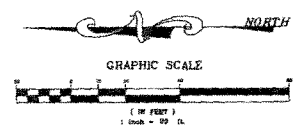
ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

1110 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 522-9214 • Lic. No. #4014

A SITE PLAN FOR
SPX FLOW TECHNOLOGIES
Demolition, SWPPP & Tree Protection Plan

DATE: 12-08-17
SCALE: 1" = 20'
SHEET COUNT: 17

CONFIDENTIAL



ROBERT L. ROGERS
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 10027

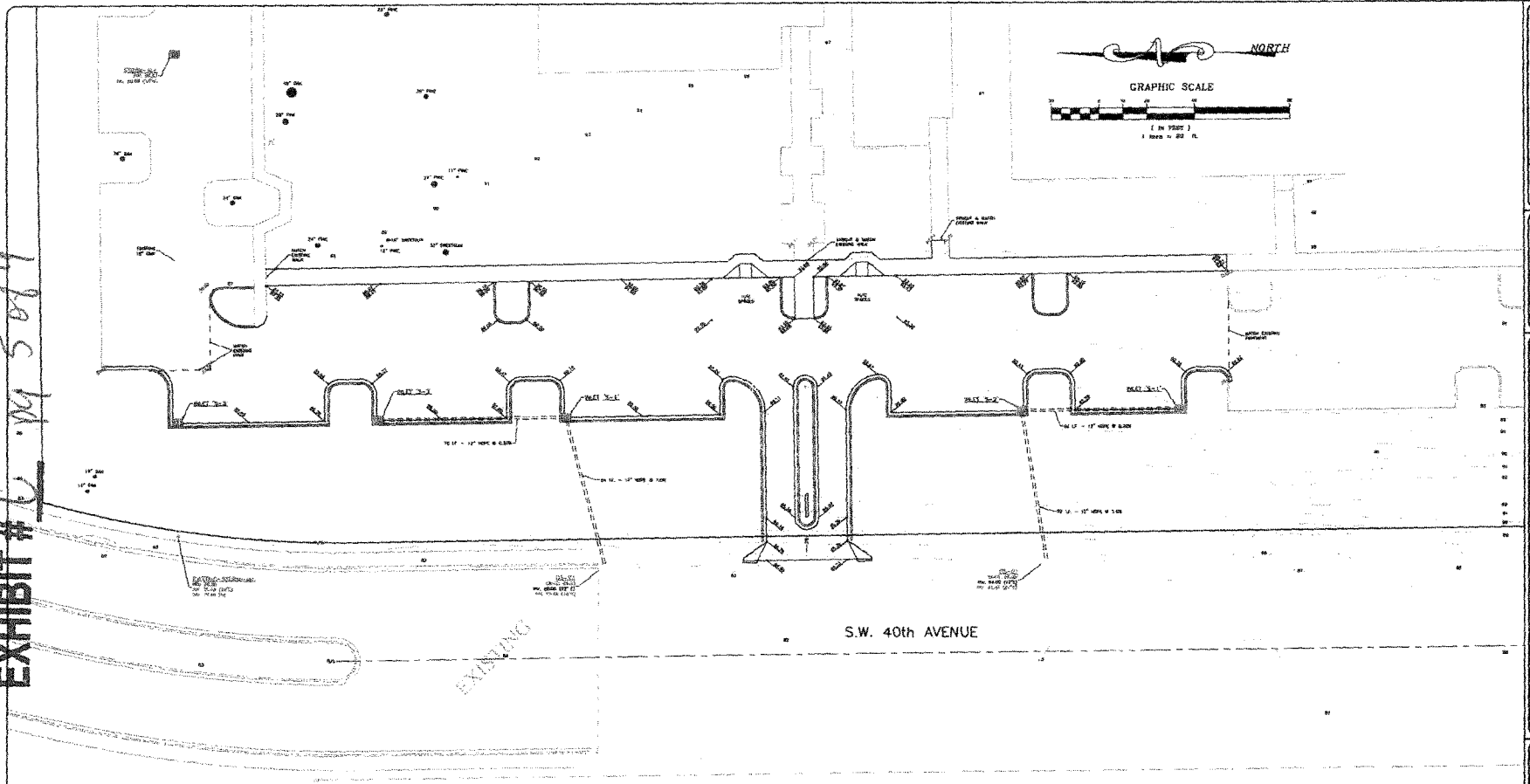
ROBERT L. ROGERS, STATE OF FLORIDA PROFESSIONAL ENGINEER NO. 10027
ISSUED FROM THIS BOOK CLOSING ON JANUARY 1, 2012. THE ENGINEER'S
HOURS ARE ON 3-01-2012 USING A 304-1 AUTHENTICATOR. THE
HOURS OF THIS ENGINEER ARE NOT CONSIDERED AS A SEALS
AND THE 304-1 AUTHENTICATOR CODE MUST BE VERIFIED ON ANY ELECTRONIC
TOPICS

ROGERS ENGINEERING, LLC
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Robert L. Rogers, PE
P. Eng. No. 18227
rrogers@rogerseng.com

Rodney K. Rogers, PSM
P. Eng. No. 2274
rkrogers@rogerseng.com

EXHIBIT # 6 by 5 of 9



STORM STRUCTURE TABLE				
STRUCTURE	TYPE	INLET	OUTLET	INLET
S-1	C	42.00	40.00	40.00
S-2	C	42.25	40.37	41.24
S-3	C	49.00	47.00	46.50
S-4	C	48.00	44.25	42.00
S-5	C	45.25	40.00	40.00

ROBERT L. ROGERS
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 10027

ROBERT L. ROGERS, STATE OF FLORIDA PROFESSIONAL ENGINEER, NUMBER 10027
THIS SET AND EACH ELECTRONICALLY SIGNED AND SEALED BY ROBERT L. ROGERS
HEREBY IS THE 2-DIGITALLY SIGNED AND SEALED E-COPY OF THE ORIGINAL SET
AND THE ORIGINAL SET MUST BE KEPT ON FILE IN HIS OFFICE FOR 5 YEARS
AND THE ORIGINAL SET MUST BE KEPT ON FILE IN HIS OFFICE FOR 5 YEARS

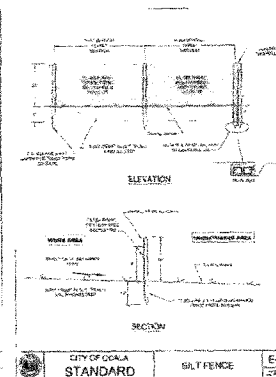
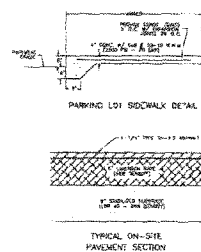
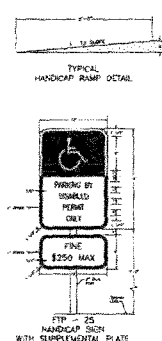
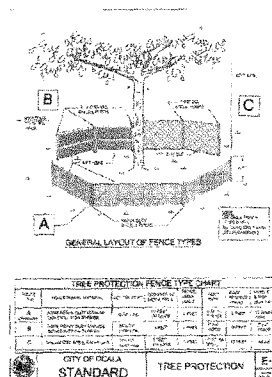
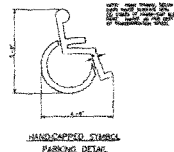
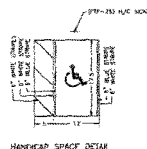
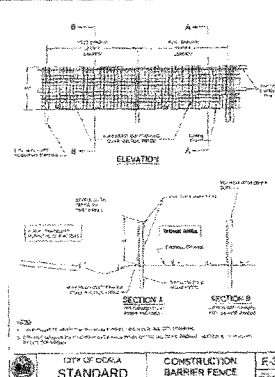
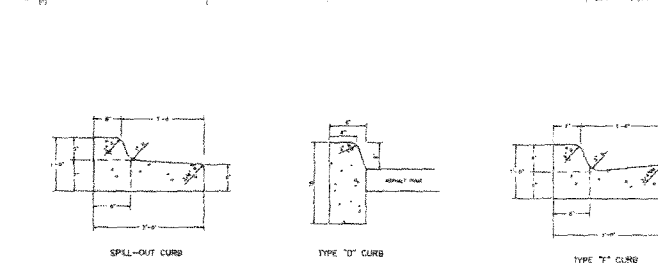
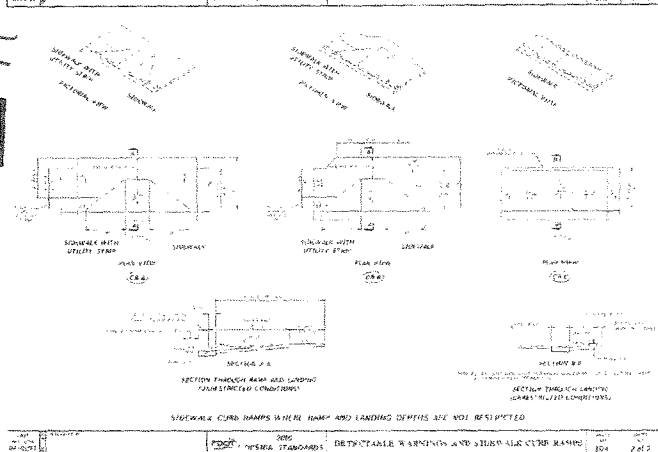
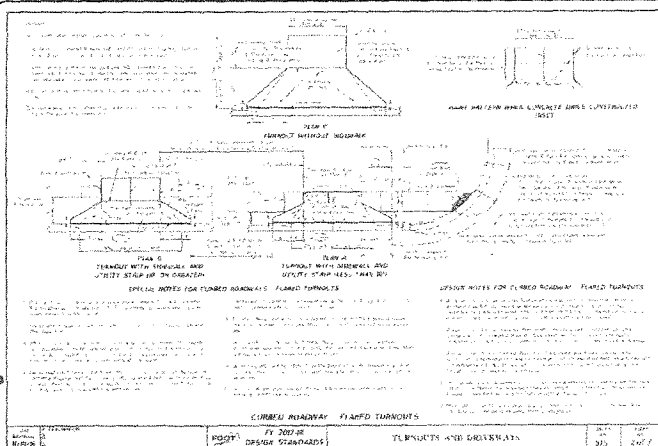
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Robert L. Rogers, PE
Professional Engineer
No. 10027
Florida
Exp. 12/31/2017

A SITE PLAN
FOR
SPX FLOW TECHNOLOGIES
Grading & Drainage Plan

15-1200-000-000
DATE
12-08-17
SCALE
1" = 20'
SHEET
0001

EXHIBIT # 196 of 9



SINKHOLE REPAIR PLAN

IF A SIMILARITY DEVELOPS WITHIN THE WATER RETENTION RANGES, THE FOLLOWING IS THE RECOMMENDED CORRECTIVE ACTION:

A. CONTACT WAGON COUNTY ENGINEERING AT (302) 821-8886 AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT IMMEDIATELY UPON DISCOVERY AND PROVIDE WARNINGS BARRICADES, ETC. AROUND THE HOLE.

8. WHERE UNDERNOOT OR SHOULDER IS EXISTENT FROM THE DEPRESSION OF THE HOLE, IT IS RECORDED AS THE FOLLOWING PATTERN:

1. USING A 2" DIAMETER BALLBEARING UNDERNOOT, CHART ON SHANER HARD MATERIAL.
2. USING THE GUNNY NUMBER 5" OF THE SURFACE.
3. USING A SMALLER UNDERNOOT (1" - 1 1/2") TYPE, TELL THE REMAINDER OF THE GUNNY TO WITHIN SURFACE.
4. USING A SHOULDER, PATTERN FOR THE COMPLETION OF THE FILLED GUNNY BY MANUALLY COMPLETING THE FILLED GUNNY.
5. USING THE REMAINDER OF THE GUNNY USING SURFACE HARD DRAINAGE CHANNEL, TO THE GROUND SURFACE.
6. USING A VERY WEAKLY ELASTIC PLASTIC, POLYURETHANE OVER THE GUNNY IN A SLOW AND CAREFUL MANNER, MAKING THE GUNNY WITH THE SURFACE TO OBTAIN AS MUCH MATERIAL REMAINDER OF THE CONCRETE AS POSSIBLE.

GRADE AND SMOOTH CONCRETE TO ASSURE LOW "TOP OF CONCRETE" IS AT THE SAME LEVEL AS THE BOTTOM OF THE DEPRESSION OF THE HOLE.

C. IN THOSE AREAS WHERE THE ME AND UNDERBOLT IS EXISTENT, THE FOLLOWING PROCEDURE IS SUGGESTED:

1. USE BRACKETS, REMOVING SUFFICIENT MATERIAL FROM THE SURFACE OF THE INLET TO ALLOW ACCURATE AREA IN WHICH MATERIAL CAN BE PLACED SO THAT IT WILL REACH THE BOTTOM OF THE INLET.
2. USE A NEWER SOLID (CIPNEY-SAND OR CIPAL) PLANT MATERIAL IN THE HOLES WITH A COMPACT AND USE THE BRACKET TO HYDRAULICALLY COMPACT MATERIAL TO BE PLACED IN THE HOLES. THIS OPERATION IS IN LINE AND IS NOT GREATER THAN 10% OF THE TOTAL VOLUME OF THE MATERIAL TO BE PLACED.
3. COMPACT THE MATERIAL TO WITHIN 6" OF THE SURFACE OF THE BRACKETS.
4. FORM AND POUR A CONCRETE CAP OVER THE DISTURBED AREA USING SANDY GRAVEL AND FORM THUNDER TO BE PLACED AT THE SAME ELEVATION AS THE SURROUNDING ELEVATION. (NOTE THE CONDUCTY CAP IS AT THE SAME LEVEL AS THE SURROUNDING ELEVATION.)

D. AFTER COMPLETION OF THE WORK, REMOVE AND HALL OFF ANY EXCESS MATERIAL (SOIL AND ROCK) AND REMOVE ANY WASTE EXPOSED THAT WOULD TEND TO SEAL THE POND BOTTOM. REPAIR AND RESID 200' BLOOPS OF THE BARRIN AS A RESULT OF THE WORK.

E. PLEASE EXERCISE CAUTION AND WALK THE ENTIRE BOTTOM AREA OF THE POND BEFORE COMMENCEMENT TO ASSURE GOOD SOLID SUPPORT OF THE PROPOSED CONSTRUCTION EQUIPMENT AND MATERIALS.

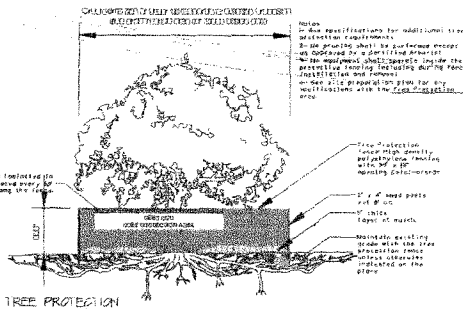
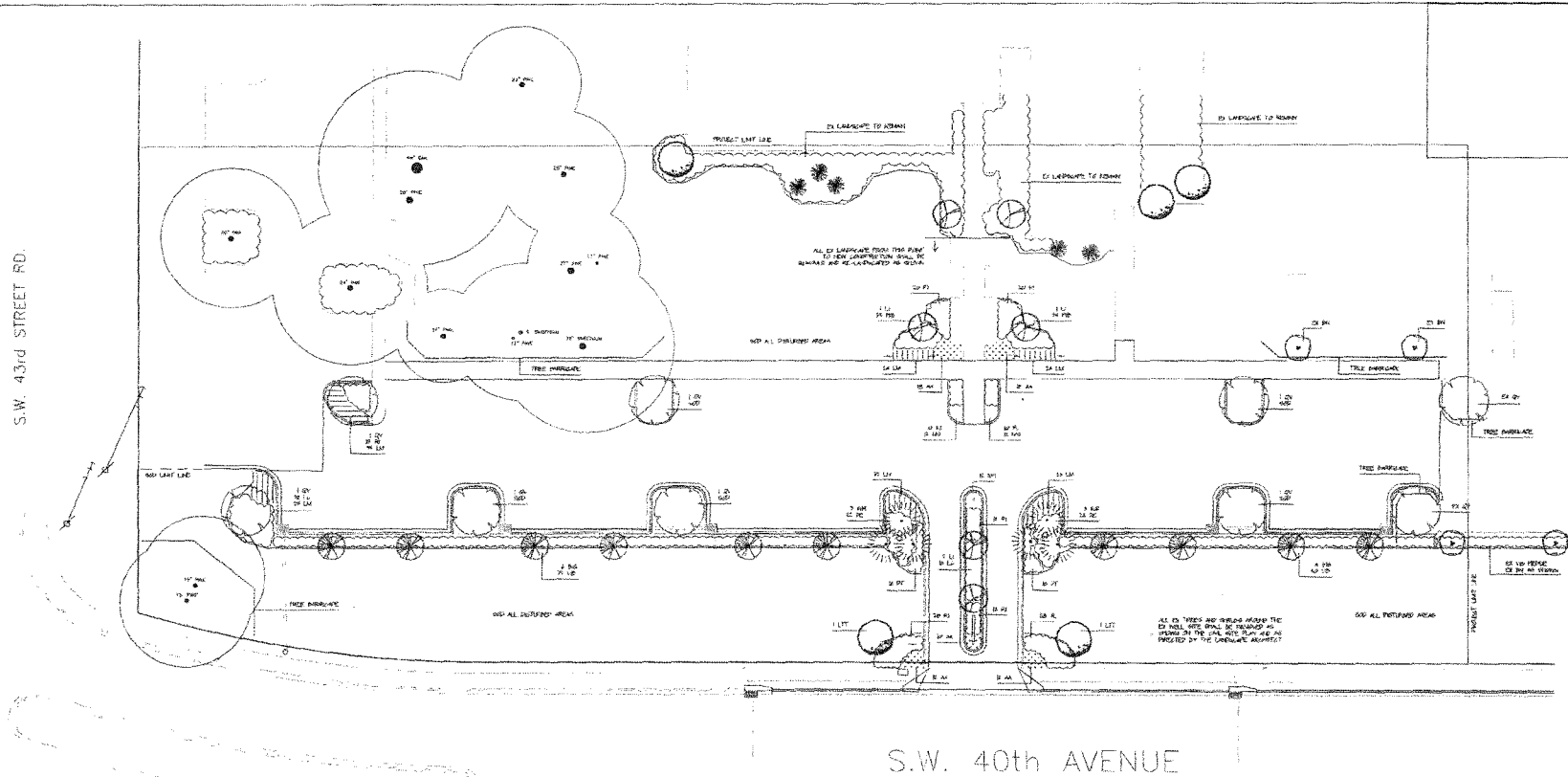
ROBERT L. ROGERS
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 16027

ROBERT L. ANDRES, STATE OF FLORIDA PROFESSIONAL ENGINEER NO 10857
THIS SET HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROBERT L.
ANDRES, PE ON 3-31-2013 USING A SW-1; AUTHENTICATION CODE
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED
AND THE SW-1; AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRO
NIC COPY

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

A SITE PLAN
FOR
SPX FLOW TECHNOLOGIES
Construction Detail Sheet

JOB No.
 2-990-P30-060
 DATE
 12-08-17
 SCALE
 (SEE DETAIL)
 SHEET



LAURENCE WATKINS 1917

"DICK & PAUL"

10 1ST LEX & NELLIE STEPHENS
4 1ST LAURENCE WATKINS BESSA TUCKERMAN
4 1ST LUCY ANN WATKINS "DICK" STEPHENS
4 1ST WATKINS WATKINS
4 1ST WATKINS WATKINS

THOMAS

10 1ST WATKINS WATKINS "WATKINS"
4 1ST WATKINS WATKINS
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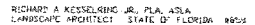
TOTAL TREE CALCULATION		
TOTAL PROJECT AREA	2	65,000 SF (2.2 A)
TOTAL GREEN TREES REQUIRED	1	50M
EXISTING SHADE TREES PRESERVED	1	5
NEW SHADE TREES REQUIRED	0	0M
NEW SHADE TREES PRESERVED	1	7 (7.0M)

TOTAL PRESERVATION CALCULATION		
TOTAL EXISTING TREES	1	10 (85% / AC)
TOTAL TREES TO BE PRESERVED	1	10 (85% / AC)
TOTAL TREES PRESERVED	1	10 (85% / AC)

SCALE 1" = 20'

RICHARD A. KESSELRING JR., P.L.A. ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA 98509

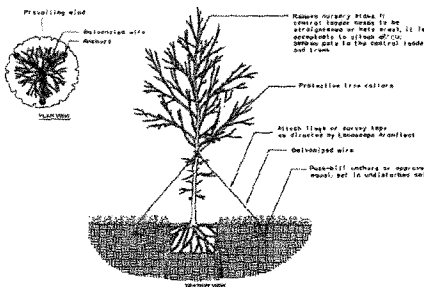
3



LAWRENCE, MOTTEN

- [illegible]

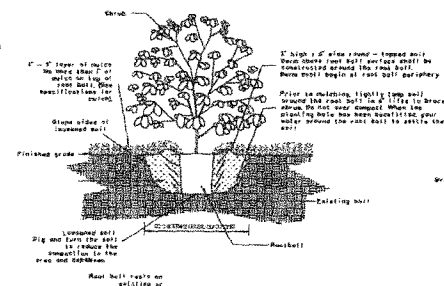
TREE INSTALLATION



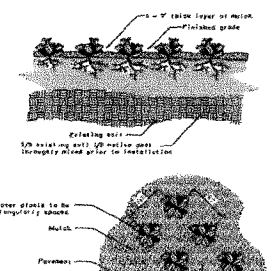
TREE STAKING - TREES < 2" CALIPER

-
- (Initial) leaving under balance
 The tree will tilt forward
 1" x 4" guy beams
 Root ball
 Round-topped
 1/2" bare 6" DBH
 Round root ball surface
 No root/cutout needed
 The root ball 60cm will
 give at root ball periphery
 Detaching soil
 Give shape of
 (upward) soil
 100 Ball roots
 compacted soil
 The top of root ball must be level
 finished grade
 Prior to attaching (lightly tamp
 around the root ball) to 1/2" DBH
 When the planting hole was
 filled, pour water around
 root ball to settle the soil
 Loosen soil 1/2" and turn the
 soil to reduce compaction to 1/2"
 the root depth below
 1" x 4" layer of DBH
 No more than 1/2" mulch on
 top of root ball
 Planted grade
 1" x 6" heavy
 mulch and unfertilized soil

PALM INSTALLATION



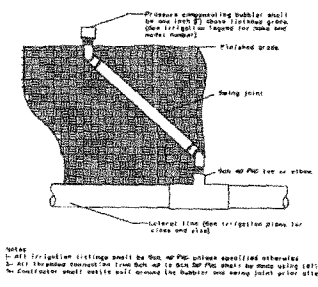
SHRUB INSTALLATION



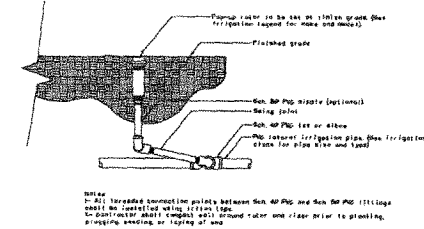
GROUNDCOVER INSTALLATION

- [illegible]

POP UP-SPRAY HEAD



PUBBLER ON SWING JOINT



ROTOR SPRAYHEAD

RICHARD A. KESSELING JR., P.L.A., A.S.L.A.
LANDSCAPE ARCHITECT, STATE OF FLORIDA 1958

[illegible]

DATE	12 / 17
OLD NAME	NEW NAME
DATE	AGE
AGE	AGE

ENVIRONMENTAL DESIGN
NANCY KATZBERG, LANDSCAPE ARCHITECT
1620 SE 8th STREET
OCALA, FLORIDA 34478
(904) 832-4809
LANDSCAPE ARCHITECTURE, SITE PLANNING,
PAVILION DESIGN, CONSTRUCTION, 10-15 YRS.

EDK

LANDSCAPE & IRRIGATION DETAILS
SPX FLOW TECHNOLOGIES
OCALA FLORIDA

SHEET 102 of 102