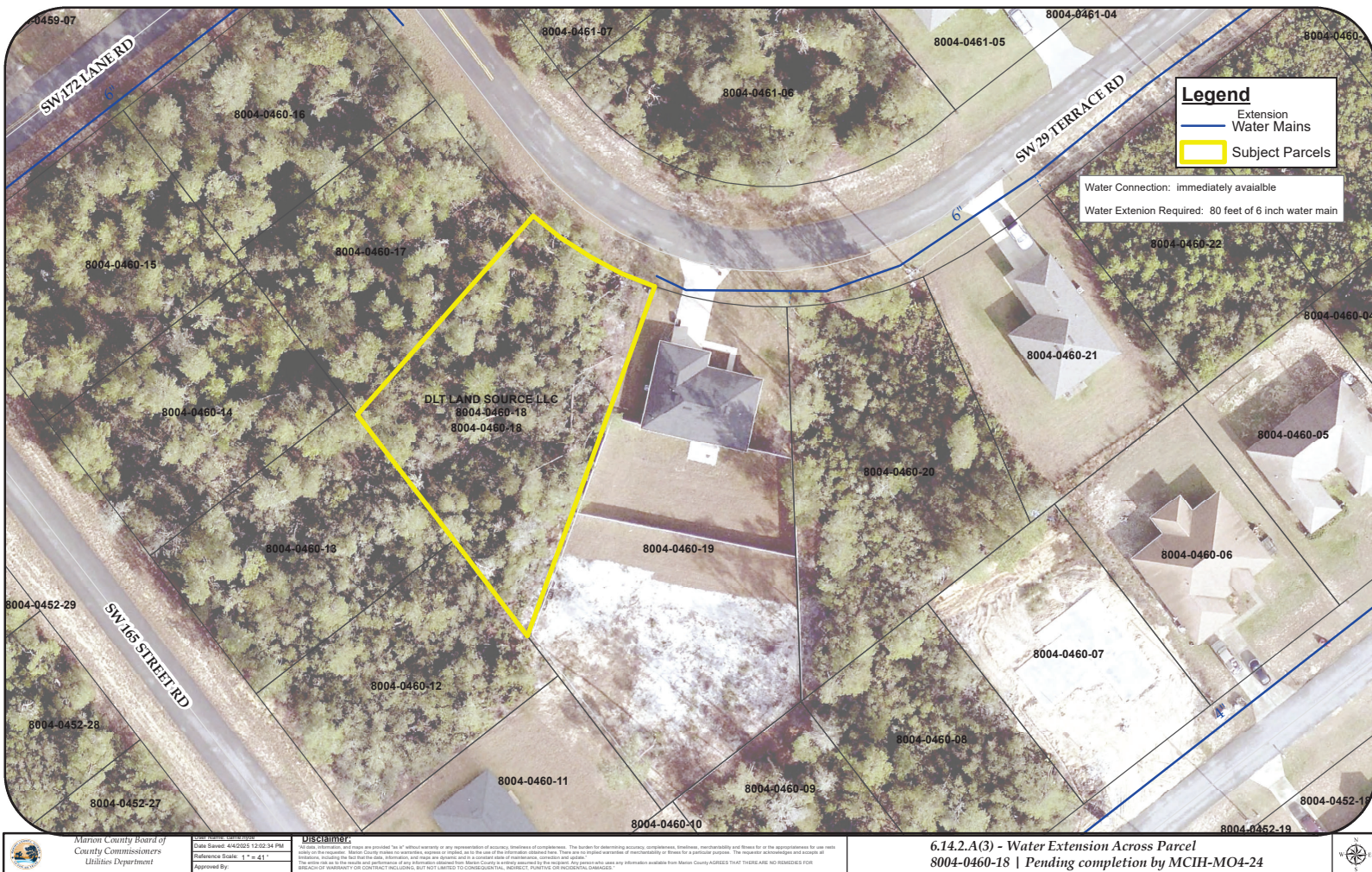


August 8, 2025

PROJECT NAME: 16848 SW 29TH TERRACE RD , OCALA FL
PROJECT NUMBER: 2025070073
APPLICATION: DRC WAIVER REQUEST #33129

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: Approved
- 2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: Defer to MCU.
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: Zoning information check only. Defer to MCU.
SITE IS: (1) Single-Family Dwelling (R-1) zoning; (2) Medium Residential (MR) Future Land Use (FLU) designation; (3) Secondary Springs Protection Zone; (4) FEMA Flood Zone X; (5) Along SW 29th Terrace Road (subdivision local).
- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: CONDITIONALLY APPROVED - Provided applicant (1) opens a water utility account with MCU; (2) pays all Connection charges; and (3) pays \$4996.62 (per Reso 24-R-260 7/16/24) capital connection fee as this is part of an in-house project to design and extend water main for all gaps in Marion Oaks Units 4.
- 5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: n/a
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: N/A
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: Defer to Marion County Utilities.
Note: If the connection to water is required via WM, please ensure Contractor restores the ROW back to existing grade.





Marion County Board of County Commissioners

33129

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Complete this form and email IT and YOUR UTILITY
MAP to DevelopmentReview@MarionFL.org then
after sending, call 352-671-8686 to make payment for your
\$300 application fee (service fee applies by phone).

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 06/27 Parcel Number(s): 8004-0460-18 Permit Number: 2025042494

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: 16848 SW 29TH TERRACE RD , OCALA FL Commercial ☐ Residential ☒
Subdivision Name (if applicable): Marion Oaks
Unit 4 Block 460 Lot 18 Tract --

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Luis Gustavo Lessa
Signature: [Signature]
Mailing Address: 7751 Kingspointe suite 123 City: Orlando
State: FL Zip Code: 32819 Phone # 407 921 5453
Email address: permits@daladevelopments.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Dala Developments Contact Name: Leonardo Martins
Mailing Address: 7751 Kingspointe suite 123 City: Orlando
State: FL Zip Code: 32819 Phone # 407 693 0009
Email address: lmartins@daladevelopments.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
Reason/Justification for Request (be specific): Water main exists at parcel's lot line but not across as is required by Code. CONDITIONAL WAIVER approved provided applicant (1) opens a water utility account with MCU; (2) pays all Connection charges; and (3) pays \$4996.62 (per Reso 24-R-260 7/16/24) capital connection fee as this is part of an in-house project to design and extend water main for all gaps in Marion Oaks Units 4.

DEVELOPMENT REVIEW USE:

Received By: email 7/10/25 Date Processed: 7/22/25 kah Project # 2025070073 AR # 33129

ZONING USE: Parcel of record: Yes ☐ No ☐

Eligible to apply for Family Division: Yes ☐ No ☐

Zoned: ES0Z P.O.M. Land Use: Plat Vacation Required: Yes ☐ No ☐

Date Reviewed: Verified by (print & initial):

CLEAR FORM

Revised 6/2021

Empowering Marion for Success

marionfl.org



Abbreviations:

(D) = DEED
(M) = MEASURE
(P) = PLAT
(A) = ASSUMED
(C) = COMPLETED
B.L. = BLOCK
C.O.V. = COVERED OVERHEAD LINES
C.A.T.V. = CABLE TV RASER
C.L. = CENTER LINE
DESC. = DESCRIPTION
ELEV. = ELEVATION
D. = DIRECTION
R/W = RIGHT OF WAY
C.M.E. = CEMENT
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.D.E. = PRIVATE DRAINAGE EASEMENT
E.P.E. = ELECTRIC POWER EASEMENT
E.S.E. = ENVIRONMENTAL SINK AND DRAINAGE EASEMENT
D.R.A.N. = DRAINAGE
U.T.I.L. = UTILITY
SET 1/4\"/>

BOUNDARY & TOPOGRAPHIC SURVEY

Basis of Bearing:

Bearings shown hereon are based on the CENTERLINE of SOUTHWEST 29TH TERRACE ROAD, being Curve "C4" with Chord Bearing S 82°50'00" E, PER PLAT AND THE FLORIDA PERMANENT REFERENCE NETWORK—WEST ZONE—NA83.

Legal Description:

Lot 18, Block 460, MARION OAKS UNIT FOUR, according to the Plat thereof, as recorded in Plat Book O, Page(s) 53 to 80, of the Public Records of Marion County, Florida.

Certified to/ for the exclusive use of:
Datus Developments

Address: Southwest 29th Terrace Road, Ocala, Florida 34473

Flood Insurance Rate Map:

Community Number: 120160 Panel: 0860
Suffix "D" Flood Insurance Rate Map
Dated August 28, 2008 Flood Zone: "X"
Map ID: 120853208602

Site Plan Legend:

- ~ ~ ~ ~ ~ = SURFACE WATER FLOW
- A/C = PROPOSED A/C UNIT LOCATION
- +00.00 = EXISTING SPOT ELEVATION

Surveyor's Notes:

1. Legal Description provided by others
2. The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the Plat.
3. Undergound portions of footings, foundations or other improvements were not located.
4. Wall and/or fence ties—dimensions are not to be used to reconstruct boundary lines.
5. Only visible encroachments located.
6. No identification found on property corners unless otherwise shown.
7. Dimensions shown are Plat and Measured unless otherwise shown.
8. Fence ownership not determined.
9. This survey depicted here forms a closed geometric figure.
10. No underground improvements or visible installations have been located other than shown.
11. This survey is prepared for the exclusive use and benefit of the parties listed hereon liability to third parties may not be transferred or assigned.
12. This Survey is meant to be printed out in 11"x17".
13. This drawing may not be scaled due to electronic transfer.
14. This survey does not reflect or determine ownership.
15. Fence corners and building corners are witness monuments to abstracted corners, dimensions are as shown.
16. Subject to any dedication, limitations, restrictions, reservations, and/or easement of record no examination of Title made by Surveyor.
17. This Survey is not an ALTA/ACSM Land Title Survey.
18. This Survey was prepared without the benefit of a commitment for Title Insurance.
19. The flood data provided is for informational purposes only. The Surveyor makes no guarantee as to the accuracy of the information provided. The local F.E.M.A. Agency should be contacted for verification.
20. Boundary bases on existing monumentation and or occupation as found in field, other matters not known to this surveyor at time of survey may affect Boundary lines shown hereon.
21. This Survey is intended for construction, permitting, design, mortgage or reference purposes only, exclusively for this, used by those to whom it is certified. This Survey is not to be used for any other purpose without the written consent of LEBRON GROUP SURVEYING AND MAPPING CORP. PHOTOCOPYING FORBIDDEN. COPYRIGHTED MATERIAL.
22. Elevations (if) shown hereon are based on the Benchmark DGS674, with recorded Elevation 84.60' (NAVD 88).
23. Location of neighboring underground water well(s), septic tank(s) and drainfield(s) have been located appropriate, Surveyor assumes no liability.
24. THIS IS A SITE PLAN, BUILDING SETBACK, PROPOSED FINISH FLOOR AND PROPOSED IMPROVEMENT LOCATIONS PROVIDED BY CLIENTS.

THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTER 5J-17, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.



CODED:\WORK\1703\1703042\1703042.DWG
Professional Surveyor and Mapper
JOSE R. NEGRON PSM #6850
Professional Surveyor and Mapper
DATE: MARCH 11, 2025
JOSE R. NEGRON PSM #6850
Professional Surveyor and Mapper
NOT VALID WITHOUT AN AUTHORIZED ELECTRONIC SIGNATURE AND AUTHORIZED INKED/ ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER



DATE	DESCRIPTION	BY	CHK
3/11/2025	SITE PLAN		

ADDRESS: SOUTHWEST 29 TERRACE ROAD,
OCALA FLORIDA 34473

DRAWN: EMMR	SHEET
CHECKED: JRN	1
DATE: 02/24/2025	2025-0225

INDEX

CVR _____ COVER

ARCH

A0 _____ GENERAL NOTES
A0.1 _____ WINDOWS SCHEDULE
A1 _____ 1ST FLOOR PLAN NOTES
A2 _____ 1ST FLOOR PLAN DIM
A3 _____ ELEVATIONS
A4 _____ ELEVATIONS
A5 _____ ROOF PLAN
A6 _____ BUILDING SECTION

STRUCTURAL

S0 _____ GENERAL NOTES
S1 _____ FOUNDATIONS
S2 _____ TRUSS PLAN
S3 _____ LINTEL NOTES
S4 _____ LINTEL PLAN

ELECTRICAL

E1 _____ 1ST ELEC FLOOR PLAN

DETAILS

D1 _____ DETAILS
D1.S _____ DETAILS
D2 _____ DETAILS
D3 _____ DETAILS
D4 _____ DETAILS
WP _____ DETAILS

DALA MODEL 1587

MASTER



REVISIONS

DATE	DESCRIPTION
4.7.21	WIND EXPOSURE

CONTRACTOR IMPORTANT:
CONTRACTOR HAVE 14 DAYS SINCE THE DATE THESE PLANS HAVE BEEN SIGNED TO CHECK THEM AND COMMUNICATE GUIDA DESIGN GROUP ANY DOUBT HE COULD HAVE.
AFTER THAT PERIOD THE CONTRACTOR DECLARES THAT ALL DOCUMENTS RECEIVED ARE COMPLETE AND IN ACCORDANCE WITH HIS REQUIREMENTS AND WAIVES ANY EVENTUAL FUTURE ACTION AGAINST GUIDA DESIGN GROUP.

DESIGN DATA

WIND LOADS

- BASIC WIND SPEED - Vult = 160 MPH. (@ 3 SEC. GUST.)
Valid = 124 MPH
- RISK CATEGORY II
- WIND EXPOSURE - CATEGORY B
- INTERNAL PRESSURE COEFFICIENT ±0.18
- COMPONENT/CLADDING DESIGN WIND PRESSURE +22.6/-24.6 (FOR DOORS, WINDOWS, & TRANSOMS) U.N.O. (INTERNAL PRESSURE COEFFICIENT ±0.18 INCLUDED)

APPLICABLE CODES INCLUDING ALL REVISIONS

-FLORIDA BUILDING CODE 2023
-FLORIDA BUILDING CODE RESIDENTIAL 2023
-ELECTRICAL CODE, NEC 2020
-FLORIDA BUILDING CODE, MECHANICAL 2023
-FLORIDA BUILDING CODE, PLUMBING 2023
-FIRE CODE, NFPA 70
-LIFE SAFETY CODE = NFPA 101
-ACCESSIBILITY CODE = FLORIDA BUILDING CODE, BUILDING 2023
-ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2023

METHOD OF DESIGN:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENTS OF THE 2023 FBC-RESIDENTIAL.

BUILDING OCCUPANCY CLASSIFICATION:

- ☐ GROUP A - ASSEMBLY
☐ GROUP B - BUSINESS
☐ GROUP D - DAY CARE CENTER
☐ GROUP E - EDUCATIONAL
☐ GROUP F - FACTORY INDUSTRIAL
☐ GROUP H - HAZARDOUS
☐ GROUP I - INSTITUTIONAL
☐ GROUP M - MERCANTILE
☒ GROUP R - RESIDENTIAL
☐ GROUP S - STORAGE

BUILDING CONSTRUCTION TYPE:

- ☐ TYPE I
☐ TYPE II
☒ TYPE III
☐ TYPE IV
☐ TYPE V

DESIGN LIVE LOADS (MINIMUM)

- A) UNINHABITABLE ATTICS WITHOUT STORAGE 10
B) UNINHABITABLE ATTICS WITH LIMITED STORAGE 20
C) HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS 30
D) BALCONIES (EXTERIOR) AND DECKE 40
E) FIRE ESCAPES 40
F) GUARDS AND HANDRAILS 200
G) GUARD IN-FILL COMPONENTS 50
H) PASSENGER VEHICLE GARAGES 50
I) ROOMS OTHER THAN SLEEPING ROOMS 40
J) SLEEPING ROOMS 30
K) STAIRS 40

Guida Design Group
4410 N.W. 13th St., Suite 101
Fort Lauderdale, FL 33314
www.guidadesigngroup.com
Phone: 954.561.1111

GUIDA GROUP



COVER SHEET

DALA DEVELOPMENT MODEL 1587

MASTER

Job No.

24-001

Drawn By:

V.E.

Scale:

1/1/18/2024

Scale:

1/8" (1/16")

1/4" (1/8")

1/2" (1/4")

1" (1/2")

2" (1")

4" (2")

8" (4")

16" (8")

32" (16")

64" (32")

128" (64")

256" (128")

512" (256")

1024" (512")

2048" (1024")

4096" (2048")

8192" (4096")

16384" (8192")

32768" (16384")

65536" (32768")

131072" (65536")

262144" (131072")

524288" (262144")

1048576" (524288")

2097152" (1048576")

4194304" (2097152")

8388608" (4194304")

16777216" (8388608")

33554432" (16777216")

67108864" (33554432")

134217728" (67108864")

268435456" (134217728")

536870912" (268435456")

1073741824" (536870912")

2147483648" (1073741824")

4294967296" (2147483648")

8589934592" (4294967296")

17179869184" (8589934592")

34359738368" (17179869184")

68719476736" (34359738368")

137438953472" (68719476736")

274877906944" (137438953472")

549755813888" (274877906944")

1099511627776" (549755813888")

2199023255552" (1099511627776")

4398046511104" (2199023255552")

8796093022208" (4398046511104")

17592186044416" (8796093022208")

35184372088832" (17592186044416")

70368744177664" (35184372088832")

140737488355328" (70368744177664")

281474976710656" (140737488355328")

562949953421312" (281474976710656")

1125899906842624" (562949953421312")

2251799813685248" (1125899906842624")

4503599627370496" (2251799813685248")

9007199254740992" (4503599627370496")

18014398509481984" (9007199254740992")

36028797018963968" (18014398509481984")

72057594037927936" (36028797018963968")

144115188075855872" (72057594037927936")

288230376151711744" (144115188075855872")

576460752303423488" (288230376151711744")

1152921504606846976" (576460752303423488")

2305843009213693952" (1152921504606846976")

4611686018427387904" (2305843009213693952")

9223372036854775808" (4611686018427387904")

18446744073709551616" (9223372036854775808")

36893488147419103232" (18446744073709551616")

73786976294838206464" (36893488147419103232")

147573952589676412928" (73786976294838206464")

295147905179352825856" (147573952589676412928")

5902958103587056517056" (295147905179352825856")

11805916207174113034112" (5902958103587056517056")

23611832414348226068224" (11805916207174113034112")

47223664828696452136448" (23611832414348226068224")

94447329657392904272896" (47223664828696452136448")

188894659314785808545792" (94447329657392904272896")

377789318629571617091584" (188894659314785808545792")

755578637259143234183168" (377789318629571617091584")

1511157274518286468366336" (755578637259143234183168")

3022314549036572936732672" (1511157274518286468366336")

6044629098073145873465344" (3022314549036572936732672")

12089258196146291746930688" (6044629098073145873465344")

24178516392292583493861376" (12089258196146291746930688")

48357032784585166987722752" (24178516392292583493861376")

96714065569170333975445504" (48357032784585166987722752")

193428131138340667950891008" (96714065569170333975445504")

386856262276681335901782016" (193428131138340667950891008")

773712524553362671803564032" (386856262276681335901782016")

1547425049106725343607128064" (773712524553362671803564032")

3094850098213450687214256128" (1547425049106725343607128064")

6189700196426901374428512256" (3094850098213450687214256128")

12379400392853802748857024512" (6189700196426901374428512256")

ALBERTO GUIDA
PE # 74000 FL

GENERAL NOTES

FLOOR PLAN NOTES

- 1- GARAGE CEILING BENCHT VESTIBULE ROOMS SHALL BE PROVIDED WITH 4"X8" MIN. TYPE-X OYSUM BOARD OR EQUIVALENT PER SECTION R303.2 OF THE 2023 FBC- FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 2- PROVIDE GARAGE SEPARATION FROM THE RESIDENCE AND ITS ATTIC AND OPENING PROTECTION PER SECTION R309 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 3- BATHROOMS MIN. CEILING HEIGHT OF 6'-8" OVER FIXTURES AND FRONT FUTURE CLEARANCE AREA PER SECTION R303.1 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 4- OUTDOOR WINDS AND EXHAUST OPENINGS SHALL BE LOCATED PER SECTION R303.1.1 & R303.4.2 AND PROTECTED PER SECTION R303.5 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 5- MECHANICAL VENTILATION PER SECTION W1508 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 6- ALL EXHAUST SYSTEMS PER CHAPTER 15 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 8- STRUCTURE WALL PER SECTION R303.7 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 9- DUCTS LOCATED IN THE GARAGE SHALL BE 36 GAUGE SHEET METAL, 1" MIN. RIGID NON-METALLIC CLAYS 2" OR CLAYS 1" EXCEEDING OR OTHER APPROVED MATERIAL AND HAVE NO OPENINGS INTO THE GARAGE PER SECTION R303.1.1 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 10- ATTIC ACCESS SIZE, LOCATION, AND HEADROOM PER SECTION R807 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 11- WATER HEATER INSTALLATION, DRAINING, AND VENTING PER SECTION P2801 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 12- EXTERIOR WINDS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS PER SECTION R912 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 16- GLASS BLOCK MASONRY UNITS SHALL CONFORM TO SUPPORT AND INSTALLATION REQUIREMENTS OF SECTION R610.3 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION, AND GLASS BLOCK DETAIL.
- 17- PROVIDE TEMPERED GLASS AND / OR SAFETY GLAZING PER SECTION R308 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 18- EXTERIOR EQUIPMENT/OUTDOOR HEATING AND COOLING EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SECTION W1401 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 19- EQUIPMENT AND APPLIANCES IN GARAGES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 20- ALL EXTERIOR WALLS WALL COVERINGS AND SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2) FOR WALLS PER 2023 FBC-R703.1.1
- 21- AR HANDRAILS ENCLOSED OR METAL DUCT TO BE USED IN EXPOSED AREAS.
- 22- EXHAUST DUCT TERMINATION REQUIREMENT THAT EXHAUST TERMINATE NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENING INTO BUILDING.
- 23- DRILL AND EPOXY AS PER MANUFACTURER'S SPECS. EPOXY = SAMPSON SET EPOXY.
- 24- ALL DRILLED AND ENKED HOLES MUST BE PROPERLY WOUNDED, BRUSHED, AND BLOWN CLEAN PER MERTS RECOMMENDATIONS TO ACHIEVE SUFFIT CAPACITY.
- 25- ANY MECHANICAL EQUIPMENT AND/OR APPLIANCES IN GARAGE TO BE PROTECTED AGAINST VEHICULAR IMPACT AS PER LOCAL JURISDICTION REQUIREMENTS. (IF EQUIPMENT OR APPLIANCE IS IN TRAVEL PATH OF THE VEHICLE).

ELEVATION PLAN NOTES

- 1- ALL EXTERIOR FINISHES APPLIED PER MANUFACTURER'S SPECIFICATIONS AND/OR INSTALLATION INSTRUCTIONS PER SECTION R703.1 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 2- EXTERIOR WALL MINIMUM WEATHER PROTECTION PER THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 3- EXTERIOR LATH INSTALLATION AND FRAMING PER ASTM C 1063 AND SECTION R703.6.2 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 4- CEMENTITIOUS FINISH APPLIED TO LATH OVER FRAME PER SECTION R703.1.1 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 5- CEMENTITIOUS TEXTURED FINISH PER ASTM C 926 AND SECTION R703.6.1 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 6- PROVIDE APPROPRIATE CLEARANCE BETWEEN EXTERIOR WALL COVERING AND FINAL EARTH GRADE NOT LESS THAN SPECIFIED PER SECTION R704 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 7- FACTORY BUILT FIREPLACES AND CHIMNEYS SHOULD BE LISTED, LABELED, AND INSTALLED & TERMINATED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND LISTED CONDITIONS PER SECTIONS R1002, R1004 AND 2004.9 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION, AND SECTION 2403.5 OF THE 2023 FBC-BUILDING CODE.
- 8- SPOULIGHTS SHALL BE TESTED, LABELED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS PER SECTION R308.8 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION, AND SECTION 2403.5 OF THE 2023 FBC-BUILDING CODE.
- 9- GLASS BLOCK MASONRY UNITS SHALL CONFORM TO SUPPORT AND INSTALLATION REQUIREMENTS OF SECTION R610.3 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION, AND GLASS BLOCK DETAIL.
- 10- PROVIDE ATTIC VENTILATION PER SECTION R806 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 11- PROVIDE EXTERIOR ENVELOPE WITH FLASHINGS, SEALANTS AND WEATHER STRIPPING PER 2023 FBC-R703.8 & R613.8
- 12- SOFFITS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE DESIGN WIND LOAD PRESSURES AND IN ACCORDANCE WITH 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
- 13- ALL DECORATIVE MOLDINGS, BRACKETS, LOUVERS, NOCHES, SHUTTERS AND/OR SIDING TO BE INSTALLED, FASTENED OR ADHERED TO THE STRUCTURE PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE DESIGN WIND LOAD PRESSURES.
- 14- PROVIDE FLASHINGS & BOND BREAK PER THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.

CEMENTITIOUS FINISH NOTE

- 1- OVER MASONRY PORTLAND CEMENT PLASTER TO BE 1/2" AND NOT LESS THAN A TWO-COAT SYSTEM APPLIED PER ASTM C 926.
 - 2- OVER WOOD PORTLAND CEMENT PLASTER TO BE 7/8" MIN. PER TABLE R702.1(1) AND NOT LESS THAN A THREE COAT SYSTEM APPLIED PER ASTM C 926. ALL LATHING APPLIED PER ASTM C 1063.
 - 3- ARCHITECTURAL TRIM SHOULD BE INSTALLED OVER THE BROWN COAT ON THE SUBSTRATE WHEN INSTALLED OVER THE SUBSTRATE IT MUST HAVE LATHE AND CORNER BOARDS.
- DOOF NOTES:**
- 1- ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY TRUSS MANUFACTURER'S REGISTERED ENGINEER.
 - 2- TRUSS MANUFACTURER TO VERIFY ALL TRUSS SPANS, SLOPES, BEARING POINTS, AND DIMENSIONS BEFORE FABRICATION. ALSO, TRUSS MANUFACTURER TO PROVIDE SHOP DRAWINGS TO ARCHITECT.
 - 3- ALL ROOF PITCHES ARE TO BE SET AS INDICATED ON PLANS AND ELEVATIONS.
 - 4- TOP PLATE HEIGHTS VARY. SEE BUILDING SECTIONS, WALL SECTIONS, AND ELEVATIONS FOR BEARING HEIGHTS.
 - 5- TRUSS SPACING SHALL BE 24" O.C. UNLESS OTHERWISE NOTED. CONVENTIONAL FRAMING SHALL BE 16" O.C. OR AS OTHERWISE NOTED.
 - 6- TRUSS MANUFACTURER TO PROVIDE ALL GABLE END TRUSSES WITH INTERMEDIATE STUD MEMBERS 24" O.C. MAX.
 - 7- ROOF DECKING AS SPECIFIED.
 - 8- OVERHANGS WILL VARY. SEE ROOF PLAN AND EXTERIOR ELEVATIONS. ALL OVERHANGS GREATER THAN 18" SHALL BE JACKED ON IN THE FIELD.
 - 9- FRAME WALLS UP TO UNDERSIDE OF ROOF TRUSSES AT ALL NON-BEARING WALLS AND AT VOLUME AREA UNLESS OTHERWISE NOTED.
 - 10- ALON TRUSSES AND HAND FRAMING SO AS ALL OYSUM WALL BOARD TO BE CONTINUOUS FROM FLOOR TO CEILING.
 - 11- TRUSS MANUFACTURER TO INSURE DESIGN CONSIDERATION TO THE FOLLOWING ADDITIONAL LOADS:
 - A. ALL CEILING HUNG SOFFITS AND SOFFITS W/ CABINETS AS SHOWN ON PLANS.
 - B. ATTIC LOCATED RING UNITS AS SHOWN ON PLANS.
 - 12- PROVIDE ROOF DECK WEATHER PROTECTION PER SECTION R903 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
 - 13- PROVIDE ROOF COVERING MATERIALS PER SECTION R904 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
 - 14- METAL ROOF COVERINGS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPLICABLE PROVISIONS OF SECTION R905 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.
 - 15- INSTALLATION OF ALL FLASHINGS, VALLEYS, CRICKETS AND SADDLES, DRIP EDGES, UNDERPANNING AND RIDGES PER APPLICABLE PROVISIONS OF SECTIONS R905 AND R703.8 OF THE 2023 FBC-FLORIDA BUILDING CODE - RESIDENTIAL, EIGHT EDITION.

GENERAL SYMBOL LEGEND



BUILDING SECTION



INTERIOR SECTION



WINDOW SYMBOL



DOOR SYMBOL



WALL PARTITION SYMBOL



PLAN NOTE



VAULTED CLG.



ROOF PITCH

GENERAL ABBREVIATION LIST

2-	INDICATES NUMBER OF DOORS.
2F-	INDICATES NUMBER OF WINDOWS.
FD	FRENCH DOORS
BL	BLIND LIGHT
FD	FIXED GLASS
TR	TRANSOM
GLB	GLASS BLOCK
PFT	PICOT FLOOR
OBG	OBSCURED GLASS
TEMP	TEMPERED GLASS
BH	BIG HING
DR	DOUBLE HING
HR	HORIZONTAL ROLLER
SP	SPYGLASS SPECIALTY
HST	HEIGHT
MIN	MINIMUM
FIN	FINISH
FL	FLOOR
ACT	ACOUSTIC CEILING TILE
ADA	AMERICANS WITH DISABILITIES
AF	ABOVE FINISH FLOOR
BM	BEAM
CLG	CEILING
CONC	CONCRETE
CLR	CLEAR
EQ	EQUAL
FC	FIXTURE CONTRACTOR
FD	FIELD VERIFY
GC	GENERAL CONTRACTOR
DWB	OYSUM WALL BOARD
HM	YELLOW METAL
MTL	METAL
M.O	MASONRY OPENING
OC	ON CENTER
STL	STAINLESS STEEL
STRUC	STRUCTURE/STRUCTURAL
SUSP	SUSPENDED
TD	TO BE DETERMINED
T&G	TONGUE AND GROOVE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
VCT	VINYL COMPOSITION TILE
W	WITH
W	WOOD

WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

Guida Design Group

441 Cypress St., Suite 101, 33504
www.guidadesigngroup.com
info@guidadesigngroup.com

LIDA GROUP



GENERAL NOTES

DATA DEVELOPMENT MODEL 1567

MASTER

Job No.

24-001

Drawn By

V.E.

Date

11/18/2024

Scale

1/8"=1' (1X17)

1/4"=2' (2X35)

List #

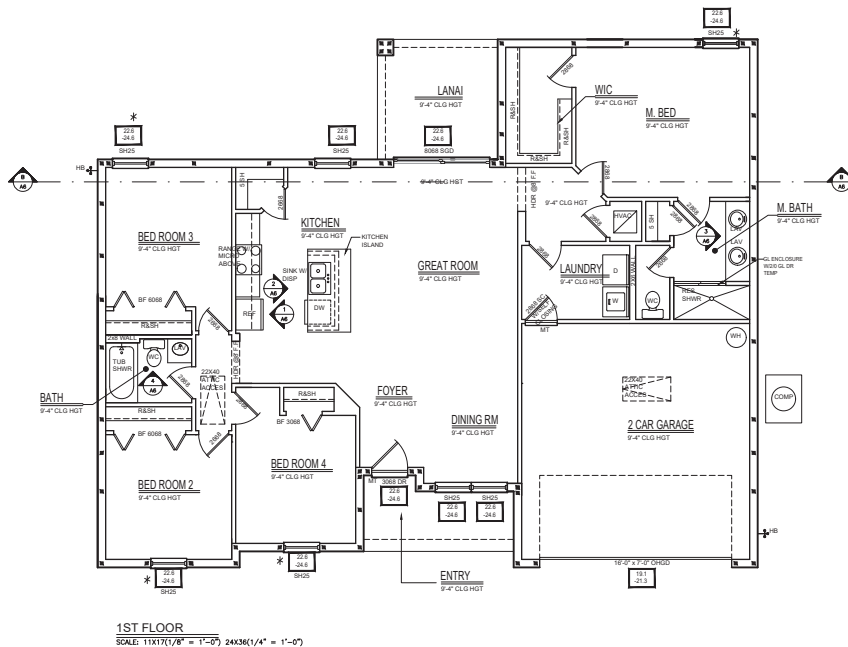
NEA

A0

ALBERTO GUIDA
PE #: 74000 FL

Window R.O. Chart- Aluminum

WINDOW FLANGE (SINGLE HING)	ROUGH OPENING		WINDOW (SH / FIXED) (HALF RADIUS)	ROUGH OPENING		WINDOW (SH / FIXED) (FULL RADIUS)	ROUGH OPENING		WINDOW (FIXED GLASS)	ROUGH OPENING	
	FRAME	BLOCK		FRAME	BLOCK		FRAME	BLOCK		FRAME	BLOCK
543	24" X 36"	18 1/2" X 36 1/2"	2040	24" X 36"	36" X 51"	2040	24" X 36"	36" X 51"	2050	24 1/2" X 24 1/2"	24 1/2" X 24"
544	24" X 48"	18 1/2" X 50 1/2"	2050	24" X 48"	36" X 63"	2050	24 1/2" X 36 1/2"	36 1/2" X 36"	2050	24 1/2" X 36 1/2"	24 1/2" X 36"
545	24" X 60"	18 1/2" X 62 1/2"	2060	24" X 60"	36" X 75"	2060	24 1/2" X 48 1/2"	24 1/2" X 48"	2060	24 1/2" X 48 1/2"	24 1/2" X 48"
546	24" X 72"	18 1/2" X 74"	3040	36" X 51"	36" X 63"	3040	36 1/2" X 51"	36 1/2" X 51"	3050	36 1/2" X 51"	36 1/2" X 51"
543	28" X 36"	21 1/4" X 38 1/4"	3050	36" X 63"	36" X 75"	3050	36 1/2" X 63 1/2"	36 1/2" X 63"	3060	36 1/2" X 63 1/2"	36 1/2" X 63"
544	28" X 48"	21 1/4" X 50 1/4"	3060	36" X 75"	36" X 87"	3060	36 1/2" X 75"	36 1/2" X 75"	3070	36 1/2" X 75"	36 1/2" X 75"
545	28" X 60"	21 1/4" X 62 1/4"	4040	48" X 51"	48" X 63"	4040	48" X 51"	48" X 51"	4050	48" X 51"	48" X 51"
546	28" X 72"	21 1/4" X 74"	4050	48" X 63"	48" X 75"	4050	48" X 63 1/2"	48" X 63"	4060	48" X 63 1/2"	48" X 63"
2354	36" X 36"	31 1/4" X 38 1/4"	4060	48" X 75"	48" X 87"	4060	48" X 75"	48" X 75"	4070	48" X 75"	48" X 75"
2454	36" X 48"	31 1/4" X 50 1/4"	(2) 3040	48 1/2" X 51"	48 1/2" X 63"	543	21 1/4" X 42 1/4"	21 1/4" X 42 1/4"	4080	48 1/2" X 75"	48 1/2" X 75"
2554	36" X 60"	31 1/4" X 62 1/4"	(2) 3050	48 1/2" X 63"	48 1/2" X 75"	544	21 1/4" X 54 1/4"	21 1/4" X 54 1/4"	4090	48 1/2" X 87"	48 1/2" X 87"
2654	36" X 72"	31 1/4" X 74"	(2) 3060	48 1/2" X 75"	48 1/2" X 87"	545	21 1/4" X 66 1/4"	21 1/4" X 66 1/4"	4100	48 1/2" X 99"	48 1/2" X 99"
3354	44" X 36"	37 1/4" X 38 1/4"	(2) 3040	72 1/2" X 51"	72 1/2" X 63"	546	21 1/4" X 78 1/4"	21 1/4" X 78 1/4"	5050	60 1/2" X 51"	60 1/2" X 51"
3454	44" X 48"	37 1/4" X 50 1/4"	(2) 3050	72 1/2" X 63"	72 1/2" X 75"	543	37 1/4" X 43 1/4"	37 1/4" X 43 1/4"	5060	60 1/2" X 63"	60 1/2" X 63"
3554	44" X 60"	37 1/4" X 62 1/4"	(2) 3060	72 1/2" X 75"	72 1/2" X 87"	544	37 1/4" X 55 1/4"	37 1/4" X 55 1/4"	5070	60 1/2" X 75"	60 1/2" X 75"
3654	44" X 72"	37 1/4" X 74"	(2) 4040	96 1/2" X 51"	96 1/2" X 63"	545	37 1/4" X 67 1/4"	37 1/4" X 67 1/4"	5080	60 1/2" X 87"	60 1/2" X 87"
3354	48" X 36"	40 1/2" X 38 1/2"	(2) 4050	96 1/2" X 63"	96 1/2" X 75"	546	37 1/4" X 79 1/4"	37 1/4" X 79 1/4"	5090	60 1/2" X 99"	60 1/2" X 99"
3454	48" X 48"	40 1/2" X 50 1/2"	(2) 4060	96 1/2" X 75"	96 1/2" X 87"	543	53 1/2" X 45"	53 1/2" X 45"	6050	72 1/2" X 51"	72 1/2" X 51"
3554	48" X 60"	40 1/2" X 62 1/2"	543	53 1/2" X 57 1/2"	53 1/2" X 57 1/2"	544	53 1/2" X 69 1/2"	53 1/2" X 69 1/2"	6060	72 1/2" X 63"	72 1/2" X 63"
3654	48" X 72"	40 1/2" X 74"	545	53 1/2" X 81 1/2"	53 1/2" X 81 1/2"	546	53 1/2" X 93 1/2"	53 1/2" X 93 1/2"	6070	72 1/2" X 75"	72 1/2" X 75"
(2) 3454	72 1/2" X 48"	74 1/4" X 50 1/4"	543	71 1/4" X 45"	71 1/4" X 45"	(2) 3050	72 1/2" X 63"	72 1/2" X 63"	6080	72 1/2" X 87"	72 1/2" X 87"
(2) 3554	72 1/2" X 60"	74 1/4" X 62 1/4"	544	71 1/4" X 57 1/2"	71 1/4" X 57 1/2"	(2) 3060	72 1/2" X 75"	72 1/2" X 75"	6090	72 1/2" X 99"	72 1/2" X 99"
(2) 3654	72 1/2" X 72"	74 1/4" X 74"	545	71 1/4" X 69 1/2"	71 1/4" X 69 1/2"	(2) 4050	96 1/2" X 63"	96 1/2" X 63"	6100	72 1/2" X 99"	72 1/2" X 99"
(2) 3654	72 1/2" X 72"	74 1/4" X 74"	546	71 1/4" X 81 1/2"	71 1/4" X 81 1/2"	(2) 4060	96 1/2" X 75"	96 1/2" X 75"	6110	72 1/2" X 99"	72 1/2" X 99"
(2) 543	6 1/2" X 63"	6 1/2" X 63"	543	37 1/4" X 47 1/4"	37 1/4" X 47 1/4"	(2) 543	37 1/4" X 59 1/4"	37 1/4" X 59 1/4"	6120	72 1/2" X 99"	72 1/2" X 99"
(2) 544	6 1/2" X 75"	6 1/2" X 75"	544	37 1/4" X 61 1/4"	37 1/4" X 61 1/4"	(2) 544	37 1/4" X 73 1/4"	37 1/4" X 73 1/4"	6130	72 1/2" X 99"	72 1/2" X 99"
(2) 3454	96 1/2" X 48"	96 1/2" X 48"	545	37 1/4" X 85 1/4"	37 1/4" X 85 1/4"	(2) 545	37 1/4" X 97 1/4"	37 1/4" X 97 1/4"	6140	72 1/2" X 99"	72 1/2" X 99"
(2) 3554	96 1/2" X 60"	96 1/2" X 60"	546	53 1/2" X 49 1/2"	53 1/2" X 49 1/2"	(2) 546	53 1/2" X 61 1/2"	53 1/2" X 61 1/2"	6150	72 1/2" X 99"	72 1/2" X 99"
(2) 3654	96 1/2" X 72"	96 1/2" X 72"	543	53 1/2" X 63 1/2"	53 1/2" X 63 1/2"	(2) 543	53 1/2" X 75 1/2"	53 1/2" X 75 1/2"	6160	72 1/2" X 99"	72 1/2" X 99"
(2) 3554	118 1/2" X 63"	118 1/2" X 63"	544	53 1/2" X 77 1/2"	53 1/2" X 77 1/2"	(2) 544	53 1/2" X 89 1/2"	53 1/2" X 89 1/2"	6170	72 1/2" X 99"	72 1/2" X 99"
(2) 3554	118 1/2" X 75"	118 1/2" X 75"	545	53 1/2" X 91 1/2"	53 1/2" X 91 1/2"	(2) 545	53 1/2" X 103 1/2"	53 1/2" X 103 1/2"	6180	72 1/2" X 99"	72 1/2" X 99"
546 / 5406 / 5406	76" X 72"	76" X 72"	(2) 546	53 1/2" X 95 1/2"	53 1/2" X 95 1/2"	(2) 546	53 1/2" X 107 1/2"	53 1/2" X 107 1/2"	6190	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 119 1/2"	53 1/2" X 119 1/2"	(2) 546	53 1/2" X 131 1/2"	53 1/2" X 131 1/2"	6200	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 135 1/2"	53 1/2" X 135 1/2"	(2) 546	53 1/2" X 147 1/2"	53 1/2" X 147 1/2"	6210	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 159 1/2"	53 1/2" X 159 1/2"	(2) 546	53 1/2" X 171 1/2"	53 1/2" X 171 1/2"	6220	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 183 1/2"	53 1/2" X 183 1/2"	(2) 546	53 1/2" X 195 1/2"	53 1/2" X 195 1/2"	6230	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 207 1/2"	53 1/2" X 207 1/2"	(2) 546	53 1/2" X 219 1/2"	53 1/2" X 219 1/2"	6240	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 231 1/2"	53 1/2" X 231 1/2"	(2) 546	53 1/2" X 243 1/2"	53 1/2" X 243 1/2"	6250	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 255 1/2"	53 1/2" X 255 1/2"	(2) 546	53 1/2" X 267 1/2"	53 1/2" X 267 1/2"	6260	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 279 1/2"	53 1/2" X 279 1/2"	(2) 546	53 1/2" X 291 1/2"	53 1/2" X 291 1/2"	6270	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 295 1/2"	53 1/2" X 295 1/2"	(2) 546	53 1/2" X 307 1/2"	53 1/2" X 307 1/2"	6280	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 319 1/2"	53 1/2" X 319 1/2"	(2) 546	53 1/2" X 331 1/2"	53 1/2" X 331 1/2"	6290	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 343 1/2"	53 1/2" X 343 1/2"	(2) 546	53 1/2" X 355 1/2"	53 1/2" X 355 1/2"	6300	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 367 1/2"	53 1/2" X 367 1/2"	(2) 546	53 1/2" X 379 1/2"	53 1/2" X 379 1/2"	6310	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 391 1/2"	53 1/2" X 391 1/2"	(2) 546	53 1/2" X 403 1/2"	53 1/2" X 403 1/2"	6320	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 415 1/2"	53 1/2" X 415 1/2"	(2) 546	53 1/2" X 427 1/2"	53 1/2" X 427 1/2"	6330	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 439 1/2"	53 1/2" X 439 1/2"	(2) 546	53 1/2" X 451 1/2"	53 1/2" X 451 1/2"	6340	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 463 1/2"	53 1/2" X 463 1/2"	(2) 546	53 1/2" X 475 1/2"	53 1/2" X 475 1/2"	6350	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 487 1/2"	53 1/2" X 487 1/2"	(2) 546	53 1/2" X 499 1/2"	53 1/2" X 499 1/2"	6360	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 511 1/2"	53 1/2" X 511 1/2"	(2) 546	53 1/2" X 523 1/2"	53 1/2" X 523 1/2"	6370	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 535 1/2"	53 1/2" X 535 1/2"	(2) 546	53 1/2" X 547 1/2"	53 1/2" X 547 1/2"	6380	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 559 1/2"	53 1/2" X 559 1/2"	(2) 546	53 1/2" X 571 1/2"	53 1/2" X 571 1/2"	6390	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 583 1/2"	53 1/2" X 583 1/2"	(2) 546	53 1/2" X 595 1/2"	53 1/2" X 595 1/2"	6400	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 607 1/2"	53 1/2" X 607 1/2"	(2) 546	53 1/2" X 619 1/2"	53 1/2" X 619 1/2"	6410	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 631 1/2"	53 1/2" X 631 1/2"	(2) 546	53 1/2" X 643 1/2"	53 1/2" X 643 1/2"	6420	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 655 1/2"	53 1/2" X 655 1/2"	(2) 546	53 1/2" X 667 1/2"	53 1/2" X 667 1/2"	6430	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 679 1/2"	53 1/2" X 679 1/2"	(2) 546	53 1/2" X 691 1/2"	53 1/2" X 691 1/2"	6440	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 695 1/2"	53 1/2" X 695 1/2"	(2) 546	53 1/2" X 707 1/2"	53 1/2" X 707 1/2"	6450	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 719 1/2"	53 1/2" X 719 1/2"	(2) 546	53 1/2" X 731 1/2"	53 1/2" X 731 1/2"	6460	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 743 1/2"	53 1/2" X 743 1/2"	(2) 546	53 1/2" X 755 1/2"	53 1/2" X 755 1/2"	6470	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 767 1/2"	53 1/2" X 767 1/2"	(2) 546	53 1/2" X 779 1/2"	53 1/2" X 779 1/2"	6480	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 791 1/2"	53 1/2" X 791 1/2"	(2) 546	53 1/2" X 803 1/2"	53 1/2" X 803 1/2"	6490	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 815 1/2"	53 1/2" X 815 1/2"	(2) 546	53 1/2" X 827 1/2"	53 1/2" X 827 1/2"	6500	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 839 1/2"	53 1/2" X 839 1/2"	(2) 546	53 1/2" X 851 1/2"	53 1/2" X 851 1/2"	6510	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 863 1/2"	53 1/2" X 863 1/2"	(2) 546	53 1/2" X 875 1/2"	53 1/2" X 875 1/2"	6520	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 887 1/2"	53 1/2" X 887 1/2"	(2) 546	53 1/2" X 899 1/2"	53 1/2" X 899 1/2"	6530	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 911 1/2"	53 1/2" X 911 1/2"	(2) 546	53 1/2" X 923 1/2"	53 1/2" X 923 1/2"	6540	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 935 1/2"	53 1/2" X 935 1/2"	(2) 546	53 1/2" X 947 1/2"	53 1/2" X 947 1/2"	6550	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 959 1/2"	53 1/2" X 959 1/2"	(2) 546	53 1/2" X 971 1/2"	53 1/2" X 971 1/2"	6560	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 983 1/2"	53 1/2" X 983 1/2"	(2) 546	53 1/2" X 995 1/2"	53 1/2" X 995 1/2"	6570	72 1/2" X 99"	72 1/2" X 99"
			(2) 546	53 1/2" X 1007 1/2"	53 1/2" X 1007 1/2"	(2) 546	53 1/2" X				



- NOTES:**
- 1.) ALL WINDOWS, IN METR. AND HALL BATHS TO BE OBS. U.N.O.
 - 2.) ALL EXT. WALLS ARE CONSIDERED AS SHEAR WALLS EXCEPT FOR THOSE PORTIONS OF WALL WITH OPENINGS.
 - 3.) EXTERIOR DOORS AND GARAGE DOOR LEADING TO CONDITIONED SPACE SHALL BE SOLID CORE.
- LEGEND:**
- PF** - DESIGN PRESSURE & OPENINGS
 - *** - INDICATES EGRESS WINDOWS (COMPLIANCE TO BE VERIFIED PRIOR TO INSTALLATION)
 - TD** - INDICATES TOILET ROOM DOOR PER 2023 FBC-R322.1.1
 - SC** - INDICATES SOLID CORE DOOR
 - 2X** - 2X BUILT-UP POSTS TO BE NAILED TOGETHER W/ 10d's @ 4" O.C. STAGGERED, FIRST NAILED 2" FROM END U.N.O.
 - GL** - ANY GLASS SHOWER ENCLOSURES ARE TO BE TEMPERED GLASS.
 - W** - ALL WOOD IN DIRECT CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WOOD.
 - IF** - INDICATES INTERIOR BRG. WALL TO BE 2x 4x8 @ 16" O.C. W/ MD- BLOCKING PER DETAIL 31/01 U.N.O.
 - OF** - INDICATES ONE-STORY EXTERIOR BEARING WALL.
 - 4"** - INDICATES 4" FILLED SOLID FORMED CELL ON EACH SIDE OF ROUGH OPENING (W/ OR W/ OUT OPT. SL.) WITH 1 #5 BAR CORE FROM BEAM TO ITS W/ 12" HOOK MIN AND 1/4" ROUND TIES AT 16" O.C. AROUND MASONRY CELL & FORMED CELL VERTICAL #5 BARS. NOTE STEEL REINFORCED 4" MASONRY FILLED CELLS COULD BE USED I.L.O. THE FILLED SOLID FORMED CELLS.
 - 4x4** - INDICATES INTERIOR BRG. WALL TO BE 4x4 @ 24" O.C. W/ MD- BLOCKING PER DETAIL 31/01 U.N.O.

THE GARAGE DOOR WILL BE DESIGNED TO EXCEED THE WIND SPEED ANTICIPATED IN THE PLANS.
 *WIND SPEED SHOWN ON THE COVER

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONDITIONS AND MATERIALS OF THE JOB AND CLIENT'S DESIGN GROUP SHALL BE NOTIFIED BY E-MAIL OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

Guida Design Group
 8410 Chippewa Ave. Suite 101, 55044
 www.guidadesigngroup.com
 Tel: 763.444.8888

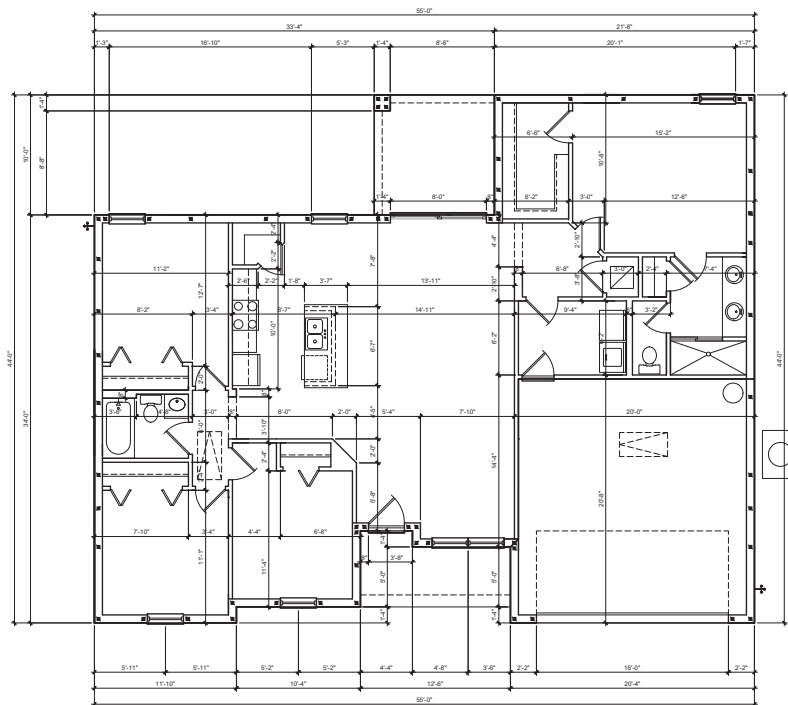


1ST FLOOR PLAN NOTE
 DATA DEVELOPMENT MODEL 1587
 MASTER

Job No.
24-001
 Drawn By
V.E.
 Date
11/18/2024
 Scale
1/8" = 1'-0" (1/16" = 1'-0")
 Lot #
N/A

A1

ALBERTO GUIDA
 PE # 74000 FL



1ST FLOOR
SCALE: 1/16" = 1'-0" 24x36(1/4" = 1'-0")

Area Tabulations	
Living:	
1st floor:	1583 sf
2nd floor:	N/A sf
Total Living:	1583 sf
Bed:	100 sf
Garage:	404 sf
Terrace:	N/A sf
Total Area:	2155 sf

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONDITIONS AND NOTES apply and no separate for conditions and notes of the job and Guide Design Group must be noted as writing of any variation from the drawings, conditions and specifications appearing on these plans.

THE GARAGE DOOR WILL BE DESIGNED TO EXCEED THE WIND SPEED ANTICIPATED IN THE PLANS.
*WIND SPEED SHOWN ON THE COVER

Guida Design Group
441 Olympia Blvd., Suite 101
West Palm Beach, FL 33411
www.guidadesigngroup.com
Tel: 561.833.8888



1ST FLOOR PLAN DIM

DALA DEVELOPMENT MODEL 1587
MASTER

Job No.
24-001

Drawn By
J.E.

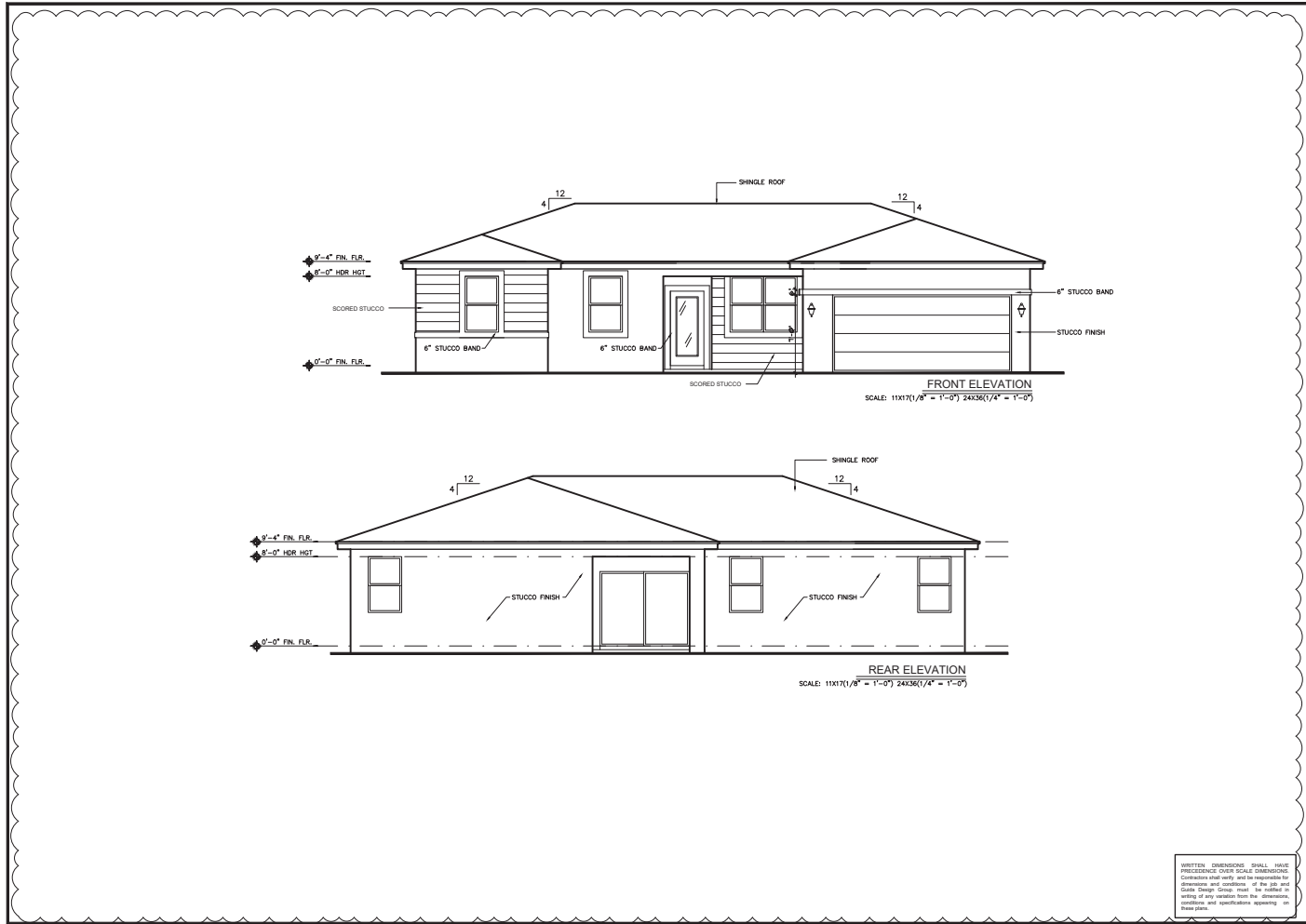
Scale
1/16" = 1'-0"

Scale
1/8" (1/16")
1/4" (1/8")

Lot #
N/A

A2

ALBERTO GUIDA
PE # 74000 FL



WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and shall change settings, must be noted in writing of any variation from the dimensions, conditions and specifications appearing on these plans.

Guida Design Group
441 Ocean Blvd., Suite 101, 33514
www.guidadesigngroup.com
info@guidadesigngroup.com



ELEVATIONS

DALA DEVELOPMENT MODEL 1587

MASTER

Job No.

24-001

Drawn By:

V.E.

Scale:

11/18/2024

Scale:

1/8" = 1'-0"

1/4" = 3'-0"

1/2" = 6'-0"

3/4" = 9'-0"

1" = 12'-0"

2" = 24'-0"

3" = 36'-0"

4" = 48'-0"

5" = 60'-0"

6" = 72'-0"

7" = 84'-0"

8" = 96'-0"

9" = 108'-0"

10" = 120'-0"

11" = 132'-0"

12" = 144'-0"

13" = 156'-0"

14" = 168'-0"

15" = 180'-0"

16" = 192'-0"

17" = 204'-0"

18" = 216'-0"

19" = 228'-0"

20" = 240'-0"

21" = 252'-0"

22" = 264'-0"

23" = 276'-0"

24" = 288'-0"

25" = 300'-0"

26" = 312'-0"

27" = 324'-0"

28" = 336'-0"

29" = 348'-0"

30" = 360'-0"

31" = 372'-0"

32" = 384'-0"

33" = 396'-0"

34" = 408'-0"

35" = 420'-0"

36" = 432'-0"

37" = 444'-0"

38" = 456'-0"

39" = 468'-0"

40" = 480'-0"

41" = 492'-0"

42" = 504'-0"

43" = 516'-0"

44" = 528'-0"

45" = 540'-0"

46" = 552'-0"

47" = 564'-0"

48" = 576'-0"

49" = 588'-0"

50" = 600'-0"

51" = 612'-0"

52" = 624'-0"

53" = 636'-0"

54" = 648'-0"

55" = 660'-0"

56" = 672'-0"

57" = 684'-0"

58" = 696'-0"

59" = 708'-0"

60" = 720'-0"

61" = 732'-0"

62" = 744'-0"

63" = 756'-0"

64" = 768'-0"

65" = 780'-0"

66" = 792'-0"

67" = 804'-0"

68" = 816'-0"

69" = 828'-0"

70" = 840'-0"

71" = 852'-0"

72" = 864'-0"

73" = 876'-0"

74" = 888'-0"

75" = 900'-0"

76" = 912'-0"

77" = 924'-0"

78" = 936'-0"

79" = 948'-0"

80" = 960'-0"

81" = 972'-0"

82" = 984'-0"

83" = 996'-0"

84" = 1008'-0"

85" = 1020'-0"

86" = 1032'-0"

87" = 1044'-0"

88" = 1056'-0"

89" = 1068'-0"

90" = 1080'-0"

91" = 1092'-0"

92" = 1104'-0"

93" = 1116'-0"

94" = 1128'-0"

95" = 1140'-0"

96" = 1152'-0"

97" = 1164'-0"

98" = 1176'-0"

99" = 1188'-0"

100" = 1200'-0"

101" = 1212'-0"

102" = 1224'-0"

103" = 1236'-0"

104" = 1248'-0"

105" = 1260'-0"

106" = 1272'-0"

107" = 1284'-0"

108" = 1296'-0"

109" = 1308'-0"

110" = 1320'-0"

111" = 1332'-0"

112" = 1344'-0"

113" = 1356'-0"

114" = 1368'-0"

115" = 1380'-0"

116" = 1392'-0"

117" = 1404'-0"

118" = 1416'-0"

119" = 1428'-0"

120" = 1440'-0"

121" = 1452'-0"

122" = 1464'-0"

123" = 1476'-0"

124" = 1488'-0"

125" = 1500'-0"

126" = 1512'-0"

127" = 1524'-0"

128" = 1536'-0"

129" = 1548'-0"

130" = 1560'-0"

131" = 1572'-0"

132" = 1584'-0"

133" = 1596'-0"

134" = 1608'-0"

135" = 1620'-0"

136" = 1632'-0"

137" = 1644'-0"

138" = 1656'-0"

139" = 1668'-0"

140" = 1680'-0"

141" = 1692'-0"

142" = 1704'-0"

143" = 1716'-0"

144" = 1728'-0"

145" = 1740'-0"

146" = 1752'-0"

147" = 1764'-0"

148" = 1776'-0"

149" = 1788'-0"

150" = 1800'-0"

151" = 1812'-0"

152" = 1824'-0"

153" = 1836'-0"

154" = 1848'-0"

155" = 1860'-0"

156" = 1872'-0"

157" = 1884'-0"

158" = 1896'-0"

159" = 1908'-0"

160" = 1920'-0"

161" = 1932'-0"

162" = 1944'-0"

163" = 1956'-0"

164" = 1968'-0"

165" = 1980'-0"

166" = 1992'-0"

167" = 2004'-0"

168" = 2016'-0"

169" = 2028'-0"

170" = 2040'-0"

171" = 2052'-0"

172" = 2064'-0"

173" = 2076'-0"

174" = 2088'-0"

175" = 2100'-0"

176" = 2112'-0"

177" = 2124'-0"

178" = 2136'-0"

179" = 2148'-0"

180" = 2160'-0"

181" = 2172'-0"

182" = 2184'-0"

183" = 2196'-0"

184" = 2208'-0"

185" = 2220'-0"

186" = 2232'-0"

187" = 2244'-0"

188" = 2256'-0"

189" = 2268'-0"

190" = 2280'-0"

191" = 2292'-0"

192" = 2304'-0"

193" = 2316'-0"

194" = 2328'-0"

195" = 2340'-0"

196" = 2352'-0"

197" = 2364'-0"

198" = 2376'-0"

199" = 2388'-0"

200" = 2400'-0"

201" = 2412'-0"

202" = 2424'-0"

203" = 2436'-0"

204" = 2448'-0"

205" = 2460'-0"

206" = 2472'-0"

207" = 2484'-0"

208" = 2496'-0"

209" = 2508'-0"

210" = 2520'-0"

211" = 2532'-0"

212" = 2544'-0"

213" = 2556'-0"

214" = 2568'-0"

215" = 2580'-0"

216" = 2592'-0"

217" = 2604'-0"

218" = 2616'-0"

219" = 2628'-0"

220" = 2640'-0"

221" = 2652'-0"

222" = 2664'-0"

223" = 2676'-0"

224" = 2688'-0"

225" = 2700'-0"

226" = 2712'-0"

227" = 2724'-0"

228" = 2736'-0"

229" = 2748'-0"

230" = 2760'-0"

231" = 2772'-0"

232" = 2784'-0"

233" = 2796'-0"

234" = 2808'-0"

235" = 2820'-0"

236" = 2832'-0"

237" = 2844'-0"

238" = 2856'-0"

239" = 2868'-0"

240" = 2880'-0"

241" = 2892'-0"

242" = 2904'-0"

243" = 2916'-0"

244" = 2928'-0"

245" = 2940'-0"

246" = 2952'-0"

247" = 2964'-0"

248" = 2976'-0"

249" = 2988'-0"

250" = 3000'-0"

251" = 3012'-0"

252" = 3024'-0"

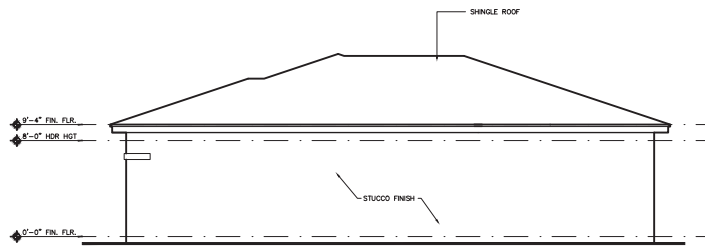
253" = 3036'-0"

254" = 3048'-0"

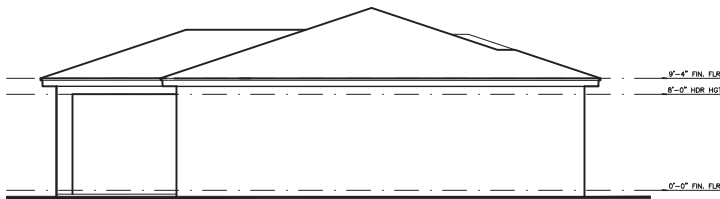
255" = 3060'-0"

256" = 3072'-0"

257" = 3084'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0" 3/4" = 1'-0"



LEFT ELEVATION
SCALE: 5/8" = 1'-0" 3/4" = 1'-0"

WRITTEN DIMENSIONS SHALL HAVE
PRECEDENCE OVER SCALE DIMENSIONS.
CONSTRUCTION AND MEASUREMENTS SHALL BE
IN ACCORDANCE WITH THE 2018 INTERNATIONAL
RESIDENTIAL CODE BOOK (IRC) AND THE 2018
INTERNATIONAL BUILDING CODE (IBC).
ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
ALL DIMENSIONS SHALL BE TO THE FACE UNLESS
OTHERWISE NOTED.

Guida Design Group
4410 South 1st Avenue, Suite 100
Miami, FL 33134
www.guidadesigngroup.com
info@guidadesigngroup.com



ELEVATIONS

DALA DEVELOPMENT MODEL 1587
MASTER

Job No.

24-001

Drawn By:

V.E.

Date:

11/15/2024

Scale:

1/8" = 1'-0" (1/4" = 1'-0")

Lot #

NEA

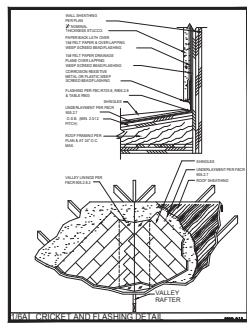
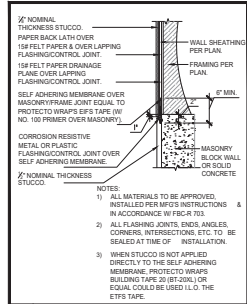
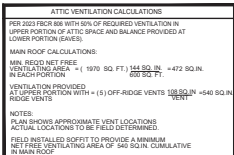
A4

ALBERTO GUIDA

PE # 74000 FL

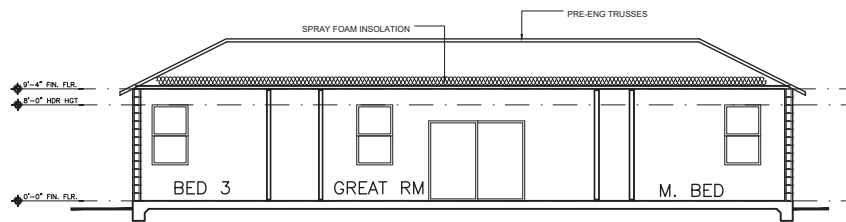
NOTE:

- AT 'A' IN ALL CASES
- BE: HORIZONTAL DIMENSION OF BUILDING MEASURED NORMAL TO WIND DIRECTION IN THE FT (M)
- ME: MEAN ROOF HEIGHT, IN FT (M)
- BE: ANGLE OF PLANE FROM HORIZONTAL, IN DEGREES

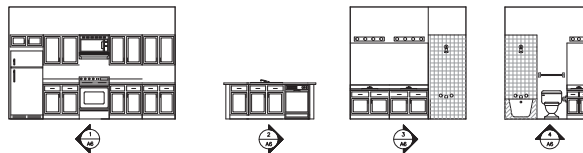


NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD UNLESS, PRIOR TO MAKING CHANGES, WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER/ ARCHITECT OF RECORD. IF CHANGES ARE MADE WITHOUT WRITTEN APPROVAL SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTORS INVOLVED AND SHALL BE THEIR RESPONSIBILITY TO REPLACE OR REPAIR THE CONDITION AS DIRECTED BY THE ENGINEER.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and BIGDesign. must be notified in writing of any variation from the dimensions, conditions and specifications appearing on these plans.



BUILDING SECTION
SCALE: 1/16\"/>



INTERIOR SECTIONS
SCALE: 1/16\"/>

Guida Design Group
441 Olympia Road, Suite 101
Westport, NY 11791
www.guidadesigngroup.com
info@guidadesigngroup.com

GUIDA GROUP



BUILDING SECTION

DALA DEVELOPMENT MODEL 1587
MASTER

Job No.

24-001

Drawn By:

V.E.

Date:

11/18/2024

Scale:

1/8\"/>

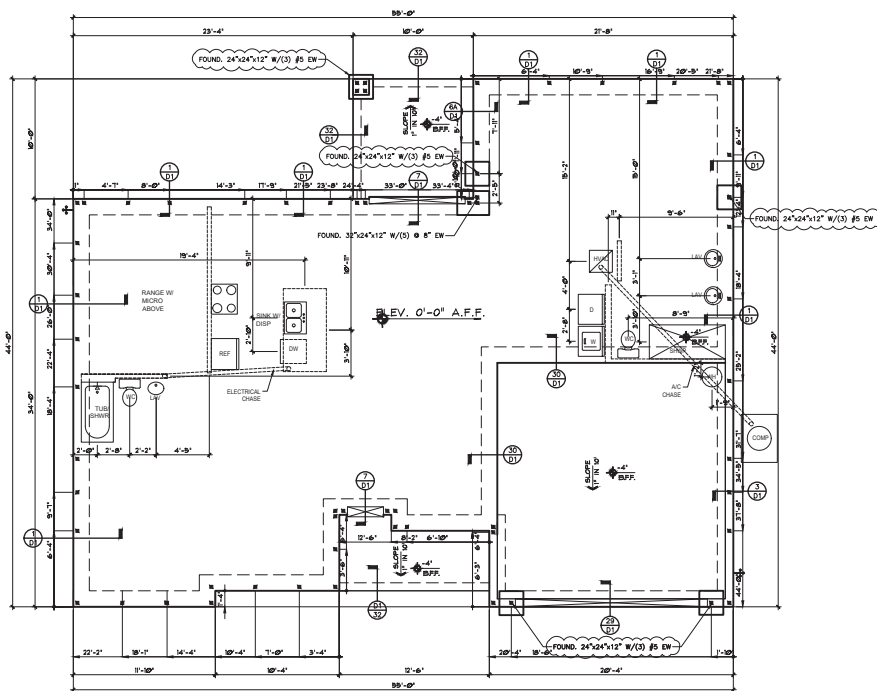
1/4\"/>

Lot #:

NEA

A6

ALBERTO GUIDA
PE #: 74000 FL



FOUNDATION
SCALE: $1/16" = 1'-0"$ $24/32" = 1'-0"$

MATERIALS (UNLESS OTHERWISE SPECIFIED):

1. CONCRETE: $f'_c = 3,000$ psi
2. REBAR: $f_y = 60$ ksi
3. WOOD STRUCTURAL ELEMENTS: S.P. #2
4. SOIL (ALLOW. BEARING PRESS.): 2,000 psf
5. BEARING LEVEL: SOILS SHOULD EXHIBIT A DENSITY OF AT LEAST 95% OF THE MAX. DRY DENSITY AS DETERMINED BY ASTM D1557 TO A DEPTH OF AT LEAST 1 FT. BELOW FOUNDATION LEVEL.

NOTE:
TRUSS LAYOUT MUST BE CHECKED TO CONFIRM THE LOCATION OF BEARING WALLS. THEIR FOUNDATIONS SHALL BE INDICATED IN DETAIL (S-D1) OF THIS PAGE.

LEGEND:

- INDICATES TWO-STORY BEARING FOOTING
- INDICATES A CONCRETE FILLED CELL OF 2" CMU WALL WITH (1) #6 - REBAR VERT. CONT. FROM FOUNDATION TO BOND BEAM. PROVIDE A MIN. OF 5" LAP ON ALL STEEL REINFORCING BARS.
- INDICATES GROUTED CELL

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND GUIDE DESIGN GROUP. MUST BE NOTIFIED IN WRITING OF ANY VIOLATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

Guida Design Group
441 Chippewa St., Suite 101
West Allamogus, NJ 08841
www.guidadesigngroup.com
Tel: 908.886.6666



FOUNDATION PLAN

DALA DEVELOPMENT MODEL 1587

MASTER

Job No.
24-001

Drawn By
J.E.

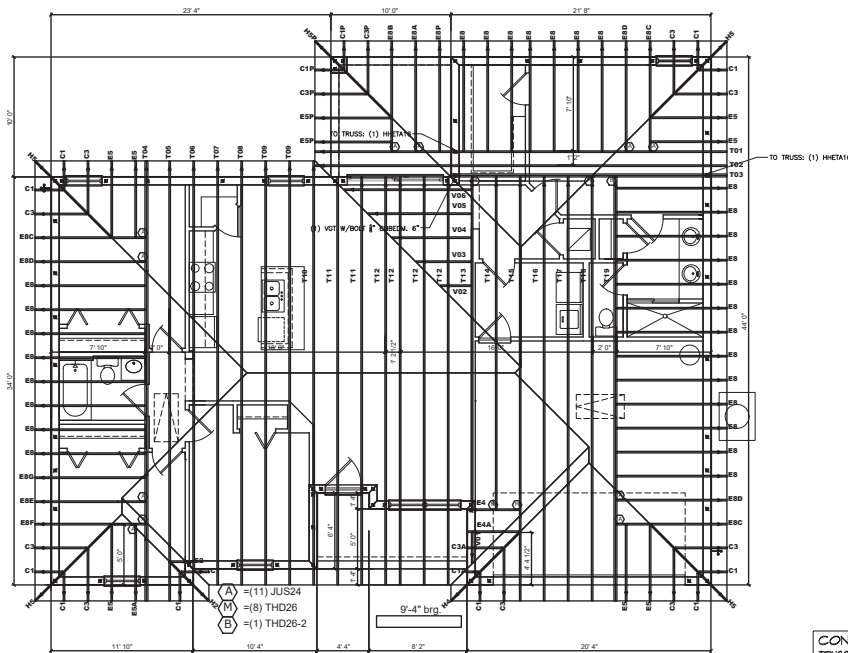
Date
11/18/2024

Scale
1/8" (1/16")
1/4" (1/32")

Lot #
N/A

S1

ALBERTO GUIDA
PE # 74000 FL



ROOF
SCALE: 1/16" = 1'-0" 24X36(1/4" = 1'-0")

CONNECTORS (UNO):
TRUSSES TO WOOD FRAMING: (1) MTB12 W/14" 10dxi-1/2"
TRUSSES TO CHU: (1) HETA16 W/13" 10dxi-1/2"
GABLES TO WOOD FRAMING: HGA10 # 4"
GABLES TO CHU: HGA10 # 4"

LINTELS (UNO): 8F8 1B/IT
IN THE CHU SUPPORT OF EACH GIRDER INSTALL (1)
REBAR #5 AND CELL GROUTED

FOUNDATIONS:
FOUNDATIONS: 16' ONE FLOOR

Guida Design Group
441 North 1st Street, Suite 101
Tampa, FL 33604
www.guidadesigngroup.com
Phone: 813.241.1111



ROOF TRUSSES

DALA DEVELOPMENT MODEL 1587
MASTER

Job No.

24-001

Drawn By:

V.E.

Scale:

1/16" = 1'-0"

Scale:

1/8" = 1'-0"

1/4" = 1'-0"

1/2" = 1'-0"

3/4" = 1'-0"

1" = 1'-0"

1 1/2" = 1'-0"

2" = 1'-0"

3" = 1'-0"

4" = 1'-0"

6" = 1'-0"

8" = 1'-0"

10" = 1'-0"

12" = 1'-0"

14" = 1'-0"

16" = 1'-0"

18" = 1'-0"

20" = 1'-0"

22" = 1'-0"

24" = 1'-0"

26" = 1'-0"

28" = 1'-0"

30" = 1'-0"

32" = 1'-0"

34" = 1'-0"

36" = 1'-0"

38" = 1'-0"

40" = 1'-0"

42" = 1'-0"

44" = 1'-0"

46" = 1'-0"

48" = 1'-0"

50" = 1'-0"

52" = 1'-0"

54" = 1'-0"

56" = 1'-0"

58" = 1'-0"

60" = 1'-0"

62" = 1'-0"

64" = 1'-0"

66" = 1'-0"

68" = 1'-0"

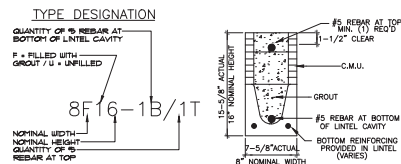
70" = 1'-0"

S2

ALBERTO GUIDA

PE # 74000 FL

8" PRECAST & PRESTRESSED U-INTEL

[illegible][illegible]

Provide full mortar head and bed joints.

1. Shove filled joints as required.
2. Installation of Intel must comply with the architectural and/or structural drawings.
3. Links are manufactured with 5'-12" long notches at the ends to accommodate:
4. vertical cable reinforcing and grouting. All Intel must be exceed L/800 vertical deflection, except Intels 17'-4" and longer with a nominal height of 8' must be exceed L/180. Bottom field added rebar to be located at the bottom of the Intel cavity.
5. 7/32" diameter wire stirrups are welded to the bottom steel for mechanical anchorage. 7/32" diameter concrete may be provided in composite Intel in lieu of concrete.
6. 7/32" diameter, 36 ksi steel reinforcement bars, in cold-chamber design per ACI 318 and ACI 308.9

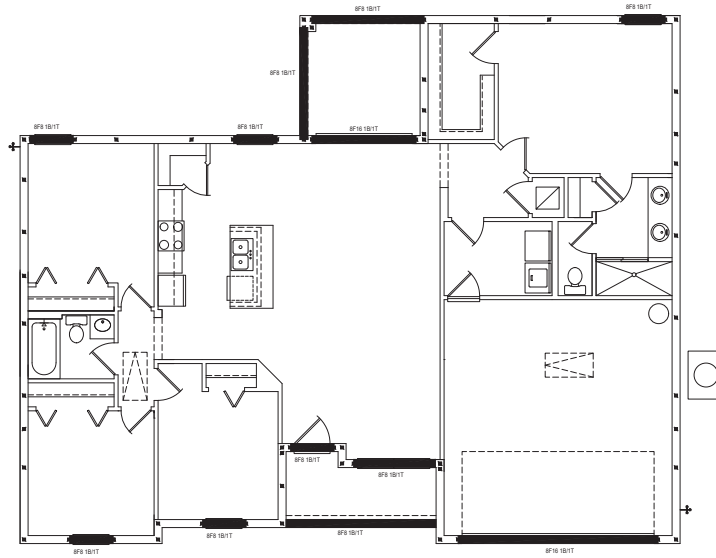
1. All values based on 6-1/2" x 4" bearing. Exception: Safe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2". Safe loads for all recessed lintels based on 8" nominal bearing.
2. N.R. = Not Rated.
3. Safe loads are total superimposed allowable load on section specified.
4. Safe loads based on grade 60 or grade 60 field rebar.
5. Additional lateral load capacity can be obtained by the Designer by providing additional reinforced masonry above the precast lintel.
6. One #7 rebar may be substituted for two #5 rebar in #8 lintels only. The Designer may evaluate concentrated loads from the safe load tables by:
 - a. Estimating the maximum required moment and shear at d-away from the face of support.
 - b. For composite lintel heights not shown, use safe load from next lower height. All safe loads in units of pounds per lineal foot.
7. 9.

1. Fc precast lintels = 3500 psi.
2. Fc prestressed lintels = 6000 psi.
3. Fc grout = 3000 psi w/ maximum 3/8" aggregate.
4. Concrete masonry units (CMU) per ASTM C90 w/ minimum net area compressive strength = 1900 psi. Rebar provided in precast lintel per ASTM A615 GR60.
5. Field rebar per ASTM A615 GR40 or GR60. Prestressing strand per ASTM A416 grade
6. 270 low relaxation, 7.32 wire per ASTM A510.
7. Mortar per ASTM C270 type M or S.

NOTE: THIS INFORMATION IS BASED ON THE DATA SUPPLIED BY CAST-CRETE AND ITS ENGINEERS.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and BIGDesign, must be notified in writing of any variation from the dimensions, conditions and specifications presented on these plans.

NOTE:
LINTEL CALL OUT INDICATE
MIN LINTEL SIZE THAT CAN
BE USED



Guida Design Group
441 Cherry St., Suite 101
Portland, ME 04101
www.guidadesigngroup.com
Tel: 207.633.1111



LINTEL PLAN

DALA DEVELOPMENT MODEL 1587
MASTER

Job No.
24-001

Drawn By
V.E.

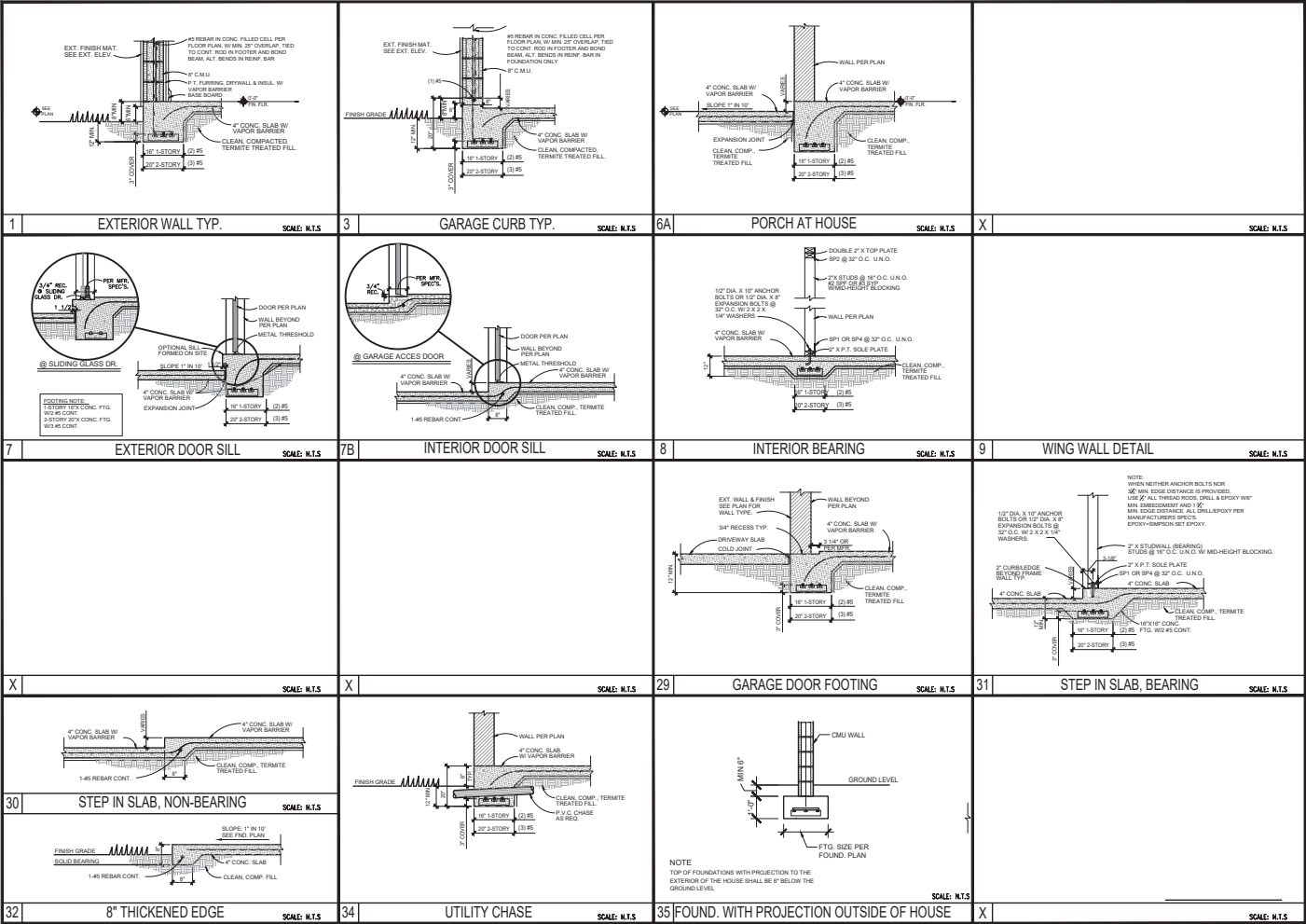
Date
11/15/2024

Scale
1/8" (1' x 17')

Lot #
N/A

S4

ALBERTO GUIDA
PE # 74000 FL



Guida Design Group
645 Chippin St. Oshawa, ON L1G 3B4
www.guidadesigngroup.com
Tel: 905.466.8888

LIDA GROUP



DETAILS
DATA DEVELOPMENT MODEL 1587
MASTER

Job No.

24-001

Drawn By

V.E.

Date

11/18/2024

Scale

1/8" = 1'-0" (1:12)

1/4" = 1'-0" (1:3)

1/2" = 1'-0" (1:2)

3/4" = 1'-0" (1:1.5)

1" = 1'-0" (1:1)

1 1/2" = 1'-0" (1:0.67)

2" = 1'-0" (1:0.5)

3" = 1'-0" (1:0.33)

4" = 1'-0" (1:0.25)

6" = 1'-0" (1:0.167)

8" = 1'-0" (1:0.125)

10" = 1'-0" (1:0.1)

12" = 1'-0" (1:0.083)

14" = 1'-0" (1:0.071)

16" = 1'-0" (1:0.0625)

18" = 1'-0" (1:0.0556)

20" = 1'-0" (1:0.05)

22" = 1'-0" (1:0.0455)

24" = 1'-0" (1:0.0417)

26" = 1'-0" (1:0.0385)

28" = 1'-0" (1:0.0357)

30" = 1'-0" (1:0.0333)

32" = 1'-0" (1:0.03125)

34" = 1'-0" (1:0.0294)

36" = 1'-0" (1:0.0278)

38" = 1'-0" (1:0.0263)

40" = 1'-0" (1:0.025)

42" = 1'-0" (1:0.0238)

44" = 1'-0" (1:0.0227)

46" = 1'-0" (1:0.0217)

48" = 1'-0" (1:0.0208)

50" = 1'-0" (1:0.02)

52" = 1'-0" (1:0.0192)

54" = 1'-0" (1:0.0185)

56" = 1'-0" (1:0.0179)

58" = 1'-0" (1:0.0172)

60" = 1'-0" (1:0.0167)

ALBERTO GUIDA

PE #: 74000 FL

1/8" = 1'-0" (1:12)

1/4" = 1'-0" (1:3)

1/2" = 1'-0" (1:2)

3/4" = 1'-0" (1:1.5)

1" = 1'-0" (1:1)

1 1/2" = 1'-0" (1:0.67)

2" = 1'-0" (1:0.5)

3" = 1'-0" (1:0.33)

4" = 1'-0" (1:0.25)

6" = 1'-0" (1:0.167)

8" = 1'-0" (1:0.125)

10" = 1'-0" (1:0.1)

12" = 1'-0" (1:0.083)

14" = 1'-0" (1:0.071)

16" = 1'-0" (1:0.0625)

18" = 1'-0" (1:0.0556)

20" = 1'-0" (1:0.05)

22" = 1'-0" (1:0.0455)

24" = 1'-0" (1:0.0417)

26" = 1'-0" (1:0.0385)

28" = 1'-0" (1:0.0357)

30" = 1'-0" (1:0.0333)

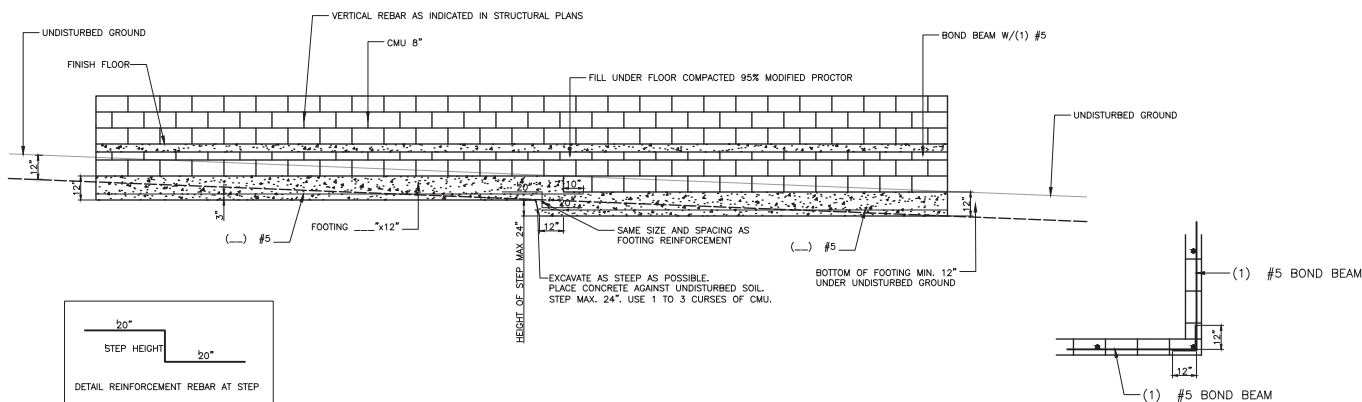
32" = 1'-0" (1:0.03125)

34" = 1'-0" (1:0.0294)

36" = 1'-0" (1:0.0278)

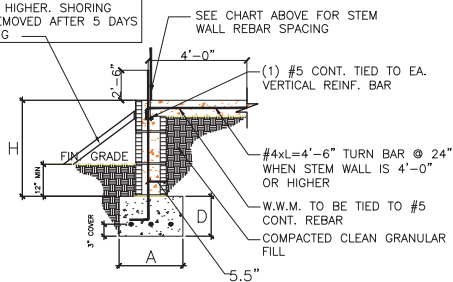
38" = 1'-0" (1:0.0263)

40" = 1'-0" (1:0.025)



EXTERIOR SHORING BY CONTRACTOR AS REQUIRED WHEN STEM WALL IS 4'-0" OR HIGHER. SHORING SHALL BE REMOVED AFTER 5 DAYS SLAB POURING

SEE FOUNDATION PLAN FOR REBAR SPACING ABOVE SLAB LEVEL



STEM WALL SCHEDULE						
STEM WALL HEIGHT (H)	FOOTING DIMENSION				NUMBER/SIZE OF BARS	MAXIMUM REBAR SPACING (O.C.) IN STEM WALL
	D(1 STORY)	D(2 STORY)	A(1 STORY)	A(2 STORY)		
0'-0" - 2'-0"	12"	12"	16"	20"	W/ (2) #5 BARS	6'-0"
2'-0" - 4'-0"	12"	12"	20"	24"	W/ (2) #5 BARS	4'-0"
4'-0" - 6'-0"	12"	12"	32"	32"	W/ (3) #5 BARS	2'-8"

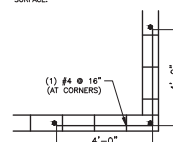
NOTES:

1. VERTICAL REINF. IN SOLID GROUTED CELLS AT ALL CORNERS, JAMBS, WALL INTERSECTIONS, BELOW GROSS TROSS LOCATIONS, AND AT THE MAXIMUM SPACING STATED IN SCHEDULE.
2. W.W.M. IS REQUIRED TO MAKE ADEQUATE CONNECTION BETWEEN SLAB AND WALL WHEN STEM WALL EXCEEDS 4'-0". FIREBRICK CAN NOT BE USED AND #4 TURN BARS @ 24" ARE REQUIRED, WITH EACH BAR TIED WITH VERTICAL BAR AND EXTENDED OUT A MIN. 4'-0" INTO SLAB.
3. IF STEM WALL IS REQ'D TO BE HIGHER, CONTACT ENGINEER OF RECORD PRIOR TO CONSTRUCTION FOR MORE INFORMATION.
4. C.G. TO PROVIDE ADEQUATE BRACING OF STEM WALL WHEN UNEVEN BACK FILLING IS TAKING PLACE.
5. #4 HORIZONTAL CORNER BARS WITH 4'-0" LEGS IN KNOCKOUT BLOCK @ 16" O.C. VERTICAL GROUTED SOLID WHEN STEM WALL IS 4'-0" OR HIGHER (TYPICAL ALL CORNERS SEE DETAIL 13)

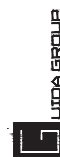
6. IF STEM WALL IS WITHIN 5'-0" POOL OR AND WATER FEATURE. FOUNDATIONS TO BE A MINIMUM 12" BELOW BOTTOM OF POOL OR WATER FEATURE.

7. ALL STEM WALLS SHALL BE FULLY GROUTED.

8. R403.1.4 MINIMUM DEPTH: ALL EXTERIOR FOOTING (BOTTOM) SHALL BE PLACED AT LEAST 12" BELOW THE UNDISTURBED GROUND SURFACE.



Guida Design Group
441 Chippewa St., Suite 101, 5324
West Allis, WI 53214
www.guidadesigngroup.com
Tel: 414.381.1111



DETAILS

DALA DEVELOPMENT MODEL 1587
MASTER

Job No.

24-001

Drawn By

W.E.

Scale

1/1/18/2024

Scale

1/8"=1' (1/17)

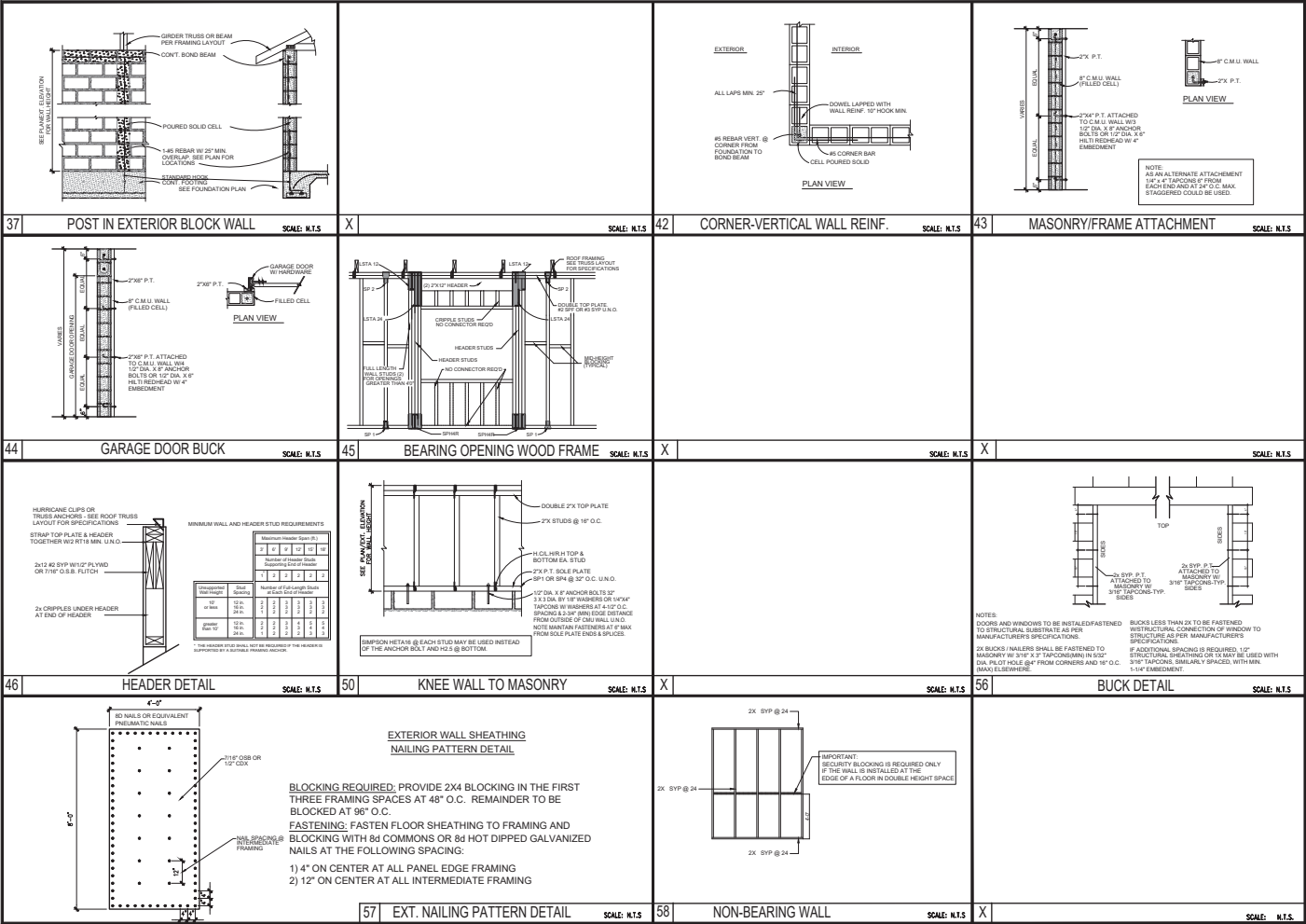
1/4"=2' (1/20)

Let #

NEA

D1.S

ALBERTO GUIDA
PE #: 74000 FL



Guida Design Group
441 Crystal A. Circle, Suite 100
West Palm Beach, FL 33411
www.guidadesigngroup.com
Tel: 561.833.1234

LIDA GROUP

DETAILS

DATA DEVELOPMENT MODEL 1567

MASTER

Job No.
24-001

Drawn By
V.E.

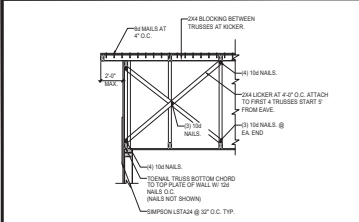
Date
11/18/2024

Scale
1/8" = 1'-0" (1:12)

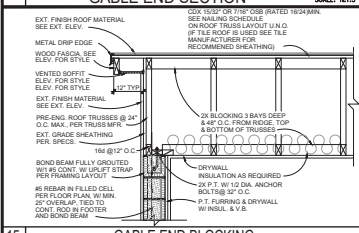
Lot #
N/A

D2

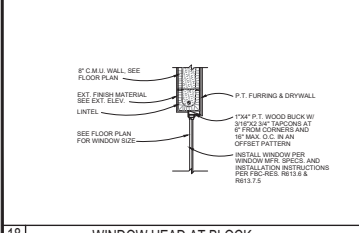
ALBERTO GUIDA
PE #: 74000 FL



12 GABLE END SECTION SCALE: N.T.S.



15 GABLE END BLOCKING SCALE: N.T.S.



18 WINDOW HEAD AT BLOCK SCALE: N.T.S.



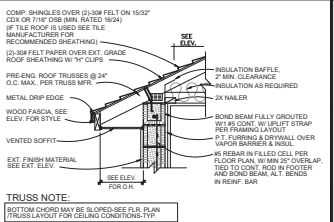
19 GLASS BLOCK AT BLOCK SCALE: N.T.S.



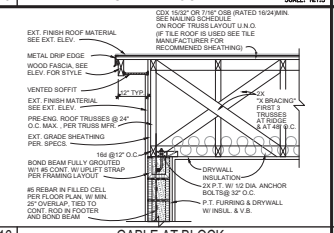
20 DOOR HEAD AT BLOCK SCALE: N.T.S.



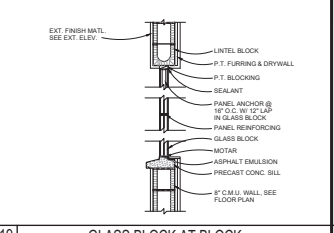
21 BLOCK WALL SECTION SCALE: N.T.S.



13 TRUSS AT BLOCK SCALE: N.T.S.



16 GABLE AT BLOCK SCALE: N.T.S.



17 WINDOW SILL AT BLOCK SCALE: N.T.S.



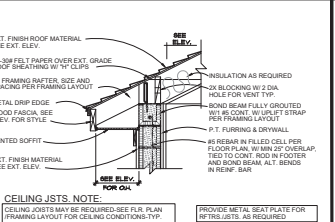
24 RAFTER AT BLOCK SCALE: N.T.S.



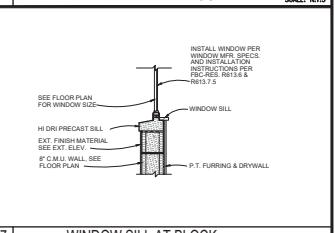
25 TRUSS NOTE SCALE: N.T.S.



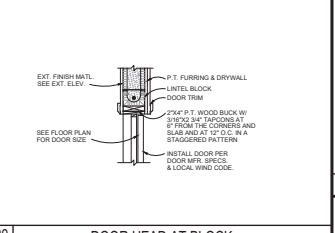
26 TRUSS NOTE SCALE: N.T.S.



27 TRUSS NOTE SCALE: N.T.S.



28 TRUSS NOTE SCALE: N.T.S.



29 TRUSS NOTE SCALE: N.T.S.



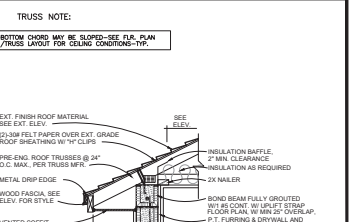
30 TRUSS NOTE SCALE: N.T.S.



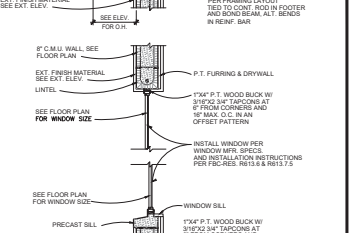
31 TRUSS NOTE SCALE: N.T.S.



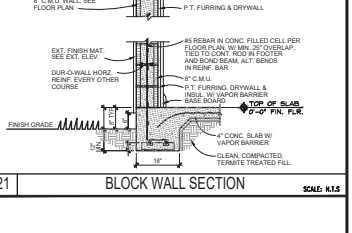
32 TRUSS NOTE SCALE: N.T.S.



33 TRUSS NOTE SCALE: N.T.S.



34 TRUSS NOTE SCALE: N.T.S.



35 TRUSS NOTE SCALE: N.T.S.



36 TRUSS NOTE SCALE: N.T.S.



37 TRUSS NOTE SCALE: N.T.S.



38 TRUSS NOTE SCALE: N.T.S.

Guida Design Group
4410 Chippin Road, Suite 101, 32814
www.guidadesigngroup.com
Tel: 408.441.1010

LIDA GROUP

DETAILS
DATA DEVELOPMENT MODEL 1587
MASTER

Job No.
24-001

Drawn By
J.E.

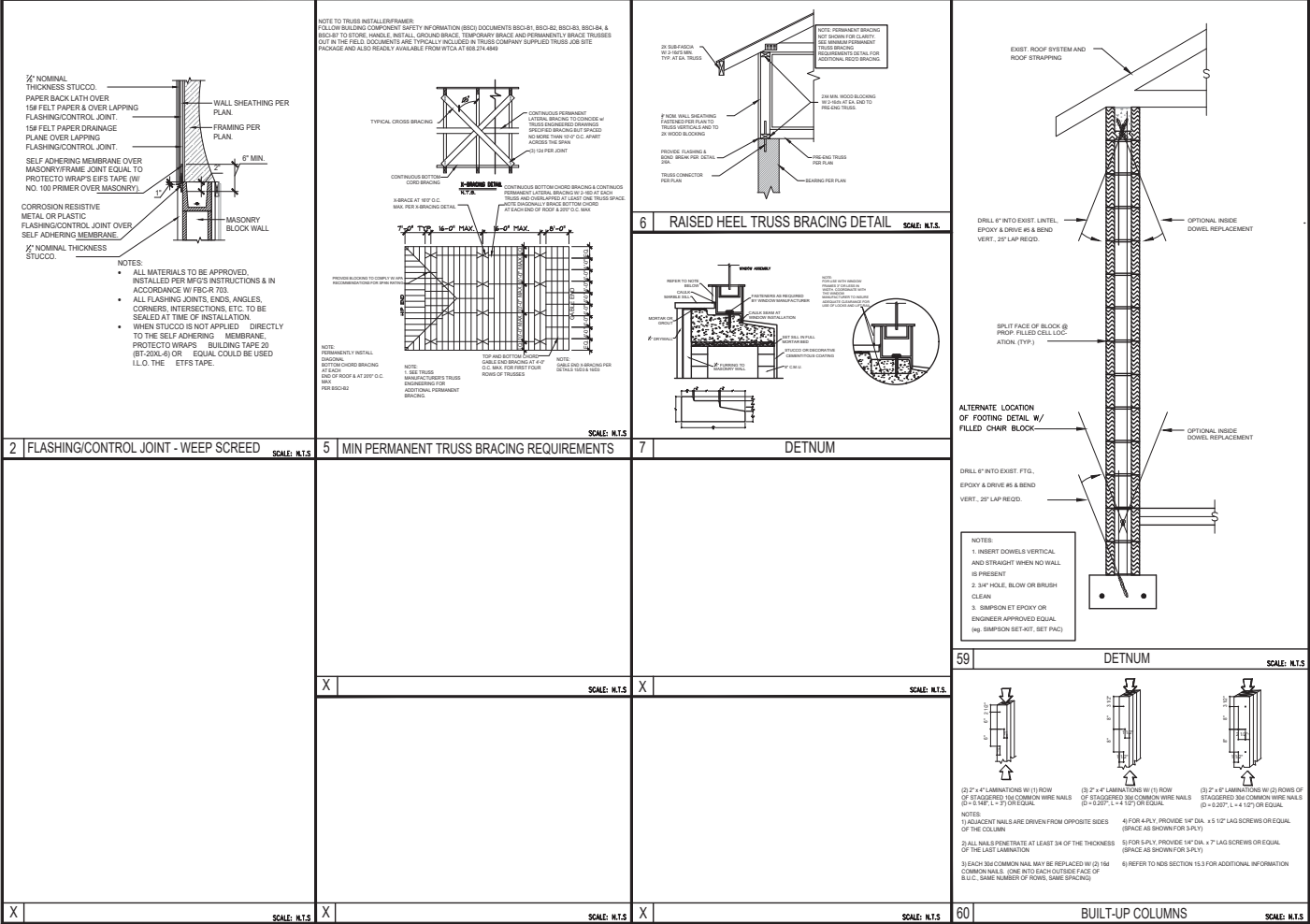
Date
11/18/2024

Scale
1/8"=1' (X17)
1/4"=1' (X35)

Lot #
N/A

D3

ALBERTO GUIDA
PE # 74000 FL



Guida Design Group

441 Cherry St., Suite 101
Westborough, MA 01581
www.guidadesigngroup.com
Tel: 508.333.8888

LIDA GROUP

DETAILS

DALA DEVELOPMENT MODEL 1587

MASTER

Job No.

24-001

Drawn By

V.E.

Date

11/18/2024

Scale

1/8"=1' (X17)

1/4"=1' (X35)

Let #

NEA

D4

ALBERTO GUIDA

PE # 74000 FL

<p>SELF-ADHERED FLASHING FLANGED WINDOW</p> <p>Scale: NTS</p> <p>WP01</p>	<p>SELF-ADHERED FLASHING EXTERIOR DOOR WITH DECK - SECTION A</p> <p>WP02</p>	<p>SELF-ADHERED FLASHING CEMENT FIN BUILDING PAPER CHIMNEY SHOULDER</p> <p>WP03</p>
<p>SELF-ADHERED FLASHING HALF-ROUND WINDOW</p> <p>WP04</p>	<p>SELF-ADHERED FLASHING EXTERIOR DOOR WITH DECK - SECTION B</p> <p>WP05</p>	<p>SELF-ADHERED FLASHING INSIDE CORNER</p> <p>WP06</p>
<p>SELF-ADHERED FLASHING DECK JOIST</p> <p>WP07</p>	<p>SELF-ADHERED FLASHING OUTSIDE CORNER</p> <p>WP08</p>	<p>FOUNDATION WEEP SCREED</p> <p>WP09</p>
<p>NOT USED</p> <p>WP10</p>	<p>NOT USED</p> <p>WP11</p>	<p>NOT USED</p> <p>WP12</p>

THESE DETAILS ARE GENERIC AND MEANT TO SHOW GENERAL FLASHING AND WATERPROOFING METHODS TO BE USED.

SELF-ADHERED FLASHING PRODUCTS DETAILS

TWO LAYERS OF FELT OR ONE LAYER OF HOUSE WRAP AND ONE LAYER OF FELT ARE REQUIRED BEHIND STUCCO. FSC R703.2.1

Detail Instructions

Refer to the number marked as (A) in each detail that corresponds to the numbered items in the list of instructions below:

1. Install self-adhered flashing in order as shown by numbers
2. Install flashing and weather resistive barrier to form water shedding laps
3. Self-adhered flashing can be substituted for building paper
4. Split the release paper using the ripcord (split release on demand, embedded in the adhesive layer) - for ease of installation and to minimize scoring cuts
5. Remove all release paper per standard installation instructions and adhere to substrate using a square piece of flashing material 8" x 8" (Minimum)
6. Fold as shown by arrows
7. Angle of corner may vary, adjust folding of the flashing accordingly to fit tight to corner
8. Mechanically fasten as necessary

FLASHING REQUIREMENTS

R703.2 Weather-resistant flashing shall be applied in the following situations:

1. In detached accessory buildings.
2. Under exterior wall finish materials as permitted in:

R703.4 Flashing. Approved corrosion-resistant flashing shall be applied single-lap in a manner to prevent entry of water into thermal cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with ASTM F711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashing shall be installed as follows:

1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the weather-resistive barrier for subsequent drainage. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following or other approved method:
 - 1.1 The flashing shall be installed in accordance with the manufacturer's written flashing instructions.
 - 1.2 The flashing shall be installed in accordance with the manufacturer's written flashing instructions.
 - 1.3 In accordance with FMA/AMA 100, FMA/AMA 200, or FMA/AMA 200.
 - 1.4 In accordance with the flashing method of a registered design professional.
2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lines in both sides under stucco coatings.
 - 2.1 Under and at the ends of masonry, wood or metal copings and sills.
 - 2.2 Continuous above all projecting wood trim.
 - 2.3 Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
 - 2.4 At built-in gutters.

R703.15 Drained assembly wall over mass assembly wall. Where wood frame or other types of framed wall assemblies are controlled above mass wall assemblies, flashing or other approved drainage system shall be installed as required by R703.4.

WEEP SCREED DETAIL

SCALE: NOT TO SCALE

WP13

Guida Design Group
4400 W. 10th Ave., Suite 100
Denver, CO 80202
www.guidadesigngroup.com
Tel: 303.733.7333

WATERPROOFING DETAILS

DATA DEVELOPMENT MODEL 1567

MASTER

Job No: 24-001
Drawn By: W.E.
Date: 11/18/2024
Scale: 1/8" (1:12)
1/4" (1:36)
List #:
N/A

WP

ALBERTO GUIDA
PE #: 74000 FL