

April 18, 2024

PROJECT NAME: MEPCO

PROJECT NUMBER: 2023110104

APPLICATION: MINOR SITE PLAN #30907

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.20.2.B - \$150.00 Minor Site Plan fee payable to Marion County BCC effective July 8, 2019
STATUS OF REVIEW: INFO
REMARKS: Please pay fee.
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios), and parking
STATUS OF REVIEW: INFO
REMARKS:
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Please provide sign information if applicable.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 1/30/24 - add waivers if requested in the future
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: INFO
REMARKS: 12/10/23, - The driveway on SW 57th Avenue will require permitting with the City of Ocala.
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2 A.1 - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: Marion County Utilities service area but outside connection distance to closest MCU water/sewer mains. Connections appear to be proposed to City of Ocala public water & sewer. It is strongly recommended the Utility Plan be reviewed by a CoO Utility representative for comment and approval; that staff is NOT part of this Development Review process. Be advised at time of permitting this building, proof of connection to the City of Ocala Utility system will be required (i.e. utility bill) to clear the MCU Permit review. Defer to City of Ocala for any connection comments, construction details, or related connection fees. Subject to annexation into the City of Ocala once connection to the City's utility system is made.
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2 A.1 - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider
STATUS OF REVIEW: INFO
REMARKS: proof of service by water/sewer provided will be required at time of permitting through MC Building and to MCU Permitting to clear review.

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR; will be served by City of Ocala public water
- 9 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: INFO
REMARKS: Would need to see EALS or EALS-ER as per LDC SECTION 6.5.1
- 10 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?
STATUS OF REVIEW: INFO
REMARKS: Not seen in provided documentation, Utility plan does not load.
- 11 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: Needs to be a Major Site Plan
- 12 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Minor Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private

or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

13 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.20.1.A - When any of the Minor Site Plan thresholds are exceeded, a Major Site Plan is required

STATUS OF REVIEW: NO

REMARKS: This is a Major Site Plan. Please submit a Major Site Plan application, or submit a waiver.

14 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

STATUS OF REVIEW: NO

REMARKS: Please correct Land Use information.

15 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)

STATUS OF REVIEW: NO

REMARKS: Please provide environmental assessment or exemption per LDC Article 6, Div 5, Sec 6.5.4

16 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: OCE fee in the amount of \$150.00

STATUS OF REVIEW: NO

REMARKS: 1/30/24 - fee due with resubmittal

17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger

STATUS OF REVIEW: NO

REMARKS: Unknown trees shall be identified.

18 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: NO

REMARKS: Tree protection detail does not provide adequate protection, see detail LS009 in the MCLDC. This detail is available in CAD format.

19 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: Buffers cannot support number of shade trees proposed, if reduction results in shade tree deficiency, a waiver will be required.

- 20 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements.
STATUS OF REVIEW: NO
REMARKS: Replacement tree caliper not shown on plan - min 3.5"
- 21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)
STATUS OF REVIEW: NO
REMARKS: 1. Provide plant schedule that conforms to this section of code
2. Provide native plant calculation
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.3 - Landscape design standards
STATUS OF REVIEW: NO
REMARKS:
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Overhead power is along SW 57th Ave, confirm shade trees are a min of 30' from powerlines
2. Reduce number of Oaks in buffer along SW 25th street, Oaks should be spaced 40-50' apart. 3. Show buffer calculations for SW 25th and 57th Ave. 4. Plans does not show shrubs and groundcovers meeting the 50% requirement 5. Buffers do not meet trees requirements of 2 shade and 3 Ornamentals per 100 LF 6. Plan graphics indicate mulch/landscape bed in buffers, please clarify and provide clarifying graphics 7. discussion with staff regarding buffers is recommended
- 24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: NO
REMARKS: 5' min. screening plant material is required around the parking perimeter
- 25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.8 - Building landscaping
STATUS OF REVIEW: NO
REMARKS: 60% of public view of buildings shall be landscaped
- 26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.9 - Service and equipment areas
STATUS OF REVIEW: NO
REMARKS: Show screening around dumpster
- 27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)
STATUS OF REVIEW: NO
REMARKS: No more than 50% of shade trees may be of one species.
- 28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: A simple irrigation system connected to a hose bib is not sufficient for this site, a full irrigation plan is required

- 29 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: will there be outdoor lighting? if so, a photometric plan is required
- 30 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: NO
REMARKS: Note on plans indicates no existing trees on site, please clarify
- 31 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?
STATUS OF REVIEW: NO
REMARKS: Not listed
- 32 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]
STATUS OF REVIEW: NO
REMARKS: Not listed
- 33 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]
STATUS OF REVIEW: NO
REMARKS: Not Listed
- 34 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]
STATUS OF REVIEW: NO
REMARKS: Not provided
- 35 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.12.12 - [Sidewalks Internal/External Provided?]
STATUS OF REVIEW: NO
REMARKS: Sidewalks not provided in Site Plan, would this be a requirement with City of Ocala?



**Marion County
Board of County Commissioners**

AR 30907

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 04/18/2024 Parcel Number(s): 23819-001-05 Permit Number: #30907
mm/dd/yyyy

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Mepeco Commercial or Residential
Subdivision Name (if applicable): Runway Industrial Park
Unit Block A Lot 05

B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): MEPCO USA LLC
Property Owner's Signature: _____
Property Owner's Mailing Address: 5108 SW 115 St. Rd.
City: Ocala State: Fl. Zip Code: 34476 Phone # 954-821-9626

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.

Firm Name (if applicable): MCA Consulting Engineer, Inc Contact Name: Miles Anderson
Mailing Address: 2300 SE 17th St, Ste 200 City: Ocala State: FL Zip Code: 34471
Phone # 352-629-5591 Alternate Phone # _____
Email address: miles.anderson@mca-engineers.com

D. WAIVER INFORMATION:

Section & Title of Code: 2.20.1.A Major Site Plan
Reason/Justification for Waiver Request: This project is part of a permitted stormwater system that is offsite. The subject property can be developed up to 85% of it area. The proposed design contains an impervious coverage that equals 66% of the site area.

DEVELOPMENT REVIEW USE:

Received By: Email 4/18/24 Date Processed: 4/18/24 BM Project # 2023110104 AR # 30907

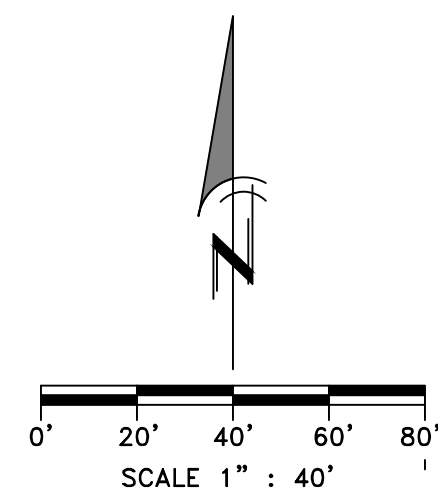
ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Must Vacate Plat: Yes No
Land Use: _____ Date: _____ Verified by: _____

Revised 7/2017

GENERAL PURPOSE:
THE PROPOSED SITE AND DRAINAGE PLAN IN THIS SUBMITTAL INCLUDES A 1.39 ACRE SITE. THE SITE SHALL FUNCTION AS A INDUSTRIAL-COMMERCIAL IN A I-C ZONING

CONCURRENCY:
THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

SITE DATA:	PARCEL NUMBER: 23819-001-05, PROJECT ADDRESS: LOT 5 ZONING: I-C FLU: INDUSTRIAL OWNER: MEPCO USA, LLC 5108 SW 115TH ST. RD. OCALA, FL 34476
TOTAL SITE AREA (WITHIN BOUNDARY)=60,563 SF (1.39 AC'S) PERMITTED IMPERVIOUS COVER = 85% OF SITE AREA. PROPOSED AREAS FOR TOTAL SITE: PROPOSED BUILDING = 16,248 SF TOTAL IMPERVIOUS AREA = 40,122 SF IMPERVIOUS PERCENT OF COVERAGE = 66% < 85% PERVIOUS AREA (OPEN AREA) = 20,418 SF PERVIOUS AREA PERCENT OF COVERAGE = 33% LANDSCAPED AREA PERCENT = 6248 SF = 10.3%	



MINOR SITE & DRAINAGE PLAN FOR MEPCO USA, LLC

AT RUNWAY INDUSTRIAL COMMERCIAL PLAZA
LOT 5
OCALA, FL
PARCEL #: 23819-001-05

SITE LAND USE CHART			
IMPERVIOUS:	EXISTING (ACRES)	PROPOSED (ACRES)	PROPOSED (S.F.)
BUILDINGS	0.00	0.37	16,248
ASPHALT PAVING	0.00	0.51	22,245
CONCRETE PAVING	0.00	0.04	1,629
DRA BOTTOM	0.00	0.000	0.00
TOTAL IMPERVIOUS	0.00	0.92	40,122
PERVIOUS:			
RETENTION/ DETENTION (TOP - BTM)	0.00	0.00	0.00
OPEN AREA	1.39	0.47	20,418
TOTAL PERVIOUS	1.39	0.47	20,418
TOTAL SITE AREA	1.39	1.39	60,540

ZONING INFORMATION			
ZONING	FLU	ACTUAL USE	PARCEL #
I-C	GISF	NEIGHBORHOOD/COMMERCIAL	23819-001-05
I-C	GISF	NEIGHBORHOOD/COMMERCIAL	23819-001-04
B-5	GNCF	NEIGHBORHOOD/COMMERCIAL	23819-002-05
B-5	GNCF	NEIGHBORHOOD/COMMERCIAL	23819-002-06
M-2	GISF	NEIGHBORHOOD/COMMERCIAL	2332-004-000
M-2	GISF	NEIGHBORHOOD/COMMERCIAL	23321-000-03
M-2	GISF	NEIGHBORHOOD/COMMERCIAL	23321-000-04

PARKING REQUIREMENTS	
PARKING SPACE CALCULATIONS ARE BASED ON MARION COUNTY LAND DEVELOPMENT CODE.	
OFFICE/BUSINESS (4,061 SQFT)	1 SPACE PER 300 SQFT GFA
=4,061 SQFT/300	=13.54 = 14 PARKING SPACES REQUIRED
WAREHOUSE (12,191.4 SQFT)	1 SPACE PER 1,000 SQFT FOR THE FIRST 20,000 SQFT
=12,191.4 SQFT/1,000 SQFT	=12.1 = 12 PARKING SPACES
TOTAL PARKING SPACES REQUIRED	= 26
TOTAL PARKING SPACES PROVIDED	= 26
HANDICAP PARKING REQUIRED SPACES	= 1 SPACE PER 25 SPACES
PROVIDED SPACES	= 2 SPACES
PROVIDED SPACES	= 2 SPACES

ITE - TRIP GENERATION CALCULATIONS	
FIGURE 6.1 ITE 11TH EDITION	
NEW WEEKDAY, PEAK PM HOUR OF GENERATOR: PEAK HOUR OF GENERAL LIGHT INDUSTRIAL (URBAN/SUB-URBAN)	
OFFICE (710)=4,061 SF @ 1.42 /1000 SF = 5.77 ≈ 6	
WAREHOUSE (110)= 12,191.4 SF @ 0.65 /1000 SF = 7.92 ≈ 8	
TOTAL PEAK PM HOUR= 14	

CONSTRUCTION DISTURBED AREA STATEMENT:
ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.

STORMWATER CONSTRUCTION NOTE:
NO CLEARING OR GRUBBING IS TO TAKE PLACE UNTIL PERMIT DOCUMENTS HAVE BEEN APPROVED ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.

OPERATION AND MAINTENANCE STATEMENT
I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOW HEREIN AND ON THE APPROVED PLAN.

WAIVERS:		
CODE SECTION	APPROVAL DATE	CONDITION

GHASSAN AYSHEH, MANAGEMENT
5108 SW 115TH ST. RD.
OCALA, FL 34476
TELE: (954)821-9629

DRAINAGE INFORMATION:
THE SUBJECT PROPERTY IS A PART OF THE RUNWAY INDUSTRIAL PLAZA DEVELOPMENT THAT WAS PERMITTED TO DISCHARGE TO THE OFF-SITE DRAINAGE RETENTION PROVIDED THE WEIGHTED CN VALUES FOR IMPERVIOUS IMPROVEMENT THAT DO NOT EXCEED 85% COVERAGE ON ALL LOTS WITH IN THE DEVELOPMENT. THE IMPERVIOUS COVERAGE FOR THIS PROPOSED SITE PLAN IS 66% OF THE SITE/LOT AREA. THE SWFWMD PERMIT NUMBER IS 407654.01.

STAKING NOTE:
ELECTRONIC PLANS SHALL BE PROVIDED TO FLORIDA LICENSED SURVEYOR FOR STAKING. STAKING FOR CONSTRUCTION SHALL TAKE PLACE AFTER PRE-CONSTRUCTION MEETING.
ADDRESS:
THE ADDRESS WILL BE VERIFIED AT THE PERMITTING STAGE AND INDIVIDUAL BUILDINGS WILL BE ISSUED UNIT NUMBERS AT THAT TIME OF PERMITTING.

ENGINEER:
MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
1515 E. SILVER SPRINGS BLVD, SUITE 132
OCALA, FLORIDA 34470
TELE: 352 629-5591
CONTACT: MILES C. ANDERSON, P.E.

SURVEYOR:
ACCU SURV SURVEYING AND MAPPING, LLC
4440 SPRING LAKE HIGHWAY,
BROOKSVILLE, FL 34601
813-949-6506

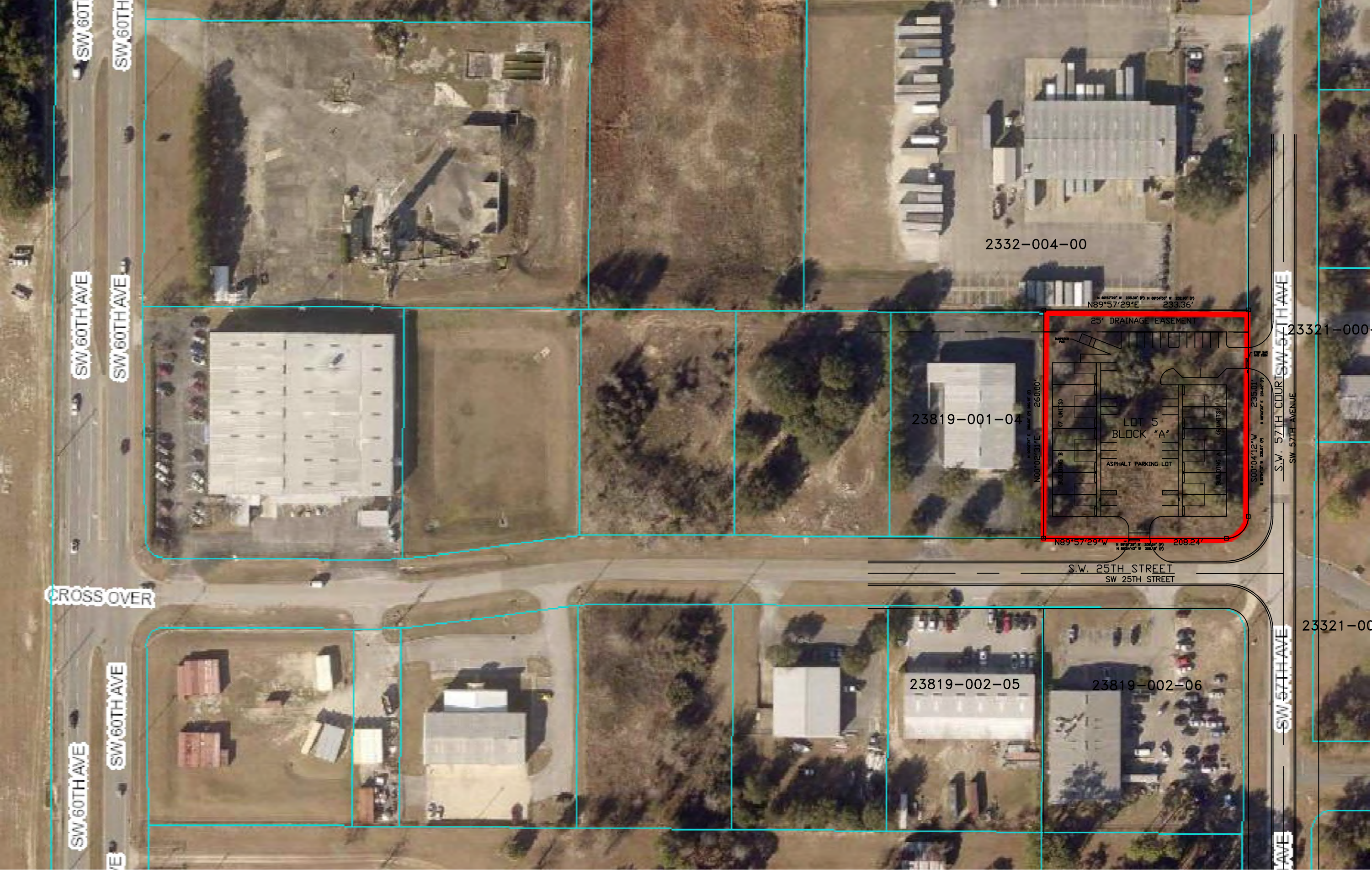
INDEX OF SHEETS:	
C001	COVER SHEET
C002	SURVEY PLAN
C003	SITE PLAN
C004	DRAINAGE AND GRADING PLAN
C005	UTILITY PLAN
C006	UTILITY DETAILS
C007	SEWER UTILITY DETAILS
C008	LIFT STATION
C009	LANDSCAPE PLAN
C010	SWPPP

ENGINEER'S CERTIFICATION:
I HEREBY CERTIFY THAT THE DRAINAGE FACILITIES ARE DESIGNED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT REGULATIONS; THAT THE ADJACENT PROPERTIES WILL BE PROTECTED FROM STORM WATER DAMAGE AS A RESULT OF THIS PROPOSED DEVELOPMENT; THAT SIGHT DISTANCES COMPLY WITH THE AASHTO POLICIES; AND THAT THE APPROPRIATE APPLICATIONS HAVE BEEN SUBMITTED TO THE S.W.F.W.M.D.

SETBACKS:	
FRONT SETBACK	= 25 FEET
NORTH SIDE LOT SETBACK	= 25 FEET
REAR & SIDE SETBACK	= 0 FEET

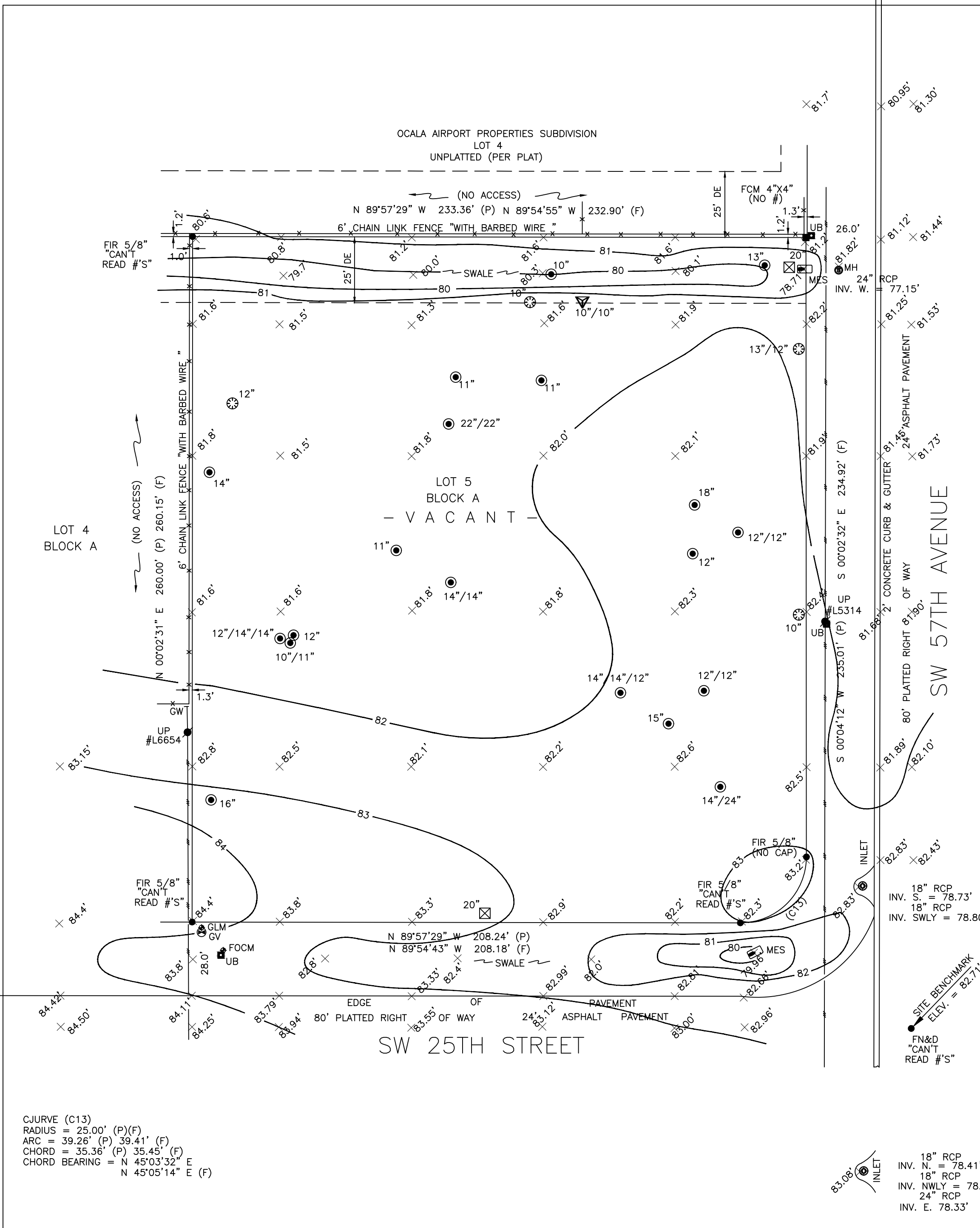
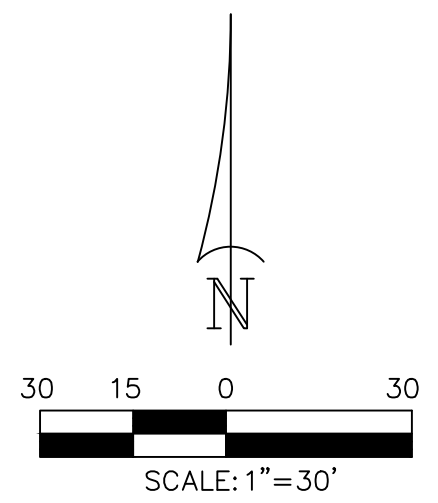
MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN
1515 E SILVER SPRINGS BLVD, SUITE 132 (352) 629-5591
OCALA, FLORIDA 34470 FAX (352) 629-4402

COVER SHEET					
MEPCO USA, LLC RUNWAY INDUSTRIAL PLAZA SECTION 28, TWP-15 SOUTH, RNG-21 EAST OCALA, FLORIDA					
DATE:	11-30-23	DESIGN:	MCA	PROJ. MEPCO USA LLC...	SHEET
SCALE:	AS SHOWN	DRAW:	MA	FILE: 22-009	C001
No.	REVISION	DATE	APPROVED:	MCA	CHECK: MCA
				FILE: MEPCO...	



LOCATION MAP
SECTION 28, TWP-15, RNG-21 EAST
OCALA, FL

- NOTE:**
NO CLEARING OR GRUBBING IS TO TAKE PLACE UNTIL PERMIT DOCUMENTS HAVE BEEN APPROVED ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS
- PRE-CONSTRUCTION MEETING NOTE:**
NO SITE WORK SHALL BE CONDUCTED PRIOR TO OBTAINING A 'SITE PERMIT' FROM THE COUNTY & WMD.
- MAINTENANCE & CONSTRUCTION NOTES:**
- AREA AROUND ANY PROPOSED PIPE ENDS SHALL BE FINISH GRADED AND SODDED AS PER THESE PLANS. SWALE ELEVATION TRANSITIONS TO PIPE ENDS SHALL BE 25 FEET UNLESS OTHERWISE SHOWN ON PLAN PROFILES.
 - CONTRACTOR SHALL CLEAN OUT ALL PROPOSED CROSS DRAINS AFTER PLACEMENT OF SOD OR GRASS AND MULCH.
 - ALL AREAS DISTURBED IN THE RW DURING CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR SOD WITH A 1-1/2" UNDERCUT. OTHER AREAS DISTURBED AFTER CONSTRUCTION SHALL BE GRASSED UNLESS SOD IS SPECIFICALLY PROPOSED. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
 - SIGNAGE AND STRIPING WITHIN THIS SITE PLAN SHALL BE DIAMOND GRADE AND CONFORM TO F.D.O.T. T-1 SPECIFICATIONS. ALL SIGNAGE AND STRIPING SHALL BE INSTALLED FOR ENTRANCE ON US HWY. 441 SHALL BE OF HIGH INTENSITY THERMOPLASTIC.
- OPERATION AND MAINTENANCE (O&M)**
PROPOSED MAINTENANCE PRACTICES AND SCHEDULES OF DRAINAGE FACILITIES AND SYSTEMS SHALL BE AS PER MARION COUNTY LAND DEVELOPMENT STANDARDS. THIS SHOULD INCLUDE THE IDENTIFICATION OF THE ENTITY RESPONSIBLE FOR OPERATION AND MAINTENANCE, INCLUDING NAME, ADDRESS AND TELEPHONE NUMBER.
- * SEE SIGNED O&M LETTER BY DEVELOPER UPLOADED TO MARION COUNTY EPLAN FOLDER# 30907.
- GENERAL NOTES:**
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN LAND DEVELOPMENT REGULATIONS FOR MARION COUNTY.
 - NO CHANGE TO THE WORK AS SHOWN ON THIS PLAN SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE OFFICE OF COUNTY ENGINEER.
 - BOUNDARY, TOPOGRAPHY AND TREE INFORMATION IS BASED ON A SURVEY BY ACCU SURV SURVEYING AND MAPPING LLC.
 - BUILDINGS SHALL BE HANDICAP ACCESSIBLE AS PER THE STATE OF FLORIDA REGULATIONS. THE ARCHITECT/ENGINEER SHALL PROVIDE BUILDING PLANS. CLEAN AND SUITABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF THE BUILDING FOUNDATION AND SHALL BE COMPACTED TO A 95% MAXIMUM DENSITY WITH TERMITIC TREATMENT.
 - ALL PARKING STALLS SHALL BE STRIPED WITH 6" WHITE LINES. HANDICAP SPACES SHALL BE SIGNED AND SHALL HAVE ADDITIONAL 6" BLUE LINES INSIDE EACH SPACE AT 2" FROM WHITE LINES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH FDOT STANDARDS. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FBC CHAPTER 11.
 - A TYPE III SILT FENCE SHALL BE INSTALLED ALONG BOUNDARIES AS SHOWN ON SWPPP SHEET OF THE PROPOSED CONSTRUCTION, PRIOR TO ANY SITE DEVELOPMENT.
 - THE SITE, ACCESS & R.O.W.'S ARE TO BE KEPT CLEAN & FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES DURING CONSTRUCTION. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
 - ALL RETENTION AND STORM SWALE IMPROVEMENTS AND STORM SEWER SYSTEMS EXISTING AND PROPOSED MUST BE COMPLETE PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
 - IF A SINKHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE PROCEDURES OUTLINED IN THE "APPLICANTS HANDBOOK-KARST SENSITIVE AREAS"; SJRWMD, MAY 1986, SHALL BE FOLLOWED.
 - MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3000 PSI AT 28 DAYS OR AS OTHERWISE NOTED. ALL VEHICLE PARKING AREAS SHALL BE PAVED W/ AUTO PAVEMENT (SEE PAVEMENT STRUCTURE THICKNESS TABLE ON C003). ALL OTHER PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH TRUCK PAVEMENT AS PER PAVEMENT STRUCTURE THICKNESS TABLE ON C003. ALL CONCRETE TRUCK LOADING APRONS SHALL BE 3000 PSI CONCRETE UNLESS NOTED OTHERWISE. GEO-TECH TO FIELD VERIFY DURING CONSTRUCTION.
 - PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
 - ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO FDOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATION."
 - REPRODUCTIONS OF THESE PLANS ARE NOT VALID UNLESS SIGNED BY THE SURVEYOR AND ENGINEER IN RESPONSIBLE CHARGE AND SEALED WITH RAISED EMBOSSED SEALS.
 - COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO ANY CONSTRUCTION OF UTILITIES SHOWN ON THESE PLANS.
 - ALL DESIGNED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON EXISTING DATA SUPPLIED BY THE SURVEYOR AND GIS SOILS DATA.
 - FOR ANY CONSTRUCTION WITHIN THE STATE OF FLORIDA R/W THE CONTRACTOR SHALL OBTAIN THE REQUIRED RIGHT-OF-WAY PERMITS BEFORE COMMENCING WITH THIS CONSTRUCTION.
 - ALL ACCESS AND PARKING SHALL COMPLY WITH 1997 FAC.
 - AS BUILT DRAWINGS OR CERTIFICATION REQUIRED PRIOR TO C.O.



SURVEY OF:
 LOT 5, BLOCK A, RUNWAY INDUSTRIAL PLAZA,
 AS PER PLAT THEREOF RECORDED IN PLAT
 BOOK 2, PAGE 59 OF THE PUBLIC RECORDS
 OF MARION COUNTY, FLORIDA.

NOTES:

1. NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, NO BUILDING OVERHANGS SHOWN THIS DATE.
2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO OR PURSUED BY THE UNDERSIGNED OTHER THAN THOSE SHOWN HEREON.
3. NOT VALID UNLESS EMBOSSED WITH THE SURVEYOR'S SEAL.
4. ELEVATIONS ARE BASED ON NAVD 88 DATUM.
5. RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR, NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
6. BEARINGS ARE BASED ON THE WEST BOUNDARY OF SUBJECT PARCEL ASSUMED TO BE N 00°02'31" E.
7. SUBJECT PARCEL APPEARS TO LIE IN FLOOD ZONE X, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 120160 0512 E, DATED 4/19/2017.
8. SOME PORTIONS OF THIS DRAWING, ESPECIALLY FENCES AND OBJECTS NEAR PROPERTY AND BUILDING LINES MAY HAVE BEEN EXAGGERATED FOR GRAPHICAL PURPOSES AND MAY NOT BE TO SCALE. MEASUREMENTS AND DIMENSIONS SHOWN HOLD OVER SCALE. SYMBOLS MAY NOT BE TO SCALE.

TYPICAL TREE LEGEND
 (SYMBOLS NOT TO SCALE)

- = OAK
- △ = PINE
- ⊠ = PALM
- ◇ = CITRUS
- ⊕ = MAPLE
- ⊗ = CHERRY LAUREL
- ⊙ = PUNK
- = CEDAR
- ⊛ = CYPRESS
- ⊙ = BAY
- ⊕ = CAMPHOR
- ⊗ = EUCALYPTUS
- ⊙ = SYCAMORE
- ⊗ = MAGNOLIA
- ⊙ = MYRTLE
- ⊗ = ELM
- ⊙ = MULBERRY
- ⊗ = WILLOW
- ⊙ = CHINABERRY
- ⊗ = UNKNOWN

TYPICAL LEGEND

- | | | |
|---------------------------|---------------------------|--|
| CB = COVERED BRICK | P/E = POOL EQUIPMENT | H/U = HEATING AND/OR COOLING UNIT |
| CC = COVERED CONCRETE | W/E = WELL EQUIPMENT | /// = OVERHEAD LINES |
| CT = COVERED TILE | WM = WATER METER | PLS = PROFESSIONAL LAND SURVEYOR |
| WP = WELL PIPE | ⊙ = CENTERLINE | SIR = SET 1/2" IRON ROD & CAP PSM 6001 |
| CA = COVERED AREA | (D) = DEED/DESCRIPTION | PSM = PROFESSIONAL SURVEYOR AND MAPPER |
| MH = MANHOLE | (F) = FIELD DIMENSION | DE = DRAINAGE EASEMENT |
| CS = CONCRETE SLAB | FCM = FOUND CONC MONUMENT | UE = UTILITY EASEMENT |
| UP = UTILITY POLE | FIP = FOUND IRON PIPE | EUE = ELECTRIC UTILITY EASEMENT |
| UB = UTILITY BOX | FIR = FOUND IRON ROD | EPUE = ELECTRIC POWER UTILITY EASEMENT |
| LP = LIGHT POLE | FN = FOUND NAIL | PUE = PUBLIC UTILITY EASEMENT |
| MP = METER POLE | FN&D = FOUND NAIL & DISK | EPE = ELECTRIC POWER EASEMENT |
| GV = GAS VALVE | FH = FIRE HYDRANT | CMP = CORRUGATED METAL PIPE |
| GLM = GAS LINE MARKER | GW = GUY WIRE | RCP = REINFORCED CONCRETE PIPE |
| EB = ELECTRIC BOX | LB = LICENSED BUSINESS | PVC = POLYVINYL CHLORIDE |
| ET = ELECTRIC TRANSFORMER | ⊙ = EXISTING ELEVATION | W/C = WITNESS CORNER |
| ELEV. = ELEVATION | | MES = MITERED END SECTION |
| | | FOCM = CABLE MARKER |

CJURVE (C13)
 RADIUS = 25.00' (P)(F)
 ARC = 39.26' (P) 39.41' (F)
 CHORD = 35.36' (P) 35.45' (F)
 CHORD BEARING = N 45°03'32" E
 N 45°05'14" E (F)

DRAWN	DG
CHECKED	DR
Q.C.	GF

ACCU SURV SURVEYING AND MAPPING, LLC
 4440 SPRING LAKE HIGHWAY BROOKVILLE, FLORIDA 34601

Phone: (813) 949-6506
 Fax: (813) 856-4541
 ACCUSURV@GMAIL.COM



APRIL 10, 2022
 P.S.M. #6001

BOUNDARY SURVEY

JOB NO.	2203-029	SHT.	1
DATE OF FIELD WORK:	4/10/2022		
SCALE:	1" = 30'	OF	1

25' DRAINAGE EASEMENT

OCALA AIRPORT PROPERTIES SUBDIVISION
LOT 4 UNPLATTED (PER PLAT) TYPE C BUFFER
15' WIDE

(NO ACCESS)
N 89°57'29" W 233.36' (P) N 89°54'55" W 232.90' (F)

BLDG REAR & SIDE SETBACK LINE 25.0'

FIR 5/8" "CAN'T READ #15"

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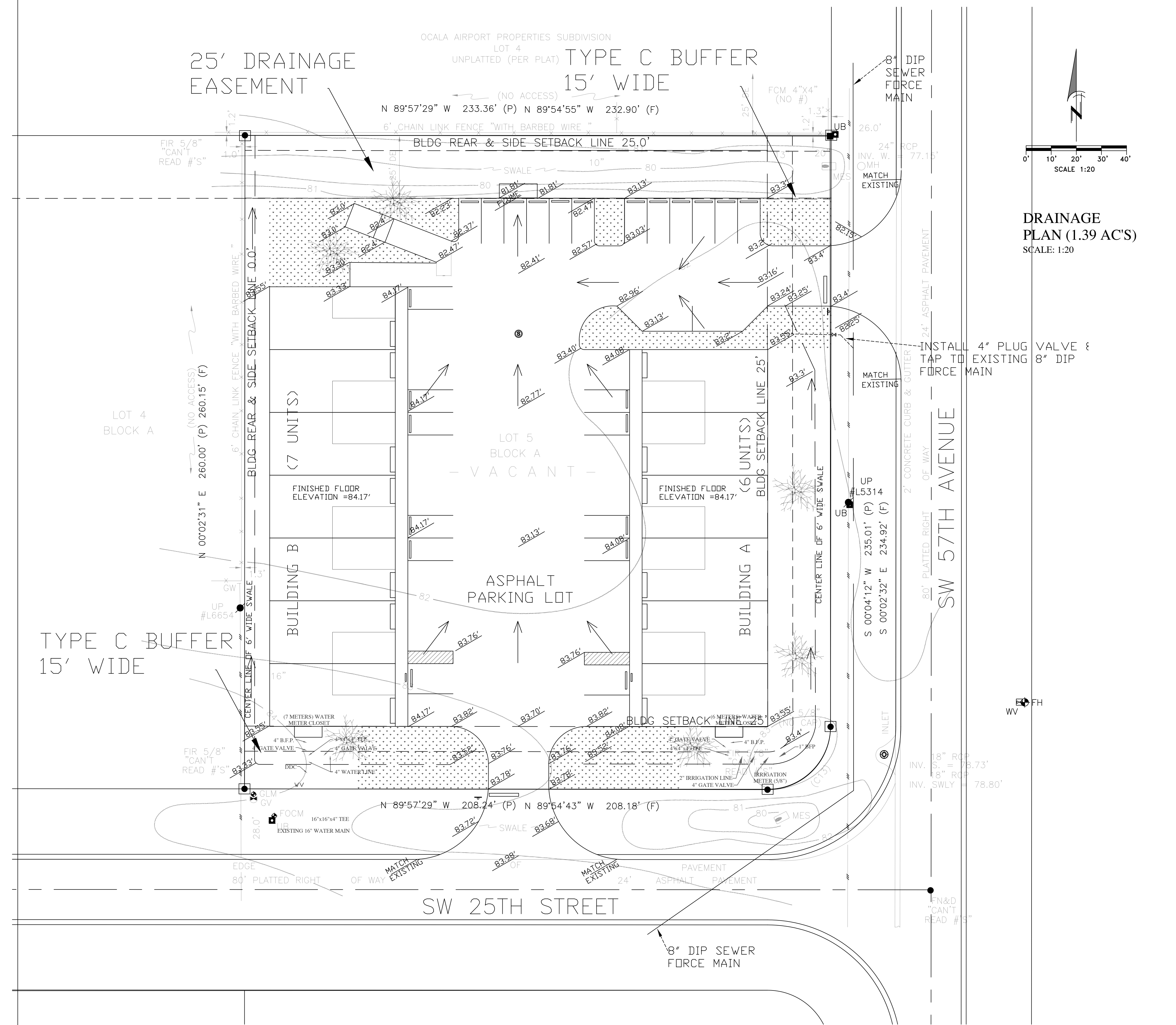
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DRAINAGE NARRATIVE SUMMARY:

THE SITE DRAINAGE WATER SHED IS PERMITTED UNDER SWFWMD PERMIT APPLICATION 407654.01. THE SUBJECT DRA IS LOCATED TO THE EAST SIDE OF SW 57TH AVE. THE DRAINAGE CALCULATIONS FOR THE POST CONSTRUCTION PROVIDES THE WEIGHTED CN VALUE FOR AN INDUSTRIAL SUBDIVISION. THESE CALCULATIONS SHOW RUNOFF FROM THE PROPOSED ROADWAY AND ALSO 85% IMPERVIOUS COVERAGE ON THE SUBDIVISION LOTS. THE STORM WATER FROM THIS SITE SHALL SHEET FLOW FROM THE SOUTH SIDE TO THE NORTH SIDE TO THE EXISTING 25' WIDE DRAINAGE EASEMENT. THE STORM WATER SHALL BE TRANSMITTED VIA THE EXISTING STORM MES AND PIPE TO THE OFFSITE STORM SYSTEM TO THE EXISTING PERMITTED DRA. THE STORAGE AREA IS DESIGNED TO MAINTAIN AND RECOVER THE ENTIRE POST 100 YR/24HR FREQUENCY STORM. THE PROPOSED SITE HAS AT TOTAL OF 40,122 SQ. FT. AND EQUALS 66% COVERAGE OF IMPERVIOUS SURFACE.

DRAINAGE STRUCTURES AND PIPE NOTE:

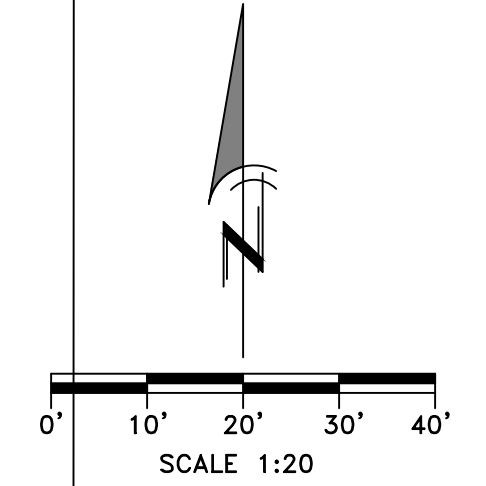
ALL DRAINAGE STRUCTURES AND STORM PIPES THAT ARE EXISTING ARE SHOWN ON EXISTING SURVEY SHEET. SEE THE RECEIVING MES ON THE SITE PLAN. NO PROPOSED PIPE AND INLETS ARE PLANNED OR SHOWN ON THE SITE PLAN. A FLUME SHALL BE CONSTRUCTED TO COLLECT AND DISCHARGE TO THE EXISTING SWALE SYSTEM.

DRAINAGE NOTES:

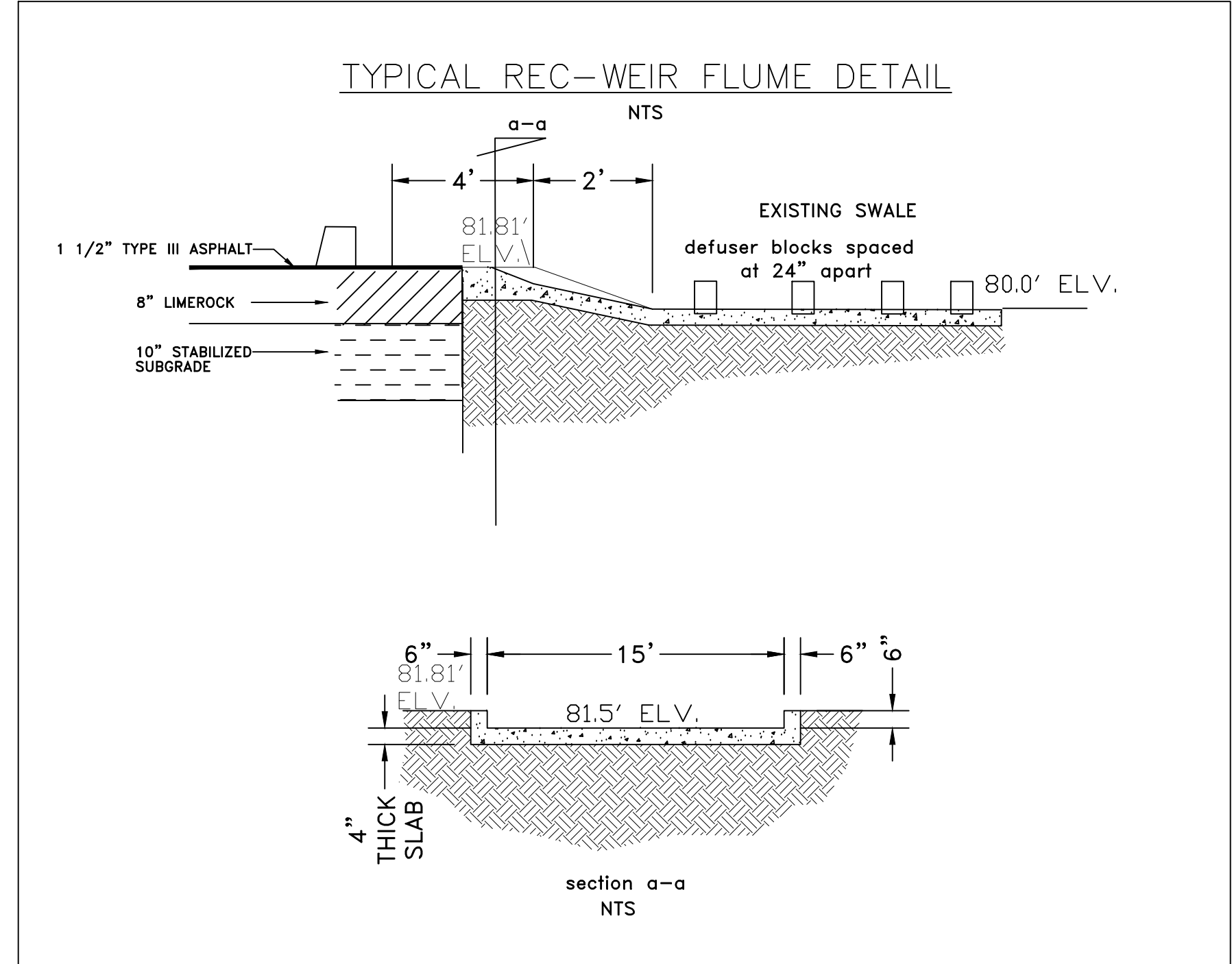
1. CONTRACTOR MUST EXERCISE CAUTION AND CONSTRUCT THE DRAINAGE SWALES ALONG THE WEST BOUNDARY TO THE EXISTING 25' WIDE EASEMENT.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL. THE SWALE TO THE EXISTING DRAINAGE EASEMENTS ON THIS SITE SHALL BE CONSTRUCTED DURING THE EARTH MOVING PHASE OF CONSTRUCTION. THEY WILL BE LINED WITH STRAW DURING THE REMAINDER OF THE SITE CONSTRUCTION AND ACT AS TRAPS FOR ANY DEBRIS ORIGINATING FROM THE SITE. THE STRAW WILL AID IN EROSION AND SEDIMENTATION CONTROL.
3. DRESSING OF THE SWALE OR CONVEYANCE EARTHEN EMBANKMENTS WILL OCCUR DURING THE FINAL PHASE OF CONSTRUCTION. THE STRAW WILL BE REMOVED AS WILL ANY FINES THAT MAY HAVE PASSED THROUGH THE STRAW FILTER. THE BANKS WILL THEN BE SODDED.
4. BASIN/SWALE SLOPES AND BOTTOM TO BE FULLY VEGETATED. USE OF ST AUGUSTINE OR BERMUDA GRASS IS SUGGESTED.
5. SEE SURVEY SHEET FOR BENCHMARK
6. FOR ALL PORTIONS OF THE PROPERTY PERIMETER NOT LINED WITH TYPE III SILT FENCE, A "CONSTRUCTION BARRIER" CONSISTING OF 2x4 POST @ 12' O.C. WITH 2x4 TOP & MIDDLE RAILS AND HEAVY DUTY HDPE ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED.

DRA OR DRAINAGE EASEMENT FENCE NOTES:

SIDE SLOPES STEEPER THAN 4:1 MAY BE ALLOWED IF THE DRAINAGE RETENTION/DETENTION FACILITY IS ENCLOSED IN A CHAIN LINK FENCE WITH A MINIMUM HEIGHT OF FIVE FEET



DRAINAGE PLAN (1.39 AC'S)
SCALE: 1:20

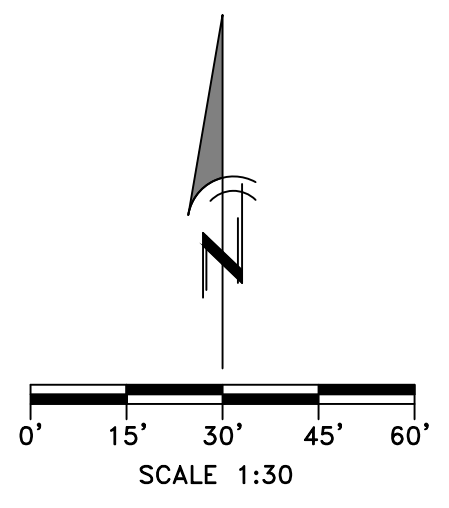
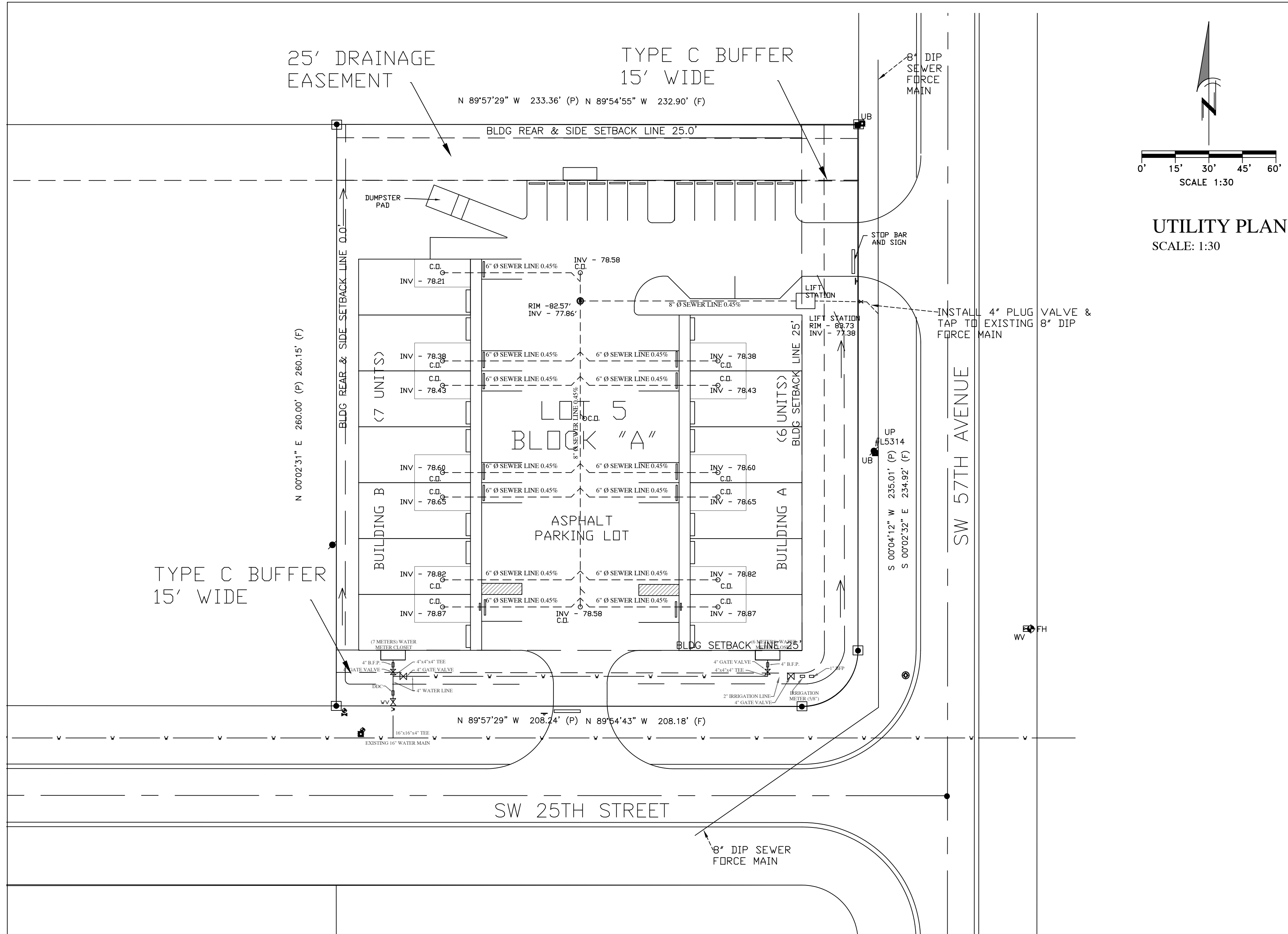


MILES C ANDERSON PE
FLORIDA PROFESSIONAL ENGINEER # 39385
CA # 0009842
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MILES ANDERSON, PE ON 11-30-23. USING A DIGITAL SIGNATURE
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN
1515 E SILVER SPRINGS BLVD, SUITE 132 (352) 629-5591
OCALA, FLORIDA 34470 FAX (352) 629-4402

DRAINAGE AND GRADING PLAN					
MEPCO USA, LLC RUNWAY INDUSTRIAL PLAZA SECTION 28, TWP-15 SOUTH, RNG-21 EAST					
OCALA, FLORIDA					
DATE:	11-30-23	DESIGN:	MCA	PROJ. MEPCO USA LLC...	SHEET
1	CITY OF Ocala RAI	3-2-21	SCALE:	AS SHOWN	DRAW: MA FILE: 22-009 SHEET COO4
No.	REVISION	DATE	APPROVED:	MCA	CHECK: MCA FILE: MEPCO...



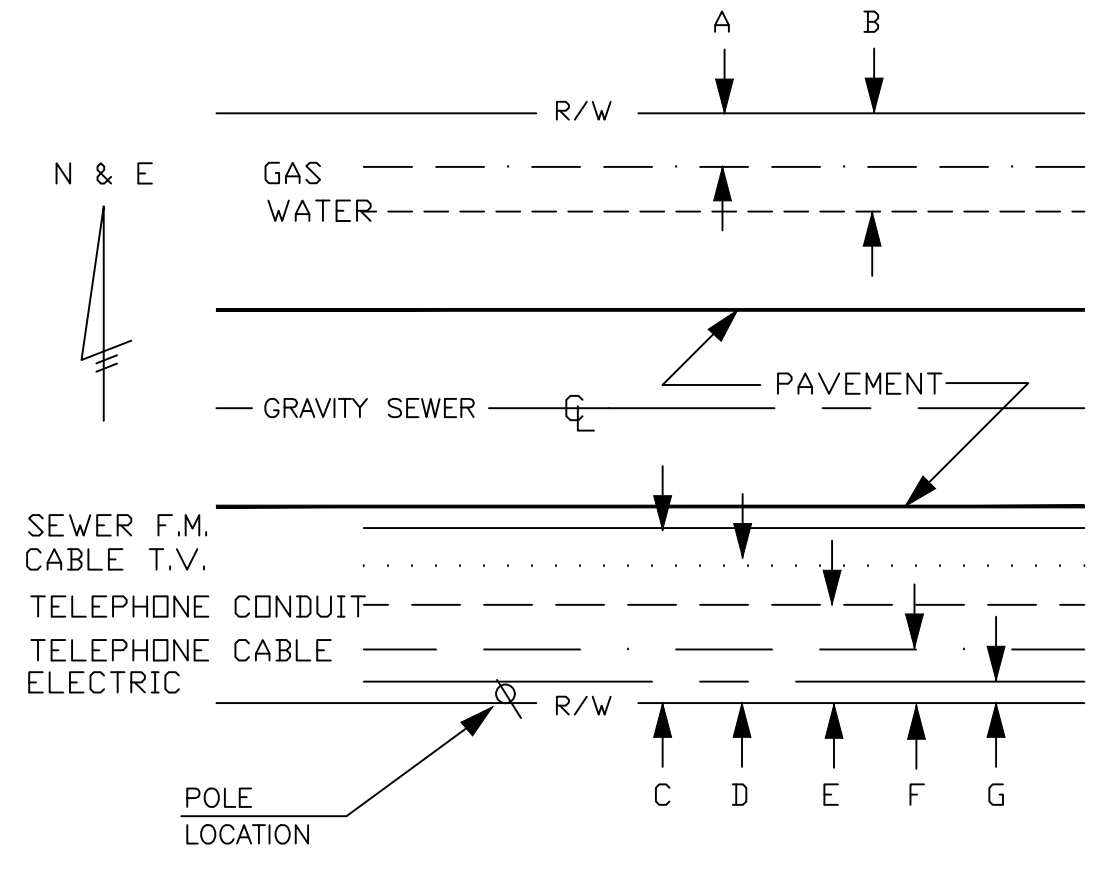
UTILITY PLAN
SCALE: 1:30

UTILITY NOTES:

1. THE SITE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN, THROUGH DIRECT CONTACT WITH THE UTILITY COMPANIES. CONTACT SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO THE CONTRACTOR'S OPERATION ARE TO BE RELOCATED BY OTHERS PRIOR TO CONSTRUCTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO COORDINATE ANY UNDERGROUND ELECTRIC AND/OR TELEPHONE PAVEMENT CROSSINGS TO ASSURE THAT THE DEPTH OF CONDUITS SHALL NOT CONFLICT WITH OTHER UNDERGROUND UTILITIES.
3. WATER SUPPLY SHALL BE PROVIDED BY CITY UTILITIES, AND THE DISTRIBUTION SYSTEM AS COVERED BY THE IMPROVEMENT PLANS, SHALL BE INSTALLED AT THE DEVELOPERS EXPENSE. THE DESIGN OF THE EXISTING WATER MAIN SHALL INCLUDE ADEQUATE FIRE FLOW PROTECTION.
4. THE UTILITIES' CONTRACTORS SHALL BE RESPONSIBLE FOR ACQUIRING ANY CONSTRUCTION PERMITS NECESSARY PRIOR TO CONSTRUCTION. UTILITY COMPANIES SHALL SUBMIT TO THE PROJECT ENGINEER FOR APPROVAL, A WRITTEN REQUEST TO UTILIZE ANY EASEMENTS SHOWN ON THESE PLANS OR IN AREAS NOT PRESENTLY DESIGNATED AS A UTILITY EASEMENT, PRIOR TO CONSTRUCTION.
5. EXISTING TREES TO REMAIN SHALL HAVE ANY LOW LIMBS TRIMMED TO ALLOW AERIAL CLEARANCE FOR VEHICLES AND/OR AERIAL UTILITIES. REFER TO FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 110-2.3 AND 110-3. AERIAL UTILITIES SHALL BE 18' MINIMUM ABOVE CENTERLINE GRADE OF ROAD, TRIMMING TO BE SUPERVISED BY A CERTIFIED ARBORIST.
6. ALL WATER SERVICE SHALL BE INSTALLED BY CONTRACTOR. BACK FLOW PREVENTERS SHALL BE INSTALLED ON THE CUSTOMERS SIDE OF THE WATER METER BOX AT A MINIMUM OF 18" FROM FINAL GRADE TO BOTTOM OF BACKFLOW.
7. ANY MAIN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE ASBUILT.
8. A DOUBLE SWEEP CLEAN-OUT IS TO BE INSTALLED AT PROPERTY LINE WHERE A MANHOLE IS NOT AVAILABLE. A CLEAN-OUT IS TO BE INSTALLED EVERY 75 FEET FROM THE POINT OF CONNECTION AND AT EACH BEND IN SEWER SERVICE.

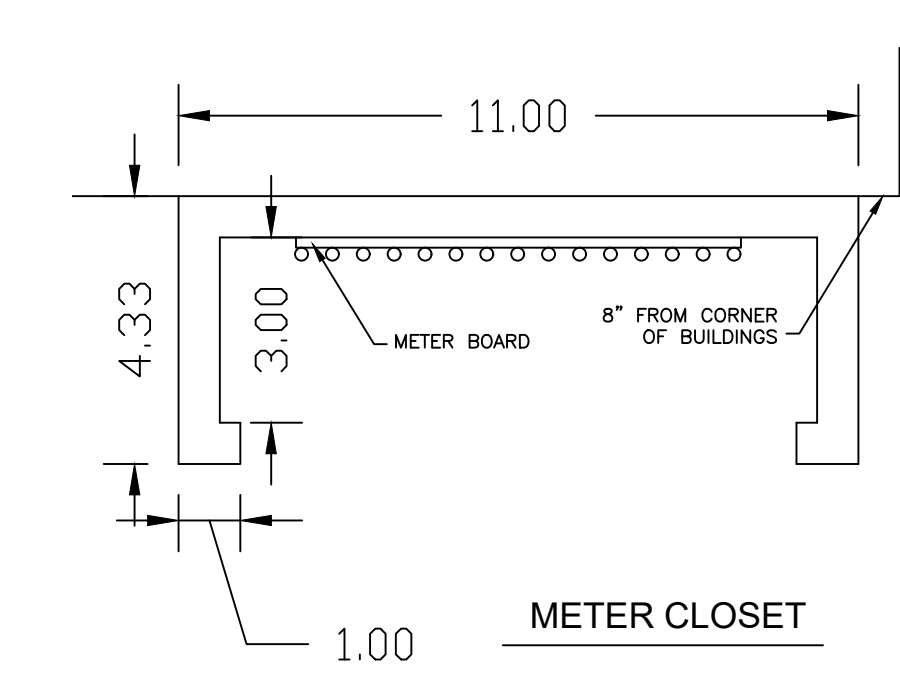
SEPARATION NOTE:

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAIN CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

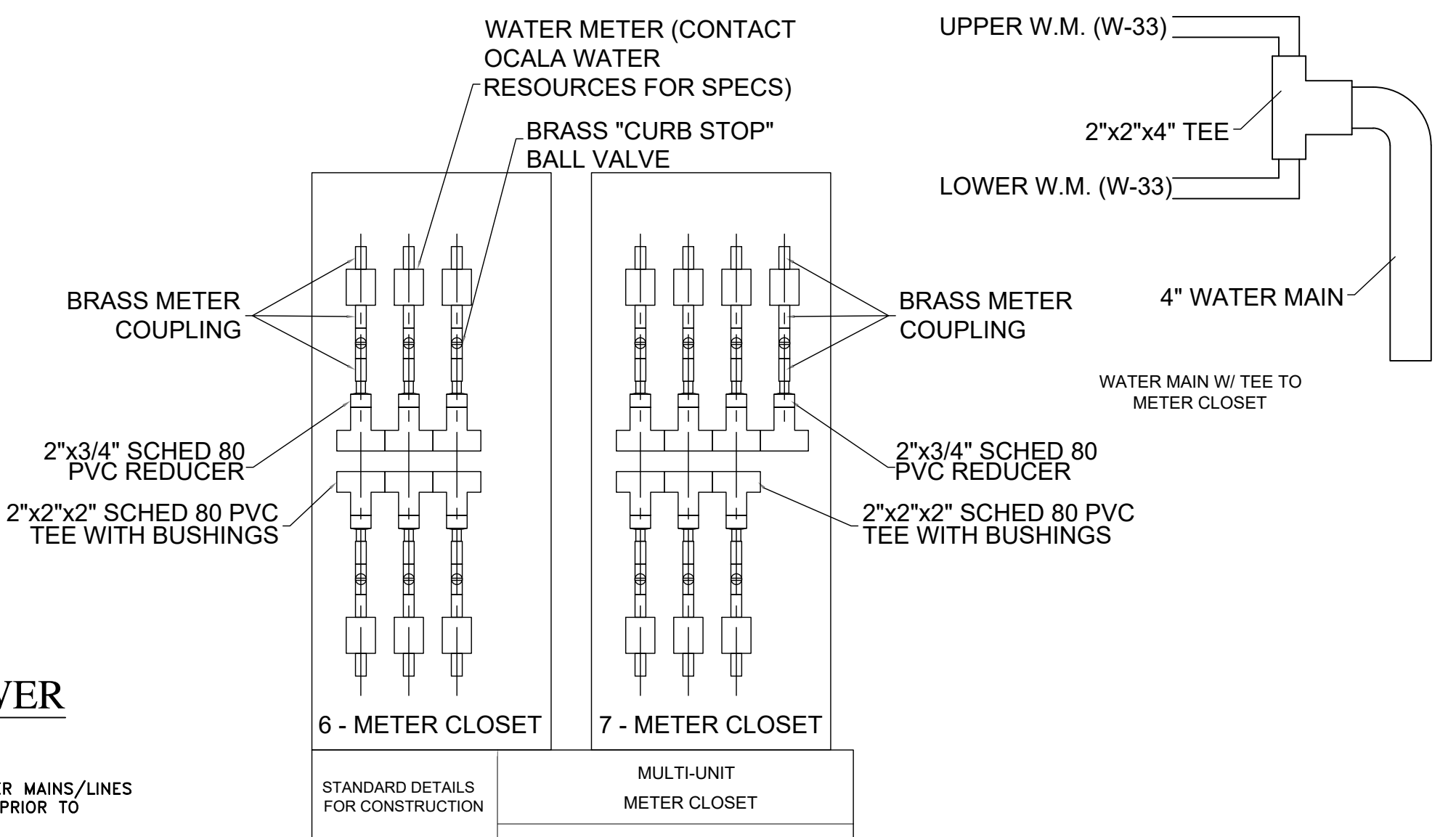


UTILITY LOCATIONS DETAIL

UTILITY	DIMENSION SYMBOL	LOCATION	UNDERGROUND DEPTH
GAS	A	4'	36"
WATER	B	6'	36"
SEWER F.M.	C	11'	36"
CABLE T.V.	D	9'	24"
TELEPHONE CONDUIT	E	7'	30"
TELEPHONE CABLE	F	5'	30"
ELECTRIC	G	1'	36"



METER CLOSET



WATER/SEWER LINE NOTE:

ALL EXISTING WATER/SEWER MAINS/LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION

WATER AND SEWER (GPD) BUILDING 1:

PER CHAPTER 64E-6.008, F.A.C.:

ESTIMATED SEWER FLOW
OFFICE: 15 GPD PER 100 SF OF FLOOR SPACE
15 GPD X 4,059.30 SF / 100 = 608.9 GPD

WAREHOUSE: 15 GPD PER EMP. PER 8 HR. SHIFT.
15 GPD X 25 EMP = 365.3 GPD

SEWER DEMAND: = 974.23 GPD

WATER DEMAND: = SEWAGE FLOW X 80%
= 974.23 X .80 = 779.4 GPD

OFFICE/WAREHOUSE = GPD / 24
= 779.4 / 24 = 32.47 GPH

PEAK FACTOR: = 2.25 X GPH
= 2.25 X 32.47 GPH = 73.06 GPH

IRRIGATION DEMAND

LANDSCAPED AREA = 20,418 SF
IRRIGATION = 2" PER WEEK
IRRIGATION RATE = 65.51 GPD

IFAS RECOMMENDATION 1/4" TO 1/2" PER SF. SEE LANDSCAPE PLAN 229.3 GPR
229.3 GPR X 2 RUNS/WEEK = 458.6 GPW
458.6 GPW / 7 DAYS / WK = 65.5128 GPD ON AVERAGE

INSTALL 1/2" IRRIGATION METER AND BFP

TOTAL SITE BUILDING USAGE AREAS
TOTAL OFFICE SPACE = 4059.30 SF
TOTAL WAREHOUSE = 12,177.80 SF
OCCUPANCY LOAD = 66 PERSONS (OFFICE = 41; WAREHOUSE = 25)

SEWER PIPE AND JOINT SPECIFICATIONS						
FUNCTION	DIA.	MAT'L	PIPE	JOINTS	GASKETS	FITTINGS
SEWER MAIN	8" AND LARGER	PVC	ASTM D-3034 UN-REEL, SDR 26	PUSH ON ASTM D-3212	RUBBER ASTM F-477	MOLDED PVC ASTM D-4654
SEWER SERVICE	6"	PVC	ASTM D-3034 UN-REEL, SDR 26	PUSH ON ASTM D-3212	RUBBER ASTM F-477	MOLDED PVC ASTM D-4654
SANITARY FORCE MAIN	LESS THAN 4"	PVC	AWWA C-900 (DR18)	SOLVENT - WELD SOCKET TYPE ASTM D-2486	SOLVENT CEMENT ASTM D-2564	SOLVENT - WELD SOCKET TYPE ASTM D-2486
SANITARY FORCE MAIN	4" AND LARGER	PVC	AWWA C-900 (DR18)	PUSH ON ASTM D-3139	RUBBER TRANSITION ASTM F-477	M.J. DUCTILE IRON AWWA C-111 AND AWWA C-110 OR C-153

WATER PIPE AND JOINT SPECIFICATIONS						
FUNCTION	DIA.	MAT'L	PIPE	JOINTS	GASKETS	FITTINGS
WATER MAIN	LESS THAN 4"	PVC	SCHEDULE 40 ASTM D-1784	SOLVENT - WELD SOCKET TYPE ASTM D-2486	SOLVENT CEMENT FOR PVC ASTM D-2564	SOLVENT - WELD SOCKET TYPE ASTM D-2486
WATER MAIN	4" AND LARGER	D.I.P.	PRESSURE CLASS DIP CAST IRON O.D.	PUSH ON ASTM D-3139	RUBBER ASTM F-477	M.J. DUCTILE IRON AWWA C-111 AND AWWA C-110 OR C-153
WATER SERVICE	1/2" TO 2" LARGER	PVC	PE3408, SDR-9 200 PSI, CTS-00 AWWA C-901 ASTM D-2737	N/A	N/A	CTS-00 COMPRESSION FITTINGS

EASEMENT NOTE:

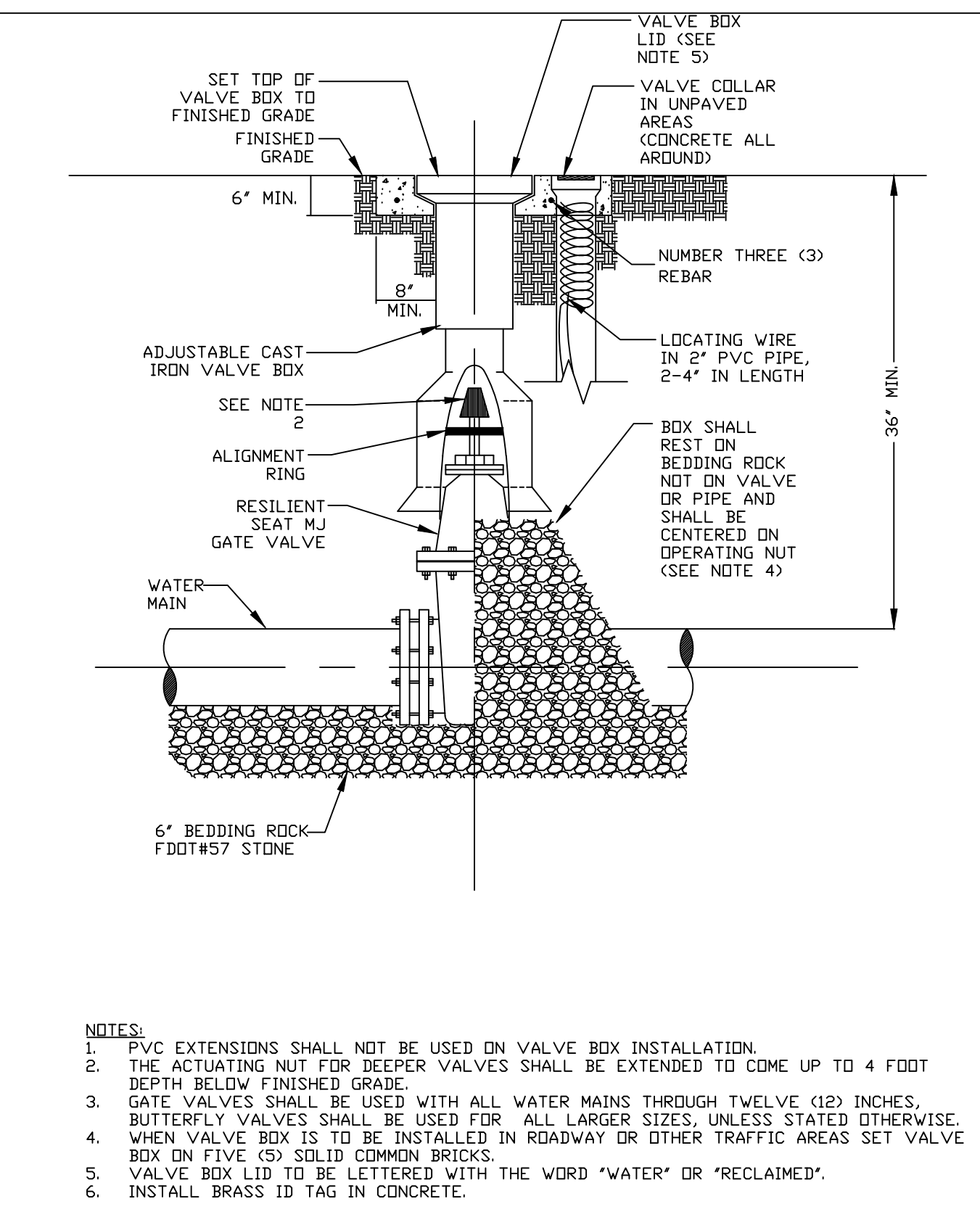
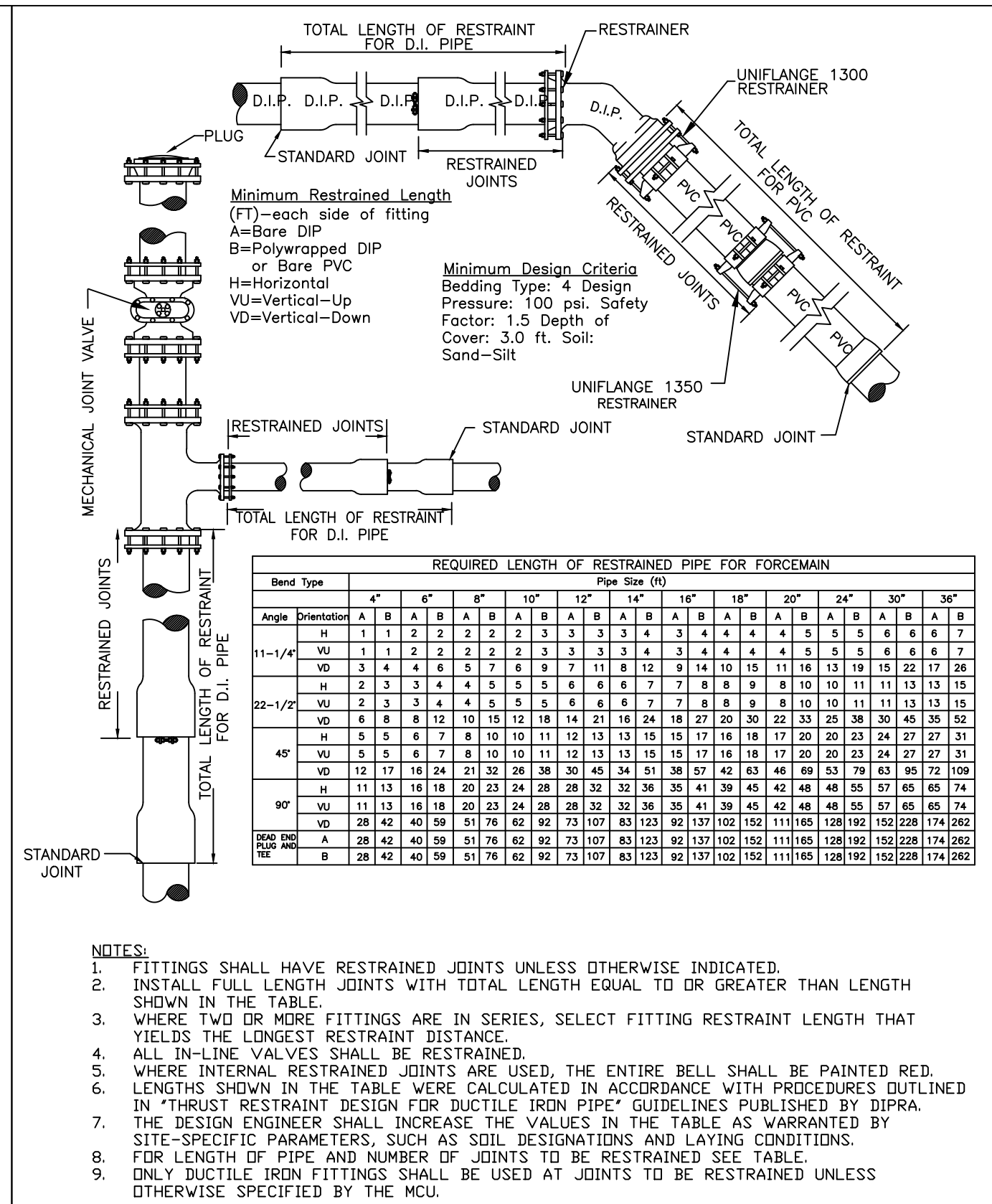
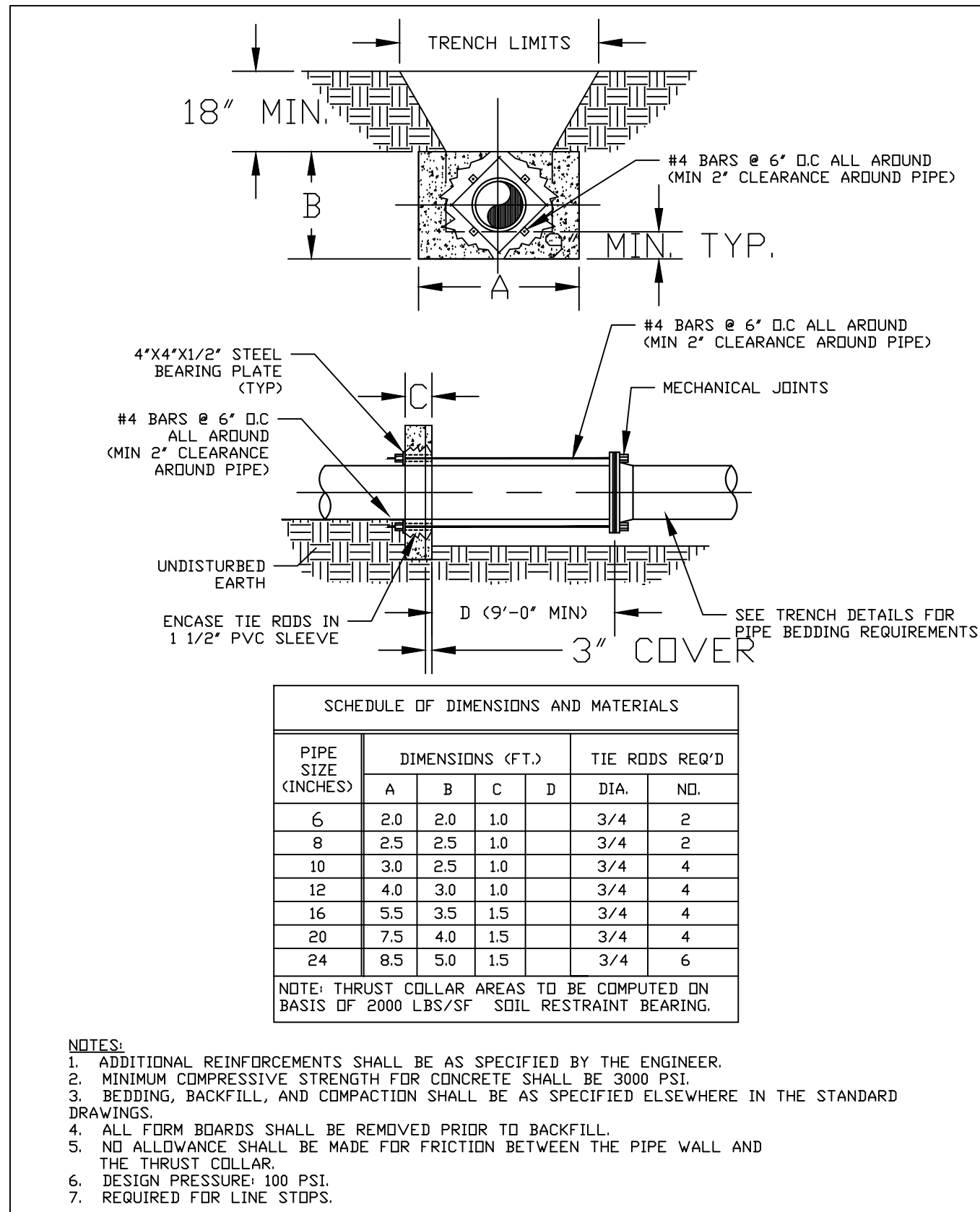
EASEMENTS FOR EXISTING WASTEWATER LINE SHALL BE CREATED AND PROVIDED UNDER SEPARATE COVER AND SHALL BE SHOWN ON AS BUILT PRIOR TO CO.

WATER & SEWER NOTE:

1. AS-BUILT, MEETING THE MARION COUNTY / CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE COUNTY/CITY PRIOR TO ISSUANCE OF THE C.O. (WSCM 485.2.5.8/ 495.2.8.5 TO CITY OWNED UTILITIES)
2. ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT WATER AND SEWER CONSTRUCTION MANUAL (PER WSCM 485.2.5.2/ 495.2.8.1 TO CITY OWNED SYSTEM)
3. ALL EXISTING OR PROPOSED WATER, SEWER OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO THE ISSUANCE OF THE C.O.
4. COMMERCIAL WATER SERVICES ARE TO HAVE A MINIMUM SIZE OF 2 INCH PIPING.
5. WATER SERVICE PIPING PRIOR TO THE WATER METER BOX IS TO BE SHOWN AS POLYETHYLENE (PE) MATERIAL (WSCM 485.2.5.25 OWNED BY CITY)

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OCALA, FLORIDA 34470 FAX (352) 629-4402

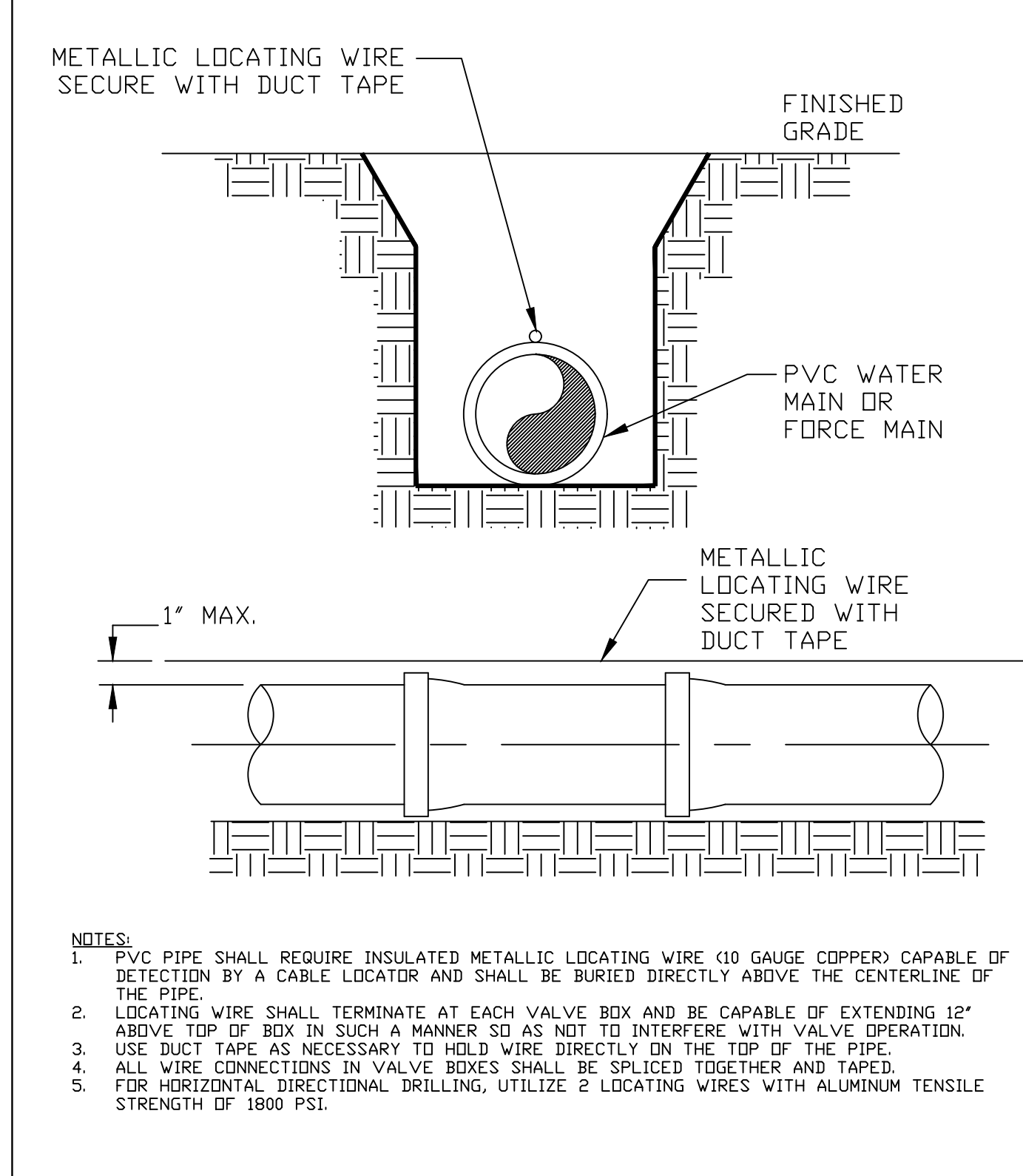
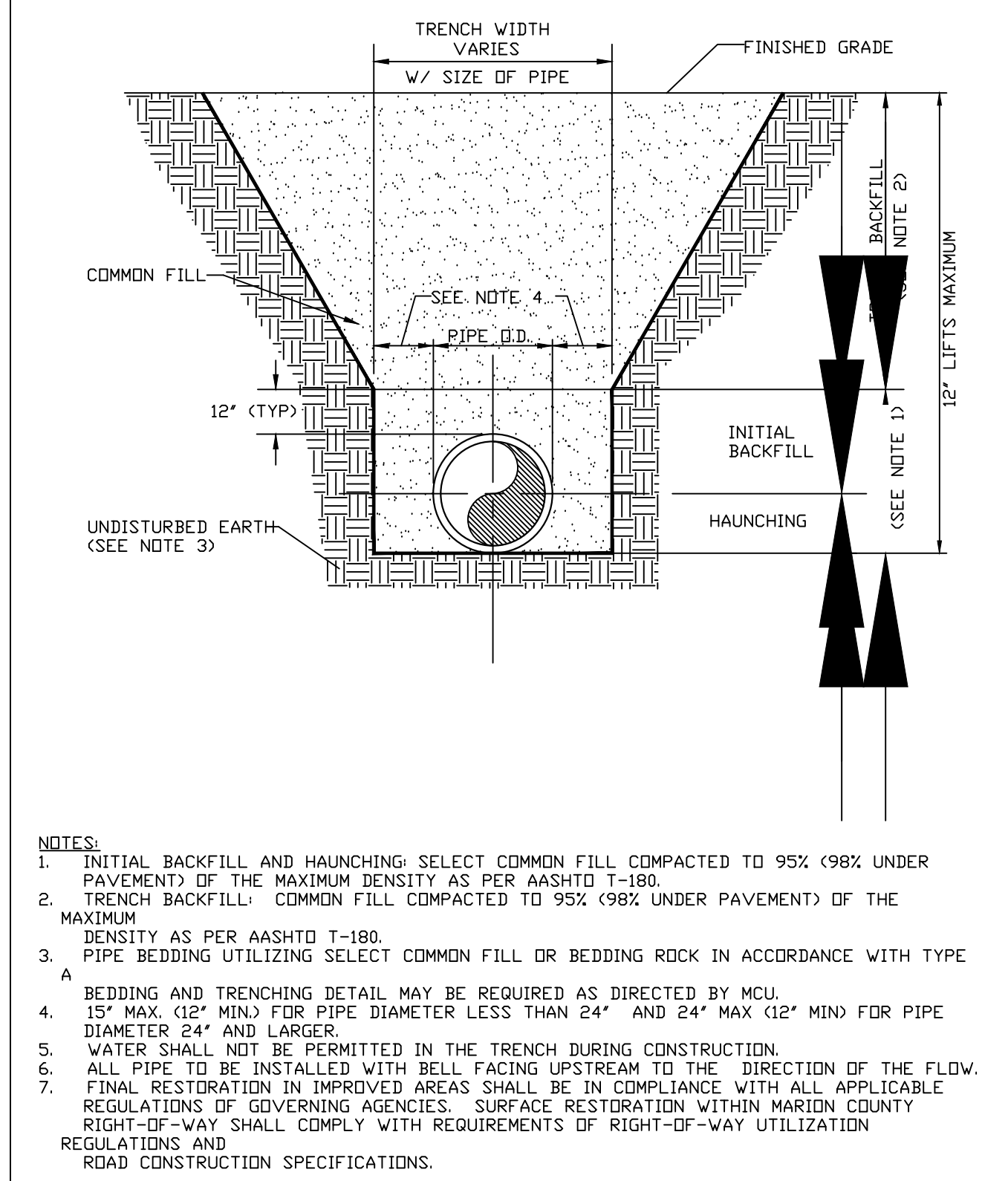
UTILITY PLAN						
MEPCO USA, LLC RUNWAY INDUSTRIAL PLAZA SECTION 28, TWP-15 SOUTH, RNG-22 EAST OCALA, FLORIDA						
DATE:	11-30-23	DESIGN:	MCA	PROJ. MEPCO USA LLC...		SHEET
SCALE:	AS SHOWN	DRAW:	MA	FILE:	22-009	C005
No.	REVISION	DATE	APPROVED:	MCA	CHECK: MCA	FILE: MEPCO...



Marion County Florida
 MCBCC EFFECTIVE 10/12/2013
 REVISION # NA
THRUST COLLAR WASTEWATER FORCE MAINS
 7.3.2
 UT 301

Marion County Florida
 MCBCC EFFECTIVE 10/12/2013
 REVISION # NA
RESTRAINED PIPE TABLE WASTEWATER FORCE MAINS
 7.3.2
 UT 300

Marion County Florida
 MCBCC EFFECTIVE 10/12/2013
 REVISION # NA
GATE VALVE WATER AND RECLAIMED MAINS
 7.3.2
 UT 204



SEWER CONSTRUCTION NOTES"
 (SEWER DEMAND SEE CALCULATION FOR GPD)

- ALL SEWER CONSTRUCTION SHALL CONFORM TO CURRENT WATER AND SEWER CONSTRUCTION FDEP OR FDOH STANDARDS.
- ALL OTHER SEWER SYSTEMS AND COMPONENTS SHALL COMPLY WITH THE REQUIREMENTS SHOWN BELOW.
- PERFORM ALL WORK IN COMPLIANCE WITH THE STANDARD PLUMBING CODE AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- PIPE MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS SHOWN IN THE TABLE OF "WATER AND SEWER PIPE AND JOINT SPECIFICATIONS" IN THESE PLANS.
- INSTALL PVC PIPE PER PROCEDURS OUTLINED IN ASTM D2321, "UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE", AND UNI-BELL SPECIFICATION B-5.
- EMBED PIPE AND FITTINGS IN THE TRENCH TRUE TO LINE AND GRADE AND WITH THE PIPE BOTTOM UNIFORMLY AND CONTINUOUSLY SUPPORTED BY A FIRM FOUNDATIONS AND BEDDING. LAY PIPE WITH THE BELLS UPSTREAM.
- REMOVE BURRS AND SMOOTHLY BEVEL ALL CUT ENDS OF PIPE.
- INSTALL 14 GA. COPPER LOCATING WIER ON ALL NONMETALLIC FORCE MAINS.
- LAMP TEST COMPLETED SEWER MAINS. REPLACE ANY PIPE SHOWING LESS THAN FULL ROUND SECTION.
- TEST ALL PIPES FOR LEAKAGE IN ACCORDANCE WITH VOLUME III CITY WATER AND SEWER UNI-B-6, "RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING," CORRECT ANY SECTION HAVING A PRESSURE DROP FROM 3.5 TO 3.0 PSI IN LESS THAN 5 MINUTES.
- TEST ALL NEWLY INSTALLED SEWER FORCE MAINS IN ACCORDANCE WITH SECTION 4, "HYDROSTATIC TESTING" OF AWWA C-600. PRESSURE TEST AT 150 PSI MINIMUM FOR A MINIMUM DURATION OF TWO HOURS.
- RECORD (ON RECORD DRAWINGS) THE DISTANCE TO ALL WYES AND TERMINAL POINTS FROM CENTER OF MANHOLE IMMEDIATELY DOWNSTREAM.
- SEE FORCE MAIN THRUST BLOCK DETAILS.
- WHERE POTABLE WATER AND SANITARY SEWER MAINS CROSS THE MINIMUM VERTICAL AND HORIZONTAL SEPERATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS SHALL COMPLY WITH RULES 62-604.400(2)(g) - (i), F.A.C. AND 62-604.400 (3), F.A.C. SEE SEPERATION NOTE ON THIS PAGE.
- NO LIVE OAK TREES OR AGGRESSIVELY ROOTED LANDSCAPING SHALL BE INSTALLED WITHIN 30 FEET OF SEWER APPURTENANCES.

Marion County Florida
 MCBCC EFFECTIVE 10/12/2013
 REVISION # NA
TYPE "B" BEDDING AND TRENCHING
 7.3.2
 UT 103

Marion County Florida
 MCBCC EFFECTIVE 10/12/2013
 REVISION # NA
PIPE LOCATING WIRE
 7.3.2
 UT 104

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SEWER UTILITY DETAILS

MEPCO USA, LLC
 RUNWAY INDUSTRIAL PLAZA
 SECTION 28, TWP-15 SOUTH, RNG-21 EAST
 OCALA, FLORIDA

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SCALE:	AS SHOWN	DRAW:	MA	FILE:	22-009	C007	
No.	REVISION	DATE	APPROVED:	MCA	CHECK:	MCA	FILE:MEPCO...

BARNEY'S PUMPS, INC.

PO BOX 3529, LAKE LAND, FL 33802

PHONE: (863) 665-8500 FAX: (863) 666-3858

DUPLEX FIBERGLASS GRINDER LIFT STATION

GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDRAMATIC OR HOMA). EACH PUMP SHALL BE MOUNTED ON A 02" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 316SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING BAIL AND CABLE, AND A SIX-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION
THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

IMPELLER
THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

CUTTERS
A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL, DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR
THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER
THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL
THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILLET AND AN ANTI-FLOTATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER. WET WELL SHALL MEET ASTM STANDARD NO. D3753.

HATCH COVER
THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL HARDWARE, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY USF FABRICATION, OR EQUAL.

VALVE BOX
THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 32"x30"x25".

VALVES
VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS
FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS
THE CONTROL PANEL SHALL BE UL508 LISTED. ENCLOSURE SHALL BE 4X POLYCARBONATE. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY BARNEY'S PUMPS AND INSTALLED BY CONTRACTOR.

ELECTRICAL
ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.

SUPPLIER
PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, FIBERGLASS BASIN AND VALVE BOX, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLED BY BARNEY'S PUMPS INC. READY FOR FIELD INSTALLATION.

PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS INC. IN LAKE LAND (863-665-8500), CORAL SPRINGS (954-346-0669), OR JACKSONVILLE (904-260-0669), FL.

FDEP REQUIREMENTS
PROVIDE 3/4" WATER LINE WITH A 3/4" RPZ. ALL ELECTRICAL PANELS SHALL BE ABOVE THE 100 YEAR FLOOD ELEVATION.

SIGN SUPPLIED BY CONTRACTOR. SIGN TO BE MADE OF ALUMINUM AND BE ATTACHED TO COVER BY RIVETS. THREE ON TOP AND THREE ON BOTTOM.

WHITE LETTER RED BACKGROUND EMERGENCY CONTACT INFORMATION SIGN TO BE PLACED ON THE FRONT COVER OF CONTROL PANEL. SIGN LETTERS TO BE 2" MIN. HEIGHT.

HOSE BIB DETAIL (LOCAL CODES PREVAIL)
N.T.S. (SUPPLIED BY CONTRACTOR)

EMERGENCY NOTICE SIGN
CONTRACTOR IS TO PROVIDE AND POST AN UNOBSTRUCTED SIGN (12"x12" WITH 2" LETTERING) MADE OF DURABLE WEATHER RESISTANT MATERIAL AT A LOCATION VISIBLE TO THE PUBLIC WITH A TELEPHONE NUMBER FOR A POINT OF CONTACT IN CASE OF EMERGENCY AS SHOWN ABOVE.

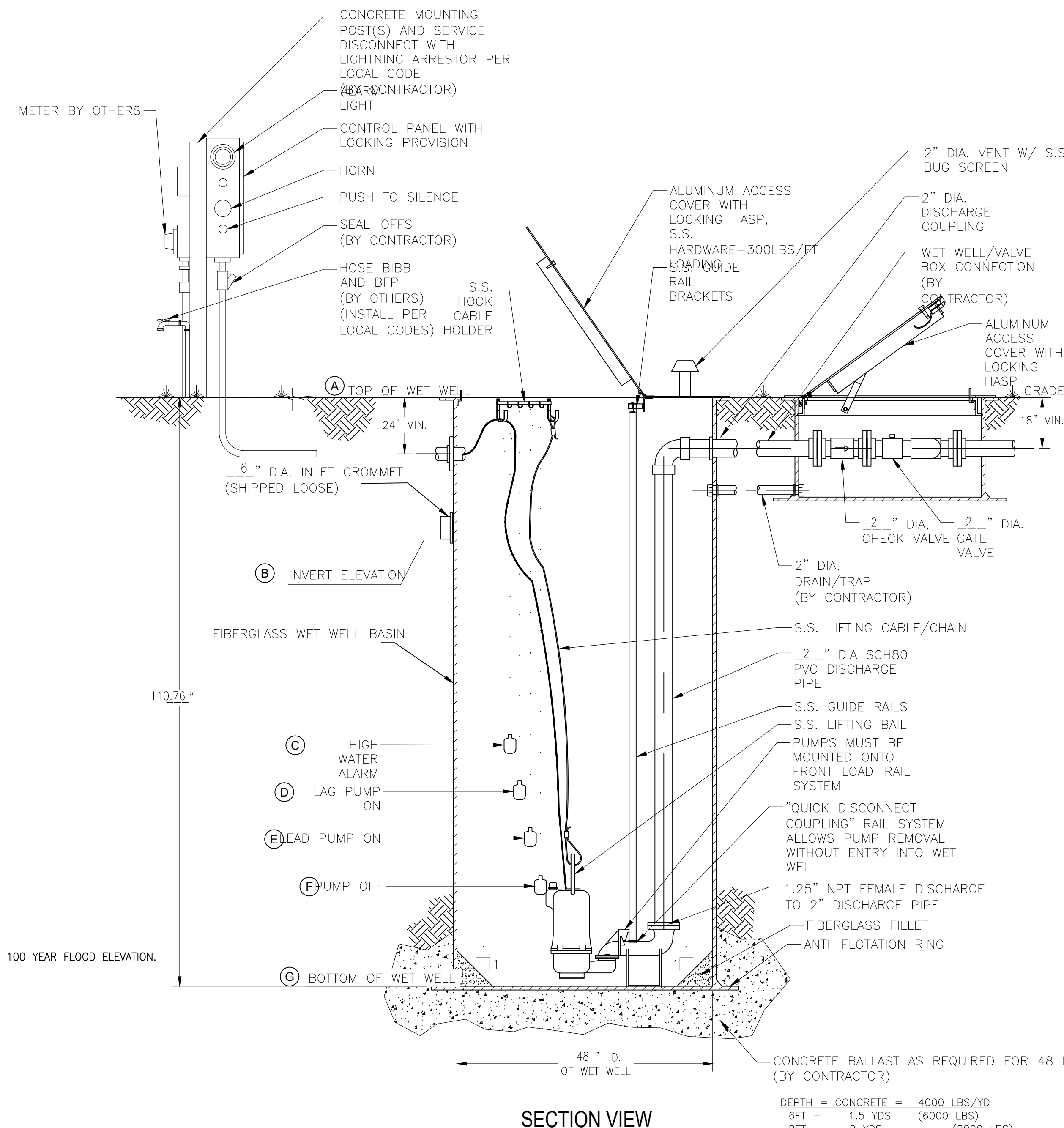
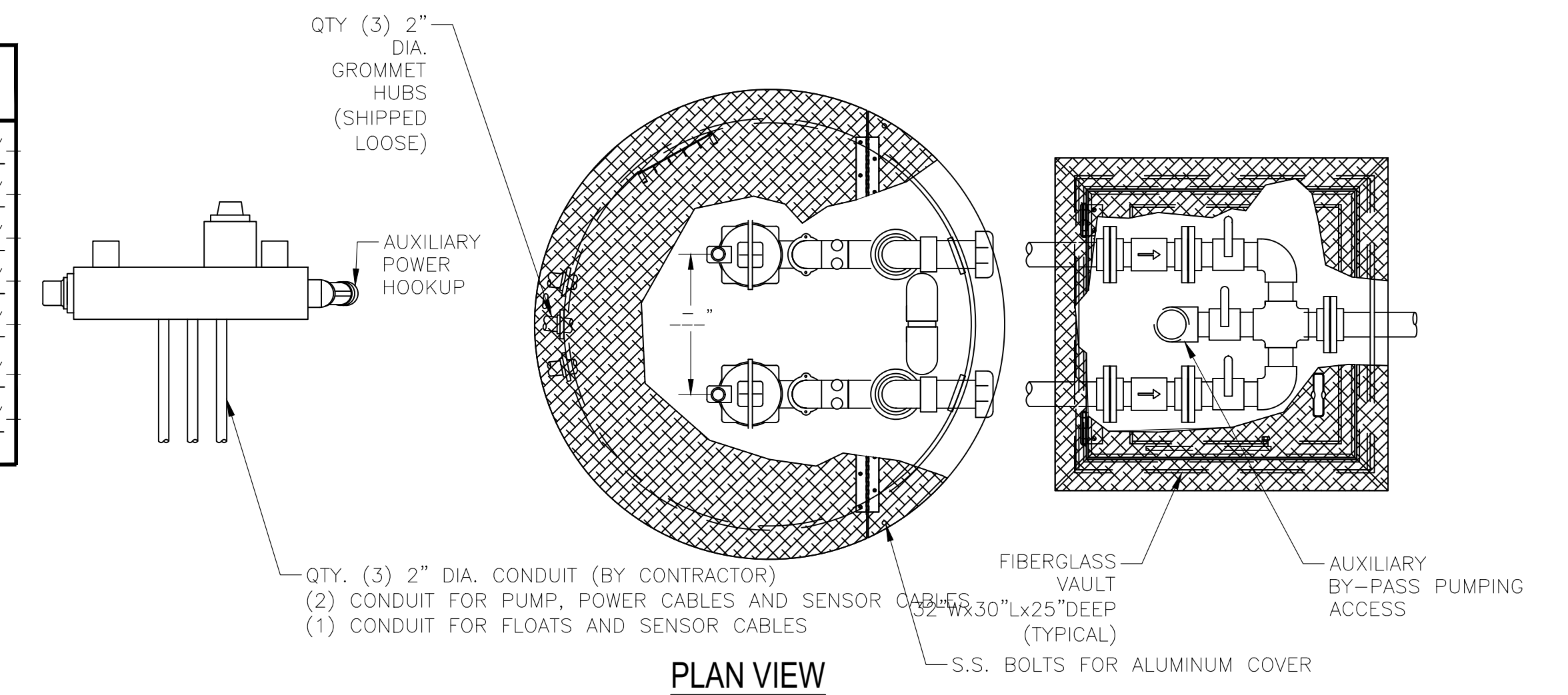
PUMP DATA TABLE

PUMP MODEL	HVS200
IMPELLER DIAMETER	316 SST / VF8M
PUMP DESIGN CAPACITY	32 GPM
PUMP DESIGN TDH	26 FT
HORSEPOWER	2 HP
VOLTAGE	230 V
PHASE	1 PH
DISCHARGE SIZE	2"
NOTES:	

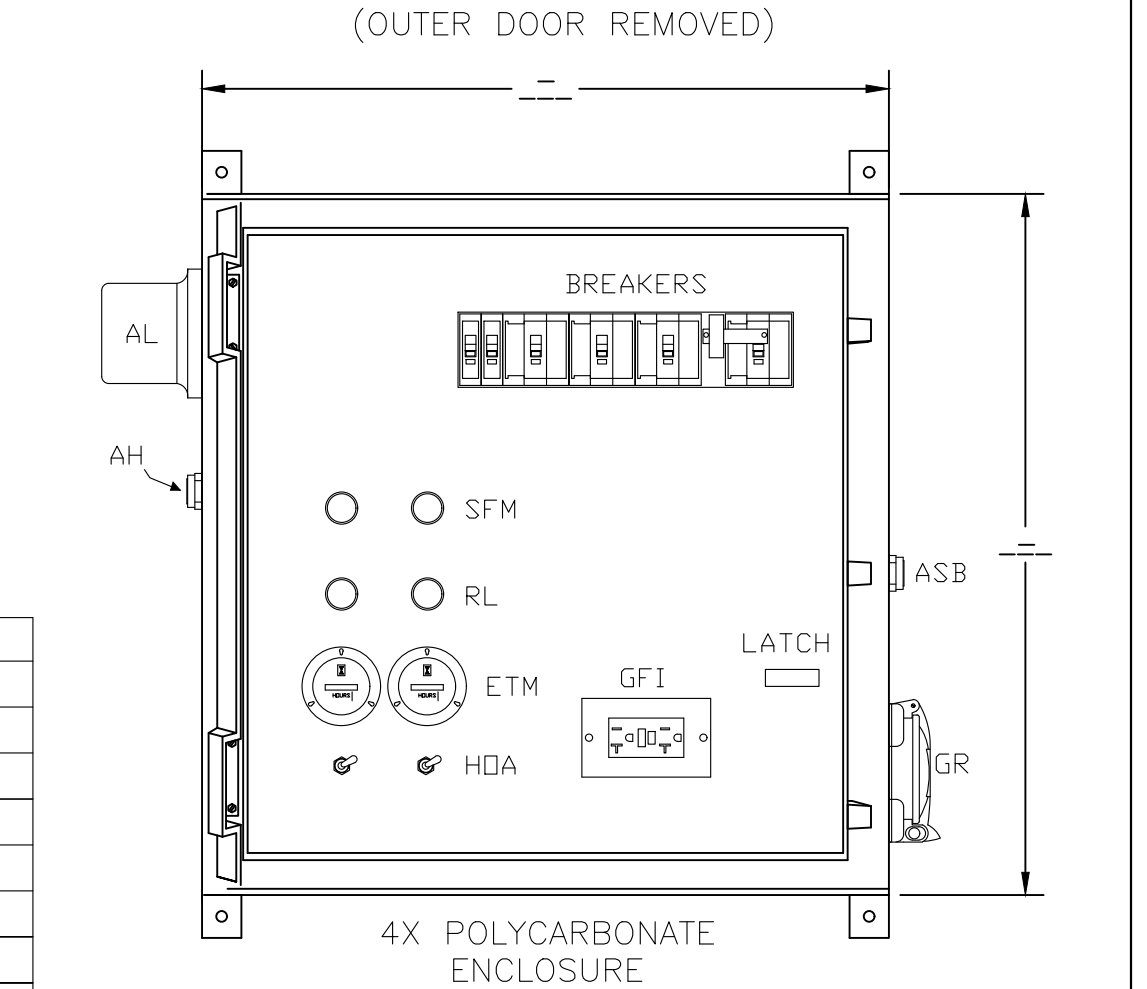
ELEVATIONS

(A) TOP OF WET WELL	83.73' +/-
(B) INLET INVERT	77.00' +/-
(C) HIGH WATER ALARM	76.50' +/-
(D) LAG PUMP ON	75.50' +/-
(E) LEAD PUMP ON	74.00' +/-
(F) PUMP OFF	71.50' +/-
(G) BOTTOM OF WET WELL	70.50' +/-

WET WELL/VALVE BOX LAYOUT



ENCLOSURE AND DEADFRONT LAYOUT (TYPICAL)



PANEL NOTES

- ALL PANELS SHALL BE UL LISTED AND CONFORM TO FLORIDA DEP 62-604
- 1) GENERATOR RECEPTACLE WITH INTERLOCK FOR EMERGENCY POWER CONNECTION.
 - 2) SURGE AND LIGHTNING PROTECTION SHALL BE PROVIDED BY CONTRACTOR AND MOUNTED EXTERNAL TO THE CONTROL PANEL.
 - 3) PHASE OR VOLTAGE MONITOR SHALL BE PROVIDED IN CONTROL PANEL.
 - 4) ALL PANELS, WET WELL, VALVE BOX, AND ACCESS DOORS SHALL HAVE LOCKABLE MECHANISMS. CONTRACTOR TO PROVIDE KEYPED LOCKS.
 - 5) POST UNOBSTRUCTED SIGN MADE OF DURABLE WEATHER RESISTANT MATERIAL WITH THE FOLLOWING: PUBLIC NOTICE: IN CASE OF EMERGENCY CONTACT: 6) THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING. 7) FLOAT SWITCHES SHALL BE UL LISTED. 8) SHAFT SEAL FAILURE DETECTION



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LIFT STATION

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RUNWAY INDUSTRIAL PLAZA
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SCALE:	AS SHOWN	DRAW:	MA	FILE:	22-009
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MILES C ANDERSON PE
FLORIDA PROFESSIONAL ENGINEER # 39385
CA # 0009842
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MILES ANDERSON, PE ON 11-30-23, USING A DIGITAL SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

