



**Marion County
Board of County Commissioners**

Growth Services

2710 E. Silver Springs Blvd.
Ocala, FL 34470
Phone: 352-438-2600
Fax: 352-438-2601

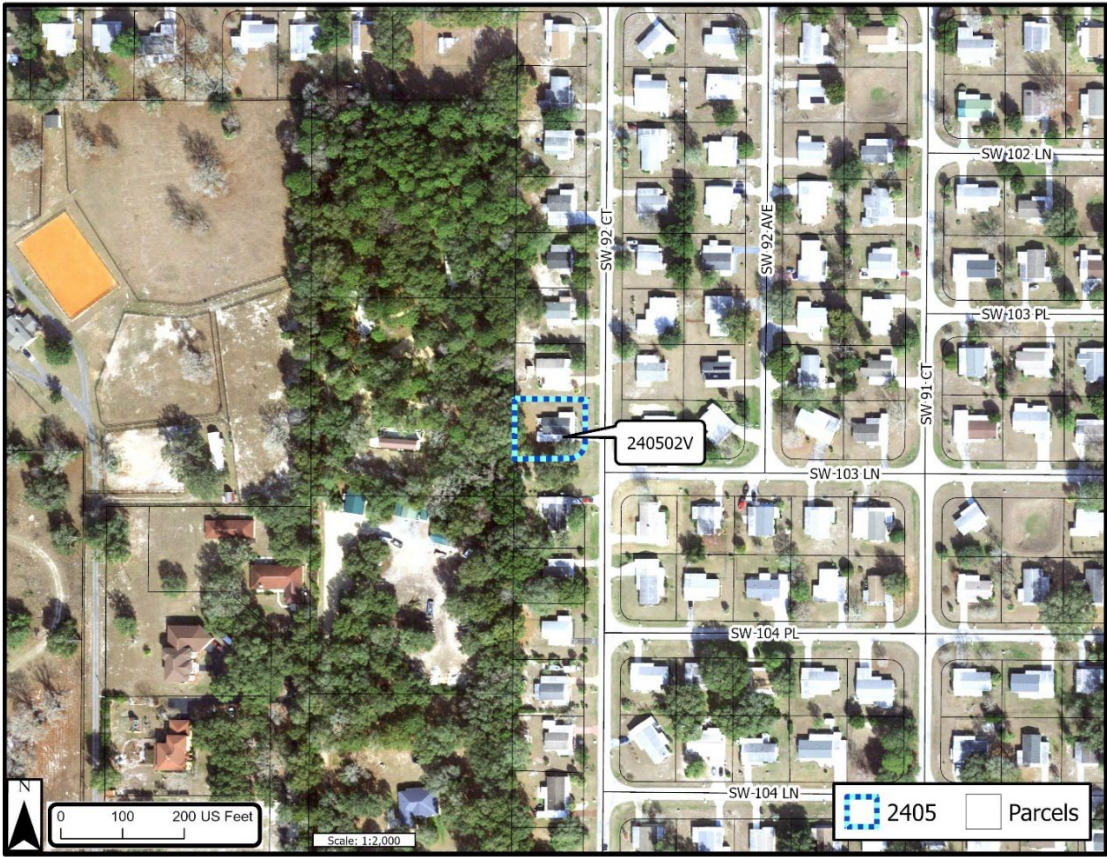
**ZONING SECTION STAFF REPORT
May 6, 2024
BOARD OF ADJUSTMENT PUBLIC HEARING**

Case Number	240502V
CDP-AR	31080
Type of Case	Variance to reduce front setback from 25' to 20' for a 5'x48' pan roof cover across front of home.
Owner	Jerry and Darlene Morgan
Applicant	Mark Tucker - White Aluminum
Street Address	10350 SW 92 ND Court, Ocala
Parcel Number	35322-010-01
Property Size	.32 acres
Future Land Use	High Density Residential
Zoning Classification	One and Two-Family Dwelling (R-2)
Overlay Zone/Scenic Area	Secondary Springs Protection Overlay Zone (SPOZ), Urban Growth Boundary
Project Planner	Elizabeth Madeloni, Zoning Technician III
Related Case(s)	Open Code Case 887732- Expired permit 2020052505 for 10'x13' screen room and patio roof; Required inspections never completed.

I. ITEM SUMMARY

This is a variance request filed by the applicant Mark Tucker, with White Aluminum, on behalf of Jerry and Darlene Morgan, from the Land Development Code (LDC) Section 4.2.10 E, attached structures to the home are required to meet the Single-Family Residential (SFR) setbacks. The Land Development Code states that in R-2 zoning, the SFR setbacks are 25' from the front property line, 15' from rear property line, and 8' from both side property lines. The applicant is requesting to have a front setback reduction from the required 25' to 20'.

**FIGURE 1
GENERAL LOCATION MAP**



II. PUBLIC NOTICE

Notice of public hearing was mailed to (20) property owners within 300 feet of the subject property on April 19, 2024. A public notice sign was posted on the subject property on March 12, 2024 (Figure 2), and notice of the public hearing was published in the Star-Banner on April 22, 2024. Evidence of the public notice requirements is on file with the Department and is incorporated herein by reference.

III. PROPERTY CHARACTERISTICS

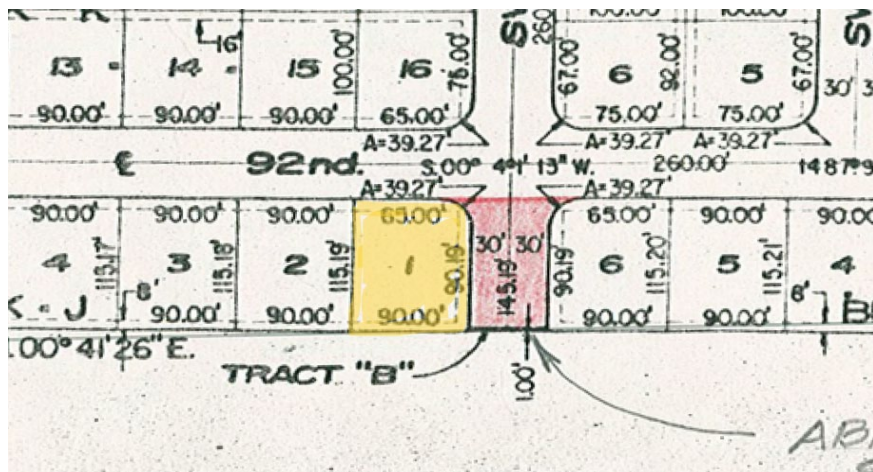
The subject .32-acre lot is located within the recorded subdivision, Pine Run Estates II. The property has a High Residential Future Land Use Map Series (FLUMS) designation with an R-2 Zoning Classification. LDC Section 4.2.10.E provides the determined setbacks to be a minimum 25' front setback, minimum 15' rear setback, and minimum 8' sides setback.

The .32-acre subject property is displayed as Lot 1, Block J, Plat Book V Page 045 in Pine Run Estates II. The property has 115' depth with 95' width. The platted right of way directly along the south side of Lot 1 was abrogated and 30' of said right of way was given to Lot 1 as shown in Figure 3, increasing the 65' lot width fronting SW 92nd Court to 95'.

**Figure 2
Morgan Property**



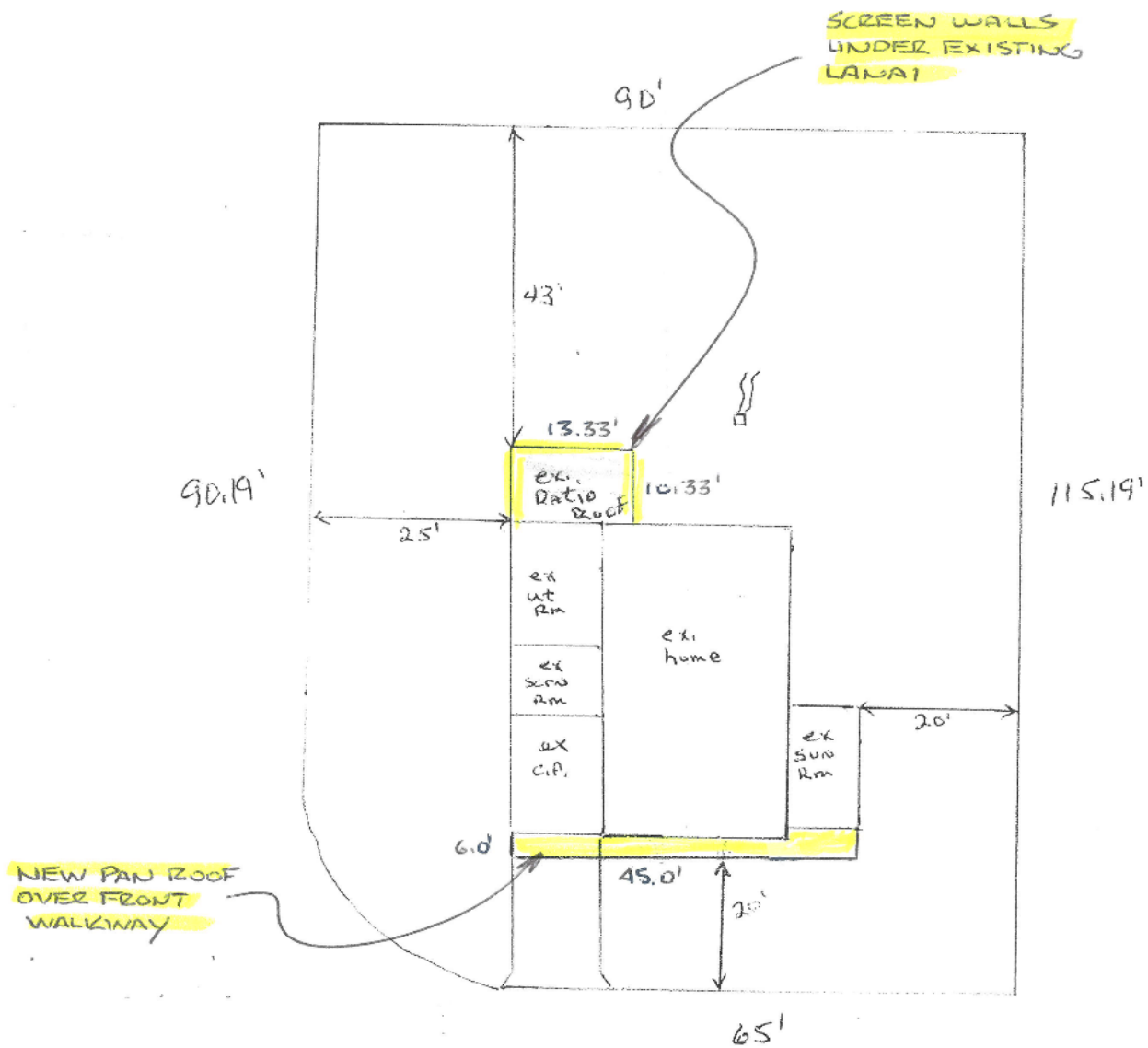
**Figure 3
Abrogated Road/ Right of Way**



IV. REQUEST STATEMENT

This application requests a variance from LDC Section 4.2.10.E. for the front setback from the required 25' to 20' for an existing pan roof. Consistent with LDC Section 2.9.3.B., on March 12, 2024, a site visit was conducted by Growth Services Department staff, and measurements and photographs were taken.

**Figure 4
Site Plan**



10350 SW 92nd Ct

1" = 20'

ANALYSIS

LDC Section 2.9.4.E provides the Board of Adjustment shall not grant a variance unless the petition demonstrates compliance with six (6) criteria. The six (6) criteria and the staff's analysis of compliance with those criteria are provided below.

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which do not apply to other lands, structures, or buildings with the same zoning classification and land use area.

Analysis: Applicant states they are requesting a reduction to the front 25' setback to 20' for an existing roof overhang to cover an open porch area of 6'x 45'.

Staff inspected the property to measure the front setback request and concurs with the above 20' setback request of the applicant. The site plan provided with the original Building permit for screen room and pan roof was not flagged by Zoning as Zoning was somehow left off of the plan review list, so there was not an indication that they were encroaching on setbacks.

2. The special conditions and circumstances do not result from the actions of the applicant.

Analysis: The original permit for the pan roof across the front of the home was issued in 2020, permit 2020052505. This permit was never sent to the zoning department for review approval. We were issued the permit and built it according to the site plan that was submitted. The final inspection was never requested, mainly because most of the staff was working from home due to COVID-19. Marion County made us reapply, 2023081962, but they would not issue it to us unless we apply and receive a variance for the reduction of 5ft front encroachment.

Staff reviewed the above and found the permits and open code case are for both the porch overhang as well as the 10'x13' screen room. The above reference from the applicant is correct in saying the zoning department was not on the original permit back in 2020 for a review and the permit from 2020 expired due to applicant not completing their final inspections. Therefore when it came time to reissue the permit as permit 2023081962, Zoning was included on this one and it was rejected by the Zoning Dept. for not meeting the original setbacks.

3. Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use area under the terms of said regulations and would work unnecessary and undue hardship on the applicant.

Analysis: Granting the variance request would not be irregular to the surrounding area. This would not adversely effect any property owners.

Staff finds the 30' right of way is actually 10' of roadway and the other 20' is included as part of their front yard like the other neighbors. Therefore, all other surrounding properties in the area have the same conditions. Due to the incident

from the Zoning dept. not being on the original permit review in 2020, it would create an undue hardship on the applicant as the contractor and homeowner already were provided the issued permit through the building dept without the Zoning department's knowledge.

4. The variance, if granted, is the minimum variance that will allow the reasonable use of the land, building, or structure.

Analysis: We are requesting a variance approval of a 5' encroachment to the front property line. The structure was built assuming everything was reviewed and approved since the permit was issued to us.

Staff confirms the applicants request is the minimum variance to allow reasonable use of the land for the open patio area.

5. Granting the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings, or structures in the same zoning classification and land use area.

Analysis: The only privilege would be the 5' front variance.

Staff finds granting any variance is a privilege, however, due to the structure being an open patio area of six feet along the front of the home and the entire neighborhood having the same extended front yard due to the extra feet of right of way added to everyone's front yard, the variance wouldn't negatively impact the neighborhood.

6. The granting of the variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Analysis: It will not affect the neighborhood negatively in anyway.

Staff confirms the neighborhood has the same extended right of way merged into their front yards and the variance will not be detrimental to the public welfare. The request is for an open patio area 6 feet wide that has a roof over. The previous 10'x13' screen room is not an issue, it is just the front overhang of the open 6' wide patio area that required a variance.

V. LIST OF ATTACHMENTS

- A. Application – Variance filed by Mark Tucker, January 23, 24
- B. Site Plan
- C. Marion County Property Appraiser Property Record Card
- D. 300' Mailing Radius Map
- E. Area Map of Zoning Classifications
- F. Warranty Deed

★ Updated ★

ATTACHMENT A.



Marion County Board of County Commissioners

Growth Services ♦ Zoning
2710 E. Silver Springs Blvd.
Ocala, FL 34470
Phone: 352-438-2675
Fax: 352-438-2676

APPLICATION COMPLETE
DATE COMPLETED 1/24/24
INITIALS CSW
TENTATIVE MEETING DATES
5:00 P&Z PH 4/01/24

OFFICE USE ONLY
Received By: Dymda Smite
Date Received: 1/23/24
#240502V

VARIANCE APPLICATION AR#: 31080

Application #: _____

FOR COUNTY USE ONLY

PA#: 35322-010-01

Parcel Account Number of Subject Property

THE UNDERSIGNED REQUESTS A VARIANCE AS REFERENCED IN SECTION 2.9 OF THE MARION COUNTY LAND DEVELOPMENT FOR THE PURPOSE OF:

ALLOWING A 6' x 45' PAN ROOF COVER ACROSS THE FRONT OF THE HOME TO REMAIN, WHITE ALUMINUM RECEIVE THE PERMIT # 2020052505 BUT THE SITE PLAN WAS NEVER GIVEN TO ZONING, WE BUILT ADDITION ASSUMING EVERYTHING HAD VARIANCE FROM 25' TO 20' FRONT SETBACK, for an existing walkway * (PA) BEEN APPROVED

Section of Code requesting variance from: _____

Legal Description (Please attach a copy of deed). Total Acreage of subject property: .23 +/- acres

Directions to subject property: IR-2

HEADING SOUTHWEST ON HWY 200 FROM OCALA, TURN RT INTO PINE RUN ON SW 88TH TERRACE, TURN LEFT ON SW 103RD LN, TURN RT. ON SW 92ND CT, HOUSE IS ON LEFT SIDE Situs: 10350 SW 92nd Ct, Ocala, FL

Please Note: Property owner must sign this application: Otherwise he/she must attach to this application written authorization naming an agent to act in his/her behalf.

Jerry Morgan
(Print/Signature) Property Owner

10350 SW 92ND CT. ✓

Address

OCALA, FL 34481

City, State, Zip Code

517-462-1497 NO E-MAIL

Contact Info: Phone, cell, e-mail address

Jerry Morgan 4482 @ G-mail.com

MARK TUCKER - WHITE ALUMINUM & WINDOWS
(Print) Applicant or Agent

2101 U.S. Hwy 441

Address

LEESBURG, FL. 34748

City, State, Zip Code

352-787-6783 permitting @ white aluminum.com

Contact Info: Phone, cell, e-mail address

THE FILING FEE IS \$ 550 NON-REFUNDABLE. WE RECOMMEND THAT THE OWNER, APPLICANT OR AGENT BE PRESENT AT THE HEARING. IF NO REPRESENTATIVE IS PRESENT AND THE BOARD REQUIRES ADDITIONAL INFORMATION, THEY MAY DECIDE TO POSTPONE OR DENY THE REQUEST. NOTICE OF SAID HEARING WILL BE MAILED TO THE ABOVE ADDRESS. ALL INFORMATION GIVEN MUST BE CORRECT AND LEGIBLE TO BE PROCESSED. PLEASE NOTE THAT A WRITTEN PETITION (REFER TO PAGE 2 & 3) MUST BE PROVIDED WITH THIS APPLICATION, ALONG WITH A SITE PLAN IN ORDER TO BE CONSIDERED COMPLETE. FOR FURTHER INFORMATION CONTACT THE MARION COUNTY GROWTH SERVICES.

PROJECT 2024010067
AR 31080

Code Case: 646592-RA
Relay

"Meeting Needs by Exceeding Expectations" Sec: 26-16-20



Marion County Board of County Commissioners

Growth Services ♦ Zoning

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2675 Fax: 352-438-2676

OFFICE USE ONLY

Received By: _____

Date Received: _____

VARIANCE APPLICATION

Application #: _____

35322-010-01

FOR COUNTY USE ONLY

Parcel Account Number of Subject Property

THE UNDERSIGNED REQUESTS A VARIANCE AS REFERENCED IN SECTION 2.9 OF THE MARION COUNTY LAND DEVELOPMENT FOR THE PURPOSE OF:

Requesting a reduction of the front setback, RM
Roof cover, (6x4 patch), RM

Section of Code requesting variance from: _____

Legal Description (Please attach a copy of deed). Total Acreage of subject property: .23 +/- acres

Directions to subject property:

HEADING SOUTHWEST ON HWY 200 FROM OCALA, TURN RT INTO PINE RUN ON SW 88TH TERRACE, TURN LEFT ON SW 103RD LN, TURN RT. ON SW 92ND CT, HOUSE IS ON LEFT SIDE

Please Note: Property owner must sign this application: Otherwise he/she must attach to this application written authorization naming an agent to act in his/her behalf.

Property Owner Signature

(Print/Signature) Property Owner

10350 SW 92ND CT.

Address

OCALA, FL 34481

City, State, Zip Code

517-462-1497 NO E-MAIL

Contact Info: Phone, cell, e-mail address

MARK TUCKER - WHITE ALUMINUM & WINDOWS

(Print) Applicant or Agent

2101 U.S. Hwy 441

Address

LEESBURG, FL. 34748

City, State, Zip Code

352-787-6783 permitting@whitealuminum.com

Contact Info: Phone, cell, e-mail address

THE FILING FEE IS \$ 550 NON-REFUNDABLE. WE RECOMMEND THAT THE OWNER, APPLICANT OR AGENT BE PRESENT AT THE HEARING. IF NO REPRESENTATIVE IS PRESENT AND THE BOARD REQUIRES ADDITIONAL INFORMATION, THEY MAY DECIDE TO POSTPONE OR DENY THE REQUEST. NOTICE OF SAID HEARING WILL BE MAILED TO THE ABOVE ADDRESS. ALL INFORMATION GIVEN MUST BE CORRECT AND LEGIBLE TO BE PROCESSED. PLEASE NOTE THAT A WRITTEN PETITION (REFER TO PAGE 2 & 3) MUST BE PROVIDED WITH THIS APPLICATION, ALONG WITH A SITE PLAN IN ORDER TO BE CONSIDERED COMPLETE. FOR FURTHER INFORMATION CONTACT THE MARION COUNTY GROWTH SERVICES.

"Meeting Needs by Exceeding Expectations"

WRITTEN PETITION FOR VARIANCE

WRITE YOUR ANSWERS IN THE SPACE PROVIDED AFTER EACH STATEMENT. PLEASE COMPLETE ALL REPLIES USING A SENTENCE FORM. A VARIANCE FROM THE TERMS OF THESE REGULATIONS SHALL NOT BE GRANTED BY THE BOARD OF ADJUSTMENT UNLESS A WRITTEN PETITION FOR A VARIANCE IS SUBMITTED JUSTIFYING THE FOLLOWING:

A. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings with the same zoning classification and land use area.

Applicant's justification:

The front setback
Requesting a reduction of 25'-0" To 20'-0" for an existing
PAC roof cover, 6' X 45' porch

B. The special conditions and circumstances do not result from the actions of the applicant.

Applicant's justification:

ORIGINAL PERMIT FOR PAN ROOF ACROSS THE FRONT OF HOME WAS ISSUED IN 2020, PERMIT # 2020052505, PERMIT WAS NEVER SENT TO ZONING FOR APPROVAL, WE WERE ISSUED THE PERMIT AND BUILT IT ACCORDING TO THE SITE PLAN THAT WAS SUBMITTED, THE FINAL INSPECTION WAS NEVER REQUESTED MAINLY BECAUSE MOST OF OUR STAFF WAS WORKING FROM HOME DUE TO COVID-19, MARION CO. MADE US RE-APPLY FOR A NEW PERMIT (#2023081962) BUT THEY WILL NOT ISSUE IT TO US UNLESS WE APPLY & RECEIVE THE VARIANCE FOR THE 5'-0" FRONT ENCROACHMENT.

C. Literal interpretation of the provisions of applicable regulations would deprive the applicant of rights commonly enjoyed by other properties with the same zoning classification and land use are under the terms of said regulations and would work unnecessary and undue hardship on the applicant.

Applicant's justification:

Granting The Variance request would not be irregular To the surrounding area This would not adversely effect any property owners

D. The Variance, if granted, is the minimum Variance that will allow the reasonable use of the land, building or structure.

Applicant's justification:

WE ARE REQUESTING A VARIANCE APPROVAL FOR A
5'-0" ENCROACHMENT TO THE FRONT PROPERTY LINE.

STRUCTURE WAS BUILT ASSUMING EVERYTHING WAS REVIEWED
AND APPROVED SINCE THE PERMIT WAS ISSUED TO US.

requesting a reduction from 25'-0" to 20'-0"

E. Granting the Variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, buildings or structures in the same zoning classification and land use area.

Applicant's justification:

THE ONLY PRIVILEGE WOULD BE THE 5'-0" FRONT
VARIANCE

FROM 25'-0" TO 20'-0"

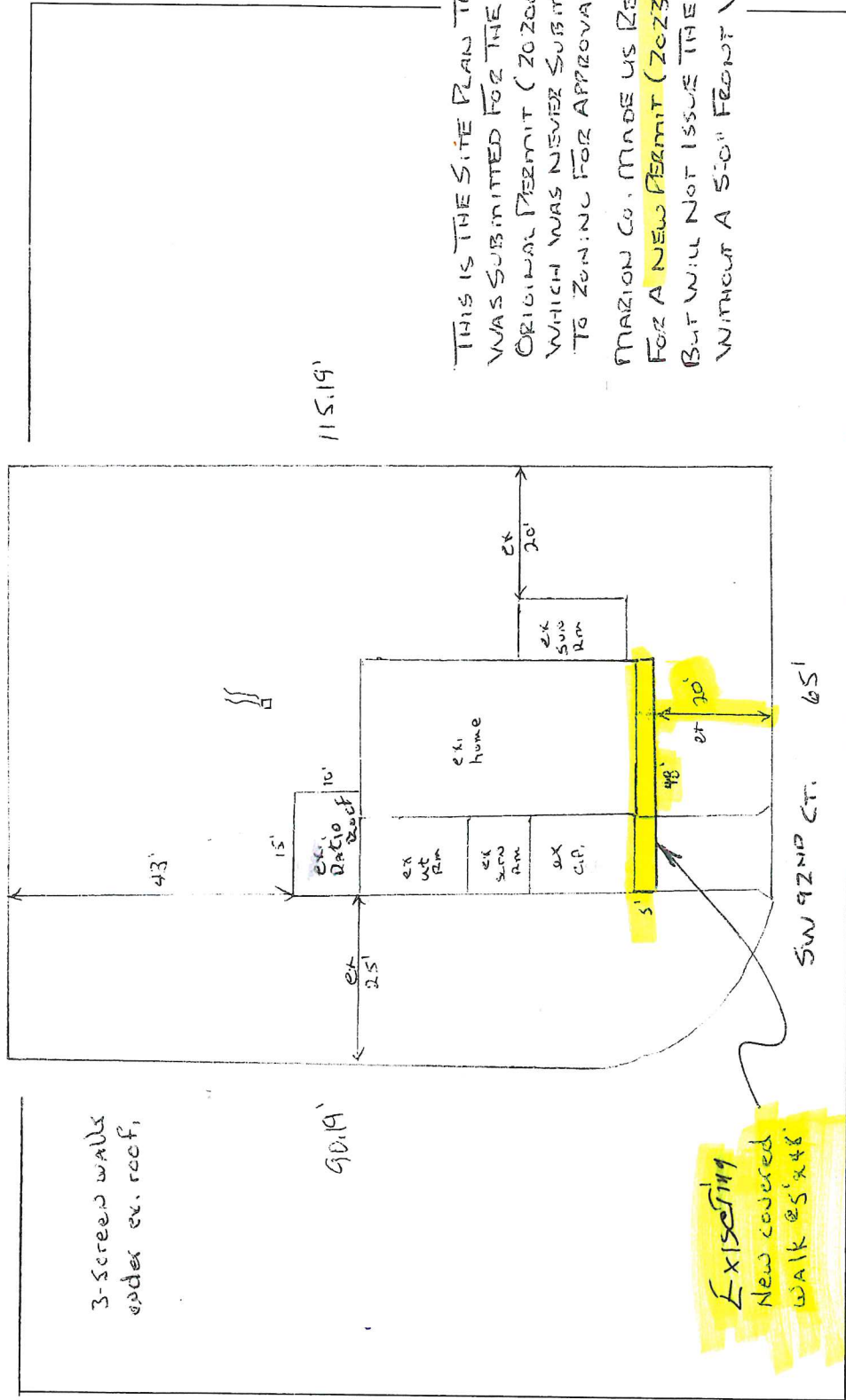
F. The granting of the Variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Applicant's justification:

IT WILL NOT EFFECT THE NEIGHBORHOOD NEGATIVELY
IN ANY WAY

SITE PLAN

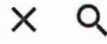
NOTICE: ALL EXISTING AND PROPOSED IMPROVEMENTS, INCLUDING LOCATION OF WELL, SEPTIC TANK, ELECTRIC POLE, STREETS AND DRIVEWAYS, AND DIMENSIONS OF PROPERTY ARE TO BE DRAWN ON THE SITE PLAN. SETBACKS FROM ALL PROPERTY LINES MUST ALSO BE SHOWN.



As the owner of the above property, I, Jessy Watson, certify that the information given above is correct to the best of my knowledge.



10350 SW 92ND CT



Show search results for 103...



Inter
Map

HR

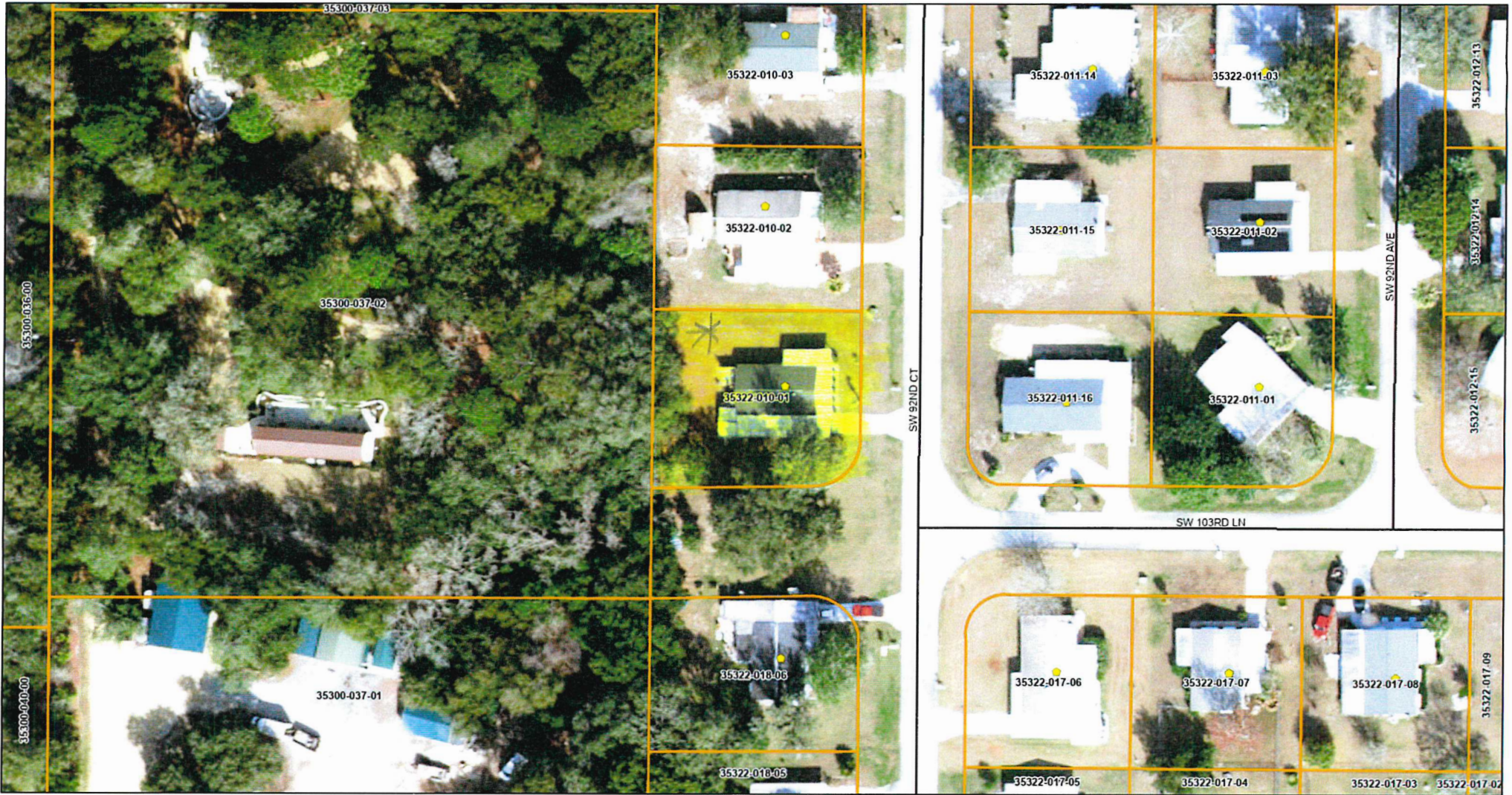
HR

LRA-1

loading...

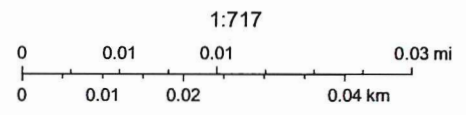


MCBCC Interactive Map - Internal



1/24/2024, 11:12:55 AM

- Parcels Labels
- Parcels
- Address Points
- Structure - Addressed
- No Address
- Marion County
- County Road Maintenance
- OCE Maintained Paved
- Streets
- Aerial2023
- Red: Band_1
- Green: Band_2
- Blue: Band_3



Marion County IT GIS Team, Marion County Property Appraiser, Esri Community Maps Contributors, Marion County Property Appraiser, FDEP, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MET/NASA, USGS, EPA, NPS,

Code Case Detail Report

CDPR4204 - Code Case Detail Report

CASE NBR: 887732

AO NBR: 646592

OLD CASE NBR
CASE TYPE: STRUCTURAL

STATUS: OPEN

INSPECTOR: ARBUCKLE, RYAN
FOLIO NBR: 35322-010-01

AO INFORMATION

OPEN DATE 5/2/2022 OPEN USER BU341EF2
COMPL NAME EXECUTIVE-EF COMPL PHONE
COMPL ADDRESS COMPL FAX

CASE INFORMATION

ADDR NBR: 123942 LOCATION: 10350 SW 92ND CT OCALA
OPEN DATE: 05/13/2022 DISPOSITION NOTICE OF VIOLATION
CLOSE DATE: DISP BY: DISP DATE:
DIRECTIONS: 200W TO PINE RUN IN TO 1ST LEFT TO 10350 SW 92 CT

CATEGORY: CON - PERMITS
PRIORITY: 0 LAST VISIT ID: 531454 ZIP: 49028

HEARING DATE: CONTACT?:

DESCRIPTION: PHYSICAL FILE ID:
PERMIT 2020052505 FOR A 10X13 SCREEN ROOM & PATIO ROOF HAS EXPIRED WITHOUT HAVING ALL REQUIRED INSPECTIONS COMPLETED. PLEASE CONTACT THE BUILDING DEPARTMENT TO RESOLVE THIS MATTER

CONTACT INFORMATION:

MORGAN JERRY L
PHONE: FAX:

TENANT INFORMATION:

MORGAN JERRY L
PHONE: FAX:

OWNER INFORMATION:

MORGAN JERRY L
JERRY L MORGAN
DARLENE M MORGAN
563 S PARHAM RD
BIRMINGHAM MI 49028 PHONE: FAX:

VIOLATOR INFORMATION:

MORGAN JERRY L
PHONE: FAX:

COMPLAINANT INFORMATION:

NAME/ADDRESS: EXECUTIVE-EF PHONE: FAX:

ACTION ORDER NOTES:

VISITS:

<u>VISIT NBR</u>	<u>INSPECTOR</u>	<u>NAME</u>	<u>SCHEDULED DATE</u>	<u>VISIT DATE</u>	<u>NBR DAYS COMP</u>
584581	BU341KN	NILSON, KAYLA	7/17/23 - CONDUCTED SITE VISIT, SCREEN ROOM DONE	07/17/2023	
531454	BU341RA	ARBUCKLE, RYAN	PERMIT 2020052505 FOR A 10X13 SCREEN ROOM & PATIO ROOF HAS EXPIRED WITHOUT HAVING ALL REQUIRED INSPECTIONS COMPLETED. PLEASE CONTACT THE BUILDING DEPARTMENT TO RESOLVE THIS MATTER	05/02/2022	
SENT FIRST NOV TO OWNER OF RECORD ON 5/13/22 WITH A COMPLY BY DATE OF 6/30/22					

LETTERS:

CASE NBR: 887732

AO NBR: 646592

OLD CASE NBR

STATUS: OPEN

INSPECTOR: ARBUCKLE.RYAN

CASE TYPE: STRUCTURAL

FOLIO NBR: 35322-010-01

<u>REF TYPE</u>	<u>LETTER NAME</u>	<u>RQST DATE</u>	<u>PRINT DATE</u>	<u>SEND DATE</u>	<u>STATUS</u>
CC	BLDG2 - 2 NOTIC	07/17/2023	07/17/2023		ACTV
CC	BLDG1 - FBC - 7'	05/13/2022			ACTV

VIOLATIONS:

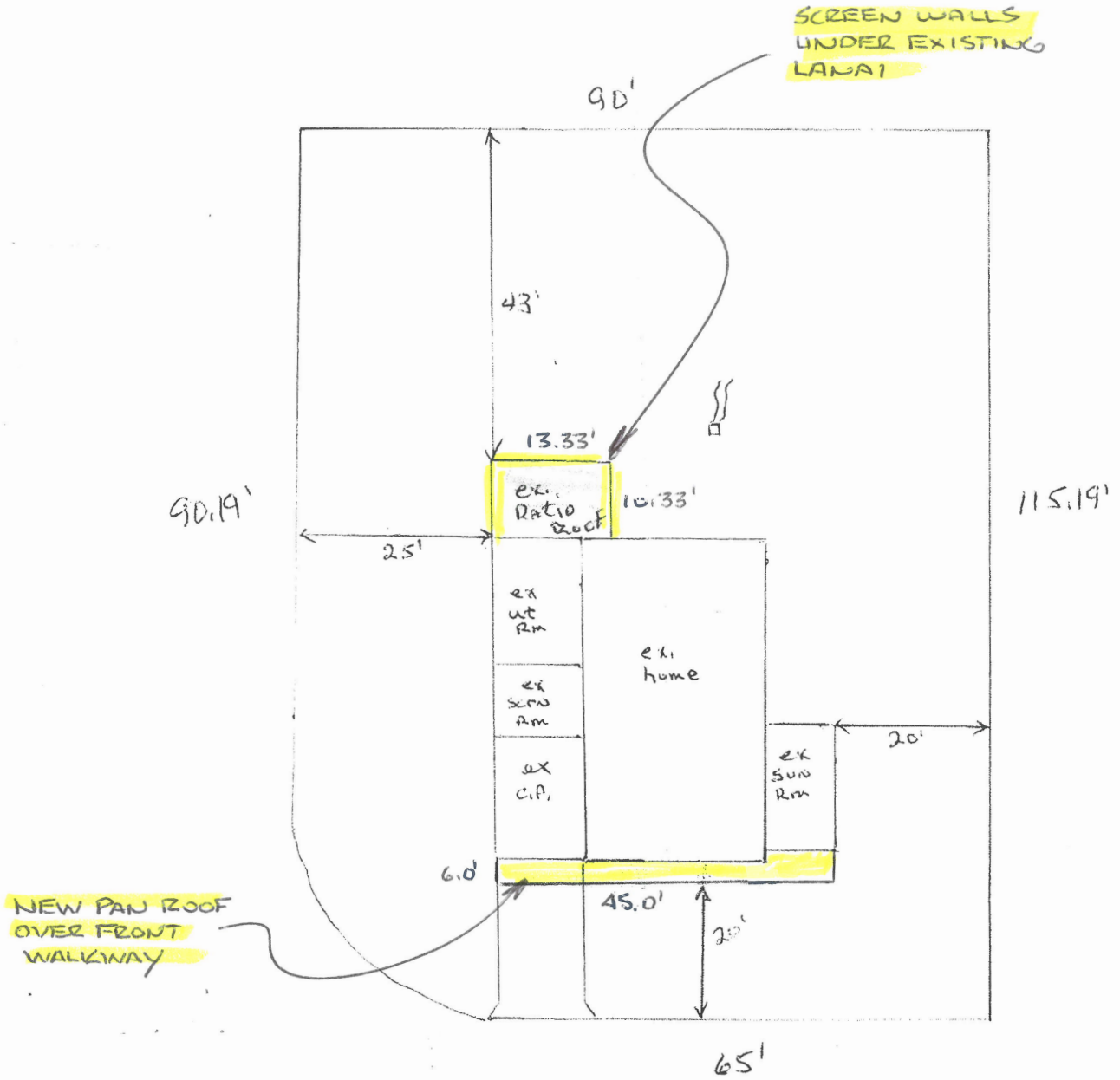
<u>STATUS</u>	<u>GROUP</u>	<u>CODE</u>	<u>VIOL. DATE</u>	<u>DESCRIPTION/REMARKS</u>
VIOLATION	HST	137	7/17/2023	WORK PERFORMED WITHOUT A BUILDING PERMIT

IMAGES:

<u>IMAGE DATE</u>	<u>IMAGE DESCRIPTION</u>
7/17/2023	

NOTES:

ATTACHMENT B.



10350 SW 92nd Ct

1" = 20'

Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2024 Property Record Card
Real Estate

35322-010-01 ✓

[GOOGLE Street View](#)

Prime Key: 1752841

[Beta MAP IT+](#)

Current as of 1/23/2024

Property Information

MORGAN JERRY L ✓
 MORGAN DARLENE M ✓
 563 S PARHAM RD
 BRONSON MI 49028

Taxes / Assessments:

Map ID: 114

Millage: 9002 - UNINCORPORATED

M.S.T.U.

PC: 01

Acres: .32

✓ Situs: 10350 SW 92ND CT OCALA

2023 Certified Value

Land Just Value	\$42,000		
Buildings	\$90,285		
Miscellaneous	\$1,579		
Total Just Value	\$133,864		
Total Assessed Value	\$81,393	Impact	(52,471)
Exemptions	\$0	<u>Ex Codes:</u>	
Total Taxable	\$81,393		
School Taxable	\$133,864		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2023	\$42,000	\$90,285	\$1,579	\$133,864	\$81,393	\$0	\$81,393
2022	\$36,250	\$67,219	\$1,248	\$104,717	\$73,994	\$0	\$73,994
2021	\$29,000	\$48,820	\$889	\$78,709	\$65,075	\$0	\$65,075

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
5842/0989	04/2013	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$49,000
5314/1110	02/2010	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$45,000
3692/0637	04/2004	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$52,000
3151/0243	04/2002	71 DTH CER	0	U	I	\$100
2017/0196	03/1994	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$47,900
1518/1669	08/1988	94 ROAD AB	0	U	I	\$100
1170/0115	07/1983	07 WARRANTY	0	Q	I	\$40,700

Property Description

SEC 26 TWP 16 RGE 20 ✓

PLAT BOOK V PAGE 045 ✓
PINE RUN ESTATES II ✓
BLK J LOT 1 & N 30 FT OF SW 103RD LN
PER 1518-1669(RESOLUTION TO CLOSE ROAD)

Parent Parcel: 35322-000-00

Land Data - Warning: Verify Zoning

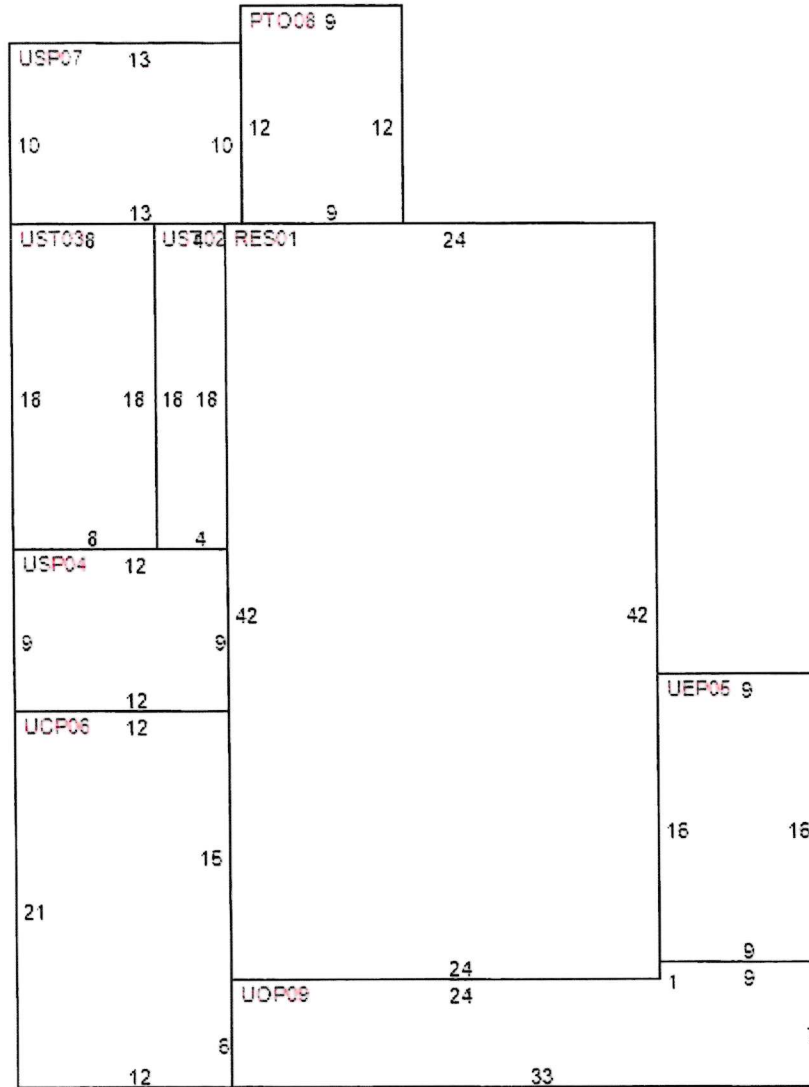
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		120.0	115.0	R2 ✓	1.00	LT						
Neighborhood 8010 - PINE RUN ESTATES												
Mkt: 9 70												

Traverse

Building 1 of 1

- RES01=L24D42R24U42.L24
- UST02=L4D18R4U18.L4
- UST03=L8D18R8U18.R4D18
- USP04=L12D9R12U9.R24D7
- UEP05=R9D16L9U16.D17L24
- UCP06=U15L12D21R12U6.U42R1
- USP07=U10L13D10R13.
- PTO08=U12R9D12L9.L1D42

UOP09=D6R33U7L9D1L24.



Building Characteristics

Improvement 1F - SFR- 01 FAMILY RESID
Effective Age 5 - 20-24 YRS
Condition 1
Quality Grade 400 - FAIR
Inspected on 4/8/2022 by 118

Year Built 1983
Physical Deterioration 0%
Obsolescence: Functional 0%
Obsolescence: Locational 0%
Architecture 0 - STANDARD SFR
Base Perimeter 132

Type ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES 0128	- SF ALUM SIDING	1.00	1984	N	0 %	0 %	1,008	1,008
UST 0228	- SF ALUM SIDING	1.00	1984	N	0 %	0 %	72	72
UST 0328	- SF ALUM SIDING	1.00	1984	N	0 %	0 %	144	144
USP 0401	- NO EXTERIOR	1.00	1984	N	0 %	0 %	108	108
UEP 0528	- SF ALUM SIDING	1.00	1987	N	0 %	0 %	144	144
UCP 0601	- NO EXTERIOR	1.00	2000	N	0 %	0 %	252	252
USP 0701	- NO EXTERIOR	1.00	2000	N	0 %	0 %	130	130
PTO 0801	- NO EXTERIOR	1.00	2021	N	0 %	0 %	108	108
UOP 0901	- NO EXTERIOR	1.00	2021	N	0 %	0 %	207	207

Section: 1

Roof Style: 10 GABLE	Floor Finish: 24 CARPET	Bedrooms: 2	Blt-In Kitchen: Y
Roof Cover: 08 FBRGLASS SHNGL	Wall Finish: 16 DRYWALL-PAINT	4 Fixture Baths: 0	Dishwasher: Y
Heat Meth 1: 22 DUCTED FHA	Heat Fuel 1: 10 ELECTRIC	3 Fixture Baths: 2	Garbage Disposal: N
Heat Meth 2: 00	Heat Fuel 2: 00	2 Fixture Baths: 0	Garbage Compactor: N
Foundation: 5 CONCRETE SLAB	Fireplaces: 0	Extra Fixtures: 2	Intercom: N
A/C: Y			Vacuum: N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
190 SEPTIC 1-5 BTH	1.00	UT	99	1983	1	0.0	0.0
159 PAV CONCRETE	642.00	SF	20	1983	3	0.0	0.0
116 FENCE VINYL	12.00	LF	99	2021	4	0.0	0.0

Appraiser Notes

EST INT

Planning and Building

** Permit Search **

Permit Number	Date Issued	Date Completed	Description
2020052505	6/4/2020	1/1/1900	10X13 SCREEN ROOM & PATIO ROOF
2018042101	6/19/2018	6/19/2018	REPLACE WOOD PATIO W/ 11X15 ALUMINUM PATIO ROOF
MA01350	4/1/1987	6/1/1987	FST
MC00416	2/1/1986	1/1/1900	ADD FEP
MC01594	5/1/1983	7/1/1983	NEW SFR



Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser - Beta Map It+

Attachment D

Updated every 24 hrs

Parcel Info
1 feature selected.
35300-037-00
Dock Report Measure
Comparable Sales

PARCEL: 35322-010-01
Click Here To View

PRC: (<https://www.pa.marion.fl.us/PRC?key=1752841&YR=2023&mName=>

PC: 01

NAME: MORGAN JERRY L
ADD_1: MORGAN DARLENE M
ADD_2: 563 S PARHAM RD
ADD_3: BRONSON MI 49028
ADD_4:

ATTACHMENT E



Zoning Classification

A-1 General Agriculture

R-2 One-and Two-Family Dwelling

Parcels

Attachment E

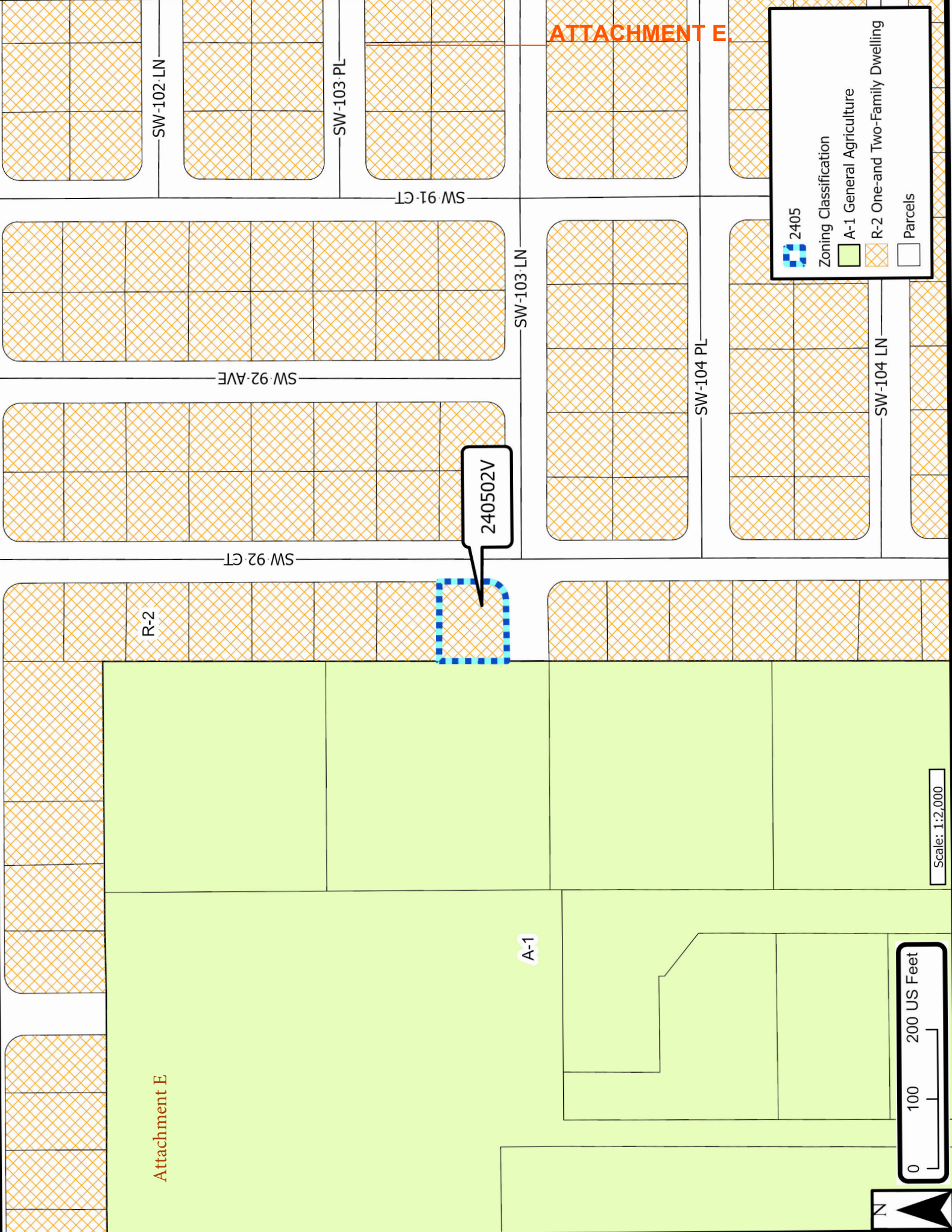
A-1

R-2

240502V

Scale: 1:2,000

0 100 200 US Feet



R-18.50
DS-343
361.50



DAVID R ELLSPERMANN CLERK OF COURT MARION COUNTY
DATE: 04/12/2013 10:52:32 AM
FILE #: 2013037588 OR BK 05842 PGS 0989-0990

REC 18.50 DEED DS 343.00

JS

This Instrument Prepared by & return to:

Name: Erica Jones, an employee of
Brick City Title Insurance Agency, Inc.
Address: 8750 SW State Road 200, Suite 102
Ocala, FL 34481
13-1166
Parcel I.D. #: 35322-010-01

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 9th day of April, A.D. 2013, by **PAUL W. SNOW** and **CAROLE J. BAKER, BOTH UNMARRIED INDIVIDUALS**, hereinafter called the grantors, to **JERRY L. MORGAN** and **DARLENE M. MORGAN**, whose post office address is **563 S. Parham Rd., Bronson, MI 49028**, hereinafter called the grantees:

(Wherever used herein the terms "grantors" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Marion County, State of Florida**, viz:

Lot 1, Block J of PINE RUN ESTATES II, as per plat thereof recorded in Plat Book V, Pages 45 and 46, of the Public Records of Marion County, Florida, TOGETHER WITH the North 1/2 of SW 103rd Lane, lying adjacent to Lot 1, Block J, of PINE RUN ESTATES II, as per plat thereof recorded in Plat Book V, Pages 45 and 46, of the Public Records of Marion County, Florida, vacated and abandoned in Resolution 87-R-333, recorded in Official Records Book 1518, Page 1669, of the Public Records of Marion County, Florida.

SUBJECT TO TAXES FOR THE YEAR 2013 AND SUBSEQUENT YEARS, RESTRICTIONS, RESERVATIONS, COVENANTS AND EASEMENTS OF RECORD, IF ANY.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantors hereby covenant with said grantees that they are lawfully seized of said land in fee simple; that they have good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2012.

In Witness Whereof, the said grantors have signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

[Handwritten Signature]
Witness Signature

Kevin H. Lyons
Printed Name

[Handwritten Signature]
Witness Signature

Erica Jones
Printed Name

Paul W. Snow L.S.
Paul W. Snow
Address: 532 Box Addition
Bedford, IN 47421

Carole J. Baker L.S.
Carole J. Baker
Address:

STATE OF FLORIDA
COUNTY OF MARION

The foregoing instrument was acknowledged before me this 9th day of April, 2013, by Paul W. Snow and Carole J. Baker, who are known to me or who have produced ID as identification.

[Handwritten Signature]
Signature of Notary
My commission expires _____

