

April 8, 2024

PROJECT NAME: GENERAL RV OCALA (REVISION TO AR#21653)

PROJECT NUMBER: 2017100017

APPLICATION: MAJOR SITE PLAN REVISION #28464

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Owner needs to sign cover before approval.

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan  
STATUS OF REVIEW: INFO  
REMARKS: Will there be any new signage?
- 3 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS:
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 2/1/24 - add waivers if requested in the future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing  
STATUS OF REVIEW: INFO  
REMARKS: Stormwater improvements must be in place to support each phase of development at time of phase completion.
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 8 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 9 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.



**Marion County  
Board of County Commissioners**

#28464

Office of the County Engineer

Revision to AR#21653

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW PLAN APPLICATION**

Date: 03/23/2022

**A. PROJECT INFORMATION:**

Project Name: Ocala Repair Center  
Parcel Number(s): 41200-083-01  
Section 12 Township 17 Range 21 Land Use \_\_\_\_\_ Zoning Classification PUD  
Commercial  Residential  Industrial  Institutional  Mixed Use  Other \_\_\_\_\_  
Type of Plan: MAJOR SITE PLAN  
Property Acreage 7.49 Number of Lots 1 Miles of Roads \_\_\_\_\_  
Location of Property with Crossroads 13150 SW 16th Ave, Ocala, NW of SE 135th & SW 16th Ave.  
Additional information regarding this submittal: Modification supporting the addition of a repair center and supporting site infrastructure within the adjacent areas of Phases III, IV, & V<sub>N</sub>.

**B. CONTACT INFORMATION** (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

**Engineer:**  
Firm Name: McNeal Engineering, Inc. Contact Name: Christopher S. McNeal  
Mailing Address: 15957 N. Florida Avenue City: Lutz State: FL Zip Code: 33549  
Phone # (813)968-1081 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: permitting@mcnealengineering.com

**Surveyor:**  
Firm Name: McNeal Engineering, Inc. Contact Name: Christopher S. McNeal  
Mailing Address: 15957 N. Florida Avenue City: Lutz State: FL Zip Code: 33549  
Phone # (813)968-1081 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: permitting@mcnealengineering.com

**Property Owner:**  
Owner: Ocala North, LLC Contact Name: Robert Baidas  
Mailing Address: 25000 Assembly Park Drive City: Wixom State: MI Zip Code: 48393  
Phone # (248)866-5096 Alternate Phone # \_\_\_\_\_  
Email address: rob@generalrv.com

**Developer:**  
Developer: Ocala North, LLC Contact Name: Robert Baidas  
Mailing Address: 25000 Assembly Park Drive City: Wixom State: MI Zip Code: 48393  
Phone # (248)866-5096 Alternate Phone # \_\_\_\_\_  
Email address: rob@generalrv.com

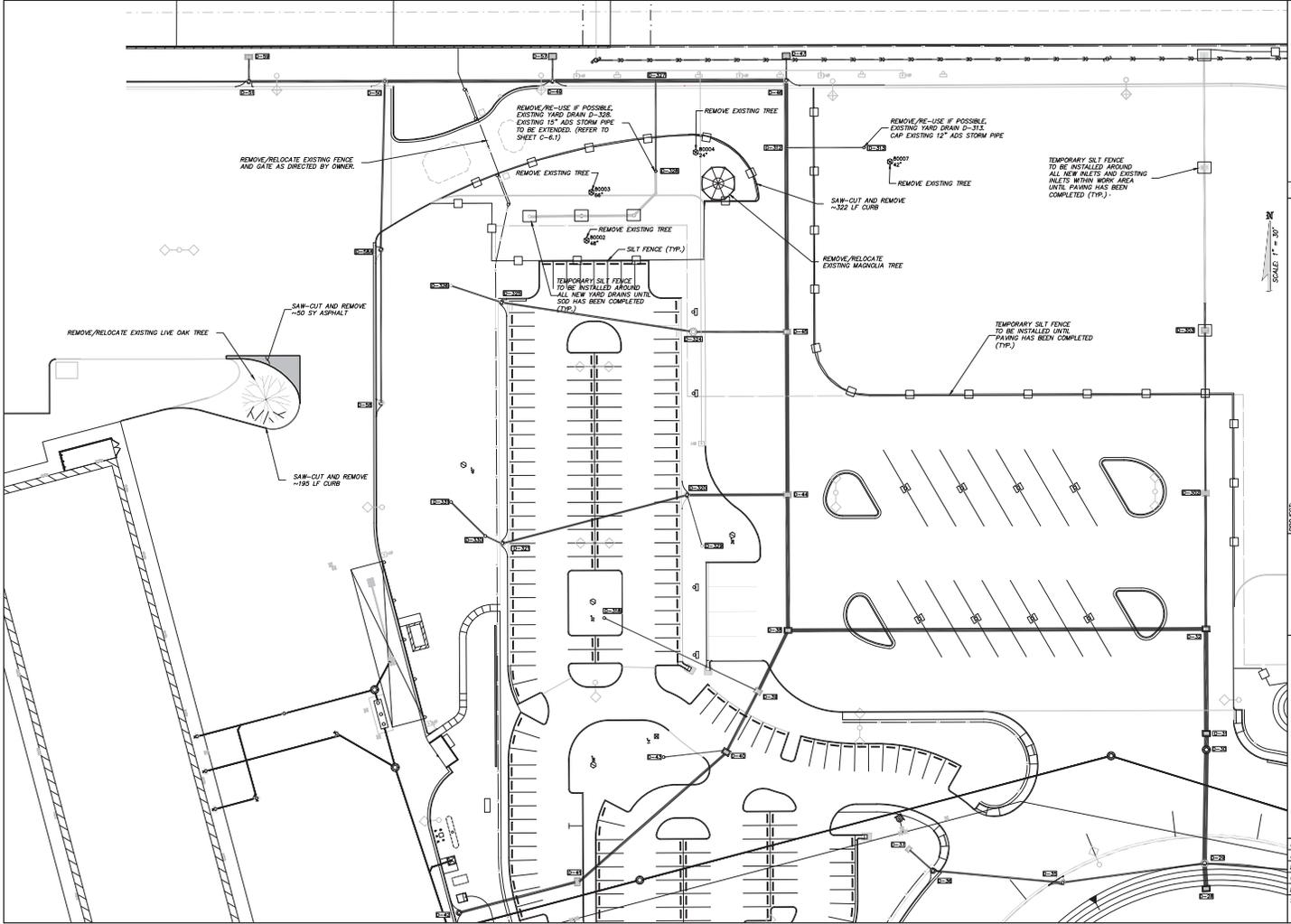
Revised 6/2021

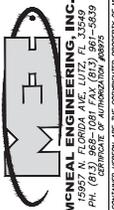
CLEAR FORM



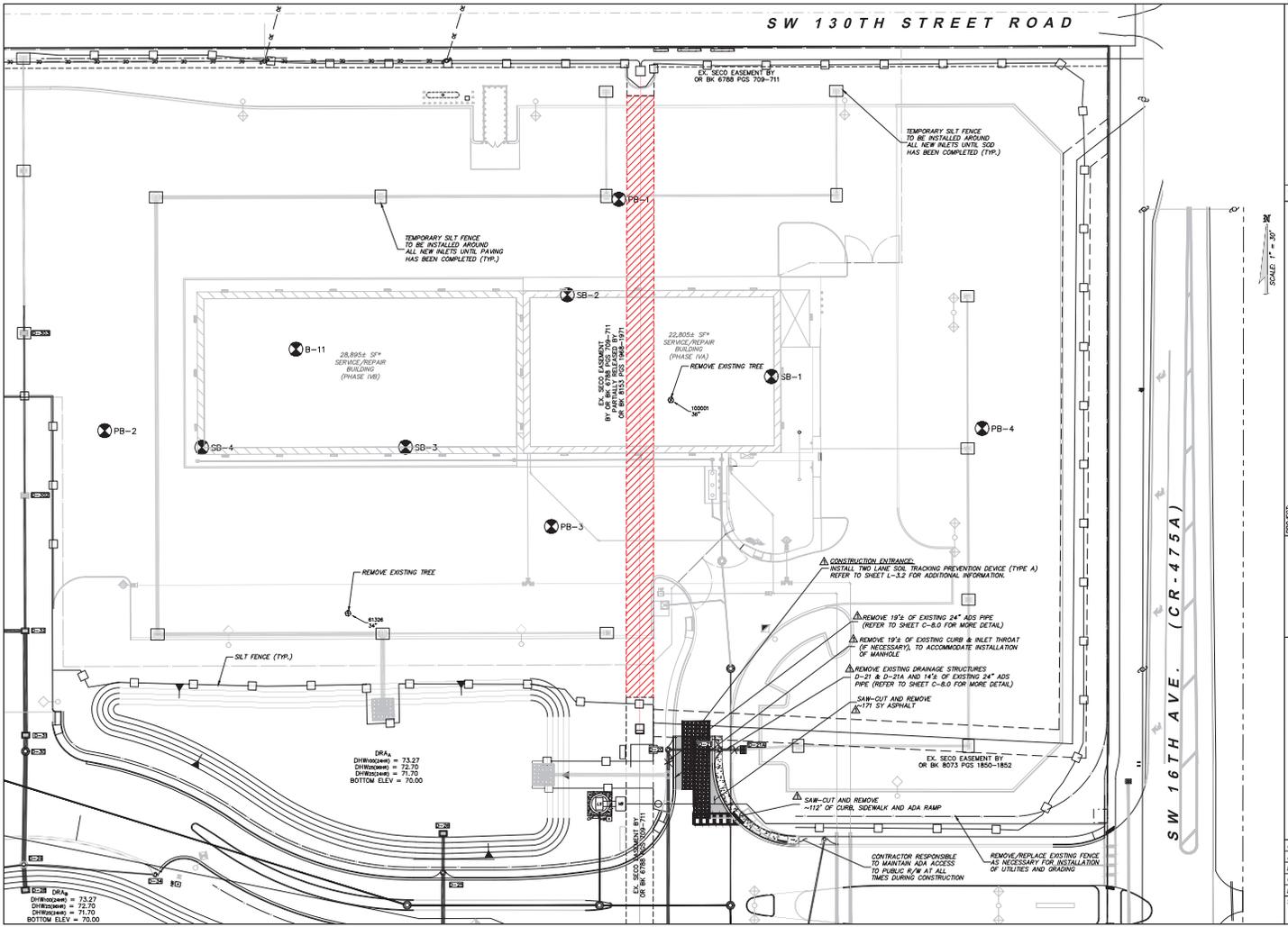






NO.	REVISION & DATE
PROJECT: MAJOR SITE PLANS FOR <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL	
SHEET TITLE: <b>DEMOLITION PLAN</b> (SHEET 1 OF 2)	
PREPARED FOR:	GENERAL RV
	
<b>MCNEAL ENGINEERING, INC.</b> 15927 N. FLORIDA AVE, LUTZ, FL 33549 P.O. BOX 1000, LUTZ, FL 33549 P.O. BOX 1000, LUTZ, FL 33549 (813) 853-1000 WWW.MCNEAL-ENGINEERING.COM	
JOB NO.	21-116
ACAD FILE	FCP
DRAWN BY:	MSF
CHECKED BY:	CSM
DATE:	24.03.22
SHEET:	<b>C-3.1</b>

THE DESIGN AND DRAWINGS CONTAINED HEREIN ARE THE COPYRIGHTED PROPERTY OF MCNEAL ENGINEERING, INC. AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN CONSENT OF THE ENGINEER.



**SW 130TH STREET ROAD**

**SW 16TH AVE. (CR-475A)**

SCALE: 1" = 50'

<p>PROJECT:</p> <p><b>MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL</b></p> <p>PREPARED FOR:</p> <p><b>GENERAL RV</b></p>	<p>SHEET TITLE:</p> <p><b>DEMOLITION PLAN (SHEET 2 OF 2)</b></p>
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DRAs  
 DTHW04040 = 73.27  
 DTHW04040 = 72.70  
 DTHW04040 = 71.70  
 BOTTOM ELEV = 70.00

EX. SECO EASEMENT BY  
OR BK 6768 PGS 709-711

EX. SECO EASEMENT BY  
OR BK 8073 PGS 1850-1852

DRAs  
 DTHW04040 = 73.27  
 DTHW04040 = 72.70  
 DTHW04040 = 71.70  
 BOTTOM ELEV = 70.00

CONTRACTOR RESPONSIBLE  
TO MAINTAIN ADA ACCESS  
TO PUBLIC R/W AT ALL  
TIMES DURING CONSTRUCTION

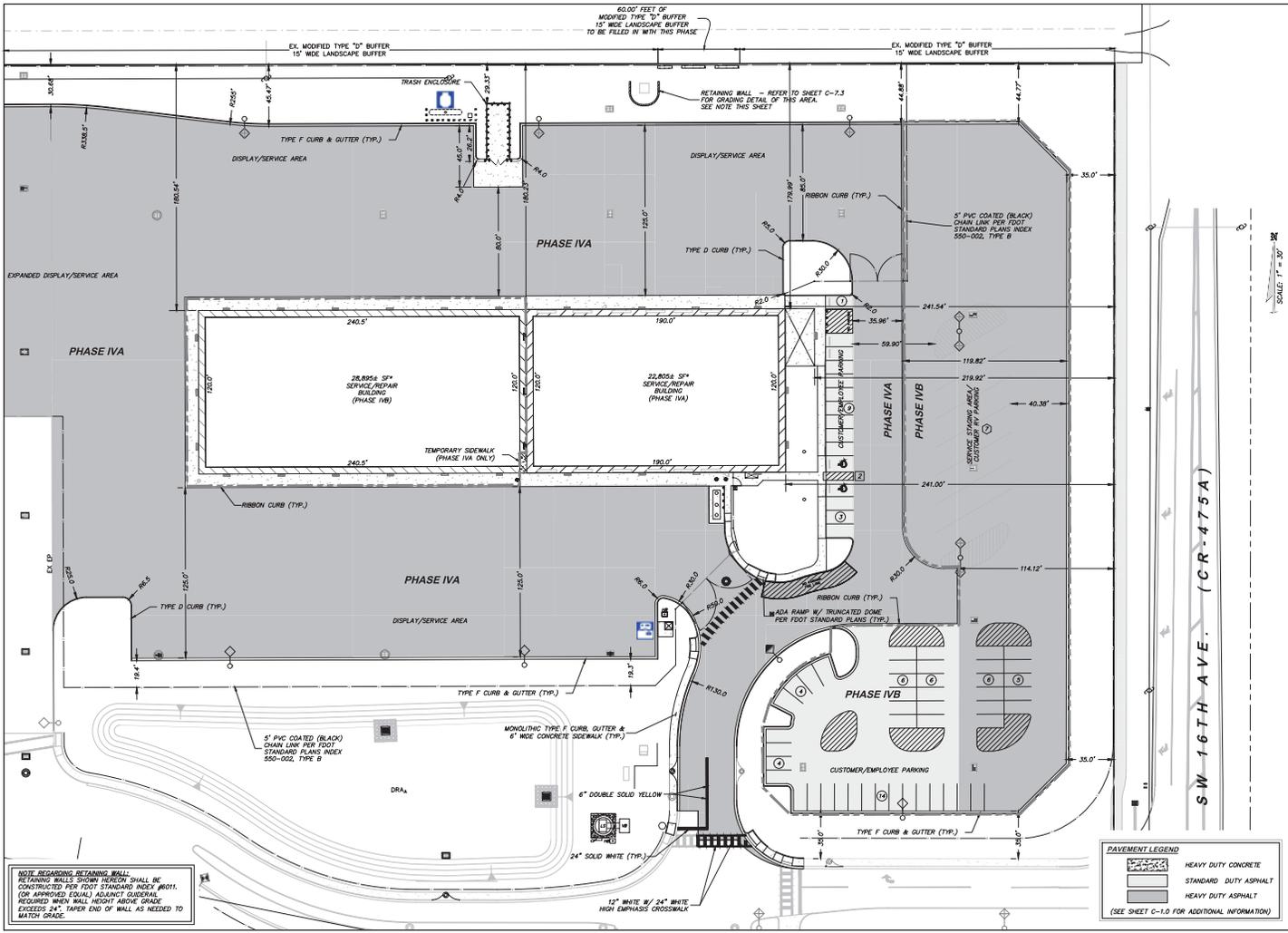
REMOVE/REPLACE EXISTING FENCE  
AS NECESSARY FOR INSTALLATION  
OF UTILITIES AND GRADING

**MCNEAL ENGINEERING, INC.**  
 15927 N. FLORIDA AVE. LUTZ, FL 33549  
 P.O. BOX 10000, LUTZ, FL 33549  
 (407) 851-1000

JOB NO. 21-116	FCP
ACAD FILE:	MSF
DRAWN BY:	CSM
CHECKED BY:	CSM
DATE: 24.03.22	
SHEET:	<b>C-3.2</b>

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NOTE REGARDING RETAINING WALL:  
 RETAINING WALLS FROM SURVEY SHALL BE  
 CONSTRUCTED PER FOOT STANDARD INDEX #8011  
 (OR APPROVED EQUAL) ADJACENT SIDEWALK  
 REQUIRED WHEN WALL HEIGHT ABOVE DRIVE  
 EXCEEDS 24". TAPER END OF WALL AS NEEDED TO  
 MATCH GRADE.

PAVEMENT LEGEND	
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	STANDARD DUTY ASPHALT
[Symbol]	HEAVY DUTY ASPHALT

(SEE SHEET C-1.0 FOR ADDITIONAL INFORMATION)

SW 16TH AVE. (CR-475A)

SCALE: 1" = 30'

NO.	REVISION & DATE

PROJECT: MAJOR SITE PLANS FOR  
**GENERAL RV OCALA - PHASE IV**  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

SHEET TITLE: DIMENSION CONTROL PLAN  
 (SHEET 2 OF 2)

PREPARED FOR: GENERAL RV

PREPARED BY: [Signature]

DATE: 24.03.22

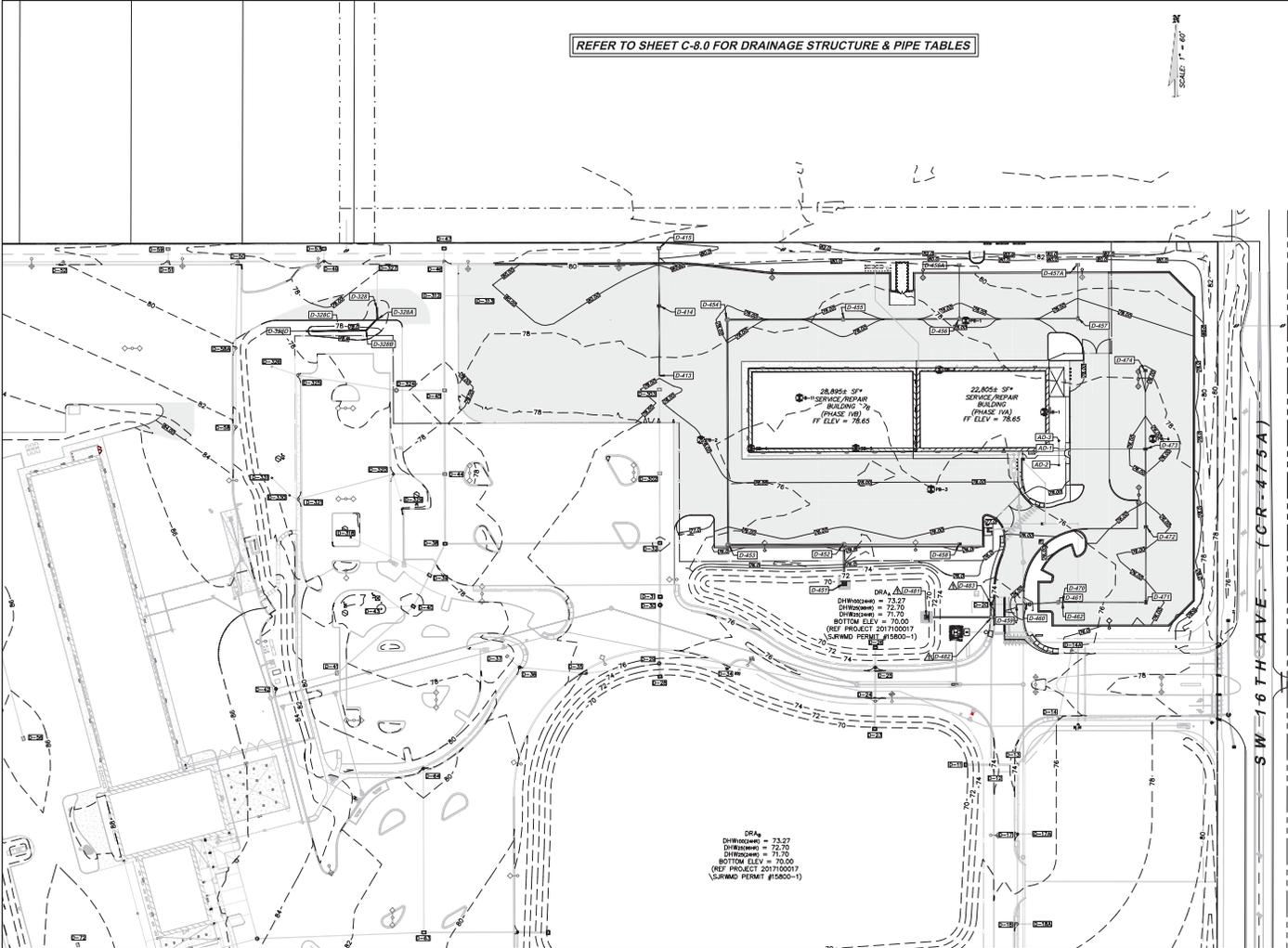
SHEET: **C-4.2**

McNEAL ENGINEERING, INC.  
 15927 N. FLORIDA AVE. SUITE 300  
 FT. LAUDERDALE, FL 33309  
 (954) 341-1111  
 LICENSE NO. 13000  
 LICENSE TYPE: PROFESSIONAL ENGINEER

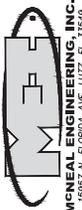
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REFER TO SHEET C-8.0 FOR DRAINAGE STRUCTURE & PIPE TABLES

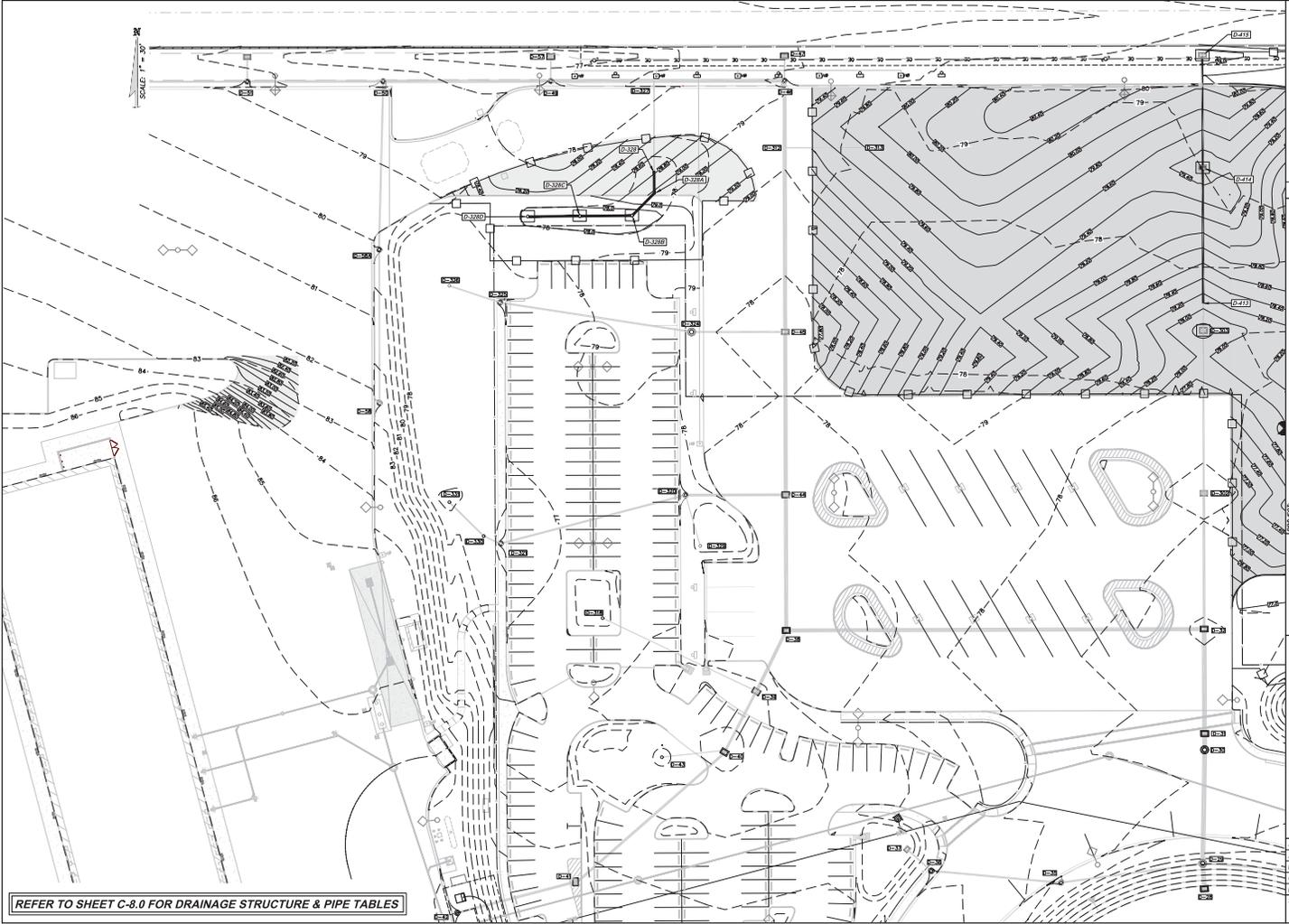
SCALE: 1" = 60'



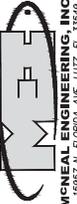
DRAIN  
 D11000000 = 73.27  
 D11000000 = 72.70  
 D11000000 = 71.70  
 BOTTOM ELEV = 70.00  
 (REF PROJECT 2017100017  
 SURFWD PERMIT #15800-1)

PROJECT: MAJOR SITE PLANS FOR <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL	
PREPARED FOR: GENERAL RV	
SHEET TITLE: MASTER DRAINAGE PLAN	
	
MCNEAL ENGINEERING, INC. 15927 N. FLORIDA AVE. LUTZ, FL 33549 P.O. BOX 10000, LUTZ, FL 33549 (813) 851-1000	
JOB NO.: 21-116	ACAD FILE: FCP
DRAWN BY: MSF	CHECK BY: CM
DATE: 24.03.22	SHEET: <b>C-5.0</b>

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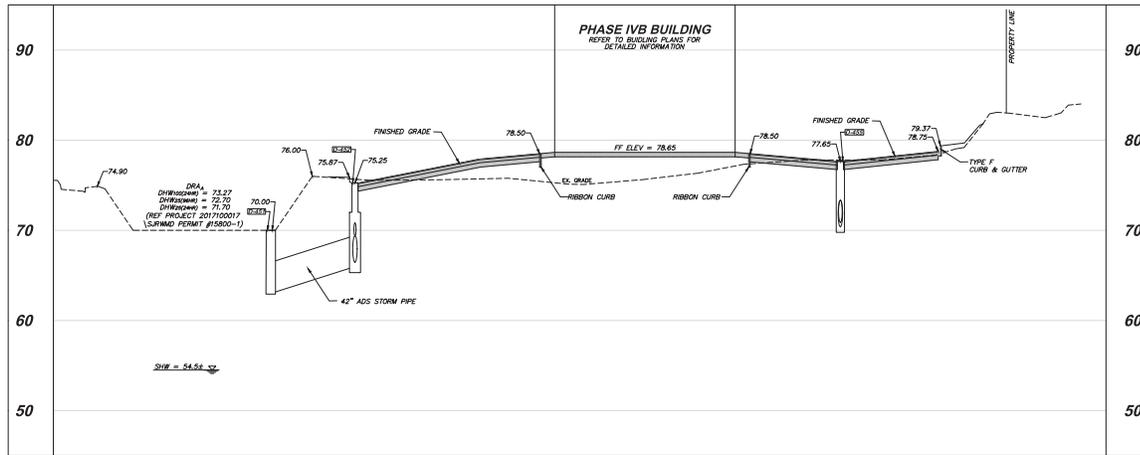


REFER TO SHEET C-8.0 FOR DRAINAGE STRUCTURE & PIPE TABLES

 <p><b>MCNEAL ENGINEERING, INC.</b> 15927 N. FLORIDA AVE. SUITE 100 P.O. BOX 100 LUTZ, FLORIDA 33549 PH: (813) 851-1111 WWW.MCNEAL-ENG.COM</p>	<p>PROJECT: MAJOR SITE PLANS FOR <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL</p>	<p>DATE: 24.03.22</p>
	<p>PREPARED FOR: <b>GENERAL RV</b></p>	<p>DATE: 24.03.22</p>
<p>SHEET TITLE: <b>GRADING &amp; DRAINAGE PLAN</b> (SHEET 1 OF 2)</p>		<p>DATE: 24.03.22</p>
<p>JOB NO. 21-116</p>		<p>DATE: 24.03.22</p>
<p>ACAD FILE: PDP</p>		<p>DATE: 24.03.22</p>
<p>DRAWN BY: MSF</p>		<p>DATE: 24.03.22</p>
<p>CHECKED BY: CSW</p>		<p>DATE: 24.03.22</p>
<p>DATE: 24.03.22</p>		<p>DATE: 24.03.22</p>
<p>SHEET: <b>C-6.1</b></p>		<p>DATE: 24.03.22</p>

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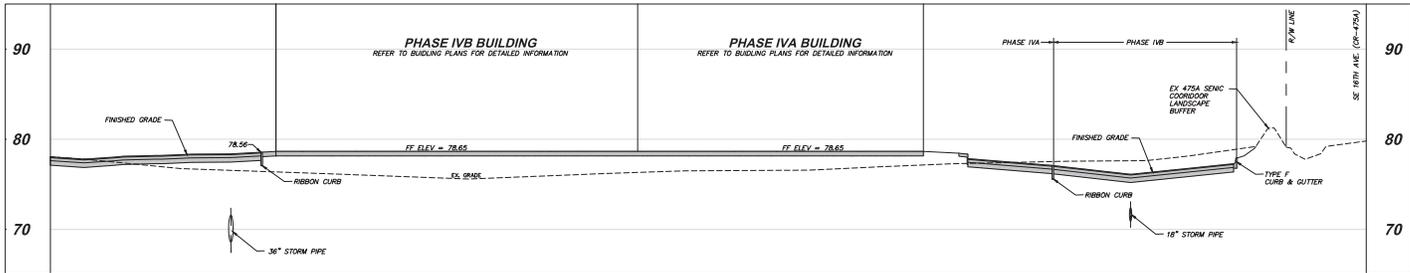
**NOTES REGARDING LIMEPOCK:**  
 1. LIMEPOCK NOT ENCOUNTERED WITHIN 20' OF EXISTING GRADE. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.  
 2. IF LIMESTONE IS ENCOUNTERED DURING THE EXCAVATION/CONSTRUCTION OF THE STORMWATER POND, THREE FEET OF OVER-EXCAVATION IS REQUIRED ON THE SIDE BANKS AND BOTTOM OF THE POND.  
 3. CONTRACTOR SHALL ABIDE BY ALL RECOMMENDATIONS OUTLINED WITHIN ANTICUS ENGINEERING'S GEOTECHNICAL REPORT DATED OCTOBER 31, 2017 (ANTICUS PROJECT NO. 01-3493-17) & MEMORANDUM DATED DECEMBER 17, 2017 (ANTICUS PROJECT NO. 01-3493-2-17).

**SECTION B**  
 SCALE: 1" = 30' HORIZ.  
 1" = 5' VERT.  
 REFER TO SHEET C-4.2 FOR PLAN VIEW OF SECTION LOCATION

REFER TO SHEET C-14.0 FOR TYPICAL COVER CLASSIFICATION/DEPRESSION REMEDIATION DETAIL

**POND SINKHOLE EMERGENCY RESPONSE:**

1. SECURE AREA USING GENERAL SHIELDING AND BARRIERS FOR MANUAL OR AUTOMATIC TRAFFIC CONTROL DEVICES (MUTIS) GUARDED AND HOPE OR TAPE BETWEEN BARRIAGES FOR SAFETY OF THE GENERAL PUBLIC AS NECESSARY (THIS INCLUDES BUILDING AND/OR PARKING AREAS). IF NECESSARY, INVOLVE LOCAL EMERGENCY MANAGEMENT TO ASSIST.
2. WHERE PARKING AREAS OR BUILDING AREAS HAVE BEEN IMPACTED, BUILDING AND/OR VEHICLES SHOULD BE VACATED UNTIL SUCH TIME AS A GEOTECHNICAL ENGINEER OR OTHER QUALIFIED PROFESSIONAL ENGINEER HAS EVALUATED THE SUBSIDIENCE AND PROVIDED PROFESSIONAL OPINION REGARDING THE SAFETY OF THE STRUCTURE/PARKING AREAS.
3. IF POSSIBLE, SHORING DEPRESSION WITH SOIL CONSISTING OF BEST SAND TYPES, SAND WITH SILT (70-80), SILTY SAND (SM), SAND WITH CLAY (SC-SC) SHALL BE CLASSIFIED IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM) UNTIL SUCH TIME AS AN ENGINEER EVALUATES THE DEPRESSION AND PROVIDES REMEDIATION RECOMMENDATIONS AS NECESSARY. TO THE EXTENT FEASIBLE, CONSIDERATION MUST BE GIVEN TO USING MATERIAL SIMILAR TO THE EXISTING SOIL PROFILE. THE BACKFILL SHALL BE PERFORMED FROM THE DIRECTION OF AN ENGINEER AND THE BACKFILL SHOULD BE MOUNDING FROM CENTER AN APPROXIMATE 10% SLOPE, OR TO THE EXTENT NOTED BY THE ENGINEER TO ALLOW FOR STABILIZATION OF THE DEPRESSION.
4. AFTER BACKFILLING AND UNTIL AN ENGINEER HAS COMPLETED AN EVALUATION OF THE DEPRESSION AND REMEDIATION HAS BEEN COMPLETED, AS RECOMMENDED BY THE ENGINEER, PERIODIC MONITORING OF THE AREA SHALL BE PERFORMED ON A WEEKLY BASIS AND AFTER EACH RAIN EVENT. MONITORING SHOULD INCLUDE CHANGES IN SIZE AND OR SETTLEMENT OF THE AREA AND NOTIFICATION OF ANY CHANGES SHOULD BE MADE TO THE ENGINEER.



**SECTION A**  
 SCALE: 1" = 30' HORIZ.  
 1" = 5' VERT.  
 REFER TO SHEET C-4.2 FOR PLAN VIEW OF SECTION LOCATION

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

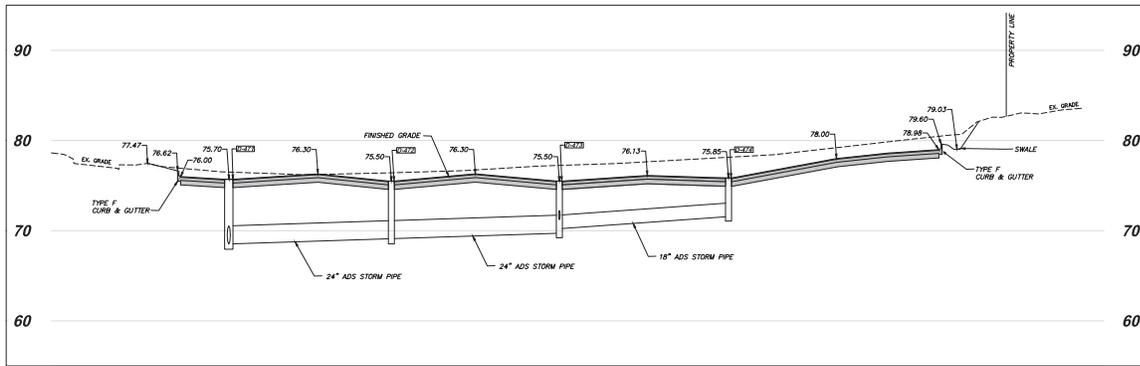
SECTION: SECTIONS (SHEET 1 OF 2)

DATE: 24.03.22

SHEET: C-6.3

MCNEAL ENGINEERING, INC.  
 15927 N. FLORIDA AVE. SUITE 100  
 FT. LAUDERDALE, FL 33309  
 (954) 341-1111

JOB NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHECK BY: CSM  
 DATE: 24.03.22  
 SHEET: C-6.3



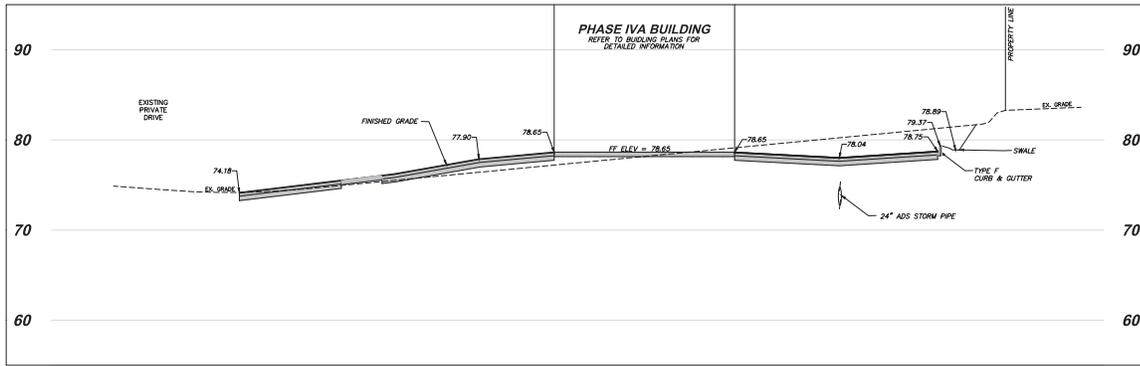
**SECTION D**  
 SCALE: 1" = 30' HORIZ.  
 1" = 5' VERT.  
 REFER TO SHEET C-6.2 FOR  
 PLAN VIEW OF SECTION LOCATION

**NOTES REGARDING LIME ROCK:**  
 1. LIME ROCK NOT ENCOUNTERED WITHIN 20' OF EXISTING GRADE. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.  
 2. IF LIMESTONE IS ENCOUNTERED DURING THE EXCAVATION/CONSTRUCTION OF THE STORMWATER POND, THREE FEET OF OVER-EXCAVATION IS REQUIRED ON THE SIDE BANKS AND BOTTOM OF THE POND.  
 3. CONTRACTOR SHALL ABIDE BY ALL RECOMMENDATIONS OUTLINED WITHIN ANTICUS ENGINEERING'S GEOTECHNICAL REPORT DATED OCTOBER 31, 2017 (ANTICUS PROJECT NO. 01-3483-1.7) & MEMORANDUM DATED DECEMBER 17, 2017 (ANTICUS PROJECT NO. 01-3483-2.17).

REFER TO SHEET C-14.0 FOR TYPICAL COVER  
 COLLAPSE SINKHOLE/DEPRESSION REPAIR DETAIL

**POND SINKHOLE EMERGENCY RESPONSE:**

1. SINKHOLE AREA USING GENERAL SPACING AND BARRICADE PER MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTTS) GUIDELINES AND HOPE OR TAPE BETWEEN BARRICADES FOR SAFETY OF THE GENERAL PUBLIC AS NECESSARY (THIS INCLUDES BUILDING AND/OR PARKING AREAS). IF NECESSARY, INVOLVE LOCAL EMERGENCY MANAGEMENT TO ASSIST.
2. WHERE PARKING AREAS OR BUILDING AREAS HAVE BEEN IMPACTED, BUILDING AND/OR VEHICLES SHOULD BE VACATED UNTIL SUCH TIME AS A GEOTECHNICAL ENGINEER OR OTHER QUALIFIED PROFESSIONAL ENGINEER HAS EVALUATED THE SUBSISTENCE AND PROVIDED PROFESSIONAL OPINIONS REGARDING THE SAFETY OF THE STRUCTURE/PARKING AREAS.
3. IF POSSIBLE, BACKFILL DEPRESSION WITH SOIL CONSISTING OF BEST SAND (S), SAND WITH CLAY (SP-SM), SILTY SAND (SM), SAND WITH CLAY (SP-SM) (SOILS CLASSIFIED IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM) UNTIL SUCH TIME AS AN ENGINEER EVALUATES THE DEPRESSION AND PROVIDES REMEDIATION RECOMMENDATIONS, AS NECESSARY. TO THE EXTENT POSSIBLE, CONSIDERATION MUST BE GIVEN TO USING MATERIAL SIMILAR TO THE EXISTING SOIL PROFILE. THE BACKFILLING SHALL BE PERFORMED UNDER THE DIRECTION OF AN ENGINEER AND THE BACKFILL SHOULD BE MOUNDING FROM CENTER AN APPROXIMATE 10% SLOPE, OR TO THE EXTENT NOTICED BY THE ENGINEER TO ALLOW FOR STABILIZATION OF THE DEPRESSION.
4. AFTER BACKFILLING AND UNTIL AN ENGINEER HAS COMPLETED AN EVALUATION OF THE DEPRESSION AND REMEDIATION HAS BEEN COMPLETED, AS RECOMMENDED BY THE ENGINEER, PERIODIC MONITORING OF THE AREA SHALL BE PERFORMED ON A REGULAR BASIS AND AFTER EACH RAIN EVENT. MONITORING SHOULD INCLUDE CHANGES IN SIZE AND OR SETBACK OF THE AREA AND NOTIFICATION OF ANY CHANGES SHOULD BE MADE TO THE ENGINEER.



**SECTION C**  
 SCALE: 1" = 30' HORIZ.  
 1" = 5' VERT.  
 REFER TO SHEET C-4.2 FOR  
 PLAN VIEW OF SECTION LOCATION

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

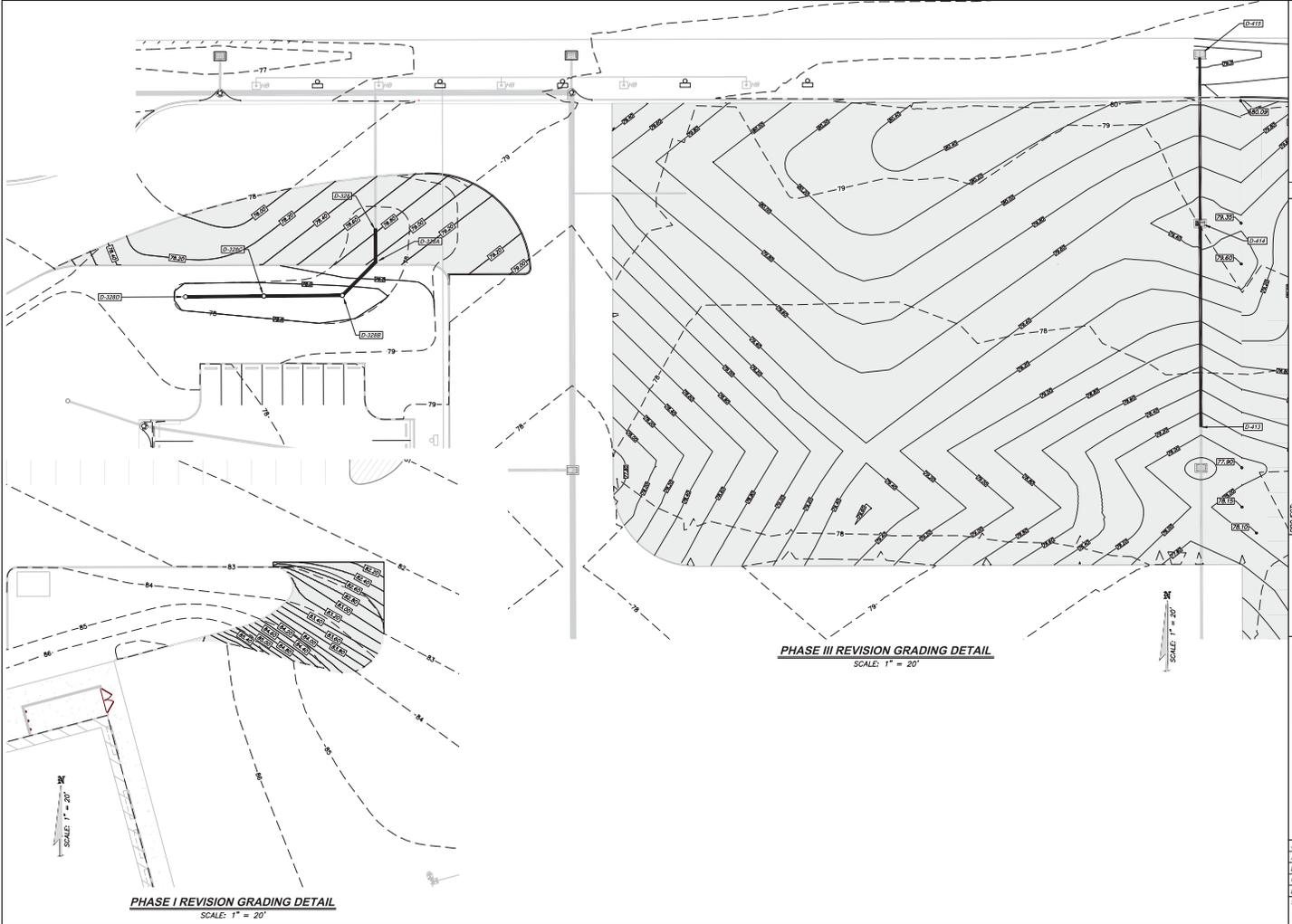
SHEET TITLE: SECTIONS (SHEET 2 OF 2)

DATE: 24.03.22

SHEET: C-6.4

McNEAL ENGINEERING, INC.  
 15927 N. FLORIDA AVE., SUITE 100, LUTZ, FL 33549  
 P.O. BOX 100, LUTZ, FL 33549  
 (813) 855-1111

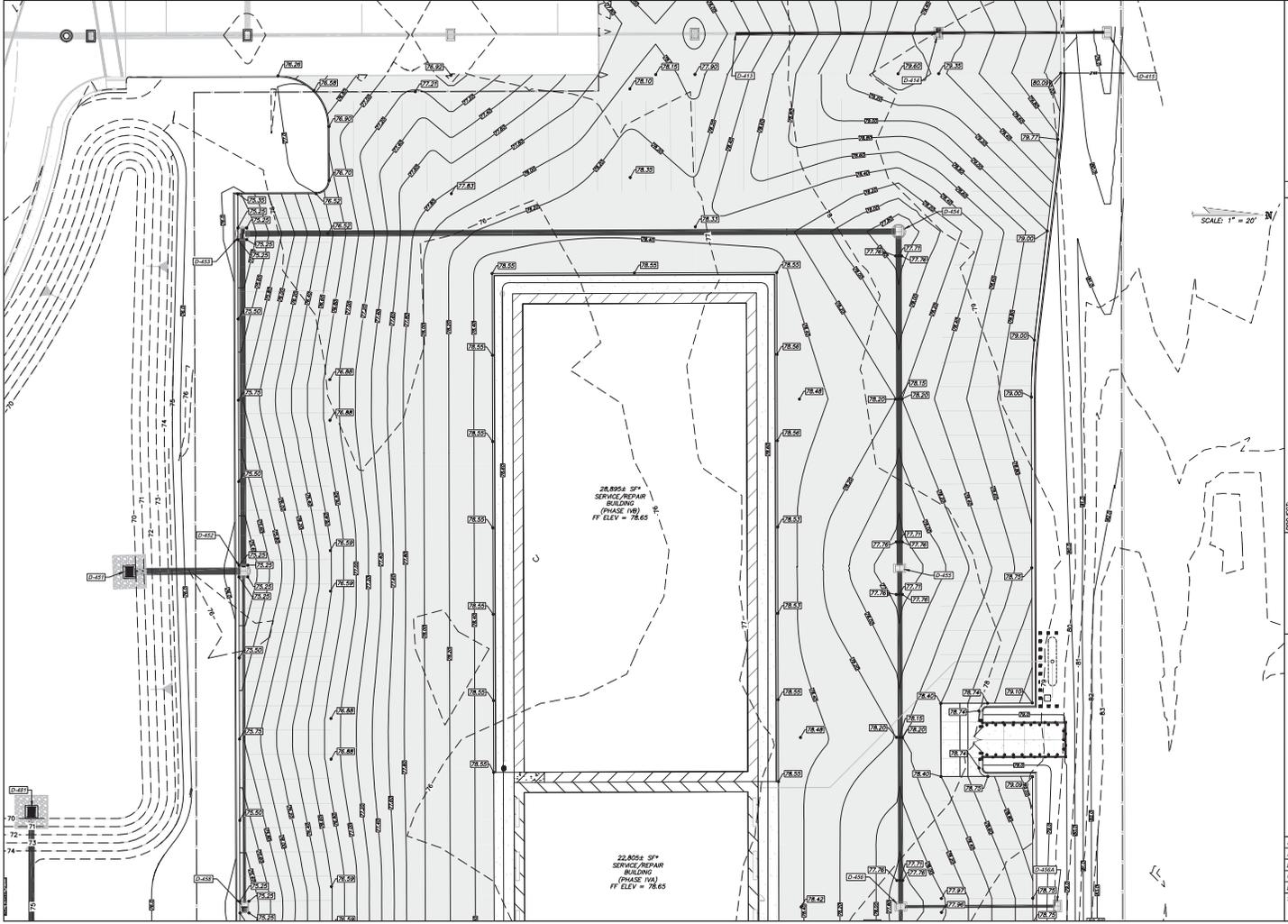
JOB NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHECK BY: CSB  
 DATE: 24.03.22  
 SHEET: C-6.4



**PHASE I REVISION GRADING DETAIL**  
SCALE: 1" = 20'

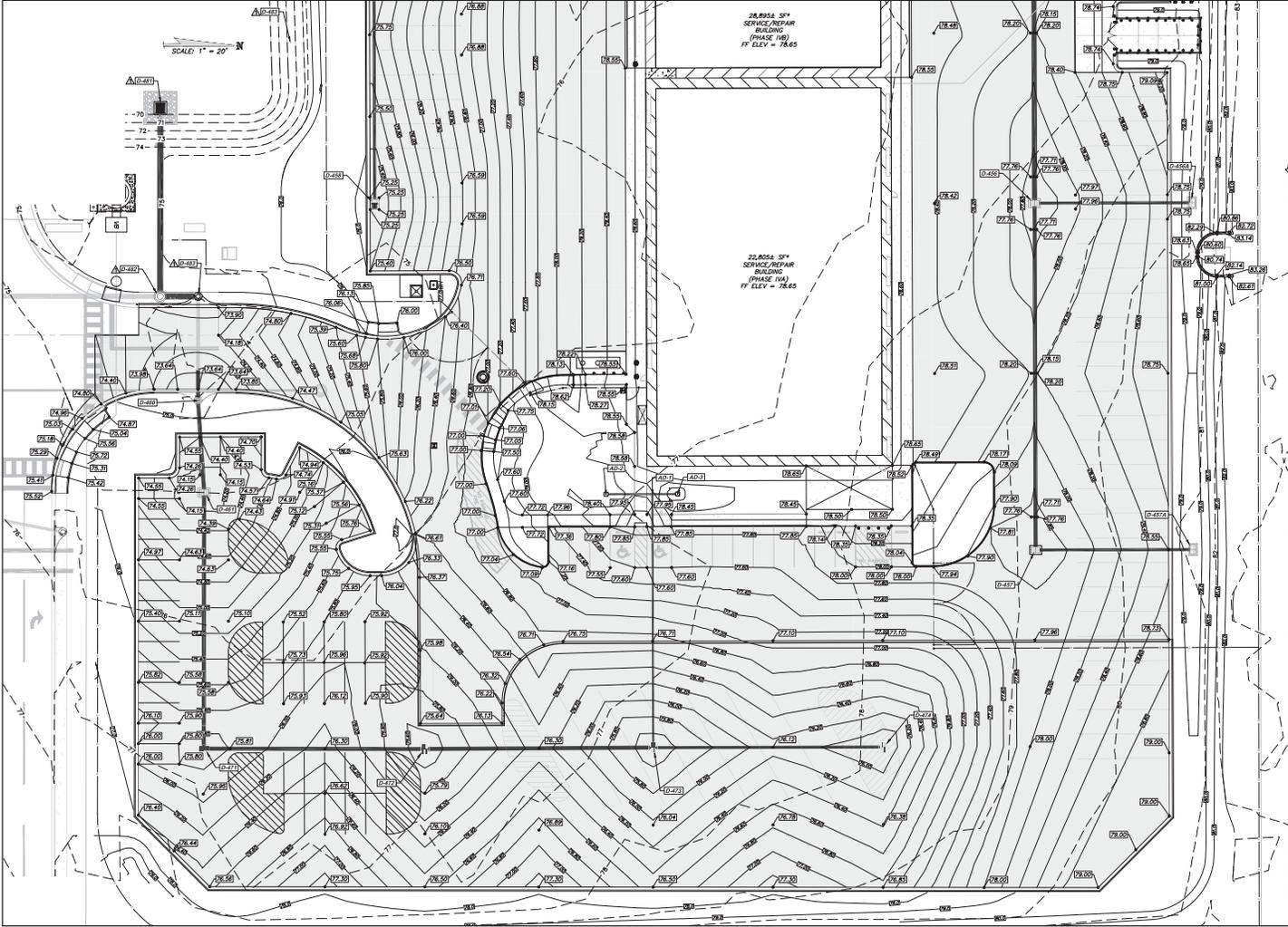
**PHASE III REVISION GRADING DETAIL**  
SCALE: 1" = 20'

<p>PROJECT: <b>GENERAL RV</b></p>	
<p>PREPARED FOR: <b>GENERAL RV</b></p>	
<p>PROJECT: <b>MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL</p>	
<p>SHEET TITLE: <b>DETAILED GRADING SHEET (SHEET 1 OF 3)</b></p>	
<p>DATE: 24.03.22</p>	
<p>SCALE: 1" = 20'</p>	
<p>THE DESIGN AND DRAWINGS CONTAINED HEREON ARE THE COPYRIGHTED PROPERTY OF MCNEAL ENGINEERING, INC. AND SHOULD NOT BE DUPLICATED WITHOUT WRITTEN CONSENT OF THE ENGINEER.</p>	
<p>MCNEAL ENGINEERING, INC. 15927 N. FLORIDA AVE, LUTZ, FL 33549 PH: (813) 850-1100 FAX: (813) 850-1109 WWW.MCNEAL-ENGINEERING.COM</p>	
<p>JOB NO. 21-116</p>	<p>ACAD FILE: FCP</p>
<p>DRAWN BY: MSF</p>	<p>CHECKED BY: CSM</p>
<p>DATE: 24.03.22</p>	
<p>SHEET: <b>C-7.1</b></p>	



<p>NO. REVISION &amp; DATE</p>	
<p>PROJECT: MAJOR SITE PLANS FOR  <b>GENERAL RV OCALA - PHASE IV</b>          13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL</p>	
<p>SHEET TITLE:  <b>DETAILED GRADING SHEET</b>          (SHEET 2 OF 3)</p>	
<p>PREPARED FOR:  <b>GENERAL RV</b></p>	
<p>MCNEAL ENGINEERING, INC.          15927 N. FLORIDA AVE, LUTZ, FL 33549          P.O. BOX 1000, LUTZ, FL 33549          (813) 851-1116          (813) 851-1117          (813) 851-1118          (813) 851-1119          (813) 851-1120          (813) 851-1121          (813) 851-1122          (813) 851-1123          (813) 851-1124          (813) 851-1125          (813) 851-1126          (813) 851-1127          (813) 851-1128          (813) 851-1129          (813) 851-1130          (813) 851-1131          (813) 851-1132          (813) 851-1133          (813) 851-1134          (813) 851-1135          (813) 851-1136          (813) 851-1137          (813) 851-1138          (813) 851-1139          (813) 851-1140          (813) 851-1141          (813) 851-1142          (813) 851-1143          (813) 851-1144          (813) 851-1145          (813) 851-1146          (813) 851-1147          (813) 851-1148          (813) 851-1149          (813) 851-1150          (813) 851-1151          (813) 851-1152          (813) 851-1153          (813) 851-1154          (813) 851-1155          (813) 851-1156          (813) 851-1157          (813) 851-1158          (813) 851-1159          (813) 851-1160          (813) 851-1161          (813) 851-1162          (813) 851-1163          (813) 851-1164          (813) 851-1165          (813) 851-1166          (813) 851-1167          (813) 851-1168          (813) 851-1169          (813) 851-1170          (813) 851-1171          (813) 851-1172          (813) 851-1173          (813) 851-1174          (813) 851-1175          (813) 851-1176          (813) 851-1177          (813) 851-1178          (813) 851-1179          (813) 851-1180          (813) 851-1181          (813) 851-1182          (813) 851-1183          (813) 851-1184          (813) 851-1185          (813) 851-1186          (813) 851-1187          (813) 851-1188          (813) 851-1189          (813) 851-1190          (813) 851-1191          (813) 851-1192          (813) 851-1193          (813) 851-1194          (813) 851-1195          (813) 851-1196          (813) 851-1197          (813) 851-1198          (813) 851-1199          (813) 851-1200</p>	
<p>JOB NO. 21-116</p>	<p>ACAD FILE: FCP</p>
<p>DRAWN BY: MCF</p>	<p>CHECKED BY: CM</p>
<p>DATE: 24.03.22</p>	<p>SHEET: <b>C-7.2</b></p>

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PROJECT: MAJOR SITE PLANS FOR  
**GENERAL RV OCALA - PHASE IV**  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
 PREPARED FOR: GENERAL RV  
 SHEET TITLE: DETAILED GRADING SHEET  
 (SHEET 3 OF 3)

JOB NO.: 21-116  
 ACAD FILE: TSP  
 DRAWN BY: MGP  
 CHECK BY: TSM  
 DATE: 24.03.22  
 SHEET: **C-7.3**

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THE FOLLOWING INFORMATION IS FROM PHASE I, PHASE II & PHASE IIIA ASBUILT PLANS AND IS FOR INFORMATIONAL PURPOSES ONLY

**ASBUILT STORM STRUCTURE TABLE (PHASE I & PHASE II)**

STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
D-144	TYPE E INLET PER FOOT STANDARD PLANS	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-30	CURB INLET TYPE 2 TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-21	CURB INLET TYPE 2 TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-21A	TYPE E INLET PER FOOT 5/8" 32	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-28	INLET E TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-29	MANHOLE TYPE 8 TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-30	"B" STRUCTURE MODIFICATION "B" INLET TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-31	"B" STRUCTURE MODIFICATION "B" INLET TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-32	INLET E TOP PER FOOT 5/8"32 TYPE 2 BOTTOM PER FOOT 5/8" 200	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24

TO BE REMOVED

TO BE REMOVED

**ASBUILT STORM STRUCTURE TABLE (PHASE IIIA)**

STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
D-302	TYPE E INLET PER FOOT 5/8" 232	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-303	TYPE E INLET PER FOOT 5/8" 232	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-316	ADS TEMPORARY CAP	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-327	ADS INSERTA TEE	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24
D-328	YARD DRAIN	TOP ELEV. = 76.40 INV. ELEV. = 76.40	N: 1707968.94 E: 606739.24

**ASBUILT STORM PIPE TABLE (PHASE I & PHASE II)**

FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
D-12	D-20	30"	22'	0.00%	ADS
D-20	D-21	24"	35'	0.00%	ADS
D-21	D-21A	24"	14'	0.00%	ADS
D-28	D-29	42"	17'	0.00%	ADS
D-29	D-34	18"	34'	0.00%	ADS
D-29	D-30	42"	80'	0.00%	ADS
D-30	D-31	42"	10'	0.00%	ADS
D-31	D-32	42"	78'	0.00%	ADS

**ASBUILT STORM PIPE TABLE (PHASE IIIA)**

FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
D-302	D-302	24"	79'	0.00%	ADS
D-302	D-303	18"	118'	0.00%	ADS
D-303	D-316	18"	17'	1.00%	ADS

**PROPOSED STORM STRUCTURE TABLE (PHASE IIIIB)**

STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
D-413	REMOVE CAP CONNECT TO EXISTING 18" PIPE	INV. IN = 74.40	N: 1708074.26 E: 60710.29
D-414	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 79.25 INV. IN = 74.40 INV. OUT = 74.40	N: 1708166.92 E: 606473.99
D-415	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 78.50 INV. OUT = 75.25	N: 1708249.79 E: 606431.63

**PROPOSED STORM STRUCTURE TABLE (PHASE IVA)**

STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
D-451	TYPE G INLET (MODIFIED) PER FOOT STANDARD PLANS INDEX 425-053 SEE DETAIL ON SHEET C-14.0	TOP ELEV. = 70.00 INV. IN = 63.00	N: 1707968.94 E: 606739.24
D-452	TYPE E INLET WITH E-0" (MAN.) STRUCTURE BOTTOM PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.25 INV. IN = 66.43 INV. OUT = 65.88	N: 1707968.94 E: 606739.24
D-453	TYPE E INLET WITH E-0" (MAN.) STRUCTURE BOTTOM PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.25 INV. IN = 67.42	N: 1707968.94 E: 606739.24
D-454	TYPE E INLET WITH E-0" (MAN.) STRUCTURE BOTTOM PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 77.65 INV. IN = 68.38 INV. OUT = 68.36	N: 1708147.23 E: 606571.69
D-455	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 77.65 INV. IN = 70.86 INV. OUT = 70.36	N: 1708147.23 E: 606571.69
D-456	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 77.65 INV. IN = 73.01 INV. OUT = 71.86	N: 1708148.29 E: 606904.00
D-456A	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 78.50 INV. IN = 74.25	N: 1708255.29 E: 606903.75
D-457	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 77.80 INV. IN = 73.37	N: 1708148.29 E: 606903.75
D-457A	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 78.45 INV. IN = 74.48	N: 1708225.84 E: 607073.59
D-458	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.25 INV. IN = 71.00	N: 1707825.45 E: 606904.25
D-459	CONNECT TO EXISTING 24" PIPE	INV. IN = 67.25	N: 1707739.14 E: 606985.65
D-460	CURB INLET TYPE 2 PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 74.02 INV. IN = 67.40 INV. OUT = 67.40	N: 1707742.08 E: 607045.68
D-461	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 74.00 INV. IN = 67.85	N: 1707742.08 E: 607045.68
D-462	24" CAP	TOP ELEV. = 70.16 INV. IN = 67.88	N: 1707742.08 E: 607045.68
D-461	TYPE G INLET (MODIFIED) PER FOOT STANDARD PLANS INDEX 425-053 SEE DETAIL ON SHEET C-14.0	TOP ELEV. = 70.00 INV. IN = 63.00	N: 1707720.72 E: 606857.39
D-462	MANHOLE TYPE 8 TOP: TYPE J BOTTOM TEMPORARY 24" PIPE OPENING (S) PER FOOT STANDARD PLANS INDEX 425-053	TOP ELEV. = 74.39 INV. IN = 68.94 INV. OUT = 63.50	N: 1707720.63 E: 606849.63
D-463	MODIFY EXISTING INLET D-30	TOP ELEV. = 74.36 INV. OUT = 66.60	N: 1707739.18 E: 606849.63

**PROPOSED STORM STRUCTURE TABLE (PHASE IVB)**

STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
AD-1	12" X 12" X 12" TEE	TOP ELEV. = 78.38 INV. IN = 74.20 INV. OUT = 74.20	N: 1707961.37 E: 607046.43
AD-2	AREA DRAIN (SEE DETAIL ON SHEET C-14.0)	TOP ELEV. = 78.50 INV. IN = 74.52	N: 1707938.71 E: 607046.50
AD-3	AREA DRAIN (SEE DETAIL ON SHEET C-14.0)	TOP ELEV. = 78.00 INV. IN = 74.37	N: 1707973.71 E: 607046.39
D-470	REMOVE 24" CAP CONNECT TO EXISTING 24" PIPE	TOP ELEV. = 70.16 INV. IN = 67.88	N: 1707742.08 E: 607045.68
D-471	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.70 INV. IN = 68.53	N: 1707741.95 E: 607111.23
D-472	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.50 INV. IN = 69.11	N: 1707850.07 E: 607111.23
D-473	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.50 INV. IN = 70.22 INV. OUT = 68.72	N: 1707961.77 E: 607105.57
D-474	TYPE E INLET PER FOOT STANDARD PLANS INDEX 425-052	TOP ELEV. = 75.85 INV. IN = 71.57	N: 1708074.26 E: 607105.29

NOTE: PHASE IVB STORM INFRASTRUCTURE TO BE CONSTRUCTED AS PART OF PHASE IVA.

**PROPOSED STORM PIPE TABLE (PHASE IIIIB)**

FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
D-413	D-414	18"	98	1.00%	ADS
D-414	D-415	15"	80	0.60%	ADS

**NOTES:**

- ALL STORM STRUCTURES (OTHER THAN YARD DRAINS) SHALL BE PRECAST AND DESIGNED TO ACCOMMODATE H-30 LOADING.
- COORDINATE VALUES FOR INLETS AND CONTROL STRUCTURES ARE TO THE CENTER OF THE GRAVE TOP AND ARE BASED UPON STRUCTURE ORIENTATION SHOWN ON PLANS. ADJUSTMENT TO COORDINATE VALUES WILL BE REQUIRED IF ALTERNATE STRUCTURE TYPE OR ORIENTATION IS USED.
- COORDINATE VALUES FOR MANHOLES ARE THE CENTER OF ROUND BASE. ADJUSTMENT TO COORDINATE VALUES WILL BE REQUIRED IF ALTERNATE STRUCTURE TYPE OR ORIENTATION IS USED.
- REFER TO FOOT DESIGN STANDARDS, FY 2023-2024 EDITION, FOR REFERENCED STRUCTURE DETAILS.
- ALL ADS PIPE SHOW HEREON SHALL BE ADS N-12 ST 8 (SOLIGHT) PIPE, OR APPROVED EQUAL.

**PROPOSED STORM STRUCTURE TABLE (PHASE III YARD DRAINS)**

STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
D-328	REMOVE/RELOCATE YARD DRAIN CONNECT TO EXISTING 15" PIPE	TOP ELEV. = 77.20 INV. IN = 73.26	N: 1708163.10 E: 606707.54
D-328A	15" 45-DEGREE BEND	TOP ELEV. = 78.91 INV. IN = 73.41 INV. OUT = 73.41	N: 1708147.87 E: 606801.00
D-328B	YARD DRAIN	TOP ELEV. = 77.65 INV. IN = 73.64 INV. OUT = 73.64	N: 1708131.57 E: 606531.96
D-328C	YARD DRAIN	TOP ELEV. = 77.80 INV. IN = 74.02 INV. OUT = 74.02	N: 1708131.22 E: 606815.50
D-328D	YARD DRAIN	TOP ELEV. = 77.85 INV. OUT = 74.40	N: 1708130.87 E: 606815.50

**PROPOSED STORM PIPE TABLE (PHASE III YARD DRAINS)**

FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
D-328	D-328A	15"	12	1.00%	ADS
D-328A	D-328B	15"	20	1.00%	ADS
D-328B	D-328C	15"	35	1.00%	ADS
D-328C	D-328D	15"	35	1.00%	ADS

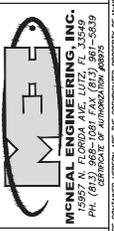
**PROPOSED STORM PIPE TABLE (PHASE IVA)**

FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
D-451	D-452	41"	51	5.31%	ADS
D-452	D-458	18"	160	1.00%	ADS
D-453	D-452	36"	160	0.60%	ADS
D-453	D-454	36"	377	0.60%	ADS
D-454	D-455	36"	161	0.60%	ADS
D-455	D-456	30"	163	0.60%	ADS
D-456	D-456A	18"	73	1.00%	ADS
D-456	D-457	24"	167	0.60%	ADS
D-457A	D-457	18"	73	0.80%	ADS
D-459	D-460	24"	13	1.00%	ADS
D-460	D-461	24"	42	1.00%	ADS
D-461	D-462	24"	5	0.54%	ADS
D-461	D-462	36"	87	0.54%	ADS
D-463	D-462	36"	14	1.00%	ADS

**PROPOSED STORM PIPE TABLE (PHASE IVB)**

FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
AD-1	AD-3	12"	9'	1.40%	ADS
AD-1	AD-2	12"	19'	1.40%	ADS
D-470	D-471	24"	118'	0.54%	ADS
D-471	D-472	24"	104'	0.54%	ADS
D-472	D-473	24"	109'	0.54%	ADS
D-473	AD-1	12"	120'	2.40%	ADS
D-473	D-474	18"	110'	1.00%	ADS

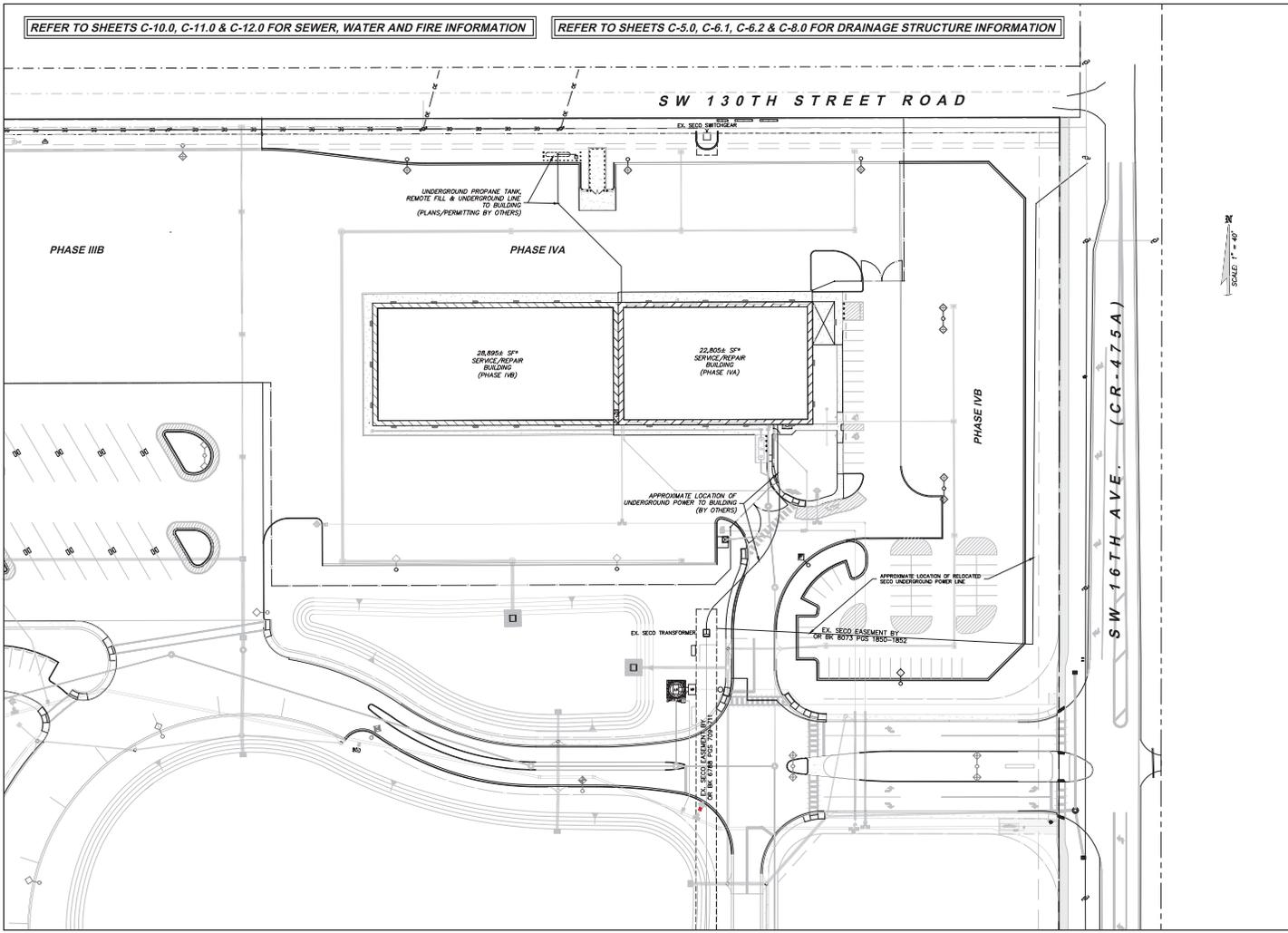
PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
 SHEET TITLE: DRAINAGE PIPE & STRUCTURE TABLE  
 PREPARED FOR: GENERAL RV  
 PROJECT NO: 21-116  
 ACAD FILE: FDP  
 DRAWN BY: MSF  
 CWD BY: CSW  
 DATE: 24.03.22  
 SHEET: C-8.0



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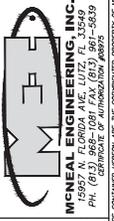
REFER TO SHEETS C-10.0, C-11.0 & C-12.0 FOR SEWER, WATER AND FIRE INFORMATION

REFER TO SHEETS C-5.0, C-6.1, C-6.2 & C-8.0 FOR DRAINAGE STRUCTURE INFORMATION

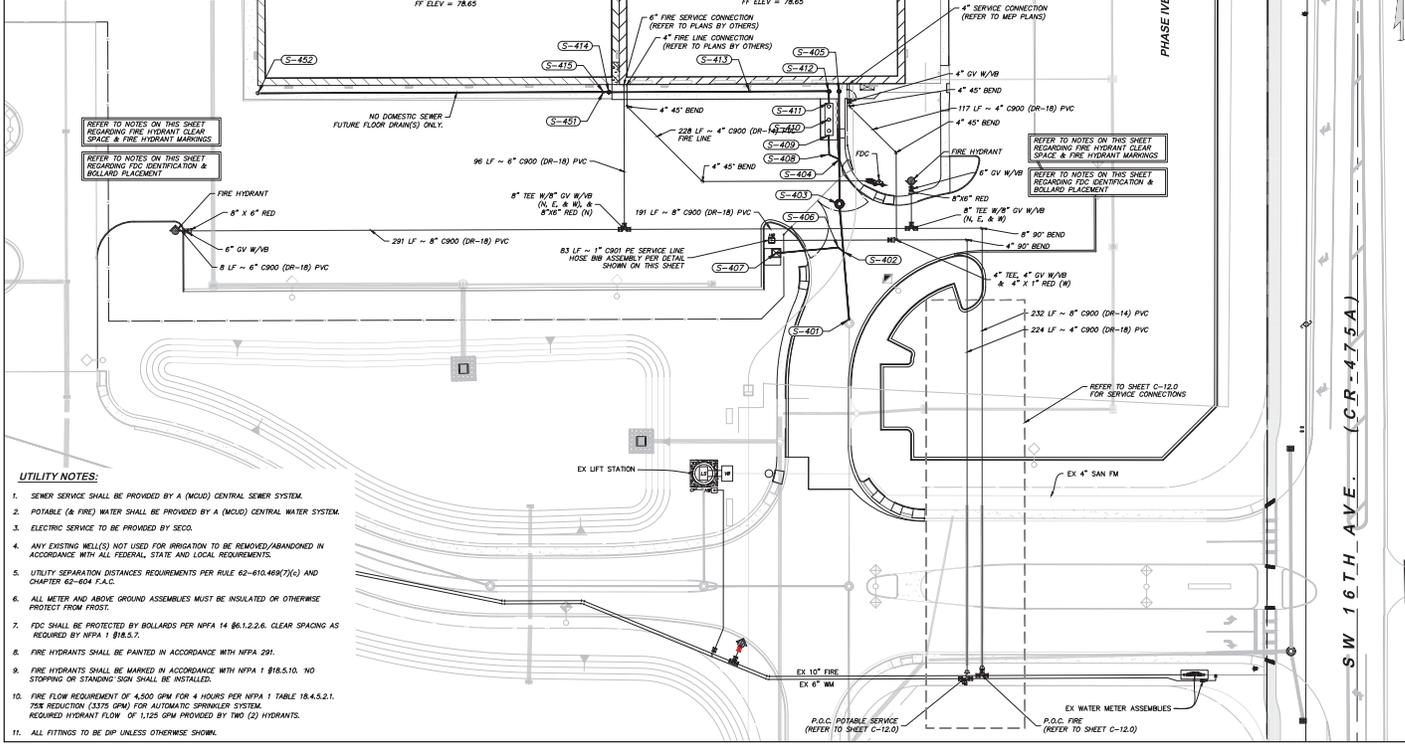
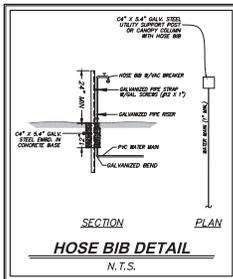


SCALE: 1" = 40'

<p>PROJECT: MAJOR SITE PLANS FOR <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL</p>	
<p>PREPARED FOR: GENERAL RV UTILITY PLAN OTHER</p>	
<p>DATE: 24.03.22</p>	
<p>SHEET: <b>C-9.0</b></p>	
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JOB NO.	21-116
ACAD FILE	FCP
DRAWN BY:	MSF
CHECKED BY:	CSM
DATE:	24.03.22
SHEET:	<b>C-9.0</b>



- UTILITY NOTES:**
- SEWER SERVICE SHALL BE PROVIDED BY A (MCO) CENTRAL SEWER SYSTEM.
  - POTABLE (& FIRE) WATER SHALL BE PROVIDED BY A (MCO) CENTRAL WATER SYSTEM.
  - ELECTRIC SERVICE TO BE PROVIDED BY SECO.
  - ANY EXISTING WELL(S) NOT USED FOR IRRIGATION TO BE REMOVED/ABANDONED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
  - UTILITY SEPARATION DISTANCES REQUIREMENTS PER RULE 62-610.468(7)(c) AND CHAPTER 62-604 F.A.C.
  - ALL METER AND ABOVE GROUND ASSEMBLIES MUST BE INSULATED OR OTHERWISE PROTECT FROM FROST.
  - FDC SHALL BE PROTECTED BY BOLLARDS PER NFPA 14 §6.1.2.6. CLEAR SPACING AS REQUIRED BY NFPA 1 §18.5.7.
  - FIRE HYDRANTS SHALL BE PAINTED IN ACCORDANCE WITH NFPA 291.
  - FIRE HYDRANTS SHALL BE MARKED IN ACCORDANCE WITH NFPA 1 §18.5.10. NO STOPPING OR STANDING SIGN SHALL BE INSTALLED.
  - FIRE FLOW REQUIREMENT OF 4,500 GPM FOR 4 HOURS PER NFPA 1 TABLE 18.4.5.2.1. 75% REDUCTION (3375 GPM) FOR AUTOMATIC SPRINKLER SYSTEM. REQUIRED HYDRANT FLOW OF 1,125 GPM PROVIDED BY TWO (2) HYDRANTS.
  - ALL FITTINGS TO BE DIP UNLESS OTHERWISE SHOWN.

SW 16TH AVE. (CR-475A)

SCALE: 1" = 30'

REVISION & DATE

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

SEWER & WATER PLAN

McNEAL ENGINEERING, INC.  
15927 N. FLORIDA AVE. SUITE 100  
PALM BEACH, FL 33418  
PH: (561) 855-1100 FAX: (561) 855-1101

JOB NO. 21-116  
ACAD FILE: FCP  
DRAWN BY: MSF  
CHK'D BY: ESM  
DATE: 24.03.22  
SHEET: C-10.0

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THE FOLLOWING INFORMATION IS FROM  
PHASE I ASBUILT PLANS  
AND IS FOR INFORMATIONAL  
PURPOSES ONLY

ASBUILT SANITARY STRUCTURE TABLE (PHASE I)			
STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
S-1	LIFT STATION (REFER TO SHEET LS-1.0)	TOP ELEV. = 75.46 INV. ELEV. = 68.09 (S) 68.06	N: 1207883.55 E: 606899.81
S-2	MANHOLE	TOP ELEV. = 73.73 INV. ELEV. = 69.40 INV. ELEV. = 69.99 (2) 68.91 INV. ELEV. = 69.99 (1) 68.77	N: 1207824.251 E: 606899.81
S-16	MANHOLE	TOP ELEV. = 75.72 INV. ELEV. = 69.79 (N) 69.64 INV. ELEV. = 69.66 (S) 69.58 INV. ELEV. = 69.50 (W) ✓	N: 1207824.488 E: 606899.81
S-17	MANHOLE w/ 4" STUB & CAP (NORTH) STUB INV. = 70.80	TOP ELEV. = 76.04 INV. ELEV. = 70.53	N: 1207800.972 E: 606899.81
*S-18	TEMPORARY CAP	(UNACCESSIBLE 11-09-18) INV. ELEV. = 70.30 (N)	N: 1207811.113 E: 606899.42

ASBUILT SANITARY PIPE TABLE (PHASE I)					
FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
S-1	S-2	8"	73'	0.97%	PVC
S-2	S-16	8"	94'	0.73%	PVC
S-16	S-17	8"	173'	0.57%	PVC

PROPOSED SANITARY STRUCTURE TABLE (PHASE IVA)			
STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
S-401	REMOVE EXISTING CAP REMOVE EXISTING STUB CONNECT TO EXISTING MANHOLE S-17 (ALTER EXISTING OPENING AS/IF REQUIRED)	TOP ELEV. = 74.38 INV. IN = 70.80	N: 1207801.58 E: 606899.51
S-402	8" x 6" PVC WYE	INV. IN = 71.07 INV. OUT = 71.07	N: 1207846.75 E: 606899.62
S-403	MANHOLE	TOP ELEV. = 76.94 INV. IN = 71.48 INV. OUT = 71.26	N: 1207878.59 E: 606899.21
S-404	8" x 8" x 6" PVC WYE 8" x 6" PVC REDUCER (NORTH)	INV. IN = 71.76 INV. IN = 71.76 INV. OUT = 71.76	N: 1207908.25 E: 606899.12
S-405	6" CLEANOUT (FOR BUILDING WASTEWATER CONNECTION) REFER TO BUILDING PLANS INSTALL 6" PVC STUB & CAP	TOP ELEV. = 78.60 INV. OUT = 72.21	N: 1207953.56 E: 606899.98
S-406	6" PVC 45° BEND	INV. IN = 71.16 INV. OUT = 71.16	N: 1207849.50 E: 606898.56
S-407	DUMP STATION REFER TO DETAIL ON SHEET C-16.2	TOP ELEV. = 76.30 INV. OUT = 71.99	N: 1207846.83 E: 606847.12
S-408	6" PVC 45° BEND	INV. IN = 71.85 INV. OUT = 71.85	N: 1207911.49 E: 606852.23
S-409	OIL WATER SEPARATOR (8" OUTLETS)	INV. OUT = 72.00	N: 1207924.22 E: 606862.23
S-410	1,000 GAL OIL WATER SEPARATOR WITH CONCRETE TOP (H=20 BAYETS) REFER TO DETAILS ON SHEET C-16.2		N: 1207934.72 E: 606862.23
S-411	OIL WATER SEPARATOR (6" INLET)	INV. IN = 72.08	N: 1207945.55 E: 606862.17
S-412	6" PVC CLEANOUT	TOP ELEV. = 78.60 INV. IN = 72.16 INV. OUT = 72.16	N: 1207953.54 E: 606862.15
S-413	6" x 6" PVC TEE 6" STUB & CAP (FOR BUILDING FLOOR DRAIN CONNECTION) REFER TO PLANS BY OTHERS	INV. IN = 72.69 INV. OUT = 72.69	N: 1207953.38 E: 606859.52
S-414	6" PVC CLEANOUT	TOP ELEV. = 78.60 INV. IN = 73.63 INV. OUT = 73.63	N: 1207953.08 E: 606835.98
S-415	6" PVC CAP	INV. OUT = 73.66	N: 1207953.07 E: 606835.49

PROPOSED SANITARY STRUCTURE TABLE (PHASE IVB)			
STRUCTURE NAME	DESCRIPTION	DETAILS	LOCATION
S-451	REMOVE 6" PVC CAP CONNECT TO EXISTING 6" PVC	INV. IN = 73.66	N: 1207953.07 E: 606832.49
S-452	6" CLEAN OUT	TOP ELEV. = 78.60 INV. OUT = 73.96	N: 1207953.33 E: 606602.37

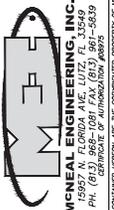
NOTE: S-451 TO S-452 IS NOT FOR DOMESTIC SEWER FLOOR DRAINS ONLY

PROPOSED SANITARY PIPE TABLE (PHASE IVA)					
FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
S-401	S-402	8"	45	0.60%	PVC
S-402	S-403	8"	4	2.00%	PVC
S-402	S-403	8"	30	0.60%	PVC
S-403	S-404	8"	28	1.00%	PVC
S-404	S-405	6"	45	1.00%	PVC
S-404	S-408	6"	8	1.20%	PVC
S-406	S-407	6"	42	2.00%	PVC
S-408	S-409	6"	13	1.20%	PVC
S-411	S-412	6"	8	1.00%	PVC
S-412	S-413	6"	53	1.00%	PVC
S-413	S-414	6"	24	1.00%	PVC
S-414	S-415	6"	3	1.00%	PVC

PROPOSED SANITARY PIPE TABLE (PHASE IVB)					
FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
S-451	S-452	6"	230'	1.00%	PVC

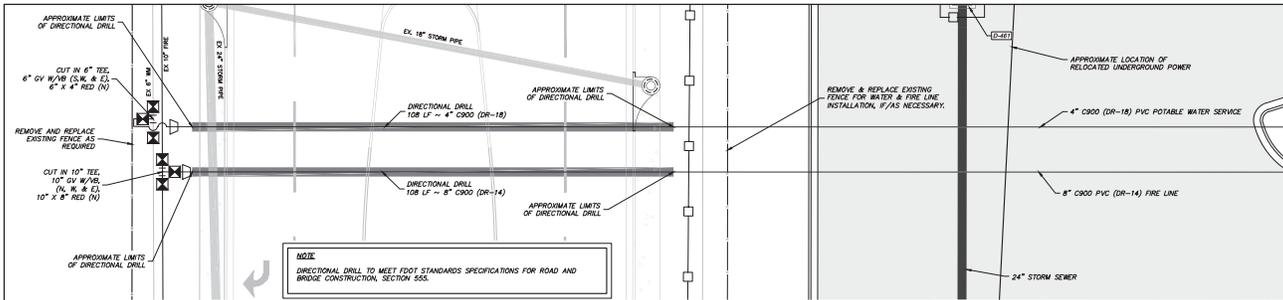
NOTE: S-451 TO S-452 IS NOT FOR DOMESTIC SEWER FLOOR DRAINS ONLY

REVISION & DATE  
 PROJECT: MAJOR SITE PLANS FOR  
**GENERAL RV OCALA - PHASE IV**  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
 SHEET TITLE: GRAVITY SANITARY PIPE  
 & STRUCTURE TABLES  
 PREPARED FOR: GENERAL RV  
 PREPARED BY:

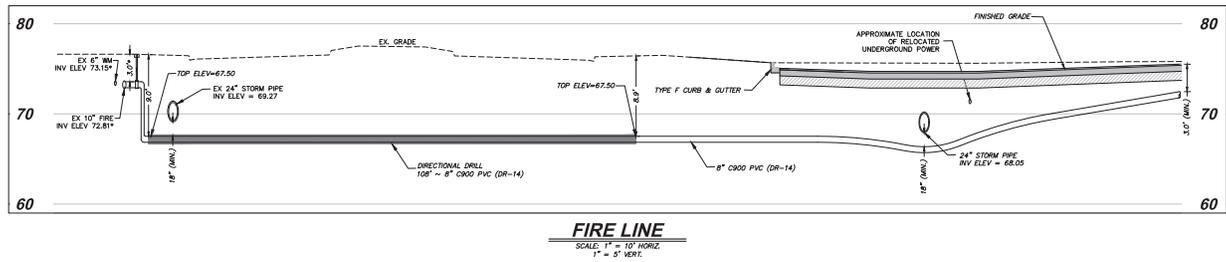
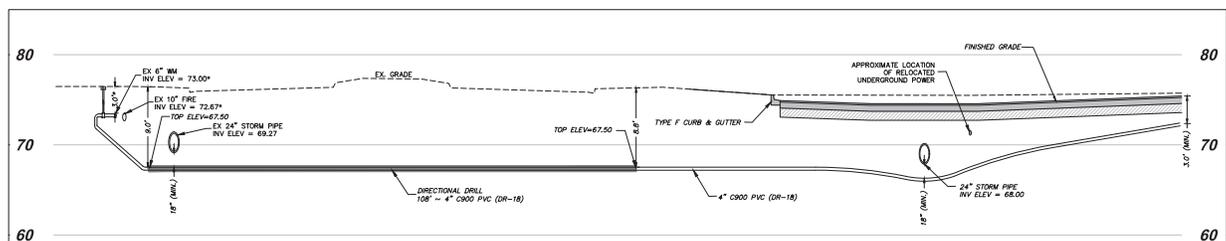


JOB NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHECK BY: CSB  
 DATE: 24.03.22  
 SHEET: **C-11.0**

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SCALE: 1" = 10'

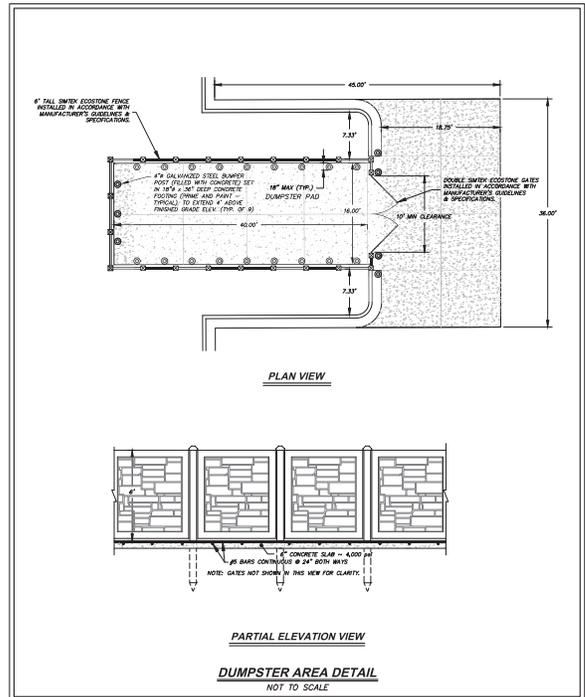
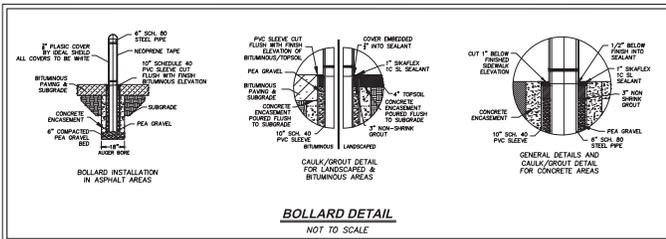
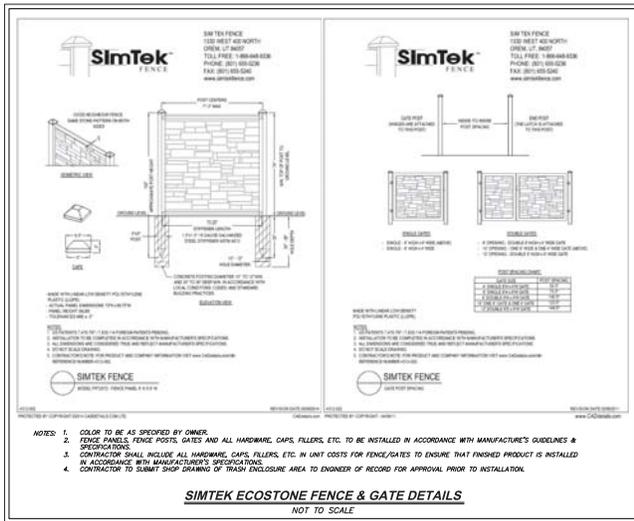


NOTE: ELEVATION BASED ON ORIGINAL DESIGN. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF RECORDS IF THERE ARE IN DEVIATIONS.

NO.	REVISION & DATE
PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL	
SHEET TITLE: WATER CONNECTION	
PREPARED FOR:	GENERAL RV
 <b>MCNEAL ENGINEERING, INC.</b> 15927 N. FLORIDA AVE, LUTZ, FL 33549 P.O. BOX 1000, LUTZ, FL 33549 P.O. BOX 1000, LUTZ, FL 33549 (813) 855-1000 WWW.MCNEAL-ENGINEERING.COM	
JOB NO.	21-116
ACAD FILE:	FCP
DRAWN BY:	MSF
CHECKED BY:	CSM
DATE:	24.03.22
SHEET:	<b>C-12.0</b>

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NO. REVISION & DATE

PROJECT: **MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV**  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

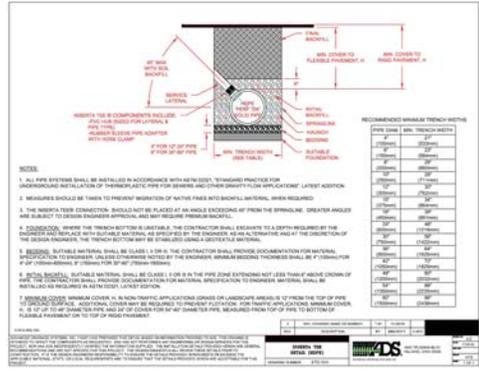
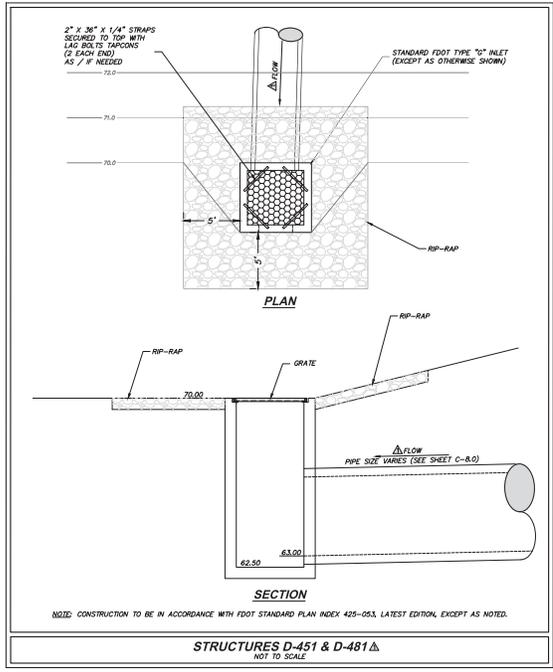
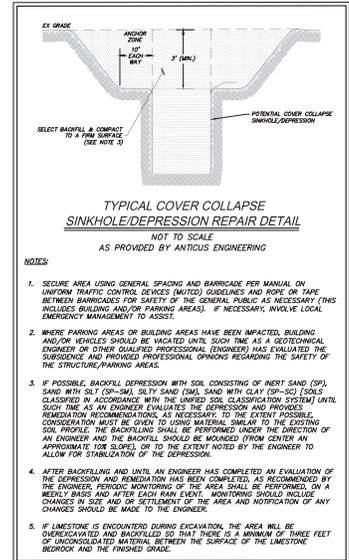
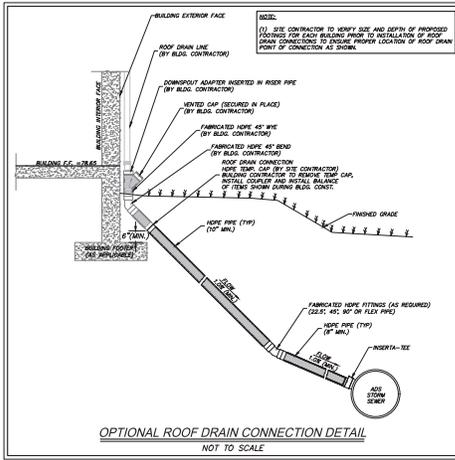
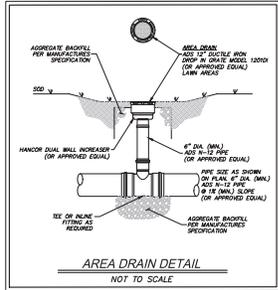
PREPARED FOR: **GENERAL RV**

SHEET TITLE: **SITE DETAILS (SHEET 2 OF 2)**

McNEAL ENGINEERING, INC.  
 15927 N. FLORIDA AVE, LUTZ, FL 33549  
 P.O. BOX 1000, LUTZ, FL 33549  
 P.O. BOX 1000, LUTZ, FL 33549

JOB NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHK'D BY: CSW  
 DATE: 24.03.22  
 SHEET: **C-13.2**

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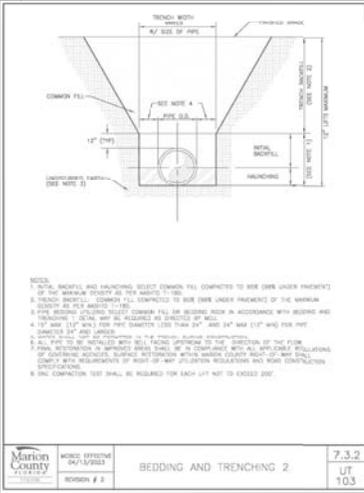
PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

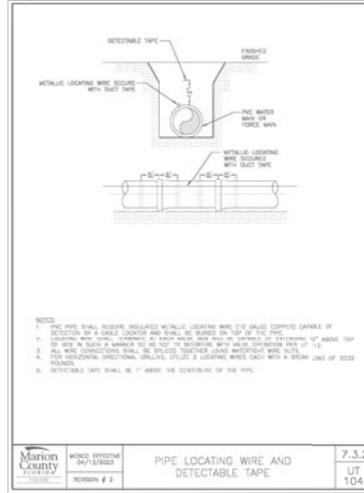
SHEET TITLE: GRADING / DRAINAGE DETAILS

MCNEAL ENGINEERING, INC. 15927 N. FLORIDA AVE, SUITE 100, LUTZ, FL 33549 PH: (813) 850-0000 FAX: (813) 850-0001

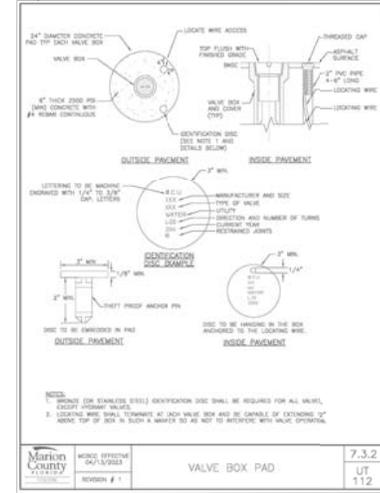
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 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHECK BY: CSW  
 DATE: 24.03.22  
 SHEET: C-14.0



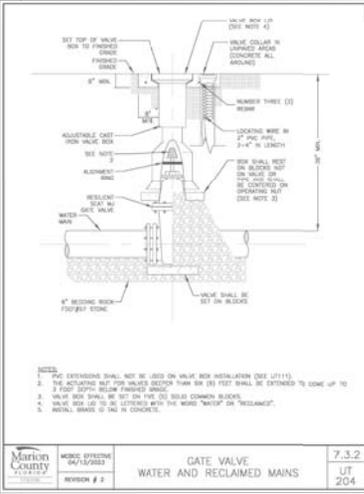
7.3.2  
UT 103  
BEDDING AND TRENCHING 2



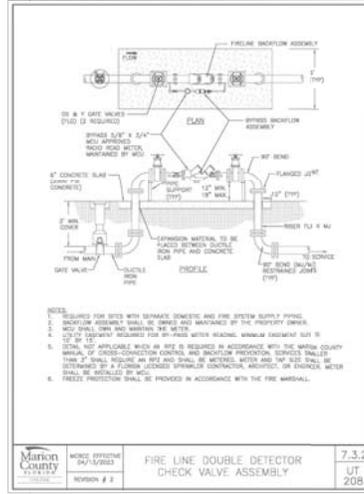
7.3.2  
UT 104  
PIPE LOCATING WIRE AND DETECTABLE TAPE



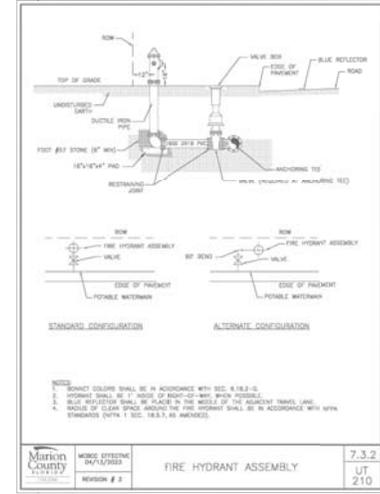
7.3.2  
UT 112  
VALVE BOX PAD



7.3.2  
UT 204  
GATE VALVE WATER AND RECLAIMED MAINS



7.3.2  
UT 205  
FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY

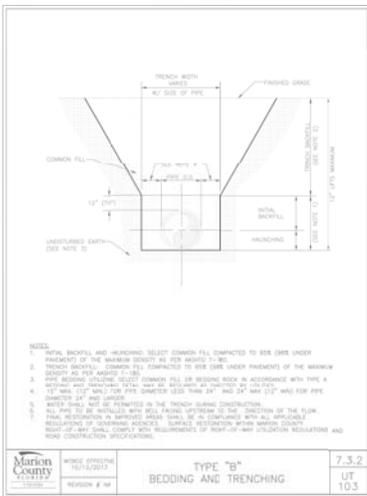


7.3.2  
UT 210  
FIRE HYDRANT ASSEMBLY

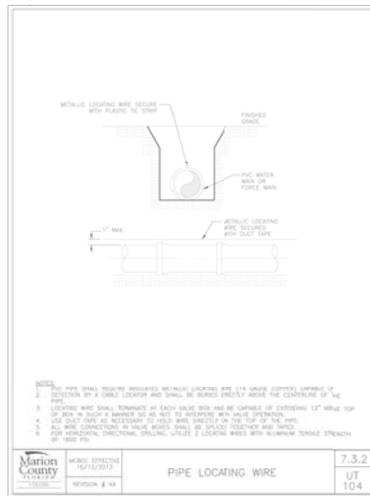
PROJECT: **MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV**  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
 PREPARED FOR: **GENERAL RV**  
 SHEET TITLE: **WATER DETAILS**

**MCNEAL ENGINEERING, INC.**  
 15927 N. FLORIDA AVE., SUITE 100, LUTZ, FL 33549  
 P.O. BOX 100, LUTZ, FL 33549  
 PHONE: (813) 853-1000  
 FAX: (813) 853-1001  
 WEBSITE: WWW.MCNEAL-ENGINEERING.COM

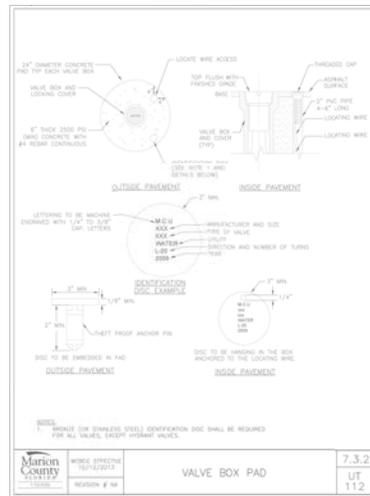
JOB NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MCF  
 CHECK BY: CSW  
 DATE: 24.03.22  
 SHEET: **C-15.0**



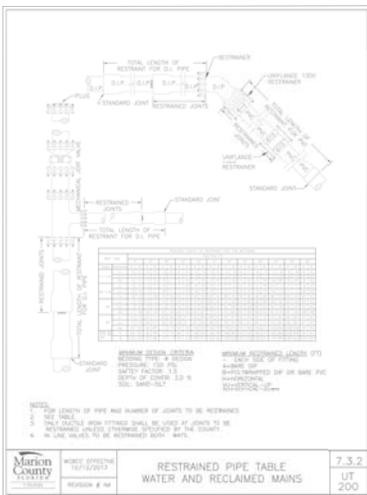
7.3.2  
UT  
103  
TYPE "B" BEDDING AND TRENCHING



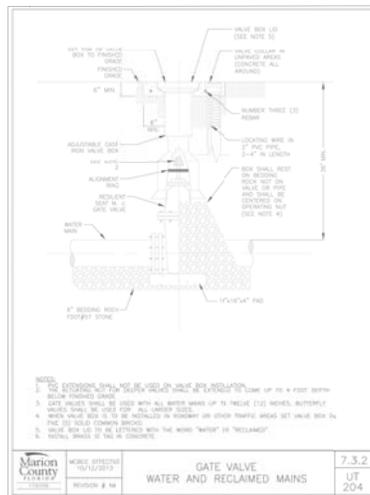
7.3.2  
UT  
104  
PIPE LOCATING WIRE



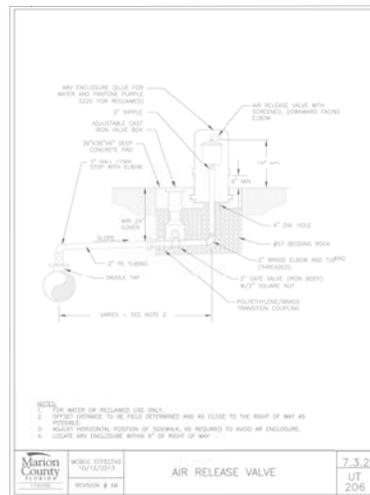
7.3.2  
UT  
112  
VALVE BOX PAD



7.3.2  
UT  
200  
RESTRAINED PIPE TABLE WATER AND RECLAIMED MAINS



7.3.2  
UT  
204  
GATE VALVE WATER AND RECLAIMED MAINS



7.3.2  
UT  
206  
AIR RELEASE VALVE

NO. REVISION & DATE

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

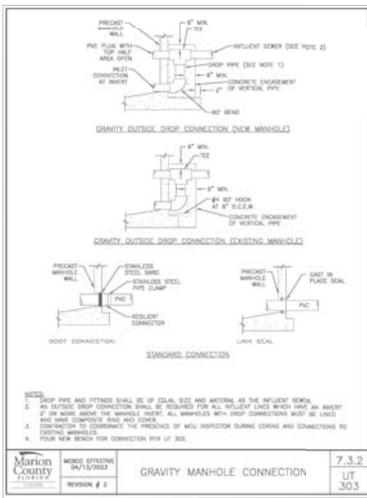
PREPARED FOR: WATER DETAILS (SHEET 1 OF 2)

PREPARED BY: MCNEAL ENGINEERING, INC. 15927 N. FLORIDA AVE, LUTZ, FL 33549 P.O. BOX 1000, LUTZ, FL 33549

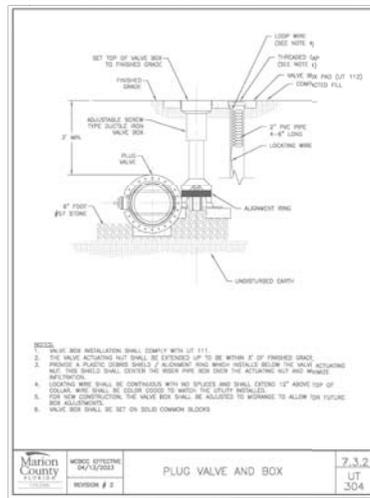
JOB NO. 21-116  
ACAD FILE: FCP  
DRAWN BY: MSF  
CHK'D BY: SM  
DATE: 24.01.11  
SHEET: C-15.1

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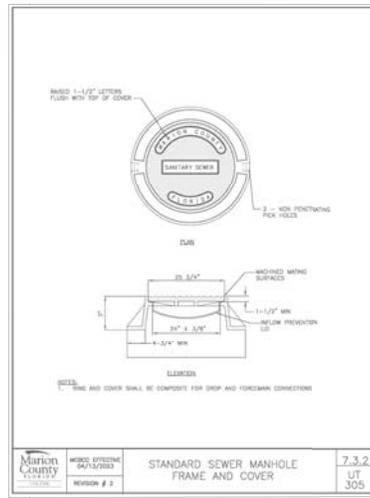




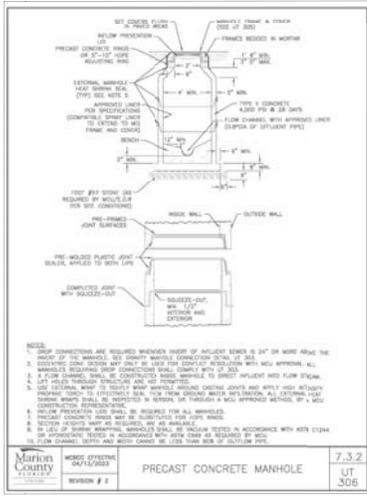
Marion County 7.3.2 UT 303  
 WORKS SPECIFICATIONS 04/15/2023  
 REVISION # 2 GRAVITY MANHOLE CONNECTION



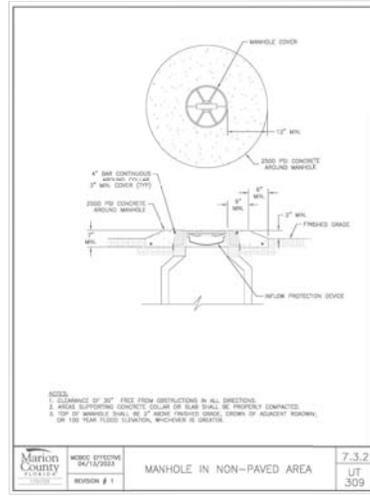
Marion County 7.3.2 UT 304  
 WORKS SPECIFICATIONS 04/15/2023  
 REVISION # 2 PLUG VALVE AND BOX



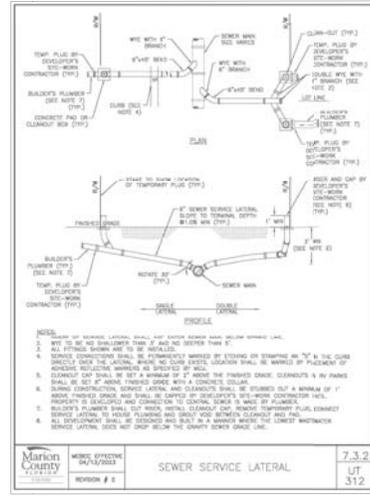
Marion County 7.3.2 UT 305  
 WORKS SPECIFICATIONS 04/15/2023  
 REVISION # 2 STANDARD SEWER MANHOLE FRAME AND COVER



Marion County 7.3.2 UT 306  
 WORKS SPECIFICATIONS 04/15/2023  
 REVISION # 1 PRECAST CONCRETE MANHOLE



Marion County 7.3.2 UT 309  
 WORKS SPECIFICATIONS 04/15/2023  
 REVISION # 1 MANHOLE IN NON-PAVED AREA



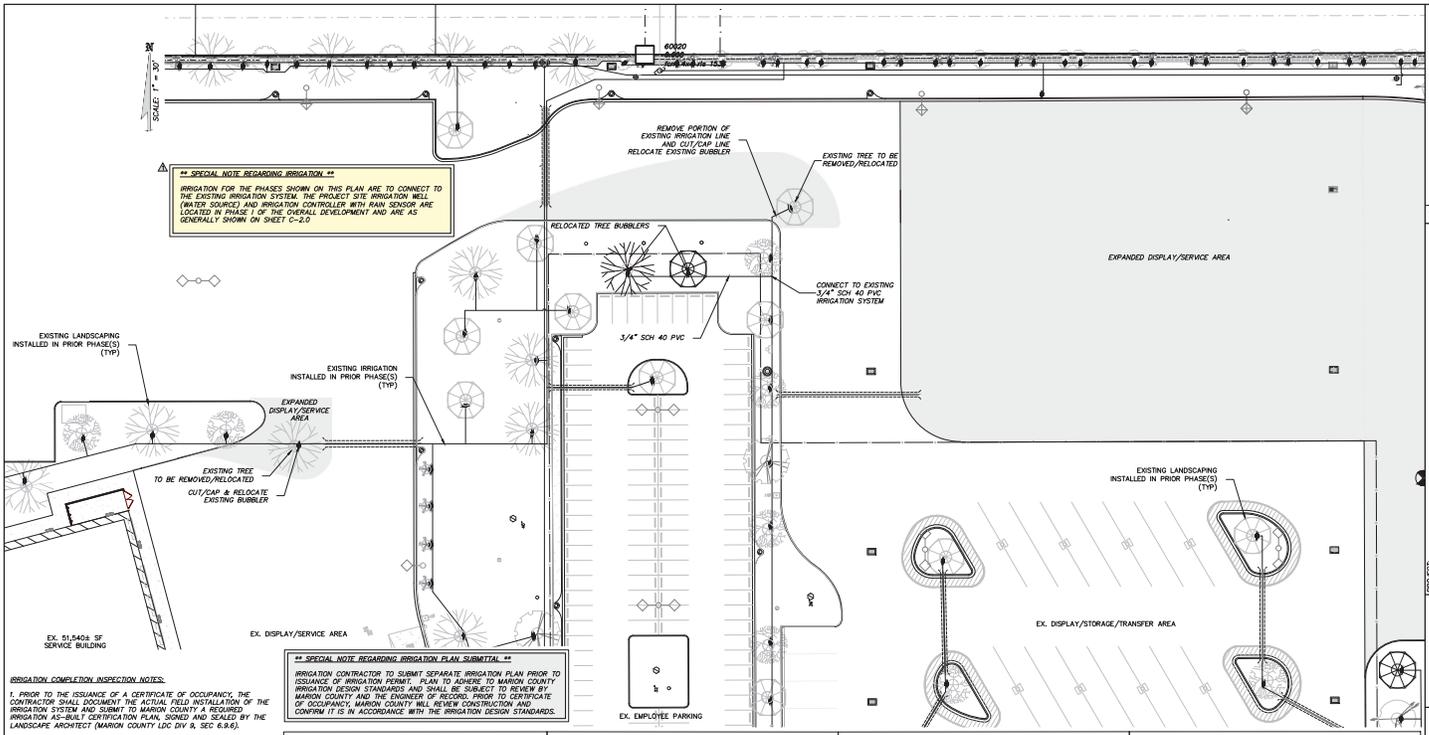
Marion County 7.3.2 UT 312  
 WORKS SPECIFICATIONS 04/15/2023  
 REVISION # 1 SEWER SERVICE LATERAL

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
 PREPARED FOR: GENERAL RV  
 SHEET TITLE: SEWER DETAILS (SHEET 1 OF 2)  
 DRAWN BY: MCF  
 CHECKED BY: CSW  
 DATE: 24.03.22  
 SHEET: C-16.1

PREPARED BY: MCNEAL ENGINEERING, INC.  
 15927 N. FLORIDA AVE, SUITE 100, LUTZ, FL 33549  
 P.O. BOX 100, LUTZ, FL 33549  
 (813) 855-1111  
 WWW.MCNEAL-ENGINEERING.COM

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**IRRIGATION COMPLETION INSPECTION NOTES:**

1. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE IRRIGATION SYSTEM AND SUBMIT TO MARION COUNTY A REQUIRED IRRIGATION AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 9, SEC 6.9.6).

2. UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE IRRIGATION SYSTEM AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.

3. WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND IRRIGATION RELEASE GRANTED.

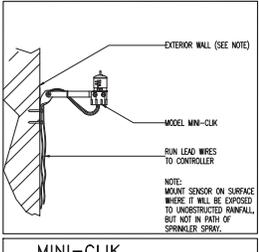
THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED IRRIGATION DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION:

- LOCATIONS OF MAINLINES AND VALVES
- TOTAL WATER DEMAND PER OPERATING CYCLE
- CONTROLLER AND SENSOR INITIAL SCHEDULING SETTINGS, AND SEASONAL ADJUSTMENTS

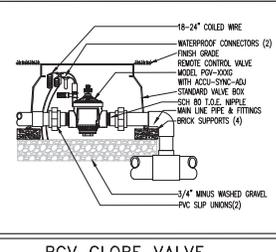
THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:

- IRRIGATION CONTROLLER OWNER'S MANUAL
- WRITTEN INSTRUCTIONS COVERING HOW AND WHEN TO CHECK FOR LEAKS
- A COPY OF THE APPROVED IRRIGATION AS-BUILT PLAN

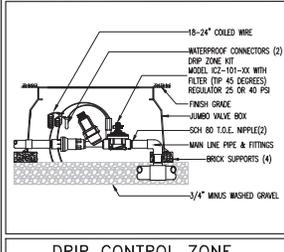
**\*\* SPECIAL NOTE REGARDING IRRIGATION PLAN SUBMITTAL \*\***  
IRRIGATION CONTRACTOR TO SUBMIT SEPARATE IRRIGATION PLAN PRIOR TO ISSUANCE OF IRRIGATION PERMIT. PLAN TO ADHERE TO MARION COUNTY IRRIGATION DESIGN STANDARDS AND SHALL BE SUBJECT TO REVIEW BY MARION COUNTY AND THE ENGINEER OF RECORDS. PRIOR TO CERTIFICATE OF OCCUPANCY, MARION COUNTY WILL REVIEW CONSTRUCTION AND CONFIRM IT IS IN ACCORDANCE WITH THE IRRIGATION DESIGN STANDARDS.



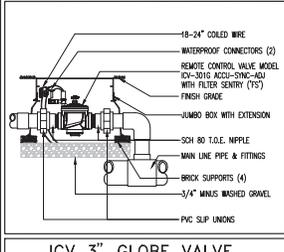
**MINI-CLICK**  
SCALE: NOT TO SCALE  
Irrigation Detail



**PGV GLOBE VALVE**  
SCALE: NOT TO SCALE  
Irrigation Detail



**DRIP CONTROL ZONE**  
SCALE: NOT TO SCALE  
Irrigation Detail



**ICV 3" GLOBE VALVE**  
SCALE: NOT TO SCALE  
Irrigation Detail

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

SHEET TITLE: IRRIGATION PLAN (SHEET 1 OF 2)

DATE: 24.03.22

DESIGNER: FCP

DRAWN BY: MSF

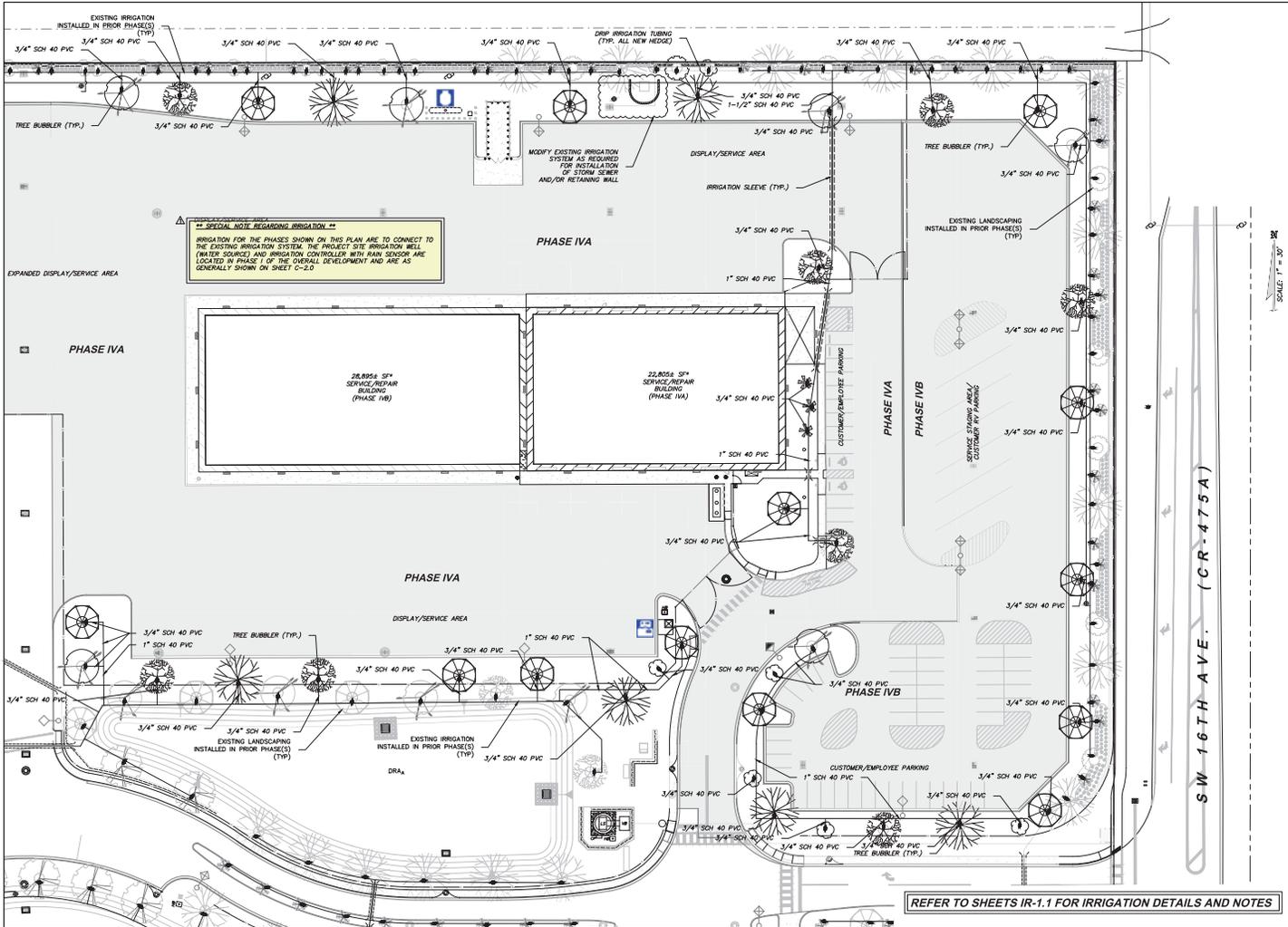
CHECKED BY: ESM

JOB NO: 21-116

ACAD FILE: FCP

MCNEAL ENGINEERING, INC.  
15927 N. FLORIDA AVE, LUTZ, FL 33549  
PH: (813) 851-1000 FAX: (813) 851-0039  
REGISTERED PROFESSIONAL ENGINEER - FLORIDA LICENSE NO. 12559

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**\*\* SPECIAL NOTE REGARDING IRRIGATION \*\***  
 IRRIGATION FOR THE PHASES SHOWN ON THIS PLAN ARE TO CONNECT TO THE EXISTING IRRIGATION SYSTEM. THE PROJECT SITE IRRIGATION WELL (WATER SOURCE) AND IRRIGATION CONTROLLER WITH RAIN SENSOR ARE LOCATED IN PHASE I OF THE OVERALL DEVELOPMENT AND ARE AS GENERALLY SHOWN ON SHEET C-2.0

REFER TO SHEETS IR-1.1 FOR IRRIGATION DETAILS AND NOTES

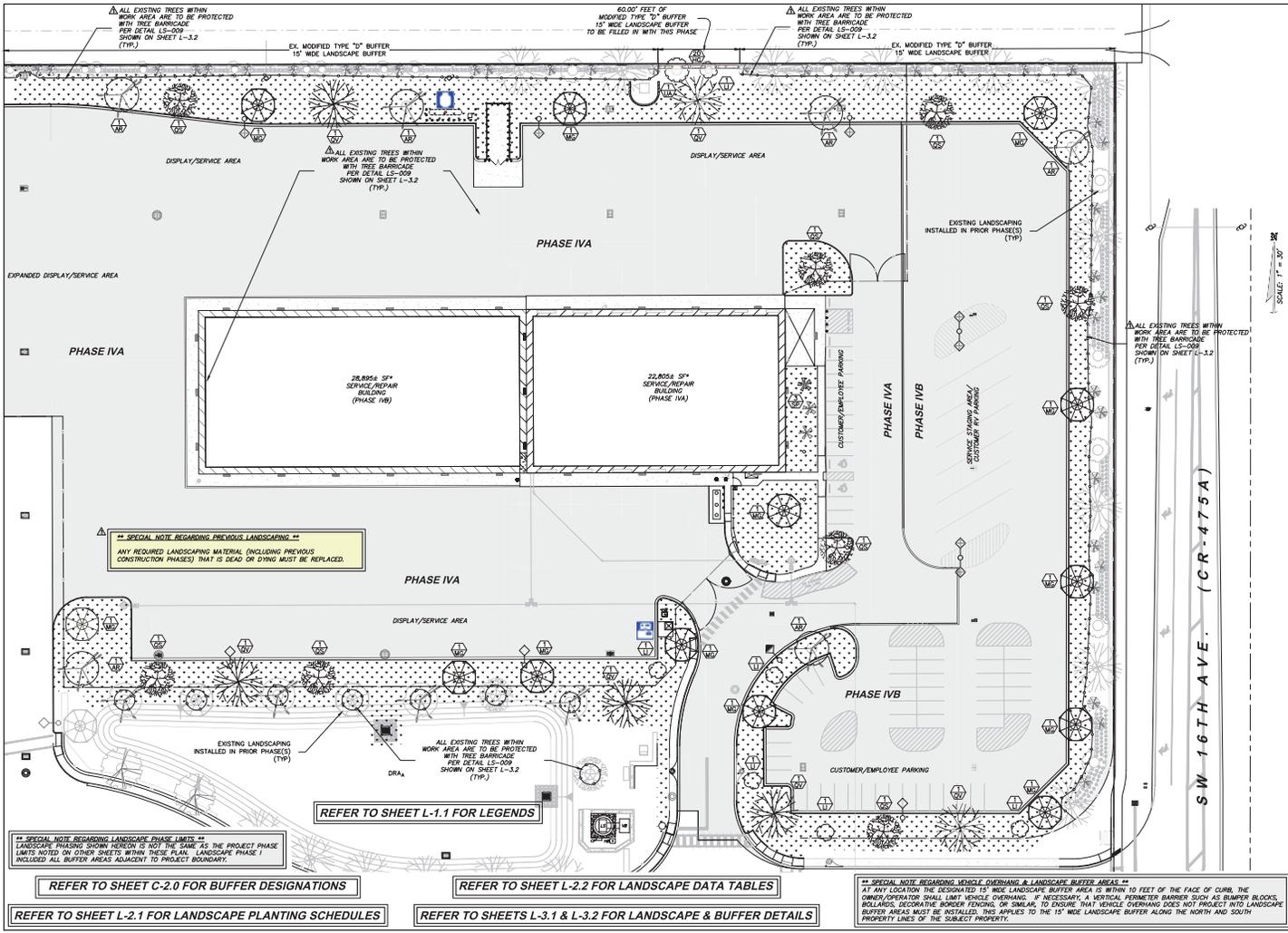
PROJECT: MAJOR SITE PLANS FOR <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL	
SHEET TITLE: <b>IRRIGATION PLAN</b> (SHEET 2 OF 2)	PREPARED FOR: <b>GENERAL RV</b>
PREPARED BY: <b>MCNEAL ENGINEERING, INC.</b> 15927 N. FLORIDA AVE. SUITE 300 FT. LAUDERDALE, FL 33309 P.O. BOX 10000 FT. LAUDERDALE, FL 33309	
JOB NO.: 21-116 ACAD FILE: PDP DRAWN BY: MSF CHECKED BY: SM	DATE: 24.03.22 SHEET: <b>IR-1.2</b>

SCALE: 1" = 50'

SW 16TH AVE. (CR-475A)

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**\*\* SPECIAL NOTE REGARDING PREVIOUS LANDSCAPING \*\***  
 ANY REQUIRED LANDSCAPING MATERIAL (INCLUDING PREVIOUS CONSTRUCTION PHASES) THAT IS DEAD OR DYING MUST BE REPLACED.

**\*\* SPECIAL NOTE REGARDING LANDSCAPE PHASE LIMITS \*\***  
 LANDSCAPE PHASING SHOWN HEREON IS NOT THE SAME AS THE PROJECT PHASE LIMITS NOTED ON OTHER SHEETS WITHIN THESE PLANS. LANDSCAPE PHASE I INCLUDED ALL BUFFER AREAS ADJACENT TO PROJECT BOUNDARY.

**\*\* SPECIAL NOTE REGARDING VEHICLE OVERHANG & LANDSCAPE BUFFER AREAS \*\***  
 AT ANY LOCATION THE DESIGNATED 15' WIDE LANDSCAPE BUFFER AREA IS WITHIN FEET OF THE FACE OF CURB, THE OWNER/OPERATOR SHALL LIMIT VEHICLE OVERHANG. IF NECESSARY, A VERTICAL PNEUMATIC BARRIER SUCH AS BUMPER BLOCKS, BOLLARDS, DECORATIVE BORDER FENCING OR SIMILAR TO ENSURE THAT VEHICLE OVERHANG DOES NOT PROJECT INTO LANDSCAPE BUFFER AREAS MUST BE INSTALLED. THIS APPLIED TO THE 15' WIDE LANDSCAPE BUFFER ALONG THE NORTH AND SOUTH PROPERTY LINES OF THE SUBJECT PROPERTY.

REFER TO SHEET C-2.0 FOR BUFFER DESIGNATIONS  
 REFER TO SHEET L-2.1 FOR LANDSCAPE PLANTING SCHEDULES

REFER TO SHEET L-2.2 FOR LANDSCAPE DATA TABLES  
 REFER TO SHEETS L-3.1 & L-3.2 FOR LANDSCAPE & BUFFER DETAILS

<b>MAJOR SITE PLANS FOR</b> <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL PREPARED FOR: <b>GENERAL RV</b>		PROJECT: <b>GENERAL RV</b> SHEET TITLE: <b>CODE LANDSCAPE PLAN</b> (SHEET 2 OF 2)
PREPARED BY: <b>MCNEAL ENGINEERING, INC.</b> 15927 N. FLORIDA AVE. LUTZ, FL 33549 P.O. BOX 10000 (A DIVISION OF AUTOMATICALLY)		JOB NO.: 21-116 ACAD FILE: FCP DRAWN BY: MSF CHK'D BY: CSW DATE: 24.03.22 SHEET: <b>L-1.2</b>

TREE PLANTING SCHEDULE (PHASES I - IV)							PHASE I		PHASE II		PHASE III		PHASE IV		TOTAL		
SYMBOL	ABRV	SCIENTIFIC NAME 'N=Native	COMMON NAME	PLANTING REQUIREMENTS	COMMENT	UNIT	QTY	TOTAL INCHES	QTY	TOTAL INCHES	QTY	TOTAL INCHES	QTY	TOTAL INCHES	%	QTY	TOTAL INCHES
AR	Acer rubrum 'N	Red Maple	Red Maple	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	15	52.5	0	0	0	0	0	17.5	13%	20	70
IV	Ilex vomitoria 'N	Yaupon Holly	Yaupon Holly	min 2" dia, min 10" height		EACH	124	248	0	0	0	0	0	0%	124	248	
LI	Liquidambar styraciflua	Drum Maple	Drum Maple	min 3" caliper, min 8" height		EACH	162		12		0	0	6	15%	168		
LS	Liquidambar styraciflua 'N	Swamp Gum	Swamp Gum	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	2	7	10	35	0	0	0	0%	12	42	
PD	Platanus occidentalis 'N	Sycamore	Sycamore	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	16	56	0	0	3	10.5	0	0	0%	19	66.5
QO	Quercus shumardii 'N	Shumard Oak	Shumard Oak	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	28	98	11	38.5	6	21	0	17.5	13%	50	175
QV	Quercus virginiana 'N	Live Oak	Live Oak	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	107	374.5	7	24.5	3	10.5	6	21	15%	123	430.5
SP	Sabal palmetto 'N	Palmetto	Palmetto	min 10" height		EACH	39		0		0	3		8%	42		
MG	Magnolia grandiflora D.D. Blanchard 'N	Southern Magnolia	Southern Magnolia	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	28	98	9	31.5	11	38.5	13	45.5	33%	61	213.5
UA	Ulmus alata 'N	Winged Elm	Winged Elm	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	37	129.5	2	7	0	0	1	3.5	3%	40	140
TOTAL													39	108	100%	671	1365.0

TREE PLANTING SCHEDULE (PHASE V) - FUTURE OUTPARCELS							PHASE V		
SYMBOL	ABRV	SCIENTIFIC NAME 'N=Native	COMMON NAME	PLANTING REQUIREMENTS	COMMENT	UNIT	QTY	TOTAL INCHES	
AR	Acer rubrum 'N	Red Maple	Red Maple	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	0	0	
IV	Ilex vomitoria 'N	Yaupon Holly	Yaupon Holly	min 2" dia, min 10" height		EACH	0	0	
LI	Liquidambar styraciflua	Drum Maple	Drum Maple	min 3" caliper, min 8" height		EACH	3	0	
LS	Liquidambar styraciflua 'N	Swamp Gum	Swamp Gum	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	0	0	
PD	Platanus occidentalis 'N	Sycamore	Sycamore	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	0	0	
QO	Quercus shumardii 'N	Shumard Oak	Shumard Oak	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	0	0	
QV	Quercus virginiana 'N	Live Oak	Live Oak	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	4	14	
SP	Sabal palmetto 'N	Palmetto	Palmetto	min 10" height		EACH	0	0	
MG	Magnolia grandiflora D.D. Blanchard 'N	Southern Magnolia	Southern Magnolia	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	0	0	
UA	Ulmus alata 'N	Winged Elm	Winged Elm	min 3.5" caliper, 6in 10" height	Shade Tree/Replacement Tree	EACH	5	17.5	
TOTAL								12	31.5

**LANDSCAPE COMPLETION INSPECTION NOTES:**

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 9, SEC 6.8.12).
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.
- THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION: (NOTE: PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.))

**INSTALLED PLANT SPECIES AND SIZES**

**INSTALLED PLANT QUANTITIES**

**OTHER INSTALLED MATERIALS DOCUMENTATION**

- THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE IRRIGATION SYSTEM AND SUBMIT TO MARION COUNTY A REQUIRED IRRIGATION AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 9, SEC 6.8.6).

PLANTING SCHEDULE							PHASE I		PHASE IV	
SYMBOL	ABRV	SCIENTIFIC NAME 'N=Native	COMMON NAME	PLANTING REQUIREMENTS	COMMENT	UNIT	QTY	TOTAL INCHES	QTY	TOTAL INCHES
DC1		Eleocharis geniculata Aeluropus cristatus	Blue Dune Shore Juniper	30" c/c alternate	OR APPROVED EQUAL	EACH	432	0	0	0%
DC2		Juncus acrocarpa Liriodendron tulipifera Muhlenbergia capillaris 'N	Creeper Juniper Crape Mulle grass	30" c/c alternate	OR APPROVED EQUAL	EACH	2066	0	0	0%
DC3		OPTIONAL GROUND COVER SHALL BE ONE (OR MORE) OF THE OPTIONS LISTED FOR DC1 OR DC2 AS APPROVED BY EDR & OWNER. INSTALLATION OF THESE ARE AT THE OPTION OF THE DEVELOPER. REQUIREMENTS FOR SPACING AND QUALITY SHALL BE THE SAME AS FOR DC1 & DC2.					EACH	1888	0	0%
SH1		Pinus strobus Russelia setacea	Pinus Firecracker Plant	30" c/c alternate	OR APPROVED EQUAL	EACH	1344	0	0	0%
SH2		Callisaurus vitifolius Zinnia mexicana 'N	Deer Lily, John Bottomwood Crocus	30" c/c alternate	OR APPROVED EQUAL	EACH	238	0	0	0%
HG		REQUIRED HEDGE PLANTS SHALL BE FROM THE APPROVED HEDGE LIST (BELOW). SELECTION AT THE OPTION OF THE SITE CONTRACTOR. DO NOT MIX SPECIES IN SAME HEDGE ROW.					EACH	1127	20	100%
HG*		HEDGE PLANTS IN SHADDED AREA AROUND MASTER WATER METER, LIFT STATION, IRRIGATION WELL, AND DOCK (PINE) SHALL BE MIX OF HIGH AT THE TIME OF PLANTING.					EACH	99	0	0%
HG**		OPTIONAL HEDGES MAY DEVIATE FROM THE FOLLOWING LIST WITH EDR APPROVAL. INSTALLATION OF THESE ARE AT THE OPTION OF THE DEVELOPER. REQUIREMENTS FOR SPACING AND QUALITY SHALL REMAIN IN FORCE FOR OPTIONAL HEDGES.					EACH	79	0	0%
TOTAL								30		100%

NATIVE PLANT MATERIALS (%) IN PHASE IV	
Total Plant Material	71
Total Native Plant Material	33
Percentage of Native Plant Material	46%

TOTAL LANDSCAPE AREA (%) IN PHASES I - IV	
Total Area in Phases I - IV (+/- Acres)	55.77
Total Landscape Area (+/- Acres)	12.21
Percentage of Landscape Area	22%

APPROVED HEDGE PLANTINGS			
ABRV	SCIENTIFIC NAME 'N=Native	COMMON NAME	PLANTING REQUIREMENTS
#	Ilex vomitoria 'N	Yaupon Holly	
#	Podocarpus neriifolius	Podocarpus	
#	Ilex vomitoria	Yaupon Holly	All hedge plants to have a minimum height of 24" and 3' dia at time of planting, unless otherwise noted. Planting to be made at 30" c/c.
#	Viburnum acerifolium	Sandbarrel Viburnum	
#	Viburnum celticum	Water Viburnum	

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
 PREPARED FOR: GENERAL RV  
 SHEET TITLE: LANDSCAPE PLANTING SCHEDULES  
 SHEET NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHECK BY: CSM  
 DATE: 24.03.22  
 SHEET: L-2.1

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EXISTING TREES TO REMAIN		
TYPE	SIZE (INCHES)	COUNT
QAK	36	2
QAK	32	2
QAK	24	1
QAK	30	2
QAK	48	2
QAK	42	2
QAK	42	2
QAK	56	2
QAK	96	2
QAK	30	2
QAK	56	2
QAK	48	0
QAK	50	0
QAK	30	0
QAK	28	0
QAK	12	0
QAK	44	0
QAK	24	0
QAK	44	0
QAK	10	1
QAK	8	1
QAK	8	1
QAK	12	1
QAK	10	1
QAK	8	1
QAK	8	1
QAK	34	0
MAGNOLIA	14	1
MAGNOLIA	14	1
QAK	18	1
QAK	32	2
QAK	40	2
QAK	40	2
QAK	72	2
QAK	48	2
QAK	10	1
QAK	60	2
QAK	58	2
QAK	40	2
QAK	68	2
QAK	18	1
QAK	18	1
QAK	12	1
QAK	10	1
QAK	18	1
QAK	8	1
QAK	42	2
QAK	48	2
QAK	42	0
QAK	24	0
QAK	42	0
QAK	36	0
QAK	36	2
QAK	42	2
TOTAL	1797	79

LEGEND:	
QAK	TREE REMAINING FROM PRIOR PHASE
QAK	REMOVAL FROM PRIOR PHASE
QAK	CHANGE THIS PHASE

EXISTING TREES TO BE REMOVED (ALL PHASES)					
POINT #	TYPE	SIZE (INCHES)	REPLACEMENT FACTOR	REPLACEMENT (INCHES)	COMMENT
25001	QAK	6	0.00	0	
25002	QAK	8	0.00	0	
25003	QAK	8	0.00	0	
25004	QAK	8	0.00	0	
25005	QAK	12	0.50	6	
25006	QAK	6	0.00	0	
25007	QAK	10	0.00	0	
25008	QAK	2	0.00	0	
25013	QAK	6	0.00	0	
25014	QAK	4	0.00	0	
25015	QAK	8	0.00	0	
25016	QAK	12	0.50	6	
25018	CHERRY LAUREL	12	0.00	0	
25019	QAK	18	0.00	0	
25020	QAK	10	0.00	0	
25022	QAK	3	0.00	0	
25024	QAK	10	0.00	0	
25025	CHERRY LAUREL	8	0.00	0	
25026	CHERRY LAUREL	22	0.00	0	
80114	UNKNOWN	8	0.00	0	
80115	UNKNOWN	14	0.50	7	
80116	QAK	48	0.00	0	Poor Condition
81208	PALM	8	0.00	0	
81209	PALM	8	0.00	0	
81210	PALM	14	0.50	7	
81212	PALM	8	0.00	0	
81213	PALM	8	0.00	0	
81215	QAK	40	0.00	0	Poor Condition
81216	QAK	28	0.00	0	Dead
81217	QAK	38	0.00	0	Poor Condition
81289	QAK	48	0.00	0	Poor Condition
81290	QAK	50	0.00	0	Poor Condition
81291	QAK	30	0.00	0	Poor Condition
81292	QAK	28	0.00	0	Poor Condition
81293	QAK	12	0.00	0	Poor Condition
81294	QAK	44	0.00	0	Poor Condition
81295	QAK	24	0.00	0	Poor Condition
81296	QAK	44	0.00	0	Poor Condition
81297	QAK	8	0.00	0	
81298	QAK	8	0.00	0	
81299	PALM	18	0.50	9	
81300	MAGNOLIA	12	0.00	0	Poor Condition
81319	UNKNOWN	8	0.00	0	

LEGEND:	
25000	TREE REMOVED FROM PRIOR PHASE
20000	TREE REMOVED THIS PLAN

TREE REPLACEMENT CALCULATIONS	
PRE-DEVELOPMENT:	
UNCOVERED SITE AREA (ACRES)	60.32
TOTAL NUMBER OF INCHES OF EXISTING FAVORABLE TREES	2640
EXISTING AVERAGE INCHES PER ACRE	44
POST-DEVELOPMENT:	
TOTAL REQUIRED NUMBER OF INCHES OF TREES	2640
TOTAL NUMBER OF INCHES OF TREES PROVIDED	3144
PROPOSED AVERAGE INCHES PER ACRE	62

EXISTING TREES TO BE REMOVED (ALL PHASES)					
POINT #	TYPE	SIZE (INCHES)	REPLACEMENT FACTOR	REPLACEMENT (INCHES)	COMMENT
81320	CEDAR	24	0.00	0	
81321	QAK	18	0.00	0	Poor Condition
81322	QAK	32	1.00	32	
81323	QAK	38	0.00	0	Poor Condition
81324	QAK	54	0.00	0	Poor Condition
81325	QAK	32	0.00	0	Poor Condition
81326	QAK	34	1.00	34	
81327	PALM	18	0.50	9	
81333	QAK	28	0.00	0	Poor Condition
81334	QAK	38	0.00	0	Poor Condition
81381	UNKNOWN	24	0.00	0	Cells app.
81383	QAK	32	1.00	32	
81385	UNKNOWN	8	0.00	0	
81386	QAK	48	0.00	0	Poor Condition
81387	QAK	56	0.00	0	Poor Condition
81388	QAK	6	0.00	0	
81389	QAK	22	0.75	16.5	
81390	QAK	6	0.00	0	
81361	UNKNOWN	24	0.00	0	Cells app.
70000	QAK	38	0.00	0	
80000	QAK	42	0.00	0	Poor Condition
80002	QAK	48	0.00	0	Poor Condition
80003	QAK	68	1.00	68	
80004	QAK	24	0.75	18	
80007	QAK	42	1.00	42	
80005	QAK	52	0.00	0	Dead
80008	UNKNOWN	8	0.00	0	
80009	UNKNOWN	8	0.00	0	
80009	UNKNOWN	12	0.50	6	
80010	UNKNOWN	8	0.00	0	
80027	QAK	48	0.00	0	Dead
80028	QAK	38	0.00	0	Poor Condition
80029	QAK	36	1.00	36	
80030	QAK	38	0.00	0	Poor Condition
80035	QAK	22	0.75	16.5	
80327	QAK	18	0.50	9	
80334	QAK	38	0.00	0	Poor Condition
80335	QAK	38	0.00	0	Poor Condition
80336	QAK	24	0.00	0	Poor Condition
80337	QAK	12	0.00	0	Poor Condition
80338	QAK	10	0.00	0	Poor Condition
80339	QAK	8	0.00	0	Poor Condition
80340	QAK	6	0.00	0	Poor Condition
000001	QAK	38	1.00	38	

LEGEND:	
300	SUB-TOTAL
300	TOTAL

SHADE TREE CALCULATIONS			
RATE: 1 SHADE TREE REQUIRED PER 6,000 SF (BY WATER)	QUANTITY	NUMBER OF TREES	
NET AREA (PHASES I - IV) AFTER R/W DEDUCTION (SF)	2,430,200	406	
NET AREA (PHASE V) (SF)	170,874	28	
TOTAL SHADE TREES REQUIRED BEFORE CREDITS		434	
CREDIT FOR EXISTING TREES TO REMAIN		78	
TOTAL SHADE TREES REQUIRED FOR PROJECT		356	
REQUIRED 4 SHADE TREES ATTRIBUTED TO PHASES I - IV	93%	338	
TOTAL SHADE TREES PROVIDED		323	
REQUIRED 2 SHADE TREES ATTRIBUTED TO PHASE V	7%	24	
TOTAL SHADE TREES SHOWN ON PLANS		9	
ADDITIONAL SHADE TREES TO BE PROVIDED WITH PHASE V		25	
TOTAL SHADE TREES FOR PHASE V		34	
PROJECT TOTALS (AREA SF / TOTAL SHADE TREES)	2,601,074	434	
RECALCULATING SF PER SHADE TREE = (AREA) / (TREES)		5993	

MAJOR SITE PLANS FOR  
**GENERAL RV OCALA - PHASE IV**  
13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

SHEET TITLE:  
**LANDSCAPE DATA TABLES**

PREPARED FOR:  
**GENERAL RV**

PROJECT:  
**GENERAL RV**

DRAWN BY:  
**MSF**

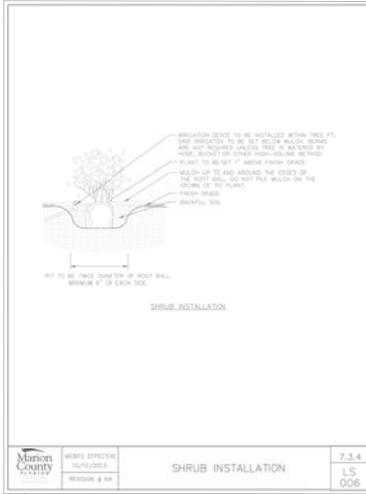
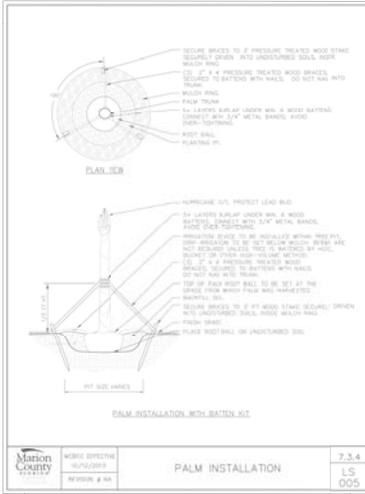
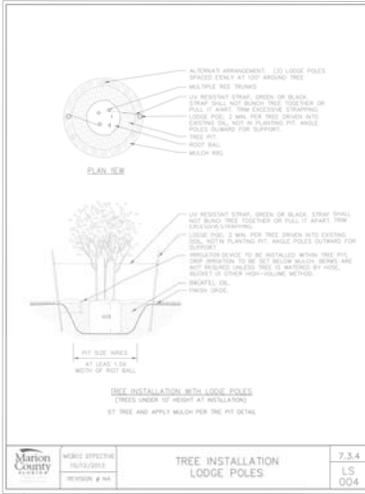
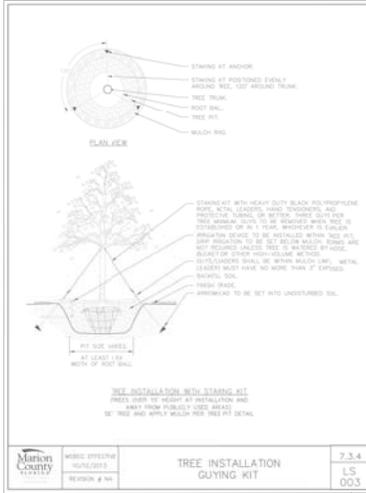
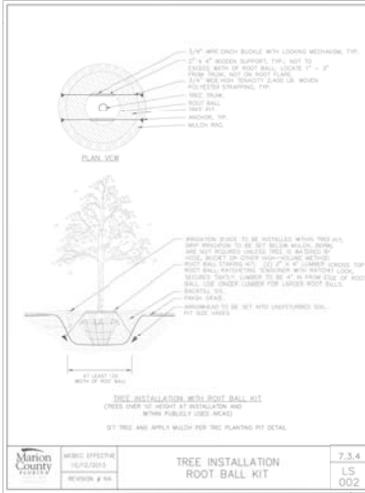
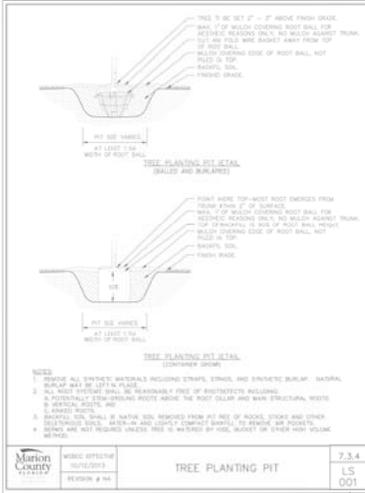
CHECKED BY:  
**CSM**

DATE:  
**24.03.22**

SHEET:  
**L-2.2**

JOB NO.: 21-116  
ACAD FILE: FCP  
DRAWN BY: MSF  
CHECKED BY: CSM  
DATE: 24.03.22

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REVISION & DATE

NO.

MAJOR SITE PLANS FOR  
**GENERAL RV OCALA - PHASE IV**  
13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR:  
**GENERAL RV**

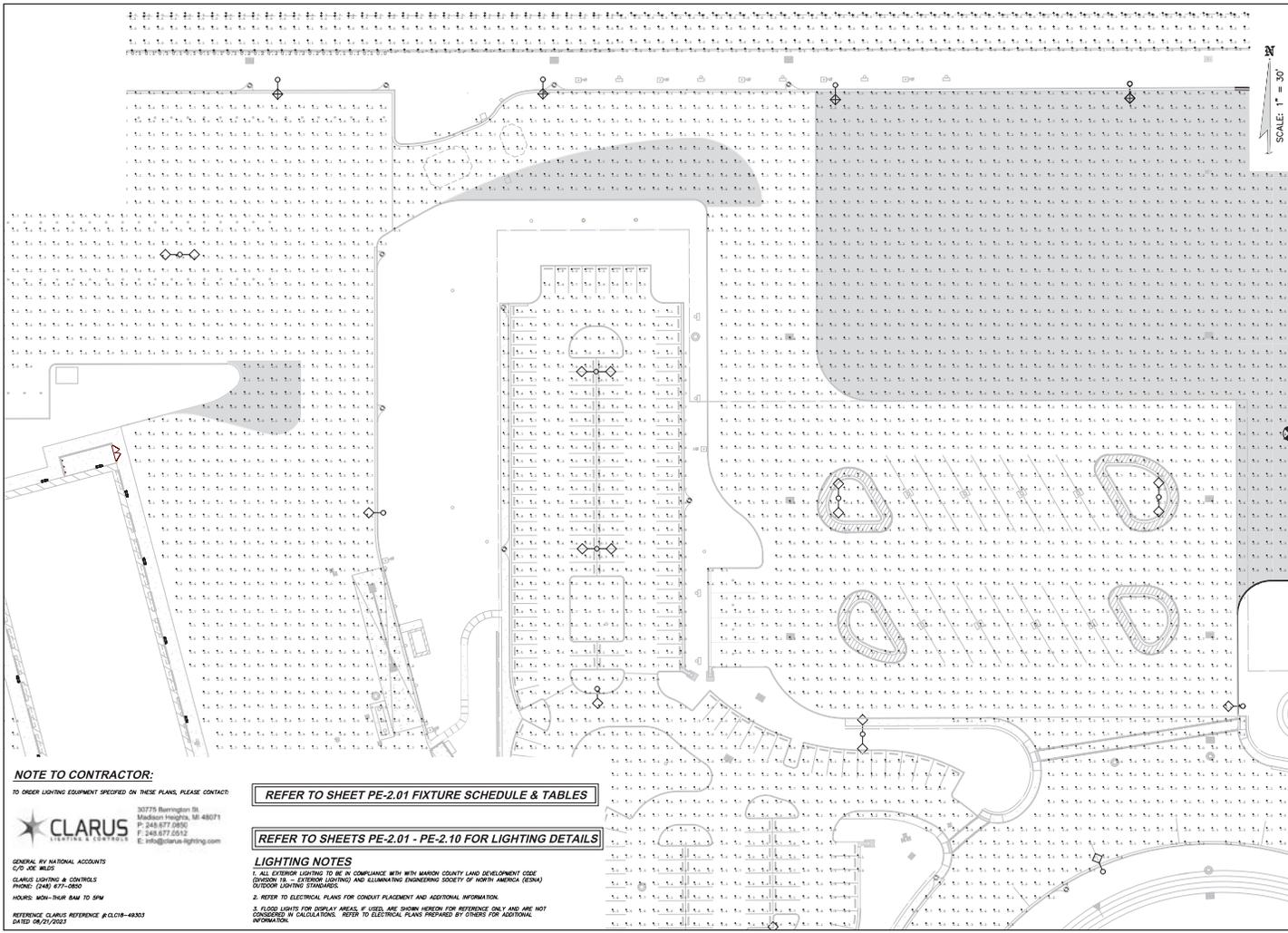
PROJECT:  
**LANDSCAPE DETAILS**  
(SHEET 7 OF 7)

McNEAL ENGINEERING, INC.  
15927 N. FLORIDA AVE, SUITE 100, Ocala, FL 33469  
PH: (352) 236-1111 FAX: (352) 236-1112

JOB NO. 21-116  
ACAD FILE: FCP  
DRAWN BY: MCF  
CHK'D BY: CSB  
DATE: 24.03.22  
SHEET: **L-3.1**

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**NOTE TO CONTRACTOR:**

TO ORDER LIGHTING EQUIPMENT SPECIFIED ON THESE PLANS, PLEASE CONTACT:

**CLARUS**  
 LIGHTING & CONTROLS  
 30775 Barrington St.  
 Madison Heights, MI 48071  
 P: 248.877.0800  
 F: 248.877.0512  
 E: info@clarus-lighting.com

GENERAL RV NATIONAL ACCOUNTS  
 C/O JOE REES  
 CLARUS LIGHTING & CONTROLS  
 PHONE: (248) 877-0800  
 HOURS: MON-THUR 8AM TO 5PM  
 REFERENCE QUOTE REFERENCE # CLC18-8003  
 DATED 08/21/2021

REFER TO SHEET PE-2.01 FIXTURE SCHEDULE & TABLES

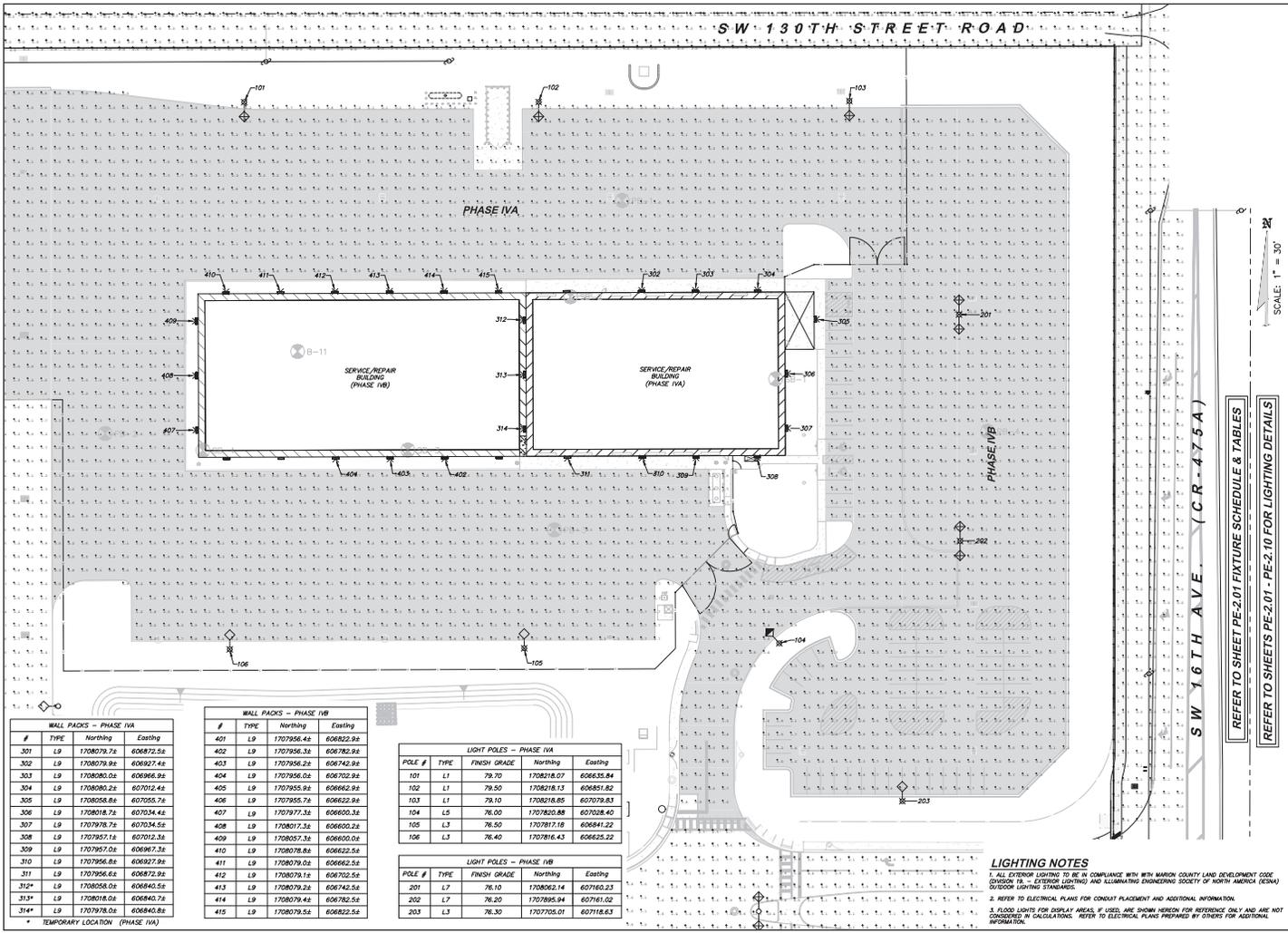
REFER TO SHEETS PE-2.01 - PE-2.10 FOR LIGHTING DETAILS

**LIGHTING NOTES**

1. ALL EXTERIOR LIGHTING TO BE IN COMPLIANCE WITH MARION COUNTY LAND DEVELOPMENT CODE SECTION 16-10 EXTERIOR LIGHTING AND ILLUMINATORY ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) OUTDOOR LIGHTING STANDARDS.
2. REFER TO ELECTRICAL PLANS FOR CONDUIT PLACEMENT AND ADDITIONAL INFORMATION.
3. FLOOD LIGHTS FOR DISPLAY AREAS, IF USED, ARE SHOWN HEREIN FOR REFERENCE ONLY AND ARE NOT CONSIDERED IN CALCULATIONS. REFER TO ELECTRICAL PLANS PREPARED BY OTHERS FOR ADDITIONAL INFORMATION.

NO. REVISION & DATE	
PROJECT:	MAJOR SITE PLANS FOR <b>GENERAL RV OCALA - PHASE IV</b> 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL
PREPARED FOR:	GENERAL RV
SHEET TITLE:	LIGHTING PLAN (SHEET 1 OF 2)
 <b>MCNEAL ENGINEERING, INC.</b> 15907 N. FLORIDA AVE, LUTZ, FL 33549 P.O. BOX 1000, LUTZ, FL 33549 P.E. (CERTIFICATE OF AUTHORIZATION #0053)	
JOB NO.:	21-116
ACAD FILE:	FDP
DRAWN BY:	MSF
CHECKED BY:	ESM
DATE:	24.03.22
SHEET:	<b>PE-1.1</b>

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WALL PACKS - PHASE IVA		
#	TYPE	Northing Easting
301	LP	1708079.74 606872.54
302	LP	1708079.94 606927.44
303	LP	1708080.04 606966.94
304	LP	1708080.24 607012.44
305	LP	1708080.84 607055.74
306	LP	1708018.74 607234.44
307	LP	1707978.74 607334.54
308	LP	1707957.14 607012.34
309	LP	1707957.04 606967.34
310	LP	1707956.84 606927.94
311	LP	1707956.64 606872.94
312*	LP	1708056.04 606840.54
313*	LP	1708018.04 606840.74
314*	LP	1707978.04 606840.84

WALL PACKS - PHASE IVB		
#	TYPE	Northing Easting
401	LP	1707956.44 606822.94
402	LP	1707956.34 606782.94
403	LP	1707956.24 606742.94
404	LP	1707956.04 606702.94
405	LP	1707955.94 606662.94
406	LP	1707955.74 606622.94
407	LP	1707917.34 606600.34
408	LP	1708017.34 606600.04
409	LP	1708057.34 606600.04
410	LP	1708078.84 606622.54
411	LP	1708079.04 606662.54
412	LP	1708079.14 606702.54
413	LP	1708079.24 606742.54
414	LP	1708079.44 606782.54
415	LP	1708079.54 606822.54

LIGHT POLES - PHASE IVA			
POLE #	TYPE	FINISH GRADE	Northing Easting
101	L1	79.70	1708218.07 606835.84
102	L1	79.50	1708218.13 606851.82
103	L1	78.10	1708218.85 607079.23
104	L5	76.20	1707820.88 607238.40
105	L3	76.50	1707871.18 606841.22
106	L3	76.40	1707816.43 606625.22

LIGHT POLES - PHASE IVB			
POLE #	TYPE	FINISH GRADE	Northing Easting
201	L7	76.10	1708062.14 607145.23
202	L7	76.20	1707995.94 607161.02
203	L3	76.30	1707705.01 607118.63

**LIGHTING NOTES**

- ALL EXTERIOR LIGHTING TO BE IN COMPLIANCE WITH MARION COUNTY LAND DEVELOPMENT CODE DIVISION 16 - EXTERIOR LIGHTING AND ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) OUTDOOR LIGHTING STANDARDS.
- REFER TO ELECTRICAL PLANS FOR CONDUIT PLACEMENT AND ADDITIONAL INFORMATION.
- FLOOD LIGHTS FOR DISPLAY AREAS, IF USED, ARE SHOWN HEREON FOR REFERENCE ONLY AND ARE NOT CONSIDERED IN CALCULATIONS. REFER TO ELECTRICAL PLANS PREPARED BY OTHERS FOR ADDITIONAL INFORMATION.

SCALE: 1" = 30'

REFER TO SHEET PE-2.01 FIXTURE SCHEDULE & TABLES

REFER TO SHEETS PE-2.01 - PE-2.10 FOR LIGHTING DETAILS

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

SHEET TITLE: LIGHTING PLAN (SHEET 2 OF 2)

DATE: 24.03.22

JOB NO. 21-116

ACAD FILE: FCP

DRAWN BY: MSF

CHECKED BY: CSB

DATE: 24.03.22

SHEET: PE-1.2

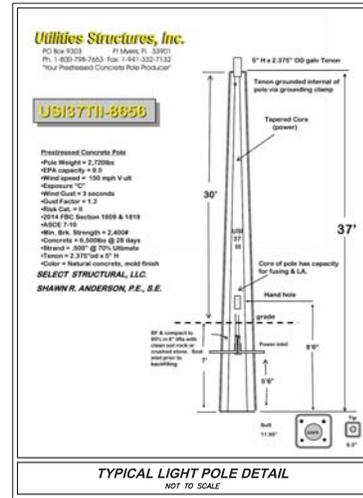
McNEAL ENGINEERING, INC.  
15907 N. FLORIDA AVE., SUITE 100, LUTZ, FL 33549  
PH: (813) 851-1000  
WWW.MCNEAL-ENGINEERING.COM

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FIXTURE SCHEDULE											
SYMBOL	TYPE	PHASE I/IV	PHASE I/IV	TOTAL	DESCRIPTION	ARRANGEMENT	MOUNT HEIGHT	LLF	VOLTAGE	ARR. WATTS	ARR. LUM. LUMENS
⊕	L1	3	0	3	MCORAM-EDISON GALLEON LED GLAN-SABD-740-U-SL4-HSS	SINGLE POLE MOUNT	30.0 FT	0.900	120	368	37,734
⊕	L3	2	1	3	MCORAM-EDISON GALLEON LED GLAN-SABD-740-U-SL4-T6T7	SINGLE POLE MOUNT	30.0 FT	0.900	120	429	56,646
⊕	L5	1	0	1	MCORAM-EDISON GALLEON LED GLAN-SABD-740-U-SW0	SINGLE POLE MOUNT	30.0 FT	0.900	120	368	48,071
⊕	L7	0	2	2	MCORAM-EDISON GALLEON LED GLAN-S470-740-U-S40	DOUBLE POLE MOUNT	30.0 FT	0.900	120	794	102,718
⊕	L9	14*	15*	29*	MCORAM-EDISON GALLEON WALL LED GRC-S42B-740-U-SL4	SINGLE WALL MOUNT	20.0 FT	0.900	120	86	11,333
TOTAL FIXTURES		20*	18*	38*							
LIGHT POLES		6	3	9	UTILITY STRUCTURES INC US3378-66-56						

NOTE: ALL LIGHTING FIXTURES NOTED SHALL BE AS SPECIFIED, OR APPROVED EQUAL.  
 \* FIXTURE #S 312, 313 & 314 TO BE RELOCATED IN PHASE I/IV.  
 ALL WALL MOUNTED UNITS TO BE PROVIDED AND INSTALLED BY BUILDING CONTRACTOR, SHOWN HEREON FOR PHOTOMETRICS ONLY.

CALCULATION SUMMARY (PHASE IV)							
LOCATION	CALC TYPE	UNITS	AVG	MAX	MIN	MAX/MIN	DESCRIPTION
25' BEYOND PROPERTY LINE (EAST)	ILLUMINANCE	Fc	0.03	0.4	0.0	N/A	HORIZONTAL PLANE OF CALCULATION AT ZERO FT AFD
25' BEYOND PROPERTY LINE (NORTH)	ILLUMINANCE	Fc	0.00	0.1	0.0	N/A	HORIZONTAL PLANE OF CALCULATION AT ZERO FT AFD
ADJACENT COMMERCIAL ZONE NORTH	ILLUMINANCE	Fc	0.00	0.1	0.0	N/A	HORIZONTAL PLANE OF CALCULATION AT ZERO FT AFD
ADJACENT RESIDENTIAL ZONE NORTH	ILLUMINANCE	Fc	0.02	0.1	0.0	N/A	HORIZONTAL PLANE OF CALCULATION AT ZERO FT AFD
ADJACENT RESIDENTIAL ZONE SOUTH	ILLUMINANCE	Fc	0.02	0.2	0.0	N/A	HORIZONTAL PLANE OF CALCULATION AT ZERO FT AFD
ENTRANCE	ILLUMINANCE	Fc	4.03	11.1	0.9	12.33	HORIZONTAL PLANE AT ZERO FT AFD
MAIN PARKING AREA & DRIVES	ILLUMINANCE	Fc	2.41	18.5	0.0	N/A	
PROPERTY LINE	ILLUMINANCE	Fc	0.08	0.9	0.0	N/A	HORIZONTAL PLANE OF CALCULATION AT ZERO FT AFD
PROPERTY LINE PHASE IV	ILLUMINANCE	Fc	0.05	0.6	0.0	N/A	
25' BEYOND PROPERTY LINE (PHASE IV)	ILLUMINANCE	Fc	0.01	0.4	0.0	N/A	
PHASE IV (COMBINED EAST & NORTH)	ILLUMINANCE	Fc	1.99	11.0	0.0	N/A	



REV. REVISION & DATE

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV  
 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL

PREPARED FOR: GENERAL RV

PREPARED BY: SHAWN R. ANDERSON, P.E., S.E.

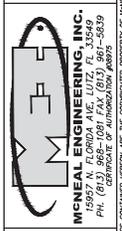
SHEET TITLE: LIGHTING DETAILS

JOB NO. 21-116  
 ACAD FILE: FCP  
 DRAWN BY: MSF  
 CHK'D BY: CSW  
 DATE: 24.03.22  
 SHEET: PE-2.01

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REV. NO. REVISION & DATE

PROJECT: MAJOR SITE PLANS FOR GENERAL RV OCALA - PHASE IV 13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL PREPARED FOR: GENERAL RV



JOB NO. 21-116 FCP ACAD FILE FCP DRAWN BY: MSF CHECKED BY: CSB DATE: 24.03.22 SHEET: PE-2.02

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**GENERAL OCALA PHASE 4**

**McGraw-Edison**  
**GALN Galleon II**  
Area / Site Luminaire

**Typical Applications**  
Outdoor Lighting: Golf, Ballpark, Stadium, Building, Road

**Interactive Menu**

- Ordering Information
- Mounting Details
- Optical Distribution
- Energy and Performance Data
- Control Options

**Product Certifications**

**Resources**

**Connected Systems**

- Wired Line
- Wireless Line

**Quick Facts**

- Lumen packages range from 3,300 - 73,500 (33W - 732W)
- 10 optical distributions
- Efficiency up to 115 lumens per watt

**Dimensional Details**

Height	Width	Weight (lb)	Mounting Hole Spacing (in)	Mounting Hole Diameter (in)	Mounting Hole Center-to-Center (in)
12.5	12	27	20.5	0.875	21.375
17.5	12	37	20.5	0.875	21.375

**McGraw-Edison** GALN Galleon II

**Ordering Information**  
PART NUMBER: GALN-GALLEON-02-001-001

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Technical Specifications**

**Lighting Performance**

**Energy and Performance Data**

**Control Options**

**Warranty**

**McGraw-Edison** GALN Galleon II

**Mounting Details**

**Post-Entry Pole Mount**

**Post-Entry Pole Mount (20' H)**

**Post-Entry Pole Mount (25' H)**

**Post-Entry Pole Mount (30' H)**

**Post-Entry Pole Mount (35' H)**

**Post-Entry Pole Mount (40' H)**

**Post-Entry Pole Mount (45' H)**

**Post-Entry Pole Mount (50' H)**

**Post-Entry Pole Mount (55' H)**

**Post-Entry Pole Mount (60' H)**

**Post-Entry Pole Mount (65' H)**

**Post-Entry Pole Mount (70' H)**

**Post-Entry Pole Mount (75' H)**

**Post-Entry Pole Mount (80' H)**

**Post-Entry Pole Mount (85' H)**

**Post-Entry Pole Mount (90' H)**

**Post-Entry Pole Mount (95' H)**

**Post-Entry Pole Mount (100' H)**

**McGraw-Edison** GALN Galleon II

**Mounting Details**

**Post-Entry Pole Mount (10' H)**

**Post-Entry Pole Mount (15' H)**

**Post-Entry Pole Mount (20' H)**

**Post-Entry Pole Mount (25' H)**

**Post-Entry Pole Mount (30' H)**

**Post-Entry Pole Mount (35' H)**

**Post-Entry Pole Mount (40' H)**

**Post-Entry Pole Mount (45' H)**

**Post-Entry Pole Mount (50' H)**

**Post-Entry Pole Mount (55' H)**

**Post-Entry Pole Mount (60' H)**

**Post-Entry Pole Mount (65' H)**

**Post-Entry Pole Mount (70' H)**

**Post-Entry Pole Mount (75' H)**

**Post-Entry Pole Mount (80' H)**

**Post-Entry Pole Mount (85' H)**

**Post-Entry Pole Mount (90' H)**

**Post-Entry Pole Mount (95' H)**

**Post-Entry Pole Mount (100' H)**

**Post-Entry Pole Mount (105' H)**

**Post-Entry Pole Mount (110' H)**

**Post-Entry Pole Mount (115' H)**

**Post-Entry Pole Mount (120' H)**

**Post-Entry Pole Mount (125' H)**

**Post-Entry Pole Mount (130' H)**

**Post-Entry Pole Mount (135' H)**

**Post-Entry Pole Mount (140' H)**

**Post-Entry Pole Mount (145' H)**

**Post-Entry Pole Mount (150' H)**

**Post-Entry Pole Mount (155' H)**

**Post-Entry Pole Mount (160' H)**

**Post-Entry Pole Mount (165' H)**

**Post-Entry Pole Mount (170' H)**

**Post-Entry Pole Mount (175' H)**

**Post-Entry Pole Mount (180' H)**

**Post-Entry Pole Mount (185' H)**

**Post-Entry Pole Mount (190' H)**

**Post-Entry Pole Mount (195' H)**

**Post-Entry Pole Mount (200' H)**

**McGraw-Edison** GALN Galleon II

**Optical Distributions**

**Optical Distribution Diagrams**

**Product Specifications**

**Energy and Performance Data**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**McGraw-Edison** GALN Galleon II

**Performance Data, Series General II (10' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (15' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (20' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (25' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (30' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (35' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (40' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (45' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (50' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (55' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (60' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (65' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (70' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (75' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (80' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (85' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (90' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

**Performance Data, Series General II (95' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"

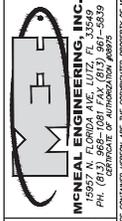
**Performance Data, Series General II (100' H)**

Ordering Code	Ordering Description	Ordering Part Number	Ordering Weight	Ordering Dimensions
001	12.5' H x 12' W	GALN-GALLEON-02-001-001	27	12.5' x 12' x 12.5"
002	17.5' H x 12' W	GALN-GALLEON-02-001-002	37	17.5' x 12' x 12.5"



REV. REVISION & DATE

MAJOR SITE PLANS FOR  
GENERAL RV OCALA - PHASE IV  
13150 SW 16TH AVE (CR 475-A), MARION COUNTY, FL  
SHEET TITLE: LIGHTING DETAILS  
GENERAL RV



JOB NO. 21-116  
ACAD FILE: FCP  
DRAWN BY: MSF  
CHK'D BY: CSB  
DATE: 24.03.22  
SHEET: PE-2.04

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LIGHT FIXTURE:  
L3

**McGraw-Edison GALN Galleon II**

**Ordering Information**  
PART NUMBER: GALN-GALN-001-001-001

Part Number	Description	Quantity	Notes
GALN-GALN-001-001-001	Area / Site Luminaire	1	

**Mounting Details**

**Product Specifications**

Parameter	Value
Power	150W
Voltage	120V
Color Temperature	4000K
Beam Spread	120°
Mounting Height	10-15ft

**McGraw-Edison GALN Galleon II**

**Ordering Information**  
PART NUMBER: GALN-GALN-001-001-001

Part Number	Description	Quantity	Notes
GALN-GALN-001-001-001	Area / Site Luminaire	1	

**Mounting Details**

**Product Specifications**

Parameter	Value
Power	150W
Voltage	120V
Color Temperature	4000K
Beam Spread	120°
Mounting Height	10-15ft

**McGraw-Edison GALN Galleon II**

**Ordering Information**  
PART NUMBER: GALN-GALN-001-001-001

Part Number	Description	Quantity	Notes
GALN-GALN-001-001-001	Area / Site Luminaire	1	

**Mounting Details**

**Product Specifications**

Parameter	Value
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Voltage	120V
Color Temperature	4000K
Beam Spread	120°
Mounting Height	10-15ft

**McGraw-Edison GALN Galleon II**

**Ordering Information**  
PART NUMBER: GALN-GALN-001-001-001

Part Number	Description	Quantity	Notes
GALN-GALN-001-001-001	Area / Site Luminaire	1	

**Mounting Details**

**Product Specifications**

Parameter	Value
Power	150W
Voltage	120V
Color Temperature	4000K
Beam Spread	120°
Mounting Height	10-15ft

**McGraw-Edison GALN Galleon II**

**Ordering Information**  
PART NUMBER: GALN-GALN-001-001-001

Part Number	Description	Quantity	Notes
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**Mounting Details**

**Product Specifications**

Parameter	Value
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**McGraw-Edison GALN Galleon II**

**Ordering Information**  
PART NUMBER: GALN-GALN-001-001-001

Part Number	Description	Quantity	Notes
GALN-GALN-001-001-001	Area / Site Luminaire	1	

**Mounting Details**

**Product Specifications**

Parameter	Value
Power	150W
Voltage	120V
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Beam Spread	120°
Mounting Height	10-15ft











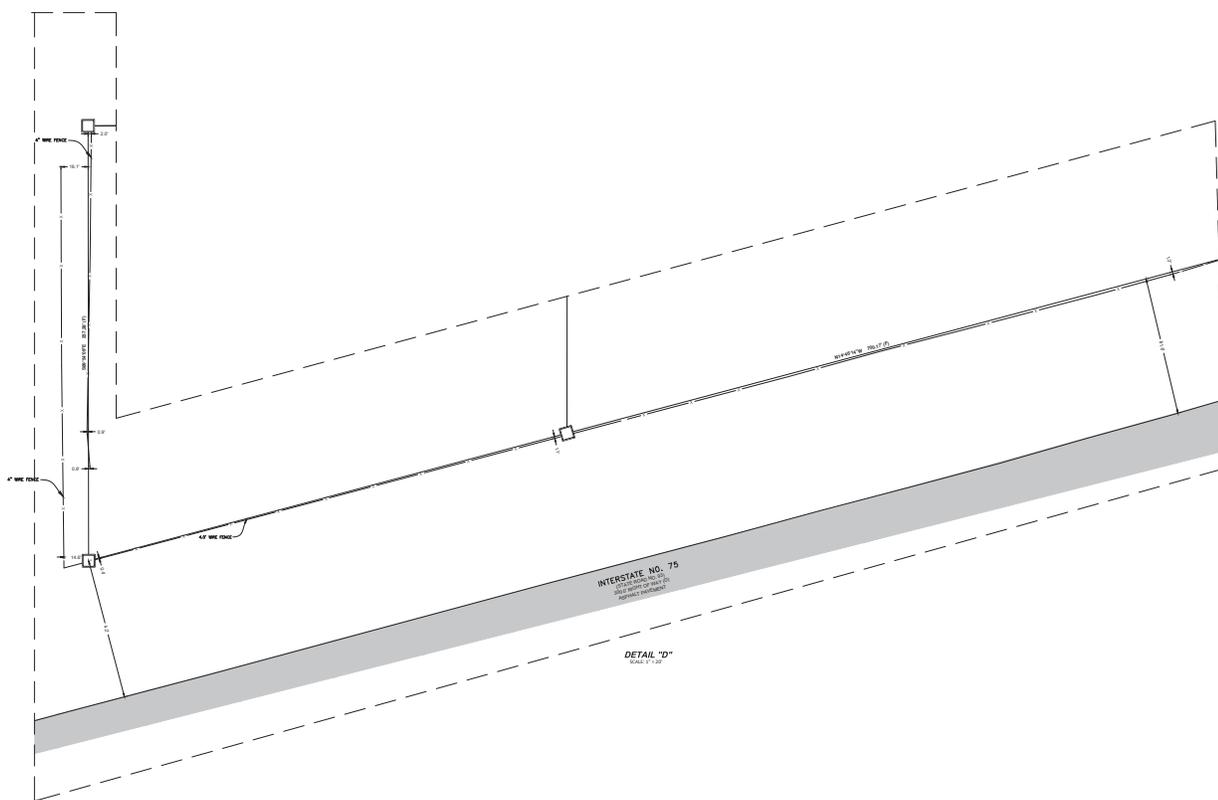






BOUNDARY SURVEY

SECTION 12, TOWNSHIP 17, SOUTH RANGE 21 EAST



<p>PROJECT: SECTION 12, TOWNSHIP 17, SOUTH RANGE 21 EAST GENERAL RY</p>	
<p>CLIENT: GRY, OCALA SECTION 12, TOWNSHIP 17, SOUTH RANGE 21 EAST MARION COUNTY, FLORIDA</p>	
<p>PROJECT NO.: 150277112 BOUNDARY SURVEY</p>	
<p>DATE: 08/01/18</p>	
<p>SCALE: 1" = 100'</p>	
<p>3 of 3</p>	

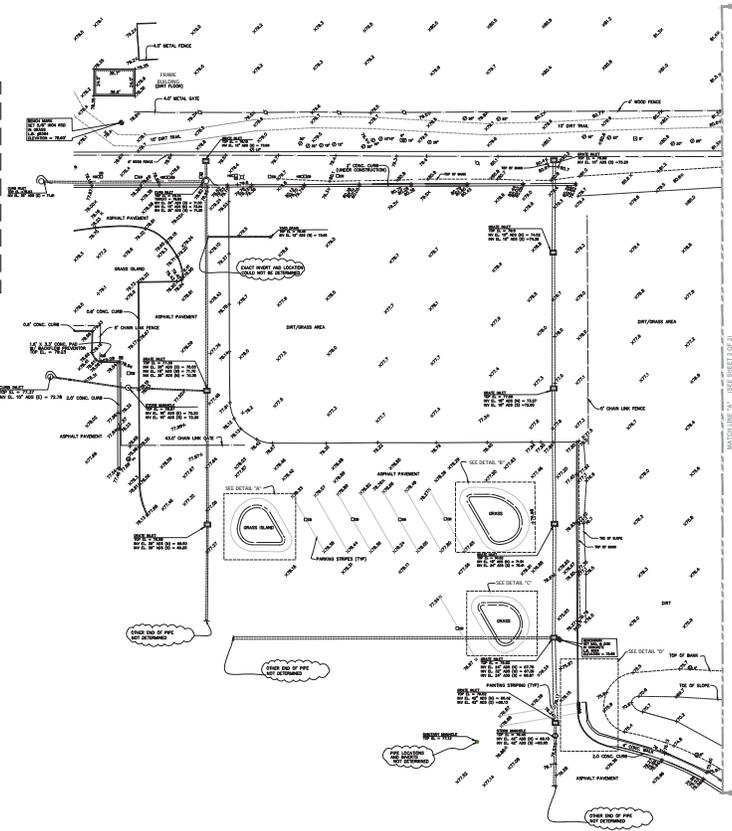
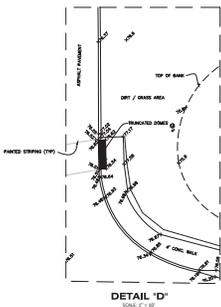
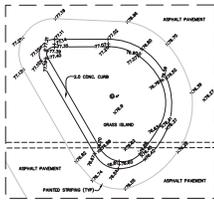
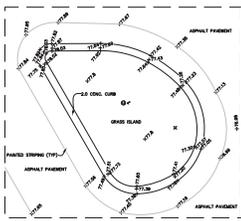
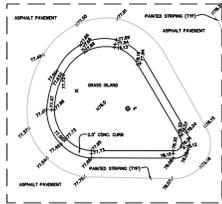






TOPOGRAPHICAL AND SPECIFIC PURPOSE SURVEY

SECTION 12, TOWNSHIP 17 SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA



**SURVEYOR'S REPORT**

1. This survey was not taken unless enclosed or stamped with a surveyor's seal.
2. Underground measurements such as utilities and foundations, that may exist, have not been located.
3. Subject property lies within Flood Zone "X", according to Flood Insurance Rate Map 130803076E, prepared by the Federal Emergency Management Agency, last revised April 16, 2017.
4. Boundary lines shown herein have been taken from Boundary Survey prepared by DC Johnson Associates, Project No. 2017-148401-000001, and last revised on 5/1/2017.
5. Forest bench mark is Florida Department of Transportation Benchmark No. "4142004", Elevation = 73.57.
6. On-site bench marks are delineated within the traverse of the survey drawing.
7. Elevation shown herein are relative to the North American Vertical Datum (NAVD) of 1988.
8. The specific purpose of this survey is to delineate lines for lot 107 in duplicate or greater in the limits of the survey.
9. Boundary lines shown herein taken from a Boundary Survey prepared by United Engineering project no. 21-116 and last revised on 3/24/2024.

**SURVEYOR'S CERTIFICATE**

I, the undersigned Professional Surveyor and Mapper, hereby certify that this Topographic and Specific Purpose Survey was prepared under my direct supervision, that I am the holder of my registration, information and label is in full and accurate representation of the work shown and described, and that I comply in accordance with the Florida Statutes in the State of Florida Chapter 461, Part 1, Sections 461.001 through 461.010.

David S. Shelton  
Professional Surveyor and Mapper No. 4897  
State of Florida  
United Engineering, Inc.  
Licensee License No. 5384



GENERAL RV - OCALA  
SECTION 01, TOWNSHIP 17 SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA

PROJECT NO. 21-116

DATE: 11/11/24

1 of 2

