



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

September 4, 2025

KIMLEY-HORN AND ASSOCIATES, INC.  
GENE B LOSITO  
1700 SE 17TH STREET, SUITE 200  
OCALA, FL 34471

**SUBJECT: RESUBMITTAL COMMENTS LETTER**  
PROJECT NAME: SW 92ND COURT ROAD GUARD HOUSE  
PROJECT #2025050052  
APPLICATION: MINOR SITE PLAN #32869

Dear Gene:

This letter is regarding the recent resubmittal for the above referenced project. During the process of reviewing the plans for sufficiency, some items were found which must be addressed. Please use these formatted comments to provide responses with the resubmittal including an explanation of how each comment was addressed and on what page of the plan the corrections were made.

DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: Additional Zoning Comments  
STATUS OF REVIEW: INFO  
REMARKS: JARED RIVERA / GROWTH SERVICES / 352-438-2687 /  
JARED.RIVERA@MARIONFL.ORG

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 5/29/25-add waivers if requested in future

DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: Additional 911 comments  
STATUS OF REVIEW: INFO  
REMARKS: The Guard House actually sits in Section 14 but Cover Sheet has Section 11 but this wasn't caught on first submittal so I won't reject for this. Please add Section 14 to any future submittals.

DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Central Sewer/Central Water

DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: Site has existing trees and shrubs from previous project. No trees to be removed with this project, additional landscape will be added by owner.

DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Minor Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

5-29-25 HR

DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.20.1.A - When any of the Minor Site Plan thresholds are exceeded, a Major Site Plan is required

STATUS OF REVIEW: NO

REMARKS: Site coverage Information is missing.

8/12/25 - 58% impervious surface. Minor site plan is not appropriate.

DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4 )- Zoning requirements: lot width, area, setbacks, coverage (floor area ratios), and parking

STATUS OF REVIEW: NO

REMARKS: Site coverage information, lot area, width, setbacks, and building height, are missing. Please provide the correct information on the list.

8/12/25 - Minor site plan is not appropriate. For future reference, please indicate most recent PUD case number in cover sheet for future submittals.

Feel free to contact the Office of the County Engineer at (352) 671-8686 or [DevelopmentReview@marionfl.org](mailto:DevelopmentReview@marionfl.org) should you have questions.

Sincerely,

*Your Development Review Team*

**Office of the County Engineer**

#### CONTACT INFORMATION FOR PLAN REVIEWERS

<b><u>Department / Division</u></b>	<b><u>Phone Number</u></b>
911 - 911 Management	(352) 671-8460
DOH - Environmental Health	(352) 622-7744
ENGDRN -Stormwater	(352) 671-8686
ENGIN - Development Review	(352) 671-8686
ENGPJ - Engineering Construction	(352) 671-8686
ENRAA - Right-of-Way Acquisition	(352) 671-8686
ENGSR - Survey	(352) 671-8686
ENGTRF - Traffic	(352) 671-8686
FRMSH - Fire Marshal	(352) 291-8000
LSCAPE - Landscaping (Parks)	(352) 671-8556
LUCURR - Planning	(352) 438-2675
UTIL - Utilities	(352) 307-6168
ZONE - Zoning	(352) 438-2675



## Marion County Board of County Commissioners

### Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

## DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 9/24/2025 Parcel Number(s): 3530-0000-15 Permit Number: 32869

### A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: SW 92nd Court Road Guard House Commercial ☐ Residential ☒  
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

### B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): On Top of the World Communities, L.L.C.  
Signature: \_\_\_\_\_  
Mailing Address: 8445 SW 80th Street City: Ocala  
State: FL Zip Code: 34481 Phone # 352-387-7480  
Email address: \_\_\_\_\_

### C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): \_\_\_\_\_ Contact Name: Lisa Lazaro  
Mailing Address: 8445 SW 80th Street City: Ocala  
State: FL Zip Code: 34481 Phone # 352-387-7480  
Email address: \_\_\_\_\_

### D. WAIVER INFORMATION:

Section & Title of Code (be specific): \_\_\_\_\_ 2.20.1.A  
Reason/Justification for Request (be specific): MINOR SITE PLAN APPLICABILITY  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### DEVELOPMENT REVIEW USE:

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

**ZONING USE:** Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐  
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes ☐ No ☐  
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**GENERAL NOTES:**

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL RELEVANT MARION COUNTY LAND DEVELOPMENT CODE, BLOOD SPECIFICATIONS, FOOT CLOSURE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND FDEP REGULATIONS, EXCEPT AS MODIFIED HEREIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION OF THE SITE PRIOR TO THE BEGINNING OF THE WORK. CONTRACTOR SHALL INFORM THE OWNER, COMPANY REPRESENTATIVE, UTILITY AUTHORITY AND INTERESTED COUNTY AGENCIES AT LEAST 48 HOURS PRIOR TO THE SCHEDULED INSPECTION.
- THE LOCATION OF UTILITIES SHOWN ON THE DRAWINGS ARE FROM THE SURVEY CONDUCTED BY JOHNSON CONSULTING GROUP, INC. AUGUST 2024. THIS INFORMATION IS PROVIDED FOR THE CONTRACTOR'S REFERENCE TO THE LOCATION AND DEPTH OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH AND TYPE OF UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
- CONTRACTOR SHALL LOCATE, VERIFY AND IDENTIFY ALL EXISTING UTILITIES BEFORE EXCAVATION, OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY AND THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH OTHER WORK WHICH MAY BE ONGOING ADJACENT TO, OR AFFECTING, THIS CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS AND ALL AFFECTED UTILITY COMPANIES.
- CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO THE INITIATING OF ANY EXCAVATION ACTIVITIES, AS REQUIRED BY THE UTILITY COMPANY AND ANY PERMITS REQUIRED FOR THE WORK.
- CONTRACTOR SHALL PROTECT EXISTING SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE/REPLACE ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DISPOSAL OF ANY UNDESIRABLE MATERIAL FROM THE CONSTRUCTION OPERATION. FURNISHING AND CONTRACTING SUITABLE REPLACEMENT BACKFILL MATERIAL. DISPOSAL OF UNDESIRABLE MATERIAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONSTRUCTION WARNING SIGNS SHALL BE MOUNTED AND DIRECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE, AND ALL TRAFFIC CONTROL DEVICES, SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTION AREA. THE CONSTRUCTION AREA SHALL BE CLEARLY MARKED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND POLLUTION DURING CONSTRUCTION, UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL SEED AND MULCH (OR SOO AS APPLICABLE) ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT ACCORDING TO LOCAL REGULATIONS.
- CONTRACTOR SHALL GIVE THE ENGINEER AND BLOOD A MINIMUM OF 48 HOURS NOTICE OF ALL METHODS OR TESTING MEASURES REQUIRED TO BE WITNESSED BY THE CONSTRUCTION ACTIVITIES RELATED TO THE WORK.
- THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF STANDARD SHOP DRAWINGS AND MANUFACTURER'S CATALOGS WITH THE MODEL NUMBER OR TYPE OF THE ITEM ENCLOSED OR OTHERWISE DESIGNATED. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERGROUND UTILITY CONTRACTOR. ALL UTILITY SHOP DRAWINGS WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND BLOOD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF COMPLETE DETAILED SHOP DRAWINGS FOR ALL SANITARY MANHOLES, WET WELLS, OTHER CASTINGS, AND PIPES. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERGROUND UTILITY CONTRACTOR ON EACH SHEET. A COMPLETE SET OF THE LIFT STATION ELECTRICAL SHOP DRAWINGS IS ALSO REQUIRED IF APPLICABLE. ALL UTILITY SHOP DRAWINGS WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND BLOOD PRIOR TO CONSTRUCTION.

**GENERAL UTILITY NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE, AND BLOOD DETAILS AND SPECIFICATIONS, AS WELL AS ALL APPLICABLE STATE AND LOCAL REGULATIONS, EXCEPT AS MODIFIED HEREIN.
- IF SOLID CONTAMINATION IS FOUND IN ANY TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. THE MARION COUNTY HEALTH DEPARTMENT MAY GRANT APPROVAL OF THE USE OF DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT-RESISTANT GASKET MATERIAL IN THE CONTAMINATED AREA. DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY CONTAMINATED AREA.
- VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN AND THE LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND THE LOCATION OF THE EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONTINUING WITH THE CONSTRUCTION.
- UNDESIRABLE MATERIALS UNDER PROPOSED PIPING SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL. PROPERTY COMPACTED TO A MINIMUM DENSITY PER AASHTO 1-180.
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- THE LENGTH OF TRENCH OPEN AT ANY ONE TIME SHALL BE CONTROLLED BY THE PARTICULAR SURROUNDING CONDITIONS, BUT SHALL BE LIMITED TO 300 LINEAR FEET UNLESS APPROVED BY THE ENGINEER IN WRITING.
- NO CONNECTIONS TO EXISTING POTABLE WATER SYSTEMS SHALL BE ALLOWED UNLESS THE PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE AND ACCEPTED BY THE BLOOD AND FDEP.
- THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED IN RED ON THE "AS-BUILT" DRAWINGS PRIOR TO THE REQUEST FOR A LETTER OF RELEASE. TO PLACE THE CONSTRUCTION INTO SERVICE. THE SAMPLE NUMBERS WILL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE LAB SHEETS.

**WATER / SEWER SEPARATION:**

- PURSUANT TO F.A.C. 62-455.314, SANITARY SEWERS (INCLUDING LATERALS), FORCE MAINS AND STORM SEWERS SHALL CROSS UNDER WATER MAINS WHENEVER POSSIBLE. FORCE MAINS AND STORM SEWERS CROSSING WATER MAINS SHALL BE NOTED TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. GRAVITY SEWERS CROSSING WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 4" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.
- PURSUANT TO F.A.C. 62-455.314, WHERE SANITARY SEWERS, FORCE MAINS AND STORM SEWERS MUST CROSS A WATER MAIN THE LENGTH OF PVC OR DUCTILE IRON PIPE BEING CROSSED SHALL BE A MINIMUM OF 18 FEET. THE LENGTH OF CHANGING SHALL EXTENDED SO THAT JOINTS WILL BE EQUAL DISTANCE AND FAR AS POSSIBLE FROM WATER MAIN.
- PURSUANT TO F.A.C. 62-455.314, WATER MAINS SHALL BE LOCATED AT LEAST 6 FEET (TYPICALLY 10 FEET) HORIZONTALLY FROM PIPES CARRYING RAW WASTEWATER, AND 3 FEET HORIZONTALLY FROM PIPES CARRYING RECLAIMED WATER, UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS. THE DISTANCE SHALL BE MEASURED FROM INSIDE EDGE OF PIPE TO INSIDE EDGE OF PIPE.

**WATERMAIN COLLECTION SYSTEMS**

- MATERIALS AND INSTALLATION FOR WATERMAIN COLLECTION SYSTEM INCLUDING, BUT NOT LIMITED TO, GRAVITY SEWERS, MANHOLES, SERVICE LATERALS, FORCE MAINS, LIFT STATIONS, AND TESTING REQUIREMENTS CONFORM TO SECTIONS 7.2 AND 7.3 OF THE MARION COUNTY LAND DEVELOPMENT CODE AND ALL APPLICABLE FDEP REGULATIONS. ALL PVC GRAVITY SEWER SHALL BE SD-26.

**WATER DISTRIBUTION SYSTEMS**

- MATERIALS AND INSTALLATION FOR WATER DISTRIBUTION SYSTEM INCLUDING, BUT NOT LIMITED TO, PIPE FITTINGS, VALVES, JOINT RESTRAINTS, FIRE HYDRANTS, SERVICE LINES, TESTING, AND DISINFECTION SHALL CONFORM TO SECTIONS 7.2 AND 7.3 OF THE MARION COUNTY LAND DEVELOPMENT CODE AND ALL APPLICABLE FDEP REGULATIONS. ALL PVC PIPE SHALL BE DR-18 UNLESS SPECIFIED OTHERWISE.

**AS-BUILT NOTES:**

- CONTRACTOR SHALL MAINTAIN "AS-BUILT" INFORMATION ON A REGULAR BASIS. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. WITHIN 14 DAYS OF THE COMPLETION OF THE WORK, CONTRACTOR SHALL PROVIDE SIGNED AND SEALED COPIES AND THE DIGITAL CAD FILE OF THE "AS-BUILT" DRAWINGS AND SUPPORTING SURVEY RECORDS TO THE ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE, AS-BUILT DRAWINGS FOR ANY JURISDICTIONAL AGENCIES AS MAY BE REQUIRED FOR PROJECT CERTIFICATION.
- AS-BUILT LAYERING SHALL FOLLOW BLOOD STANDARDS AS SHOWN BELOW

**WATER**

- SYSTEM VALVES (MAIN VALVES, PLUGS, ETC.)
- FITTINGS
- CONTROL VALVES (ARV'S, PRV'S, ETC.)
- WATER SERVICE (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- WATER MAIN (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)

**WASTEWATER**

- CLEAN OUTS
- SYSTEM VALVES (MAIN VALVES, PLUGS, ETC.)
- CONTROL VALVES (ARV'S, PRV'S, ETC.)
- FITTINGS
- MANHOLES (INVERT ELEVATIONS, RM ELEVATIONS, ETC.)
- SEWER LATERALS (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- GRAVITY SEWER MAIN (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- FORCE MAINS (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)







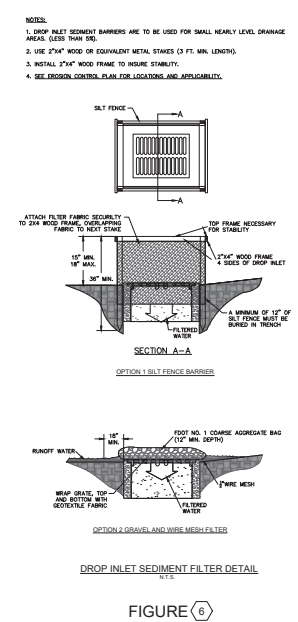
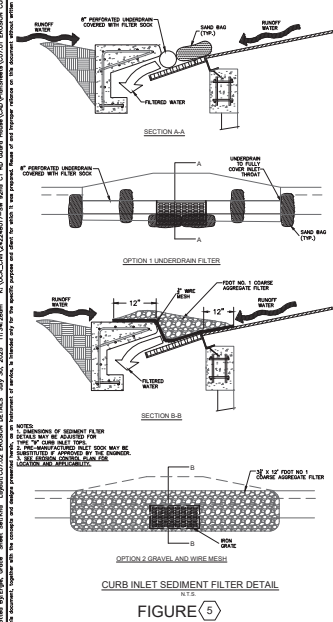
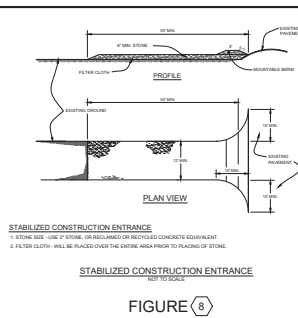
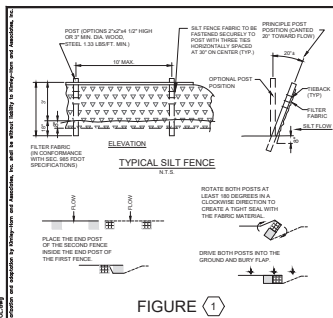










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MINOR SITE PLAN

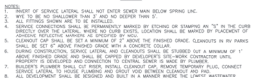








 MARION COUNTY FLORIDA 335.0000	WBOC, EFFECTIVE 04/13/2023	2" AND SMALLER REDUCED PRESSURE AND/OR DOUBLE CHECK BACKFLOW ASSEMBLY	7.3.2
	REVISION # 1		UT 209



 MARION COUNTY FLORIDA UTILITY	WQBC, EFFECTIVE 04/11/2023	SEWER SERVICE LATERAL	7.3.2
	REVISION # 2		UT 312

Printed By: Eliza, On:ce Sheet Set: Khs Layout: C09-02 UTILITY DETAILS July 30, 2025 11:35:05am K:\OCA\_CSA\34224857-SM 92nd CT RD Guard House\CAD\PlanSheets\C09-01 UTILITY DETAILS.dwg

© 2025 MILETY-HORN AND ASSOCIATES, INC.  
1300 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34071  
PHONE: 352-436-3300  
WWW.MILETY-HORN.COM/REGISTRY.NO. 2515

FLORIDA LICENSE NUMBER  
75547

075117

ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.

.02

MINOR SITE PLAN

**Liberty Pumps**  
A Family and Employee Owned Company

### Features

- Integral check valves
- QuickTree® pre-mounted float switch system for pump control and alarm
- 4" inlet hubs with rubber pipe seal
- Factory pre-assembled guide rail system
- Galvanized guide rail piping (stainless optional)
- Factory pre-assembled Schedule 80 PV discharge piping with ball valves
- Fiberglass basin with anti-floatation collar
- Standard green fiberglass cover, solid (optional black steel, solid)
- All stainless steel supports and brackets pre-mounted
- NEMA-4X junction box for electrical connections, pre-mounted
- Stainless steel chain for pump lift-out

\*Other custom basin sizes available. consult factory.



innovate. evolve

### AE-Series Panels (Standard)



- HDA switch

- HOA switch offer manual operation of pumps (on circuit board)
- NEMA 4X enclosure for outdoor use
- Circuit breakers provide pump disconnect and branch circuit protection
- Alarm beacon and hon provide audio/visual warning of alarm condition
- Pump run indicator lights
- Auxiliary contacts

For the complete A4-Series specifications, see A4-Series literature or visit [www.4series.com](http://www.4series.com).



IP-Series control panels incorporate the latest programmable pump features through a simple, easy-to-use touchplate on the inner door. Now pump programming and custom modulation is easier than

## Features

- NEMA 4X weatherproof enclosure for indoor or outdoor mounting
  - Battery level sensor is compact and eliminates multiple wide-angle float switches for controlling pump
  - Redundant "ALARM" relay switch included for added security
  - Easy-to-use touchpad for programming system, multiple tones and alarm level in inches or centimeters
  - Inner panel door provides increased safety
  - Separate control and alarm device
  - Digital display board for system monitoring
  - Alarm beacon and horn provide audio/visual warning of alarm condition
  - Test/Normal/Silence switch
  - Auxiliary contacts
  - Panel is field convertible for either normal dose or time dose applications
- For complete P-Series specifications, see P-Series brochure.

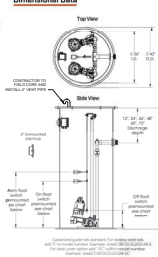
### Features

2. No. Color

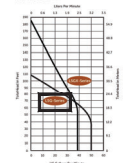
- 2 hp Grinder pumps
- Choose from single stage LSG or 2-stage LSGX-Series pumps
- Available in a wide range of voltages
- 2" Discharge
- 25' Power cable length for standard systems (35' power cable length for "I-C" models)



Dimensional Data



60 Hz, 3450 RPM



MODEL	DEE LEVEL	COLLEGE
-------	-----------	---------

D3648	13" (33 cm)	25" (64 cm)	31" (79 cm)	53 gal (201 L)	161 gal (2946 L)
D3650	13" (33 cm)	28" (71 cm)	34" (86 cm)	66 gal (250 L)	54 gal (1999 L)
D3672	13" (33 cm)	31" (79 cm)	37" (94 cm)	79 gal (299 L)	37 gal (1200 L)
D3684	13" (33 cm)	34" (86 cm)	40" (102 cm)	92 gal (348 L)	348 gal (13166 L)
D3696	13" (33 cm)	37" (94 cm)	43" (109 cm)	106 gal (402 L)	423 gal (16001 L)
D36120	13" (33 cm)	43" (109 cm)	49" (125 cm)	132 gal (500 L)	29 gal (2002 L)

[illegible]

11/30/07 11:35:07am K:\CCA\_Can\34224807-SW 12nd CT RD Guard House\CAD\PopSheets\CON-01 UTILITY DETAILS.dwg  
 Legend\110.01 UFT STATION DETAILS  
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 By:Engle  
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This document, together with the concepts and designs presented herein, are an instrument of service, a blended story for the specific purpose and client for which it was prepared. Means of and language utilized within authorization and adaptation by Kinship-Team and Associates, Inc. shall be without liability to Kinship-Team and Associates, Inc.

**Kimley»»» Horn**  
© 2009 H.M.LEY-HORN AND ASSOCIATES, INC.  
1300 SE 17TH STREET, SUITE 300, OCALA, FLORIDA 34471  
PHONE: 352-455-3900  
WWW.HMLEY-HORN.COM REGISTRATION NO. 3015

RHA PROJECT 242249017	DATE JULY 2025	SCALE AS SHOWN	GENIE B. LOSTO	LICENSED PROFESSIONAL
DESIGNED BY RHA	CHECKED BY	DRAWN BY JEC	FLORIDA LICENSE NUMBER 75547	

## LIFT STATION DETAILS

SW 92ND COURT ROAD  
GUARD HOUSE  
PREPARED FOR  
ON TOP OF THE WORLD  
COMMUNITIES, L.L.C.

SHEET NUMBER  
C10.01

MARION O