

September 26, 2024

PROJECT NAME: SWEET DIXIE SOUTH RV PARK

PROJECT NUMBER: 2016080002

APPLICATION: MAJOR SITE PLAN #30849

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 3 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Park can file letter if RV spaces each have water and sewer hookups and park will only allow self contained RVs then no water filling station, dump station, bath house required.  
RV park permit is required for any park with more than 5 spaces. Permit and fees required before park can be open and operating.  
RV spaces meet the required 1200sqft per space
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW  
REVIEW ITEM: Additional Fire comments  
STATUS OF REVIEW: INFO  
REMARKS: Will need to further discuss placement of FDC to ensure good access and protection for vehicles.
- 5 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?  
STATUS OF REVIEW: INFO  
REMARKS: 200903SU and 161002SU both granted permissions for the development seen here
- 6 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: Additional 911 comments  
STATUS OF REVIEW: INFO  
REMARKS: When applying for permit the entire property needs to be shown on the site plan as well as the location of all current structures and the new structures going on the property, all roadways that are along property lines need to be shown and labeled correctly on the site plan.
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be

issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 12/20/23 - add waivers if requested in the future



**Marion County  
Board of County Commissioners**

AR 30849

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW PLAN APPLICATION**

Date: 11/13/23

**A. PROJECT INFORMATION:**

Project Name: Sweet Dixie South RV Park  
Parcel Number(s): 01978-001-00  
Section 33 Township 12S Range 20E Land Use Rural Zoning Classification Agricultural  
Commercial  Residential  Industrial  Institutional  Mixed Use  Other \_\_\_\_\_  
Type of Plan: MAJOR SITE PLAN  
Property Acreage 121.38 Number of Lots \_\_\_\_\_ Miles of Roads \_\_\_\_\_  
Location of Property with Crossroads 11411 NW 170th Street, Reddick, FL 32686  
Additional information regarding this submittal: Proposed 13 RV pads to met the SUP requirements

**B. CONTACT INFORMATION** (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

**Engineer:**  
Firm Name: eda consultants, inc. Contact Name: Claudia Vega, P.E.  
Mailing Address: 720 SW 2nd Ave, S Tower, Ste 300 City: Gainesville State: FL Zip Code: 32601  
Phone # 352-373-3541 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: cvega@edafl.com; permitting@edafl.com

**Surveyor:**  
Firm Name: R.M. Barrineau and Associates Contact Name: Travis P. Barrineau, PSM  
Mailing Address: 1309 S.E. 25th Loop, Suite #103 City: Ocala State: FL Zip Code: 34471  
Phone # 352-622-3133 Alternate Phone # 352-427-5527  
Email(s) for contact via ePlans: \_\_\_\_\_

**Property Owner:**  
Owner: Sweet Dixie South LLC Contact Name: Mike Campbell  
Mailing Address: 187 March Mill Rd City: Fayetteville State: TN Zip Code: 37334  
Phone # 256-509-3333 Alternate Phone # \_\_\_\_\_  
Email address: sweetdixiefarms@gmail.com

**Developer:**  
Developer: same as property owner Contact Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone # \_\_\_\_\_ Alternate Phone # \_\_\_\_\_  
Email address: \_\_\_\_\_

Revised 6/2021

CLEAR FORM

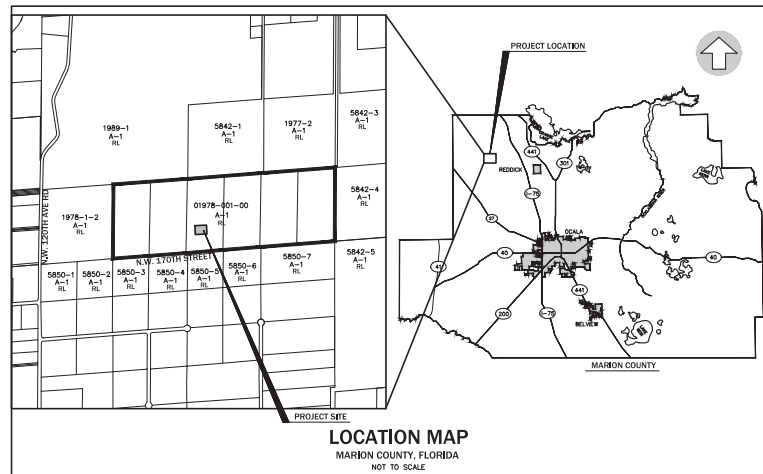
# SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN

## MARION COUNTY, FLORIDA



ED 2399  
720 S.W. 2nd Ave., South Tower, Suite 300  
GAINESVILLE, FLORIDA 32601  
TEL (352) 373-3541  
www.eda.com real@eda.com

DEVELOPMENT INFORMATION	
1. NAME OF PROJECT:	SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN
2. PROJECT DESCRIPTION:	RV PARK WITH 8 PROPOSED ADDITIONAL RV SPACES WITH ASSOCIATED UTILITY IMPROVEMENTS
3. PROJECT ADDRESS:	11411 NW 170TH ST, REDDOCK, FL 32886
4. TAX PARCEL NUMBER:	01978-001-00 (PORTION OF TRACTS 6 & 7)
5. SECTION/TOWNSHIP/RANGE:	SECTION 33, TOWNSHIP 12 SOUTH, RANGE 20 EAST
6. ZONING:	A-1 GENERAL AGRICULTURE
7. FUTURE LAND USE DESIGNATION:	RURAL LAND
8. TOTAL SITE AREA:	40.46 AC
9. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVED BY THE OFFICE OF THE COUNTY ENGINEER.	
10. THIS DEVELOPMENT IS NOT LOCATED WITHIN AN ENVIRONMENTALLY SENSITIVE OVERLAY ZONE.	
11. THIS DEVELOPMENT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.	
12. THIS DEVELOPMENT IS LOCATED WITHIN FLOOD ZONE AE. (PORTION OF)	
13. THE PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVED AND/OR GRANTED AND/OR RESIGNED ANY PUBLIC FACILITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL. TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATEST DEVELOPMENT REVIEW STAGES, SUCH AS BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.	



CONTACT INFORMATION	
1. PROPERTY OWNERS:	SWEET DIXIE SOUTH LLC 157 MARCH HILL RD FANETTEVILLE TN 37334 CONTACT: MICHAEL W. CAMPBELL (256) 509-3333
2. CONSULTANT ENGINEER:	eda consultants inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: SERGIO REYES, P.E.
3. PLANNER:	eda consultants inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: CLAY SNEGER, AICP, LEED AP
4. SURVEYOR:	R.W. BARRINEAU AND ASSOCIATES 1309 S.E. 25TH LOOP SUITE 103 GAINESVILLE, FL 32607 (352) 622-3133 CONTACT: REGINALD W. BARRINEAU, PSM

TRIP GENERATION							
ITE LAND USE: 416 CAMPGROUND/RECREATIONAL VEHICLE PARK	*base data from ITE Land Use 240 Mobile Home Park due to the lack of data for ITE Land Use 416						
PROPOSED: 16 RECREATIONAL VEHICLE SITES							
	TRIP DISTRIBUTION						
	PROJECTED TRIPS						
PERIOD	RATE	PER UNIT	TRIPS	ENTER	EXIT	IN	OUT
AM	0.25	16.00	4.00	36%	64%	1.44	2.56
PM	0.41	16.00	6.56	62%	38%	4.07	2.49
AVG*	7.12	16.00	113.92	50%	50%	56.96	56.96

SOURCE: ITE TRIP GENERATION, 11TH EDITION, PAGES 26-34

WAIVERS			
#	SECTION AND TITLE OF CODE	CONDITIONS	DATE OF ADOPTION
1.	SHADE TREES - SEC. 6.7.4	-	04/29/24
2.	LANDSCAPING - SEC. 6.8.1 - 6.8.15	-	04/29/24
3.	IRRIGATION - SEC. 6.9.1 - 6.9.10	-	04/29/24

**LICENSED DESIGN PROFESSIONAL CERTIFICATION**

1. ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

CLAUDIA S. VEGA, P.E.

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C110	LEGEND, SYMBOLS, AND NOTES
C120	AERIAL EXHIBIT
C130	MASTER DEVELOPMENT PLAN
C200	DIMENSION, PAVING, GRADING, AND DRAINAGE PLAN
C215	DIMENSION, PAVING, GRADING, AND DRAINAGE DETAILS
C220	STORMWATER POLLUTION PREVENTION PLAN
C300	UTILITY PLAN
S	BOUNDARY AND TOPOGRAPHIC SURVEY (BY OTHERS)

IMPERVIOUS AREA CALCULATIONS			
#	DESCRIPTION	SQUARE FOOTAGE (SF.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	1,762,438	40.46
2.	PROPOSED RV SPACES:	9,600	0.54%
3.	EXISTING IMPERVIOUS AREA:	83,518	4.75%
4.	TOTAL IMPERVIOUS AREA:	93,118	5.29%
5.	OPEN AREA:	1,669,320	94.71%

DEVELOPMENT STANDARDS (SEC. 4.2.3D)	
LOT AREA:	BUILDING HEIGHT:
MINIMUM: 10 ACRES	MAXIMUM: 50 FEET
PROPOSED: 13.2 ACRES	NO BUILDINGS PROPOSED
LOT WIDTH:	MAXIMUM FLOOR AREA RATIO:
MINIMUM: 150 FEET	NONE REQUIRED PER CODE
PROPOSED: 685 FEET	
SETBACKS:	PARKING:
MINIMUM (ALL SIDES): 25 FEET	NONE REQUIRED PER CODE FOR THIS USE.
PROPOSED (ALL SIDES): 25 FEET	

**LEGAL DESCRIPTION**

S 1/4 E4 RD ROW SUBJECT TO A PRIVATE RD EASEMENT ON S 30 FT OF W 7/8 OF S 1/4 OF SEC 33 TOGETHER WITH A PRIVATE RD EASEMENT ON N 30 FT OF W 3/4 OF N 1/4 OF SEC 4 LESS & EXCEPT THE W 1/4 OF S 1/4 OF SEC 33

**SWEET DIXIE SPECIAL USE PERMIT CONDITIONS (RESOLUTION NO. 20-R-553)**

- THE SITE SHALL BE OPERATED CONSISTENT WITH THE SUBMITTED CONCEPTUAL PLAN AND CONDITIONS AS PROVIDED WITH THIS APPROVAL.  
RESPONSE: THE SITE PLAN HAS BEEN PREPARED IN COMPLIANCE WITH THE SUP CONDITIONS.
- THIS SPECIAL USE PERMIT SHALL RUN WITH THE OWNER (SWEET DIXIE SOUTH LLC OR THEIR DIRECT TRUST) AND NOT THE PROPERTY.  
RESPONSE: UNDERSTOOD, THE OWNER IS SWEET DIXIE SOUTH LLC AND WILL OPERATE UNDER SAME OWNERSHIP, OR THEIR DIRECT TRUST.
- THE APPLICANT SHALL SUBMIT A SITE PLAN THROUGH THE DEVELOPMENT REVIEW PROCESS.  
RESPONSE: THE SITE PLAN SUBMITTAL MEETS THIS CONDITION REQUIREMENT.
- IN ACCORDANCE WITH SECTION 6.8.14 OF THE MARION COUNTY LAND DEVELOPMENT CODE, A LOW MAINTENANCE ZONE SHALL BE PROVIDED AROUND ANY WATER BODY OR WETLAND FOUND ON SITE.  
RESPONSE: A LOW MAINTENANCE ZONE IS PROVIDED AROUND THE WATER BODY ABUTTING THE PROJECT AREA.
- ALL IMPROVEMENTS ON THE SITE RELATED TO THE RV SITES AND BARN APARTMENTS SHALL REQUIRE PERMITS AND MUST CONFORM TO THE MARION COUNTY LAND DEVELOPMENT CODE.  
RESPONSE: UNDERSTOOD, ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH APPLICABLE LDC CRITERIA.
- THE PROPERTY OWNER SHALL FILE FOR A CHANGE OF USE WITH MARION COUNTY BUILDING DEPARTMENT TO MATCH THE REQUESTED USE OF THE PROPERTY.  
RESPONSE: ANY REQUIRED BUILDING DEPARTMENT PERMITS SHALL BE APPLIED FOR AT THE APPROPRIATE STAGE OF THE PROJECT.
- THE MAXIMUM NUMBER OF RECREATIONAL VEHICLES AND TEMPORARY LODGING UNITS SHALL BE 25. THIS IS LIMITED TO FIVE (5) BARN APARTMENTS AND TWENTY (20) RV SITES.  
RESPONSE: THE NUMBER OF TOTAL (EXISTING AND PROPOSED) LODGING UNITS, BARN APARTMENTS AND RV SITES DO NOT EXCEED THE MAXIMUMS STATED IN THIS CONDITION.
- THE BARN APARTMENTS SHALL BE COUNTED AGAINST THE SUBJECT PROPERTY'S OVERALL DENSITY.  
RESPONSE: UNDERSTOOD, NO ADDITIONAL RESPONSE NECESSARY.
- ALL SITES SHALL BE REGISTERED WITH MARION COUNTY TOURISM DEVELOPMENT TO ENSURE PROPER RED TAXES ARE PAID ON LODGING.  
RESPONSE: UNDERSTOOD, ALL SITES SHALL BE REGISTERED WITH MCTD.
- THE SITE SHALL CONFORM TO THE FLORIDA DEPARTMENT OF HEALTH REQUIREMENTS FOR RV PARKS AS THE SITE HAS FIVE (5) OR MORE RV SITES.  
RESPONSE: THE SITE HAS BEEN DESIGNED AND WILL OPERATE IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS FOR THE FOOD.
- ANY NEW OR REPLACEMENT SEPTIC TANKS SHALL BE ADVANCED TREATMENT NITROGEN REDUCING SEPTIC TANKS. THIS INCLUDES ANY NEW SEPTIC TANKS FOR ANY PRIMARY RESIDENTIAL STRUCTURES.  
RESPONSE: SEPTIC SYSTEMS WILL BE PROPERLY PERMITTED WITH THE COUNTY DEPARTMENT OF HEALTH.
- ANY FUTURE EXPANSION OF THE PROPOSED USE SHALL REQUIRE A WASTE WATER TREATMENT PLAN.  
RESPONSE: UNDERSTOOD, NO ADDITIONAL RESPONSE NECESSARY.
- ALL R.V. SITES SHALL BE SETBACK AT LEAST 150 FEET FROM THE PROPERTY BOUNDARY.  
RESPONSE: ALL PROPOSED RV SITES ARE SET BACK AT LEAST 150 FEET FROM THE PROPERTY BOUNDARY.
- USE OF THE R.V. SITES AND BARN APARTMENTS ARE FOR REGISTERED ATTENDEES OF THE RIDING ACADEMY ONLY.  
RESPONSE: UNDERSTOOD, THE USE OF THE RV SITES AND BARN APTS WILL BE LIMITED TO REGISTERED ATTENDEES OF THE RIDING ACADEMY.
- ANY DIVISION OF PROPERTY SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT CODE.  
RESPONSE: UNDERSTOOD, ANY FUTURE DIVISION OF PROPERTY SHALL COMPLY WITH THE APPLICABLE CRITERIA IN THE LDC.
- THE SPECIAL USE PERMIT SHALL EXPIRE ON NOVEMBER 17, 2030; HOWEVER, IT MAY BE RENEWED ADMINISTRATIVELY FOR UP TO 3 CONSECUTIVE TIMES FOR UP TO 10 YEARS BY A WRITTEN INSTRUMENT SIGNED AND ISSUED BY THE GROWTH SERVICES DIRECTOR (OR POSITION EQUIVALENT TO THE GROWTH SERVICES DIRECTOR AT THAT TIME), UNLESS:  
A. THERE HAVE BEEN UNRESOLVED VIOLATIONS OF THE COUNTY LAND DEVELOPMENT CODE, THE COUNTY CODE OF ORDINANCES, AND/OR THE CONDITIONS OF THE PERMIT,  
B. NEIGHBORING PROPERTY OWNERS WITHIN 300' OF THE SUBJECT PROPERTY HAVE COMPLAINED TO THE COUNTY CODE ENFORCEMENT, ZONING, OR EQUIVALENT/SIMILAR DEPARTMENTS/DIVISIONS ABOUT THE USES OF THE SUBJECT PROPERTY BY THIS PERMIT, OR  
C. THE GROWTH SERVICES DIRECTOR DETERMINES THAT RENEWAL SHOULD BE CONSIDERED DIRECTLY BY THE BOARD OF COUNTY COMMISSIONERS THROUGH THE SPECIAL USE PERMIT REVIEW PROCESS (OR REVIEW PROCESS EQUIVALENT AT THAT TIME).  
RESPONSE: THE APPLICANT UNDERSTANDS THE VALIDITY PERIOD FOR THE PROJECT.

**OWNER'S CERTIFICATION**

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNED SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

MICHAEL CAMPBELL

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

MICHAEL CAMPBELL

No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. - 31332  
Engineer - Certificate No.

Project No: 2022-0133

Project phase: COUNTY SUBMITTAL

Project title: SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN MARION COUNTY, FL

Sheet title: COVER SHEET

Designed: JLD Sheet No: C100  
Drawn: NJG  
Checked: TAR  
Date: 08/30/24

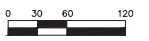




ED 2389  
 720 S.W. 2nd Ave., South Tower, Suite 300  
 GAINESVILLE, FL 32601  
 TEL: (352) 373-2041  
 www.edsi.com mail@edsi.com



**NORTH**  
 SCALE: 1" = 60'



GRAPHIC SCALE

No.	Date	Comment

THIS PLAN HAS BEEN PREPARED AND CHECKED BY CLAUDIA S. VEGA, P.E. ON THE DATE INDICATED TO THE LEFT. THE DESIGNER OR THE DESIGNER'S ASSISTANT HAS REVIEWED AND SEALED AND THE SEALING MUST BE RECEIVED FROM THE BOARD OF PROFESSIONAL ENGINEERS.

Professional Engineer of Record:

Claudia S. Vega, P.E., 11332  
 Engineer Certificate No.

Project No: 2022-0133

Project phase: COUNTY SUBMITTAL

Project title:

SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN  
 MARION COUNTY, FL

Sheet title:  
 AERIAL EXHIBIT

Designed: JLD	Sheet No:
Drawn: NJG	C120
Checked: TAR	
Date: 08/30/24	



**NORTH**  
SCALE: 1" = 200'  
0 100 200 400  
GRAPHIC SCALE

No.	Date	Comment

THIS HAS BEEN PREPARED AND ISSUED BY CLAUDIA S. YEOG, P.E. ON THE DATE INDICATED TO THE LEFT. IT IS HEREBY CERTIFIED THAT THE DESIGN AND CALCULATIONS HAVE BEEN REVIEWED AND APPROVED AND THE SIGNATURE MUST BE USED TO BE VALID FOR RECORD PURPOSES.

Professional Engineer of Record:

Claudia S. Yeog, P.E., 11332  
Engineer Certificate No.

Project No: 2022-0133

Project phase: COUNTY SUBMITTAL

Project title:

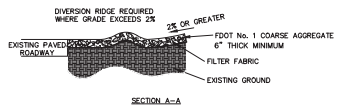
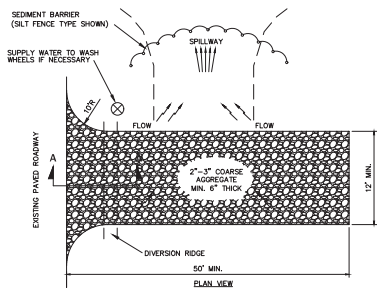
SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN  
MARION COUNTY, FL

Sheet title:  
MASTER DEVELOPMENT PLAN

Designed: JLD	Sheet No:
Drawn: NJG	C130
Checked: TAR	
Date: 08/30/24	

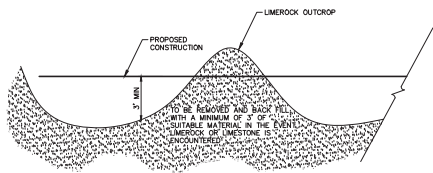


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from the plan set.



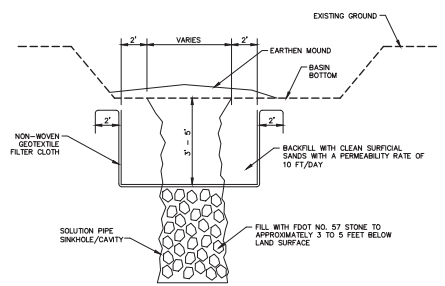
- NOTE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH GROUNDED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

TYPICAL GRAVEL CONSTRUCTION ENTRANCE  
N.T.S.



- NOTES:**
1. IF LIMESTONE OR LIMEROCK OUTCROP IS ENCOUNTERED DURING CONSTRUCTION OF THE BASIN, THE AREA WILL BE OVER-EXCAVATED A MINIMUM OF THREE FEET AND BACKFILLED WITH SATURABLE SOILS TO MEET THE SENSITIVE KARST AREA REQUIREMENTS.
  2. IN THE EVENT A SINKHOLE, CAVITIES OR CHIMNEYS DEVELOPS WITHIN THE STORMWATER BASIN, THE FOLLOWING TREATMENT SHALL BE PERFORMED: THE OWNER SHALL NOTIFY (SOUTHWEST) WATER MANAGEMENT DISTRICT PRIOR TO REMEDIAL ACTION UNLESS POSTPONING THE REPAIR ACTIVITY REPRESENTS AN ENDANGERMENT TO PUBLIC SAFETY. THE SINKHOLE SHALL BE BACKFILLED WITH A SANDY CLAY MIXTURE. THE SANDY CLAY SHALL BE PLACED IN SIX INCH LIFTS WITHIN THE FINAL THREE FEET OF FILL AND ROLLED WITH A HEAVILY LOADED RUBBER TIRE EQUIPMENT. SHOULD SINKHOLE ACTIVITY CONTINUE REPEATEDLY WITHIN A CONFINED AREA, THE OWNER SHALL CONSULT A GEOTECHNICAL ENGINEER TO DETERMINE WHETHER ANY ALTERNATIVE REMEDIAL MEASURES ARE REQUIRED.

LIMEROCK OUTCROP REMOVAL DETAIL  
N.T.S.



IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH NO. 57 STONE TO APPROXIMATELY 3 TO 5 FEET BELOW LAND SURFACE. AN AREA AT LEAST 4' BEYOND THE SIDES OF THE CHIMNEY SHOULD BE EXCAVATED TO THE TOP OF THE GRAVEL. A NON-WOVEN GEOTEXTILE FILTER CLOTH SHOULD BE PLACED AT THE BOTTOM OF THE EXCAVATION AND THE EXCAVATION SHOULD BE BACKFILLED WITH CLEAN SAND HAVING A VERTICAL COEFFICIENT OF PERMEABILITY OF 10 FEET PER DAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.

SOLUTION PIPE/CHIMNEY REPAIR DETAIL  
N.T.S.

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

1. GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.O.D.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, OR A-2.4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
  - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
  - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 900 IN ONE 12" MINIMUM UNIFORM COATED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LEW VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
  - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
  - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER SECTION 912 AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 335. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-67-22 ASPHALT BINDER.
4. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBS SHALL BE CLASS 1 CONFORMING TO SECTION 346.
5. REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 341.
6. ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
7. ALL PAVEMENT MARKING SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.O.D.T. AND M.U.T.C.D. STANDARDS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT ELABORATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAINS. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
9. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 5 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
10. LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY BRIGATOR AND ELECTRICAL CONSULT SLEEVES DURING CONSTRUCTION.
11. ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
12. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOO IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH 5.5-6.5.
13. TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET 0030 AND THE DETAIL ON THE LANDSCAPE PLAN.



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SCALE:  
AS SHOWN

No.	Date	Comment

THIS PLAN AND ALL INFORMATION CONTAINED HEREON IS THE PROPERTY OF CLAUDIA S. VEGA, P.E. AND IS LOANED TO THE CLIENT. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CLAUDIA S. VEGA, P.E.

Professional Engineer of Record:

Claudia S. Vega, P.E. 31522  
Engineer Certificate No.

Project No: 2022-0133

Project phase: COUNTY SUBMITTAL

Project title: SWEET DIXIE SOUTH R/V PARK MAJOR SITE PLAN MARION COUNTY, FL

Sheet title: DIMENSION, PAVING, GRADING, AND DRAINAGE DETAILS

Designer: JLD Sheet No:

Drawn: NJG

Checked: TAR C215

Date: 08/30/24

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-421.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART IV OF DEP DOCUMENT No. 62-421.300 (4) (a) DEEP FORM 62-261.300 (4) (b) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN COUNTY: MARION SECTION/TOWNSHIP/RANGE: S 33, T 12 SOUTH, R 20 EAST COUNTY PARCEL NO.: 0978-001-00 LATTITUDE AND LONGITUDE: STREET ADDRESS: 1141 NW 170TH ST #1, REDDICK, FL 32866 PROJECT AREA: 0.66 AC APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 0.66 AC

II. SITE DESCRIPTION:

- 1. THE PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF 8 ADDITIONAL RV SPACES WITH ASSOCIATED UTILITY IMPROVEMENTS.
2. THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY O/E ENGINEERING & CONSULTING.
3. EXISTING DRAINAGE PATTERNS ARE TO REMAIN UNALTERED DUE TO THE MINIMAL AMOUNT OF PROPOSED AREA FOR THE PROJECT. THIS PROJECT FALLS UNDER AN AGRICULTURAL EXEMPTION FROM STORMWATER DESIGN AND WILL CONTINUE TO BE IN COMPLIANCE WITH THE PREVIOUSLY APPROVED EXEMPTION OF MARION COUNTY.
4. SEQUENCE OF CONSTRUCTION:
A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRIAGES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FOOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
B. THE CONSTRUCTION ENTRANCES WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.
E. THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED.
F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIME/ROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLOUSED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
H. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

- THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN. THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.
1. THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
2. TREE BARRIAGES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
3. BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLANDS AND/OR BASINS AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FOOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
4. AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
5. DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
6. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SOILING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FOOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES:

- 1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE TRACKING OF SEDIMENT FROM THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCES.
2. TREE BARRIAGES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAILS PLAN TO PROTECT THE EXISTING VEGETATION.
3. MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO THE ENTRANCE STONE AND GRAVEL AND SHALL BE INSPECTED AFTER EVERY RAINFALL TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
4. SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDS AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH SHOULD BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
5. SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PROTECTED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES:

- 1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND, THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL BE MAINTAINED UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE. AS REQUIRED, THEY SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
3. INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
4. OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

- 1. THE PROPOSED PROJECT OBTAINED AN AGRICULTURAL EXEMPTION FROM THE MARION COUNTY BOARD OF COUNTY COMMISSIONERS FROM HAVING TO CONSTRUCT A NEW STORMWATER TREATMENT SYSTEM AND CONTROLS. THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE EXISTING STORMWATER SYSTEM AND CONTROLS, WHICH IS AN EXISTING WETLAND. UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE EXISTING STORMWATER SYSTEM IN PERFECTLY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGRICULTURAL EXEMPTION AND OF MARION COUNTY.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- 1. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
2. THE USE OF GRAVEL AND CONTAINING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
3. THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE EXISTING WELLS AND EXISTING/PROPOSED SEPTIC TANKS ON SITE.
4. ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUAL MAINTENANCE SHALL FOLLOW THE MANUFACTURERS' RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
5. ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

- 1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE FDEP ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM II AND IV).
2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORCEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE FDEP'S STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR A SIGNOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

- 1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR TEMPORARY, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
3. SIDE ENTRANCES, MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
4. TREE BARRIAGES, MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
5. SILT FENCES, MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
6. DIVERSION SWALES, MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
7. TEMPORARY BERMS, MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
8. MULCHING, ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
9. SEEDING, ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
10. SOILING, ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
11. INLETS, ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
12. OUTFALL STRUCTURES, ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.

IX. INSPECTIONS:

- 1. THE OWNER AND/OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO CONDUCT THE INSPECTIONS. INSPECTIONS SHALL BE CONDUCTED AT THE SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND AREAS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY TWO (2) HOURS OF THE END OF THE RAINFALL EVENT. INSPECTIONS THAT IS GREATER THAN 0.50 INCHES AFTER FINAL STABILIZATION AND BEFORE CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
2. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NOT LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NOT LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
5. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENTS OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE WIDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-421.300, PART VII.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THE STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

- 1. THE FOLLOWING NON-STORMWATER DISCHARGES MUST BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLOWING, CONTROL OF DIESEL FUELABLE WATER FLOWING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

1. ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM:

ADDRESS: CITY, STATE, ZIP CODE: TELEPHONE: FAX: PROJECT NAME: SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN PROJECT ADDRESS: PROJECT AREA: CITY, STATE, ZIP CODE: FLORIDA.

NAME:

SIGNATURE: DATE:



2309 720 S.W. 2nd Ave., South Tower, Suite 300 GAINESVILLE, FLORIDA 32601 TEL: (352) 373-2041 www.eda.com real@eda.com

STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

OWNER: SWEET DIXIE SOUTH LLC. (MICHAEL W. CAMPBELL) CONTRACTOR:

CONSTRUCTION MANAGER:

Table with 7 columns: Date of Inspection, Location, Rain data, Type of control (see below), Date installed / modified, Current Condition (see below), Observations or Corrective Action / Other Remarks, Inspected By.

CONDITION CODE: G = Good M = Marginal, needs maintenance or replacement soon O = Other P = Poor, needs immediate maintenance or replacement C = Needs to be cleaned

CONTROL TYPE CODES

Table with 4 columns: Code, Description, Code, Description. Includes items like 1. Silt Fence, 2. Earth dikes, 3. Structural diversion, etc.

INSPECTOR INFORMATION:

Name: Qualification: Date: The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida General Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

"I certify under penalty of law that this document, and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who compile the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Table with 3 columns: No., Date, Comment.

Professional Engineer of Record:

Claudia S. Vega, P.E. - 31532 Certificate No.

Project No: 2022-0133

Project phase: COUNTY SUBMITTAL

Project title:

SWEET DIXIE SOUTH RV PARK MAJOR SITE PLAN MARION COUNTY, FL

Sheet title: STORMWATER POLLUTION PREVENTION PLAN

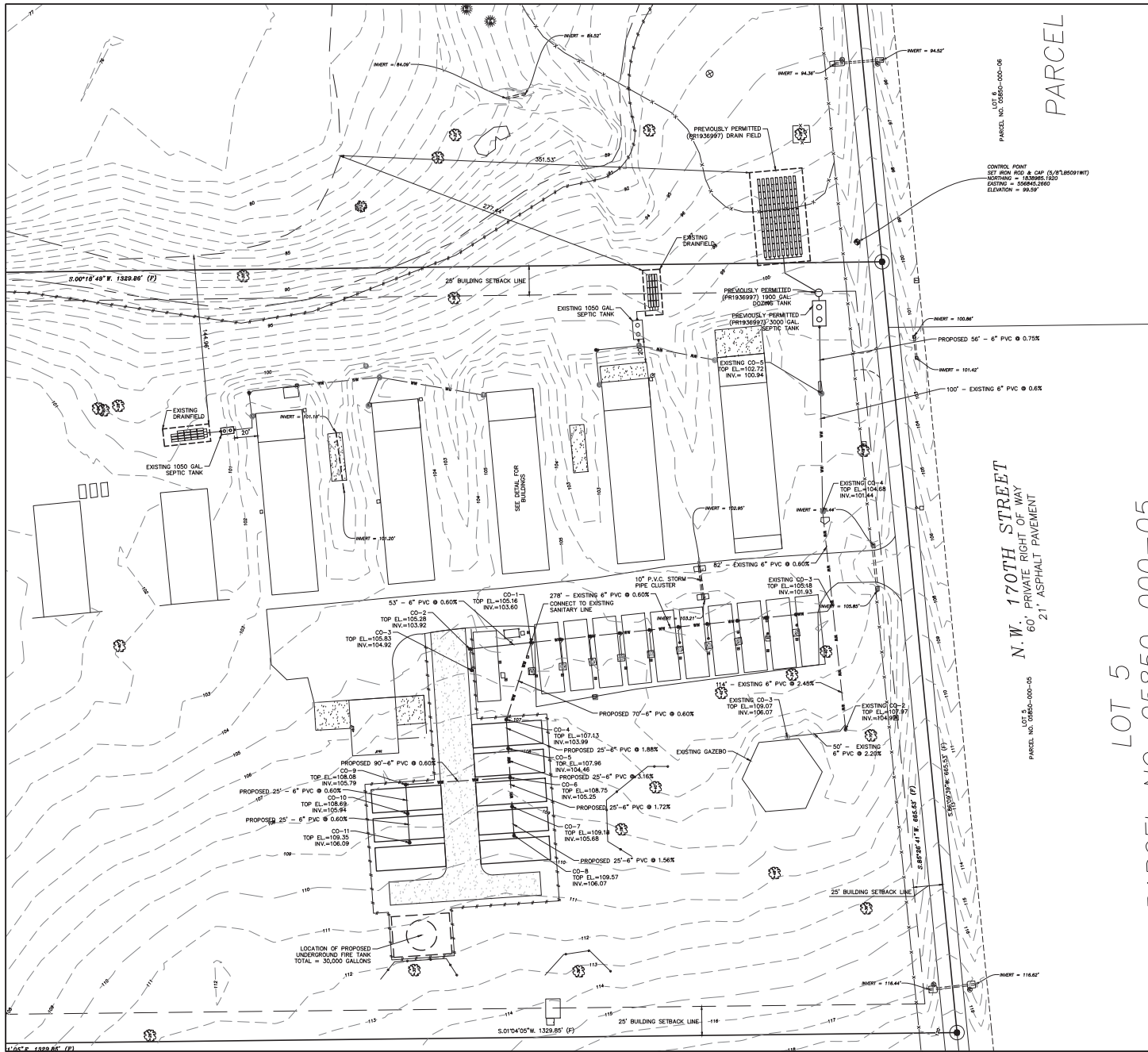
Designed: JLD Sheet No:

Drawn: NAG

Checked: TAR

Date: 08/30/24

C220



**LEGEND**

	EXISTING WASTEWATER
	PROPOSED WASTEWATER

CONTROL POINT  
 SET BY NGS & CAS (5/2/2009/11/17)  
 NORTHING = 123995.1520  
 EASTING = 509645.2000  
 ELEVATION = 99.59'

N. W. 170TH STREET  
 60' PRIVATE RIGHT OF WAY  
 21' ASPHALT PAVEMENT



ED 2309  
 720 S.W. 2nd Ave., South Tower, Suite 300  
 GAINESVILLE, FL 32601  
 TEL (352) 373-2641  
 www.eds.com mail@eds.com



**NORTH**  
 SCALE: 1" = 40'



GRAPHIC SCALE

No.	Date	Comment

PLEASE HAVE ALL REVISIONS BEHIND AND SIGNED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJUSTED TO THE ORIGINAL DATE OF THE SETTING OF THE ORIGINAL DRAWING. REVISIONS SHOULD BE IDENTIFIED BY A NUMBER, DATE, AND THE REVISION MADE (DELETED OR NEW) IN THE COMMENTS SECTION.

Professional Engineer of Record:

Claudia S. Vega, P.E. 31332  
 Engineer Certificate No.

Project No: 2022-0133

Project phase: COUNTY SUBMITTAL

Project title:

SWEET DIXIE SOUTH RV  
 PARK MAJOR SITE PLAN  
 MARION COUNTY, FL

Sheet title:  
 UTILITY PLAN

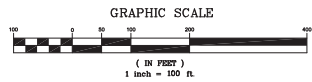
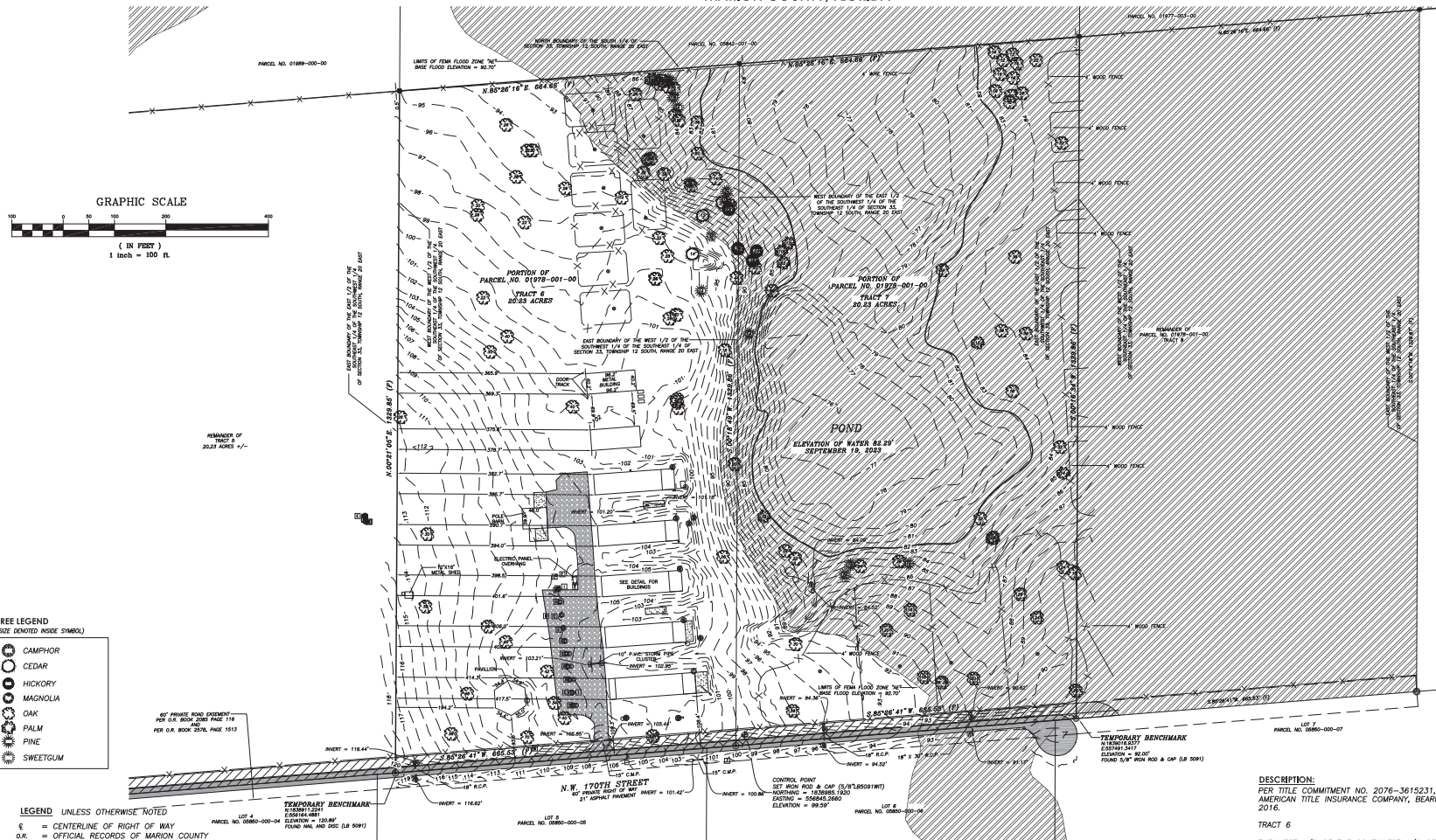
Designed: JLD Sheet No:

Drawn: NJG  
 Checked: TAR  
 Date: 08/30/24

C300



SECTION 33, TOWNSHIP 12 SOUTH, RANGE 20 EAST  
MARION COUNTY, FLORIDA

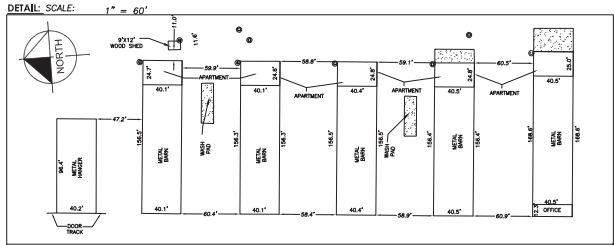


- TREE LEGEND**  
(SIZE DENOTED INSIDE SYMBOL)
- CAMPHOR
  - CEDAR
  - HICKORY
  - MAGNOLIA
  - OAK
  - PALM
  - PINE
  - SWEETGUM

- LEGEND** UNLESS OTHERWISE NOTED
- CENTERLINE OF RIGHT OF WAY
  - OFFICIAL RECORDS OF MARION COUNTY
  - FOUND 5/8" IRON ROD & CAP — LB 5091
  - FOUND 4" x 4" CONCRETE MONUMENT — RLS 1918
  - FOUND NAIL & DISC — LB 5091
  - SANITARY CLEANSOUT
  - WOOD POWER POLE
  - ELECTRIC TRANSFORMER
  - ELECTRIC BOX
  - GUY ANCHOR
  - TELEPHONE BOX
  - SATELLITE DISH
  - WATER METER
  - IRRIGATION CONTROL VALVE
  - WATER TROUGH
  - WELL
  - METAL REFLECTOR POST
  - MAILBOX
  - POLYVINYL CHLORIDE
  - R.C.P. — REINFORCED CONCRETE PIPE
  - CORRUGATED METAL PIPE
  - A.E.R. — AERIAL ELECTRIC
  - DENOTES CONCRETE
  - DENOTES ASPHALT
  - DENOTES LIMITS OF FEMA FLOOD ZONE "AE"

- NOTES:**
1. DATE OF FIELD SURVEY: MARCH 17, 2024
  2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
  3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
  4. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
  5. BEARINGS AND STATE PLANE COORDINATES DEPICTED HEREON ARE GRID, WEST FLORIDA ZONE, NAD-83 (CORSS86) EPOCH:2002.0000, BASED ON TRIMBLE VIRTUAL REFERENCE STATION NETWORK AND REFERENCED TO NATIONAL GEODETIC SURVEY CONTROL POINT V 090.
  6. VERTICAL DATUM BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT V 090 WITH AN ELEVATION OF 40.57' NAVD-88.
  7. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
  8. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  9. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
  10. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(ES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.
  11. FEMA FLOOD ZONE SHOWN HEREON IS BASED ON A FEMA GIS SHAPE FILE. BASE FLOOD ELEVATION FOR FLOOD ZONE "AE" IS 92.70 FEET, NORTH AMERICAN VERTICAL DATUM OF 1988.

**FLOOD CERTIFICATION:**  
PROPERTY LIES IN FLOOD ZONE "X" — AN AREA OF MINIMAL FLOODING AND ZONE "AE" AN AREA WITH A 1% CHANCE OF ANNUAL FLOODING PER THE FLOOD INSURANCE RATE MAP, MAP NO. 12083C0504D, COMMUNITY PANEL NO. 120160 0118 D, EFFECTIVE AUGUST 28, 2008.



**DESCRIPTION:**  
PER TITLE COMMITMENT NO. 2076-3615231, FILE NO. 16-2181, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, BEARING AN EFFECTIVE DATE OF AUGUST 23, 2016.

**TRACT 6**  
THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 20 EAST, TOGETHER WITH AND SUBJECT TO A 60 FOOT PRIVATE ROAD EASEMENT AS DESCRIBED IN OFFICIAL RECORD BOOK 2085, PAGE 116, ON THE NORTH 30.00 FEET OF THE WEST 3/4 OF THE N 1/4 OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 20 EAST AND ON THE SOUTH 30.00 FEET OF THE W 7/8 OF THE S 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 20 EAST, BEING SITUATE IN MARION COUNTY, FLORIDA.

**TRACT 7**  
THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 20 EAST, TOGETHER WITH AND SUBJECT TO A 60 FOOT PRIVATE ROAD EASEMENT AS DESCRIBED IN OFFICIAL RECORD BOOK 2085, PAGE 116, ON THE NORTH 30.00 FEET OF THE WEST 3/4 OF THE N 1/4 OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 20 EAST AND ON THE SOUTH 30.00 FEET OF THE W 7/8 OF THE S 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 20 EAST, BEING SITUATE IN MARION COUNTY, FLORIDA.

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 65-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT THE SURVEY IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE.

SIGNATURE DATE: TRAVIS P. BARRINEAU, P.S.M. — LS 6897  
TRAVIS@RMBARRINEAU.COM OF R.M. BARRINEAU & ASSOCIATES, INC.  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL PAPERED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



NO.	REVISIONS	BY	DATE

SCALE:	1" = 100'
APPROVED:	T.P.B.
CHECKED:	T.P.B.
REVIEWED:	T.P.B.
DRAWN:	T.P.B.

**R.M. BARRINEAU AND ASSOCIATES**  
PROFESSIONAL SURVEYORS & MAPPERS  
STATE OF FLORIDA LICENSE NO. 12083C0504D  
OFFICE: 12083C0504D, COMMUNITY PANEL NO. 120160 0118 D, EFFECTIVE AUGUST 28, 2008

**BOUNDARY & TOPOGRAPHIC SURVEY FOR:**  
**SWEET DIXIE SOUTH, LLC**

REFERENCES:	FILE:
P.B. 642, P.C.S.	

J.O.# 16215  
SHT 1 OF 1