

August 22, 2024

PROJECT NAME: CONLEY FAMILY HOLDINGS 484

PROJECT NUMBER: 2024060073

APPLICATION: MAJOR SITE PLAN #31719

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 7/12/24 - Add waivers is requested in the future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application
STATUS OF REVIEW: INFO
REMARKS: 7/12/24 - No phasing shown
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU service area - outside connection distance to closest MCU water; defer to DOH for well approval as shown on plan

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU service area - outside connection distance to closest MCU sewer; defer to DOH for septic approval as shown on plan
- 9 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Total Flow
STATUS OF REVIEW: INFO
REMARKS: Building 1: 300gpd (office) + 200gpd (warehouse) = 500gpd
Building 2: 210gpd (office) + 600gpd (warehouse) = 810gpd
- 10 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: DEP Water Approval
STATUS OF REVIEW: INFO
REMARKS: Well will need to be regulated through DEP.
Permit for drilling will be through the Department of Health in Marion County
- 11 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.12.6 - Location of septic systems & wells
STATUS OF REVIEW: INFO
REMARKS: Well will need to be at least 100' from septic systems
- 12 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Septic permits will need to be through the Department of Health in Marion County
Well permit will need to be through the Department of Health in Marion County
- 13 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.2 - Fire Flow/Fire Hydrant
STATUS OF REVIEW: INFO
REMARKS: Depending on the use of the building a fire alarm and fire sprinkler system maybe required to be installed. If a sprinkler system is required a fire pump and a pressurized hydrant will be required to be installed and not a dry hydrant. Formal building plans will need to be submitted to make the final determination.
- 14 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]
STATUS OF REVIEW: INFO
REMARKS: Not in flood or ESOZ
- 15 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: 7/12/24 - show location of any proposed outside storage.
- 16 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)
STATUS OF REVIEW: NO
REMARKS: Please provide data block on the cover sheet detailing the existing impervious & pervious area in SF, ac, and %.

- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.8 - Topographical Contours
STATUS OF REVIEW: NO
REMARKS: Please provide a survey that is no older than 12 months. Staff would support a survey.
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.13/14/15 - General Exhibits
STATUS OF REVIEW: NO
REMARKS: Please provide a FEMA flood map
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.6.C - Best Management Practices
STATUS OF REVIEW: NO
REMARKS: Please provide a karst repair detail
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size
STATUS OF REVIEW: NO
REMARKS: Minimum pipe size is 18" diameter. Staff would support a waiver
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 7.1.3 - Drainage Construction Specifications
STATUS OF REVIEW: NO
REMARKS: LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.
- 23 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.4.B - Cross access
STATUS OF REVIEW: NO
REMARKS: 7/12/24 – Provide a 24' wide paved cross access easement parallel to SE HWY 484 from property line to property line. Coordinate with Cheryl Weaver in the Right-of-way Office at 352-671-8679 to obtain the easement template and to record the easement. The executed easement must be submitted prior to final plan approval.

- 24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: NO
REMARKS: 7/12/24 - Driveway requires 660' spacing from nearest intersecting roadway or driveway. There is a cross-access easement on the adjacent property to the east. Remove the proposed driveway and connect to the existing cross access easement for use of the shared driveway.
- 25 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.12 - Sidewalks
STATUS OF REVIEW: NO
REMARKS: 7/12/24 - Sidewalks are required along SE HWY 484 and must have connectivity with sidewalks located on property. Staff supports payment of a fee in-lieu of sidewalk construction. If approved by the Development Review Committee the fee comes out to \$5,338 and must be paid prior to final plan approval.
- 26 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$1,000..00 + (\$10.00 x total site acreage)
STATUS OF REVIEW: NO
REMARKS: 7/12/24 - Fee due
- 27 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads
STATUS OF REVIEW: NO
REMARKS: The second building in the rear has an access road greater than 150 feet. Per NFPA 1 Chapter 18 for fire department access. Where fire department access roads exceed 150 feet a fire department turnaround shall be required. Based on the building size of building 2 it appears that there will be a small portion of the rear of the building that will not meet the 150 foot rule around the building for access, approximately 10 feet was calculated. Fire department access roads shall be provided such that any portion of an exterior wall of the building is located not more than 150 feet from the fire department access road (Per Florida Fire Prevention Code Chapter 18.2.3.2.2).
- 28 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]
STATUS OF REVIEW: NO
REMARKS: Please include environmental assessment or exemption.
- 29 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: NO
REMARKS: If listed species present, mitigation plan to be provided.
- 30 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements
STATUS OF REVIEW: NO
REMARKS: show table with tree numbers, sizes, types and total of inches
- 31 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Label buffer size and type graphically on plan. 2. South buffer is type D, requires a wall. waiver required for fence. 3. show OHE on plans, confirm shade trees will be 30ft from OHE. 4. Show type D buffer plantings on south boundary. Waiver required to use existing trees with infill.

- 32 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: NO
REMARKS: 1. Preserved 14" Oak in parking island has high probability of being damaged/destroyed in construction. If tree is damaged, replacement will be required.
- 33 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.8 - Building landscaping
STATUS OF REVIEW: NO
REMARKS: Building 1 does not appear to meet the 60% landscape requirement (80ft - 6ft doors=74*.6=44ft.) confirm requirement is met
- 34 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.9 - Service and equipment areas
STATUS OF REVIEW: NO
REMARKS: show dumpster and screening on plan
- 35 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)
STATUS OF REVIEW: NO
REMARKS: No one species of tree may exceed 50% of total trees. Oaks =65%
- 36 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: will there be outdoor lighting? if so, a photometric plan is required
- 37 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering
STATUS OF REVIEW: NO
REMARKS: 7/12/24 - Label all buffer types.
- 38 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)
STATUS OF REVIEW: NO
REMARKS: 7/12/24 - provide EALS
- 39 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: NO
REMARKS: Verified with project list. Owner's name on the plans does not match what is register on Sunbiz. Name should read Claude Conley JR. HR 7.16.24
IF APPLICABLE:
Sec. 2.18.2.I Show connections to other phases.
Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Required Right of Way Dedication (select as appropriate)
Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name

specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:

1."[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

2."[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:

1."[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2."[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR #31719

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 8/19/2024 Parcel Number(s): 44617-005-00 Permit Number: AR# 31719

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: CONLEY FAMILY HOLDINGS 484 Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): CLAUDE CONLEY JR.
Signature: *Claude Conley*
Mailing Address: P.O. BOX 2376 City: OCALA
State: FLORIDA Zip Code: 34478 Phone # 352-274-4656
Email address: FSU197886@GMAIL.COM

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Rogers Engineering, LLC Contact Name: Rodney Rogers
Mailing Address: 1105 SE 3rd Avenue City: Ocala
State: FL Zip Code: 34471 Phone # 352-622-9214
Email address: mclemmons@rogerseng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.11.5 - Driveway Access
Reason/Justification for Request (be specific): The existing cross-access easement is not paved and is located on a church's property. The project will have large trucks making deliveries on weekdays and box trucks making numerous trips, and the turning movements will be troublesome. The church does not want to share its driveway with this kind of business and cannot afford to pave the cross-access easement.

DEVELOPMENT REVIEW USE:

Received By: Email 8/20/24 Date Processed: 8/22/24 CF Project # 2024060073 AR # 31719

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471

Section & Title of Code (be specific) 6.11.4.B - Cross Access
Reason/Justification for Request (be specific): The properties on both sides of the project have their own driveways and do not need to use the project's driveway.

Section & Title of Code (be specific) 6.12.12 - Sidewalks
Reason/Justification for Request (be specific): Client wishes to pay fee \$5,338.00 in lieu of sidewalk construction.

Section & Title of Code (be specific) 6.13.8.B (7) - Minimum Pipe Size
Reason/Justification for Request (be specific): Allow use of 15" RCP with supporting hydraulic calculations.

Section & Title of Code (be specific) 6.8.6 - Buffers
Reason/Justification for Request (be specific): Request use of 5 ft. high four board black fence in lieu of wall, as preferred by the horse farm owner opposite of the buffer.

Section & Title of Code (be specific) 6.8.6 - Buffers
Reason/Justification for Request (be specific): Request waiver to use existing oak trees in the Type "D" buffer in lieu of planted trees.

Section & Title of Code (be specific) 6.8.6 - Building Landscaping
Reason/Justification for Request (be specific): Request reduction of 9 feet to length of plantings. Owner to provide potted plants on covered porch.

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

A MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
S.E. HIGHWAY 484 MARION COUNTY, FL

TRAFFIC STATEMENT:

PROPOSED USE -- WAREHOUSING
LUC-150 ITE TRIP GENERATION MANUAL 11th EDITION
VEHICLE TRIP GENERATION PER 1000 SF GROSS FLOOR AREA

WEEKDAY
AM PEAK HOUR 0.42 x 23.3 = 10
65% ENTER/35% EXIT = 6.5/3.5
PM PEAK HOUR 0.45 x 23.3 = 11
50% ENTER/50% EXIT = 5.5/5.5

PARKING REQUIREMENTS

PARKING REQUIRED:
WAREHOUSE -- 1 SPACE/3000 S.F.
OFFICE -- 2.5 SPACES/1000 S.F.

BUILDING #1
WAREHOUSE -- 9600 S.F./3000 = 3 SPACES
OFFICE -- 2000 S.F./1000 x 2.5 = 5 SPACES
TOTAL = 8 SPACES

BUILDING #2
WAREHOUSE -- 10,398 S.F./3000 = 4 SPACES
OFFICE -- 1320 S.F./1000 x 2.5 = 3 SPACES
TOTAL = 7 SPACES

PARKING PROVIDED:
BUILDING #1 = 10 SPACES
BUILDING #2 = 12 SPACES

HANDICAP PARKING REQUIRED: 1 SPACE/25 SPACES
22 SPACES = 1 H/C SPACE

HANDICAP PARKING PROVIDED = 2 SPACES

OPEN SPACE CALCULATIONS:

PARCEL AREA: 130,683 S.F. (3.00 Ac)

BUILDING 23,300 S.F.
PAVEMENT & CONCRETE 32,016 S.F.
DRA 13,475 S.F.
TOTAL NON-OPEN SPACE AREAS = 68,691 S.F. (52.6%)

OPEN SPACE AREA = 66,992 S.F. (47.4%)

INTERIOR OPEN SPACE CALCULATIONS:

VEHICLE USE AREA (VUA)= DRIVEWAY, DRIVE AISLES & PARKING SPACES

VUA = 30,085 S.F.

INTERIOR OPEN SPACE = 3,959 S.F. (13.2%)

LEGEND

C.M. CONCRETE MONUMENT
I.R. IRON ROD
R/W RIGHT OF WAY
E/P EDGE OF PAVEMENT
C/L CENTERLINE
SEC. SECTION
TWP. TOWNSHIP
RGE. RANGE
T.B.M. TEMPORARY BENCHMARK
F.F. FINISH FLOOR
ELEV. ELEVATION
INV. INVERT
HDPE HEAVY DUTY POLYETHYLENE PIPE
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONCRETE PIPE
C.O. CLEAN-OUT
PVC POLYVINYL CHLORIDE
CONC. CONCRETE
WATER LINE
SEWER LINE
OVERHEAD ELECTRIC WIRES
FENCE
EXISTING TREE
GROUND CONTOUR
UTILITY POLE AND GUY ANCHOR



SECTION 8, TOWNSHIP 17 S., RANGE 22 E.
LOCATION MAP

SHEET INDEX

SHEET NO.	CONTENTS
C001	TITLE SHEET
C002	S.W.A.P.P. & TREE REMOVAL PLAN
C003	SITE PLAN
C004	GRADING & DRAINAGE PLAN
C005	UTILITY PLAN
C006	CONSTRUCTION DETAILS
L001	LANDSCAPE PLAN
L002	IRRIGATION PLAN
L003	LANDSCAPE & IRRIGATION DETAILS
S001	BOUNDARY SURVEY
S002	TOPOGRAPHIC SURVEY

CONCURRENCY NOTE:

THIS PROPOSED PLAN HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND A FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO BUILDING PERMIT REVIEW.

GENERAL NOTES:

- ALL AREAS WITHIN THE S.E. HWY. 484 RIGHT-OF-WAY THAT WERE DISTURBED BY CONSTRUCTION SHALL BE SOODED WITH ARGENTINA BAHIA.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
- THE STOP SIGNS MUST BE INSTALLED ON 2'x2" SQUARE POSTS, 14 FT. IN LENGTH, 1 1/4 GAUGE, 4lbs/FT. ALL SIGNS MUST MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS.
- THE STOP BARS SHALL BE WHITE 24" WIDE LEAD FREE THERMOPLASTIC.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ANY UNDERGROUND UTILITIES WITHIN THE WORK AREA PRIOR TO CONSTRUCTION.
- LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
- SITE LIGHTING SHALL BE SECURITY LIGHTS MOUNTED TO THE BUILDINGS AND SHALL BE DIRECTED TO PREVENT GLARE ON TO THE ADJOINING PROPERTIES AND ROADWAY.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- THE PROPOSED BUSINESS SIGN SHALL MEET THE REQUIREMENTS OF L.D.C. SEC. 4.4.4.
- ALL ROADS, DRA'S AND DRAINAGE EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED BY THE DEVELOPER OR HOMEOWNER'S ASSOCIATION.

SITE DATA:

PROJECT NAME: CONLEY FAMILY HOLDINGS 484

OWNER: CONLEY FAMILY HOLDINGS 484, LLC
P.O. BOX 2376
OCALA, FL 34478

CONTACT: CLAUDE CONLEY

PHONE: (352) 274-4656

PARCEL NO.: 44617-005-00

PARCEL AREA: 3.00 ACRES

LAND USE/ZONING: COM/B-5

PROPOSED USE: LARGE WAREHOUSE w/ OFFICE & TENANT WAREHOUSE UNITS w/ SMALL OFFICES

BUILDING SIZE: 23,300 S.F.

FLOOR AREA RATIO: 0.1783

PROPERTY LIES TOTALLY WITHIN FLOOD ZONE X AND IS NOT WITHIN A PRIMARY SPRINGS PROTECTION ZONE

MARION COUNTY OWNER'S CERTIFICATE:

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY ADD THE IMPROVEMENTS SHOWN ON THIS PLAN, OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS, IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

CLAUDE CONLEY DATE
PROPERTY OWNER

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.



Infinite Engineering
240 SW 8th STREET, SUITE A
OCALA, FLORIDA 34471
(352) 281-1188
WWW.INFINITE-ENG.COM
CERT. OF REG. # 15359

BARRY E. GINN DATE
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595

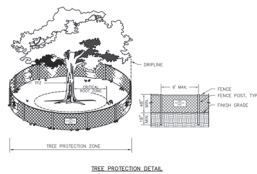
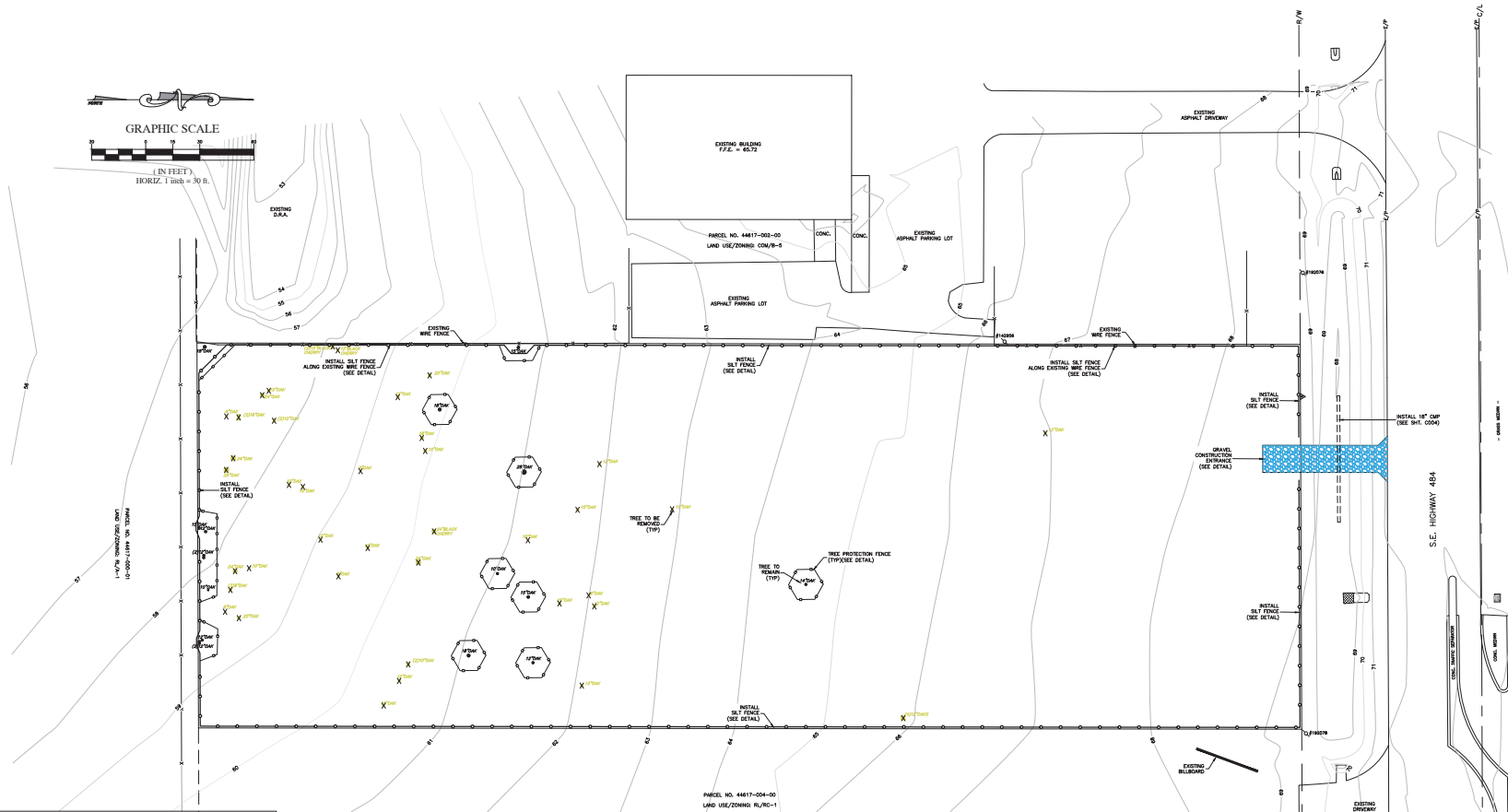
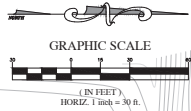
DATE	REVISION

Robert L. Conley, P.E. rconley@rogerseng.com Rogers Engineering, LLC Rogers, FL 34478 Katie M. Rogers, PFSM krogers@rogerseng.com Rogers Engineering, LLC

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bui. #4074

A MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
Cover Sheet

JOB No. 23-44617-005-00
DATE 7-18-2024
SCALE
SHEET C001



1. PRE-EXISTING BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROVES OF TREES PRIOR TO ANY PLACING OR MOVING OF MATERIALS INCLUDING THE REMOVAL OF EXISTING TREES.

2. FOR LARGE GROVES OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE EXISTING DRIVEWAY SHALL BE MADE OF RIGID MATERIAL, CAPABLE OF WITHSTANDING THE WEIGHT OF THE CONSTRUCTION EQUIPMENT.

3. BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRS OR REPLACEMENTS AS REQUIRED. IN THE EVENT OF A BREACH, THE BARRICADE SHALL BE REPAIRED TO PREVENT FURTHER DAMAGE TO THE PROTECTED TREES AND GROVES.

4. BARRICADES SHALL BE REMOVED IMMEDIATELY AFTER THE COMPLETION OF CONSTRUCTION AND THE AREA SHALL BE RESTORED TO ITS ORIGINAL CONDITION.

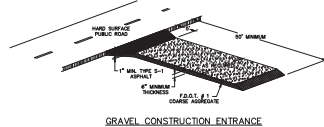
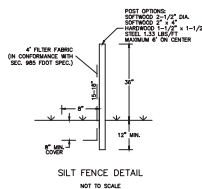
5. ANY DAMAGE TO THE PROTECTED TREES AND GROVES SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR BETTER.

6. THE PROTECTED TREES AND GROVES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

7. THE PROTECTED TREES AND GROVES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

8. REQUIRED SIGNS SHALL EXIST "TREE PROTECTION ZONE".

7.3.4
L.S.
(03)



S.W.P.P.P. NOTES:

1. SILT FENCING (SEE DETAIL) SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FILLING OF THE PROPERTY AND MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL DISTURBED AREAS.
2. A GRAVEL CONSTRUCTION ENTRANCE (SEE DETAIL) SHALL BE CONSTRUCTED AND MAINTAINED UNTIL COMPLETION OF ALL PAVING.
3. EROSION FABRIC SHALL BE INSTALLED UNDER ALL INLET GRATES UNTIL ALL PAVED SURFACES HAVE BEEN INSTALLED & THE FABRIC SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF PAVEMENT INSTALLATION.
4. THE DRAINAGE RETENTION AREA SHALL BE COMPLETELY SODDED IMMEDIATELY AFTER THE CONSTRUCTION IS COMPLETE.
5. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY FASHION.
6. ALL CONSTRUCTION VEHICLES SHALL ENTER & EXIT THE PROJECT AREA VIA THE GRAVEL CONSTRUCTION ENTRANCE.



BARRY E. GINN DATE
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bln. #4074

A MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
S.W.P.P.P. & Tree Removal Plan

JOB No.
23-44617-002-06

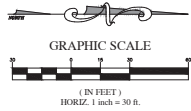
DATE
7-18-2024

SCALE
1" = 30'

SHEET
0002

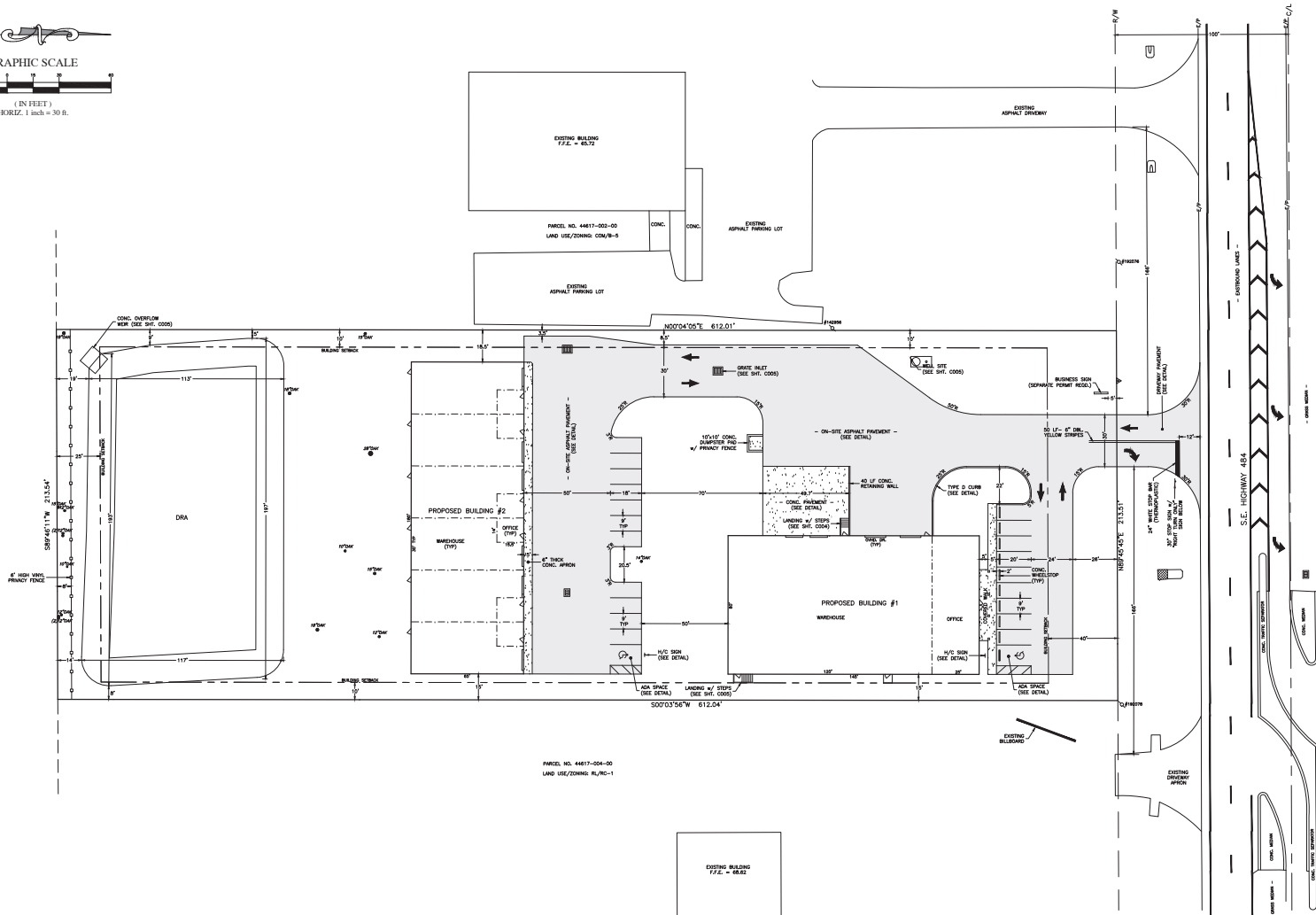
REVISION	DATE

ROBERT L. ROGERS, P.E.
Lic. No. 10022
rrogers@engineering.com
Rogers Engineering, LLC
1105 S.E. 3rd Avenue
Ocala, FL 34471
Ph. (352) 622-9214
rrogers@engineering.com
rrogers@engineering.com
rrogers@engineering.com



(IN FEET)
HORIZ. 1 inch = 30 ft.

1/4" = 30' HORIZONTAL SCALE
1/4" = 30' VERTICAL SCALE



Infinite Engineering
240 SW 10th Street, Suite 101
Ocala, Florida 34671
(352) 237-1189
www.infiniteengineering.com
GEO. CIV. ENGR. #13388

BARRY E. GINN DATE
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595

A MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
Site Plan

JOB No.
23-44617-005-06

DATE
7-18-2024

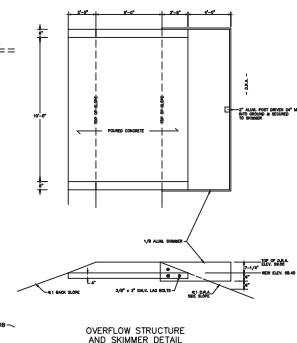
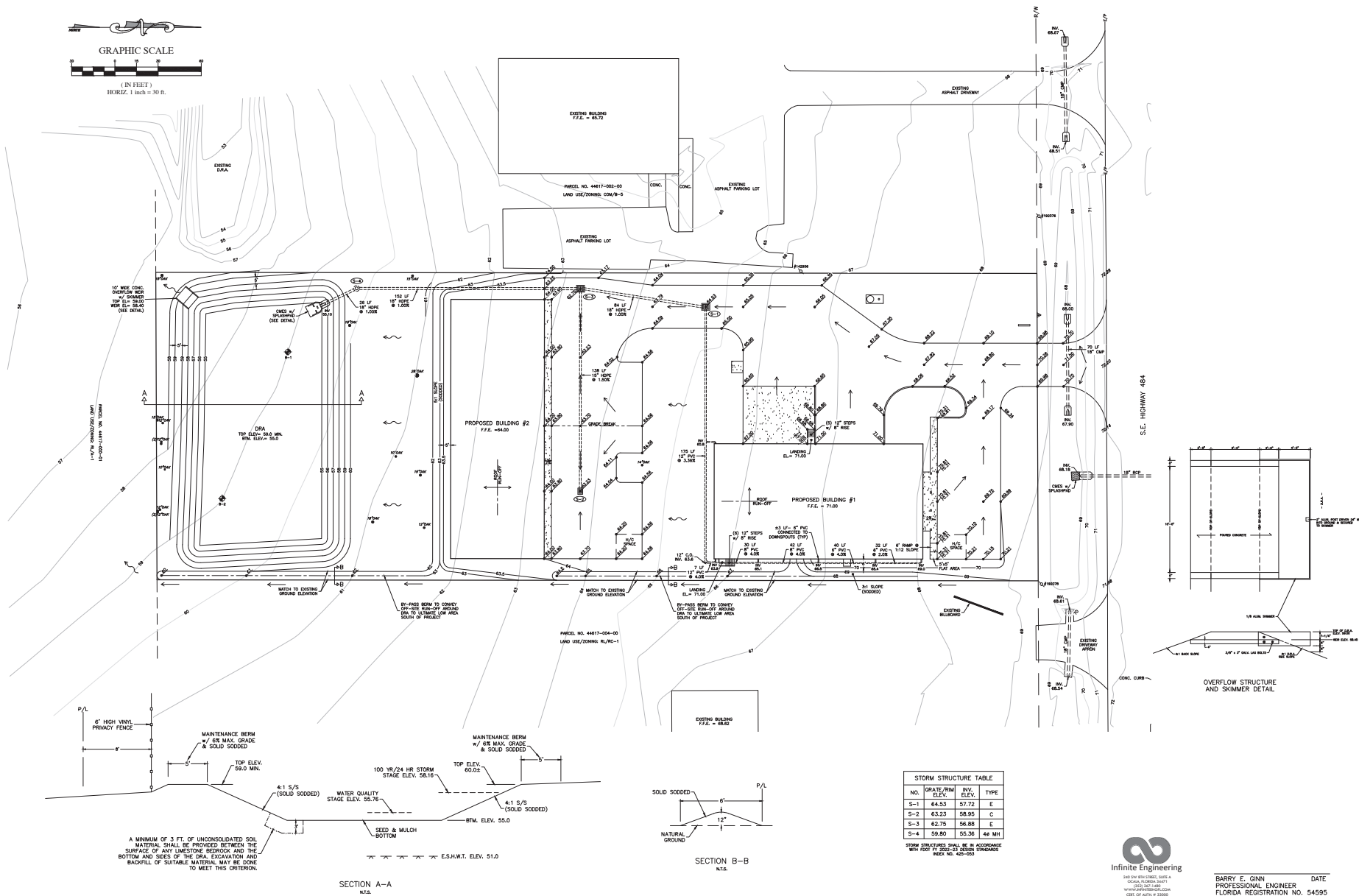
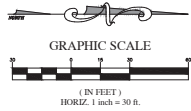
SCALE
1" = 30'

SHEET
0003

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

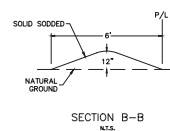
ROBERT L. ROGERS, P.E.
Lic. No. 10022
rrogers@rogerseng.com
Rogers Engineering, P.S.M.
Rogers, N. Ann, Lic. No. 6274
rrogers@rogerseng.com
Madden, M. Boyd, Lic. No. 7556
bmadden@rogerseng.com

DATE
REVISION

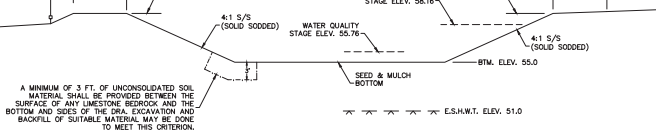


STORM STRUCTURE TABLE				
NO.	GRATE/RIM ELEV.	INV. ELEV.	TYPE	
S-1	64.33	57.72	E	
S-2	63.23	58.95	C	
S-3	62.75	56.88	E	
S-4	59.80	55.36	40 MH	

STORM STRUCTURES SHALL BE IN ACCORDANCE WITH FOOT CULVERT DESIGN STANDARDS INDEX NO. 425-653



SECTION B-B
N.T.S.



SECTION A-A
N.T.S.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

REVISION

DATE

ROBERT L. ROGERS, P.E.
rrogers@rogerseng.com
Roderick N. Rogers, PSM
rrogers@rogerseng.com
Madelaine M. Rogers, PSM
mrogers@rogerseng.com

A MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
Grading & Drainage Plan

JOB No.
23-44617-005-00

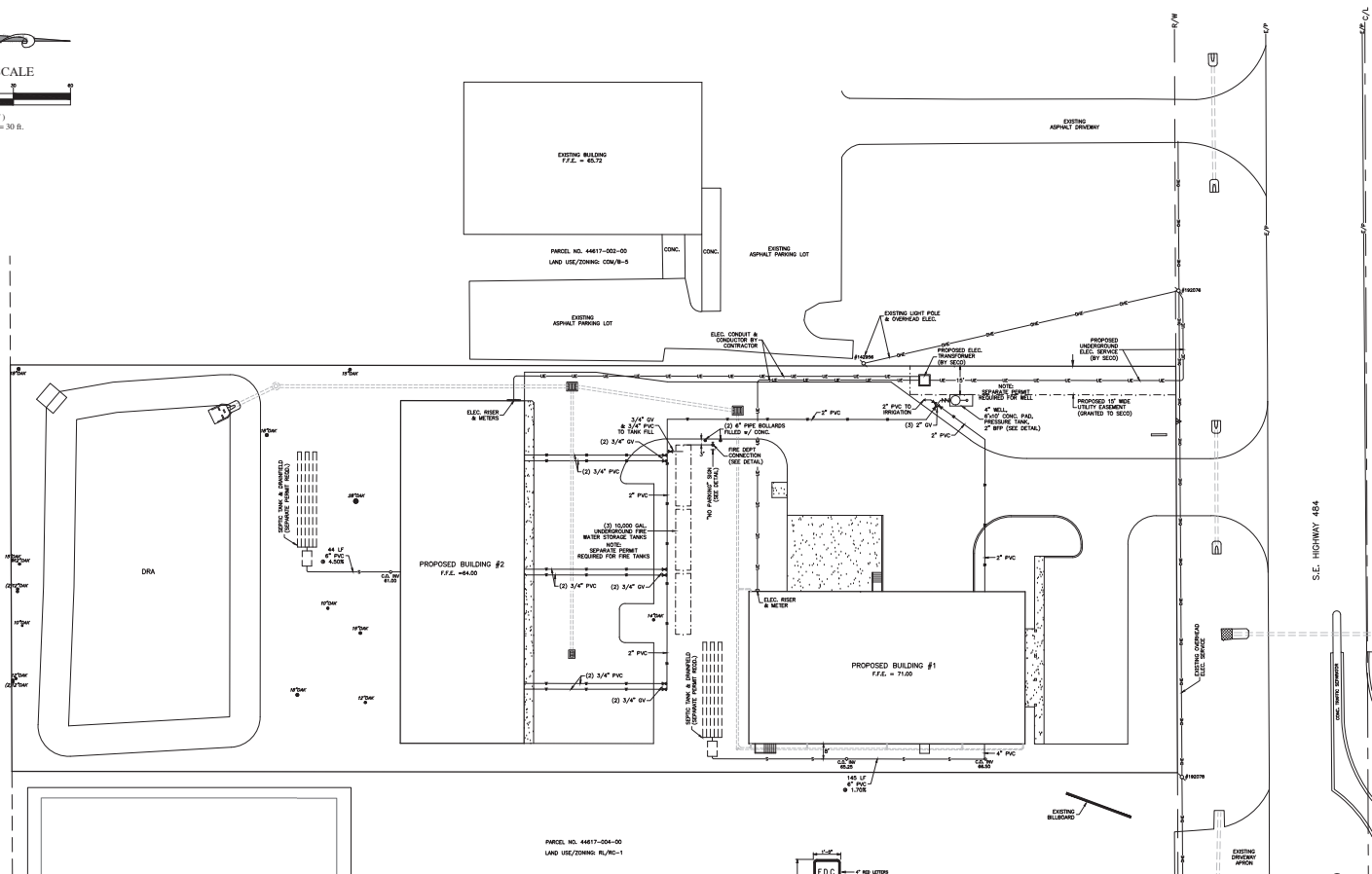
DATE
7-18-2024

SCALE
1" = 30'

SHEET
0004

BARRY E. GINN
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595

DATE



BARRY E. GINN
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595

A MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
Site Plan

JOB No.
23 44817-005-00

DATE
7-08-2024

SCALE

1" = 30'

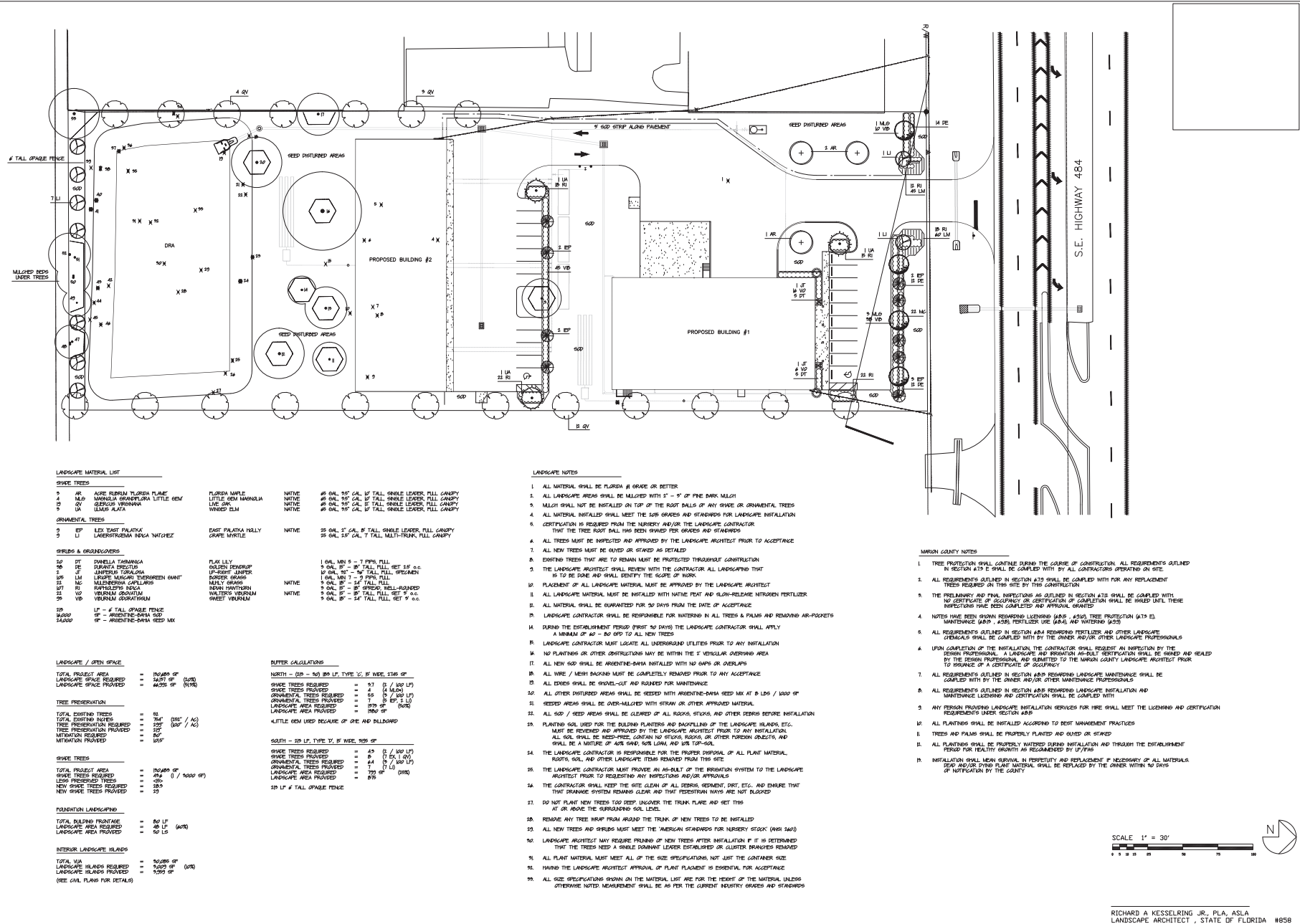
SHEET
C005

Robert L. Rogers, PE
FL Reg. No. 10027
rlrogers@rogerseng.com

Rodney K. Rogers, PSM
FL Reg. No. 5274
rkrogers@rogerseng.com

Mekelle M. Boyer, PSM
FL Reg. No. 7398
kboyer@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying



DATE: 6 / 24
DRAWING NO.:
SHEET NO.: 30
SCALE: 1" = 30'
JOB NO.:
JOB NAME:

RAK
ANDY KESSELRING, LANDSCAPE ARCHITECT
1000 N. GULF BLVD., SUITE 100
FORT MYERS, FL 33901
(813) 822-8889
LANDSCAPE ARCHITECT, STATE OF FLORIDA #958

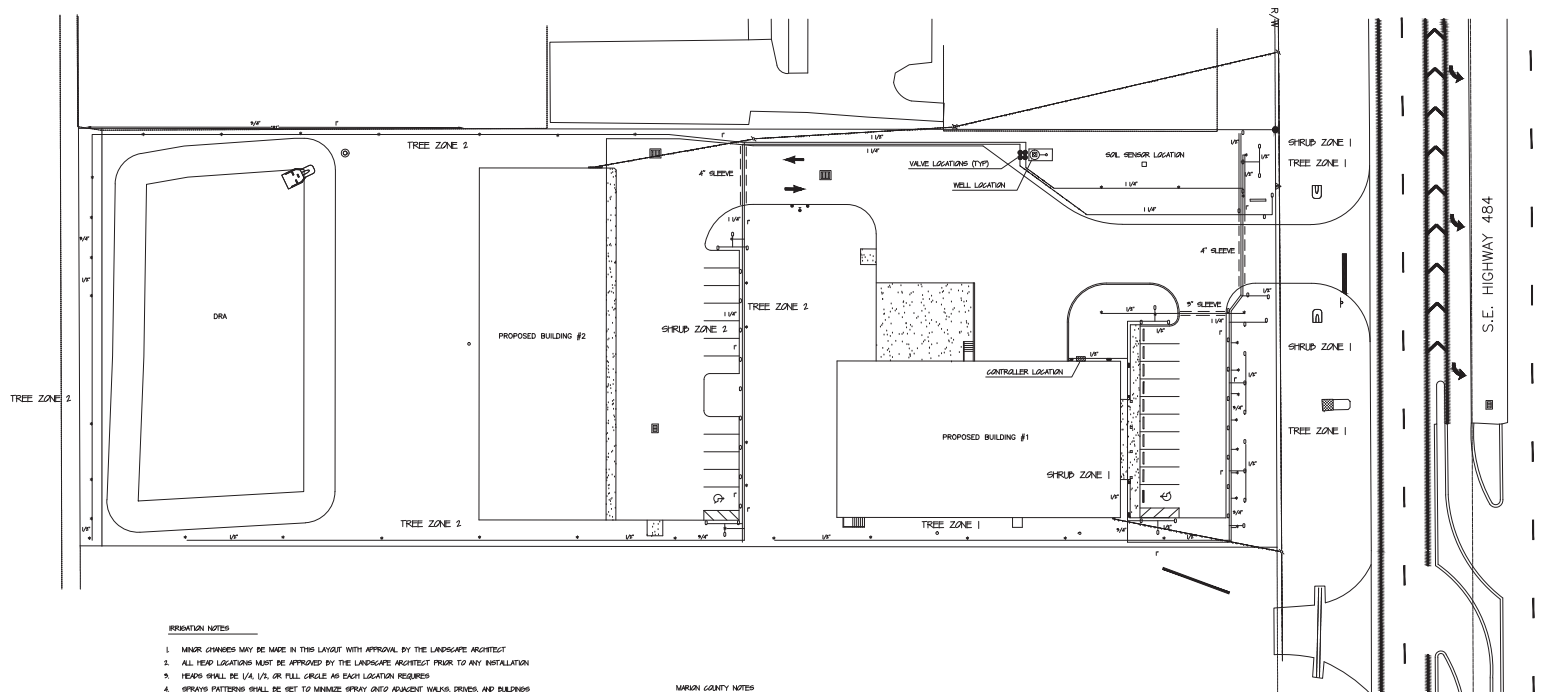
NO. DATE DESCRIPTION BY

ENVIRONMENTAL DESIGN
EDK
LANDSCAPE PLAN
CONLEY WAREHOUSE
MARION COUNTY
FLORIDA

DATE: 6 / 24
DRAWING NO.:
SHEET NO.: 30
SCALE: 1" = 30'
JOB NO.:
JOB NAME:

RAK
ANDY KESSELRING, LANDSCAPE ARCHITECT
1000 N. GULF BLVD., SUITE 100
FORT MYERS, FL 33901
(813) 822-8889
LANDSCAPE ARCHITECT, STATE OF FLORIDA #958

NO. DATE DESCRIPTION BY



IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL YIELD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. YIELDS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE SHALL BE A NEW WELL LOCATION IN THE GENERAL AREA SHOWN
6. SEE CIVIL PLANS FOR INSTALLATION INFORMATION AND COORDINATION
7. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND THE PROPOSED SYSTEM LAYOUT, AND PROVIDE ANY QUESTIONS TO THE LANDSCAPE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
8. THE OWNER WILL PROVIDE ELECTRICAL SERVICE TO THE WELL SITE
9. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
10. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
11. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
12. ALL SLEEVES MUST BE INSTALLED PRIOR TO THE LAKING OF THE PAVED AREAS
13. ALL SLEEVES SHALL BE 6" ID PVC AND INSTALLED A MINIMUM OF 18" DEEP
14. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 18" DEEP
15. RAINFALL TRANSDUCER DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RWD SERIES). IN ADDITION, AN AGCLAMA TDT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTMENTS
16. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
17. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 90 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
18. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
19. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
20. CONTRACTOR SHALL VERIFY THAT BACKFLOW PREVENTION DEVICE HAS BEEN INSTALLED AT THE WELL
21. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
22. ZONES ARE DESIGNED TO FUNCTION AT 90 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL YIELDS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
23. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS
24. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER THE NEW TREE AND PLANT INSTALLATION AS DIRECTED BY THE LANDSCAPE ARCHITECT
25. ALL LINE LOCATIONS MUST BE ADJUSTED TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
26. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
27. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FWS @ ENVI/FW/PAUL/LEW/HEAD
28. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, WHERE CHECK VALVES ARE INSTALLED AT THE HEAD
29. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR
30. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
31. ALL IRRIGATION INSTALLATION SHALL MEET SUB GRADING AND STANDARDS
32. NO IRRIGATION HEADS SHALL BE INSTALLED ON RIDERS UNLESS SPECIFICALLY NOTED AND DETAILED
33. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
34. BUBBLERS AT ALL TREES AND PALMS SHALL BE SIZED AT THEIR PROPER LOCATIONS

MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND COORDINATION, INFORMATION A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL, AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 450 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
2. ALL REQUIREMENTS IN SECTION 450 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA'S BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOODS PROGRAM
3. ALL REQUIREMENTS OUTLINED IN SECTION 450 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
4. ALL REQUIREMENTS OUTLINED IN SECTION 450 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
5. NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (450) WATERING INSTALLATION (450) AND INSTALLATION LICENSING REQUIREMENTS (450)

IRRIGATION LEGEND

- 0 HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
- 1 HUNTER MP 1000 SERIES POP-UP SIDE-SPRAY HEADS
- 2 HUNTER P200 SERIES DUBBER HEADS FOR TREES
- 3 SOL SENSOR LOCATION
- 4 NEW WELL - SEE CIVIL PLANS
- 5 HUNTER X-CORE (4 STATION) CONTROLLER
- 6 1" NELSON VALVES IN WATER-RESISTANT BOXES
- 7 SLEEVING - 6" ID PVC

IRRIGATION ZONE DATA

TREE ZONE 1	=	100 GPM
TREE ZONE 2	=	170 GPM
SHRUB ZONE 1	=	180 GPM
SHRUB ZONE 2	=	180 GPM
844 GPM x 15 = 12660 GPD		
1 = 2000 GPM / 7 = 500 GPD		
GPM	= GALLONS PER MINUTE	
GPD	= GALLONS PER DAY	
GPD	= GALLONS PER DAY	

SCALE 1" = 30'



RICHARD A. KESSELING JR., P.L.A., A.S.L.A.
LANDSCAPE ARCHITECT, STATE OF FLORIDA #859

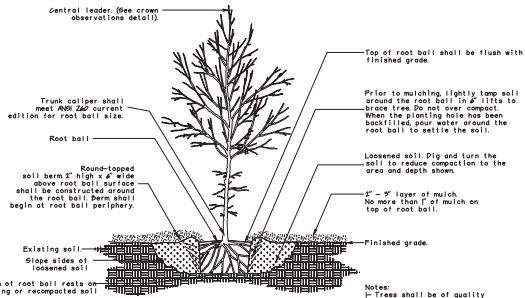
DATE	6 / 24
DRAWING NO.	
NEW NAME	
NO.	DATE
DESCRIPTION	BY

DRAWING NO.	RAK
SCALE	1" = 30'
JOB NO.	AS

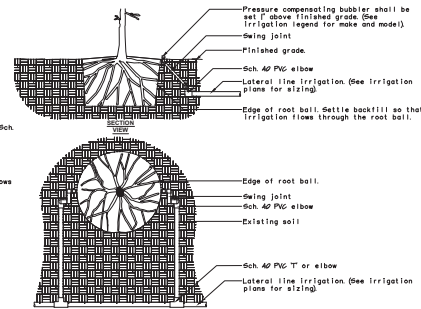
ENVIRONMENTAL DESIGN
LANDSCAPE ARCHITECT
1900 S.E. 8th STREET, SUITE 101
OCCALA, FLORIDA 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING,
SOIL CONSERVATION, COMMERCIAL, RESIDENTIAL DESIGN



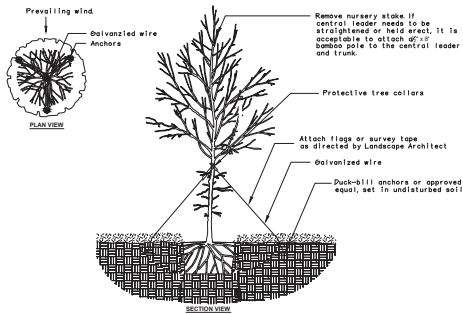
IRRIGATION PLAN
CONLEY WAREHOUSE
MARION COUNTY
FLORIDA
SHEET 1022 OF 1000



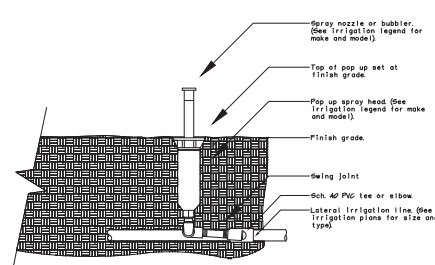
TREE INSTALLATION



TREE BUBBLER LAYOUT

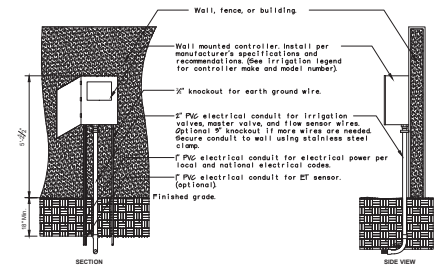


TREE STAKING - TREES < 2" CALIPER



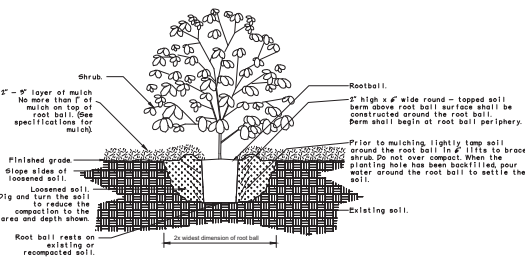
Notes:
1- 6" pop ups shall be used in turf areas.
2- Contractor shall settle soil around the pop up after installation.
3- All pop up spray heads shall have check valves.
4- All Sch. 40 PPG to Sch. 40 PPG connections shall be made using teflon tape.

POP UP-SPRAY HEAD

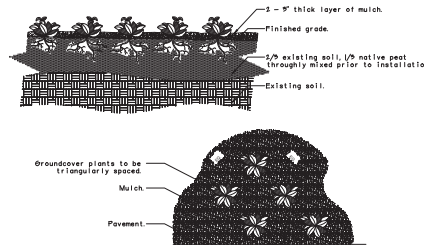


Notes:
1- Common and controller wire to be bundled using electrical tape at 1/2" on center.
2- Grounding rods shall be located between 6" to 12" away from the controller.
3- Grounding rods shall be 1/2" in length. Connect the grounding rod to the controller using a galvanized copper wire per manufacturer's specifications.
4- Rain sensor device shall be installed within 3/4" of the controller, a minimum of 8" high, and out from any overhead obstructions such as building overhangs, trees, or utilities.

WALL MOUNTED CONTROLLER



SHRUB INSTALLATION



Notes:
1- See planting legend for groundcover species, size, and spacing dimension.

GROUNDCOVER INSTALLATION

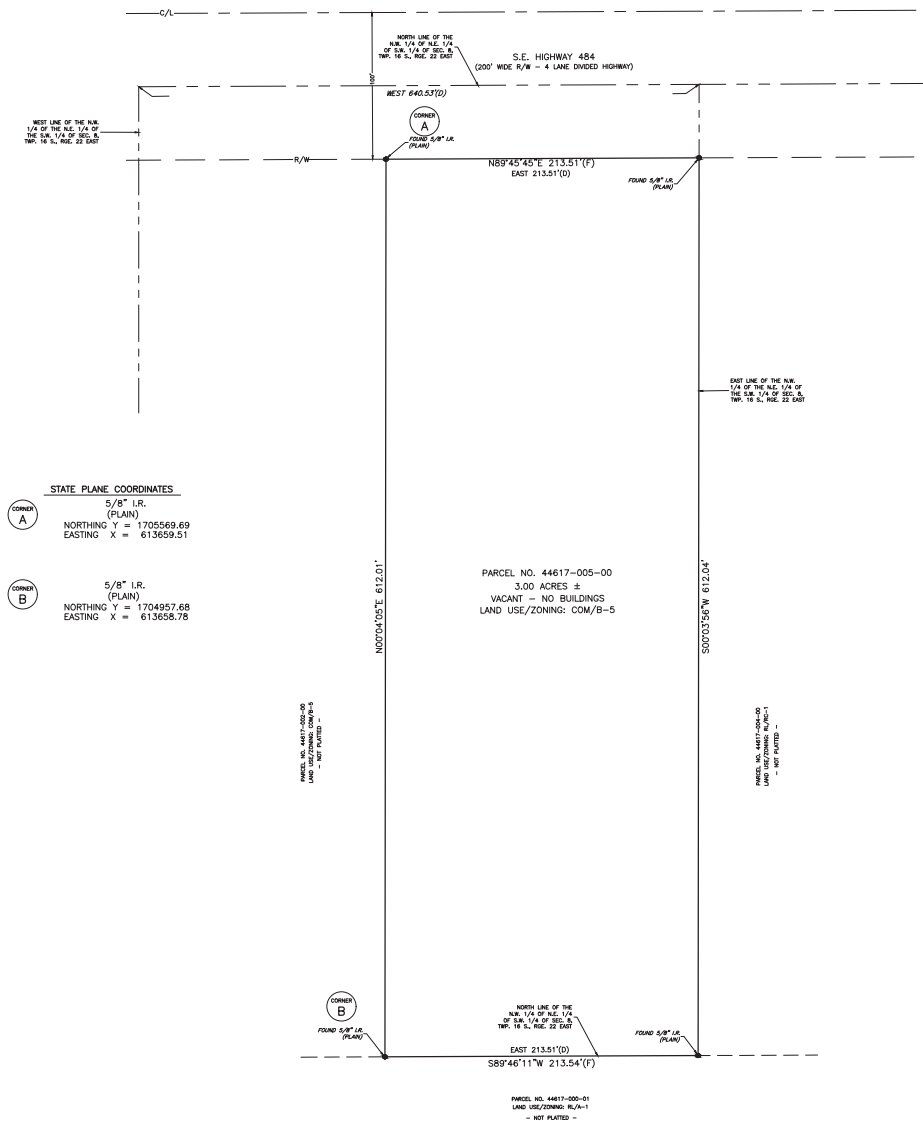
DATE	NO.	DATE	DESCRIPTION	BY

DATE: 6 / 24	RAK	SCALE: 1" = 30'	NO.	DATE	DESCRIPTION	BY
DRAWING NO.: 1000						
NEW NAME:						

ENVIRONMENTAL DESIGN
LANDSCAPE ARCHITECT
1000 SE 10th Avenue, Suite 100
Ocala, Florida 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING, DESIGN
OUR PEOPLE. YOUR. COMMUNITY. ESSENTIAL. DESIGN.



LANDSCAPE & IRRIGATION DETAILS
CONLEY WAREHOUSE
MARION COUNTY
FLORIDA



THAT PART OF THE EAST 213.51 FEET OF THE WEST 640.53 FEET OF THE
NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF
SECTION 8, TOWNSHIP 17 SOUTH, RANGE 22 EAST, MARION COUNTY,
FLORIDA, LYING SOUTH OF COUNTY ROAD NO. 484.

1. FIELD MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.

2. VERTICAL DATA IS BASED ON F.D.O.T. VERTICAL CONTROL POINT "DS9PKH", SURVEYED ELEVATION = 73.62, NAVD-88.
3. FIELD SURVEY DATE: 3-24-2024.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. ALL RIGHTS OF WAY SHOWN HEREON ARE PHYSICALLY OPEN UNLESS OTHERWISE STATED.
6. UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
7. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) NUMBER: 1201600, PANEL 0202, SUFFIX D, WITH AN EFFECTIVE DATE OF 8/28/2008.
8. THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 58-17.050 THROUGH 58-22, FLORIDA ADMINISTRATIVE CODE AND IS ACCURATELY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
9. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS DOCUMENT CONTAINS NO INFORMATION THAT IS LEGALLY BINDING.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1. SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A. MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
Boundary Survey

JOB No.
03 11017 005 00

DATE
6.14.2024

SCALE
1" = 40'

SHEET
S001

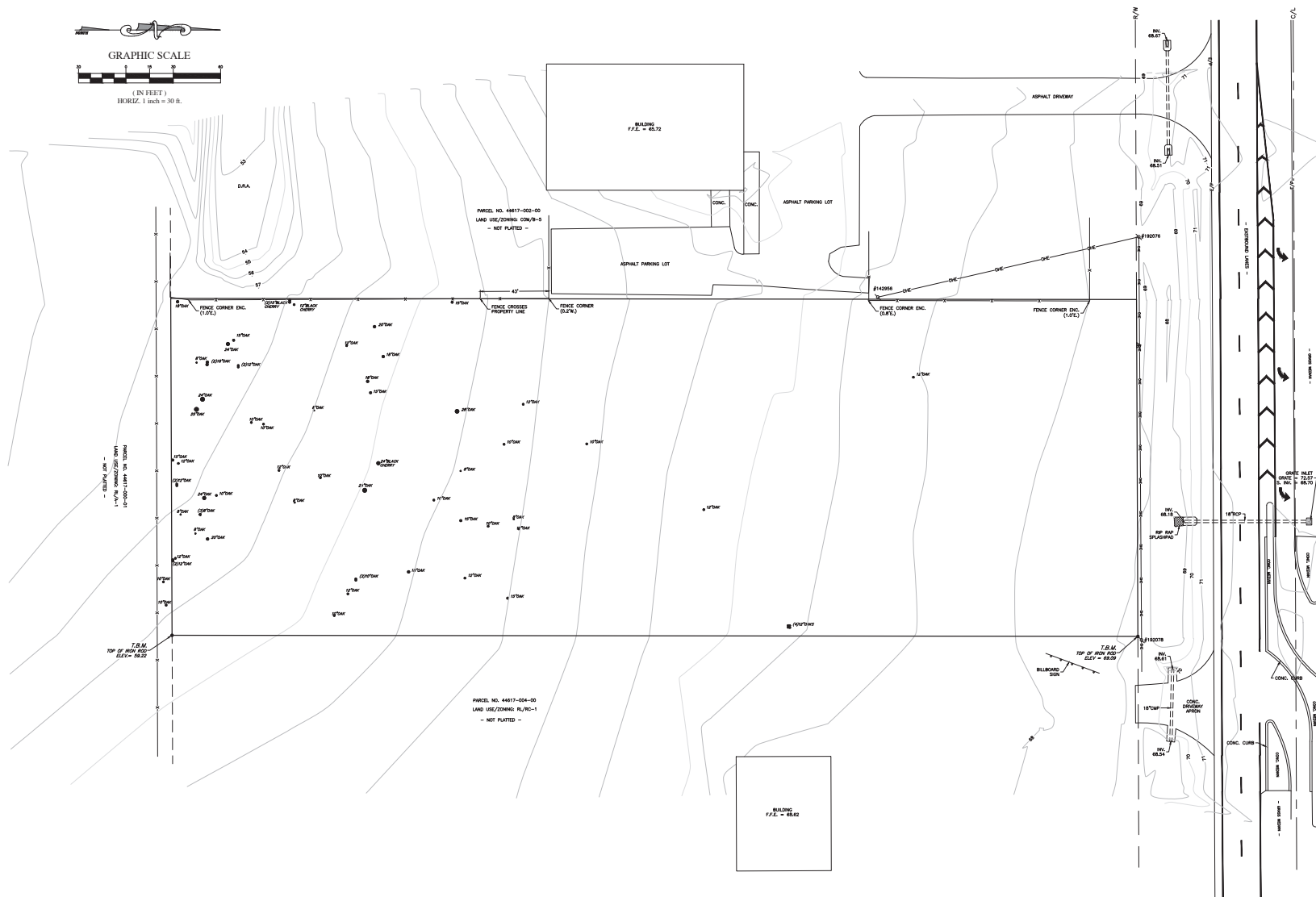
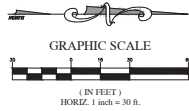
Robert L. Rogers, PE
Fl. Reg. No. 10027
rlrogers@rogerseng.com

Godfrey K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

Mekelle M. Boyer, PSM
Fl. Reg. No. 7398
kboyer@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

108 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #40074



SEE SHEET C002 FOR BOUNDARY
SURVEY MAP, NOTES AND LEGAL
DESCRIPTION

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A MARION COUNTY MAJOR SITE PLAN
FOR
CONLEY FAMILY HOLDINGS 484
Topographic Survey

JOB No.
23-44817-001-00

DATE
6-10-2023

SCALE
1" = 30'

SHEET
5002

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

ROBERT L. ROGERS, P.E.
Lic. No. 10022
rrogers@rogerseng.com
RODNEY K. ROGERS, P.S.M.
Lic. No. 5274
rrogers@rogerseng.com
MADISON M. BOYD, P.S.M.
Lic. No. 7556
mboyd@rogerseng.com

REVISION
DATE