

February 28, 2025

PROJECT NAME: FAMILY LIFE ASSEMBLY OF GOD SANCTUARY ADDITION

PROJECT NUMBER: 2024060054

APPLICATION: MAJOR SITE PLAN #31699

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: INFO

REMARKS: 9/10/24-add waivers if requested in future

3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: INFO

REMARKS: 1/28/25-Still need graphic drawing and written scale

9/10/24-missing graphic drawing and written scale

4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Septic abandonment permit needed for removal of septic system. Please apply for permit through the Department of Health in Marion County

6 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: INFO

REMARKS: 1. Walter's Viburnum must be 3' ht in 1 year.

7 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas

STATUS OF REVIEW: INFO

REMARKS: Parking Islands to be sodded

8 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)

STATUS OF REVIEW: INFO

REMARKS: [Original Comments] Make sure you contact the FWC to address the listed species on site. Relocation is preferred.

[02/03/2025] According to the Ecological Assessment report, additional actions are required due to the number of potentially occupied gopher tortoise burrows. Gopher tortoises are a listed species. Please follow the recommendations in the report and regulatory requirements. The Applicant shall coordinate with FWC to acquire relevant permits.



# Marion County Board of County Commissioners

## Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

AR31699

## DEVELOPMENT REVIEW PLAN APPLICATION

Date: 06/24/2024

### A. PROJECT INFORMATION:

Project Name: FAMILY LIFE ASSEMBLY OF GOD SANCTUARY ADDITION

Parcel Number(s): 35699-008-01

Section 22 Township 16 Range 21 Land Use LR Zoning Classification RE w/ SUP

Commercial  Residential  Industrial  Institutional  Mixed Use  Other \_\_\_\_\_

Type of Plan: MAJOR SITE PLAN

Property Acreage 9.73 Number of Lots Miles of Roads \_\_\_\_\_

Location of Property with Crossroads 4325 SW 95TH STREET

Additional information regarding this submittal: SANCTUARY ADDITION TO EXISTING CHURCH

### B. CONTACT INFORMATION (Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)

#### Engineer:

Firm Name: ROGERS ENGINEERING, LLC Contact Name: RODNEY ROGERS

Mailing Address: 1105 S.E. 3RD AVE City: OCALA State: FL Zip Code: 34471

Phone # 352-622-9214 Alternate Phone # \_\_\_\_\_

Email(s) for contact via ePlans: RKROGERS@ROGERSENG.COM

#### Surveyor:

Firm Name: ROGERS ENGINEERING, LLC Contact Name: RODNEY ROGERS

Mailing Address: 1105 S.E. 3RD AVENUE City: OCALA State: FL Zip Code: 34471

Phone # 352-622-9214 Alternate Phone # \_\_\_\_\_

Email(s) for contact via ePlans: MCLEMONS@ROGERSENG.COM

#### Property Owner:

Owner: FAMILY LIFE ASSEMBLY OF GOD Contact Name: DAVID HILL

Mailing Address: 3535 S.E. 19TH AVE City: OCALA State: FL Zip Code: 34471

Phone # 352-299-5235 Alternate Phone # \_\_\_\_\_

Email address: DAVID@OCALAFLC.COM

#### Developer:

Developer: SAME AS OWNER Contact Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

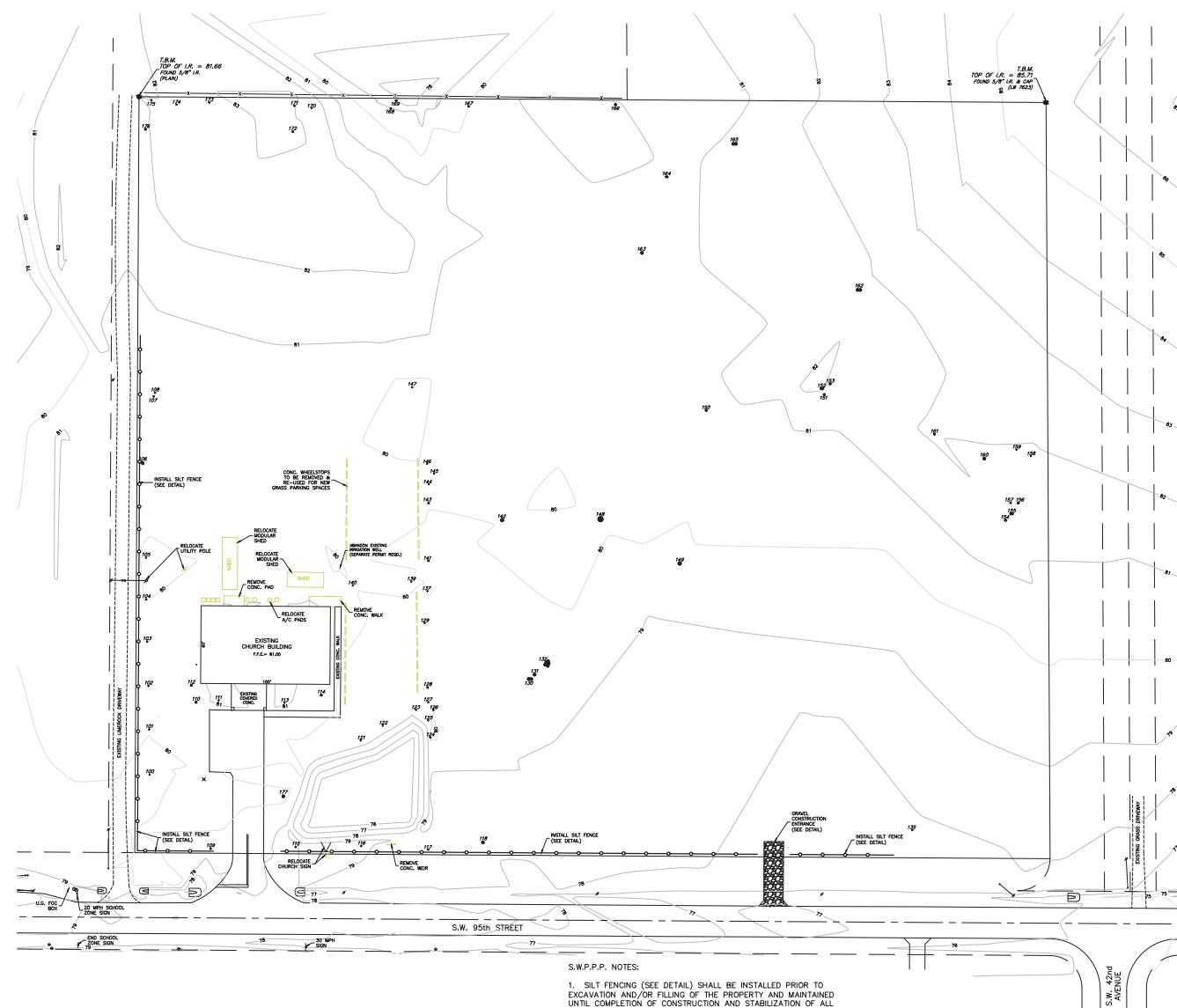
Phone # \_\_\_\_\_ Alternate Phone # \_\_\_\_\_

Email address: \_\_\_\_\_

**CLEAR FORM**

Revised 6/2021

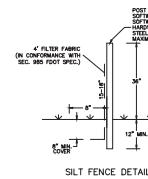
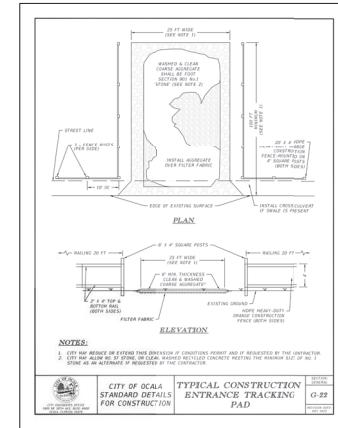
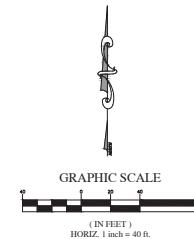




**S.W.B.R.B. NOTES:**

**S.W.P.F. NOTES:**

1. SILT FENCING (SEE DETAIL) SHALL BE INSTALLED PRIOR TO EXCAVATION AND FOR FILLING OF THE PROPERTY AND MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL DISTURBED AREAS.
2. A GRAVEL CONSTRUCTION ENTRANCE (SEE DETAIL) SHALL BE CONSTRUCTED AND MAINTAINED UNTIL COMPLETION OF ALL PAVING.
3. THE STORM WATER RETENTION AREA SHALL BE COMPLETELY SODDED IMMEDIATELY AFTER THE CONSTRUCTION IS COMPLETE.
4. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY FASHION.
5. ALL CONSTRUCTION VEHICLES SHALL ENTER THE PROJECT AREA VIA THE GRAVEL CONSTRUCTION ENTRANCE.

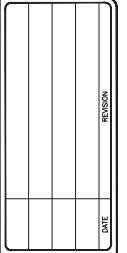


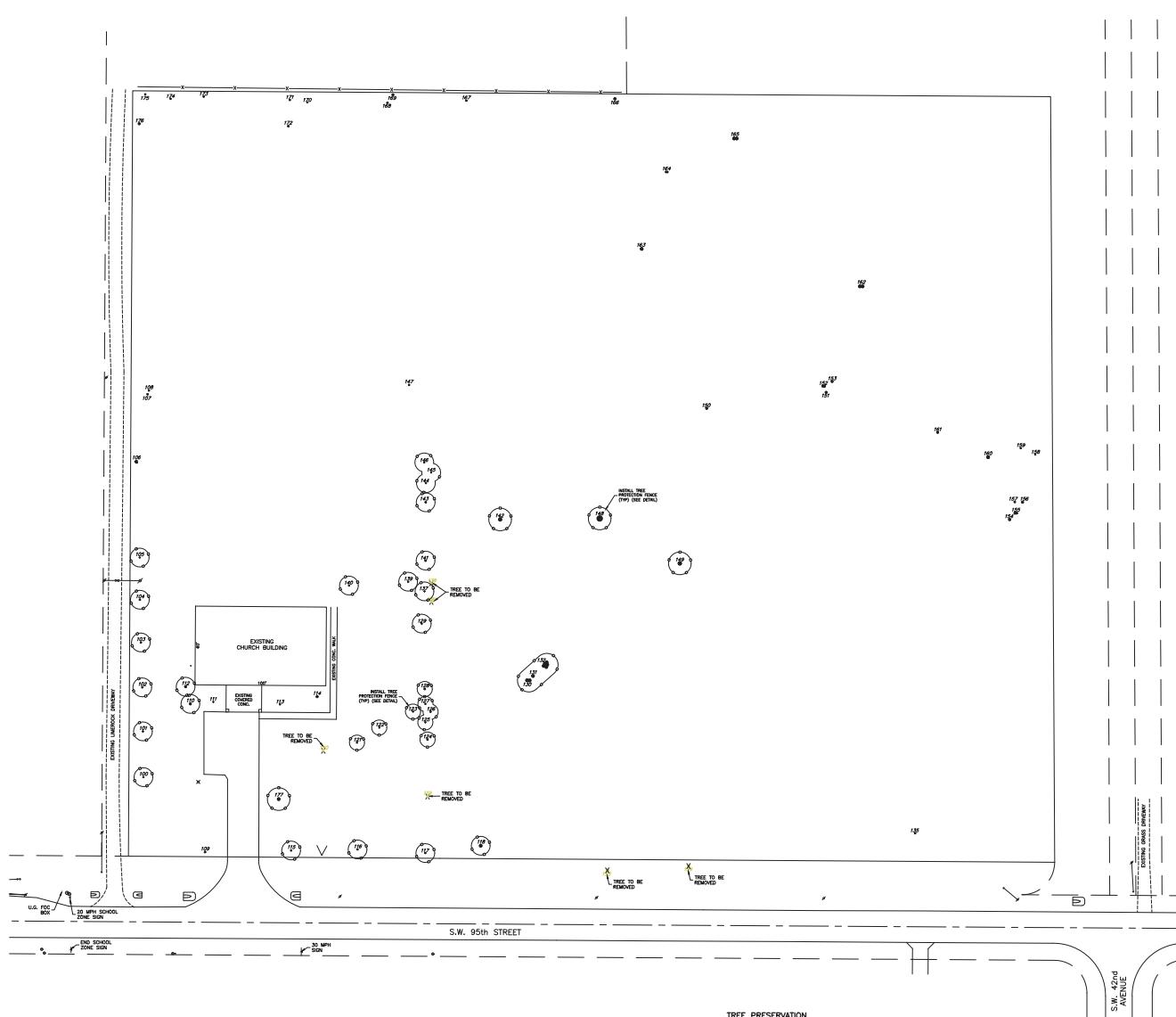
A MARION COUNTY MAJOR SITE PLAN  
FOR  
A FAMILY LIFE ASSEMBLY OF GOD  
NEW SANCTUARY  
S.M.F.P.A. & Demolition Plan



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BARRY E. GINN DATE  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 54595





TREE PRESERVATION

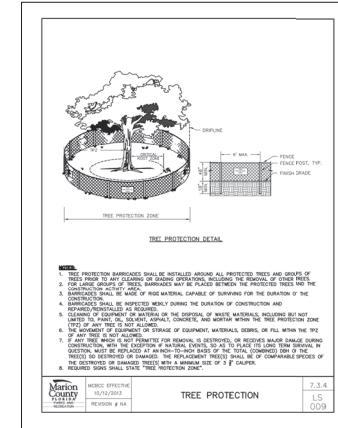
REQUIRED: 100 INCHES PER ACRE

9.48 ACRES = 948 INCHES

PROVIDED = 84 TREES TOTALING 1096 INCHES (NOT INCLUDING PALMS)

NOTE: THE TWO TREES AND THE ACREAGE THAT WILL BE WITHIN THE S.W. 95th STREET RIGHT-OF-WAY AFTER THE RIGHT-OF-WAY DEDICATION WERE NOT CONSIDERED

GRAPHIC SCALE  
(IN FEET)  
HORIZ. 1 inch = 40 ft.



Marion County  
TREES  
RECORDS  
REVISION # 1A  
HORIZ. EFFECTIVE  
10/12/2013  
REVISION # 1A  
TREE PROTECTION  
LS 009

TREE SCHEDULE

TREE NO	SIZE	TYPE	TREE NO	SIZE	TYPE	
100	8"	OAK	139	8"	MAGNOLIA	
101	7"	OAK	140	9"	MAGNOLIA	
102	8"	OAK	141	12"	OAK	
103	10"	OAK	142	28"	OAK	
104	10"	OAK	143	12"	OAK	
105	6"	OAK	144	6"	PINE	
(3)12"		OAKS	145	6"	PINE	
107	10"	OAK	146	6"	PINE	
108	8"	OAK	147	48"	OAK	
109	12"	OAK	148	48"	OAK	
110	15"	PALM	149	32"	OAK	
111	6"	MAPLE	150	15"	OAK	
112	9"	MAPLE	151	15"	OAK	
113	5"	MAPLE	152	(2)18"	OAKS	
114	15"	PALM	153	18"	OAK	
115	8"	OAK	154	18"	OAK	
116	10"	OAK	155	51/15"	OAKS	
117	8"	OAK	156	12"	OAK	
118	26"	OAK	157	12"	OAK	
(4)9	10"	OAKS	158	6"	PINE	
121	8"	SWEETGUM	159	9"	PINE	
122	8"	SWEETGUM	160	26"	OAK	
123	6"	MAGNOLIA	161	16"	OAK	
124	14"	OAK	162	(2)22"	OAKS	
125	6"	PINE	163	34"	OAK	
126	8"	PINE	164	(2)12"	OAKS	
127	6"	PINE	165	18"	PINE	
128	12"	OAK	166	10"	OAK	
129	6"	OAK	167	8"	OAK	
(2)22"		OAKS	168	14"	PINE	
131	24"	OAK	169	9"	OAK	
132	(2)4"	OAKS	170	10"	OAK	
N.O.P.	133	(2)4"	OAK	171	10"	OAK
N.O.P.	134	18"	OAK	172	10"	OAK
N.O.P.	135	10"	PINE	173	10"	OAK
N.O.P.	136	6"	PINE	174	10"	OAK
N.O.P.	137	6"	PINE	175	10"	OAK
N.O.P.	138	6"	PINE	176	15"	OAK
N.O.P.	139	6"	PINE	177	26"	OAK

N.O.P. = NOT ON PROPERTY AFTER RIGHT-OF-WAY DEDICATION

  
Infinite Engineering  
2nd flw 8th Street, Suite A  
Ocala, FL 34474  
www.infiniteeng.com  
GCR # AL014 # 2000

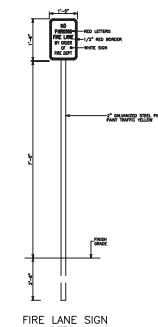
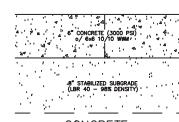
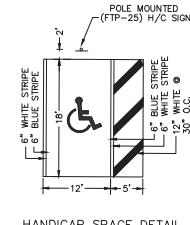
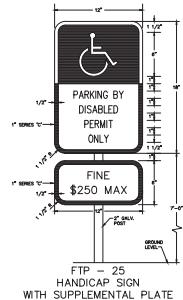
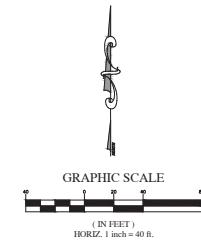
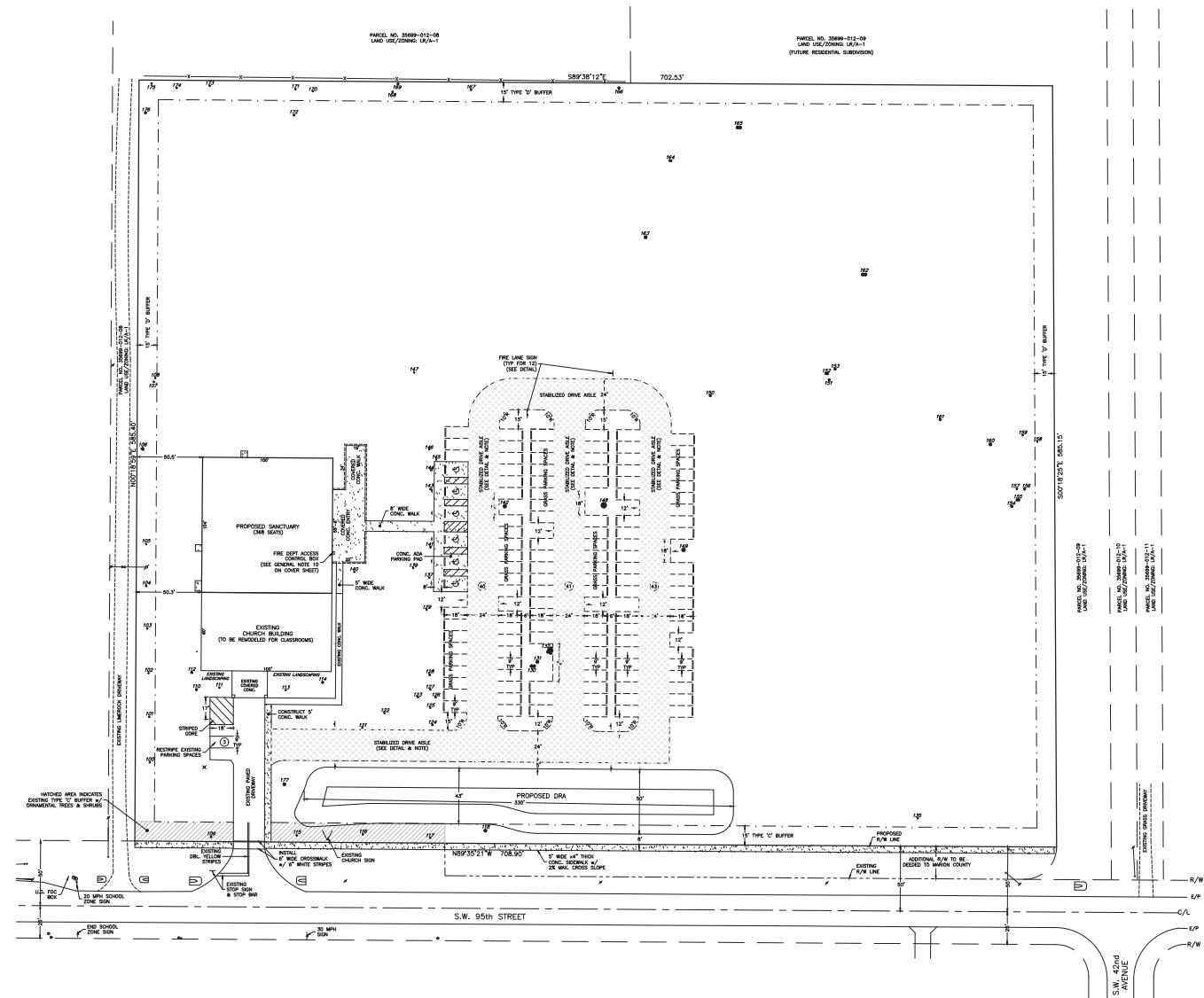
BARRY E. GINN  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 54595  
DATE  
11-12-2024  
SCALE  
1" = 40'  
SHEET  
C003

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9234 • Lic. Bus. #4074

A. MARION COUNTY MAJOR SITE PLAN  
FOR  
FAMILY LIFE ASSEMBLY OF GOD  
NEW SANCTUARY  
Tree Removal Plan

JOB No.  
24669-001-01  
DATE  
11-12-2024  
SCALE  
1" = 40'  
SHEET  
C003

Robert L. Rogers, PE roger@rogerengineering.com	FL Reg. No. 00027
Rodney C. Rogers, PSM roger@rogerengineering.com	FL Reg. No. 7250
Michelle M. Boyer, PSM mboyer@rogerengineering.com	FL Reg. No. 10000
REVISION	

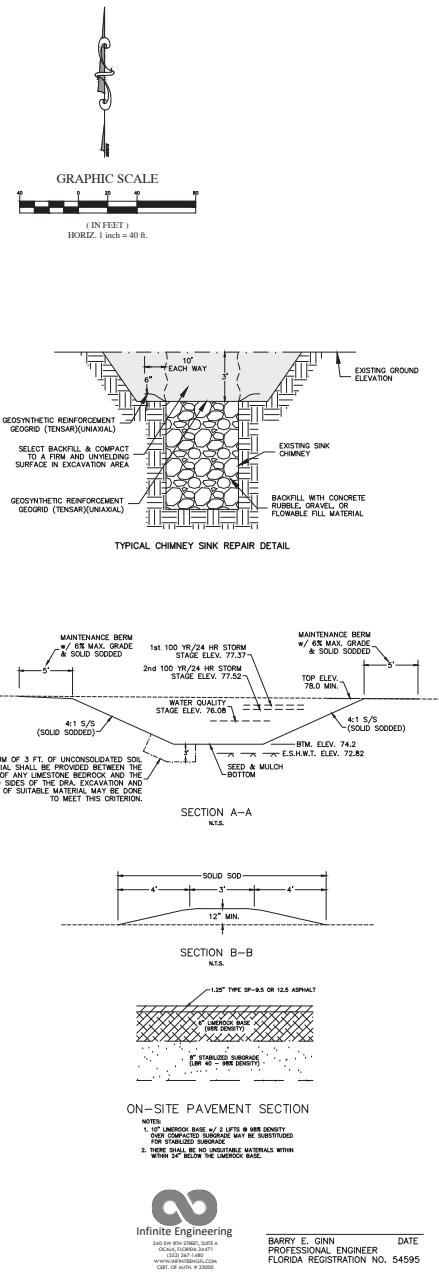
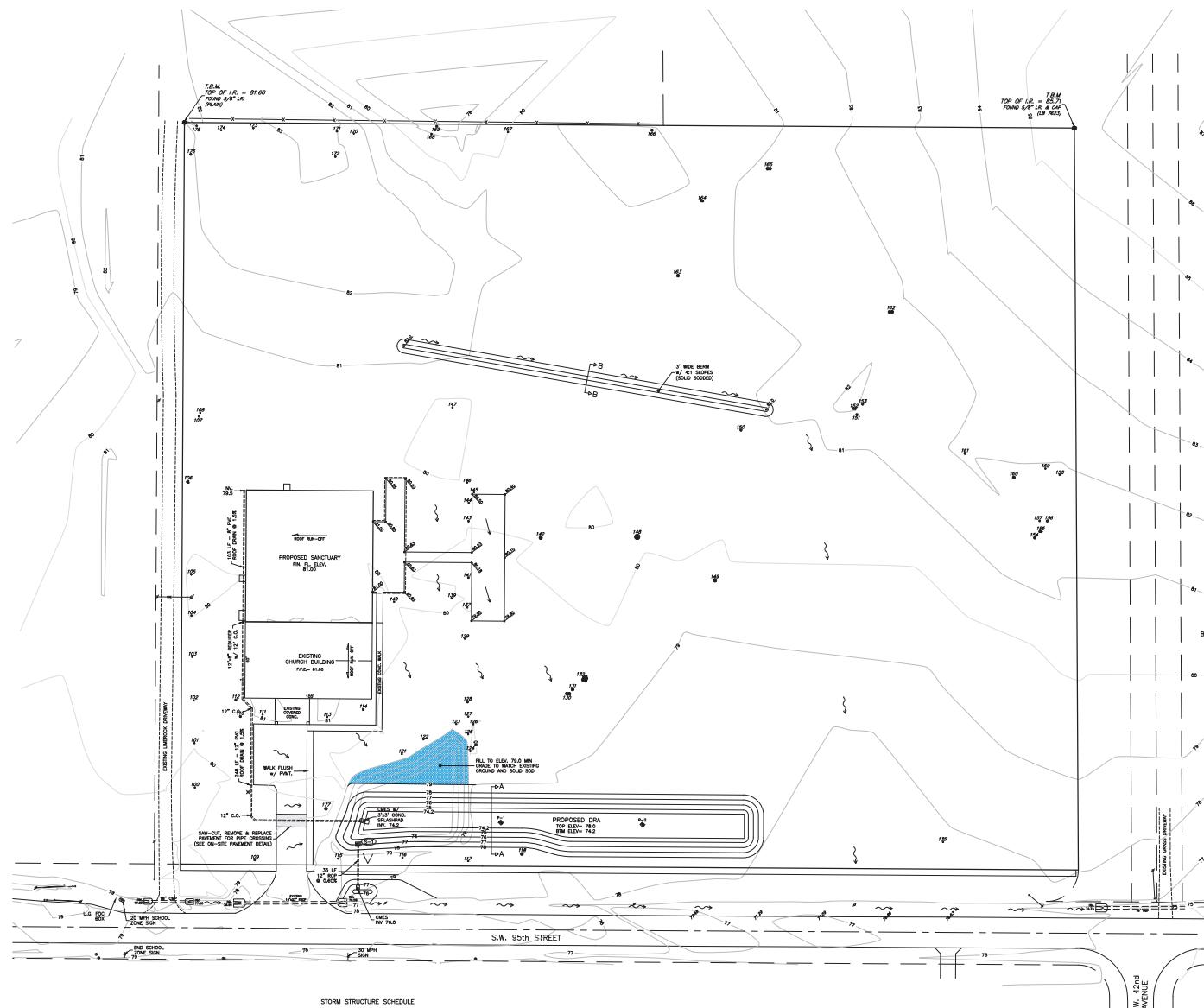


# ON COUNTY MAJOR SITE PLAN FOR LIFE ASSEMBLY OF GOD NEW SANCTUARY Site Plan

## **ROGERS ENGINEERING, LLC**

		DATE
		REVISION

BARRY E. GINN DATE  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 54595



A. MARION COUNTY MAJOR SITE PLAN  
FOR  
FAMILY LIFE ASSEMBLY OF GOD  
DAYCARE CENTER  
Gardening & Daycare Plan

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

JOB No.  
23669-001-01  
DATE  
11-1-2024  
SCALE  
1" = 40'  
SHEET  
C005

BARRY E. GINN  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 54595  
DATE  
11-1-2024  
SCALE  
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SHEET  
C005

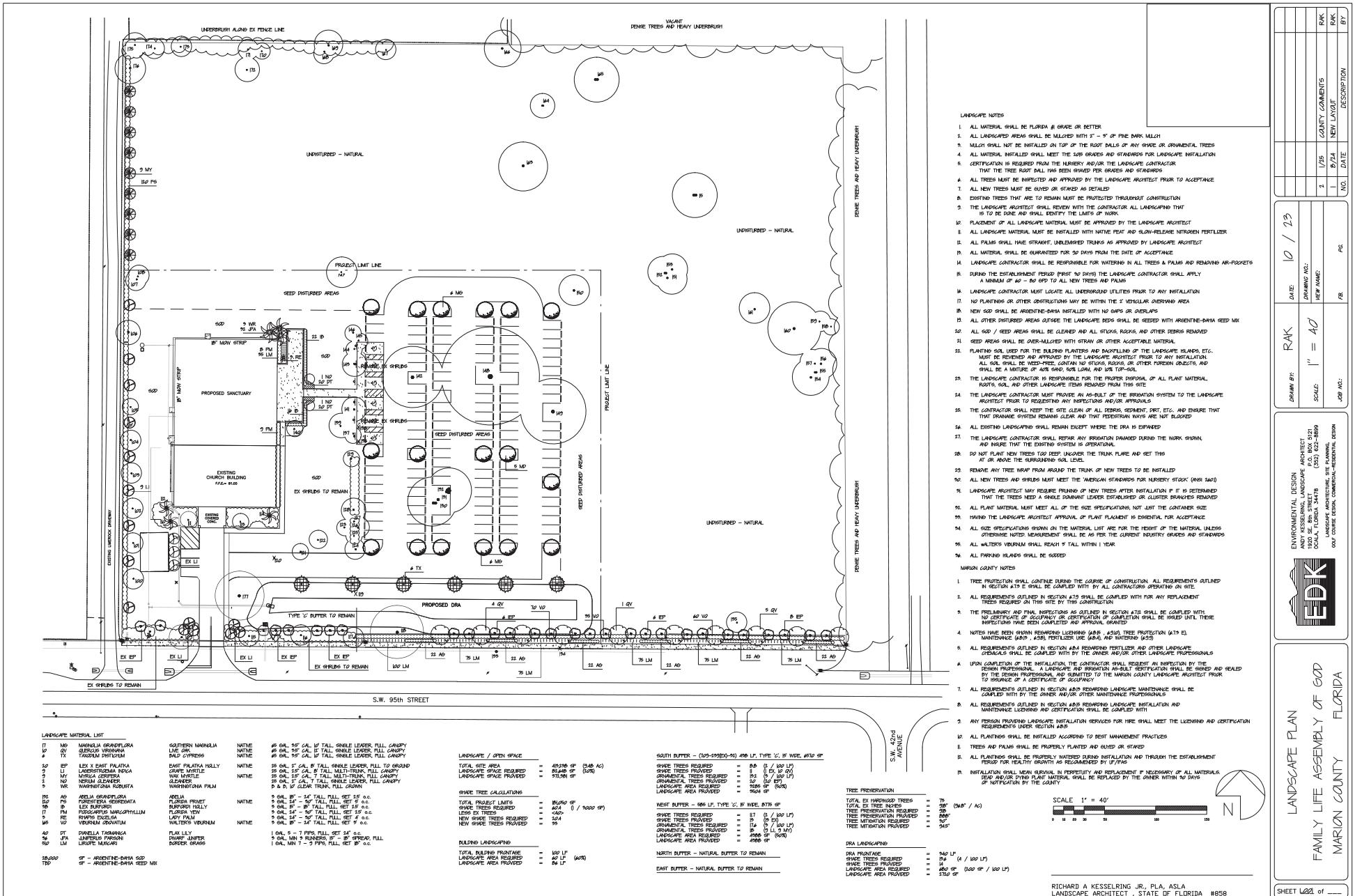
Robert L. Rogers, PE  
roger@rogereng.com  
Ronald C. Rogers, PSM  
ronroger@rogereng.com  
Melanie M. Boyer, PSM  
mboyer@rogereng.com  
REC'D. NO. 7250  
REVISION

DATE  
REVISION

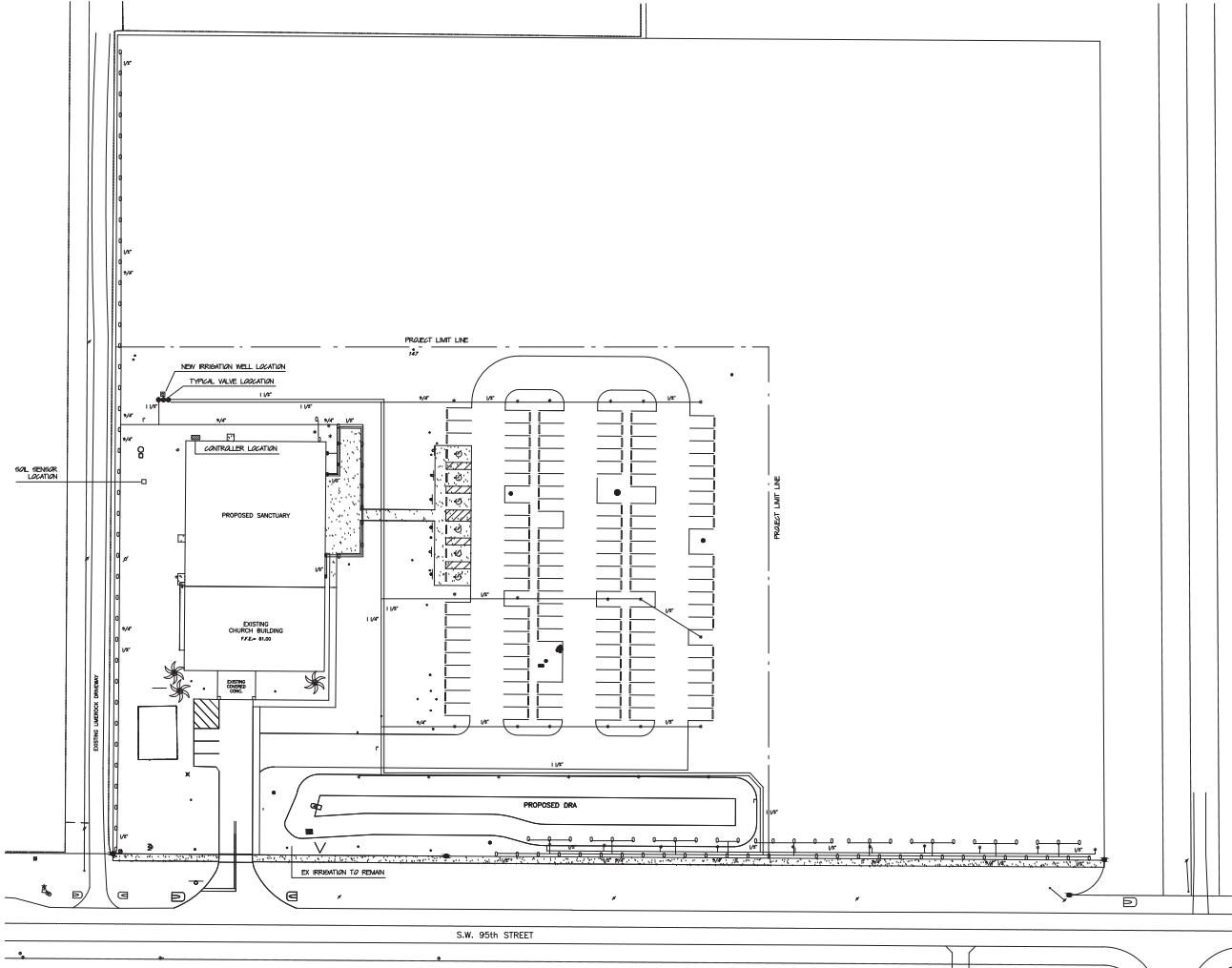








LANDSCAPE PLAN  
FAMILY LIFE ASSEMBLY OF GOD  
MARION COUNTY FLORIDA



#### IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS AGREEMENT BY APPROVAL BY THE LANDSCAPE ARCHITECT.
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
3. HEADS SHALL BE 1/2, 1/3, OR 1/4 CIRCLE EACH AS LOGIC REQUIREMENTS.
4. SPRINKLER PATTERNS SHALL BE SET TO MINIMIZE SPRAY INTO ADJACENT WALKS, DRIVES, AND BUILDINGS.
5. WATER SOURCE FOR THE IRRIGATION SYSTEM SHALL BE A NEW AT 100' W.H. / 10' HEAD.
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PROPOSED SITE AND LAYOUT, AND MAKE RECOMMENDATIONS TO THE LANDSCAPE ARCHITECT. THESE RECOMMENDATIONS ARE SUBJECT TO APPROVAL BY THE SYSTEM AS DESIGNED.
7. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
8. THE OWNER WILL PROVIDE ELECTRICAL SERVICE TO THE WELL SITE.
9. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCATEABLE AREA.
10. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA.
11. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTED BOXES.
12. ALL IRRIGATION MUST BE INSTALLED PRIOR TO THE UMBROUSING OF THE PAVED AREAS.
13. ALL IRRIGATION HEADS SHALL BE 10' PVC, AND SHALL HAVE A MINIMUM OF 10' DEEP.
14. ALL IRRIGATION HEADS SHALL BE 10' PVC, AND A MINIMUM OF 10' DEEP.
15. RAINBIRD SPRINKLER HEADS SHALL BE INSTALLED AS SHOWN ON THE IRRIGATION PLANS, SUPPORTED RAMPAIL (RSP SERIES). IN ADDITION, AN ACQUILA TST SENSOR WITH SIX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS.
16. THE IRRIGATION SYSTEM DESIGN SHALL BE REVISED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.
17. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND PRECISED BY THE LANDSCAPE ARCHITECT.
18. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FROM FINAL ACCEPTANCE.
19. THE CONTRACTOR SHALL PRESENT AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.
20. CONTRACTOR SHALL INSURE THAT THERE IS A BACKFLOW PREVENTION DEVICE INSTALLED AT THE WELL.
21. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION Piping IS INSTALLED UNDER PAVED AREAS.
22. ZONES ARE DESIGNED TO FUNCTION AT 80 GPM AND 40 PSI AT THE WATER LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING AT ALL HEADS TO MAINTAIN PROPER PRESSURE AND WATER VOLUME FOR THE SYSTEM CONTRACTOR.
23. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS.
24. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO MAINTAIN COVERAGE AND SPREADING AS APPROVED BY THE LANDSCAPE ARCHITECT.
25. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED.
26. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION.
27. SET RUN TIME FOR THE SYSTEM PER RECOMMENDATIONS BY EPA'S *EFMS/ASURG/1020* ON HEAD LOCATIONS AND THE VALVE SETTING. NO HEADS, WHICH CHECK VALVES ARE INSTALLED AT THE HEAD LOCATIONS, WILL BE ADJUSTED UNLESS THE LANDSCAPE ARCHITECT IS EXPRESSED.
28. FOLLOW-UP INSPECTIONS WITHIN 90 DAYS SHALL BE AT THE LANDSCAPE ARCHITECT'S REQUEST.
29. ALL VALVE HEADS SHALL HAVE A FACTORY-INSTALLED TUTOR BENTRY AND VERIFIED BY CONTRACTOR.
30. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
31. ALL IRRIGATION INSTALLATION SHALL MEET GRADE STANDARDS.
32. NO IRIGATION HEADS SHALL BE INSTALLED ON ROADS UNLESS SPECIFICALLY NOTED AND DETAILED IN THE CONTRACTOR'S SPECIFICATIONS.
33. ALL AS-BUILT SPECIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
34. PUPPLES AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS.

MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT PLANS AND OPERATING INFORMATION, A FINAL INSPECTION AND LICENSE / INSPECTION RELEASE FORM (IRF) WILL BE ISSUED BY THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM AND THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 403.1941 OF THE FLORIDA STATUTES MUST BE MET.
2. ALL REQUIREMENTS IN SECTION 403.1942 REGARDING IRRIGATION SYSTEMS, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM'S IRRIGATION SYSTEMS RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM.
3. ALL REQUIREMENTS OUTLINED IN SECTION 403.1943 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH.
4. ALL REQUIREMENTS OUTLINED IN SECTION 403.1944 REGARDING THE IRRIGATION SYSTEMS LICENSURE AND APPLICATION OF THE IRIGATION SYSTEMS LICENSURE SHALL BE COMPLIED WITH.
5. NOTES HAVE BEEN MADE RECOMMENDING CLOSE-OUT REPORTS (AS-BUILD WATERING INSTALLATION (425)

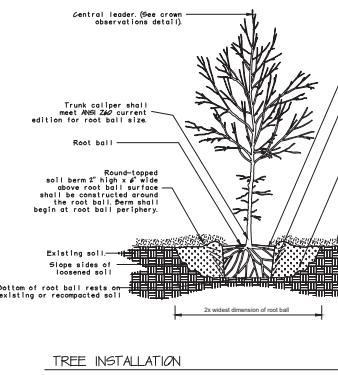
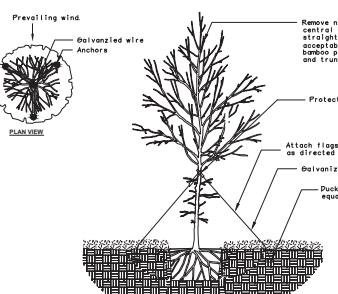
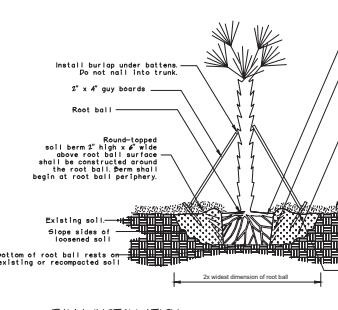
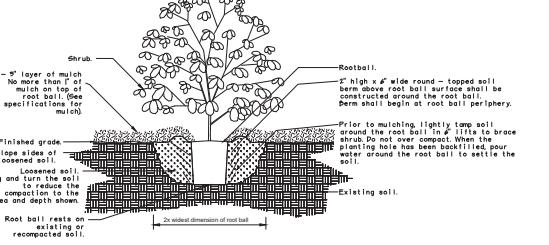
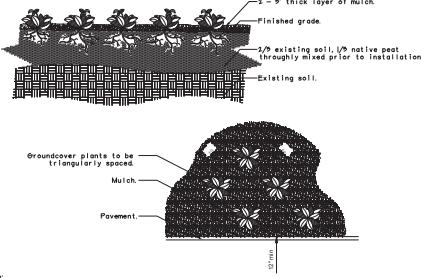
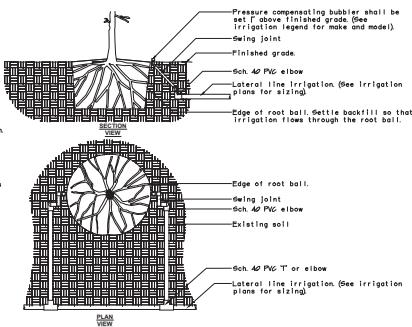
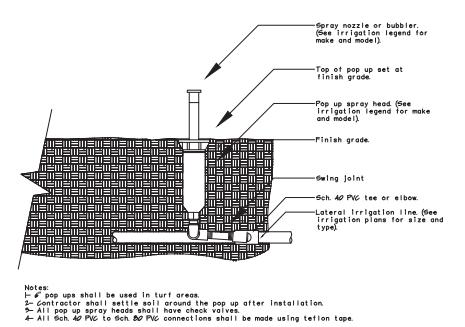


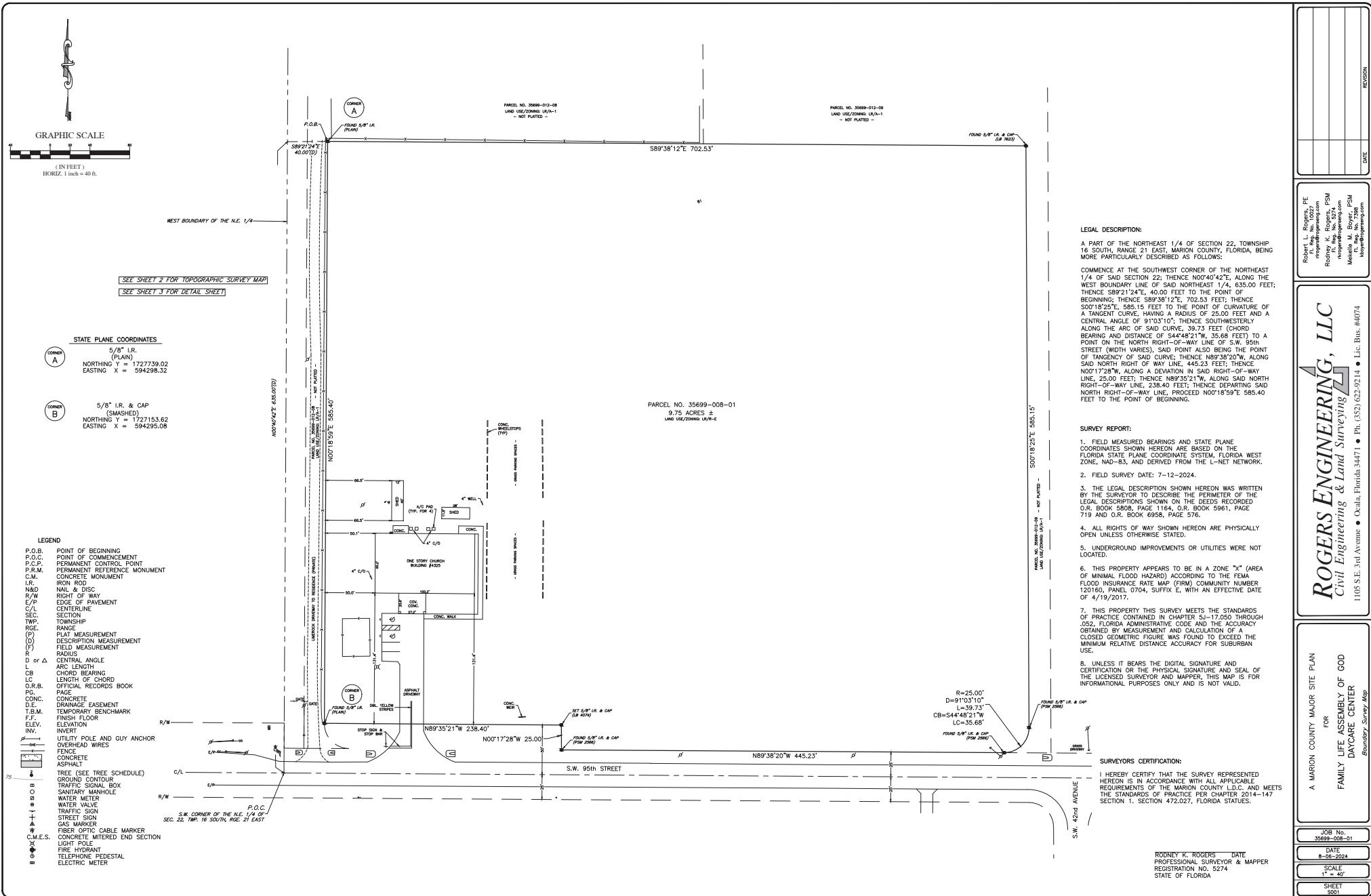
0 10 20 30 50 100

RICHARD A KESSELRING JR., PLA, ASLA  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

IRRIGATION PLAN  
FAMILY LIFE ASSEMBLY  
MARION COUNTY FL

SHEET 101 of \_\_\_\_

DRAWN BY:	RAK	DATE:	10 / 23
SCALE:	1" = 40'	DRAWING NO.:	102
OBJ NO.:	PL	REV. NO.:	1
ENVIRONMENTAL DESIGN ANDY KESSELRING, LANDSCAPE ARCHITECT 1000 N. MILLS AVE., SUITE 100 ORLANDO, FL 32830 PHONE: 407.248.8890 FAX: 407.248.8898 LANDSCAPE DESIGNER: ANDREW KESSELRING CODE: COMMERCIAL - RESIDENTIAL DESIGN			
			
<b>LANDSCAPE &amp; IRRIGATION DETAILS</b> <b>FAMILY LIFE ASSEMBLY OF GOD</b> <b>MARION COUNTY FLORIDA</b>			
<b>Sheet 102 of 102</b>			
 <p><b>TREE INSTALLATION</b></p> <p>Central leader (See crown observations detail).  Trunk caliper shall meet ANSI 240 current edition for root ball size.  Root ball.  Soil berm 2' high x 4' wide above root ball. A 2' wide round - topped soil berm 2' high x 4' wide above root ball shall be constructed around the root ball. The berm shall begin at root ball periphery.  Existing soil.  Slope sides of loosened soil.  Bottom of root ball rests on existing or recompacted soil.  2x widest dimension of root ball.</p> <p>Top of root ball shall be flush with finished grade.  Prior to mulching, lightly tamp soil around the root ball in a little to brace tree. Do not over compact. When the planting hole has been backfilled, pour water around the root ball to settle the soil.  Loosened soil. Dig and turn the soil to reduce compaction to the area and depth shown.  2' - 3' layer of mulch. No more than 1' of mulch on top of root ball.  Note:  i- Trees shall be of quality prescribed in crown observations detail, root observations detail and specifications.</p>		 <p><b>TREE STAKING - TREES &lt; 2" CALIPER</b></p> <p>Prevailing wind.  Galvanized wire.  Anchors.  Protective tree collars.  Attach flags or survey tape as directed by Landscape Architect.  Galvanized wire.  Duck-bill anchors or approved equal, set in undisturbed soil.</p>	
 <p><b>PALM INSTALLATION</b></p> <p>Install burlap under batters. Do not nail into trunk.  2' x 4' guy boards.  Root ball.  Round-topped soil berm 2' high x 4' wide above root ball. A 2' wide round - topped soil berm 2' high x 4' wide above root ball shall be constructed around the root ball. The berm shall begin at root ball periphery.  Existing soil.  Slope sides of loosened soil.  Bottom of root ball rests on existing or recompacted soil.  2x widest dimension of root ball.</p> <p>Top of root ball shall be flush with finished grade.  Prior to mulching, lightly tamp soil around the root ball in a little to brace tree. Do not over compact. When the planting hole has been backfilled, pour water around the root ball to settle the soil.  Loosened soil. Dig and turn the soil to reduce compaction to the area and depth shown.  2' - 3' layer of mulch. No more than 1' of mulch on top of root ball.  Note:  i- Trees shall be of quality prescribed in crown observations detail, root observations detail and specifications.</p>		 <p><b>SHRUB INSTALLATION</b></p> <p>Shrub.  Rootball.  2' high x 4' wide round - topped soil berm 2' high x 4' wide above root ball. A 2' wide round - topped soil berm 2' high x 4' wide above root ball shall be constructed around the root ball. The berm shall begin at root ball periphery.  Existing soil.  Root ball rests on existing or recompacted soil.  2x widest dimension of root ball.</p> <p>Prior to mulching, lightly tamp soil around the root ball in a little to brace shrub. Do not over compact. When the shrub has been backfilled, pour water around the root ball to settle the soil.  Loosened soil.  Dig and turn the soil to reduce compaction to the area and depth shown.  2' - 3' layer of mulch. No more than 1' of mulch on top of root ball.  Note:  i- Trees shall be of quality prescribed in crown observations detail, root observations detail and specifications.</p>	
 <p><b>GROUNDCOVER INSTALLATION</b></p> <p>1 - 9" thick layer of mulch.  Finished grade.  2/3 existing soil, 1/3 native peat thoroughly mixed prior to installation.  Existing soil.  Groundcover plants to be triangularly spaced.  Mulch.  Pavement.</p> <p>Notes:  i- See planting legend for groundcover species, size, and spacing dimension.</p>		 <p><b>TREE BUBBLER LAYOUT</b></p> <p>Notes:  1- All irrigation fittings shall be 6ch. 40 PVC.  2- All threaded connections from 6ch. 40 to 6ch. 8ch. shall be made using teflon tape.  3- Contractor shall settle the irrigation lines through the root ball so that all irrigation flows through the root ball.</p> <p>Pressure compensating bubbler shall be set 6" above finished grade (See irrigation legend for make and model).  Swing joint.  Finished grade.  6ch. 40 PVC elbow.  Lateral line irrigation (See irrigation fittings for sizing).  Edge of root ball. Settle back!!! so that irrigation flows through the root ball.</p> <p>Edge of root ball.  swing joint  6ch. 40 PVC elbow  Existing soil</p> <p>6ch. 40 PVC T or elbow  Lateral line irrigation fittings for sizing</p> <p>PLAN VIEW</p>	
 <p><b>POP UP-SPRAY HEAD</b></p> <p>Spray nozzle or bubbler (See irrigation legend for make and model).  Top of pop up set at finished grade.  Pop up spray head (See irrigation legend for make and model).  Final grade.  swing joint.  6ch. 40 PVC tee or elbow.  Lateral irrigation line (See irrigation fittings for size and type).</p> <p>Notes:  1- 6" pop up shall be used in turf areas.  2- Contractor shall settle the irrigation lines through the pop up after installation.  3- All pop up spray heads shall have check valves.  4- All 6ch. 40 PVC to 6ch. 8ch. connections shall be made using teflon tape.</p>		<p>RICHARD A KESSELRING JR., PLA, ASLA LANDSCAPE ARCHITECT, STATE OF FLORIDA #858</p>	



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**COUNTY MAJOR SITE PLAN  
FOR  
LIFE ASSEMBLY OF GOD  
DAYCARE CENTER**

A MARION  
FAMILY LI  
D

JOB No.  
35699-008-01  
DATE  
8-06-2024  
SCALE  
1" = 40'

