

February 28, 2025

PROJECT NAME: FAMILY LIFE ASSEMBLY OF GOD SANCTUARY ADDITION

PROJECT NUMBER: 2024060054

APPLICATION: MAJOR SITE PLAN #31699

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 9/10/24-add waivers if requested in future
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale  
STATUS OF REVIEW: INFO  
REMARKS: 1/28/25-Still need graphic drawing and written scale  
9/10/24-missing graphic drawing and written scale
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Septic abandonment permit needed for removal of septic system. Please apply for permit through the Department of Health in Marion County
- 6 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.6 - Buffers  
STATUS OF REVIEW: INFO  
REMARKS: 1. Walter's Viburnum must be 3' ht in 1 year.
- 7 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas  
STATUS OF REVIEW: INFO  
REMARKS: Parking Islands to be sodded

8 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)

STATUS OF REVIEW: INFO

REMARKS: [Original Comments] Make sure you contact the FWC to address the listed species on site. Relocation is preferred.

[02/03/2025] According to the Ecological Assessment report, additional actions are required due to the number of potentially occupied gopher tortoise burrows. Gopher tortoises are a listed species. Please follow the recommendations in the report and regulatory requirements. The Applicant shall coordinate with FWC to acquire relevant permits.



# Marion County Board of County Commissioners

AR31699

## Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

## DEVELOPMENT REVIEW PLAN APPLICATION

Date: 06/24/2024

### A. PROJECT INFORMATION:

Project Name: FAMILY LIFE ASSEMBLY OF GOD SANCTUARY ADDITION  
Parcel Number(s): 35699-008-01  
Section 22 Township 16 Range 21 Land Use LR Zoning Classification RE w/ SUP  
Commercial ☐ Residential ☐ Industrial ☐ Institutional ☒ Mixed Use ☐ Other \_\_\_\_\_  
Type of Plan: MAJOR SITE PLAN  
Property Acreage 9.73 Number of Lots \_\_\_\_\_ Miles of Roads \_\_\_\_\_  
Location of Property with Crossroads 4325 SW 95TH STEET  
Additional information regarding this submittal: SANCTUARY ADDITION TO EXISTING CHURCH

### B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

☒ **Engineer:**  
Firm Name: ROGERS ENGINEERING, LLC Contact Name: RODNEY ROGERS  
Mailing Address: 1105 S.E. 3RD AVE City: OCALA State: FL Zip Code: 34471  
Phone # 352-622-9214 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: RKROGERS@ROGERSENG.COM

☒ **Surveyor:**  
Firm Name: ROGERS ENGINEERING, LLC Contact Name: RODNEY ROGERS  
Mailing Address: 1105 S.E. 3RD AVENUE City: OCALA State: FL Zip Code: 34471  
Phone # 352-622-9214 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: MCLEMONS@ROGERSENG.COM

**Property Owner:**  
Owner: FAMILY LIFE ASSEMBLY OF GOD Contact Name: DAVID HILL  
Mailing Address: 3535 S.E. 19TH AVE City: OCALA State: FL Zip Code: 34471  
Phone # 352-299-5235 Alternate Phone # \_\_\_\_\_  
Email address: DAVID@OCALAFLC.COM

**Developer:**  
Developer: SAME AS OWNER Contact Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone # \_\_\_\_\_ Alternate Phone # \_\_\_\_\_  
Email address: \_\_\_\_\_

Revised 6/2021

CLEAR FORM

Empowering Marion for Success

marionfl.org

A MAJOR SITE PLAN  
FOR  
FAMILY LIFE ASSEMBLY OF GOD - NEW SANCTUARY  
S.W. 95th STREET MARION COUNTY, FL

DATE	REVISION
03-12-25	PER MARION COUNTY STAFF COMMENTS
11-27-24	PER MARION COUNTY STAFF COMMENTS

ROBERT L. ROGERS, P.E. P.L.L.C. rogers@rogerseng.com 3535 SE 19th Ave. Ocala, FL 34471	KEITH M. ROYER, P.S.M. keith@rogerseng.com 1105 S.E. 3rd Avenue Ocala, Florida 34471
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**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. No. 44074

A MARION COUNTY MAJOR SITE PLAN  
FOR  
FAMILY LIFE ASSEMBLY OF GOD  
NEW SANCTUARY  
This Sheet

JOB No.	35699-008-01
DATE	8-06-2024
SCALE	N.T.S.
SHEET	0001

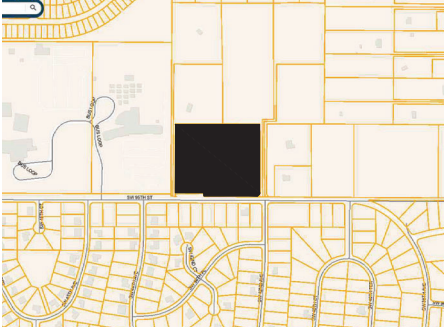
**TRAFFIC STATEMENT:**  
**PROPOSED USE** = CHURCH  
LUC-560 ITE TRIP GENERATION MANUAL 11th EDITION  
FLOOR AREA = 10,400 S.F.  
WEEKDAY PEAK HOUR  
RATE= 0.49 x (10,400/1000) = 5.1 TRIPS  
44% ENTER/56% EXIT = 2.2/2.9  
SUNDAY PEAK HOUR  
10.36 VTPH x (10,400/1000) = 107.7 VTPH  
48% ENTER/52% EXIT = 51.7/56.0  
NOTE: SUNDAY PEAK HOUR IS THE LOWEST TRAFFIC VOLUME OF THE ADJOINING ROADWAY

**PARKING CALCULATIONS**  
REQUIRED:  
1 SPACE/3 SEATS IN SANCTUARY  
368 SEATS= 123 SPACES  
PROVIDED= 127 SPACES  
H/C PARKING REQUIRED:  
101-150 SPACES= 5 SPACES  
H/C SPACES PROVIDED= 6 SPACES  
PAVED SURFACE SPACES REQUIRED:  
ALL H/C SPACES + DAILY ADMIN. PERSONNEL  
6 H/C + 3 DAILY ADMIN= 9 SPACES  
PAVED SURFACE SPACES PROVIDED= 9 SPACES

**OPEN SPACE CALCULATIONS:**  
PARCEL AREA: 413,238 S.F. (9.48 Ac) AFTER R.O.W. DEDICATION  
IMPERVIOUS AREA 25,518 S.F.  
DRA 15,339 S.F.  
TOTAL NON-OPEN SPACE AREAS = 40,857 S.F. (9.89%)  
OPEN SPACE AREA = 372,381 S.F. (90.11%)

**INTERIOR OPEN SPACE CALCULATIONS:**  
VEHICLE USE AREA (VUA)= DRIVEWAY, DRIVE AISLES & PARKING SPACES  
VUA = 53,584 S.F.  
INTERIOR OPEN SPACE = 6,795 S.F. (12.7%)

**LEGEND & ABBREVIATIONS**  
R/W RIGHT OF WAY  
E/P EDGE OF PAVEMENT  
C/L CENTERLINE  
R' RADIUS  
CONC. CONCRETE  
SEC. SECTION  
TWP. TOWNSHIP  
RGE. RANGE  
T.B.M. TEMPORARY BENCHMARK  
F.F. FINISH FLOOR  
ELEV. ELEVATION  
INV. INVERT  
S-1 STORM STRUCTURE  
CMP CORRUGATED METAL PIPE  
RCP REINFORCED CONCRETE PIPE  
C.O. CLEAN-OUT  
PVC POLYVINYL CHLORIDE  
EXISTING DRAINAGE FLOW DIRECTION  
DESIGN DRAINAGE FLOW DIRECTION  
UTILITY POLE AND GUY ANCHOR  
OVERHEAD WIRES  
FENCE  
TREE (SEE TREE SCHEDULE)  
GROUND CONTOUR



SECTION 22, TOWNSHIP 16 S., RANGE 21 E.  
LOCATION MAP

SHEET INDEX	
SHEET NO.	CONTENTS
C001	TITLE SHEET
C002	S.W.F.P.P.
C003	TREE REMOVAL PLAN
C004	SITE PLAN
C005	GRADING & DRAINAGE PLAN
C006	UTILITY PLAN
C007	UTILITY DETAILS
C008	LIFT STATION DETAIL
L001	LANDSCAPE PLAN
L002	IRRIGATION PLAN
L003	LANDSCAPE & IRRIGATION DETAILS
S001	BOUNDARY SURVEY
S002	TOPOGRAPHIC SURVEY

**L.D.G. WAIVERS APPROVED ON 11-18-2024:**  
6.13.8.B(7) - MINIMUM PIPE SIZE  
ALLOW 15" PIPE PURSUANT TO HYDRAULIC CALCULATIONS PROVIDED IN DRAINAGE REPORT

6.8.7 - PARKING AREAS AND VEHICULAR USE AREAS  
WAIVER FOR PROVIDING INTERIOR ISLAND LANDSCAPING AND PERMETER PARKING LOT BUFFER DUE TO GRASS PARKING LOT IS ONLY USED ONE HOUR ON SUNDAYS

**CONCURRENCY NOTE:**  
THIS PROPOSED PLAN HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND A FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO BUILDING PERMIT REVIEW.

- GENERAL NOTES:**
- ALL AREAS WITHIN THE COUNTY ROAD RIGHT-OF-WAY THAT WERE DISTURBED BY CONSTRUCTION SHALL BE SOODED WITH ARGENTINA BAHIA.
  - ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
  - THE STOP SIGNS MUST BE INSTALLED ON 2'x2" SQUARE POSTS, 14 FT. IN LENGTH, 14 GAUGE, 4lbs/FT. ALL SIGNS MUST MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS.
  - THE STOP BARS SHALL BE WHITE 24" WIDE LEAD FREE THERMOPLASTIC.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ANY UNDERGROUND UTILITIES WITHIN THE WORK AREA PRIOR TO CONSTRUCTION.
  - LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
  - THERE SHALL BE NO SITE LIGHTING OTHER THAN SECURITY LIGHTS MOUNTED TO THE BUILDING AND THEY SHALL BE DIRECTED TO PREVENT GLARE ON TO THE ADJOINING PROPERTIES AND ROADWAY.
  - NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
  - THE PAVEMENT, DRA AND DRAINAGE FACILITIES ARE PRIVATELY OWNED AND MAINTAINED BY THE DEVELOPER.
  - THE FIRE DEPT ACCESS CONTROL BOX, SHOWN AND REFERENCED ON SHEET C004, MUST BE ORDERED ON A SPECIFIC FORM SIGNED BY M.C.F.R. TO INSURE THE CORRECT BOX IS ORDERED FOR THIS JURISDICTION. PLEASE CONTACT THE M.C.F.R. OFFICE AT (352) 291-8000 TO OBTAIN THE FORM.

**SITE DATA:**  
PROJECT NAME: FAMILY LIFE ASSEMBLY OF GOD - NEW SANCTUARY  
OWNER: FAMILY LIFE ASSEMBLY OF GOD, INC.  
3535 SE 19th Ave.  
OCALA, FL 34471  
CONTACT: JONATHAN DAVID HILL, EXECUTIVE PASTOR  
PHONE: (352) 299-5235  
PARCEL NO.: 35699-008-01  
PARCEL AREA:  
EXISTING= 9.75 ACRES  
AFTER PROPOSED R.O.W. DEDICATION= 9.48 ACRES  
LAND USE/ZONING: LR/RE  
PROPOSED USE: NEW SANCTUARY FOR CHURCH SERVICES  
BUILDING SIZES: EXISTING BUILDING= 6,000 S.F.  
PROPOSED SANCTUARY= 10,400 S.F.  
TOTAL= 16,400 S.F.  
FLOOR AREA RATIO: 0.039  
PROPERTY LIES TOTALLY WITHIN FLOOD ZONE X AND IS NOT WITHIN A PRIMARY SPRINGS PROTECTION ZONE

**MARION COUNTY OWNER'S CERTIFICATE:**  
I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY ADD THE IMPROVEMENTS SHOWN ON THIS PLAN, OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS, IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

JONATHAN DAVID HILL  
EXECUTIVE PASTOR

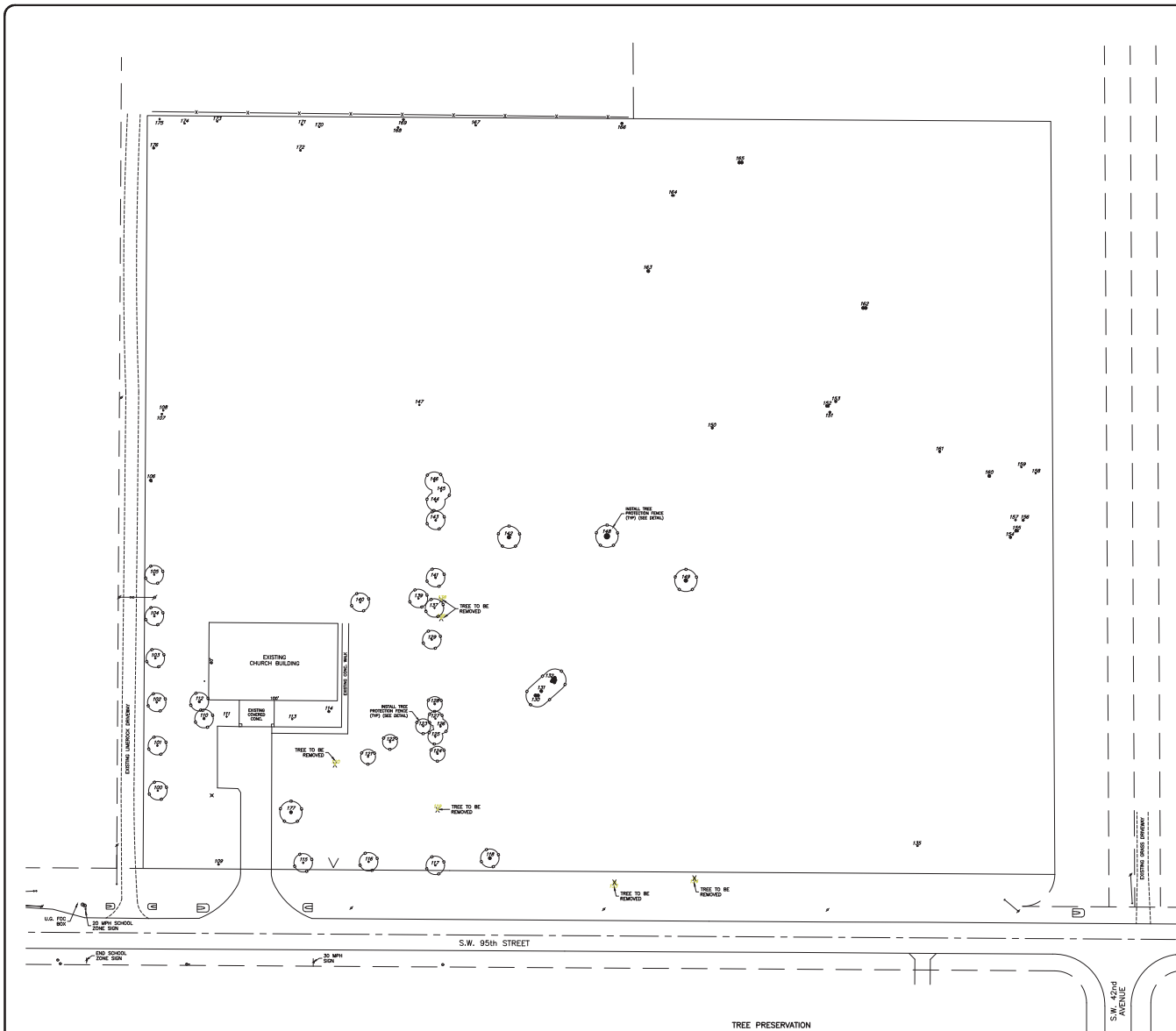
**ENGINEER'S CERTIFICATE:**  
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.



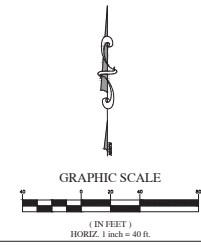
**Infinite Engineering**  
240 SW 8th STREET, SUITE A  
OCALA, FLORIDA 34471  
(352) 367-1480  
www.infiniteeng.com  
STATE OF FLORIDA LICENSE NO. 24000

BARRY E. GINN  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 54595





**TREE PRESERVATION**  
 REQUIRED: 100 INCHES PER ACRE  
 9.48 ACRES = 948 INCHES  
 PROVIDED = 84 TREES TOTALING 1096 INCHES (NOT INCLUDING PALMS)  
 NOTE: THE TWO TREES AND THE ACREAGE THAT WILL BE WITHIN THE S.W. 95th STREET RIGHT-OF-WAY AFTER THE RIGHT-OF-WAY DEDICATION WERE NOT CONSIDERED



**TREE PROTECTION DETAIL**

**TREE PROTECTION**

MARION COUNTY	REVISIONS	7.3.4
REVISION A	REVISION B	LS
		0009

**TREE SCHEDULE**

TREE NO	SIZE	TYPE	TREE NO	SIZE	TYPE
100	8"	OAK	139	8"	MAGNOLIA
101	8"	OAK	140	8"	MAGNOLIA
102	8"	OAK	141	12"	OAK
103	10"	OAK	142	28"	OAK
104	10"	OAK	143	12"	OAK
105	6"	OAK	144	6"	PINE
106	(3)12"	OAKS	145	6"	PINE
107	10"	OAK	146	6"	PINE
108	8"	OAK	147	8"	OAK
109	12"	OAK	148	48"	OAK
110	15"	PALM	149	32"	OAK
111	6"	MAPLE	150	15"	OAK
112	15"	PALM	151	15"	OAK
113	6"	MAPLE	152	(2)18"	OAKS
114	15"	PALM	153	18"	OAK
115	8"	OAK	154	18"	OAK
116	8"	OAK	155	(2)15"	OAKS
117	8"	OAK	156	15"	OAK
118	20"	OAK	157	12"	OAK
119	12"	OAK	158	6"	PINE
120	8"	SWEETGUM	159	8"	PINE
121	8"	SWEETGUM	160	26"	OAK
122	8"	SWEETGUM	161	18"	OAK
123	6"	MAGNOLIA	162	(2)22"	OAKS
124	10"	OAK	163	24"	OAK
125	6"	PINE	164	(2)12"	OAKS
126	8"	PINE	165	(2)22"	OAKS
127	6"	PINE	166	18"	PINE
128	12"	OAK	167	10"	OAK
129	6"	OAK	168	8"	OAK
130	(2)22"	OAKS	169	14"	PINE
131	24"	OAK	170	6"	OAK
132	(5)22"	OAKS	171	10"	OAK
133	24"	OAK	172	10"	OAK
134	18"	OAK	173	10"	OAK
135	10"	PINE	174	8"	OAK
136	6"	OAK	175	10"	OAK
137	6"	PINE	176	15"	OAK
138	6"	PINE	177	20"	OAK

N.O.P. = NOT ON PROPERTY AFTER RIGHT-OF-WAY DEDICATION

**Infinite Engineering**  
 1000 S.W. 10th Street, Suite 100  
 Fort Lauderdale, FL 33304  
 (954) 561-1480  
 www.infiniteengineering.com  
 CERT. OF AUTH. # 13300

**BARRY E. GINN** DATE  
 PROFESSIONAL ENGINEER  
 FLORIDA REGISTRATION NO. 54595

**ROGERS ENGINEERING, LLC**  
*Civil Engineering & Land Surveying*  
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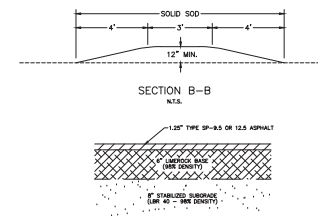
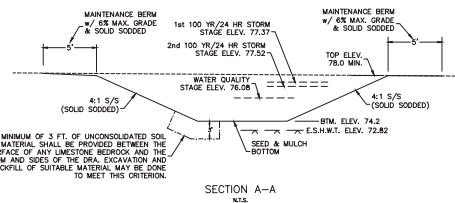
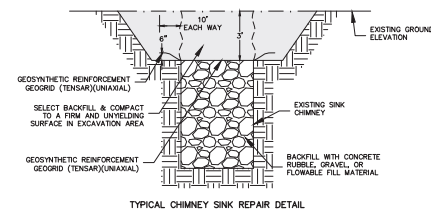
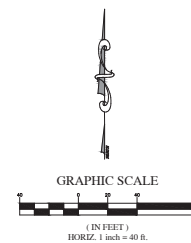
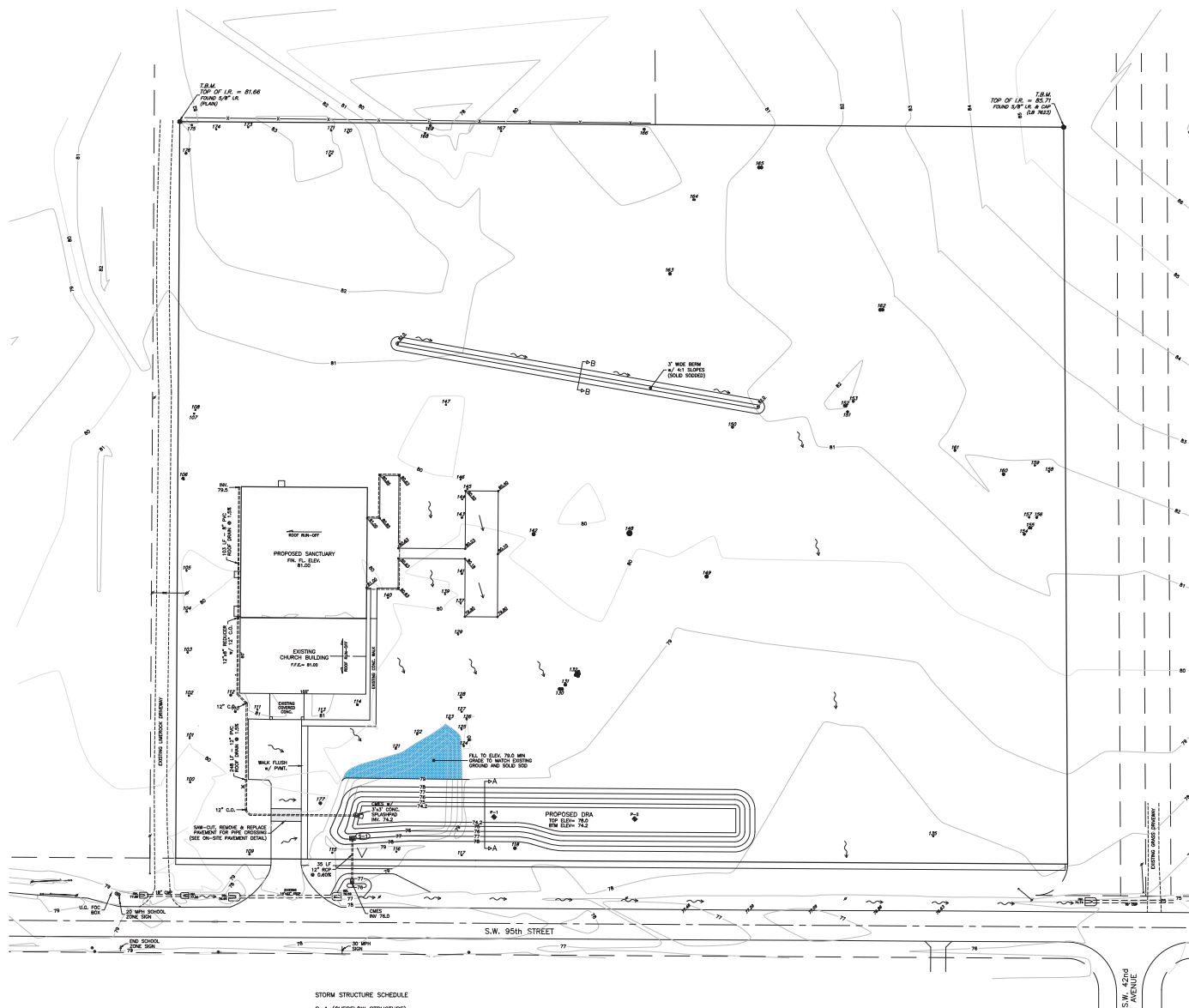
**A MARION COUNTY MAJOR SITE PLAN FOR FAMILY LIFE ASSEMBLY OF GOD NEW SANCTUARY**  
*Tree Removal Plan*

**JOB No.** 3898-208-01  
**DATE** 11-07-2024  
**SCALE** 1" = 40'  
**SHEET** 0003

**REVISION**  
 DATE







ON-SITE PAVEMENT SECTION

- NOTES:
1. 10" LIMESTONE BASE W/ 3 LIPS & 40% DENSITY TOP COMPACTED SUBGRADE MAY BE SUBSTITUTED FOR 12" LIMESTONE BASE.
  2. THERE SHALL BE NO UNDESIRABLE MATERIALS WITHIN 12" OF BELOW THE LIMESTONE BASE.



BARRY E. GINN DATE  
 PROFESSIONAL ENGINEER  
 FLORIDA REGISTRATION NO. 54595

REVISION	DATE

ROBERT L. ROGERS, P.E.  
 P. Eng. No. 10022  
 rogerson@rogerson.com  
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 1105 S.E. 3rd Avenue • Ocala, Florida 34474  
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 Email: info@rogerson.com

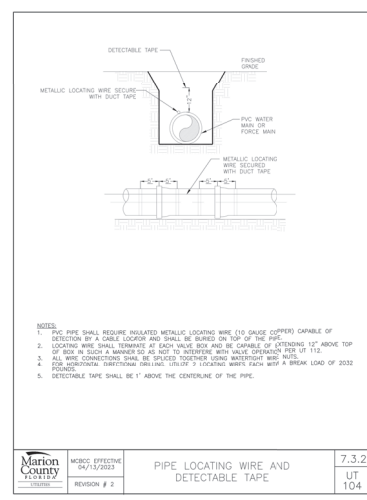
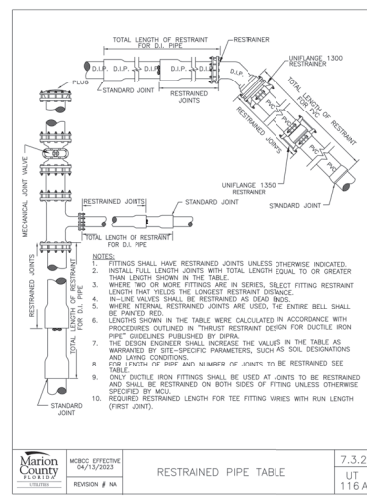
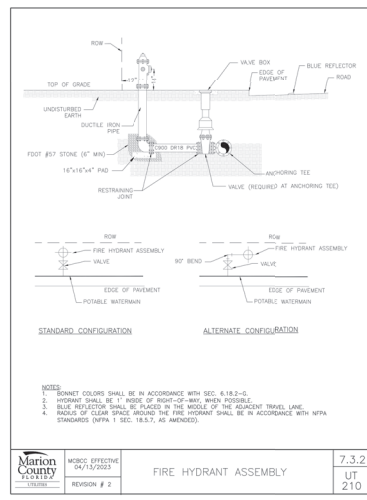
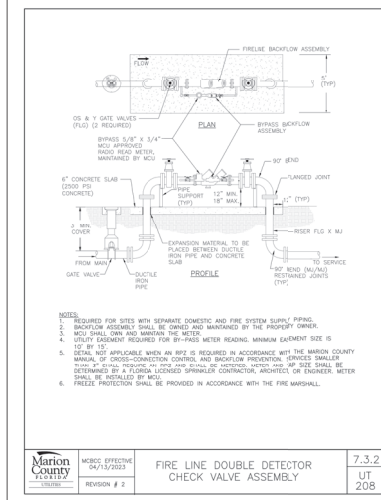
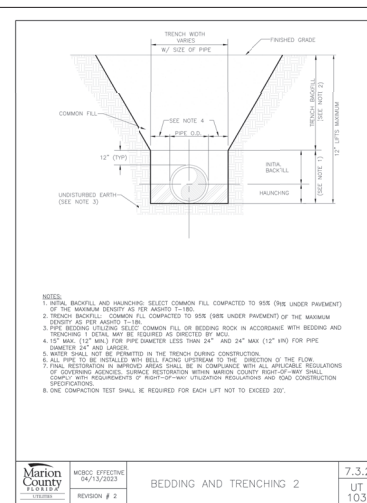
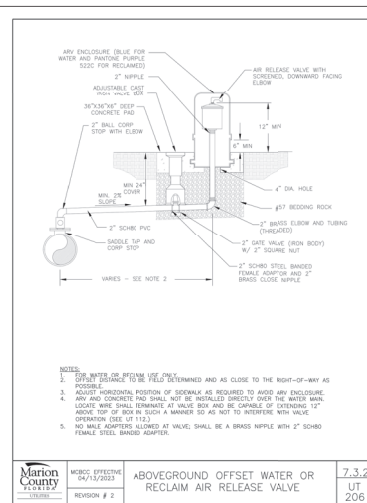
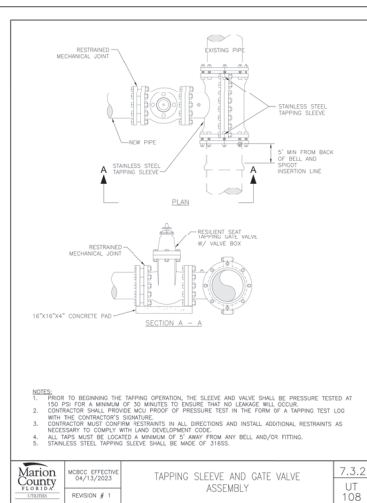
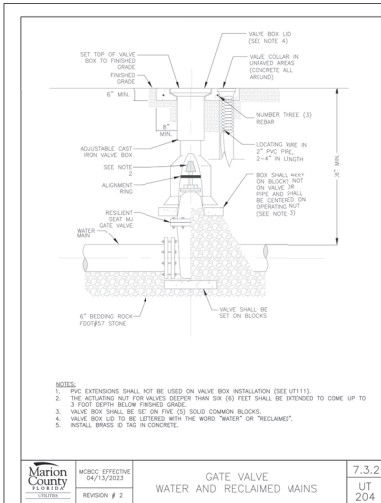
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A MARION COUNTY MAJOR SITE PLAN  
 FOR  
 FAMILY LIFE ASSEMBLY OF GOD  
 DAYCARE CENTER  
 Grading & Drainage Plan

JOB No. 34589-2024-01	DATE 11-07-2024
SCALE 1" = 40'	SHEET 0008







BARRY E. GINN DATE  
 PROFESSIONAL ENGINEER  
 FLORIDA REGISTRATION NO. 54595

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 Civil Engineering & Land Surveying  
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**A MARION COUNTY MAJOR SITE PLAN FOR**  
**FAMILY LIFE ASSEMBLY OF GOD**  
**NEW SANCTUARY**  
*utility details*

MODS: EFFECTIVE 04/15/2023 REVISION # 2	PIPE LOCATING WIRE AND DETECTABLE TAPE	7.3.2 UT 104
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MODS: EFFECTIVE 04/15/2023 REVISION # 2	FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY	7.3.2 UT 208
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MODS: EFFECTIVE 04/15/2023 REVISION # 2	FIRE HYDRANT ASSEMBLY	7.3.2 UT 210
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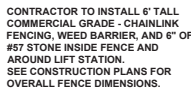
MODS: EFFECTIVE 04/15/2023 REVISION # 2	GATE VALVE WATER AND RECLAIMED MAINS	7.3.2 UT 204
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MODS: EFFECTIVE 04/15/2023 REVISION # 2	ABOVEGROUND OFFSET WATER OR RECLAIM AIR RELEASE VALVE	7.3.2 UT 206
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MODS: EFFECTIVE 04/15/2023 REVISION # 2	BEDDING AND TRENCHING 2	7.3.2 UT 103
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MODS: EFFECTIVE 04/15/2023 REVISION # 2	TAPPING SLEEVE AND GATE VALVE ASSEMBLY	7.3.2 UT 108
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MODS: EFFECTIVE 04/15/2023 REVISION # 2	GATE VALVE WATER AND RECLAIMED MAINS	7.3.2 UT 204
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### SPECIFICATION

Hydrostatic Pressure 62.4 lbs. Per SQ Ft.  
Saturated soil weight 120 lbs. Per Cubic Ft.  
Soil Modulus of 700 lbs Per SQ Ft.  
Pipe Stiffness as specified in ASTM D 3753

The cover shall be constructed of ¼ inch thick finished aluminum, diamond plate pattern with 300 series stainless steel hardware. The hatch shall have a positive means of holding door open in the vertical position (locking hold open arm) made of a non-corrosive material. The cover shall be mounted with minimum of six 300 series stainless steel fasteners. The access hatch cover shall have a lift handle and a means of locking.

**EXECUTION:**  
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the engineered drawings.

**EXECUTION.**  
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the engineered drawings.

STATION MANUFACTURING MATERIALS			
DISCHARGE PIPE	HDPE		
INLET PIPE	PER EOR		
GUIDE RAIL	304 SS		
WET WELL	FRP ASTM D-3751		
WET WELL HATCH COVER	300 LBS PSF ALUM.		
CLUB CHAIN	304 SS		
1/2" LONG BRACKET	304 SS		
PLUG VALVE	CAST IRON		
SWING CHECK VALVE	CAST IRON		
VALVE BOX	FRP		
VALVE BOX HATCH COVER	300 LBS PSF ALUM.		
STATION VALVE BOX SIZES			
(36" x 36" x 36" DEEP)	FOR 2" DISCHARGE		
(36" x 36" x 36" DEEP)	FOR 3" DISCHARGE		
STATION HATCH OPENINGS			
WET WELL DIA.	36"	42"	48"
	21" x 20"	36" x 24"	40" x 30"
CONCRETE BALLAST REQUIREMENTS			
CURB MTD. OF CONCRETE REQUIRED	(4)	16.5 yds <sup>3</sup>	
CIRCUMFERENCE DIMENSION - WIDTH	(4)	36.0'	
CIRCUMFERENCE DIMENSION - HEIGHT	(4)	36.0'	
BASE SLAB DIMENSION - HEIGHT	(7)	18.0"	
BASE SLAB DIMENSION - LENGTH & WIDTH (2)	(2)	72.0"	

1. DRAWING NOT TO SCALE
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
4. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT
5. NEUTRAL TO BE SUPPLIED FOR 230V-3 PHASE OR 230V-SINGLE PHASE POWER



**PUMPS:**

### SPECIFICATION

*Submersible grinder pumps shall be installed in the FRP wet well utilizing a dual rail slide system.*

The grinder system shall be capable of grinding the waste materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and discharge piping. Stator winding shall be open type with Class H insulation and shall be heat shrink fitted into the stator housing. Shall withstand a continuous operating temperature of 155° C.

**The pump motor grinder shaft shall be EN 1.4301 / AISI 304SS connection to take the pump impeller and the grinder assembly.**

Semi Axial Centrifugal Impeller shall be Cast Iron EN-GJL-200 / ASTM A48 30B.

Double mechanical cartridge shaft seals shall be provided. The seal springs located inside the oil housing should be fully protected from the pumped liquid. The mechanical seals should be able to withstand rotation on either side.

Moisture sensor (2) shall be included in the motor housing assembly. Power and Control cables shall be clamped against tensile loads and have a serviceable inlet to the motor, with hermetically sealed polyurethane filled, stainless steel cable plug connection. The pump and electric cables shall be capable of continuance submergence, without loss of waterproof integrity to a depth of 65 ft.

**CONTROL PANEL:**

### SPECIFICATION

**The Enclosure shall be NEMA 4X, minimum 30" high x 20" wide x 10" deep with 3 point latching system**

The enclosure shall have external mounting feet to allow for wall mounting.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light) LED 360 Degree viewable range  
1- ea. Alarm Horn (minimum 95 DCB)  
1- ea. Generator Receptacle w/ weatherproof cover 60A Minimum. Shall meet UL 1682 and UL 1686 Configuration.

The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to back panel.

- 2- ea. IEC style Motor Contactors
- 1- ea. Voltage Monitor (1 Ph) Phase Monitor (3 Ph) w/2 N/O & 1 N/C Contacts
- 1- ea. Alternator
- 1- ea. Control Transformer (480 Volt Only) (Min. 500VA)
- 1- ea. Model RCB5AH Battery Back-Up w/ Smart Charger (UPS)
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 7- ea. Grounding Lugs
- 1- ea. Lightning and Surge Protection shall meet the UL 1449 2nd Edition

*The inner door shall be fabricated from .080, 5052-H32 marine alloy*

*The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano hinge.*

The following components shall be mounted through the inner door

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)
- 2- ea. Short Circuit Protectors w/ Auxiliary Contacts
- 1- ea. Control Circuit Breaker
- 1- ea. GFI Duplex Convenience Outlet

**MISCELLANEOUS:** All wiring on the back panel shall be contained within the wiring duct. All wiring between the inner door and the back panel shall be contained within a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting. The control panel must be manufactured in-house by lift station supplier and be a TUV (UL508A Certified) facility.

**INSPECTION & TESTING:** A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system. Megger the motors. The pump motors shall be megged out prior to the start-up to ensure that the insulation of the pump motor/cable is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

(DETAIL WBB)

WETWELL BOTTOM BOLT & SUPPORT DETAIL

PUMP DISCHARGE BASE

MIN. 1/2" DIA. x 3" SS BOLTS WELDED TO A (2" x 24" x 1/4") SS ANCHOR PLATE EMBEDDED IN FIBERGLASS

THIS IS A COPYRIGHTED DRAWING. ANY CHANGES OR MODIFICATIONS WITHOUT WRITTEN APPROVAL FROM RILEY & COMPANY IS STRICTLY PROHIBITED.

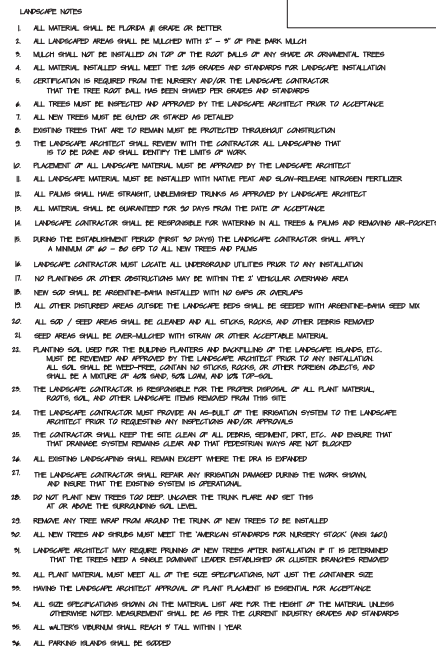
**LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.**

09/04/24.SR

**RILEY & COMPANY, INC.**  
5491 BENCHMARK LANE  
SANFORD, FL. 32773  
**PH. 407-265-9963**

# FAMILY LIFE ASSEMBLY OF GOD

[illegible]



TREE PRESERVATION

TOTAL EX HARDWOOD TREES

TOTAL EX TREE INCHES

TREE PRESERVATION REQUIRED

TREE PRESERVATION PROVIDED

TREE MITIGATION REQUIRED

TREE MITIGATION PROVIDED

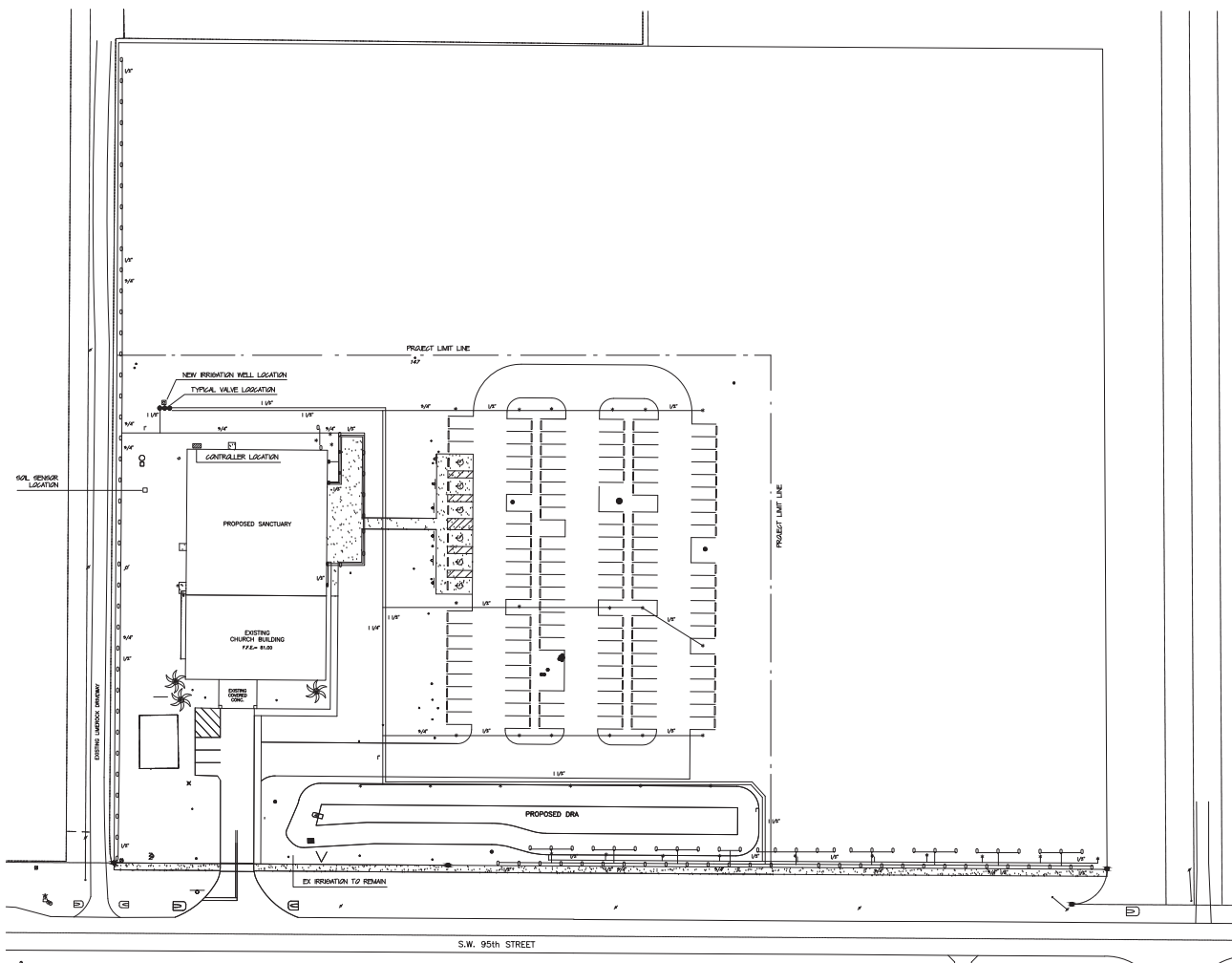
DRA LANDSCAPING

SCALE 1" = 40'

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SHEET 100 of 100





- IRRIGATION LEGEND**
- HUNTER MP WAG SERIES POP-UP SPRAY HEADS
  - HUNTER MP WAG SERIES POP-UP SIDE-SPRAY HEADS
  - × HUNTER PLS SERIES BUBBLER HEADS FOR TREES
  - SOL SENSOR LOCATION
  - EXISTING IRRIGATION WELL
  - EXISTING CONTROLLER
  - 1\"/>

- IRRIGATION LEGEND**
- TREE ZONE 1 = 750 GPM
  - GRPD ZONE 1 = 240 GPM
  - GRPD ZONE 2 = 200 GPM

#### IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE FOR THE IRRIGATION SYSTEM SHALL BE A NEW 4\"/>

#### MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATING INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 635 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
2. ALL REQUIREMENTS IN SECTION 635 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-PRESENTLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND RECREATION PROGRAM
3. ALL REQUIREMENTS OUTLINED IN SECTION 635 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
4. ALL REQUIREMENTS OUTLINED IN SECTION 635 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
5. NOTES HAVE BEEN KEPT IN SECTION 635-03E REQUIREMENTS (635) WATERING INSTALLATION (635) AND INSTALLATION LICENSING REQUIREMENTS (635)

SCALE: 1" = 40'



RICHARD A KESSELRING JR., P.L.A., A.S.L.A.  
LANDSCAPE ARCHITECT - STATE OF FLORIDA #858

DATE	BY
10/13	RAK
DATE	BY
10/13	RAK
DATE	BY
10/13	RAK

DATE	BY
10/13	RAK
DATE	BY
10/13	RAK
DATE	BY
10/13	RAK

ENVIRONMENTAL DESIGN  
LANDSCAPE ARCHITECT  
1900 SE 18th STREET, SUITE 100  
Ocala, FL 34478 (352) 632-8899  
LANDSCAPE ARCHITECTURE, SITE PLANNING,  
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



IRRIGATION PLAN  
FAMILY LIFE ASSEMBLY OF GOD  
MARION COUNTY FLORIDA

SHEET 0022 of 01



## GRANDCOVER INSTALLATION



RICHARD A KESSELRING JR., PLA, ASLA  
LANDSCAPE ARCHITECT , STATE OF FLORIDA #858

NO.	DATE	DESCRIPTION	BY
1	8/14	NEW LAYOUT	RAK
2	1/16	COUNTY COMMENTS	RAK

DATE:	10 / 23
ORGANIZING NO.:	
NEW NAME:	
FB.	PG.

DRAWN BY: RAK	SCALE: 1" = 40'	JOB NO.:
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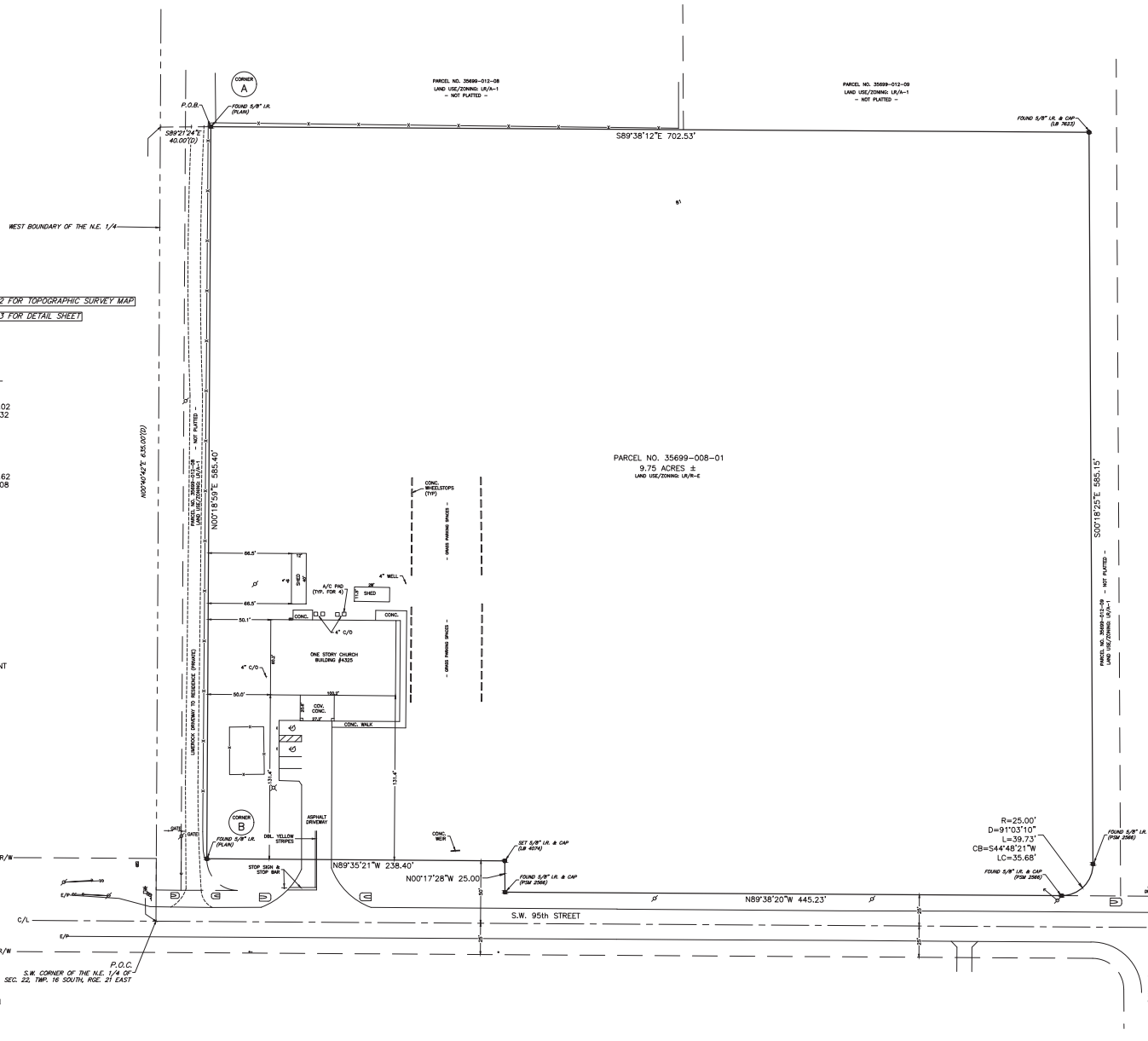
**ENVIRONMENTAL DESIGN**  
WENDY KESSELING, LANDSCAPE ARCHITECT  
P.O. BOX 5121  
9220 SE. 8th STREET  
MIAMI, FLORIDA 33448  
(352) 622-6809

LANDSCAPE ARCHITECTURE, SITE PLANNING,  
SELF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE & IRRIGATION DETAILS

SHEET 003 of \_\_\_\_\_



RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

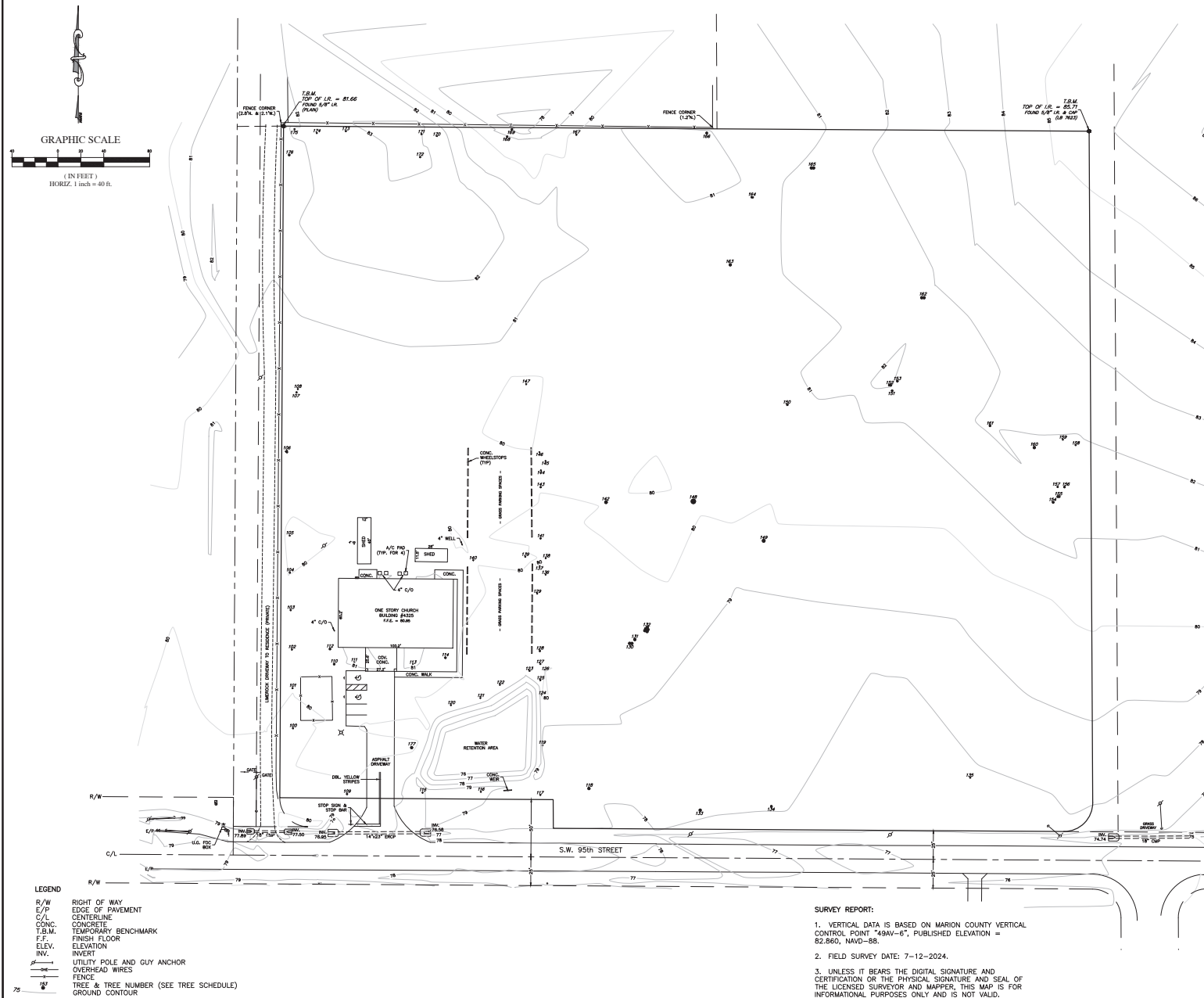
JOB No.  
35699-008-01

DATE  
8-06-2024

SCALE  
1" = 40'

SHEET  
S001





TREE SCHEDULE					
TREE NO	SIZE	TYPE	TREE NO	SIZE	TYPE
100	8"	OAK	130	6"	MAGNOLIA
101	8"	OAK	140	8"	MAGNOLIA
102	8"	OAK	141	12"	OAK
103	10"	OAK	142	28"	OAK
104	10"	OAK	143	12"	OAK
105	6"	OAK	144	6"	PINE
106	(3)12"	OAKS	145	6"	PINE
107	10"	OAK	146	6"	PINE
108	8"	OAK	147	8"	OAK
109	12"	OAK	148	48"	OAK
110	15"	PALM	149	32"	OAK
111	6"	MAPLE	150	15"	OAK
112	15"	PALM	151	15"	OAK
113	6"	MAPLE	152	(2)18"	OAKS
114	15"	PALM	153	18"	OAK
115	8"	OAK	154	18"	OAK
116	8"	OAK	155	(2)15"	OAKS
117	8"	OAK	156	15"	OAK
118	26"	OAK	157	12"	OAK
119	10"	OAK	158	6"	PINE
120	8"	SWEETGUM	159	8"	PINE
121	8"	SWEETGUM	160	28"	OAK
122	8"	SWEETGUM	161	16"	OAK
123	6"	MAGNOLIA	162	(2)22"	OAKS
124	10"	OAK	163	24"	OAK
125	6"	PINE	164	(2)12"	OAKS
126	8"	PINE	165	(2)22"	OAKS
127	6"	PINE	166	18"	PINE
128	12"	OAK	167	10"	OAK
129	6"	OAK	168	8"	OAK
130	(2)22"	OAKS	169	14"	PINE
131	24"	OAK	170	6"	OAK
132	(5)22"	OAKS	171	10"	OAK
133	24"	OAK	172	10"	OAK
134	18"	OAK	173	10"	OAK
135	10"	PINE	174	6"	OAK
136	6"	PINE	175	10"	OAK
137	6"	PINE	176	15"	OAK
138	6"	PINE	177	20"	OAK

**SURVEY REPORT:**

1. VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "49AV-6", PUBLISHED ELEVATION = 82.860, NAVD-88.

2. FIELD SURVEY DATE: 7-12-2024.

3. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

**SURVEYORS CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1, SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

REVISION

DATE

ROBERT L. ROGERS, P.E.  
Lic. No. 10022  
rrogers@rogerseng.com  
Rodney K. Rogers, PSM  
Lic. No. 6274  
rrogers@rogerseng.com  
Madelene M. Boyette, PSM  
Lic. No. 7756  
mboyette@rogerseng.com

**ROGERS ENGINEERING, LLC**  
*Civil Engineering & Land Surveying*

1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bui. #4074

A MARION COUNTY MAJOR SITE PLAN  
FOR  
FAMILY LIFE ASSEMBLY OF GOD  
NEW SANCTUARY  
*Topographic Survey Map*

JOB No.  
35699-208-01

DATE  
8-15-2024

SCALE  
1" = 40'

SHEET  
503