



SUBMITTAL SUMMARY REPORT ImprovePln-000635-2026

PLAN NAME: Atlas Tranquility Park	LOCATION: 8545 E HWY 25 BELLEVIEW,
APPLICATION DATE: 04/16/2026	PARCEL: 39279-026-00
DESCRIPTION: Atlas Tranquility Park	

CONTACTS	NAME	COMPANY
Applicant	Tillman Associates	Tillman & Associates Engineering, LLC
Applicant	Tillman Associates	Tillman & Associates Engineering, LLC
Engineer of Record	Jeremy Wilcox	
Engineer of Record	Tillman Associates	Tillman & Associates Engineering, LLC
Engineer of Record	Tillman Associates	Tillman & Associates Engineering, LLC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	04/16/2026	04/30/2026	05/14/2026	Requires Re-submit
OCE: Plan Review (DR) v.2				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1	ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
	911 Management (DR) (911 Management)	Kristie Wright	04/30/2026	04/24/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Corrective Action: Sheet 01.01 – Please remove "Portion of" before the listed parcel numbers. This project covers the entire 3 parcels. - Additional Comments:				
<i>Corrections</i>	2.12.28 - Road identification (Not Resolved) - Corrective Action: Sheet 03.01 – Label for SE 92nd Loop East of this park needs to be removed, as well as SE 83rd Ter; these are easements. Roads have been labeled on Sheet RN.01. Please label roads accordingly on all applicable sheets on all future submittals. - 2.12.28 - Road identification: All roads shall be identified by quadrant number as assigned by Marion County 911 Management.				
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/30/2026	05/01/2026	Approved	
<i>Comments</i>	Proposed mobile home park will require a permit through the Department of Health in Marion County. Please reach out to Evan.Searcy@FLHealth.gov to begin the process.				
Fire Marshal (Plans) (Fire)	Roxanna Coleman	04/30/2026	04/16/2026	Approved	
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Chris Rison	04/30/2026	05/13/2026	Requires Re-submit	
<i>Corrections</i>	2.12 - Land Use Designation-subject property (Not Resolved) - Corrective Action: NO - Correct the future land use designation listed on the top center of the Cover Sheet to be listed as "COMMERCIAL" (as referenced on Sheet 07.01). - 2.12 - Land Use Designation-subject property: Show existing land use designation the subject property.				
<i>Corrections</i>	2.12.23 - Building lot typicals (Not Resolved) - Corrective Action: NO - 1) Lots are indicated, but specific typical illustrations reflecting the development type and lot standards are not provided. This is a further concern as they development types currently only reference MH and not RV units. 2) Further, as the project is proposed to be platted, allowing for fee-simple ownership, the lot typical designs are further necessary to adequately review and maintain development compliance for the lots, structures, and stormwater. 3) Also, as the project is proposed to be platted, the prior PUD's reference to a "zero lot line" related to "building separations" is no longer acceptable as continuing to enable that option may render lots "unbuildable" by creating over-reaching overlapping limitations as formal property lines will be established. If the "zero lot line" format is intended, those lots subject to that design must be formally identified on the plan/plat, or revise the plans/plat to state the "zero lot line" form is NOT being authorized and implemented. - 2.12.23 - Building lot typicals: Show building lot typicals (primary and accessory structures) in table format and illustration.				
<i>Corrections</i>	2.12.9 - Existing, proposed & adjacent ROWs (Not Resolved) - Corrective Action: NO - Revise the plan to fully dimension the right-of-way widths. The PUD proposed 50' and 40' widths but they are not evident with the plan - as an example, the west entry route appears to be a total of 80' wide, and will include two 12' paved travel lanes along with portions of Tracts "B" and "C" but the right-of-way is not indicated? As noted, the PUD referenced 50' and 40' widths, not a 24' width. - 2.12.9 - Existing, proposed & adjacent ROWs: Show name, location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project on plan.				

SUBMITTAL SUMMARY REPORT (ImprovePln-000635-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Chris Rison	04/30/2026	05/13/2026	Requires Re-submit
<i>Corrections</i>	2.12.10 - Easement (Not Resolved) - Corrective Action: NO - 1) Provide complete details regarding the placement and width for the 80' cross access easement for the western entry (Sheet 07.02) as it is not apparent if the marker is the alignment or if the whole width of that driveway access area is the area to be subject to the easement, and 2) Provide complete details regarding the placement and width for the 40' cross access easement for the eastern entry (Sheet 07.07) as it is not apparent if the marker is the alignment or if the whole width of that driveway access area is the area to be subject to the easement. 3) Staff notes drainage and utility easements are indicated; those easements must be acceptable to the other reviewing departments (particularly Utilities and OCE-Stormwater & Traffic). - 2.12.10 - Easement: Show existing and proposed easements on plan, and provide description of each easement.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Not Resolved) - Corrective Action: NO - The plan does not indicate and/or provide any landscaping plans; however, the project is required to provide for perimeter buffers "a minimum of 25-foot wide buffer area with 4 shade trees per 100 lineal feet and a berm at least 6-feet tall." The plan must indicate the location and all construction illustration details (plantings and berm/grading with overhead and both cross section views) for the required buffer. - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)			
<i>Corrections</i>	2.12 - Site coverage (Resolved) - Corrective Action: N/A - Duplicate - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.			
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Resolved) - Corrective Action: YES - Adjoining zoning classifications are shown on Sheet 03.01. - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.			
<i>Corrections</i>	2.12 - Variances (Not Resolved) - Corrective Action: INFO - No variances applicable to the site are currently on file. - 2.12 - Variances: List of approved Variance, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Owner and applicant name (Resolved) - Corrective Action: YES - Owner and applicant/engineer and surveyor names listed on Cover Sheet; will be signed/executed with final plan approval. - 2.12 - Owner and applicant name: Show name, address, phone number, and signature of the owner and applicant on the cover sheet.			
<i>Corrections</i>	2.12.4.L - DRI/FQD Compliance Note? (Resolved) - Corrective Action: N/A - Not a DRI. - 2.12.4.L - DRI/FQD Compliance Note?: Revise the plan to add the following advisory note: "DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE [PROJECT NAME DRI/FQD] DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES."			
<i>Corrections</i>	2.12 - Parcel number (Resolved) - Corrective Action: YES - Parcel numbers listed on top center of Cover Sheet. - 2.12 - Parcel number: Show parcel numbers on the cover sheet.			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation (Not Resolved) - Corrective Action: NO - See comments regarding need for updated EALS or EALS Exemption Request. - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection.			
<i>Corrections</i>	2.12.22 - Tracts (Not Resolved) - Corrective Action: INFO - Staff notes the plan identifies Tracts "A," "B," "C," and "D" only - if any other tracts will be provided, their purpose and location must be identified on the plan. - 2.12.22 - Tracts : Show existing and proposed tracts on plan, and provide description of each tract.			
<i>Corrections</i>	2.1.3 - Order of plan approval and consistency (Not Resolved) - Corrective Action: NO - The Preliminary Plat (PrelimPlat-000634-2026) corresponding to this plan must be prior to the completion and approval of this Improvement Plan review. This item will remain as NO until that Preliminary Plat is approved. - 2.1.3 - Order of plan approval and consistency: The plans shall be consistent with approved Pre-Plat. Plans listed below may be reviewed concurrently, but must be approved in the order listed below, when applicable and when the proper land use and zoning are in place: A.Master Plan. B.Preliminary Plat. C.Improvement Plan. D.Final Plat. E.Major Site Plan. However, a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application.			
<i>Corrections</i>	2.12/3.2.3 - Land Use Consistency (Not Resolved) - Corrective Action: NO (w/INFO) 1) The original PUD plan referenced providing Single- and Double-wide MHs and RVs lots, while the plan now only references Single- and Double-wide MH lots (Sheet 07.01). However, while the plan illustrates varying lot "styles" - at least three (e.g., 10, 29, 190, 194) but it is not clear which lots will accommodate which types of development. 2) If RV lots are still expected/planned, the location is not apparent as which typical represent which type of development is not indicated. 3) Recent Florida Statutes changes have provided for MH placement in RV parks for local government purposes; as such, this must be a consideration in the review of this project for RV spaces which may be converted and will affect potential traffic generation, etc. unless the RV lot development is formally limited in a suitable manner that may be coordinated with Marion County should such conversions be desired in the future. - 2.12/3.2.3 - Land Use Consistency: Provide a list of existing and proposed uses. Provide list of area in square footage/acreage for each existing and proposed uses. Verify if existing and proposed uses are allowed under land use designation and zoning classification.			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Not Resolved) - Corrective Action: NO - No waiver information is currently listed; if LDC Waivers are obtained, they must be listed with the approval conditions on the cover sheet. If no LDC Waiver are applicable, please state that on the cover sheet. - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Rezoning (Not Resolved) - Corrective Action: NO - Correct the plan's zoning information provided on the top center of the Cover Sheet to read as follows: "ZONING - PUD ZONING CASE NO. 201008Z." - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.			

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Chris Rison	04/30/2026	05/13/2026	Requires Re-submit
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Not Resolved) - Corrective Action: NO - 1) The plan lacks typical lot illustrations to indicate the intended lot development plans (Single-wide and Double-wide MH or RV) and how vehicle parking for each will be provided. This is a particular concern related to the MH lots as LDC Parking requirements are based on number of bedrooms, and typically result in a need for two parking spaces per residential and this is a particular concern as this project is proposed as a plat. 2) The provision of adequate guest parking areas for residential developments has arisen as a concern for residential developments such as this plat, particularly as "on-street" forms of parking are not permitted and may result in obstructions to travel routes for emergency services along with day-to-day traffic, and the mix of MH and RV uses for this project is an additional concern. Explain and identify what measures are being provided to ensure adequate guest parking is being provided for the development? - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			
<i>Corrections</i>	2.12.20 - Phases of development (Not Resolved) - Corrective Action: NO - Phasing references are listed on the plan at times, but no phasing for the development is indicate. Revise the plan to state if the development will be constructed as a single overall project or if it will be phased; and if phased, indicate the number of phases and each phase's geographic limits. - 2.12.20 - Phases of development: Show all phases of development on plan. Improvements must be in place to support each phase of development at time of phase completion.			
<i>Corrections</i>	2.12 - Site coverage (Not Resolved) - Corrective Action: NO - As noted in following comments, no "lot typical illustrations" are provided, limiting the ability to identify and correlate the coverage allowances for the lots to the stormwater system. Revise the plan to provide appropriate lot typical designs for the development forms intended (MH and/or RV). - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.			
<i>Corrections</i>	2.12.5/1.8.2.A - Traffic Capacity Available? (Not Resolved) - Corrective Action: NO - Updated Traffic Study is required as noted by OCE-Traffic. - 2.12.5/1.8.2.A - Traffic Capacity Available?: If the adjoining roadway(s) are currently identified as exceeding their acceptable Level of Service, as such they are not eligible for further development unless and until sufficient capacity is demonstrated to be available or alternative approaches for the proposed development are proposed for consideration and potential approval (e.g., proportionate share, etc.).			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - Corrective Action: N/A - The "commercial use" portion of the PUD to the southeast, except for the planned street south to SE Hwy 25, is outside the boundary of the project. - 3.2.3 - NON-RESIDENTIAL - Complies with FAR: For non-residential project, show maximum allowable Floor Area Ratio (FAR) and proposed FAR.			
<i>Corrections</i>	3.3.3 - Comply w Approved Hamlet Plan? (Resolved) - Corrective Action: N/A - Not a hamlet. - 3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density: For residential project, show maximum and minimum allowable density, and proposed density.			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Not Resolved) - Corrective Action: INFO - N/A - As a residential project, "loading areas" are not ordinarily expected; deferring any further remarks to OCE-Traffic. - 2.12.4/6.11.7 - Loading area: Show proposed loading areas on plan, per Sec. 6.11.7. - Loading areas.			
<i>Corrections</i>	Additional Growth Services Comments (Not Resolved) - Corrective Action: Sidewalk requirement along internal spine road? - Additional Growth Services Comments			
<i>Corrections</i>	2.12 - Zoning Classification-subject property (Resolved) - Corrective Action: YES - site's zoning classifications listed on top center of Cover Sheet - see other zoning related comment regarding adding the PUD Rezoning Case details. - 2.12 - Zoning Classification-subject property: Show existing zoning classification on the subject property.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Not Resolved) - Corrective Action: NO - Updated Traffic Study is required as noted by OCE-Traffic. - 2.12.5/1.8.2.D - Traffic Concurrency Evaluation?: In order to propose alternative solutions to addressing the lack of roadway capacity, a traffic study will be required and a traffic methodology must be submitted for review and approval prior to the traffic study being completed. Please contact OCE-Traffic Review for further information on completing the necessary methodology and study.			
<i>Corrections</i>	2.12/4.2 - Lot setback (Not Resolved) - Corrective Action: NO 1) The development standards listed on Sheet 07.01 do NOT comply and conform to the standards provided on the project's PUD plan that stated the following for "Park Lots": Principle: Width - 35'; Depth - 59'; Area - 2,000 SF; Setbacks - Front 20'; Rear 25'; Side/Corner 8'/15'; Max Height 50' Accessory: Width - N/A; Depth - N/A; Area - N/A; Setbacks - Front N/A(20)'; Rear 5'; Side/Corner 5'; Max Height 20'. 2) As previously noted, no lot typical related to the types of lot development proposed (MH or RV) are provided; this is an issue for implementing permitting for the lots as they develop, and maintaining the consistency with the lots for the development standards and stormwater plans. - 2.12/4.2 - Lot setback: Provide required setback and proposed setback in the site data table and show them on the plan.			
<i>Corrections</i>	2.12 - Lot area & lot width (Not Resolved) - Corrective Action: NO - The lot standards information provided on Sheet -07.01 - does not comply with the PUD's standards - please see the later review comments. - 2.12 - Lot area & lot width: Provide required lot area and lot width in the site data table. Show proposed lot area and lot width of all lots in the site data table and on the plan.			
<i>Corrections</i>	2.12/4.2 - Building height (Not Resolved) - Corrective Action: NO 1) The development standards listed on Sheet 07.01 do NOT comply and conform to the standards provided on the project's PUD plan that stated the following for "Park Lots": Principle: Width - 35'; Depth - 59'; Area - 2,000 SF; Setbacks - Front 20'; Rear 25'; Side/Corner 8'/15'; Max Height 50' Accessory: Width - N/A; Depth - N/A; Area - N/A; Setbacks - Front N/A(20)'; Rear 5'; Side/Corner 5'; Max Height 20'. 2) As previously noted, no lot typical related to the types of lot development proposed (MH or RV) are provided; this is an issue for implementing permitting for the lots as they develop, and maintaining the consistency with the lots for the development standards and stormwater plans. - 2.12/4.2 - Building height: Show building height (primary and accessory structures) in the site data table.			
<i>Corrections</i>	2.12.6 - Location of water and sewer (Not Resolved) - Corrective Action: INFO - Staff notes central water and central sanitary sewer service are proposed; deferring any further remarks to County Utilities Department review. - 2.12.6 - Location of water and sewer: Show location of septic systems and wells. Locations shall be outside setback and clearance.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - Corrective Action: YES - Adjoining future land use designations are shown on Sheet 03.01. - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Chris Rison	04/30/2026	05/13/2026	Requires Re-submit
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Not Resolved) - Corrective Action: YES - Concurrency deferral statement provided as cover sheet Note #6. - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Not Resolved) - Corrective Action: NO - As noted previously, clarify the development types to be enabled by the plat/plan. Staff notes a maximum number of units by type is listed and does not exceed the PUD's limit of 370, but the type focuses on MH and does not list RV at this time; however, that was cited as possible with the PUD. - 3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density: For residential project, show maximum and minimum allowable density, and proposed density.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Not Resolved) - Corrective Action: NO - Indicate if sign(s) is proposed on site. If so, show proposed sign's location and design. This is particularly a concern in relation to the identification of the right-of-way widths, etc. - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Not Resolved) - Corrective Action: NO - Provide a statement indicating if any outside storage area is proposed (e.g., Boats and/or RVs for the various lots that cannot accommodate such items on the actual lot, etc.). If any outside storage area(s) will be provided, show their location and screening, particularly to surrounding off-site properties, with full technical dimensions and detail illustrations. - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.			
<i>Corrections</i>	2.12 & Article 5 - Overlay zones (Resolved) - Corrective Action: YES - Notes 1 and 3 address Flood Zone/Prone and Springs Protection Zones - site is not within any other specialty overlay zones. - 2.12 & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOV), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided? (Not Resolved) - Corrective Action: NO - Provide a current (less than 2 years old) Environmental Assessment of Listed Species (EALS) or submit an Exemption Request per LDC Sec. 6.5. (The EALS attached to the application is dated August 2021, in excess of 4-years old.) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.			
<i>Corrections</i>	2.12 - Development Agreements (Not Resolved) - Corrective Action: INFO - No development/developer agreement(s) are on file regarding the project site. In the event any such agreement(s) is required, that agreement with its corresponding Official Record Book & Page Number must be identified and listed on the project's cover sheet in the site data information. - 2.12 - Development Agreements: List of Development Agreements including Marion County Official Record Book and Page.			
<i>Corrections</i>	2.12 - Special Use Permits (Not Resolved) - Corrective Action: NO - 1) Revise the plan Cover Sheet to add the listing for the site's Special Use Permit for sand mining with the zoning information as follows: "ZONING - SPECIAL USE PERMIT 160712SU, RESOLUTION NO. 16-R-233" 2) WARNING: The noted Special Use Permit (SUP) is scheduled to expire on July 19, 2026. The SUP is eligible for administrative renewal, but any such request for administrative renewal MUST be submitted a minimum of 30 days in advance of the July 19, 2026 expiration to ensure that the renewal may be adequately processed. If the site is not in compliance with the SUP, it will NOT be eligible for renewal and will expire. If the mining activity is completed, and this plan represents the implementation of reclamation of the site so the SUP is then deemed complete, please provide written notice of this activity/intent to the Growth Services Director Chuck Varadin for record purposes pursuant to the SUP approval. - 2.12 - Special Use Permits: List of all approved special use permits, case number, conditions, and the date of approval.			
<i>Corrections</i>	3.3.3 - Comply w Approved Rural Res. Cluster Plan? (Resolved) - Corrective Action: N/A - Not a Rural Residential Cluster. - 3.3.3 - Comply w Approved Rural Res. Cluster Plan?: For approved Rural Residential Cluster Plan, provide required information on plan per LDC 3.3.3. See sub-checklist items.			
<i>Corrections</i>	2.12/2.12.21 - Open space and natural areas (Not Resolved) - Corrective Action: NO - Staff notes the proposed Tracts "B" and "C" are listed to calculate open space, but improved open space information is not provided; this issue relates to the lack of buffer information provided as reference earlier in this review, particularly as the project is focusing on a residential format with the platting of individual lots. - 2.12/2.12.21 - Open space and natural areas: Provide list of open space and natural areas in square footage, acreage, and percentage. Including existing and proposed natural open space, improved open space, open water, wetland, and preserved natural areas. Also show them on the plan.			
<i>Corrections</i>	2.12.4/6.11.6 - Construction access (Not Resolved) - Corrective Action: NO - Revise the plan to clarify the project's construction access and route; the final route must be coordinated and approved by the OCE-Traffic and Right-of-Way Divisions. - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,.			
<i>Comments</i>	Plan information incomplete and revisions required.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/30/2026	04/30/2026	Requires Re-submit
<i>Comments</i>	Please submit Tree preservation plan, signed and sealed Landscape and Irrigation plans, and if applicable, signed and sealed photometric plans			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	04/30/2026	04/28/2026	Approved

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	04/30/2026	04/29/2026	Informational

Comments

IF APPLICABLE:
 Sec. 2.18.1.I - Show connections to other phases.
 Sec.2.19.2.H – Legal Documents
 Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
 Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
 For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
 Sec. 6.3.1.B.2 – Required Right of Way Dedication
 For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec. 6.3.1.D.3 - Cross Access Easements
 For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
 Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
 "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
 Sec. 6.3.1.C.2 – Utility Easements
 "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec.6.3.1.D(f) –
 If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."
 DR - 4/29/26

OCE Stormwater (Permits & Plans) (Office of Alexander Turnipseed) 04/30/2026 04/27/2026 Requires Re-submit

- Corrections** 6.13.7 - Geotechnical Criteria (**Not Resolved**) - DRA 5 requires at total 7 boring based on its size and DRA 2 requires a total of 3 borings
- Corrections** 6.13.3 - Type of Stormwater Facility Criteria (**Not Resolved**) - See comment under "6.13.6 □ Stormwater Quality Criteria"
- Corrections** 6.13.4.D - Recovery Analysis (**Not Resolved**) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.
- Corrections** Additional Stormwater comments (**Not Resolved**) - (1) Info: Please provide a copy of the NPDES permit or NOI as well as district permit prior to construction. (2) Info: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- Corrections** 6.13.2.A.3 - Retention/Detention Design Parameters (**Not Resolved**) - See comment under "6.13.6 □ Stormwater Quality Criteria"
- Corrections** 2.12.4.L(9)(b) - Data Block (Impervious Area) (**Not Resolved**) - Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.
- Corrections** 6.13.2.A.12/6.12.5-Details, X-Sections, References (**Not Resolved**) - DHWL & SHWL values on the cross section is listed as XX.XX.
- Corrections** 6.13.2.B(8) - Calculation & Plan Consistency (**Not Resolved**) - Info: This item will be reviewed upon resubmittal
- Corrections** 6.13.4.C - Discharge Conditions (**Not Resolved**) - See comment under "6.13.6 □ Stormwater Quality Criteria" & 6.13.7 □ Geotechnical Criteria
- Corrections** 6.13.2.B(6) - Freeboard (**Not Resolved**) - See comment under "6.13.6 □ Stormwater Quality Criteria" & 6.13.7 □ Geotechnical Criteria
- Corrections** 6.13.2.A(11)(a) - Construction Entrance (**Not Resolved**) - Please identify the location of the construction entrance
- Corrections** 6.13.6 - Stormwater Quality Criteria (**Not Resolved**) - Maximum pond depth is 6 ft
- Corrections** 6.13.12 - Operation and Maintenance (**Not Resolved**) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".
- Corrections** 6.13.4 - Stormwater Quantity Criteria (**Not Resolved**) - See comment under "6.13.6 □ Stormwater Quality Criteria" & 6.13.7 □ Geotechnical Criteria

SUBMITTAL SUMMARY REPORT (ImprovePin-000635-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/30/2026	04/27/2026	Requires Re-submit
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - See comment under "6.13.6 ☐ Stormwater Quality Criteria" & 6.13.7 ☐ Geotechnical Criteria			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - Please provide a survey that is no older than 12 months			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/30/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	Additional Survey Comments (Not Resolved) - Sec. 2.12.8. - Current boundary and topographic survey. o Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor. o (Ord. No. 13-20, § 2, 7-11-2013)			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/30/2026	05/11/2026	Requires Re-submit
<i>Corrections</i>	6.12.2 - Right-of-way (Not Resolved) - Corrective Action: Please address the comments on the Preliminary Plat. - 6.12.2 - Right-of-way: Show the right-of-way width.			
<i>Corrections</i>	Additional Traffic Comments (Not Resolved) - Corrective Action: The traffic impact analysis identified the need for southbound left turn lane improvements at the intersection of SE 92nd Loop and CR 25. An offsite improvement plan for these improvements is required to be approved concurrently with these improvement plans. - Additional Traffic Comments			
<i>Corrections</i>	6.11.3 - Traffic Impact Analysis (Not Resolved) - Corrective Action: The currently approved traffic impact analysis planned for a 2024 buildout year. An updated traffic analysis is required. - 6.11.3 - Traffic Impact Analysis: Provide a Traffic Impact Analysis			
<i>Corrections</i>	6.11.5.B(4) - Driveway width (Not Resolved) - Corrective Action: The connections to CR 25 need to be designed to accommodate trucks with mobile homes. Please provide turning templates for these larger vehicles and show the width and radii of the connections to CR 25. - 6.11.5.B(4) - Driveway width: The driveway width must meet the requirements of Section 6.11.5.B(4) and the design details in Section 7.3.1.			
<i>Corrections</i>	6.11.9.C - Pavement marking (Not Resolved) - Corrective Action: Provide one set of advance turn lane markings at the main entrance on CR 25. - 6.11.9.C - Pavement marking: Provide pavement markings as required in Section 6.11.9.C.			
<i>Corrections</i>	6.12.9 - Subdivision roads (Not Resolved) - Corrective Action: Please address the comments on the Preliminary Plat - 6.12.9 - Subdivision roads : Subdivision roads must meet the design requirements in Section 6.12.9.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	04/30/2026	05/01/2026	Requires Re-submit
<i>Corrections</i>	6.14.4 - Capacity charges - domestic water/sewer (Not Resolved) - Corrective Action: Informational Comment: - 6.14.4 - Capacity charges - domestic water/sewer: Capacity charges to be invoiced and collected by MCU Permitting at time of building permit review - Cap Fee Worksheet and interior floor plan may be required.			
<i>Corrections</i>	6.17 - Water Reclamation/Reuse Facilities (Resolved) - Corrective Action: There is no reuse in the area to serve this site. - 6.17 - Water Reclamation/Reuse Facilities:			
<i>Corrections</i>	6.16.4 - Wastewater Collection Systems (Not Resolved) - Corrective Action: MCU will need an easement over FM in the green space, unless it's planned to dedicate the entire tract to MCU. Minimum 50x50 Tract needs to be shown and called out where the lift station will be. (2) add lateral or stub out for the amenity center. (3) Informational Comment: Marion County Utilities (MCU) will require proof of a successful, EOR signed and sealed, hydrostatic leak test for all private manholes and grease traps. MCU inspectors will not perform on-site testing for privately owned systems. A hold will be added to the site's building permit, if applicable. Alternatively, all private manholes may be sealed using the WrapidSeal. - 6.16.4 - Wastewater Collection Systems:			
<i>Corrections</i>	6.15.6.G & H - Meters up to 2" and over 2" (Resolved) - Corrective Action: Not applicable. - 6.15.6.G & H - Meters up to 2" and over 2":			
<i>Corrections</i>	6.15.4 - Water Distribution System (Not Resolved) - Corrective Action: All water mains - If the roads are not anticipated to be extended at any time, drop the main down to a 4" after the hydrants or Tee, so no blow off is needed. (See Plan Markups) (2) Plan Note: All water meter boxes and sanitary sewer clean outs shall not be in conflict with any concrete surface. Any found in conflict shall be relocated by developer/contractor at their expense. - 6.15.4 - Water Distribution System:			
<i>Corrections</i>	6.15.3 - Fire Protection/Fire Flow Capacity (Not Resolved) - Corrective Action: Informational: Water service will be provided by Marion County Utilities. Please consult with Marion County Fire Rescue for any additional comments or requirements related to fire protection. - 6.15.3 - Fire Protection/Fire Flow Capacity:			
<i>Corrections</i>	6.15.4 - Water Main Piping Installation (Not Resolved) - Corrective Action: Extend water main to West side of 39279-026-00 to the furthest parcel boundary, on C25. See Plan Markups - 6.15.4 - Water Main Piping Installation:			
<i>Corrections</i>	6.14.8.A - Completion & Closeout - PLAN NOTE: (Not Resolved) - Corrective Action: Marion County Utilities requires a PDF copy of the utility as-builts for the preliminary walkthrough and project closeout. MCU's GIS and Construction teams will review the PDF as-builts and provide comments. Once all comments have been addressed and revisions made, a DWG/CAD file will be requested to complete the final closeout process. - 6.14.8.A - Completion & Closeout - PLAN NOTE:			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Not Resolved) - Corrective Action: Initial Plan Review \$2,695 - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.2.C(2) - Industrial Pretreatment/FOG (Resolved) - Corrective Action: Grease trap and other pre-treatment will be reviewed during the major site plan review. - 6.14.2.C(2) - Industrial Pretreatment/FOG:			
<i>Corrections</i>	6.14.9.B - Transfer of Assets to MCU - PLAN NOTE: (Not Resolved) - Corrective Action: Work with MCU's Development Review team during pre-construction meeting to start this process to avoid building permit holds or DEP Clearance delays. - 6.14.9.B - Transfer of Assets to MCU - PLAN NOTE:: Assets shown on this plan require a Bill of Sale before any DEP Clearances will be released by MCU. Building permit holds may be affected.			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Resolved) - Corrective Action: Correct on cover sheet - MCU Contact Info on Project Cover Sheet: Marion County Utilities, 11800 S US Hwy 441, Belleview FL 34420 - Customer Service 24/7/365 352-307-6000			

SUBMITTAL SUMMARY REPORT (ImprovePin-000635-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	04/30/2026	05/01/2026	Requires Re-submit
<i>Corrections</i>	6.14.5.A(8) - Connection to existing sanitary (Resolved) - Corrective Action: Connecting to 12" force main - 6.14.5.A(8) - Connection to existing sanitary:			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Resolved) - Corrective Action: Ensure proposed new mains are called out; include profile views. - 6.14.5.A(2) - Proposed mains & connections shown: Proposed mains shall be marked as private or public (MCU); points of demarcation shall be called out as necessary to identify changes in ownership. Shall include profile views unless otherwise noted.			
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown (Not Resolved) - Corrective Action: Plan note to be added: Contractor to verify all existing main locations. - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Corrections</i>	Additional Utilities Comments (Not Resolved) - Corrective Action: Sheet 02.01 WATER MAIN CONSTRUCTION NOTES. Add Note referring to the 4' of minimum cover for sewer force main. Note 23. 3' measurement needs to be from the top of the pipe. - Additional Utilities Comments			
<i>Corrections</i>	6.14.5.B - FDEP PWS and/or WW permits (Not Resolved) - Corrective Action: Informational: The Engineer of Record is responsible for requesting and submitting the appropriate FDEP Public Water System (PWS) and/or Wastewater (WW) permit applications, if applicable. All applications must be signed and sealed prior to submission for Marion County Utilities' signature and must be provided before the Utilities Pre-Construction meeting. - 6.14.5.B - FDEP PWS and/or WW permits:			
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Corrective Action: Correct - Note on cover sheet states "Portion off" but appears to be each parcel entirely. Remove note if not needed. - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	6.15.6.D - Meter Location (Not Resolved) - Corrective Action: Informational: Meters shall be located in rights-of-way, or as approved by MCU - 6.15.6.D - Meter Location:			
<i>Corrections</i>	6.14.4 - Capacity charges - irrigation (Not Resolved) - Corrective Action: Will there be any public irrigation run off MCU water for the subdivision? If yes, we need meter locations with sizes shown on the plan, along with the total irrigated sqft for each meter(s). If by private well, add private well location to the utility plan. - 6.14.4 - Capacity charges - irrigation: Projects using MCU irrigation shall must show the irrigation tap, meter placement, size, and backflow. Indicate total SF of irrigated area in anticipation of the irrigation meter request through Customer Service.			
<i>Corrections</i>	6.14.5.A(3) - LS layout, elevations, schedules (Not Resolved) - Corrective Action: See Plan Markups for potential shift or location of lift station. (2) A minimum 50x50 tract will need to be designated to MCU for the public lift station. (3) Easement will also be required to be shown on plans for FM existing lift station in the green space. NOTE: Please submit your elevations to DFS as soon as possible to avoid delays. Due to the site location, a 21' antenna may not work. - 6.14.5.A(3) - LS layout, elevations, schedules: Lift station details shall be included on a separate page showing general location of LS with details, working elevations & schedules.			
<i>Corrections</i>	6.14.2 - Connection Requirements (Resolved) - Corrective Action: Connecting to Marion County Utilities for water and wastewater. - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	7.1.3 - UT DETAILS - current LDC version (Not Resolved) - Corrective Action: See Plan Notes: Remove Butterfly valve detail. - 7.1.3 - UT DETAILS - current LDC version: UT details shall be current version based on latest edition of approved LDC			
<i>Corrections</i>	6.14.5.A(6) - MH locations, rim & invert elevation (Not Resolved) - Corrective Action: See Plan Markups. - 6.14.5.A(6) - MH locations, rim & invert elevation:			
<i>Corrections</i>	6.15.6.B - Irrigation Water Metering - size (Not Resolved) - Corrective Action: See previous comment: - 6.15.6.B - Irrigation Water Metering - size:			
<i>Corrections</i>	6.15.7 - Cross Connection Control/Backflow (Not Resolved) - Corrective Action: If any commercial or irrigation meters are added: Informational Comment - A backflow hold will be placed on the building permit. Backflows must be tested and the results reported to crossconnectioncontrol@marionfl.org before the final hold can be released. - 6.15.7 - Cross Connection Control/Backflow:			
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Not Resolved) - Corrective Action: Add note to Utility Sheet(s) MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to the start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Development Review Officer; Heather.Proctor@MarionFL.org or (352) 438-2846 - 6.14.7 - Construction Inspection - PLAN NOTE::			
<i>Corrections</i>	6.14.5.B - Submit permits to MCU (DOT, ROW etc) (Not Resolved) - Corrective Action: Informational: Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting. - 6.14.5.B - Submit permits to MCU (DOT, ROW etc):			
<i>Corrections</i>	6.15.5 - Water Service & Connection (Not Resolved) - Corrective Action: Add stub out for amenity center to prevent future drilling under the road. - 6.15.5 - Water Service & Connection :			
<i>Corrections</i>	6.15.6.A - Potable Water Metering - loc/bank/size (Not Resolved) - Corrective Action: Master meters not permitted. Remove from all plan sheets. (2) Plan note: All meter boxes and sewer cleanouts shall not be located within or in conflict with any concrete surface. Any services found to be in conflict shall be relocated by the developer, at the developer's expense, regardless of whether the warranty period has expired - 6.15.6.A - Potable Water Metering - loc/bank/size:			
<i>Corrections</i>	6.14.5.C - Hydraulic Analysis (Not Resolved) - Corrective Action: Was a hydraulic analysis submitted for this project? (2) Submit sewer force main pressure test that was completed. - 6.14.5.C - Hydraulic Analysis: The hydraulic analysis is required to analyze the water or wastewater pressures in this area.			
<i>Corrections</i>	6.14.6 - Utilities design to be owned by MCU (Not Resolved) - Corrective Action: A. All utility systems shall be designed for the estimated tributary population. B. All utility systems shall be designed utilizing components with a minimum 30 year life span. C. Systems intended to be owned and maintained by MCU shall be designed for the tributary population and in conformance with the adopted Marion County Utilities Master Plan, as amended. D. Water systems shall be designed to satisfy the domestic water demand and fire protection requirements. E. All systems to be owned, operated, or maintained by MCU shall be subject to a pre-design meeting with MCU .F. All meters shall be located in a meter easement located adjacent to or within the public right-of-way. G. All meters in an MCU maintained system shall be installed and inspected by MCU after receiving payment of applicable fees and charges. H. All pipe shall comply with state standards. I. The engineer shall provide the required lengths of mechanically restrained joints in table form on the plans. - 6.14.6 - Utilities design to be owned by MCU:			
<i>Corrections</i>	6.14.9.A - Developer's Agreement (Resolved) - Corrective Action: Not requires as of 5/1/26 - 6.14.9.A - Developer's Agreement:			
<i>Comments</i>	Please see Corrections and Plan Markups. Project will be connecting to Marion County Utilities for water and wastewater, by extension.			

SUBMITTAL SUMMARY REPORT (ImprovePin-000635-2026)

eREVIEW SESSION FILES:

_Combined Boundary and Topo Survey.pdf
 _Combined Karst Sensitive Geological Assessment 21-7939.01.1.pdf
 _Combined Plans.pdf
 Atlas_Master Stormwater Report_SS.pdf
 Central Florida RV Park EA 8_24_2021_compressed.pdf
 Supplemental Documents.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Kristie W	Please remove this road name label. This is an easement.	04/23/2026 3:07	PM_Combined Plans.pdf	3
Kristie W	All roads have been labeled with new road names on sheet RN.01. Please label all roads accordingly on all applicable sheets on all future submittals.	04/23/2026 3:57	PM_Combined Plans.pdf	5
Kristie W	SE 111TH ST	04/23/2026 3:59	PM_Combined Plans.pdf	66
Kristie W	SE 111TH LN	04/23/2026 3:59	PM_Combined Plans.pdf	66
Kristie W	SE 86TH AVE	04/23/2026 3:59	PM_Combined Plans.pdf	66
Kristie W	SE 87TH AVE	04/23/2026 4:00	PM_Combined Plans.pdf	66
Kristie W	SE 86TH CT	04/23/2026 4:00	PM_Combined Plans.pdf	66
Kristie W	SE 86TH AVE	04/23/2026 4:01	PM_Combined Plans.pdf	66
Kristie W	SE 84TH AVE	04/23/2026 4:01	PM_Combined Plans.pdf	66
Kristie W	SE 111TH ST	04/23/2026 4:01	PM_Combined Plans.pdf	66
Kristie W	SE 112TH ST	04/23/2026 4:02	PM_Combined Plans.pdf	66
Kristie W	SE 112TH LN	04/23/2026 4:02	PM_Combined Plans.pdf	66
Kristie W	SE 112TH PL	04/23/2026 4:02	PM_Combined Plans.pdf	66
Kristie W	SE 85TH COURT RD	04/23/2026 4:02	PM_Combined Plans.pdf	66
Kristie W	SE 85TH COURT RD	04/23/2026 4:03	PM_Combined Plans.pdf	66
Kristie W	SE 112TH STREET RD	04/23/2026 4:04	PM_Combined Plans.pdf	66
Kristie W	SE 112TH LOOP	04/23/2026 4:05	PM_Combined Plans.pdf	66
Kristie W	SE 112TH LOOP	04/23/2026 4:05	PM_Combined Plans.pdf	66
Kristie W	SE 112TH LOOP	04/23/2026 4:05	PM_Combined Plans.pdf	66
Kristie W	SE 88TH COURT RD	04/23/2026 4:06	PM_Combined Plans.pdf	66
Kristie W	SE 88TH COURT RD	04/23/2026 4:07	PM_Combined Plans.pdf	66
Kristie W	SE 88TH COURT RD	04/23/2026 4:08	PM_Combined Plans.pdf	66
Kristie W	Please label roads accordingly on all applicable sheets on all future submittals.	04/23/2026 4:08	PM_Combined Plans.pdf	66
Kristie W	9-1-1 REQUIRES RESUBMIT	04/23/2026 4:22	PM_Combined Plans.pdf	1
Kristie W	Please remove Portion of Parcel. This project encompasses the entire 3 parcels.	04/24/2026 12:26	PM_Combined Plans.pdf	1
Kristie W	Please remove label. This is an easement.	04/24/2026 12:31	PM_Combined Plans.pdf	3
Alexander	Please list the DHWL & SHWL	04/27/2026 5:44	PM_Combined Plans.pdf	57
Theresa S.	Please provide Sec. 2.12.8. - Current boundary and topographic survey.oCurrent boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.o(Ord. No. 13-20, § 2, 7-11-2013)	04/28/2026 1:24	PM_Combined Boundary and Topo Survey.pdf	1
Heather Proctor	Drop to 4"	05/01/2026 6:10	PM_Combined Plans.pdf	6
Heather Proctor	Drop to 4"	05/01/2026 6:10	PM_Combined Plans.pdf	6
Heather Proctor	Drop to 4"	05/01/2026 6:11	PM_Combined Plans.pdf	6
Heather Proctor	Move valve to tee for street M	05/01/2026 6:12	PM_Combined Plans.pdf	6
Heather Proctor	Move valve to tee for street K	05/01/2026 6:12	PM_Combined Plans.pdf	6
Heather Proctor	All water meter boxes and sanitary sewer clean outs shall not be in conflict with any concrete surface. Any found in conflict shall be relocated by developer/contractor at their expense.	05/01/2026 6:13	PM_Combined Plans.pdf	6
Heather Proctor	All valves need to be at tee, not across the street (TYP)	05/01/2026 6:13	PM_Combined Plans.pdf	6
Heather Proctor	Would it be possible to move the lift station further down into the corner? It may potentially free up another lot, and the Lift station wouldn't be pumping directly next to two mobile homes.	05/01/2026 6:15	PM_Combined Plans.pdf	6
Heather Proctor	Remove Master Meter.	05/01/2026 6:18	PM_Combined Plans.pdf	6
Heather Proctor	Extend water to W side of parcel boundary to cover parcel frontage. No, Tee and valve needed.	05/01/2026 6:20	PM_Combined Plans.pdf	6
Heather Proctor	Move hydrant location East away from intersection	05/01/2026 6:23	PM_Combined Plans.pdf	6
Heather Proctor	Move valve past lot 96	05/01/2026 6:24	PM_Combined Plans.pdf	7
Heather Proctor	Remove valve to the east	05/01/2026 6:24	PM_Combined Plans.pdf	7
Heather Proctor	Move hydrant away from intersection	05/01/2026 6:24	PM_Combined Plans.pdf	7



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Atlas Tranquility Park - Improvement Plan
ImprovePIn-000635-2026

Development Review Committee Waiver Request Form

Per Section 2.10.1. of the Land Development Code: The Development Review Committee (DRC) may waive certain code requirements when not applicable to the proposed type of development or where alternative standards may promote flexibility, economical flexibility, and environmental soundness in layout and design.

Waiver requests and required documentation may be submitted through Civic Access. Waiver requests will not be processed without required information and applicable fees paid. Please be specific with all entries below.

Section Number & Title of Code:

6.12.9 (H) - Subdivision roads and related infrastructure

Section Details from Code:

CODE states (H) Dead end roads shall not exceed 1,500 feet and shall have a cul-de-sac at the terminal end. Refer to details in Section 7.3.1. Dead end roads intended to provide future access to adjacent unplatted areas may be permitted without a cul-de-sac provided that no lots front thereon, the length does not exceed 1,500 feet, and appropriate temporary end-of-road markers are provided.

Reason/Justification for Request:

Request a waiver for Dead end road without cul-de-sac. A hammerhead with dead end segments less than 150' in length have been provided as an alternative turn around.

Section Number & Title of Code:

6.12.9 - Subdivision Roads and Related Infrastructure

Section Details from Code:

CODE states A. In residential subdivisions, the road system shall be designed to serve the needs of the neighborhood and to discourage use by truck traffic and through traffic and still provide access to adjacent neighborhoods for emergency services. The use of neighborhood traffic calming devices such as traffic circles, cul-de-sac, etc. are encouraged in residential areas. B. Major local roads shall be identified on plans. C. All roads and related infrastructure within the proposed subdivision shall be designed, constructed, and paved to County specifications provided herein. D. The developer shall be required to design, construct, and pave to County specifications, one road from the subdivision to the nearest paved, public roadway with legal access, if such a road does not already exist. E. Roads and stormwater facilities within a subdivision shall be dedicated as either public or private. F. Public dedications shall be pre-approved by the Development Review Committee. If a MSBU is established as the maintenance and operation entity, roads and stormwater facilities can be platted as public. G. Cul-de-sac diameters to the right-of-way line shall not be less than 120 feet with a pavement radius of 40 feet for residential subdivisions and shall not be less than 120 feet to the right-of-way line with a pavement radius of 45 feet for commercial or industrial subdivisions. Refer to details in Section 7.3.1. A grassed island no greater than 50 feet in diameter may be constructed in the center of a cul-de-sac. H. Dead end roads shall not exceed 1,500 feet and shall have a cul-de-sac at the terminal end. Refer to details in Section 7.3.1. Dead end roads intended to provide future access to adjacent unplatted areas may be permitted without a cul-de-sac provided that no lots front thereon, the length does not exceed 1,500 feet, and appropriate temporary end-of-road markers are provided. I. The total perimeter of a block shall not exceed 4,500 feet. Larger block perimeters will be permitted for blocks surrounding or adjacent to natural or artificial features such as lakes, rivers, and golf courses where limiting block lengths are not feasible and impractical. J. Corner radii at the intersection of the two rights-of-way shall be not less than 25 feet. Minimum pavement radii shall be 40 feet for residential subdivisions and 50 feet for commercial or industrial subdivisions. K. Centerline radii shall be designed to accommodate the minimum design speed of 30 mph for subdivision local and minor local roads, 40 mph for major local and collector roads, and 45 mph for arterial roads in accordance with FDOT and AASHTO Standards. L. Evacuation routes for developments shall be indicated on the improvement plans.

Reason/Justification for Request:

Request a waiver for the roadway centerlines not meeting centerline radii for 30 mph design speed. Proposed curves warranting lower design speeds will have proper signage.

Section Number & Title of Code:

6.13.7 - Geotechnical Criteria

Section Details from Code:

CODE states A. Methodology. The pattern and type of test borings shall be determined by the project engineer, geotechnical engineer, or geologist based on the project size, type, and complexity. (1) Infiltration/permeability rate tests shall follow methods acceptable to the governing State agency and shall be performed at the depth and location which will provide representative test results for use in the design of the retention/detention area. Soil identifications shall refer to the AASHTO Soil Classification System conforming to AASHTO Designation M 145-91. (2) Where visual reconnaissance, available published data, and/or initial borings suggest high karst sensitivity or lithologic variability, additional borings may be required if deemed necessary by the County Engineer or his designee. B. Minimum requirements. (1) Depth. Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. (2) Number of tests. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. The County Engineer or his designee, may require additional tests if the initial tests indicate the need for them. (3) Infiltration/permeability tests. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. (4) Aquifer parameters. The estimated seasonal high ground water elevation and confining layer shall be clearly identified. C. Design considerations. (1) The estimated seasonal high water elevation and the confining layer shall be set no lower than the bottom of the boring for the purposes of stormwater system modeling. (2) The pond bottom elevation of a stormwater facility shall be designed a minimum of 1 foot above the estimated seasonal high water elevation. When the pond bottom is within 1 foot of the estimated seasonal high water elevation, a 50 percent reduction factor shall be used for percolation or ground water mounding analysis shall be included.

Reason/Justification for Request:

Waiver requested to providing an additional soil boring in DRA 5. The provided soil borings are all consistent.

Section Number & Title of Code:

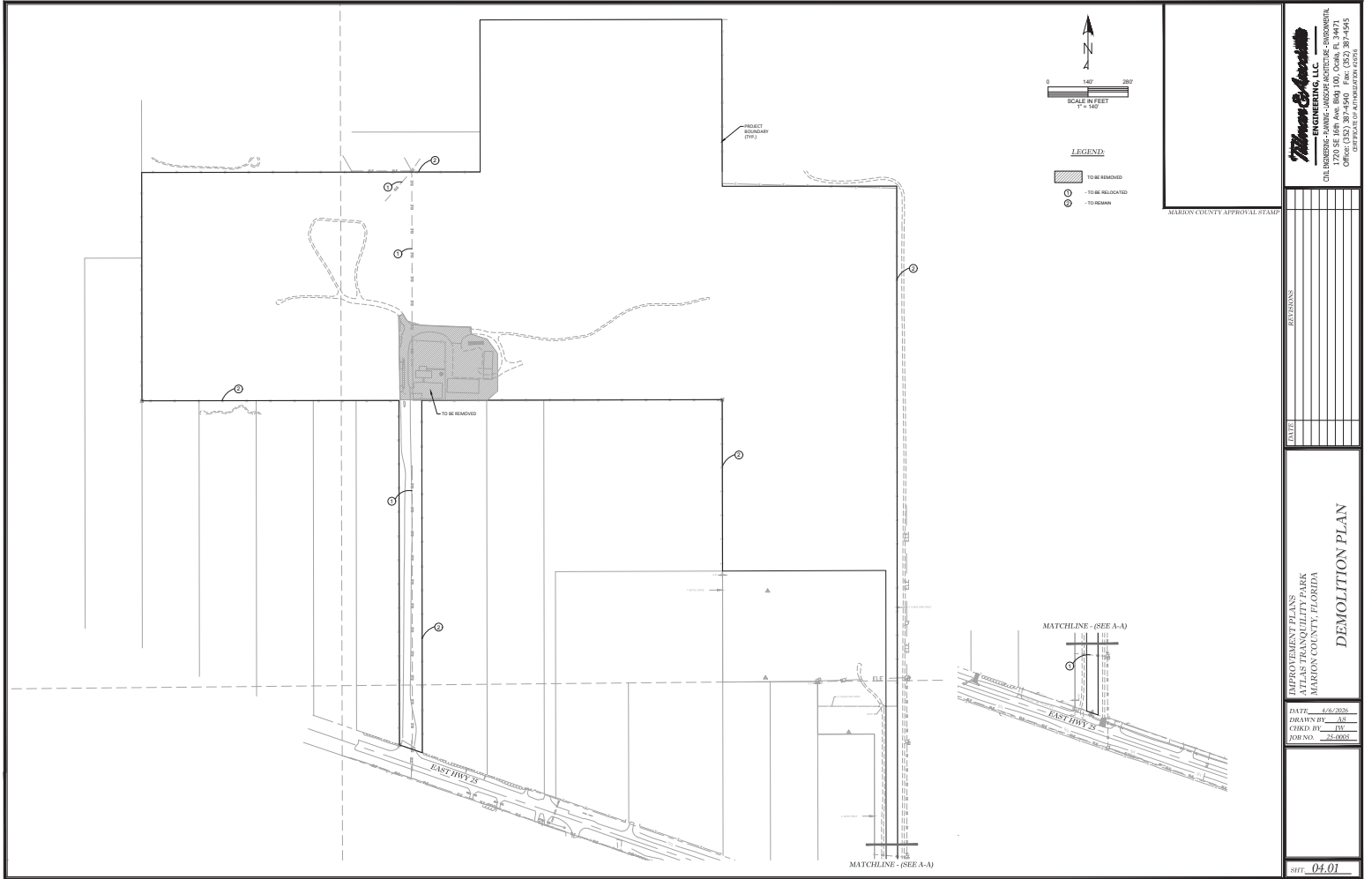
Section Details from Code:

Reason/Justification for Request:

Section Number & Title of Code:

Section Details from Code:

Reason/Justification for Request:



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Winters & Associates
ENGINEERING, LLC
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 7201 SE 108th Ave, Suite 100, Ocala, FL 34471
 352-237-0975
 OR CONTACT US AT WINTERS@WAS-FL.COM

MARRION COUNTY APPROVAL STAMP

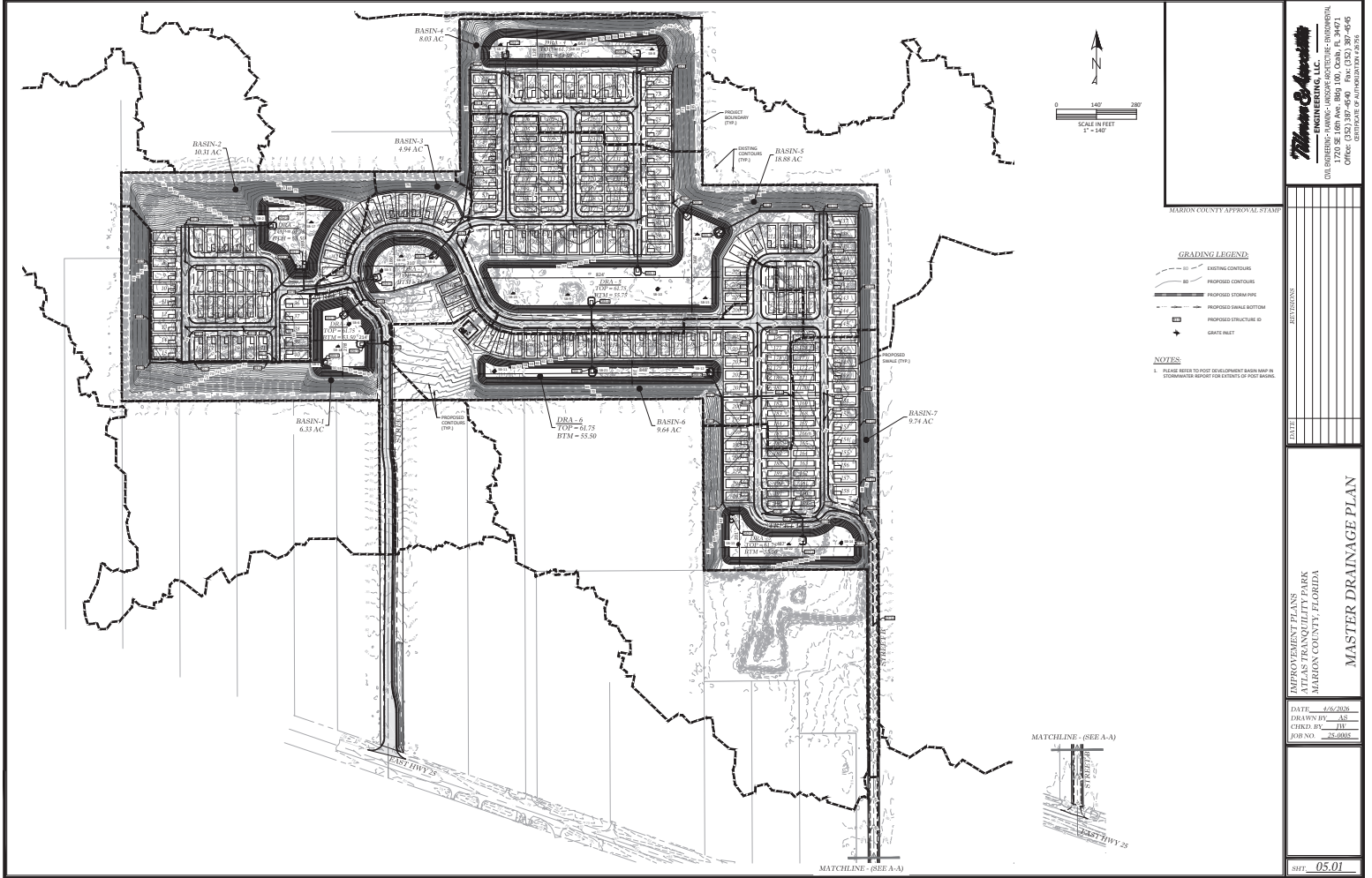
DATE	
BY	
TITLE	

PROJECT NAME
 ATLAS TRANQUILITY PARK
 MARRION COUNTY, FLORIDA

DEMOLITION PLAN

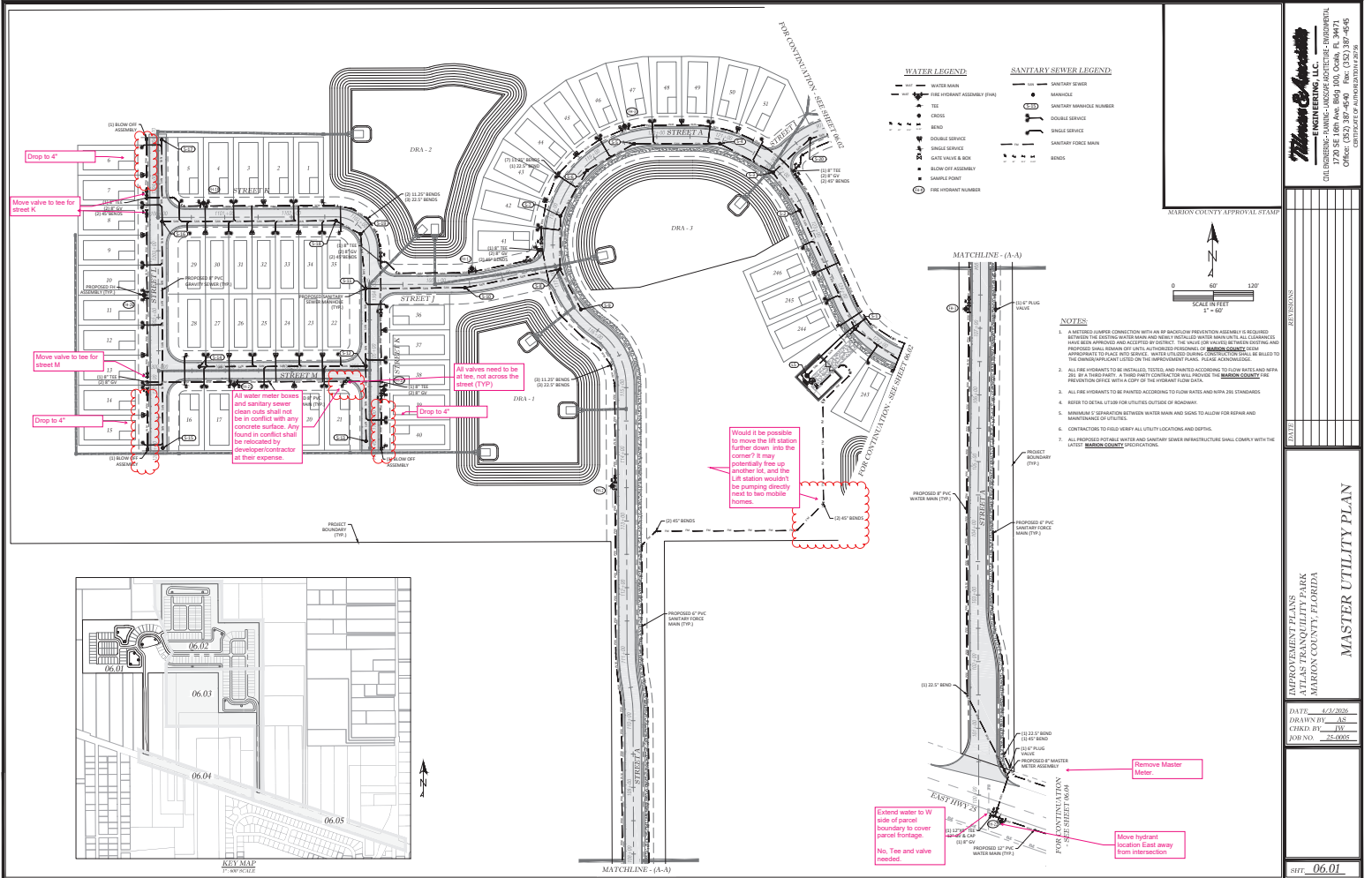
DATE: 4/6/2025
 DRAWN BY: AS
 CHECKED BY: JH
 PROJECT NO.: 25-0001

SHEET: 04.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

 THOMAS & ASSOCIATES ENGINEERING, LLC <small>CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL 1720 SE 10th Ave. Bldg. 100, Ocala, FL 34471 OFFICE: 352.369.4300 FAX: 352.369.4306 WWW.TAENGINEERING.COM</small>	
MARION COUNTY APPROVAL STAMP	
GRADING LEGEND	
<p>NOTES:</p> <p>1. PLEASE REFER TO POST DEVELOPMENT BASIN MAP IN STORMWATER REPORT FOR EXTENTS OF POOL BASINS.</p>	
APPROVAL: _____ TITLE: _____	MASTER DRAINAGE PLAN
IMPROVEMENT PLAN: _____ DRAWN BY: AS CHECKED BY: JW DATE: 10/20/24 DATE: 10/20/24	
SHEET: 05.01	



WATER LEGEND

- WATER MAIN
- SANITARY FORCE MAIN (SFM)
- TEE
- CROSS
- BEND
- DOUBLE SERVICE
- SINGLE SERVICE
- GATE VALVE & BOX
- BACKFLOW PREVENTER
- METER ASSEMBLY
- FIRE HYDRANT NUMBER

SANITARY SEWER LEGEND

- SANITARY SEWER
- MANHOLE
- SANITARY MANHOLE NUMBER
- DOUBLE SERVICE
- SINGLE SERVICE
- SANITARY FORCE MAIN
- BEND

- NOTES**
- A METEED GUNNER CONNECTION WITH AN 8" BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE DEVELOPER'S PROPERTY AND THE PUBLIC WATER MAIN LINE. ALL CONNECTIONS HAVE BEEN APPROVED AND ACCEPTED BY DISTRICT. THE VALUE OR MAKEUP OF THESE EXISTING AND PROPOSED MANHOLE LIDS OR UTILITY ENCLOSURES SHALL BE DETERMINED BY THE MARION COUNTY ENGINEER. APPROPRIATE TO PLACE INTO SERVICE. WATER UTILIZED DURING CONSTRUCTION SHALL BE BELLED TO THE DEVELOPER'S PROPERTY OR TO THE APPROPRIATE PUBLIC WATER MAIN LINE.
 - ALL FIRE HYDRANTS TO BE INSTALLED, TESTED AND PAINTED ACCORDING TO FLORIDA WATER AND SEWER DISTRICT #10 STANDARDS. A THIRD PARTY CONTRACTOR SHALL PROVIDE THE MARION COUNTY FIRE PREVENTION SPECIFIC WITH A COPY OF THE HYDRANT FLOW DATA.
 - ALL FIRE HYDRANTS TO BE PAINTED ACCORDING TO FLORIDA WATER AND SEWER DISTRICT #10 STANDARDS.
 - REFER TO DETAIL UT-100 FOR UTILITIES OUTSIDE OF ROADWAY.
 - MINIMUM 3' SEPARATION BETWEEN WATER MAIN AND SIGS TO ALLOW FOR REPAIR AND MAINTENANCE OF UTILITIES.
 - CONTRACTORS TO FIELD VERIFY ALL UTILITY LOCATIONS AND DEPTHS.
 - ALL PROPOSED WATER AND SANITARY SEWER INFRASTRUCTURE SHALL COMPLY WITH THE LATEST MARION COUNTY SPECIFICATIONS.

Marion Engineering, LLC
 ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ARCHITECTURAL
 1726 S.E. 10th Ave. (Bldg. 100) Cass, FL 32011
 PHONE: 904.261.4400
 FAX: 904.261.4405
 LICENSE NO. 12000

MARION COUNTY APPROVAL STAMP

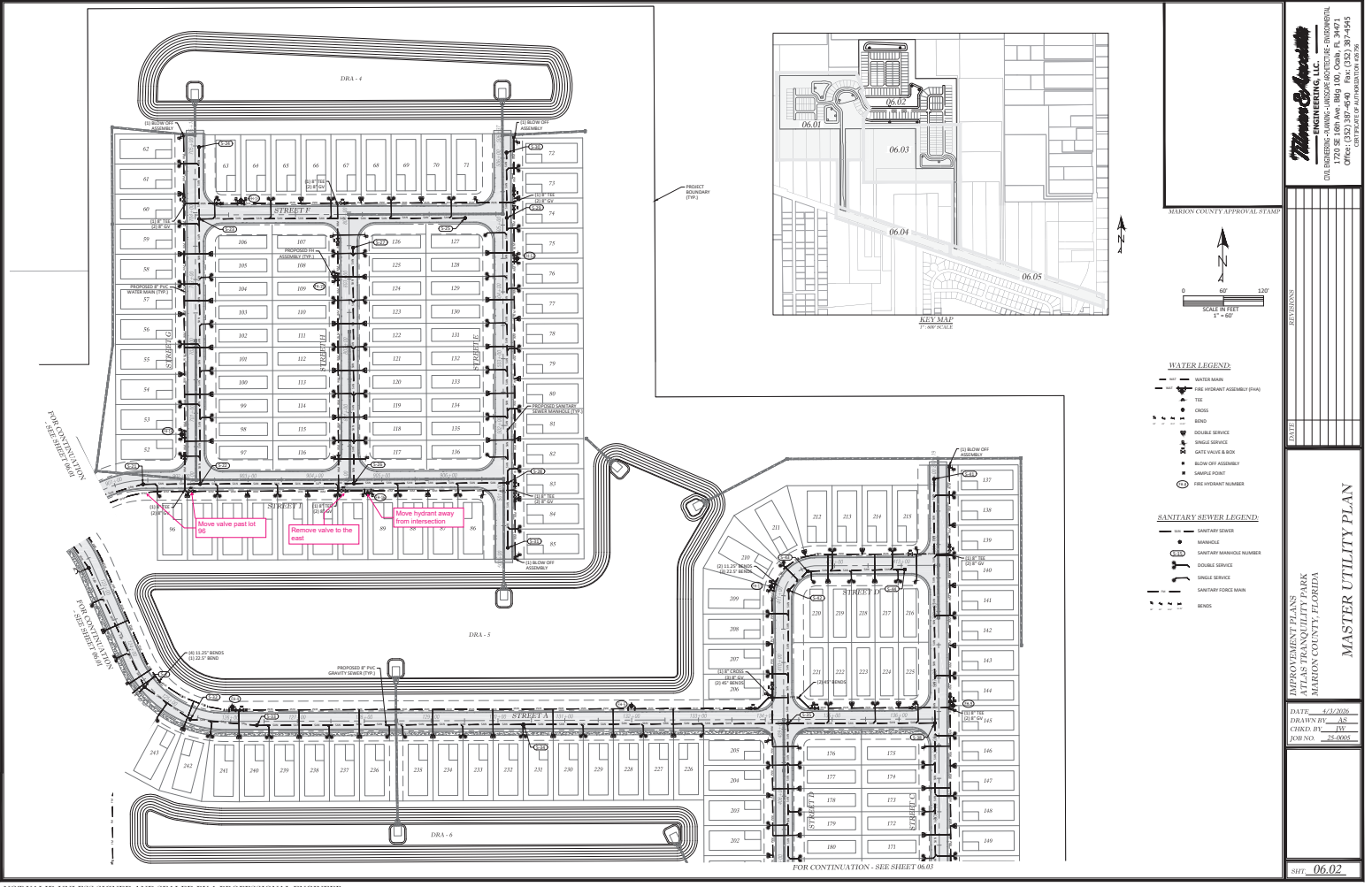
DATE	
BY	
TITLE	

PROPOSED MASTER UTILITY PLAN
 ATLAS TRANQUILITY PARK
 MARION COUNTY, FLORIDA

DATE: 4/3/2020
 DRAWN BY: AS
 CHECKED BY: JV
 JOB NO.: 22-0001

SHEET: 06.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

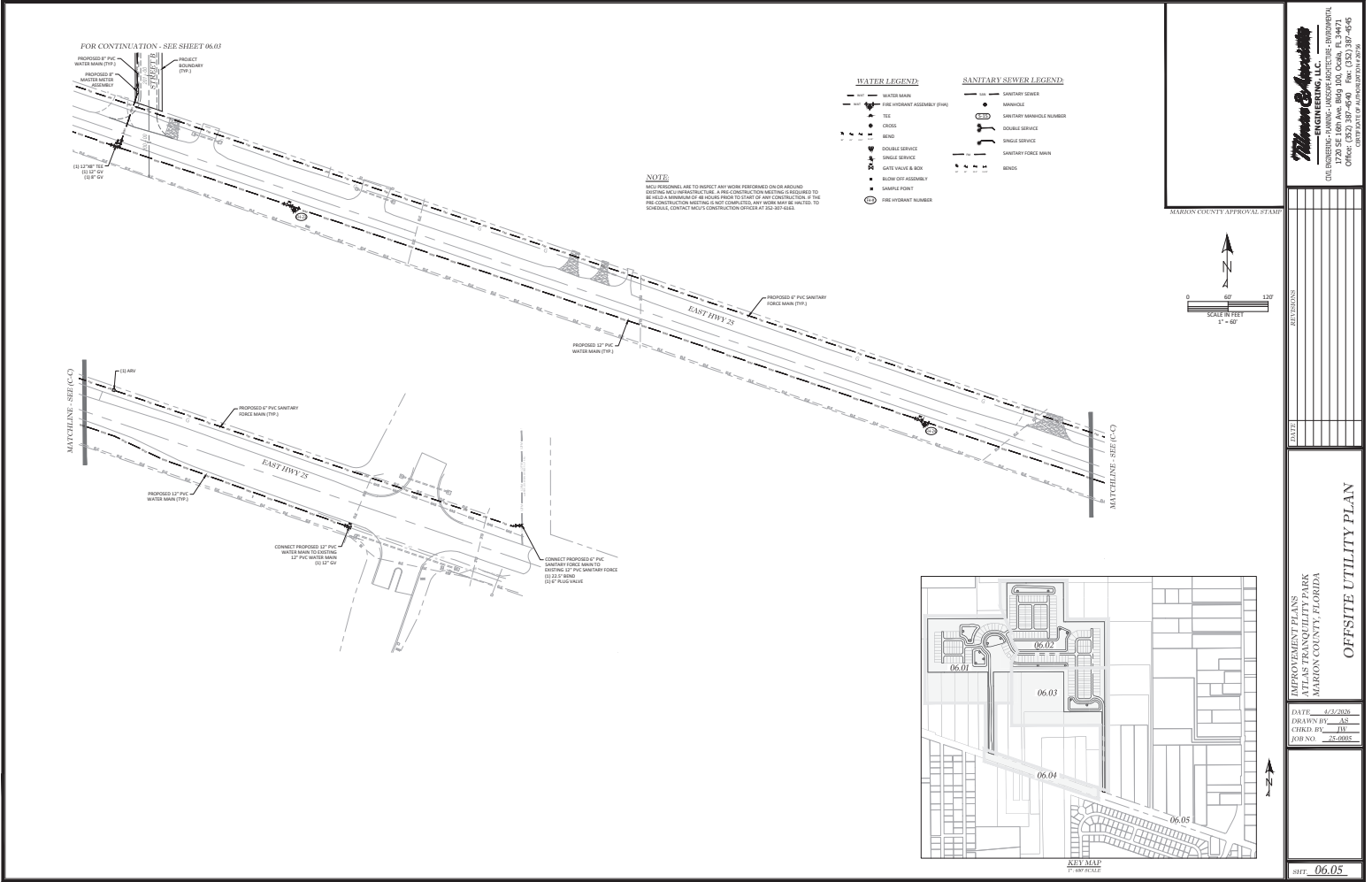
Marion & Associates
ENGINEERING, L.L.C.
 2016 W. UNIVERSITY BLVD., SUITE 1000, GAINESVILLE, FLORIDA 32609
 PHONE: (352) 337-4540 FAX: (352) 337-4545
 WWW.MARIONENGINEERING.COM

IMPROVEMENT PLANS
ATLAS TRANQUILITY PARK
MARION COUNTY, FLORIDA

MASTER UTILITY PLAN

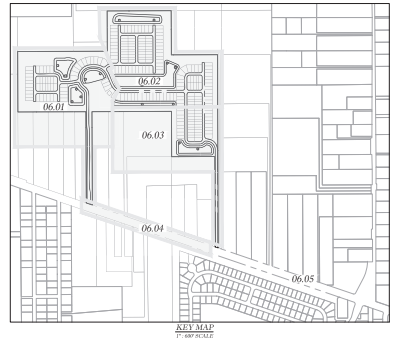
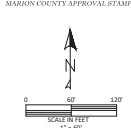
DATE: 4/1/2016
 DRAWN BY: AS
 CHECK BY: JLV
 JOB NO.: 16-0005

SHEET: **06.02**



NOTE
 NOT PERSONNEL ARE TO PERFORM ANY WORK PERFORMED ON OR AROUND EXISTING AND/OR MANUFACTURED. A P&C CONSTRUCTION NOTING IS REQUIRED TO BE FILED IMMEDIATELY BE FOREGROUND TO THE DATE OF WORK CONSTRUCTION. IN THE PRESENCE OF THE P&C, NOT CONSTRUCTION, THE WORK MAY BE SCHEDULED TO CONTACT THE COUNTY'S CONSTRUCTION OFFICER AT 352-307-5655.

- | WATER LEGEND | | SANITARY SEWER LEGEND | |
|--------------|-----------------------------|-----------------------|-------------------------|
| — 12" P.V.C. | WATER MAIN | — 12" P.V.C. | SANITARY SEWER |
| — 18" P.V.C. | FIRE HYDRANT ASSEMBLY (FHA) | — 12" P.V.C. | MANHOLE |
| — 12" P.V.C. | TEE | — 12" P.V.C. | SANITARY MANHOLE NUMBER |
| — 12" P.V.C. | CROSS | — 12" P.V.C. | DOUBLE SERVICE |
| — 12" P.V.C. | BEND | — 12" P.V.C. | SINGLE SERVICE |
| — 12" P.V.C. | DOUBLE SERVICE | — 12" P.V.C. | SANITARY FORCE MAIN |
| — 12" P.V.C. | SINGLE SERVICE | — 12" P.V.C. | BENDS |
| — 12" P.V.C. | GATE VALVE & BOX | | |
| — 12" P.V.C. | BLOW OFF ASSEMBLY | | |
| — 12" P.V.C. | SAMPLE POINT | | |
| — 12" P.V.C. | FIRE HYDRANT NUMBER | | |



Morgan & Associates, Inc.
 ENGINEERS & ARCHITECTS
 1720 SE 1st Ave. Bldg. 100, Ocala, FL 34471
 OFFICE PHONE: 352-358-4646
 CELL PHONE: 352-233-2225

MARRION COUNTY APPROVAL STAMP

REVISIONS

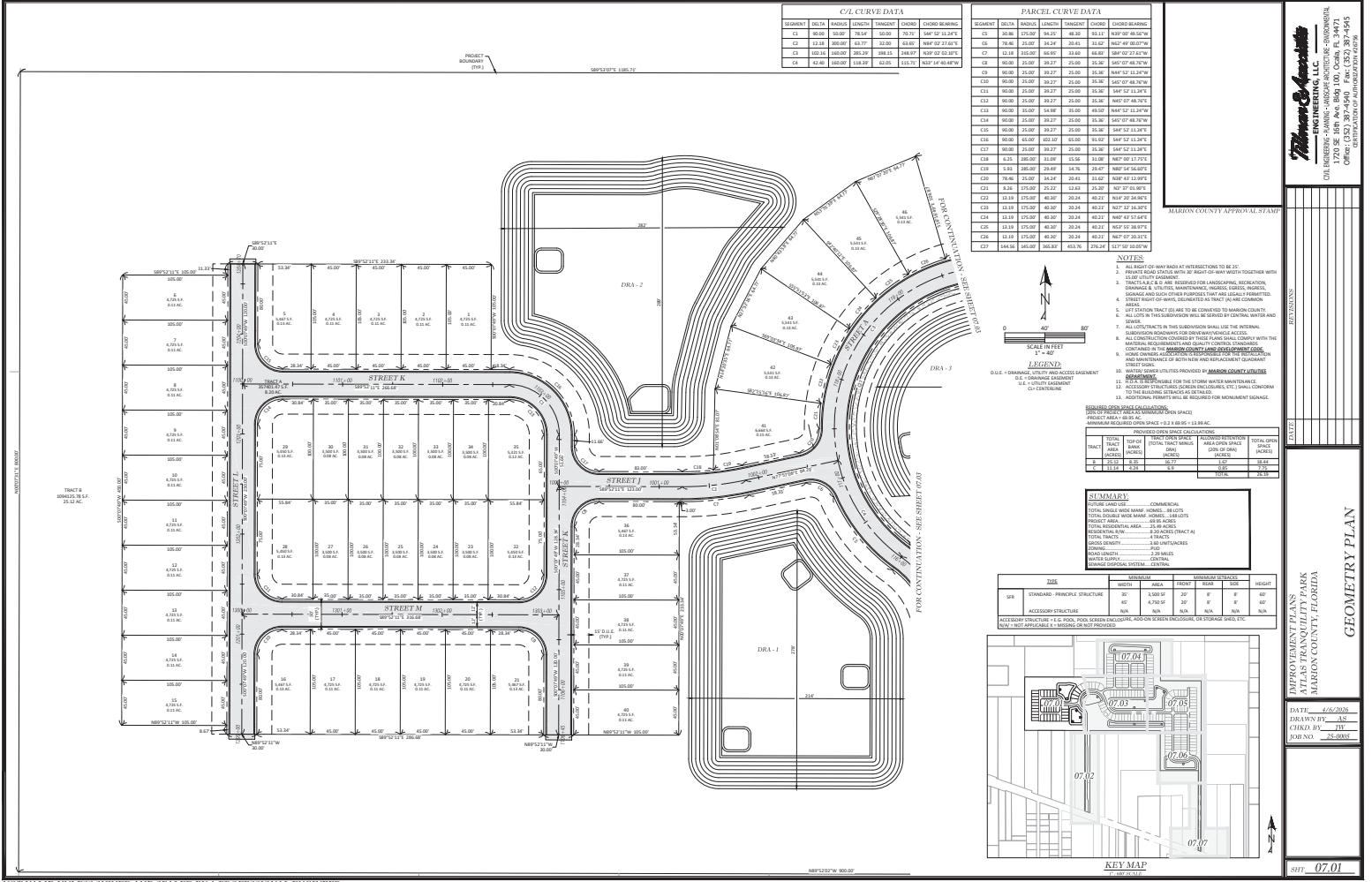
DATE: 4/22/2020
 DRAWN BY: AS
 CHECKED BY: JW
 JOB NO.: 20-0983

IMPROVEMENT PLANS
 EAST HWY 28
 MARRION COUNTY, FLORIDA

OFFSITE UTILITY PLAN

SHEET **06.05**

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



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Matthew & Associates
ENGINEERING, LLC
1720 SE 18th Ave. Box 100, Ocala, FL 34471
Phone: 352-235-9495
Fax: 352-235-9496
www.mandassoc.com

MARRON COUNTY APPROVAL STAMP

LEGEND
D.E. - DRAINAGE EASEMENT
D.L. - DRAINAGE LOT
D.C. - DRAINAGE CENTERLINE

NOTES

- ALL RIGHT-OF-WAY BOUNDS AT INTERSECTIONS TO BE SET.
- RIGHT-OF-WAY LOCATIONS TO BE RIGHT-OF-WAY MARKS TOGETHER WITH CURVE DATA.
- TRACTS A, B, & C ARE RESERVED FOR LANDSCAPING, RECREATION, OPEN SPACE, AND OTHER PURPOSES THAT ARE IDEALLY PERMITTED. STORAGE AND SUCH OTHER PURPOSES THAT ARE IDEALLY PERMITTED.
- ALL CURVE DATA TO BE SET AT INTERSECTIONS.
- LEFT-OF-WAY TRACTS TO BE TO BE CONVEYED TO MARRON COUNTY.
- ALL CURVE DATA TO BE CONVEYED TO MARRON COUNTY.
- ALL CONSTRUCTION IN THIS SUBDIVISION SHALL USE THE INTERNAL BOUNDARY SURVEY FOR THE DRAINAGE EASEMENTS.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MARRON COUNTY AND MARRON COUNTY ENGINEERING DEPARTMENT REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF DRAINAGE SYSTEMS.
- STREET SIGNS SHALL BE PROVIDED BY MARRON COUNTY UTILITIES DEPARTMENT.
- MAINTENANCE RESPONSIBILITY FOR THE STORM WATER MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PARCEL.
- CONSTRUCTION PERMITS SHALL BE OBTAINED FOR MONUMENT SURVEY.

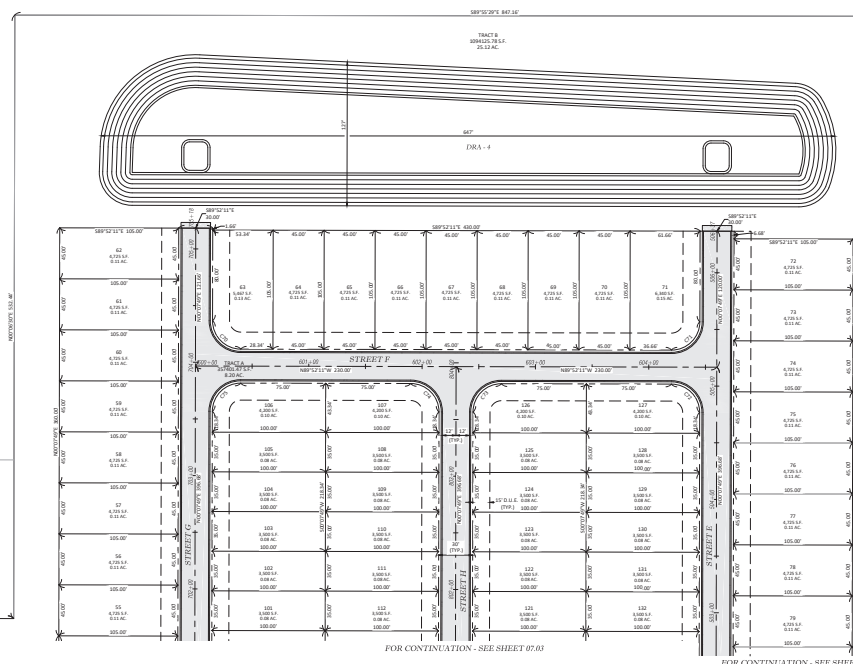
SUMMARY

USE	AREA (AC)	PERCENT OF TOTAL
STANDARD - PRINCIPLE STRUCTURE	30	100%
ACCESSORY STRUCTURE	0	0%
TOTAL	30	100%

KEY MAP

DATE: 06/20/2020
DRAWN BY: AS
CHECKED BY: JH
FOR: 07.01

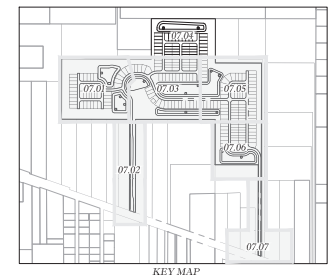
MARRON COUNTY APPROVAL STAMP
MARRON COUNTY, FLORIDA
GEOMETRY PLAN



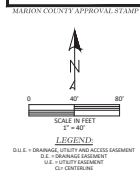
FOR CONTINUATION - SEE SHEET 07.03

FOR CONTINUATION - SEE SHEET 07.05

STATION	CHORD	ARC LENGTH	ANGLE	TANGENT	CHORD BEARING
C70	80.00	25.00	15.27	25.00	S44°13'11.24\"
C71	80.00	25.00	15.27	25.00	S44°07'48.76\"
C72	80.00	25.00	15.27	25.00	S44°02'16.28\"
C73	80.00	25.00	15.27	25.00	S43°56'43.79\"
C74	80.00	25.00	15.27	25.00	S43°51'11.31\"
C75	80.00	25.00	15.27	25.00	S43°45'38.82\"



KEY MAP



LEGEND
 D.U.E. - DRAINAGE UTILITY AND ACCESS AGREEMENT
 S.U.E. - SURFACE EASEMENT
 C.L. - CENTERLINE

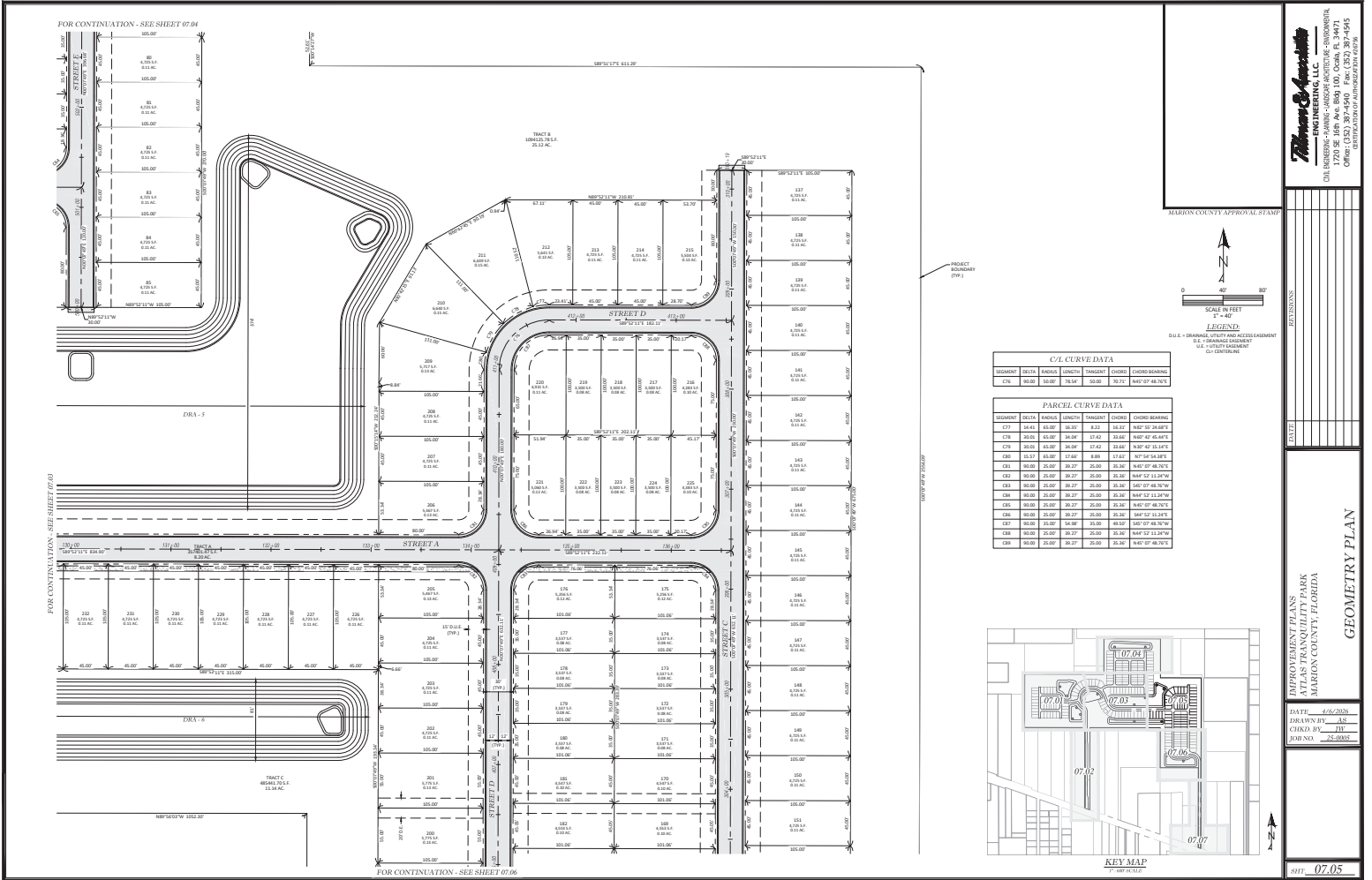
Marion County Engineering, LLC
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - SURVEYING
 1720 SE 10TH AVE SUITE 100, Ocala, FL 34471
 (352) 236-7975
 www.marioncountyma.com

MARION COUNTY APPROVAL STAMP

DATE: 4/26/2024
 DRAWN BY: AS
 CHECKED BY: JH
 FORNO: 25-0000

PROJECT: MARION COUNTY, FLORIDA
 ATLAS TRANQUILITY PARK
 GEOMETRY PLAN

SHEET: 07.04

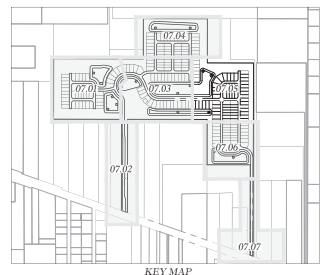


C/L CURVE DATA

SEGMENT	DELTA	PINCH	LENGTH	TANGENT	CHORD	CHORD BEARING
CR1	90.00	10.00	73.64	50.00	35.31	S45° 07' 48.75" E

PARCEL CURVE DATA

SEGMENT	DELTA	PINCH	LENGTH	TANGENT	CHORD	CHORD BEARING
CR1	164.12	65.00	16.92	11.22	16.11	S69° 02' 26.84" E
CR2	32.00	15.00	26.08	17.42	16.00	S89° 02' 46.64" E
CR3	20.00	10.00	18.00	12.42	10.00	S89° 02' 46.64" E
CR4	15.57	10.00	17.00	11.00	12.51	S77° 05' 14.87" E
CR5	90.00	10.00	73.64	50.00	35.31	S45° 07' 48.75" E
CR6	90.00	10.00	73.64	50.00	35.31	S45° 07' 48.75" E
CR7	90.00	10.00	73.64	50.00	35.31	S45° 07' 48.75" E
CR8	90.00	10.00	73.64	50.00	35.31	S45° 07' 48.75" E
CR9	90.00	10.00	73.64	50.00	35.31	S45° 07' 48.75" E



MARION COUNTY APPROVAL STAMP

SCALE IN FEET
1" = 40'

LEGEND
D.U.E. - DRAINAGE UTILITY AND ACCESS/EGRESSMENT
D.E. - DRAINAGE EGRESSMENT
C/L - CENTERLINE

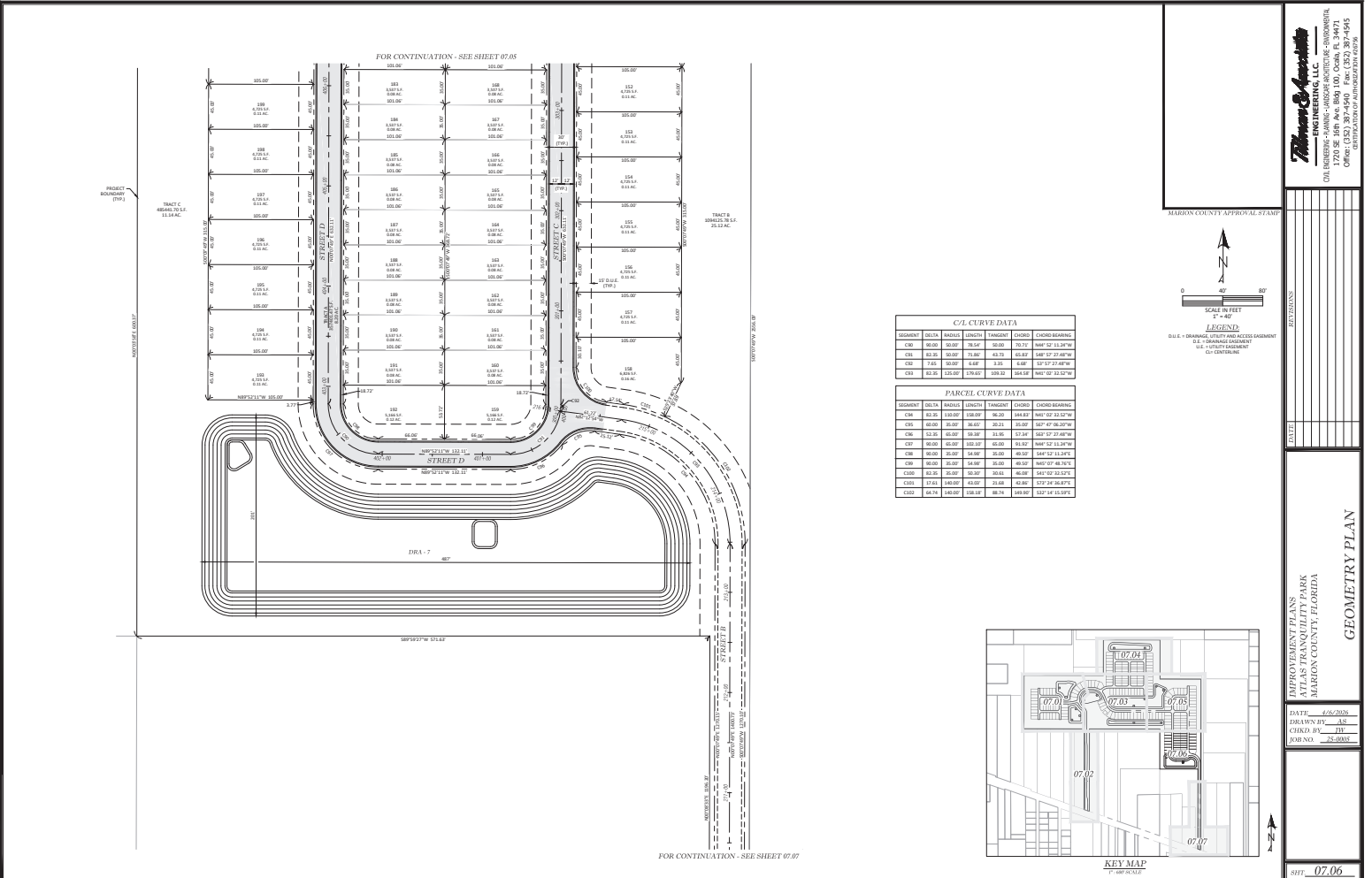
Thompson & Associates
ENGINEERING, LLC
1720 SE 105th Ave # 100, Ocala, FL 34471
PHONE: 352-237-0975
FAX: 352-237-0976
WWW.TA-FLORIDA.COM

DATE: 07/20/2020
DRAWN BY: AS
CHECK BY: JH
FORMA: 22-0000

SHEET: 07.05

GEOMETRY PLAN

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FOR CONTINUATION - SEE SHEET 07.05

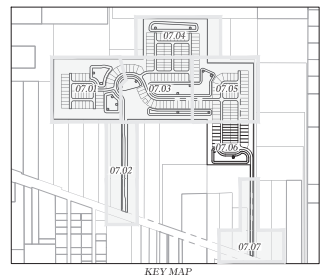
FOR CONTINUATION - SEE SHEET 07.07

C/L CURVE DATA

SEQUENT	BEARING	LENGTH	CHORD	CHORD BEARING
C01	S 89.50° E	30.00	29.97	S 89.50° E 29.97'
C02	S 89.50° E	30.00	29.97	S 89.50° E 29.97'
C03	S 89.50° E	30.00	29.97	S 89.50° E 29.97'
C04	S 89.50° E	30.00	29.97	S 89.50° E 29.97'

PARCEL CURVE DATA

SEQUENT	BEARING	LENGTH	CHORD	CHORD BEARING
P01	S 89.50° E	30.00	29.97	S 89.50° E 29.97'
P02	S 89.50° E	30.00	29.97	S 89.50° E 29.97'
P03	S 89.50° E	30.00	29.97	S 89.50° E 29.97'
P04	S 89.50° E	30.00	29.97	S 89.50° E 29.97'



THOMAS & ASSOCIATES ENGINEERING, LLC
 CIVIL ENGINEERING - PLANNING - ARCHITECTURE - ENVIRONMENTAL
 1720 SE 10th Ave, Box 100, Ocala, FL 34471
 (352) 343-2000
 www.thomasandassociates.com

LEGEND

- D.L. = DRAINAGE UTILITY AND ACCESS EASEMENT
- S.L. = SANITATION EASEMENT
- C.L. = CENTERLINE

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

PROJECT NO.: 2020-001
 PROJECT NAME: TRACT C, BEARD TRACT, 11 LOTS, 180-195
 LOCATION: MARION COUNTY, FLORIDA

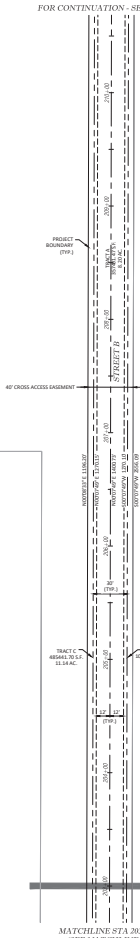
DATE: 06/20/2020
DRAWN BY: AS
CHECKED BY: JH
ISSUED: 06/20/2020

GEOMETRY PLAN

SHEET: 07.06

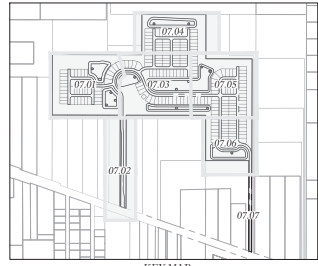
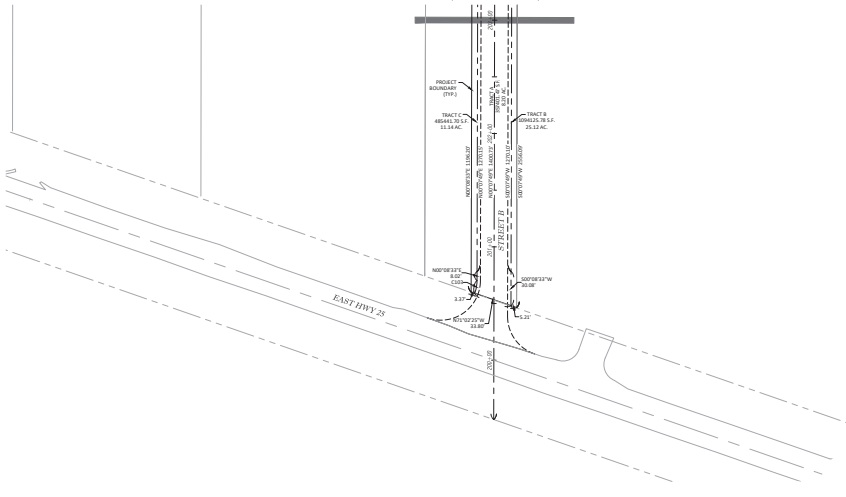
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

FOR CONTINUATION - SEE SHEET 07.06

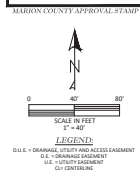


MATCHLINE STA 203+00.00
(SEE MATCHLINE B-B)

MATCHLINE STA 204+00.00
(SEE MATCHLINE B-B)



PARCEL CURVE DATA						
SEGMENT	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CURVE BEARING
C801	20.31	32.89	13.96	5.78	11.28	N10° 17' 50.371"



LEGEND
 D.U.E. = DRAINAGE UTILITY AND ACCESS EASEMENT
 D.E. = DRAINAGE EASEMENT
 U.E. = UTILITY EASEMENT
 C.V. = CENTERLINE

Thomas & Associates
 ENGINEERING, LLC
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 105th Ave, Suite 100, Ocala, FL 34471
 Phone: 352-237-0755
 Fax: 352-237-0750
 Website: www.thomasandassociates.com

DATE	DESCRIPTION

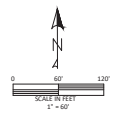
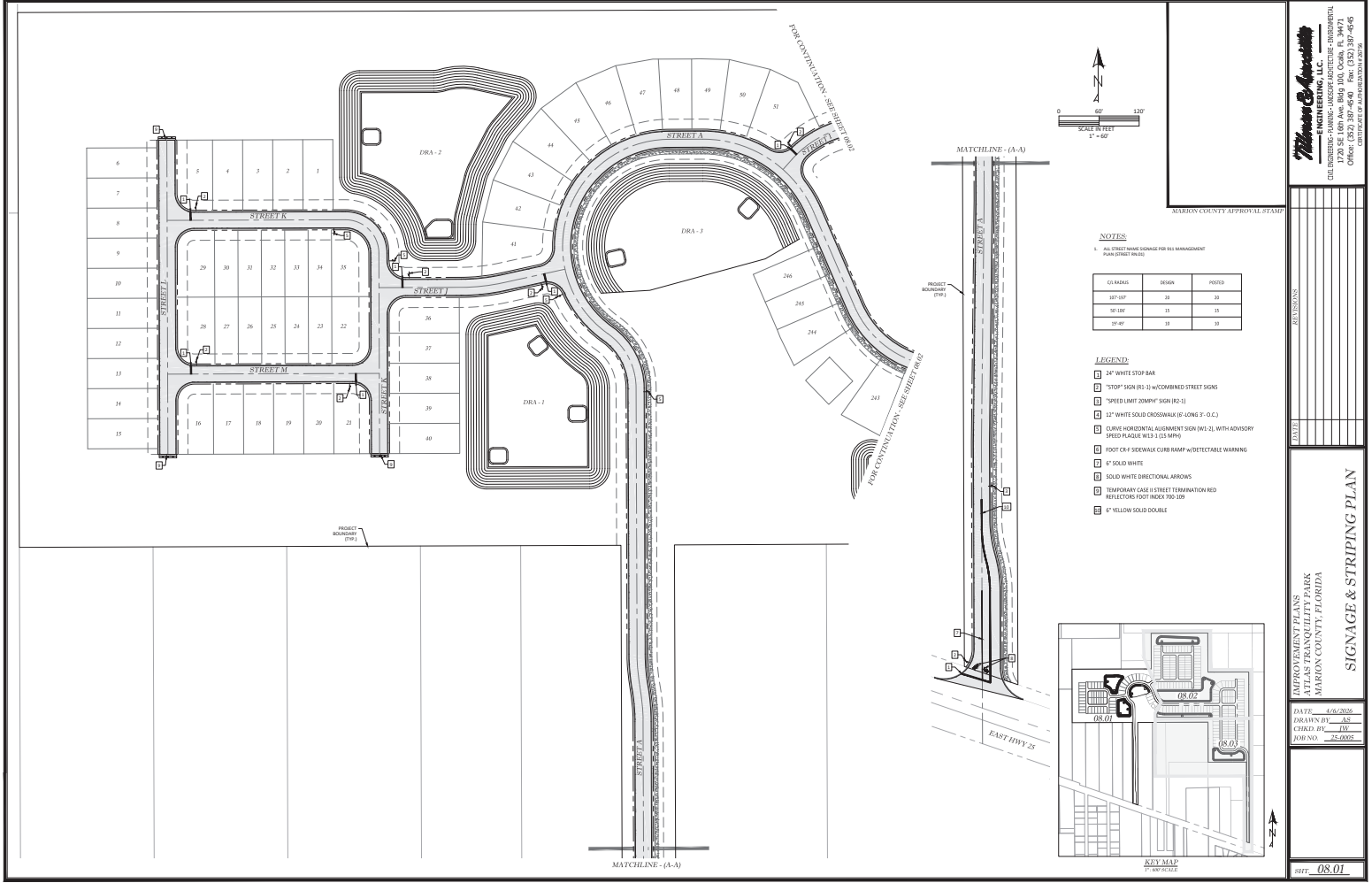
DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE:

PROJECT:
 SHEET:

DATE: 06-20-2020
 DRAWN BY: AS
 CHECKED BY: JH
 JOB NO: 20-0001

SHEET: 07.07

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



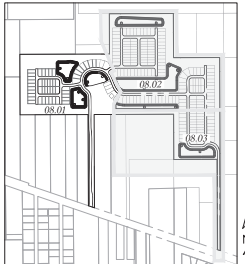
NOTES

1. ALL STREET NAME SIGNS ARE FOR BILL MANAGEMENT PLAN (STREET PLAN)

COL INDEX	DESIGN	POSTS
01' 00"	24	24
10' 00"	15	15
20' 00"	10	10

LEGEND

- 24" WHITE STOP BAR
- STOP SIGN (R-2) w/ COMBINED STREET SIGNS
- SPEED LIMIT 20MPH SIGN (R-2-1)
- 12" WHITE SOLID CROSSWALK (6- LONG 3' O.C.)
- CURVE HORIZONTAL ALIGNMENT SIGN (W1-2), WITH ADVISORY SPEED PLaque WES 2 (15 MPH)
- PAINT OR P-SPERMAK CURB RAMP w/ DETECTABLE WARNING
- 6" SOLID WHITE
- SOLID WHITE DIRECTIONAL ARROWS
- TEMPORARY CASE w/ STREET TERMINATION RED REFLECTORS FOOT INDEX 700-109
- 6" YELLOW SOLID DOUBLE



KEY MAP
1" = 50' SCALE

MARION COUNTY APPROVAL STAMP

Matthew & Associates
ENGINEERING, LLC.
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ARCHITECTURAL
 1728 S.E. 10TH AVE. SUITE 100, Ocala, FL 34471
 PHONE: 352-237-4900
 FAX: 352-237-4905
 CENTRAL STATE OF FLORIDA LICENSE # 2426

REVISION	DATE	BY	DESCRIPTION

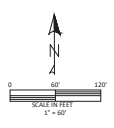
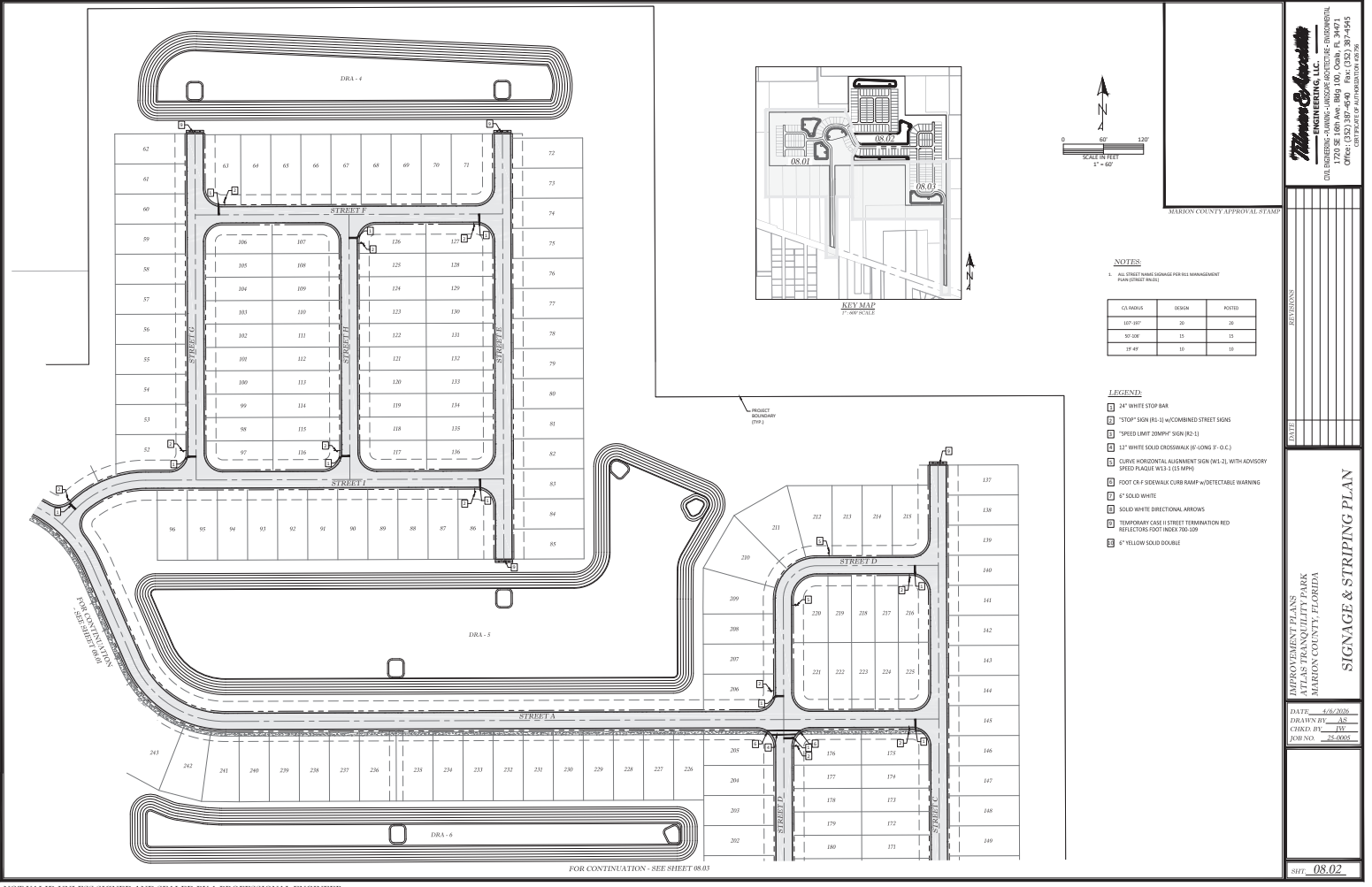
PROJECT NAME
 MARION COUNTY PLANNING
 ATLAS TRANQUILITY PARK
 MARION COUNTY, FLORIDA

SIGNAGE & STRIPING PLAN

DATE: 4/6/2025
 DRAWN BY: AS
 CHECKED BY: JV
 JOB NO: 22-0007

SHEET: 08.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



NOTES

1. ALL STREET NAME SIGNS FOR SIGN MANAGEMENT PLAN (SHEET 08.01)

COLORS	WIDTH	POSTS
REF. 007	36"	26"
00.008	36"	35"
18.48	36"	36"

LEGEND

- 1" WHITE STOP BAR
- 2" 50" SIGN (S-1) w/ COMBINED STREET SIGNS
- SPEED RAMP 20MPH SIGN (S-2)
- 1" WHITE SOLID CROSSWALK (C-1) (LONG 5' O.C.)
- CURVE HORIZONTAL ALIGNMENT SIGN (W-1), WITH ADVISORY SPEED PLAQUE W-1.1 (LS MPH)
- FOOT OR F SIDEWALK CURB RAMP w/ DETECTABLE WARNING
- 6" SOLID WHITE
- SOLID WHITE DIRECTIONAL ARROWS
- TEMPORARY CASE (TS) STREET TERMINATION RED REFLECTORS (FOOT MARK 700.10)
- 6" YELLOW SOLID DOUBLE

Marion & Associates
ENGINEERING, LLC.
 2011 W. UNIVERSITY AVENUE, SUITE 1000, GAITHERSBURG, MD 20878
 PHONE: (301) 337-4600 FAX: (301) 337-4455
 CERTIFICATE OF PROFESSIONAL ENGINEER

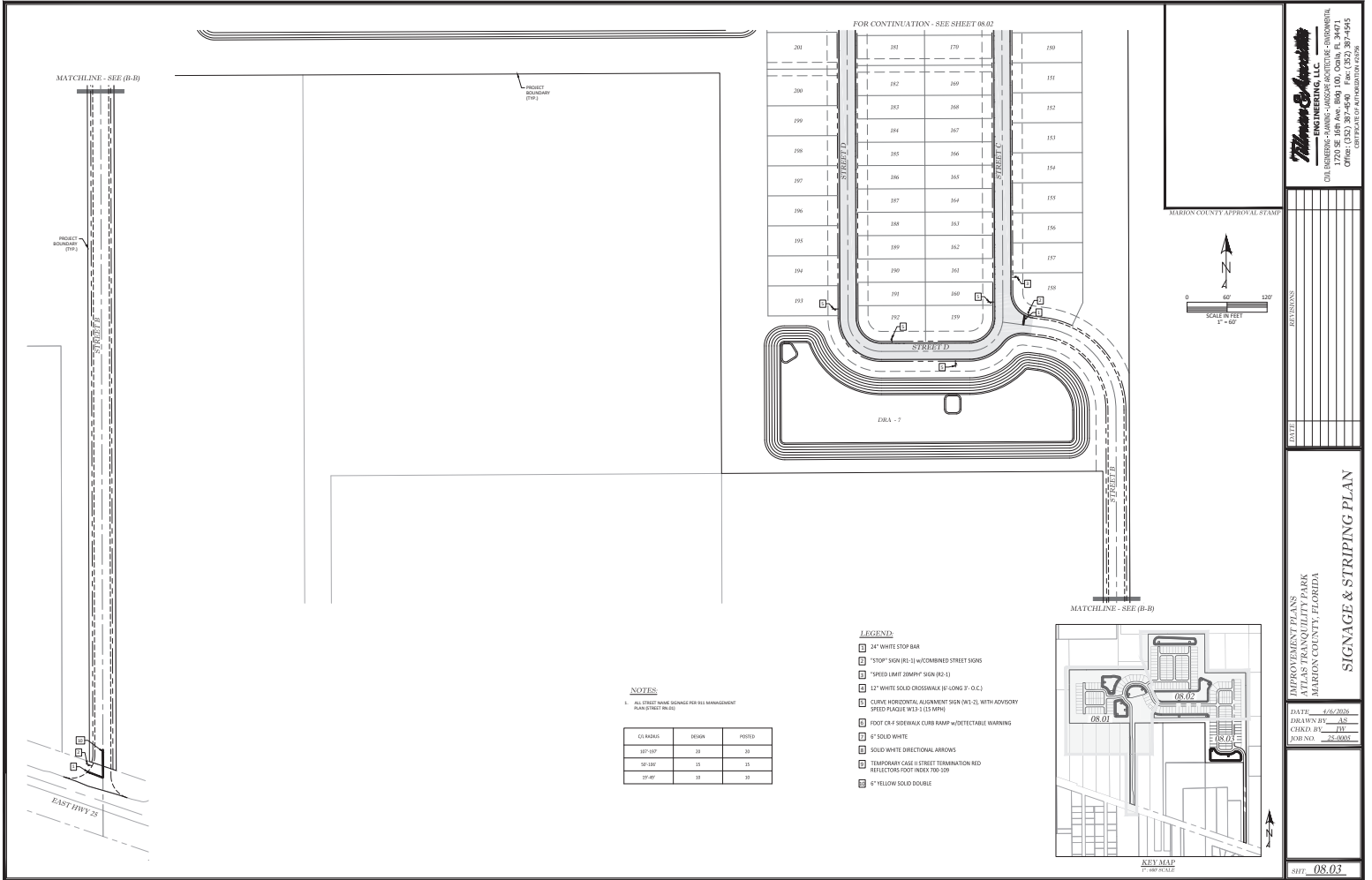
APPROVEMENT PLANS
 ATLAS TRANQUILITY PARK
 MARION COUNTY, FLORIDA
SIGNAGE & STRIPING PLAN

DATE: 4/6/2016
 DRAWN BY: AS
 CHECK BY: JLV
 JOB NO.: 16-0005

SHEET 08.02

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

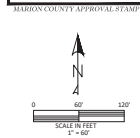
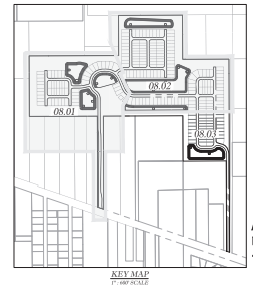
FOR CONTINUATION - SEE SHEET 08.03



NOTES
 1. ALL STREET MARK SIGNAGE PER T&E MANAGEMENT PLAN SHEET 08.00

CLASIFIC	DESIGN	POSTED
107-107	30	30
10-100	35	35
27-47	33	33

- LEGEND**
- 1 24" WHITE STOP BAR
 - 2 1500" SIGN (FL 1) UNCOMBINED STREET SIGNS
 - 3 1500" SIGN (DMRY) SIGN (R-1)
 - 4 12" WHITE SOLID DOUBLE (IF LONG T- O-C)
 - 5 CURVE HORIZONTAL ALIGNMENT SIGN (W3-2) WITH ADVISORY SPEED PLaque W13-1 (15 MPH)
 - 6 FOOT OR 4" SIDEWALK CURB RAMP w/ DETECTABLE WARNING
 - 7 6" SOLID WHITE
 - 8 SOLID WHITE DIRECTIONAL ARROWS
 - 9 TEMPORARY CASE (STREET TERMINATION RED REFLECTORS) FOOT INSD 700-100
 - 10 6" YELLOW SOLID DOUBLE



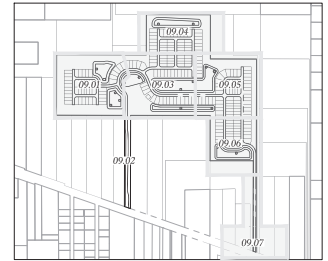
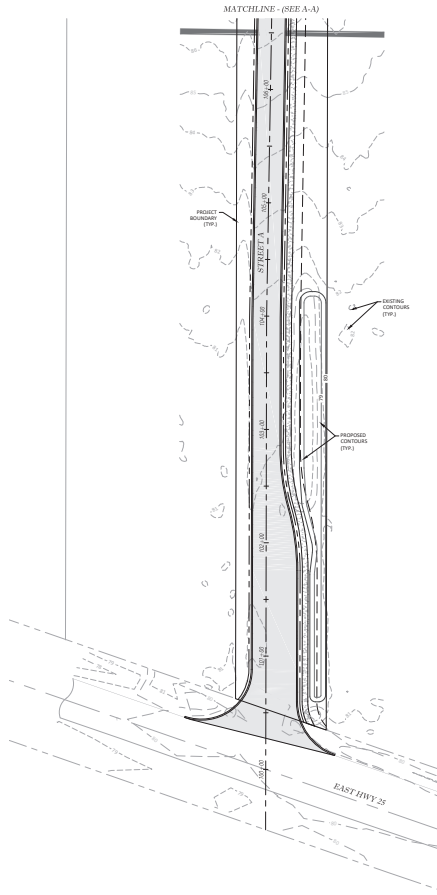
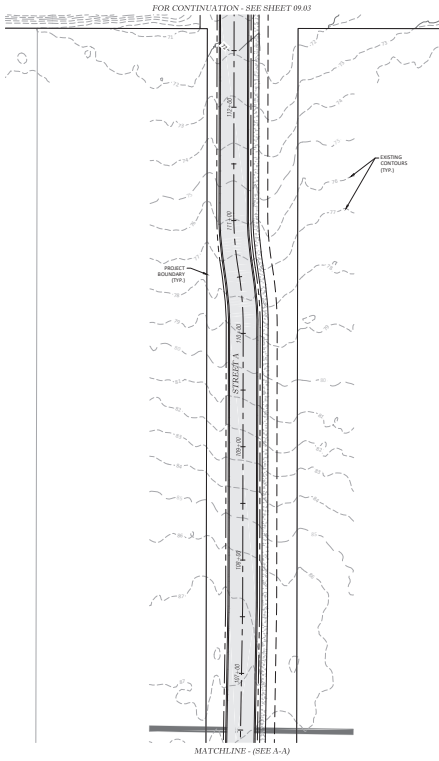
ENGINEERING & ARCHITECTURE, INC.
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1726 SE 18TH AVE, SUITE 100, Ocala, FL 34471
 PHONE: 352.237.1111 FAX: 352.237.1112
 WWW: WWW.MARRONCOUNTYENGINEERING.COM

SIGNAGE & STRIPING PLAN

DATE: 4/22/2023
 DRAWN BY: AS
 CHECKED BY: JH
 JOB NO.: 23-0003

SHEET: 08.03

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



MARION COUNTY APPROVAL STAMP

SCALE IN FEET
1" = 40'

0 40' 80'

GRADING LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED STORM PILE
- PROPOSED SWALE BOTTOM
- PROPOSED STRUCTURE ID
- GATE INLET

Matthew & Associates
ENGINEERING, LLC

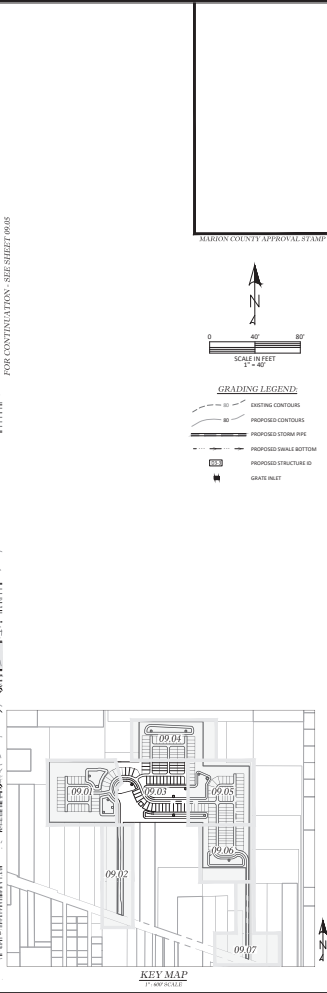
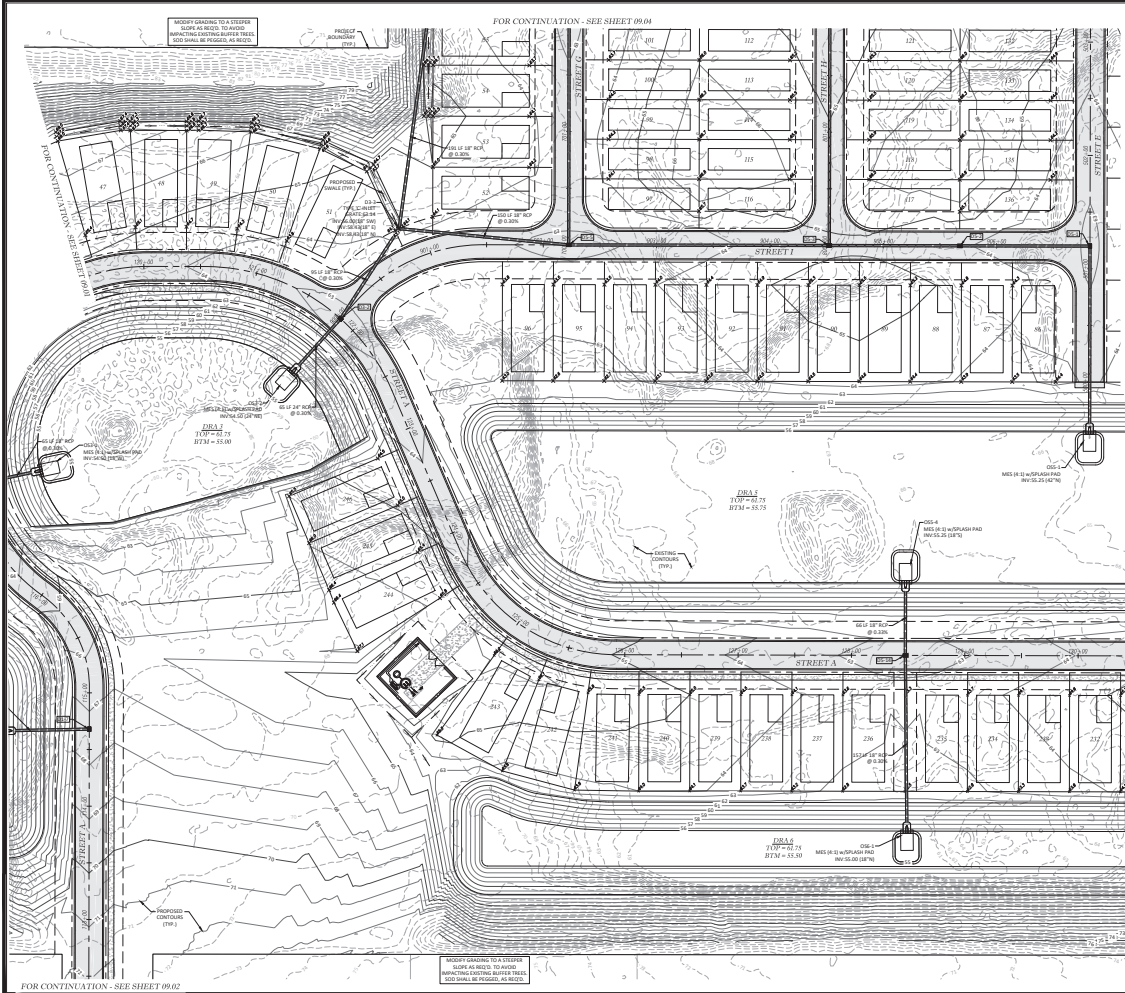
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 10TH AVE SUITE 100, Ocala, FL 34471
352-237-0975
MATTHEW@MCA-FL.COM

DATE: 06/20/20
DRAWN BY: AS
CHECKED BY: JH
JOB NO.: 22-0001

SHEET: 09.02

GRADING PLAN

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



MARION COUNTY APPROVAL #74167

SCALE IN FEET
1" = 40'

GRADING LEGEND

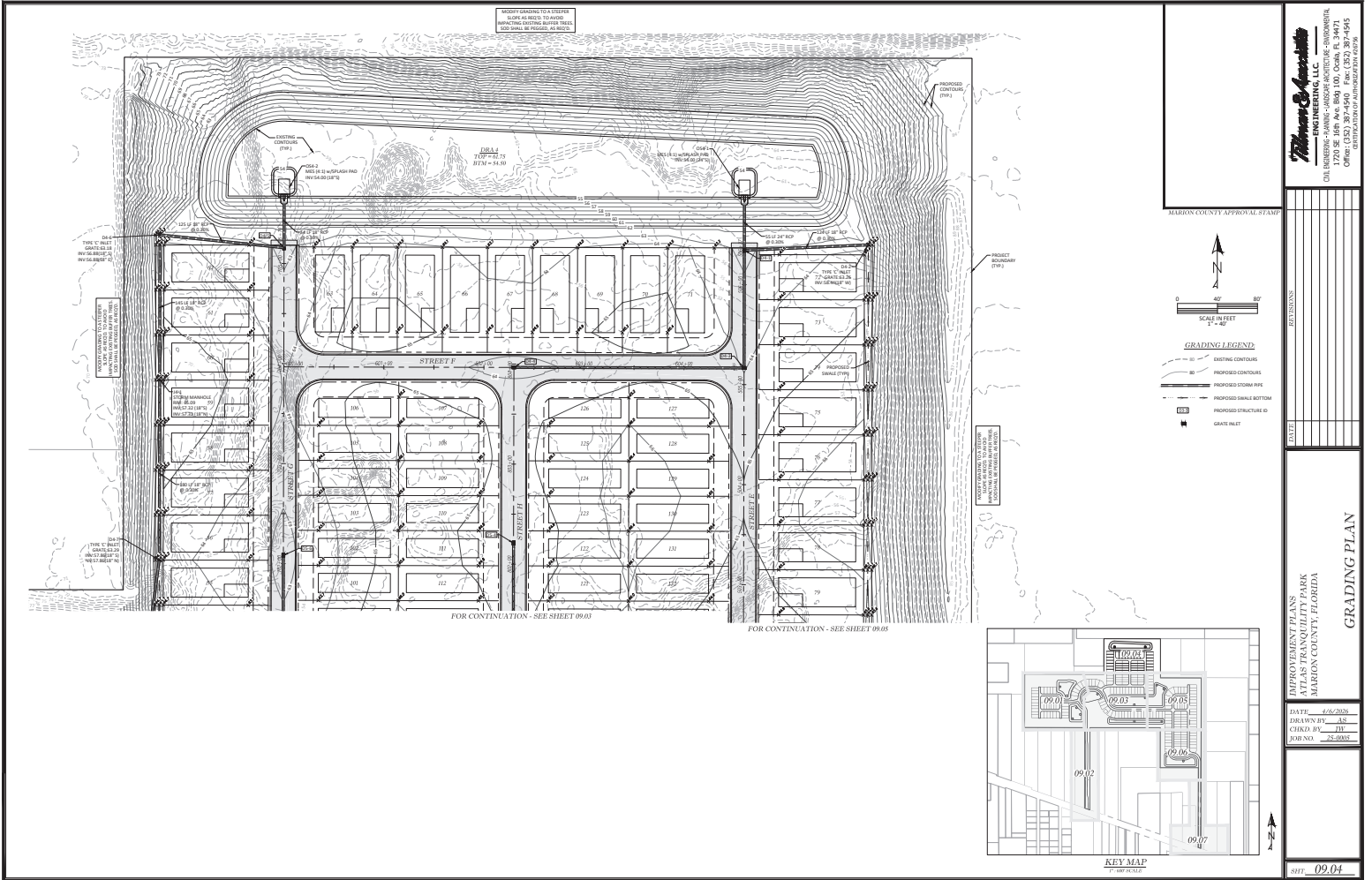
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED STORM PILE
- PROPOSED SWALE BOTTOM
- PROPOSED STRUCTURE ID
- GRATE INLET

Marion County Engineering, LLC
ENGINEERING, LLC
1720 SE 105th Ave, Suite 100, Ocala, FL 34471
352.237.0975
OFFICE: 1720 SE 105th Ave, Suite 100, Ocala, FL 34471

DATE: 4/26/2024
DRAWN BY: AS
CHECK BY: JH
JOB NO: 24-0001

SHT: 09.03

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



FOR CONTINUATION - SEE SHEET 09.03

FOR CONTINUATION - SEE SHEET 09.05

Thomas & Associates
ENGINEERING, LLC
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 108th AVE. BOX 100, OAKBURN, FL 34471
 PHONE: 813-947-2700
 FAX: 813-947-2705
 WWW.TANDASSOCIATES.COM

MARION COUNTY APPROVAL BY AMF

0 40' 80'
 SCALE IN FEET
 1" = 40'

GRADING LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED STORM PILE
- PROPOSED SWALE BOTTOM
- PROPOSED STRUCTURE ID
- GATE INLET

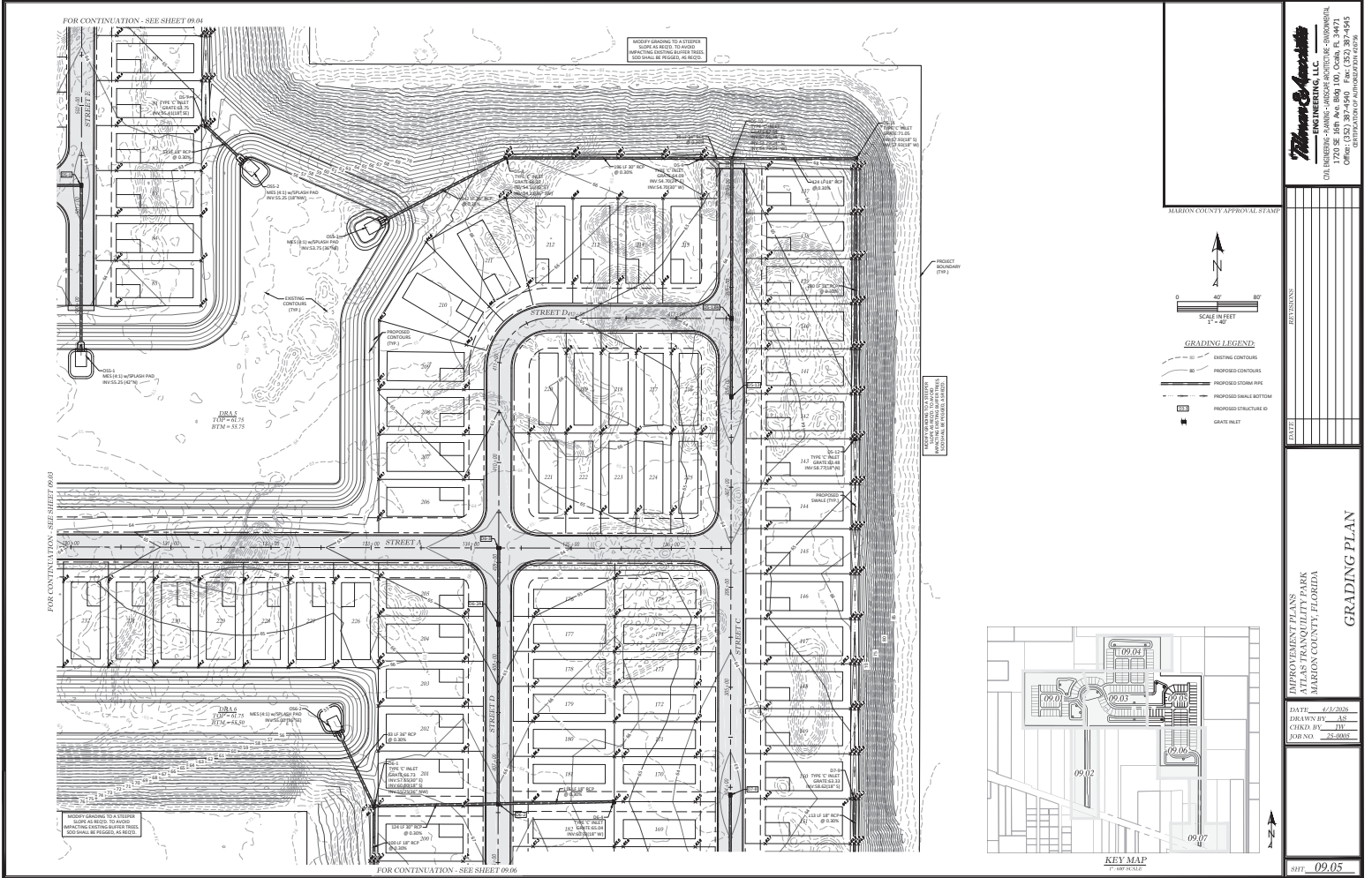
GRADING PLAN

PROPOSED PLANS
 ATLAS TRANQUILITY PARK
 MARION COUNTY, FLORIDA

DATE: 06/20/20
 DRAWN BY: AS
 CHECK BY: JH
 BORNA: 22-0001

SHT: 09.04

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Thompson & Associates
ENGINEERING, LLC
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 105th Ave • BOKE 100, Ocala, FL 34471
 PHONE: 352-236-0975
 FAX: 352-236-0976
 WWW: THOMPSONANDASSOCIATES.COM

MARION COUNTY APPROVAL STAMP

DATE	
BY	
TITLE	

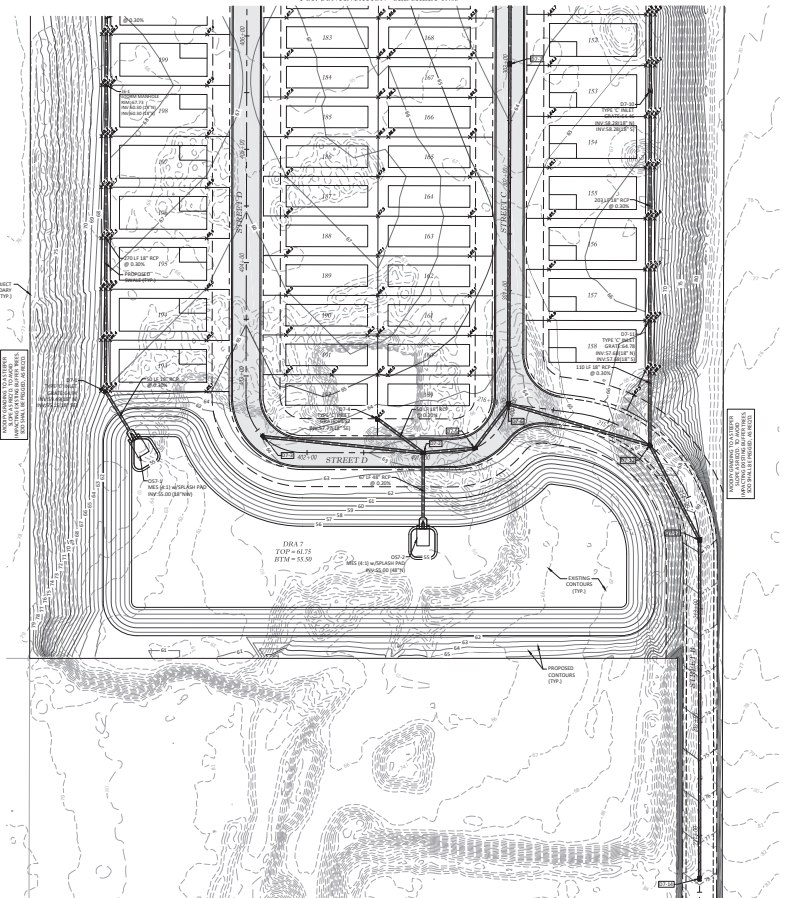
GRADING PLAN

ATLAS TRANQUILITY PARK
 MARION COUNTY, FLORIDA

DATE: 07/20/2020
 DRAWN BY: AS
 CHECK BY: JH
 FOR NO: 20-0001

SHT: 09.05

FOR CONTINUATION - SEE SHEET 09.03



FOR CONTINUATION - SEE SHEET 09.07

MARION COUNTY APPROVAL STAMP

SCALE IN FEET
0 40' 80'
1" = 40'

GRADING LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED STORM PILE
- PROPOSED SWALE BOTTOM
- PROPOSED STRUCTURE ID
- GATE INLET

Wagner & Associates
ENGINEERING, LLC
CHA. HENDERSON - P.E. / CHAS. J. JOSEPH - REGISTERED PROFESSIONAL
1720 SE 18TH AVE. SUITE 100, OAKBURN, FL 34411
PHONE: 813-993-4444
FAX: 813-993-4445
WWW.WAGNERANDASSOCIATES.COM

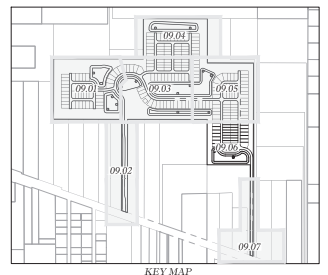
REVISIONS

ATLAS TRANQUILITY PARK
MARION COUNTY, FLORIDA

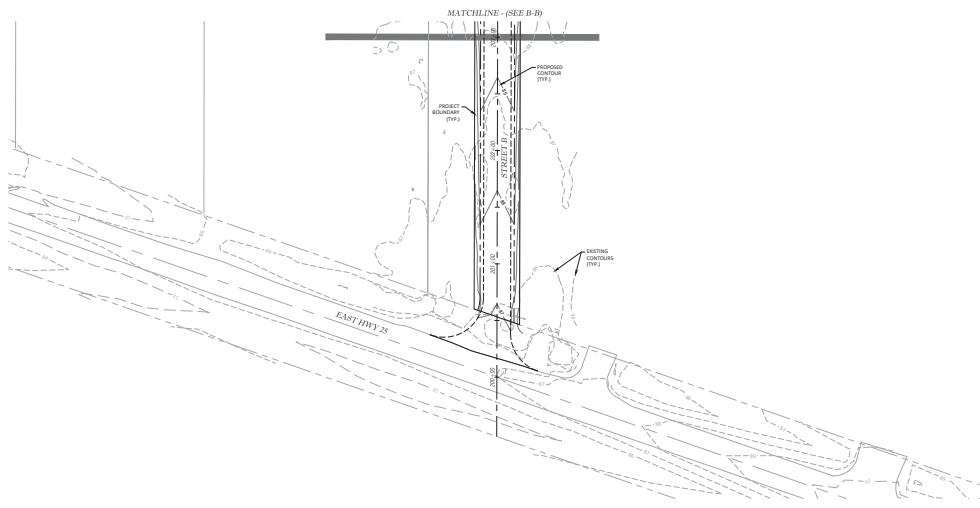
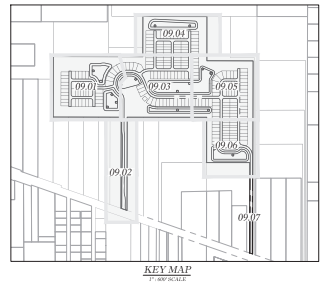
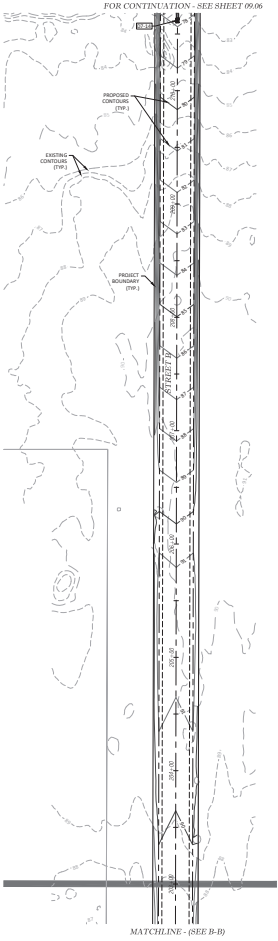
GRADING PLAN

DATE: 12/1/2020
DRAWN BY: AS
CHECKED BY: JH
JOB NO.: 20-0001

SHT: **09.06**



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



MARION COUNTY APPROVAL STAMP

0 40' 80'

SCALE IN FEET

1" = 40'

GRADING LEGEND

- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- - - - - PROPOSED STORM PILE
- - - - - PROPOSED SWALE BOTTOM
- PROPOSED STRUCTURE ID
- GATE INLET

Matthew & Associates
ENGINEERING, LLC

CHA. HENDERSON - MARION COUNTY ARCHITECTURE - PROFESSIONAL
1720 SE 105th Ave. Bldg. 100, Ocala, FL 34471
PHONE: 352-235-0975
FAX: 352-235-0976
WWW.MATTHEWANDASSOCIATES.COM

MARION COUNTY APPROVAL STAMP

DATE: 06/20/20

DRAWN BY: AS

CHECKED BY: JH

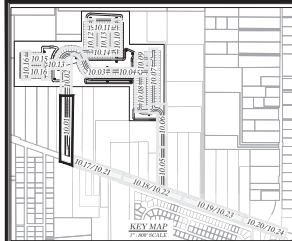
ISSUED BY: JH

SHEET: 09.07

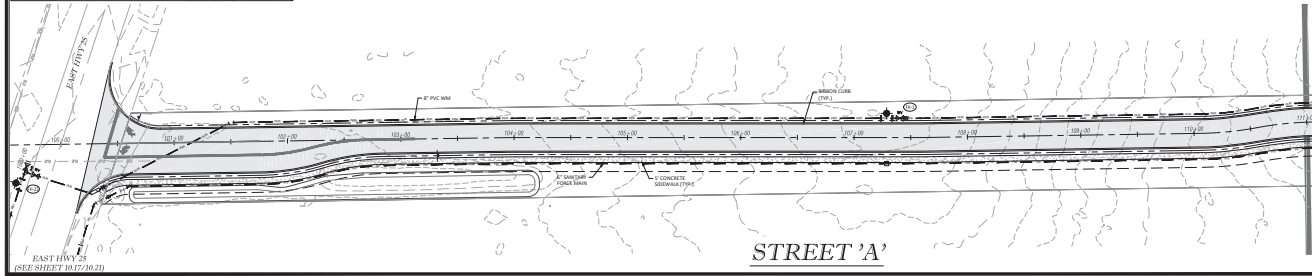
PROJECT: ATLAS TRANQUILITY PARK
MARION COUNTY, FLORIDA

GRADING PLAN

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



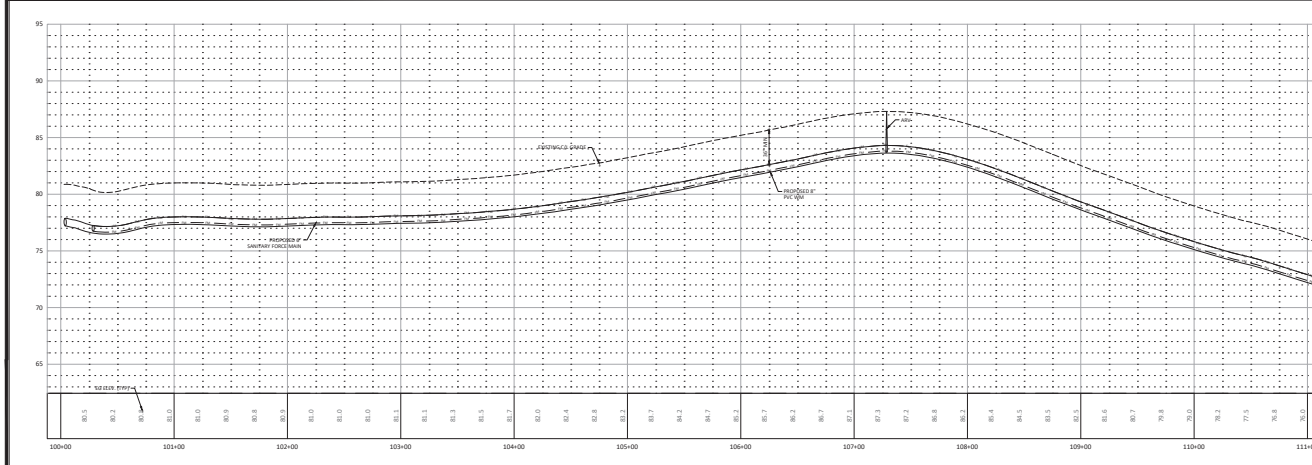
- | | | |
|---|--|--|
| WATER LEGEND | SANITARY SEWER LEGEND | STORM LEGEND |
| <ul style="list-style-type: none"> WATER MAIN FIRE HYDRANT ASSEMBLY (FHA) TIE CROSS BOND DOUBLE SERVICE SINGLE SERVICE GATE VALVE & BOX BLOW OFF ASSEMBLY IRIS HYDRANT NUMBER SAMPLE POINT | <ul style="list-style-type: none"> SANITARY SEWER MANHOLE SANITARY MANHOLE NUMBER DOUBLE SERVICE SINGLE SERVICE SANITARY FORCE MAIN RENCH | <ul style="list-style-type: none"> GRATE PILET STORM MANHOLE STORM PILE STORM STRUCTURE ID |



MARRON COUNTY APPROVAL STAMP

SCALE IN FEET
1" = 40'

0 40 80



PROPOSED
1" = 4.00'

DATE: 4/27/2025
DRAWN BY: AS
CHECKED BY: JVS
JOB NO.: 24-0008

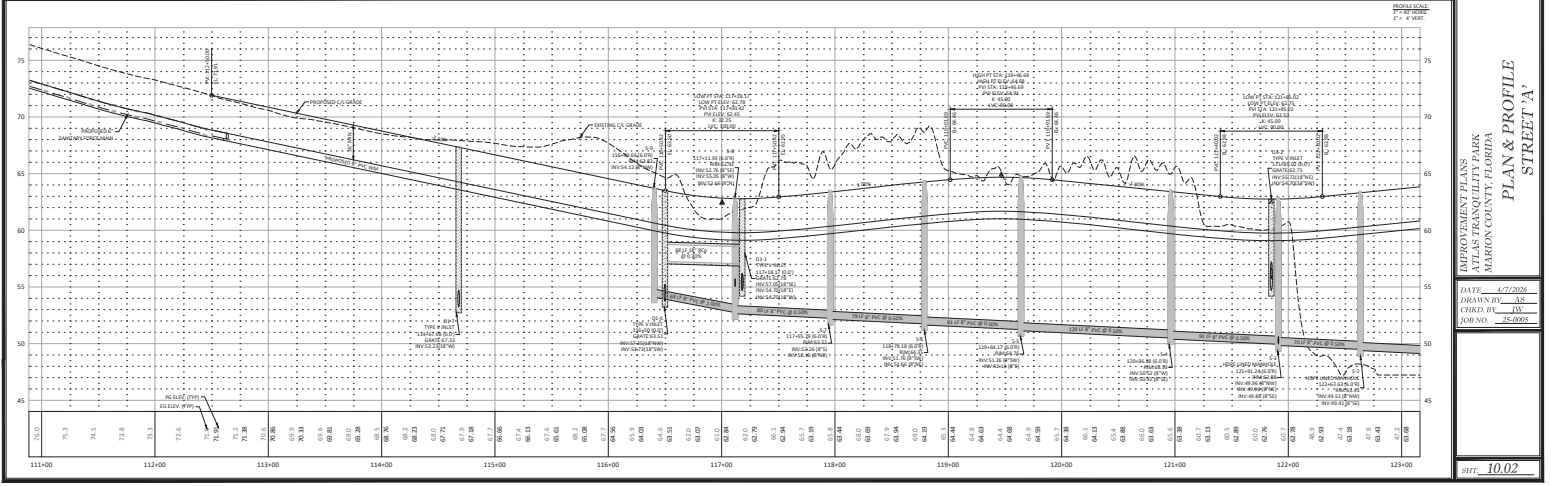
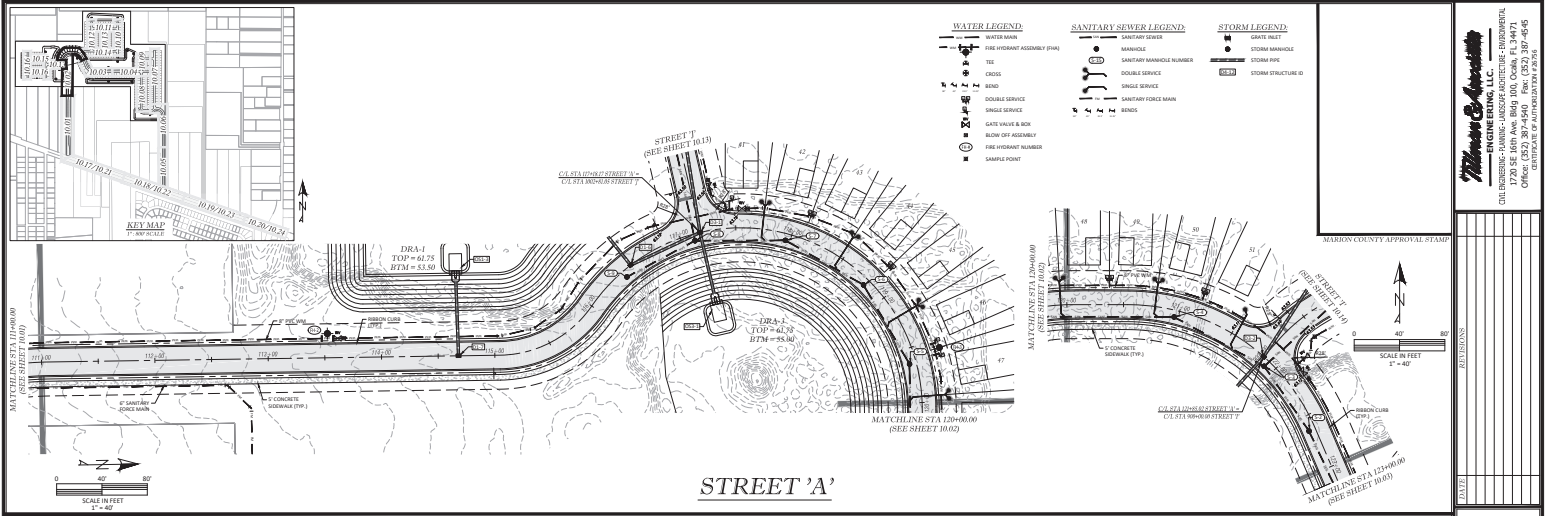
Winters & Associates, LLC
 ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - INTERIORS
 1720 SE 18TH AVE, BLDG 100, OCAHA, FL 32971
 PHONE: 888-322-6666
 FAX: 888-322-6666

DATE: _____
 CHECKED BY: _____
 JOB NO.: _____

IMPROVEMENT PLANS
 ST. JOHNS CREEK
 MARRON COUNTY, FLORIDA
PLAN & PROFILE
STREET 'A'

DATE: 10.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

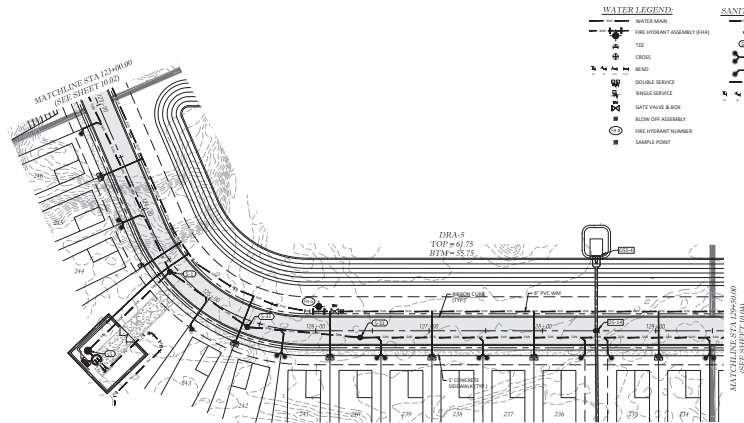
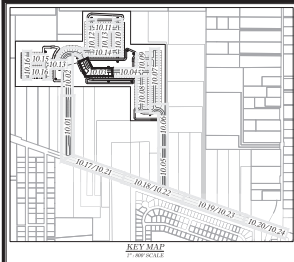


Waters & Associates, LLC
 1720 SE 16th Ave, Room 100, Ocala, FL 34471
 PHONE: 352-237-0606
 FAX: 352-237-0606
 CERTIFICATE OF AUTHORITY: 12242

IMPROVEMENT PLANS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'A'

DATE: 4/27/2023
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 23-0005

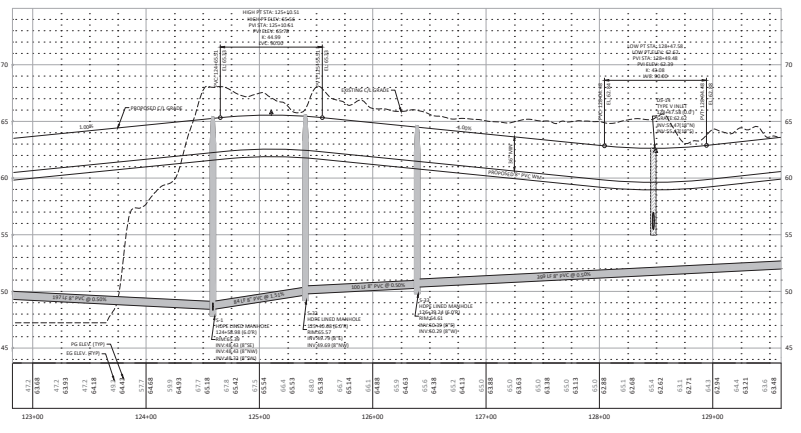
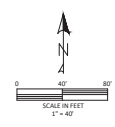
SHEET: 10.02



STREET 'A'

- WATER LEGEND**
- WATER MAIN
 - FIRE HYDRANT ASSEMBLY (FHA)
 - TEE
 - CROSS
 - BEND
 - DOUBLE SERVICE
 - SINGLE SERVICE
 - GATE VALVE & BOX
 - BLOW OFF ASSEMBLY
 - FIRE HYDRANT NUMBER
 - SAMPLE POINT
- SANITARY SEWER LEGEND**
- SANITARY SEWER
 - MANHOLE
 - SANITARY MANHOLE NUMBER
 - DOUBLE SERVICE
 - SANITARY FORCE MAIN
 - BEND
- STORM LEGEND**
- GRATE INLET
 - STORM MANHOLE
 - STORM PIPE
 - STORM STRUCTURE

MARRION COUNTY APPROVAL STAMP



W. Moore & Associates, LLC
 ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - INTERIOR DESIGN
 1720 SE 16TH AVE, BLDG 100, OCAHA, FL 33471
 PHONE: 407-291-0606
 FAX: 407-291-0606
 CENTRAL FLORIDA AUTHORITY, 12.2.15

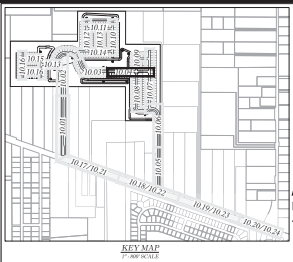
REVISIONS

DATE: 4/27/2015
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 15-0005

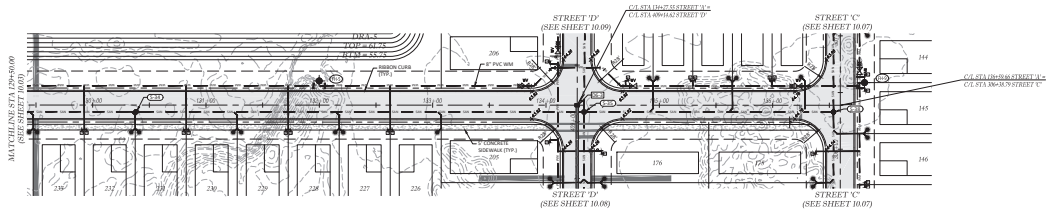
IMPROVEMENT PLANS
 STREETS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'A'

DATE: 10.03

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

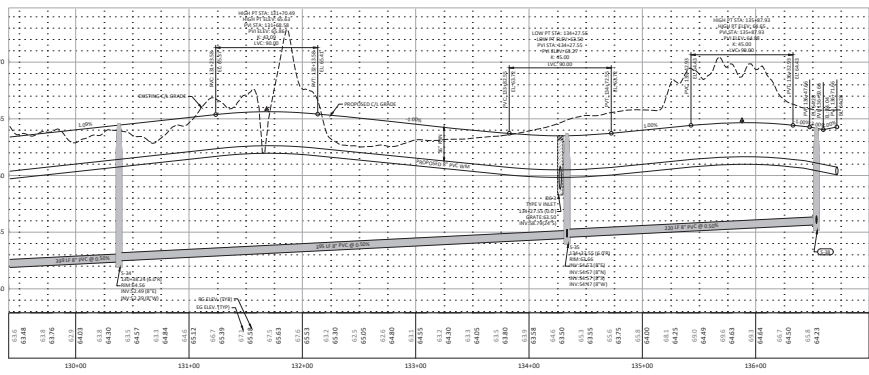
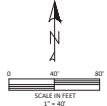


- | | | |
|---------------------------|-------------------------------|----------------------|
| WATER LEGEND: | SANITARY SEWER LEGEND: | STORM LEGEND: |
| WATER MAIN | SANITARY SEWER | GATE INLET |
| FORCE MAIN ASSEMBLY (FMA) | MANHOLE | STORM MANHOLE |
| TIE | SANITARY MANHOLE NUMBER | STORM PIPE |
| CROSS | DOUBLE SERVICE | STORM STRUCTURE ID |
| HEAD | SINGLE SERVICE | |
| DOUBLE SERVICE | SANITARY FORCE MAIN | |
| SINGLE SERVICE | RENK | |
| GATE VALVE & BOX | | |
| BLOW OFF ASSEMBLY | | |
| PIPE JOINT NUMBER | | |
| SAMPLE POINT | | |



STREET 'A'

MARRION COUNTY APPROVAL STAMP

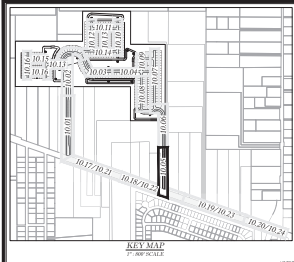


THOMAS & ASSOCIATES
 ENGINEERS, ARCHITECTS, PLANNERS & LANDSCAPE ARCHITECTS - INTERNATIONAL
 1720 SE 16TH AVE, SUITE 100, OCAHA, FL 32067
 PHONE: 407-299-0606
 FAX: 407-299-0606
 E-MAIL: T&A@THOMASANDASSOCIATES.COM

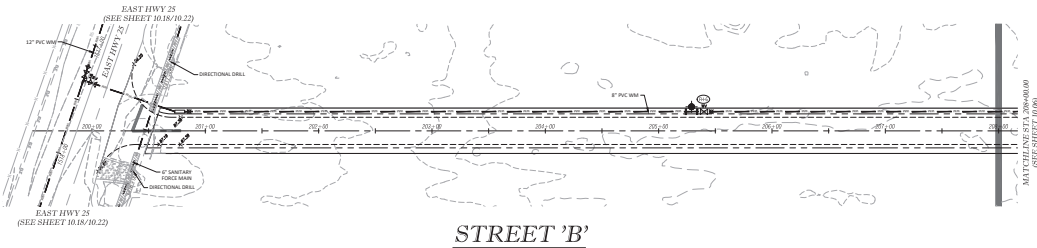
DATE: 4/27/2006
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 24-0002

DATE: 10.04

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

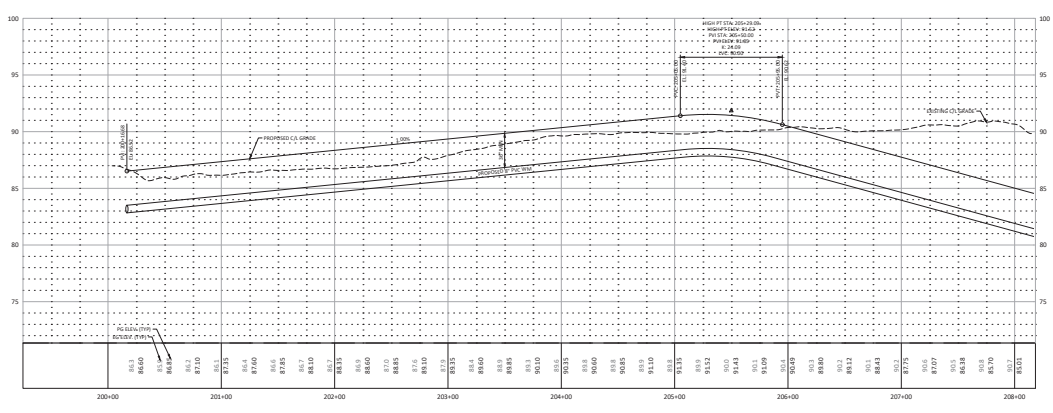
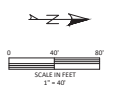


- | | | |
|--|---|---|
| WATER LEGEND | SANITARY SEWER LEGEND | STORM LEGEND |
| <ul style="list-style-type: none"> WATER MAIN FIRE HYDRANT ASSEMBLY (FHA) TEE CROSS BEND DOUBLE SERVICE SINGLE SERVICE GATE VALVE & BOX BLOW OFF ASSEMBLY FIRE HYDRANT NUMBER GANGWAY POINT | <ul style="list-style-type: none"> SANITARY SEWER MANHOLE SANITARY MANHOLE NUMBER DOUBLE SERVICE SINGLE SERVICE SANITARY FORCE MAIN BEND | <ul style="list-style-type: none"> GRATE INLET STORM MANHOLE STORM PIPE STORM STRUCTURE C |



STREET 'B'

MARRION COUNTY APPROVAL STAMP



PROPOSED 2% GRADE
1" = 4'-0"

Thomas & Associates
 ENGINEERS, ARCHITECTS, PLANNERS
 1720 SE 16TH AVE, SUITE 100, OCAHA, FL 33471
 PHONE: (407) 299-6000
 FAX: (407) 299-6006
 CERTIFICATE OF AUTHORIZATION: 12-25-05

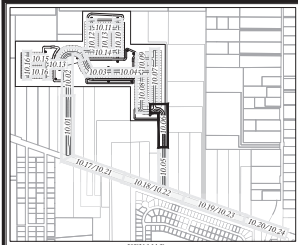
DATE	REVISIONS

IMPROVEMENT PLANS
 STREETS AND ALLEYS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'B'

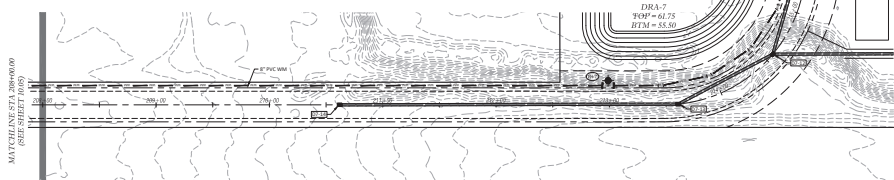
DATE: 4/27/2005
 DRAWN BY: AS
 CHECKED BY: JVS
 JOB NO.: 24-0005

SHEET 10.05

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



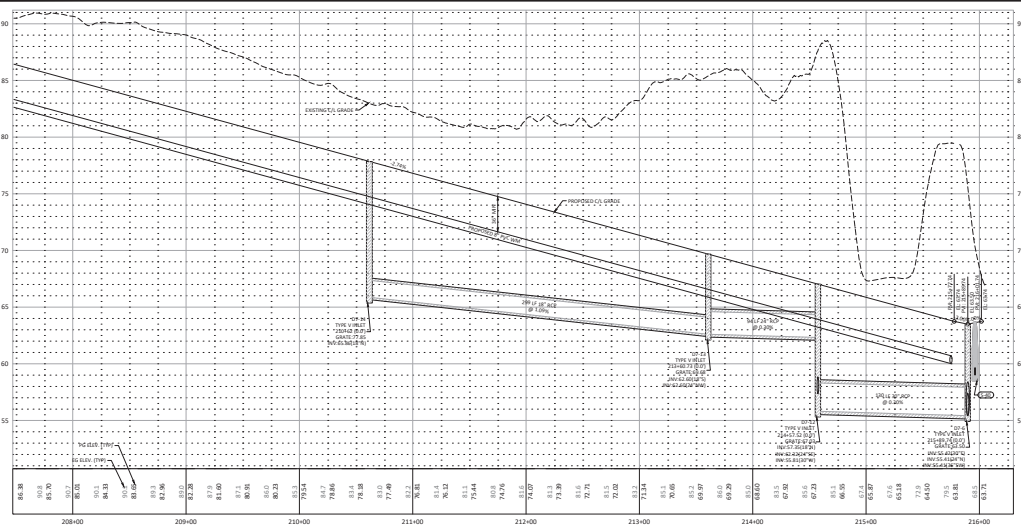
- | WATER LEGEND | SANITARY SEWER LEGEND | STORM LEGEND |
|---|--|---|
| <ul style="list-style-type: none"> WATER MAIN FIRE HYDRANT ASSEMBLY (200) TEE CROSS BEND SHOULDER SERVICE SINGLE SERVICE GATE VALVE & BOX BLOW OFF ASSEMBLY FIRE HYDRANT NUMBER SHARPLEY POINT | <ul style="list-style-type: none"> SANITARY SEWER MANHOLE SANITARY MANHOLE NUMBER SINGLE SERVICE SANITARY FORCE MAIN BRICK | <ul style="list-style-type: none"> GATE RILET STORM MANHOLE STORM PIPE STORM STRUCTURE ID |



STREET 'B'

MARRON COUNTY APPROVAL STAMP

SCALE IN FEET
1" = 40'



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

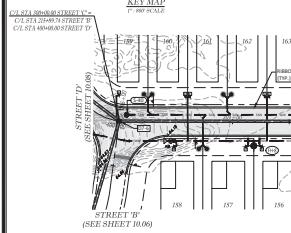
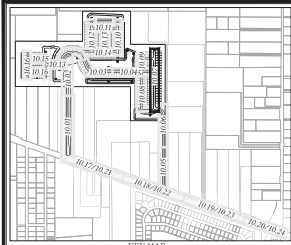
Thomas & Associates
 ENGINEERS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, HISTORIC PRESERVATION ARCHITECTS
 1720 SE 16th Ave, Room 100, Ocala, FL 34471
 PHONE: 352-237-0606
 FAX: 352-237-0606
 WWW: www.thomasandassociates.com

IMPROVEMENT PLANS
 STREETS AND ALLEYS
 MARRON COUNTY, FLORIDA

DATE: 4/27/2005
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 04-0005

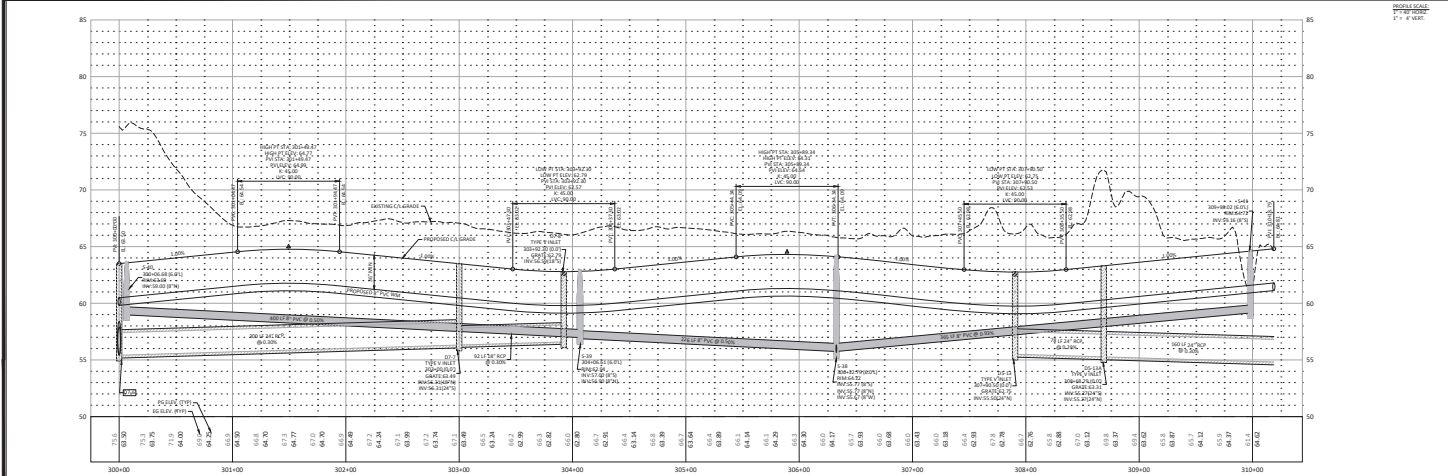
DATE: 4/27/2005
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 04-0005

SHEET 10.06



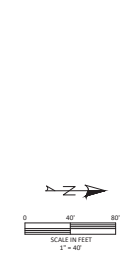
STREET 'C'

- | | | |
|--|---|---|
| <p>WATER LEGEND</p> <ul style="list-style-type: none"> WATER MAIN FIRE HYDRANT ASSEMBLY (20") TEE CROSS BEND SEWER SERVICE SINGLE SERVICE GATE VALVE & BOX BLOW OFF ASSEMBLY FIRE HYDRANT NUMBER WATER POINT | <p>SANITARY SEWER LEGEND</p> <ul style="list-style-type: none"> SANITARY SEWER MANHOLE SANITARY MANHOLE NUMBER DOUBLE SERVICE SINGLE SERVICE SANITARY FORCE MAIN BEND | <p>STORM LEGEND</p> <ul style="list-style-type: none"> GRATE INLET STORM MANHOLE STORM PIPE STORM STRUCTURE ID |
|--|---|---|



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

MARRION COUNTY APPROVAL STAMP



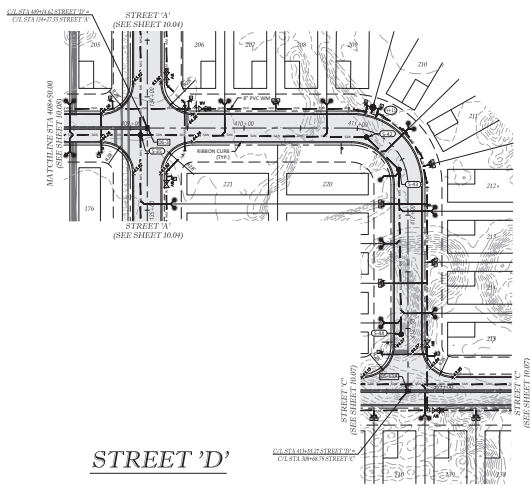
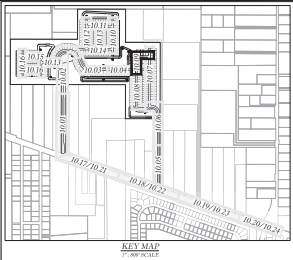
Thomas & Associates
 ENGINEERS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, HISTORIC ARCHITECTS
 1720 SE 18th Ave, Room 100, Ocala, FL 34471
 PHONE: 352-237-0606
 FAX: 352-237-0606
 CERTIFICATE OF AUTHORIZATION: 12,252

DATE	DESCRIPTION

IMPROVEMENT PLANS
 STREETS AND PARKS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'C'

DATE: 4/27/2025
 DRAWN BY: AS
 CHECKED BY: JVS
 JOB NO.: 25-0005

SHEET: 10.07



MARRON COUNTY APPROVAL STAMP

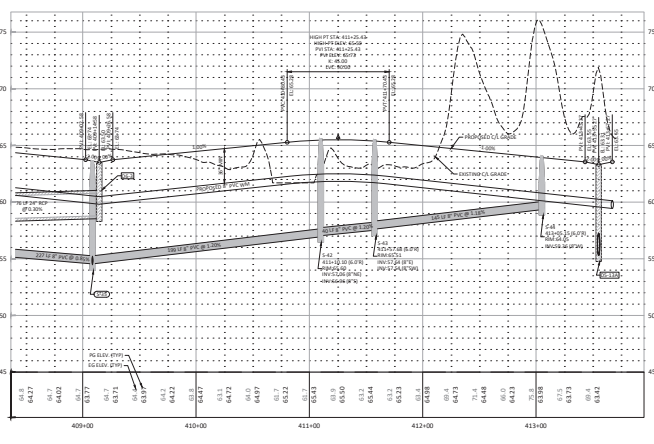
WATER LEGEND:
 WATER MAIN
 FIRE HYDRANT ASSEMBLY (FHA)
 TEE
 CROSS
 BEND
 DOUBLE SERVICE
 SINGLE SERVICE
 GATE VALVE & BOX
 BLOW OFF ASSEMBLY
 FIRE HYDRANT NUMBER
 SAMPLE POINT

SANITARY SEWER LEGEND:
 SANITARY SEWER
 MANHOLE
 SANITARY MANHOLE NUMBER
 DOUBLE SERVICE
 SINGLE SERVICE
 SANITARY FORCE MAIN
 BEND

STORM LEGEND:
 GATE PILET
 STORM MANHOLE
 STORM PIPE
 STORM STRUCTURE ID

SCALE IN FEET
1" = 40'

0 40 80



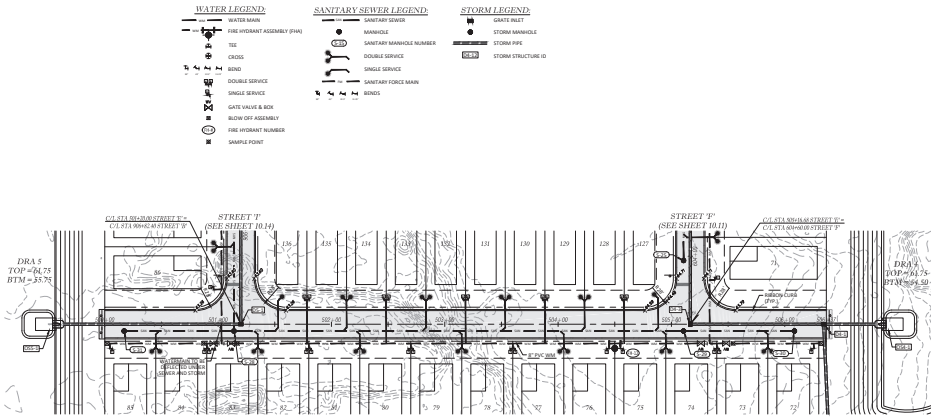
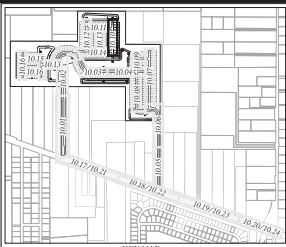
Thomas & Associates
 ENGINEERS, ARCHITECTS, PLANNERS
 1720 SE 18TH AVE, SUITE 100, OCAHA, FL 33471
 PHONE: (407) 291-6000
 FAX: (407) 291-6006
 WWW.TANDASSOCIATES.COM

IMPROVEMENT PLANS
 STORM SEWER
 MARRON COUNTY, FLORIDA
 STREET 'D'

DATE: 4/27/2025
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 24-0005

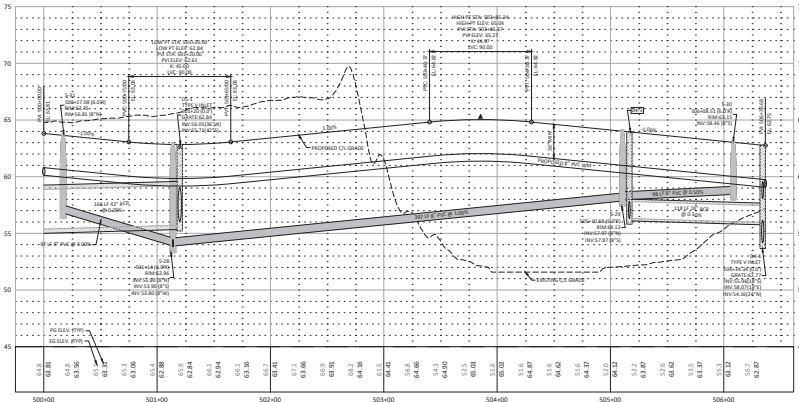
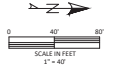
SHEET 10.09

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



- | | | |
|-----------------------------|------------------------------|---------------------|
| WATER LEGEND | SANITARY SEWER LEGEND | STORM LEGEND |
| WATER MAIN | SANITARY SEWER | GATE VALVE |
| FIRE HYDRANT ASSEMBLY (FHA) | MANHOLE | STORM MANHOLE |
| TEE | SANITARY MANHOLE NUMBER | STORM PIPE |
| CROSS | DOUBLE SERVICE | STORM STRUCTURE ID |
| BEND | SINGLE SERVICE | |
| DOUBLE SERVICE | SANITARY FORCE MAIN | |
| SINGLE SERVICE | BEND | |
| GATE VALVE & BOX | | |
| BLOW OFF ASSEMBLY | | |
| FIRE HYDRANT NUMBER | | |
| SAMPLE POINT | | |

STREET 'E'



Thomson & Associates
 ENGINEERS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, HISTORIC PRESERVATION ARCHITECTS
 1720 SE 16TH AVE, SUITE 100, OCAHA, FL 33471
 PHONE: (407) 291-6000
 FAX: (407) 291-6006
 CERTIFICATE OF AUTHORIZATION: 12,252

MARION COUNTY APPROVAL STAMP

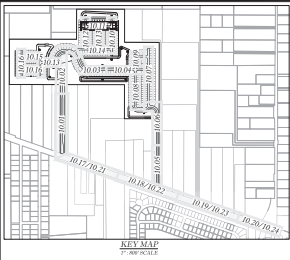
REVISIONS

DATE: 4/27/2006
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 24-0005

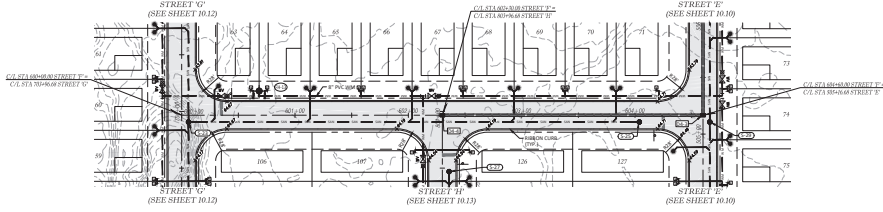
IMPROVEMENT PLANS
 ST. JOHNS CREEK
 MARION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'E'

SHEET 10.10

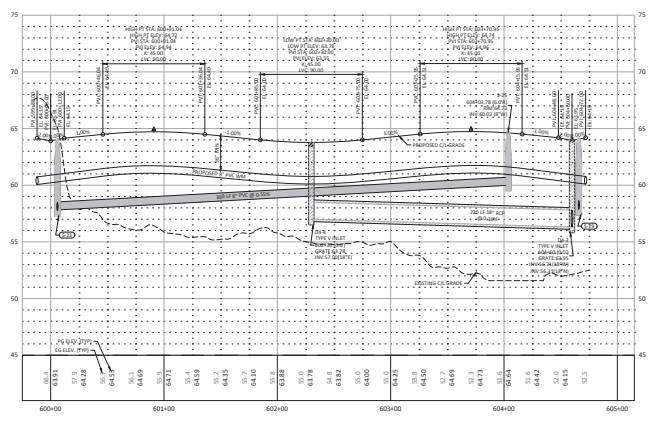
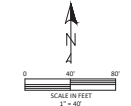
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



- WATER LEGEND**
- WATER MAIN
 - FIRE HYDRANT ASSEMBLY (FHA)
 - TIE
 - CROSS
 - BEND
 - DOUBLE SERVICE
 - SINGLE SERVICE
 - GRID MANHOLE BOX
 - BLOW OFF ASSEMBLY
 - FIRE HYDRANT NUMBER
 - SAMPLE POINT
- SANITARY SEWER LEGEND**
- SANITARY SEWER
 - MANHOLE
 - SANITARY MANHOLE NUMBER
 - DOUBLE SERVICE
 - SANITARY FORCE MAIN
 - BEND
- STORM LEGEND**
- GATE PILET
 - STORM MANHOLE
 - STORM PIPE
 - STORM STRUCTURE ID



STREET 'F'



THOMAS & ASSOCIATES
 ENGINEERING, PLANNING, ARCHITECTURE, INTERIORS
 1720 SE 18TH AVE, ROOM 100, Ocala, FL 34471
 PHONE: 352.237.6906
 FAX: 352.237.6906
 WWW.TAFL.COM

MARRION COUNTY APPROVAL STAMP

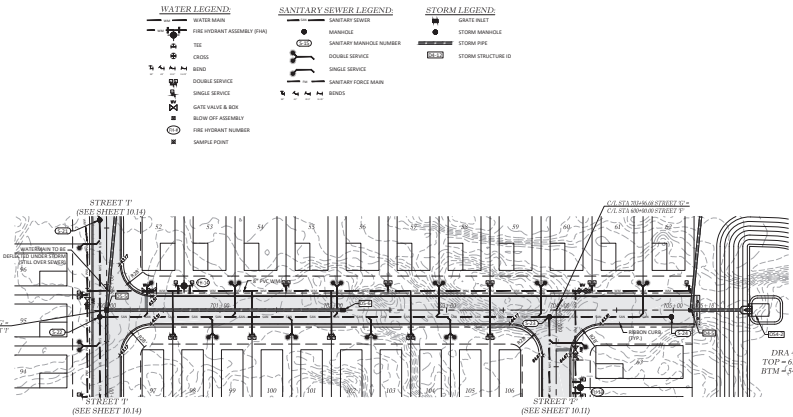
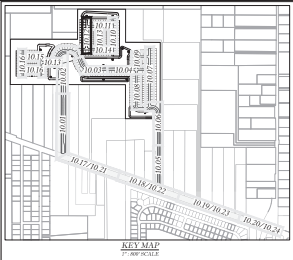
REVISIONS

DATE: 4/27/2016
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 15-0005

IMPROVEMENT PLANS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'F'

SHEET 10.11

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



STREET 'G'

- | | | |
|--|---|--|
| <p>WATER LEGEND</p> <ul style="list-style-type: none"> WATER MAIN FIRE HYDRANT ASSEMBLY (FHA) TIE CROSS BEND DOUBLE SERVICE SINGLE SERVICE C/SK VALVE & BOX BLOW OFF ASSEMBLY FIRE HYDRANT NUMBER SAMPLE POINT | <p>SANITARY SEWER LEGEND</p> <ul style="list-style-type: none"> SANITARY SEWER MANHOLE SANITARY MANHOLE NUMBER DOUBLE SERVICE SINGLE SERVICE SANITARY FORCE MAIN BEND | <p>STORM LEGEND</p> <ul style="list-style-type: none"> GATE PILET STORM MANHOLE STORM PIPE STORM STRUCTURE ID |
|--|---|--|

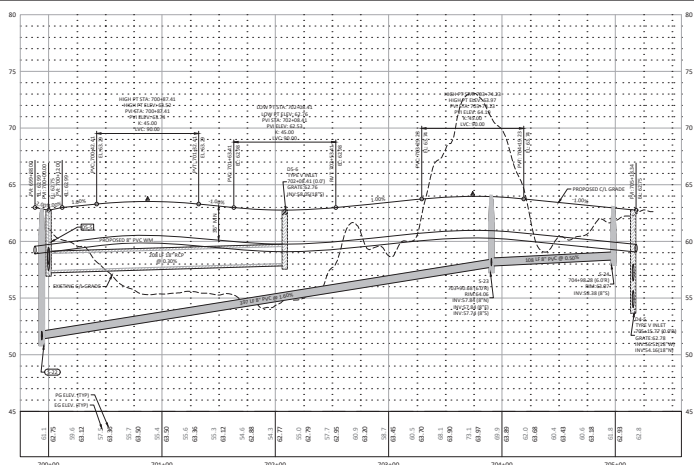
Thomas & Associates
 ENGINEERS, ARCHITECTS, PLANNERS & LANDSCAPE ARCHITECTS - INTERNATIONAL
 1720 SE 16TH AVE, SUITE 100, OCAHA, FL 33471
 PHONE: 561-393-6956
 FAX: 561-393-6956
 CERTIFICATE OF AUTHORIZATION: 12-25-05

MARRION COUNTY APPROVAL STAMP

DATE: _____

SCALE IN FEET
 1" = 40'

0 40 80



PROPOSED GRADE
 EXISTING GRADE
 1" = 4.00'

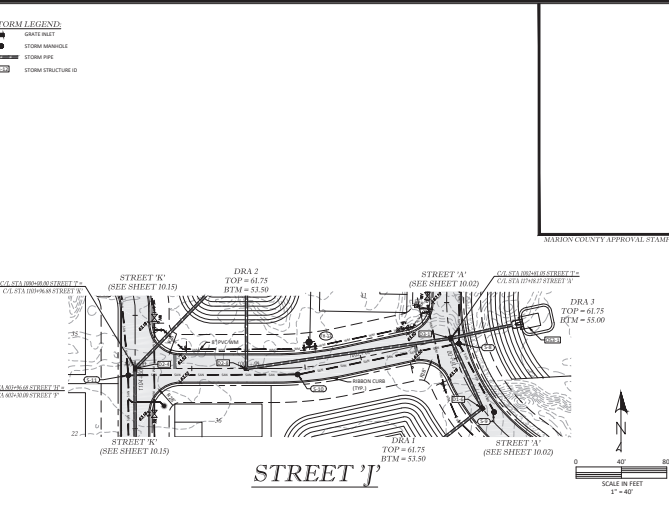
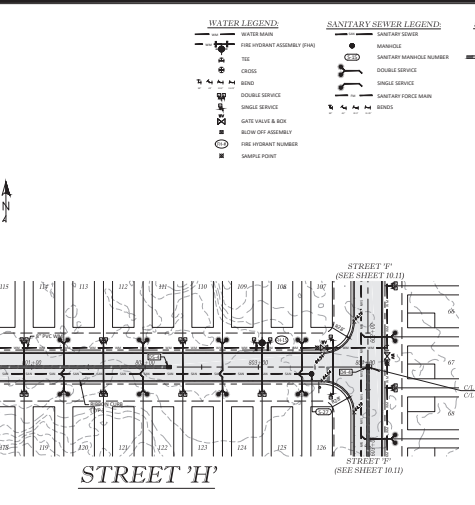
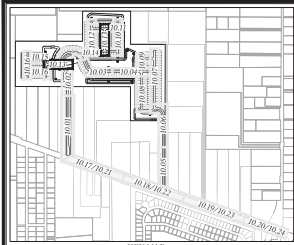
IMPROVEMENT PLANS
 STREETS AND ALLEYS
 MARRION COUNTY, FLORIDA

PLAN & PROFILE
STREET 'G'

DATE: 4/27/2006
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 04-0005

SHEET: 10.12

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



- | | | |
|-----------------------------|------------------------------|---------------------|
| WATER LEGEND | SANITARY SEWER LEGEND | STORM LEGEND |
| WATER MAIN | SANITARY SEWER | GATE PILET |
| FIRE HYDRANT ASSEMBLY (FHA) | MANHOLE | STORM MANHOLE |
| TIE | SANITARY MANHOLE NUMBER | STORM PIPE |
| CROSS | DOUBLE SERVICE | STORM STRUCTURE ID |
| BEND | SINGLE SERVICE | |
| DOUBLE SERVICE | SANITARY FORCE MAIN | |
| SINGLE SERVICE | BEND | |
| CATCH BASIN & BOX | | |
| BLOW OFF ASSEMBLY | | |
| FIRE HYDRANT NUMBER | | |
| SAMPLE POINT | | |

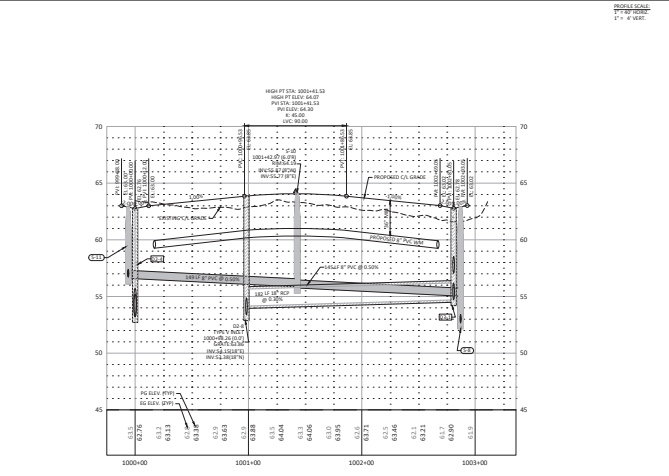
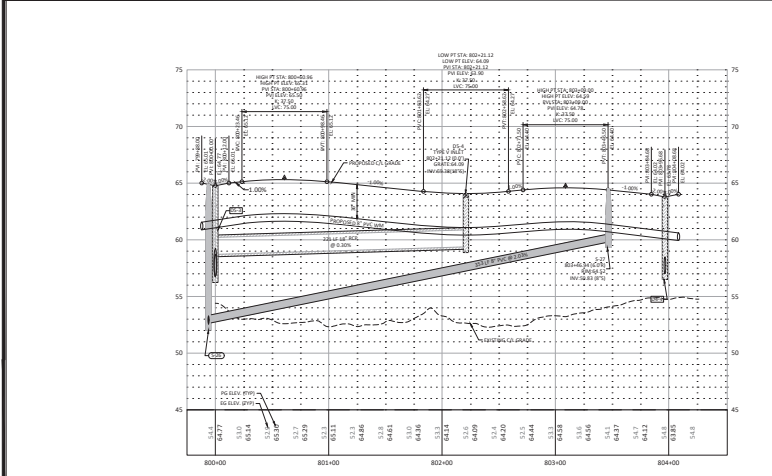
Thomas & Associates
 ENGINEERS, ARCHITECTS, PLANNERS, LANDSCAPE ARCHITECTS, HISTORIC PRESERVATIONISTS
 1720 SE 18th Ave, Room 100, Ocala, FL 34471
 PHONE: 352.237.4600 FAX: 352.237.4606
 CERTIFICATE OF AUTHORIZATION: 12825

MARRION COUNTY APPROVAL #TAM

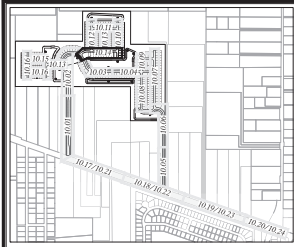
DATE: 4/27/2006
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 05-0005

IMPROVEMENT PLANS
 STREETS AND ALLEYS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'H' & 'J'

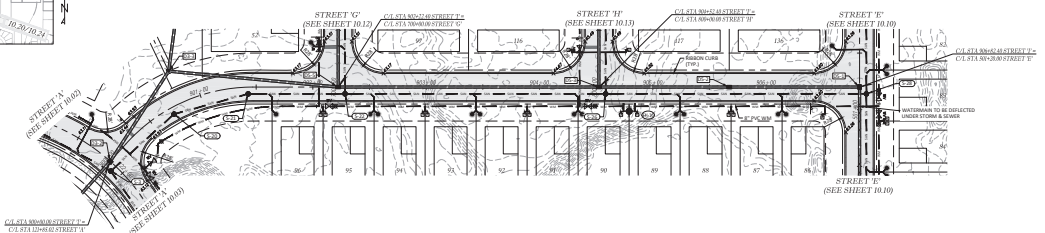
SHEET **10.13**



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

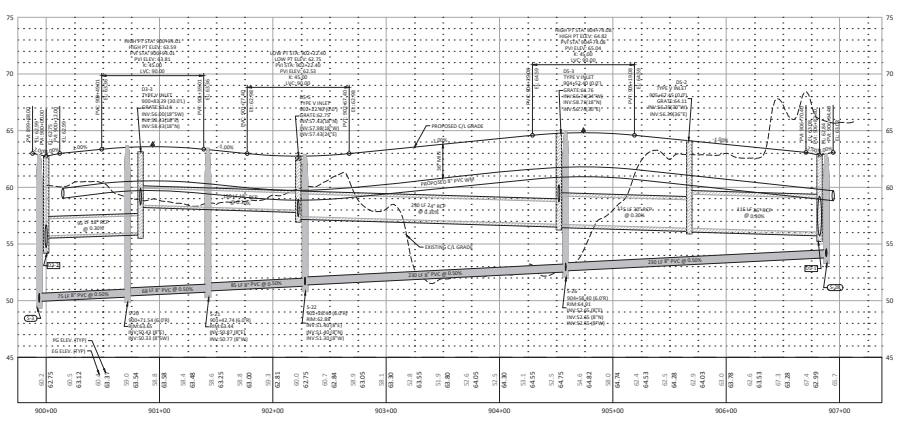
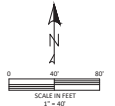


- | | | |
|--|---|---|
| <p>WATER LEGEND</p> <ul style="list-style-type: none"> — WATER MAIN — FIRE HYDRANT ASSEMBLY (FHA) — TIE — CROSS — BEND — DOUBLE SERVICE — SINGLE SERVICE — GATE VALVE & BOX — BLOW OFF ASSEMBLY — FIRE HYDRANT NUMBER — SAMPLE POINT | <p>SANITARY SEWER LEGEND</p> <ul style="list-style-type: none"> — SANITARY SEWER — MANHOLE — SANITARY MANHOLE NUMBER — DOUBLE SERVICE — SINGLE SERVICE — SANITARY FORCE MAIN — BEND | <p>STORM LEGEND</p> <ul style="list-style-type: none"> — GATE PILOT — STORM MANHOLE — STORM PIPE — STORM STRUCTURE (S) |
|--|---|---|



STREET 'Y'

MARRION COUNTY APPROVAL STAMP



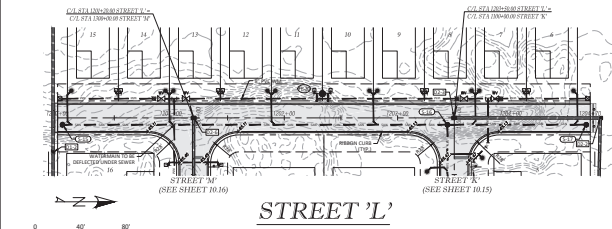
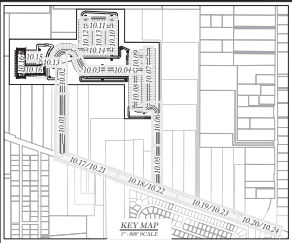
Thomas & Associates
 ENGINEERS, PLANNERS, ARCHITECTS, INTERIORS
 1720 SE 18th Ave, Room 100, Ocala, FL 34471
 PHONE: 352-237-0606
 FAX: 352-237-0606
 WWW: WWW.THOMASANDASSOCIATES.COM

DATE: 4/27/2016
 DRAWN BY: AS
 CHECKED BY: JY
 JOB NO.: 15-0005

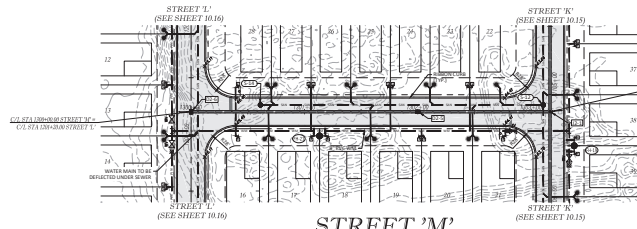
IMPROVEMENT PLANS
 MARRION COUNTY, FLORIDA
PLAN & PROFILE
STREET 'Y'

DATE: 10.14

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



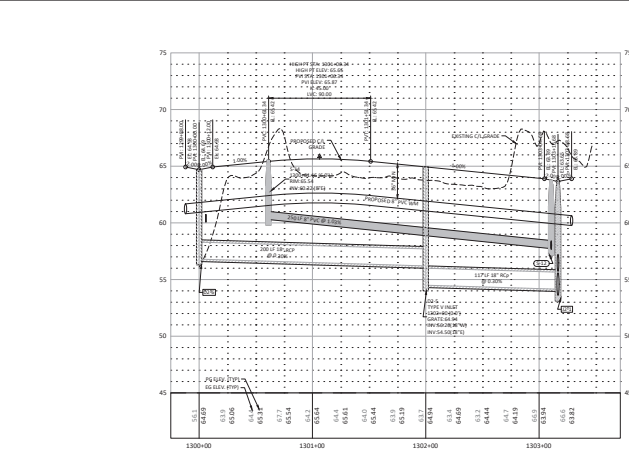
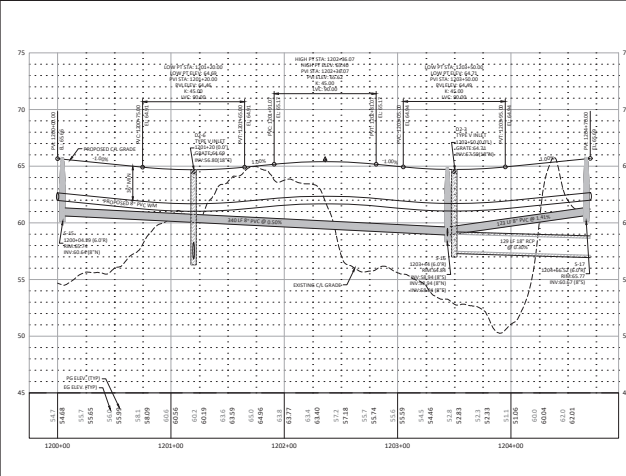
- | | | |
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| <p>WATER LEGEND</p> <ul style="list-style-type: none"> — WATER MAIN — FIRE HYDRANT ASSEMBLY (FHA) — TIE — CROSS — BEND — DOUBLE SERVICE — SINGLE SERVICE — GAS VALVE & BOX — BLOW OFF ASSEMBLY — FIRE HYDRANT NUMBER — SAMPLE POINT | <p>SANITARY SEWER LEGEND</p> <ul style="list-style-type: none"> — SANITARY SEWER — MANHOLE — SANITARY MANHOLE NUMBER — DOUBLE SERVICE — SINGLE SERVICE — SANITARY FORCE MAIN — BEND | <p>STORM LEGEND</p> <ul style="list-style-type: none"> — GATE PILOT — STORM MANHOLE — STORM PIPE — STORM STRUCTURE ID |
|---|---|--|



MARRION COUNTY APPROVAL STAMP

SCALE IN FEET
1" = 40'

Wagner & Associates
ENGINEERS, ARCHITECTS, PLANNERS & LANDSCAPE ARCHITECTS - INTERNATIONAL
1720 SE 16TH AVE. SUITE 100, OCAHA, FL 32067
TEL: 386.254.9600 FAX: 386.254.9606
WWW.WAGNERANDASSOCIATES.COM



MARRION COUNTY APPROVAL STAMP

SCALE IN FEET
1" = 40'

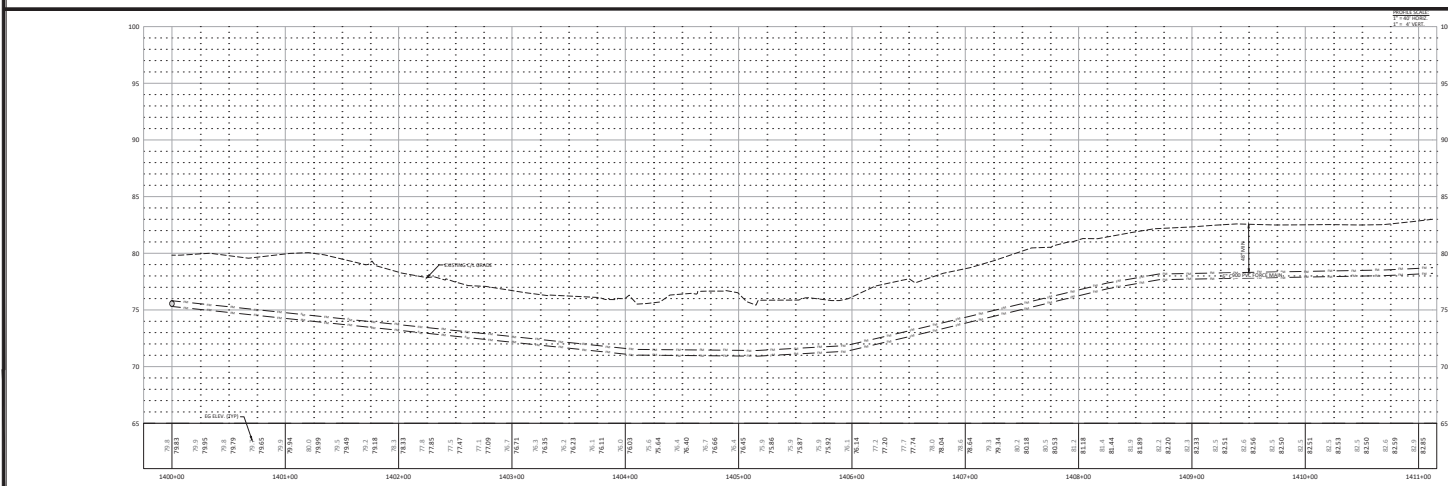
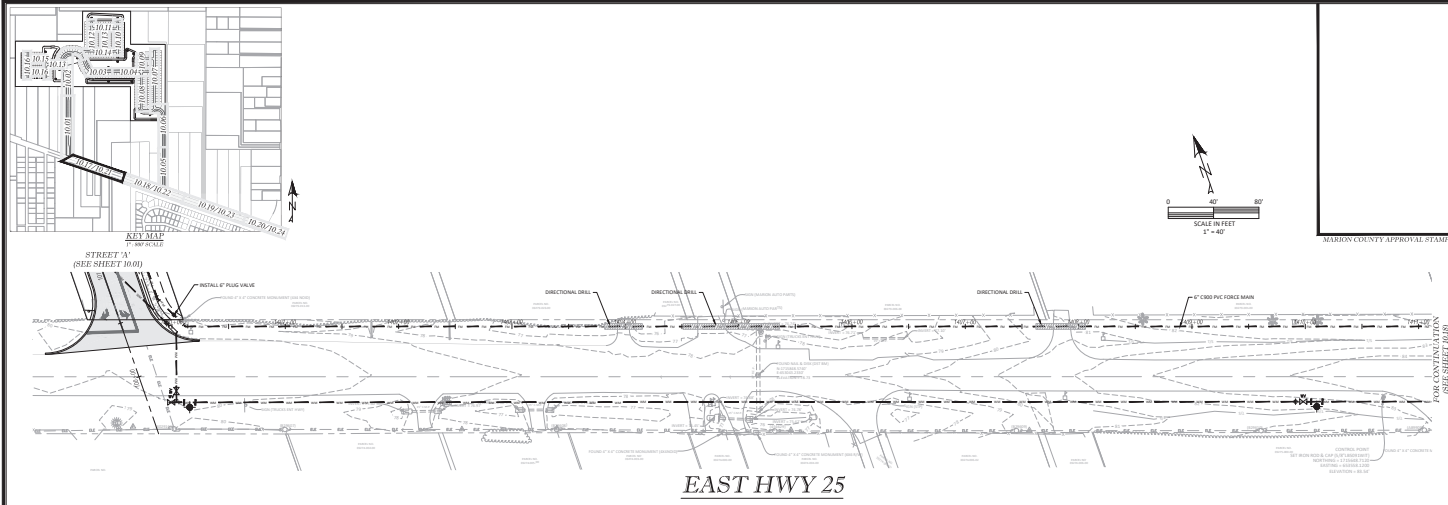
PLAN & PROFILE
STREET 'L' & 'M'

IMPROVEMENT PLANS
MARRION COUNTY, FLORIDA

DATE: 4/27/2023
DRAWN BY: AS
CHECKED BY: JY
JOB NO.: 23-0005

SHEET 10.16

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THOMAS & ASSOCIATES
 ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - INTERIOR DESIGN
 1720 SE 16TH AVE. SUITE 100, OCAHA, FL 32067
 PHONE: 386.762.1606
 FAX: 386.762.1606
 LICENSE NO. 12225

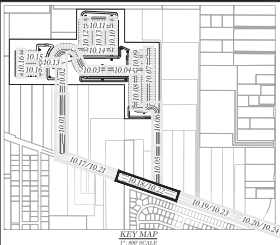
DATE: 4/27/2025
DRAWN BY: AS
CHECKED BY: JY
JOB NO.: 24-0005

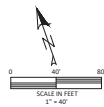
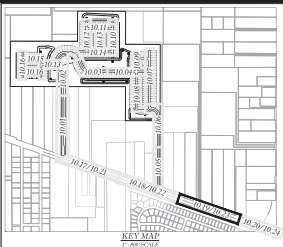
IMPROVEMENT PLANS FOR EAST HWY 25 FORCE MAIN

PLAN & PROFILE

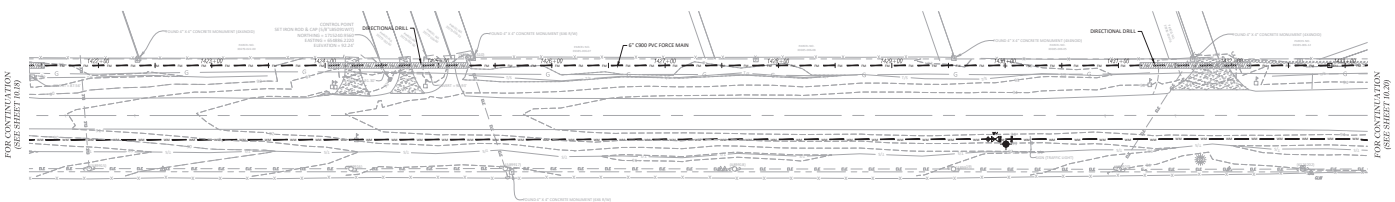
EAST HWY 25 FORCE MAIN

SHEET 10.17

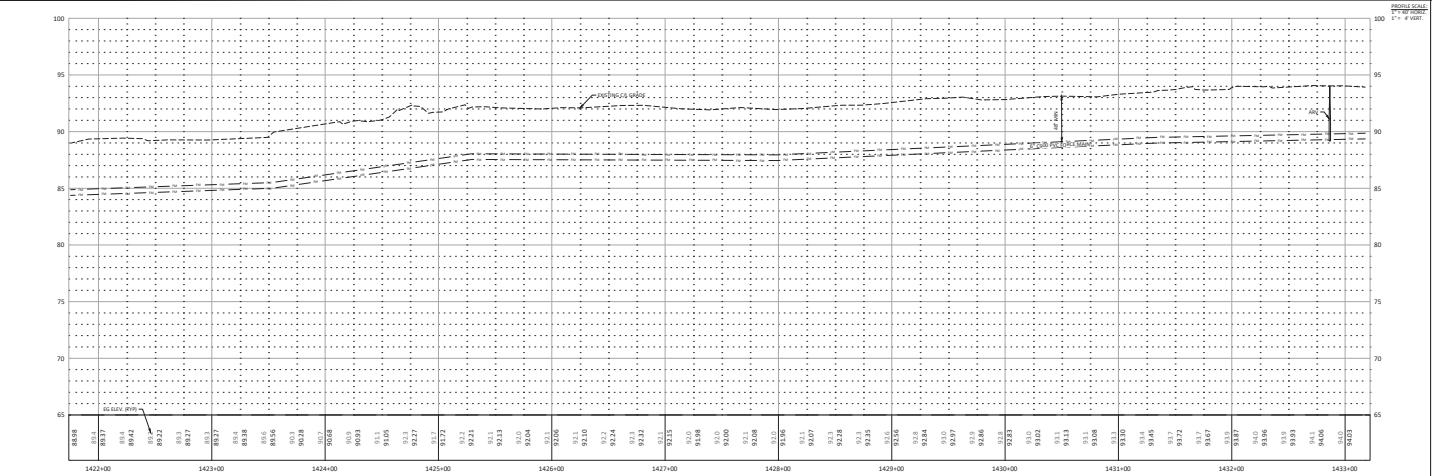




MARRION COUNTY APPROVAL STAMP



EAST HWY 25



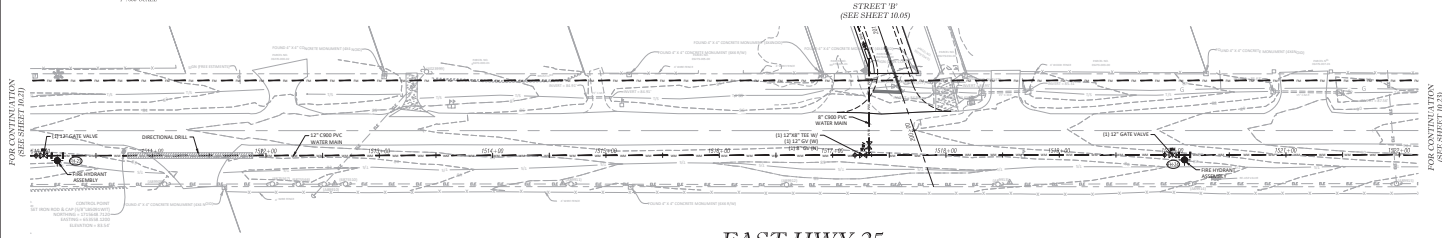
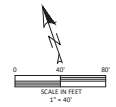
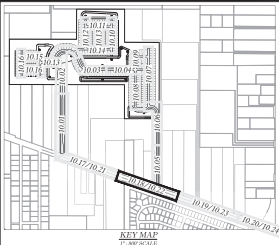
Thomas & Associates
 ENGINEERING & ARCHITECTURE, LLC
 1720 SE 10TH AVE, BLDG 100, OCAHA, FL 33471
 TEL: (407) 297-0656
 FAX: (407) 297-0656
 E-MAIL: T&A@THOMAS-ASSOCIATES.COM

DATE	7/27/2006
DRAWN BY	AS
CHECKED BY	JV
JOB NO.	24-0008

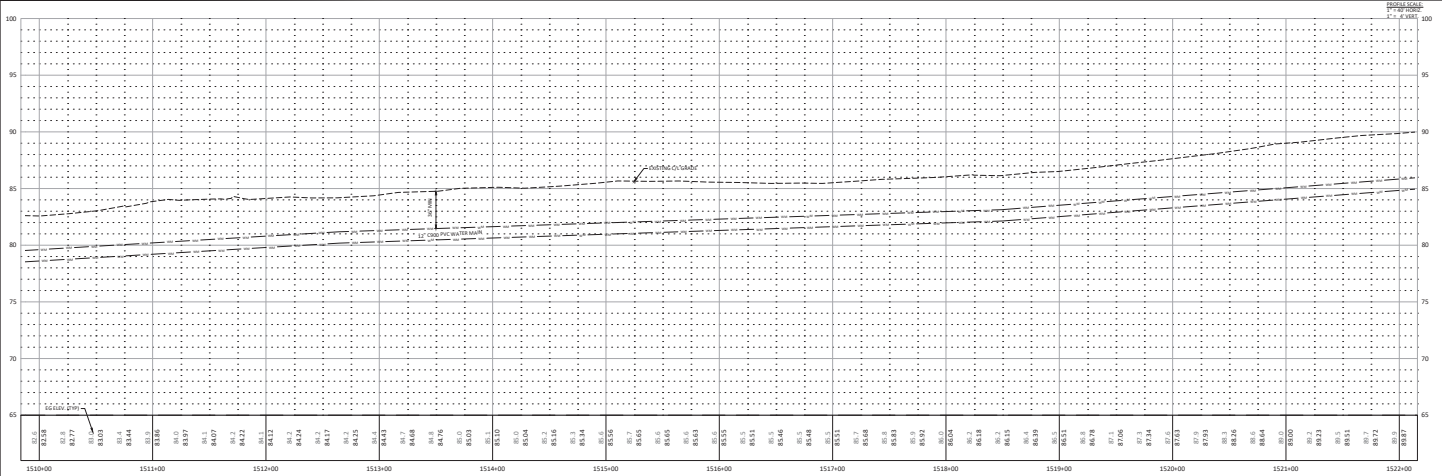
DATE: 7/27/2006
 DRAWN BY: AS
 CHECKED BY: JV
 JOB NO.: 24-0008

1019

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



EAST HWY 25



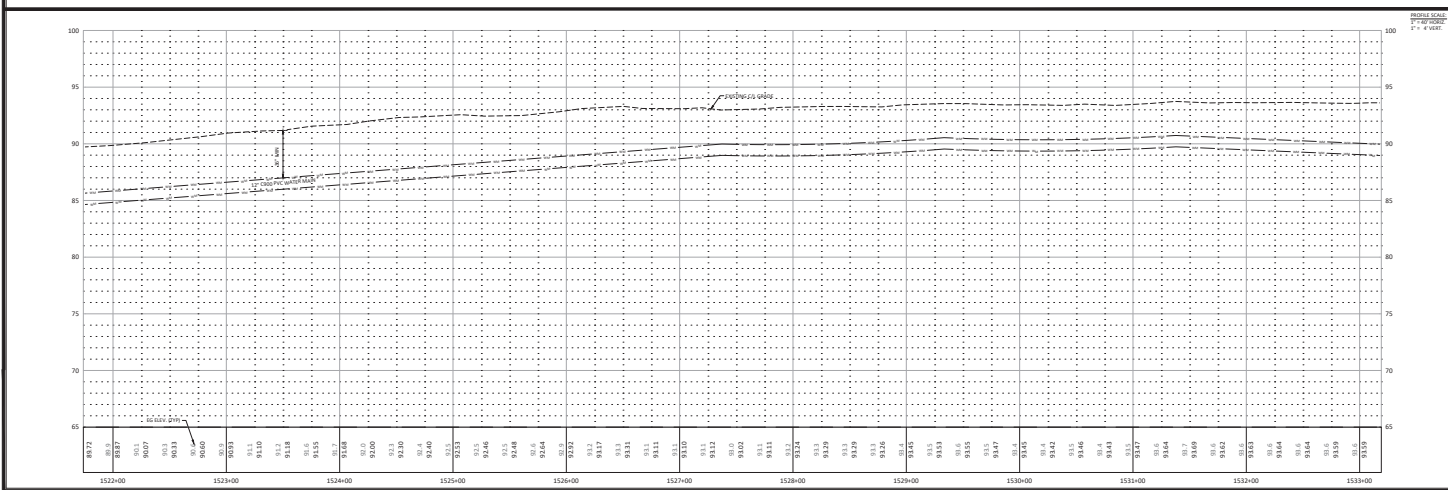
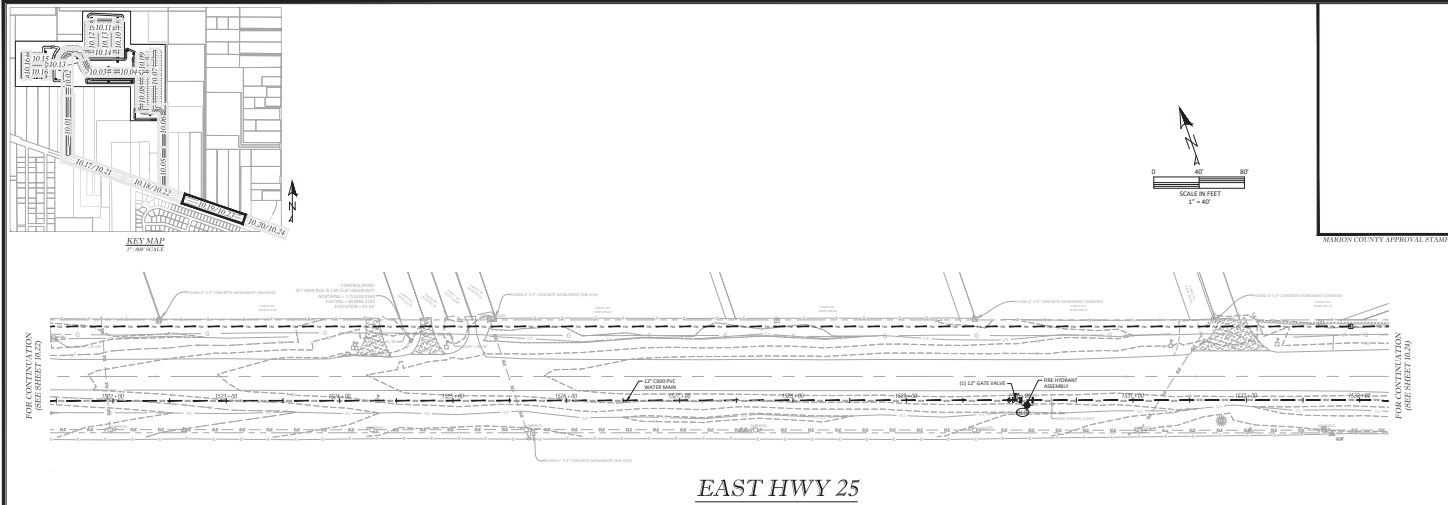
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

THOMAS & ASSOCIATES
 ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - INTERIOR DESIGN
 1720 SE 16TH AVE, SUITE 100, OCAHA, FL 33471
 PHONE: (407) 255-1606
 FAX: (407) 255-1606
 E-MAIL: INFO@THOMAS-AND-ASSOCIATES.COM

DATE: 4/27/2023
 DRAWN BY: AS
 CHECKED BY: JVS
 JOB NO.: 23-0028

IMPROVEMENT PLANS
 MARION COUNTY, FLORIDA
PLAN & PROFILE
EAST HWY 25 WATER MAIN

SHEET: 10.22



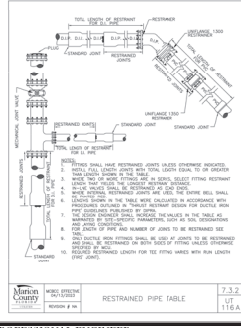
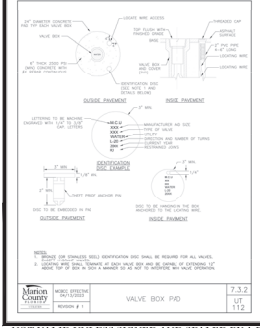
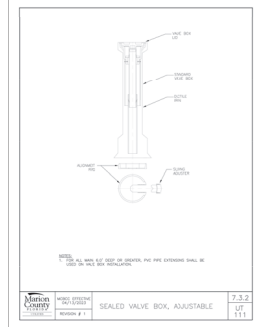
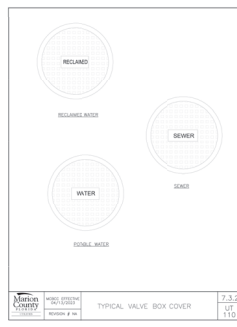
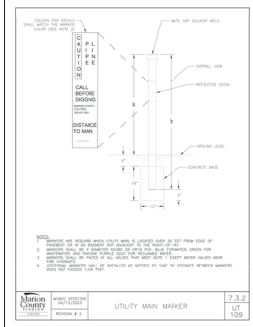
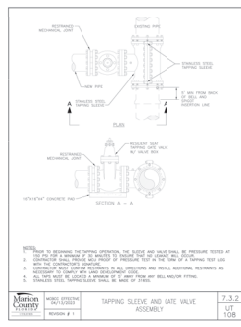
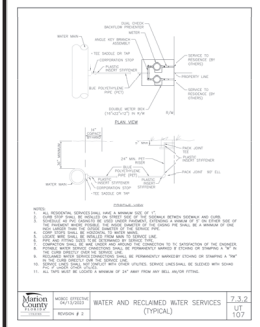
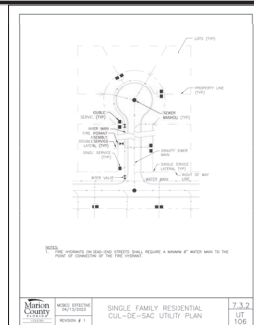
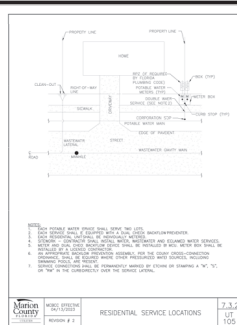
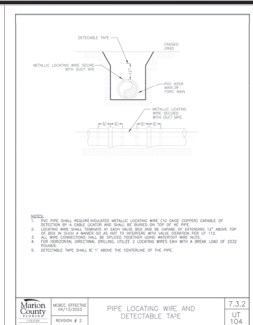
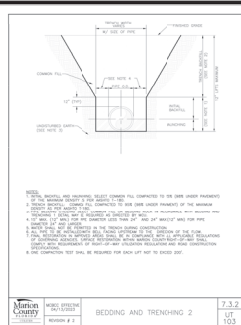
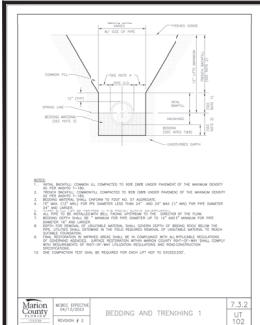
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Thomas & Associates
 ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, INTERIOR DESIGN, AND CONSTRUCTION MANAGEMENT
 1720 SE 16TH AVE, BLDG 100, OCAHA, FL 33471
 PHONE: (561) 393-6000
 FAX: (561) 393-6006
 WWW: WWW.TOMASANDASSOCIATES.COM

DATE: 4/27/2023
 DRAWN BY: AS
 CHECKED BY: JVS
 JOB NO.: 23-0028

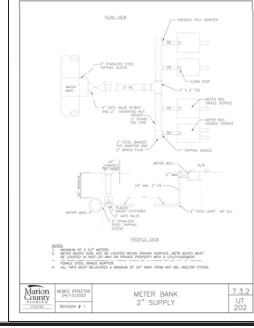
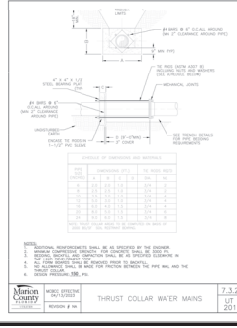
IMPROVEMENT PLANS
 MARRION COUNTY, FLORIDA
 EAST HWY 25 WATER MAIN

SHEET 10.23



MINIMUM RESTRAINED LENGTH (FT) FOR EACH SIZE OF FITTING AND VALVE	MINIMUM RESTRAINED LENGTH (FT) FOR EACH SIZE OF FITTING AND VALVE
1/2"	1/2"
3/4"	3/4"
1"	1"
1 1/4"	1 1/4"
1 1/2"	1 1/2"
2"	2"
2 1/2"	2 1/2"
3"	3"
3 1/2"	3 1/2"
4"	4"
4 1/2"	4 1/2"
5"	5"
5 1/2"	5 1/2"
6"	6"
6 1/2"	6 1/2"
7"	7"
7 1/2"	7 1/2"
8"	8"
8 1/2"	8 1/2"
9"	9"
9 1/2"	9 1/2"
10"	10"
10 1/2"	10 1/2"
11"	11"
11 1/2"	11 1/2"
12"	12"
12 1/2"	12 1/2"
13"	13"
13 1/2"	13 1/2"
14"	14"
14 1/2"	14 1/2"
15"	15"
15 1/2"	15 1/2"
16"	16"
16 1/2"	16 1/2"
17"	17"
17 1/2"	17 1/2"
18"	18"
18 1/2"	18 1/2"
19"	19"
19 1/2"	19 1/2"
20"	20"
20 1/2"	20 1/2"
21"	21"
21 1/2"	21 1/2"
22"	22"
22 1/2"	22 1/2"
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25"	25"
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44"	44"
44 1/2"	44 1/2"
45"	45"
45 1/2"	45 1/2"
46"	46"
46 1/2"	46 1/2"
47"	47"
47 1/2"	47 1/2"
48"	48"
48 1/2"	48 1/2"
49"	49"
49 1/2"	49 1/2"
50"	50"

7.3.2.12
RESTRAINED PIPE TABLE
UT 116B



MARRION COUNTY APPROVAL STAMP

THOMAS & Associates
ENGINEERING, LLC

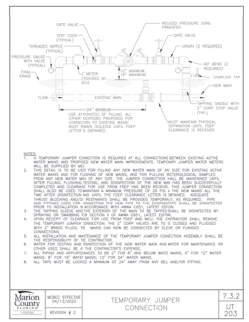
CHA. HENNING - PAVING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg. 100, Ocala, FL 34471
Phone: 352-237-0975
Fax: 352-237-0976

POTABLE WATER
DISTRIBUTION DETAILS

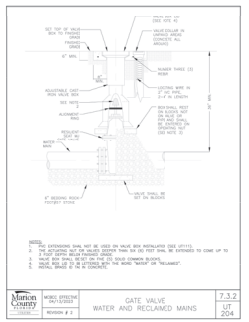
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DRAWN BY: AS
CHECKED BY: JH
FORNOVA: 22-00002

SHEET: 11.01

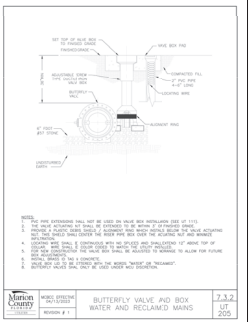
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



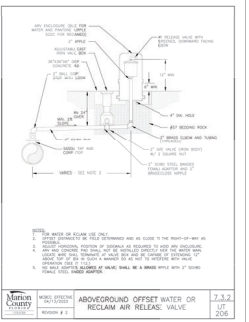
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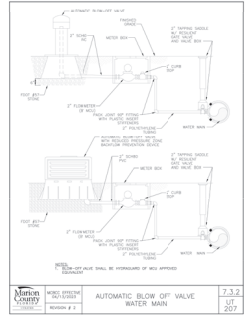
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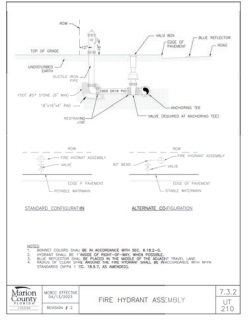
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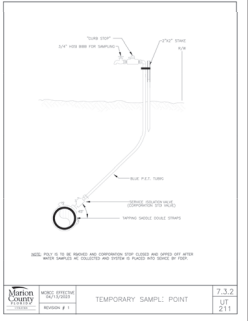
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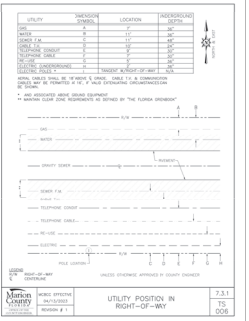
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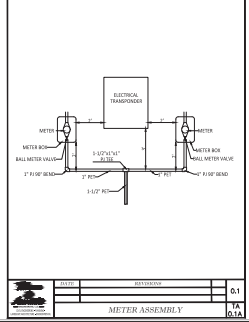
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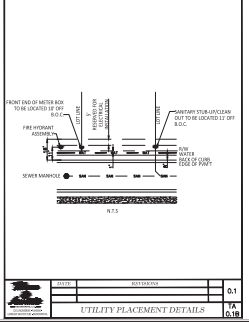
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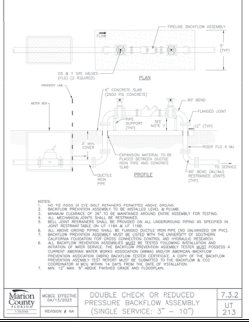
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01A



01
1A
01A



7.3.2
UT
213

MARION COUNTY APPROVAL STAMP

Thomas & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLUMBING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Room 100, Ocala, FL 34471
Phone: 352-237-9795
Fax: 352-237-9796
www.thomasandassociates.com

POTABLE WATER
DISTRIBUTION DETAILS

DATE: 4/26/2016
DRAWN BY: AS
CHECKED BY: JH
FOR NO. 22-0002

SHT. 11.02

				<p>MARION COUNTY APPROVAL STAMP</p>	<p>Thomas & Associates ENGINEERING, LLC 2720 SE 10th Ave, Bldg 100, Ocala, FL 34471 CONTRACT NO. 14-00000000000000000000</p>	
						<p>RESIDENCE</p> <p>DATE</p>
						<p>APPROVED BY: [Signature]</p> <p>DATE: 4/6/2009</p> <p>DRAWN BY: AS</p> <p>CHECKED BY: JH</p> <p>JOB NO: 22-0001</p> <p>SHEET: 12.01</p> <p>SANITARY SEWER DETAILS</p>

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

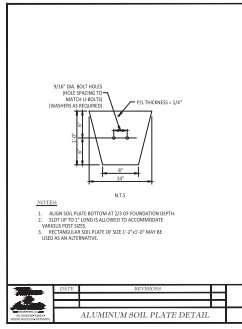
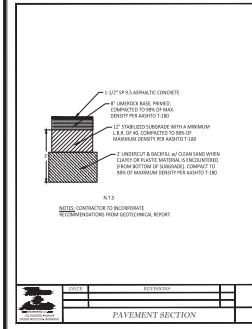
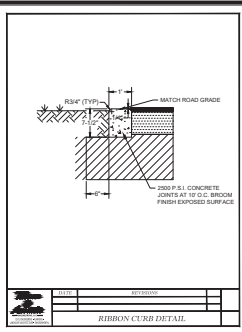
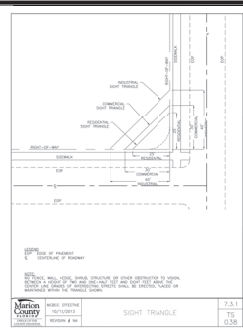
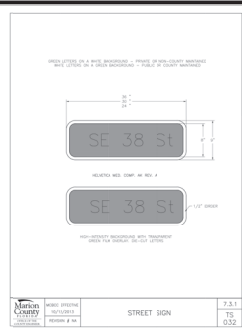
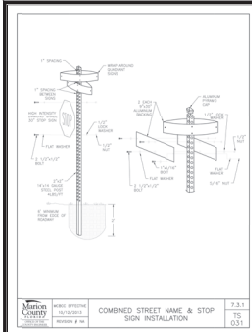
<p>RESTRAINED PIPE TABLE WASTEWATER FORCE MAINS</p> <p>7.3.2 UT 300</p>	<p>THRUST COLLAR WASTEWATER FORCE MAINS</p> <p>7.3.2 UT 301</p>	<p>FORCE MAIN TO GRAVITY SEWER CONNECTION</p> <p>7.3.2 UT 302</p>	<p>GRAVITY MANHOLE CONNECTION</p> <p>7.3.2 UT 303</p>	<p>MARION COUNTY APPROVAL STAMP</p>
<p>PLUG VALVE AND BOX</p> <p>7.3.2 UT 304</p>	<p>STANDARD SEWER MANHOLE FRAME AND COVER</p> <p>7.3.2 UT 305</p>	<p>PRECAST CONCRETE MANHOLE</p> <p>7.3.2 UT 306</p>	<p>AIR RELEASE VALVE SEWER AND RECIMAD</p> <p>7.3.2 UT 307</p>	
<p>AIR OR COMBINATION AIR RELEASE VALVE IN VAULT SEWER</p> <p>7.3.2 UT 308</p>	<p>MANHOLE IN NON-PAVED AREA</p> <p>7.3.2 UT 309</p>	<p>SEWER SERVICE LATERAL</p> <p>7.3.2 UT 310</p>	<p>LAUNCHING PIT PORT</p> <p>7.3.2 UT 311</p>	
<p>NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER</p>				

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

W. H. HANCOCK & ASSOCIATES, LLC
 ENGINEERS
 1720 SE 8th Ave Bldg 100, Ocala, FL 34471
 REGISTRATION # 12045
 REGISTRATION # 12046

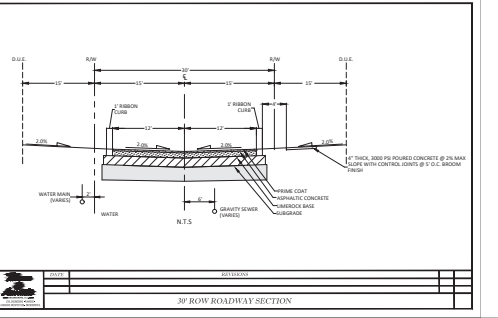
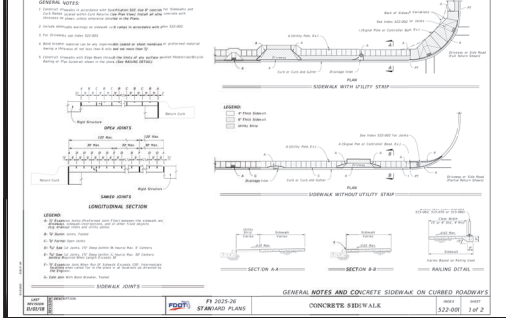
DATE: 4/6/2008
 DRAWN BY: AS
 CHECK BY: JH
 JOB NO: 08-0001

SHEET: 12.02



ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LDC.

- NOTES
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER A POWER COPY OF ALL PERMITS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND PERICLES.
 2. GRADES AND MATCH OR TOOLS SHOULD ALL AREAS INTERESTING RIGHTS OF WAY (ROW) BY CONSTRUCTION.
 3. CONTRACTOR IS TO DEMARK ALL WORK WITHIN BUT NOT LIMITED TO THE MARION COUNTY ROWS OF WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITIES AND THE DAMAGE OF ADJACENT TO DRIVE, IF APPLICABLE.
 4. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.



Marion County, FL
ENGINEER, LLC
CHL INDEPENDENT PARKING - JANSCH ARCHITECTURE - BOUNDARY
1720 SE 8th Ave Bldg 100, Ocala, FL 34471
OFFICE: 352.236.5500
CELL: 352.236.5500

MARION COUNTY APPROVAL STAMP

BUSINESS

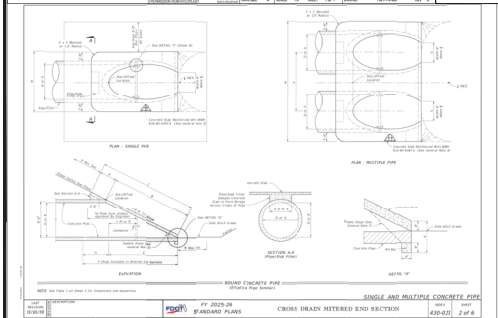
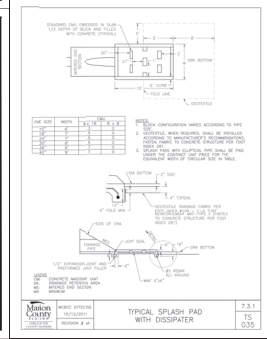
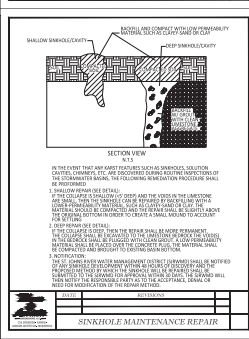
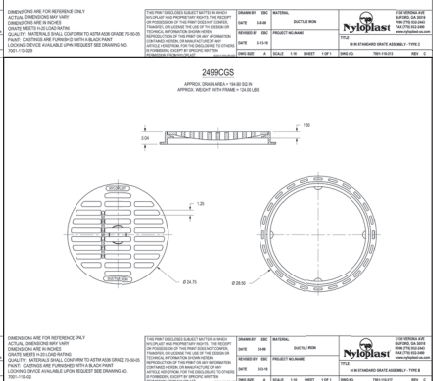
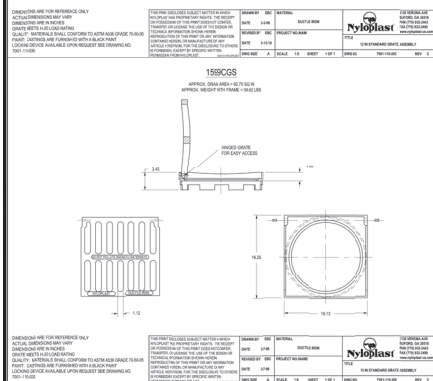
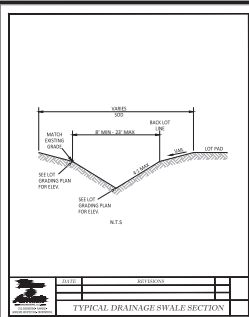
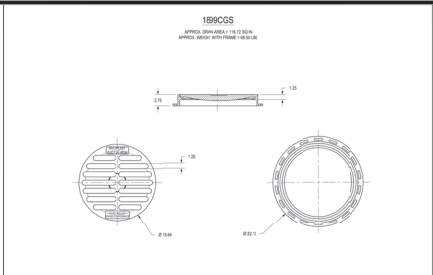
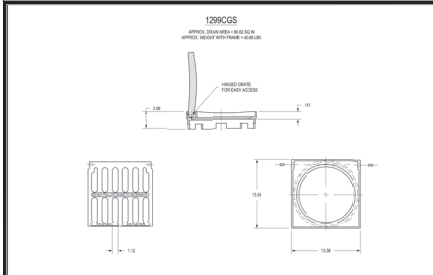
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DRAWN BY: AS
CHECK BY: JH
JOB NO: 22-0001

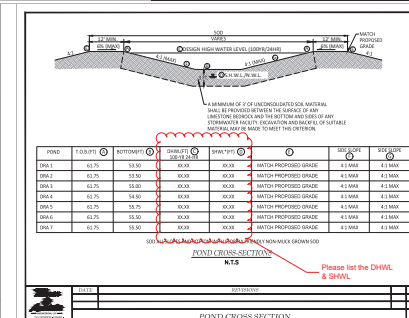
DATE: 4/6/2025

SHEET 13 OF 10

IMPROVEMENTS IN PARK
MARION COUNTY, FLORIDA
ROADWAY & PAVEMENT
DETAILS



PIPE	DEPTH	DIAMETER	LENGTH	QUANTITY	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW1	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW2	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW3	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW4	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW5	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW6	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES
DW7	18.75	18.75	10.00	1	CONCRETE PIPE DIMENSIONS AND QUANTITIES



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

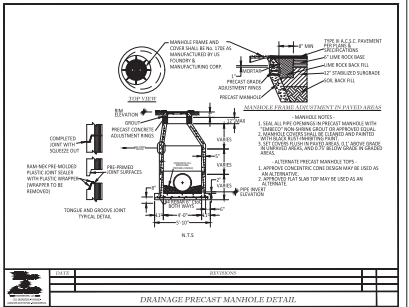
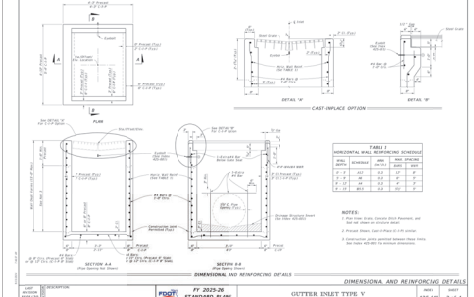
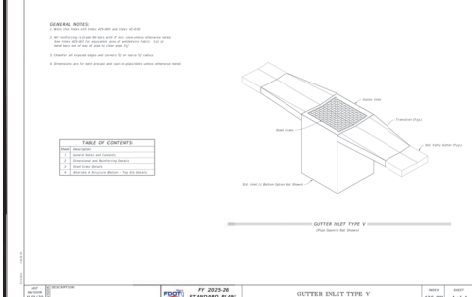
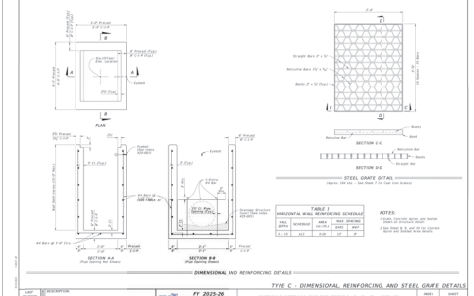
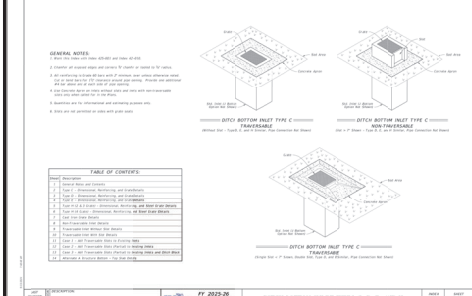
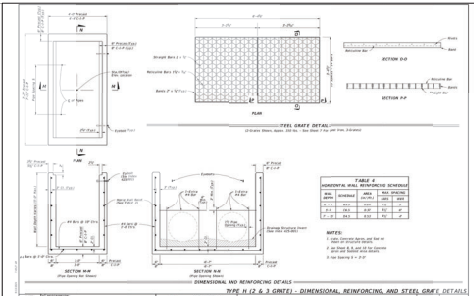
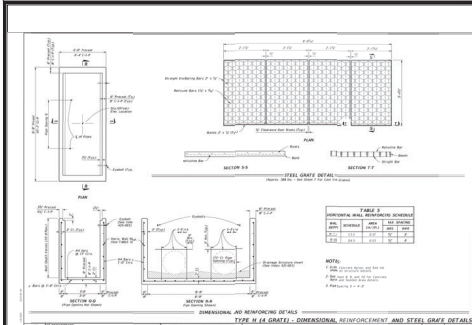
THOMAS & JAMES ENGINEERING, LLC
 CIVIL ENGINEERING - PAVING - LANDSCAPE ARCHITECTURE - SURVEYING
 1720 SE 8th Ave Bldg 100, Ocala, FL 34471
 PHONE: 352-237-1111 FAX: 352-237-1112
 WWW.THOMASANDJAMESENGINEERING.COM

MARION COUNTY APPROVAL STAMP

GRADING & DRAINAGE DETAILS

DATE: 4/6/2020
 DRAWN BY: AS
 CHECKED BY: JH
 APPROVED BY: [Signature]

sheet 14.01



MARION COUNTY APPROVAL STAMP

REGISTRATION

DATE

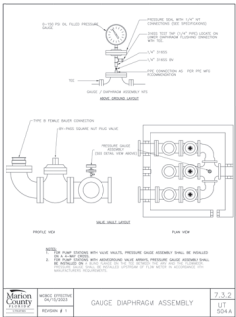
REVISIONS

DATE: 4/6/2020
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 SHEETS: 22-0001

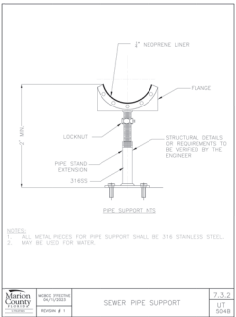
PROJECT: GRADING & DRAINAGE DETAILS

PREPARED BY: JAMES W. HANCOCK, P.E.
 1720 SE 8th Ave Bldg 100, Ocala, FL 34471
 ENGINEER: HANCOCK ENGINEERING, INC.
 1720 SE 8th Ave Bldg 100, Ocala, FL 34471
 OFFICE: 352-237-1111
 CELL: 352-237-1111

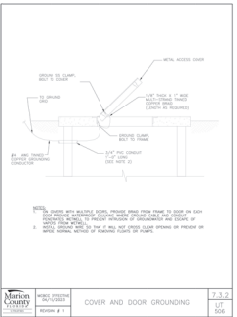
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



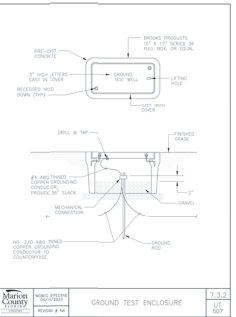
GAUGE DIAPHRAGM ASSEMBLY
7.3.2
UT
5044



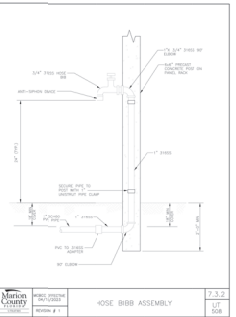
SEWER PIPE SUPPORT
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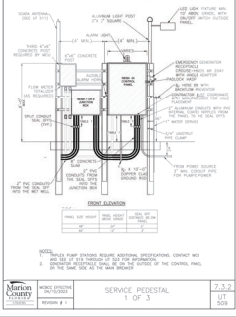
COVER AND DOOR GROUNDING
7.3.2
UT
506



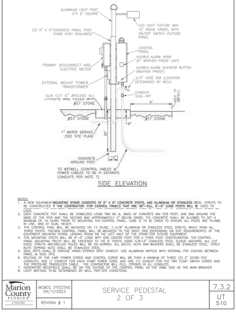
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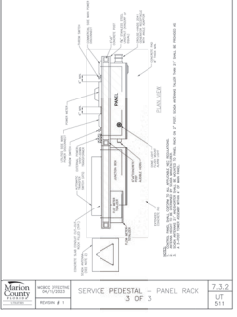
HOSE BIBB ASSEMBLY
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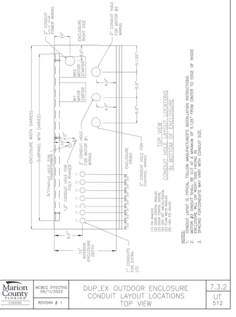
SERVICE PEDESTAL
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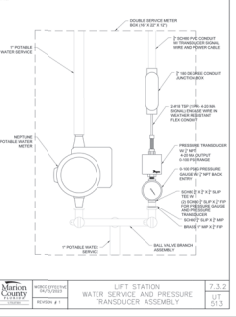
SERVICE PEDESTAL
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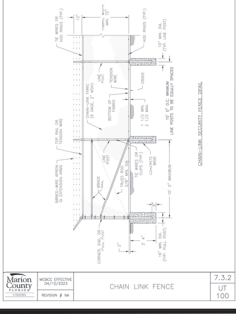
SERVICE PEDESTAL - PANEL RACK
7.3.2
UT
511



DUPLEX OUTDOOR ENCLOSURE
CONDUIT LAYOUT LOCATIONS
7.3.2
UT
512



LIFT STATION
WATER SERVICE AND PRESSURE
TRANSDUCER ASSEMBLY
7.3.2
UT
513



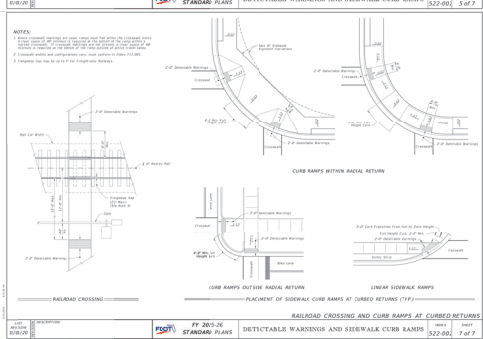
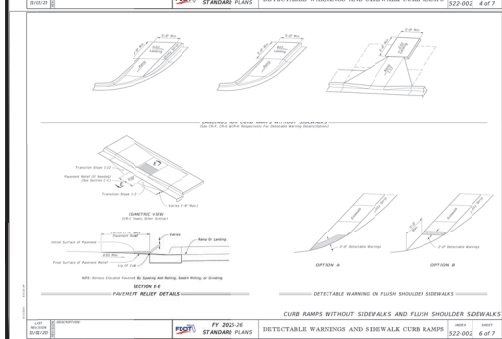
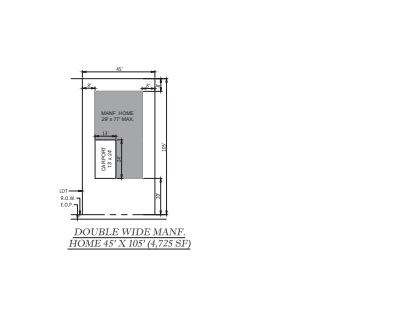
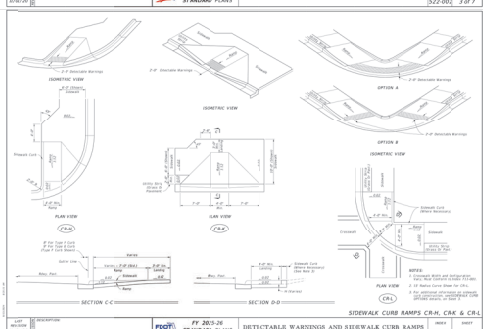
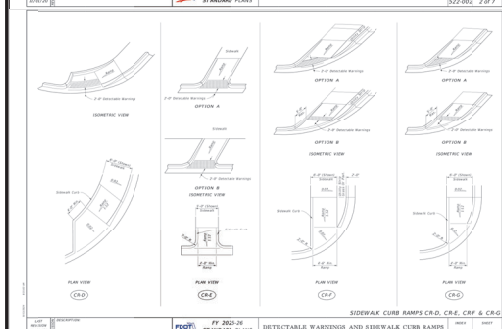
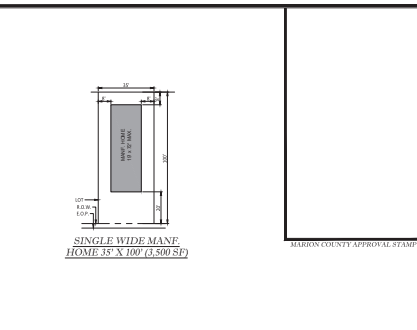
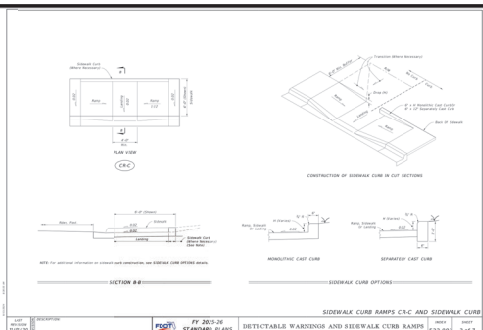
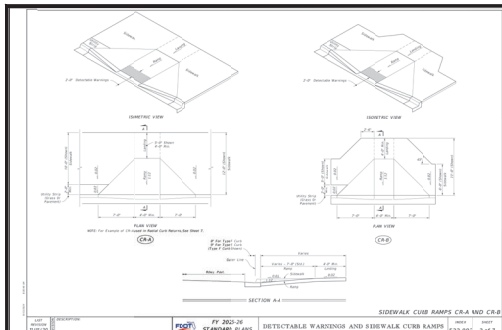
CHAIN LINK FENCE
7.3.2
UT
100

MARRION COUNTY APPROVAL STAMP

PROFESSIONAL ENGINEERING
MARRION COUNTY, FLORIDA
LIFT STATION DETAILS

DATE	4/6/2020
DRAWN BY	AS
CHECKED BY	JW
JOB NO.	22-0003

DATE: 4/6/2020
DRAWN BY: AS
CHECKED BY: JW
JOB NO.: 22-0003
SHEET: 15.02



FF 200-26 STANDARD PLANS DETECTABLE WARNING AND SIDEWALK CURB RAMP 522-001 6 of 7

FF 200-26 STANDARD PLANS DETECTABLE WARNING AND SIDEWALK CURB RAMP 522-001 7 of 7

FF 200-26 STANDARD PLANS DETECTABLE WARNING AND SIDEWALK CURB RAMP 522-001 9 of 9

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

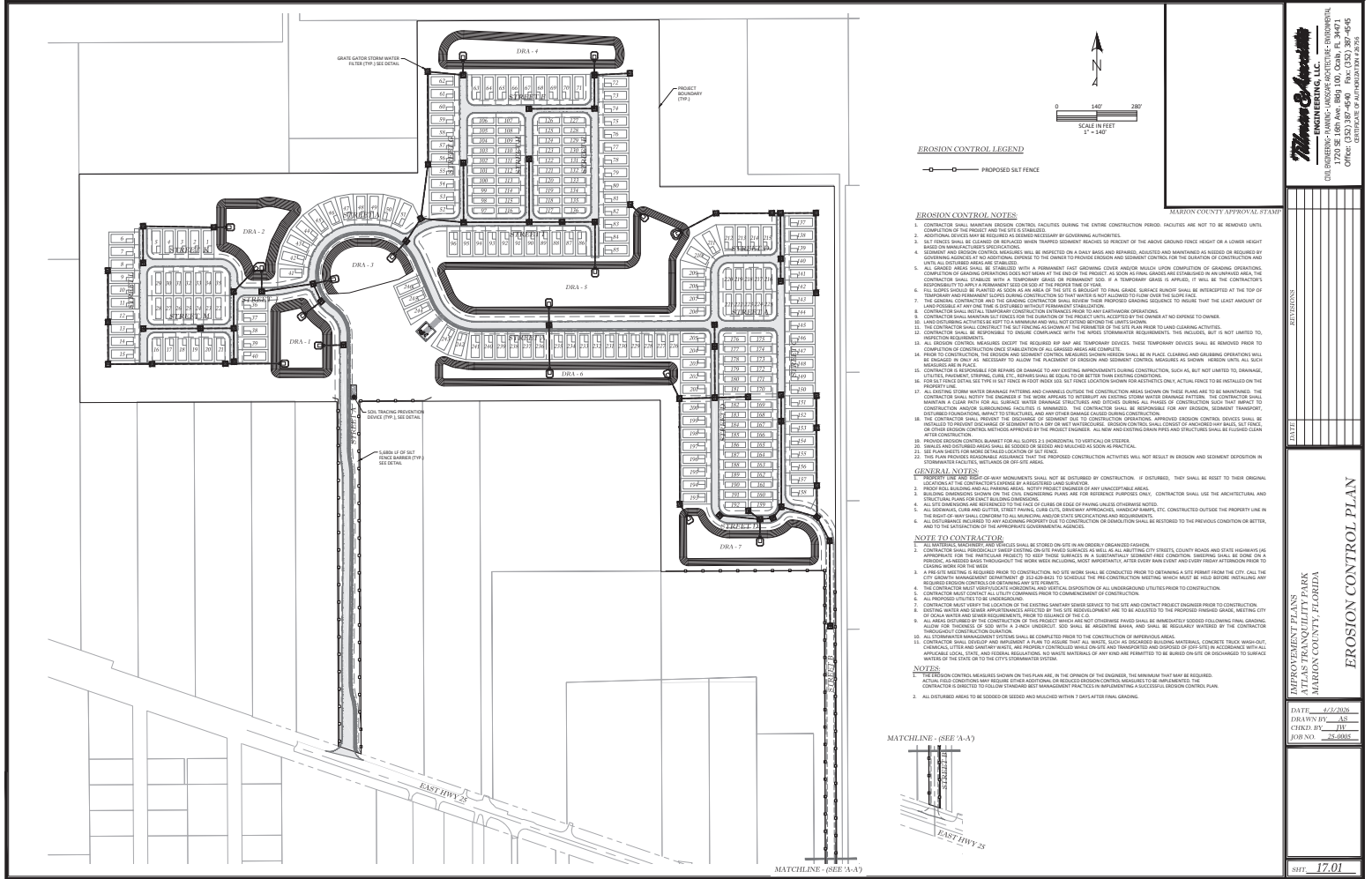
W&A
ENGINEERING, LLC
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 10TH AVE, SUITE 1000, OCAHA, FL 34471
 (813) 443-3800
 OFFICE HOURS: MONDAY - FRIDAY 8:00 AM - 5:00 PM

MARION COUNTY APPROVAL STAMP
 REGISTERED PROFESSIONAL ENGINEER
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEER

IMPROVEMENT PLANS
WILLOW PARKS
MARION COUNTY, FLORIDA
GEOMETRY & GENERAL
DETAILS

DATE: 4/6/2025
 DRAWN BY: AS
 CHECKED BY: JH
 JOB NO.: 25-0003

SHEET: 16.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

THOMAS & ASHLEY
ENGINEERING, LLC
1720 SE 10th Ave, Bldg 100, Ocala, FL 34911
OFFICE: 352.236.6532
CELL: 352.236.6533
WWW.TAS-FL.COM

MARION COUNTY APPROVAL STAMP

<p>APPROVED FOR CONSTRUCTION</p> <p>DATE: 12/12/2023</p> <p>DRAWN BY: AS</p> <p>CHECKED BY: JW</p> <p>FOR NO. 23-0884</p>	<p>EROSION CONTROL PLAN</p> <p>PROJECT: EAST HWY 25</p> <p>DATE: 12/12/2023</p> <p>DRAWN BY: AS</p> <p>CHECKED BY: JW</p> <p>FOR NO. 23-0884</p>
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EROSION CONTROL LEGEND

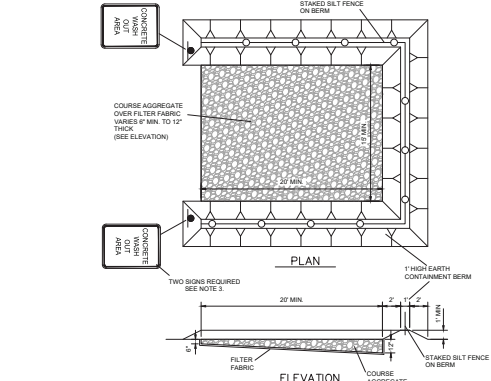
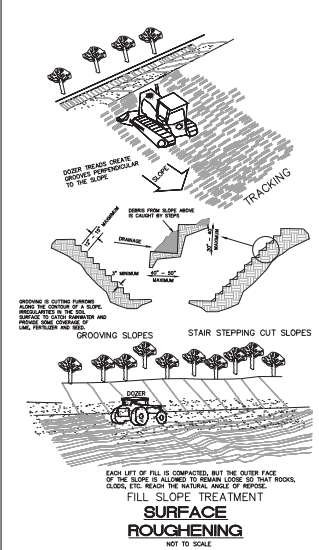
--- PROPOSED SET FENCE

EROSION CONTROL NOTES

1. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
2. ADDITIONAL COVER MAY BE REQUIRED AS DETERMINED BY GOVERNING AUTHORITIES.
3. ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO THE START OF ANY EXCAVATION OR EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES THROUGHOUT THE CONSTRUCTION PERIOD.
4. EROSION CONTROL FACILITIES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENT CONTROL FROM BEING INOPERATIVE.
5. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST-GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. EROSION CONTROL FACILITIES SHALL BE MAINTAINED UNTIL THE EROSION CONTROL FACILITIES ARE STABILIZED BY THE PERMANENT COVER.
6. EROSION CONTROL FACILITIES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO PREVENT EROSION AND SEDIMENT CONTROL FROM BEING INOPERATIVE.
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GENERAL NOTES

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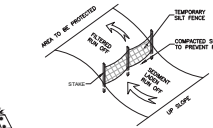
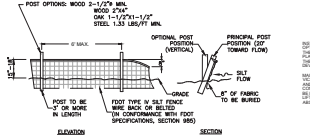


NOTES

1. ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.
2. AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR THE CITY WHEN EXCESSIVE MATERIALS BUILDUP REDUCES THE WASH OUT AREA NO LONGER FUNCTIONAL.
3. SIGNS SHALL BE 18" X 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST CORNER OF THE SIGN FACE.

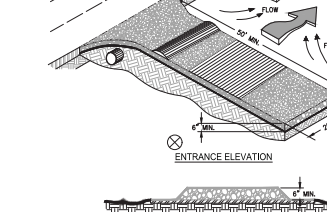
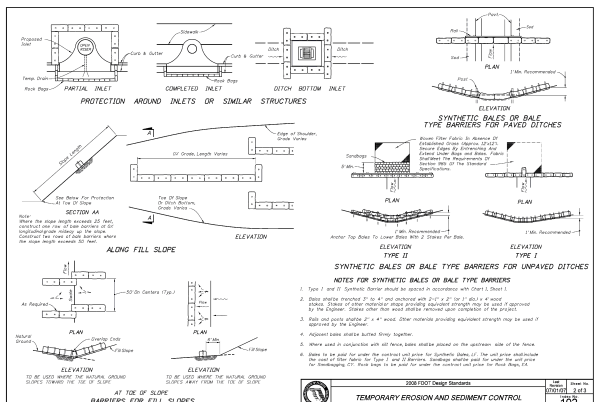
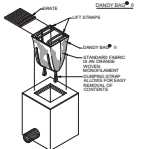
CONCRETE TRUCK WASH OUT AREA

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER SLOPE AREA HAS BEEN STABILIZED BY SOIL, OR COMPACTED AS DETERMINED BY THE OWNER.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENT IN LIEU OF PERMANENT MEASURES.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RAINFALL OR HIGH WATER.
9. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDDED.
10. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (S.F.).
11. ALL INLETS TO BE PROTECTED BY DETAILS AS OUTLINED IN F.O.D.T. 2008 INDEX NO. 102.



INSTALLATION AND MAINTENANCE GUIDELINES

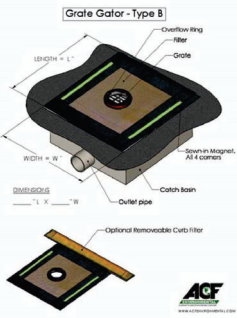
INSTALLATION SHOULD BE DONE PROGRESSIVELY. IT SHOULD BE DONE AFTER EACH RAINFALL OR AFTER EACH DAY OF CONSTRUCTION. IT SHOULD BE DONE BEFORE EACH RAINFALL. IT SHOULD BE DONE BEFORE EACH RAINFALL. IT SHOULD BE DONE BEFORE EACH RAINFALL.



NOTES

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. ADVERSITY RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARDS PAVED AREA IS GREATER THAN 2%.
4. INSTALL PIPE UNDER THE ENTRANCE (IF NEEDED) TO MAINTAIN DRAINAGE DITCHES.
5. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE.
6. WASHPACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHPACK DESIGN MAY CONSIST OF ANY MATERIAL, SUITABLE FOR TRUCK TRAFFIC THAT REMOVES MUD AND DIRT.
7. TO MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT



THOMAS ENGINEERING, LLC
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 85th Ave. Suite 100, Ocala, FL 34971
(352) 341-1234
www.thomase.com

MARION COUNTY APPROVAL STAMP

EROSION CONTROL DETAILS

DATE: 4/6/2020
DRAWN BY: AS
CHECKED BY: JH
ISSUED: 2/1/2020

ACF
www.acf.com

SHEET 18.01

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Log of Borehole: RB.1	Log of Borehole: RB.2	Log of Borehole: RB.3	Log of Borehole: RB.4	Log of Borehole: RB.5	Log of Borehole: RB.6	Log of Borehole: RB.7	Log of Borehole: RB.8	Log of Borehole: RB.9	Log of Borehole: RB.10	Log of Borehole: RB.11	Log of Borehole: RB.12	Log of Borehole: RB.13	Log of Borehole: RB.14	Log of Borehole: RB.15	Log of Borehole: RB.16
<p>Project: PROPOSED LUMBER MILL PROJECT, 30 E. MARION COUNTY, FLORIDA</p> <p>Proposed Location: (SEE SITE PLAN)</p> <p>Client: (SEE LAND LOG)</p> <p>Engineer: NATHAN C. HARRIS</p> <p>Enduse: SITE PLAN</p> <p>Scale: 1" = 10'-0"</p> <p>DATE: 4/16/2025</p> <p>Drawn by: AS</p> <p>Checked by: JH</p> <p>Job No.: 24-0001</p>	<p>Project: PROPOSED LUMBER MILL PROJECT, 30 E. MARION COUNTY, FLORIDA</p> <p>Proposed Location: (SEE SITE PLAN)</p> <p>Client: (SEE LAND LOG)</p> <p>Engineer: NATHAN C. HARRIS</p> <p>Enduse: SITE PLAN</p> <p>Scale: 1" = 10'-0"</p> <p>DATE: 4/16/2025</p> <p>Drawn by: AS</p> <p>Checked by: JH</p> <p>Job No.: 24-0001</p>	<p>Project: PROPOSED LUMBER MILL PROJECT, 30 E. MARION COUNTY, FLORIDA</p> <p>Proposed Location: (SEE SITE PLAN)</p> <p>Client: (SEE LAND LOG)</p> <p>Engineer: NATHAN C. 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THOMAS & ASSOCIATES
ENGINEERING, LLC
1726 SE 16TH AVE, BOGALUSA, FL 32411
TEL: 904.226.1100
WWW.THOMASANDASSOCIATES.COM

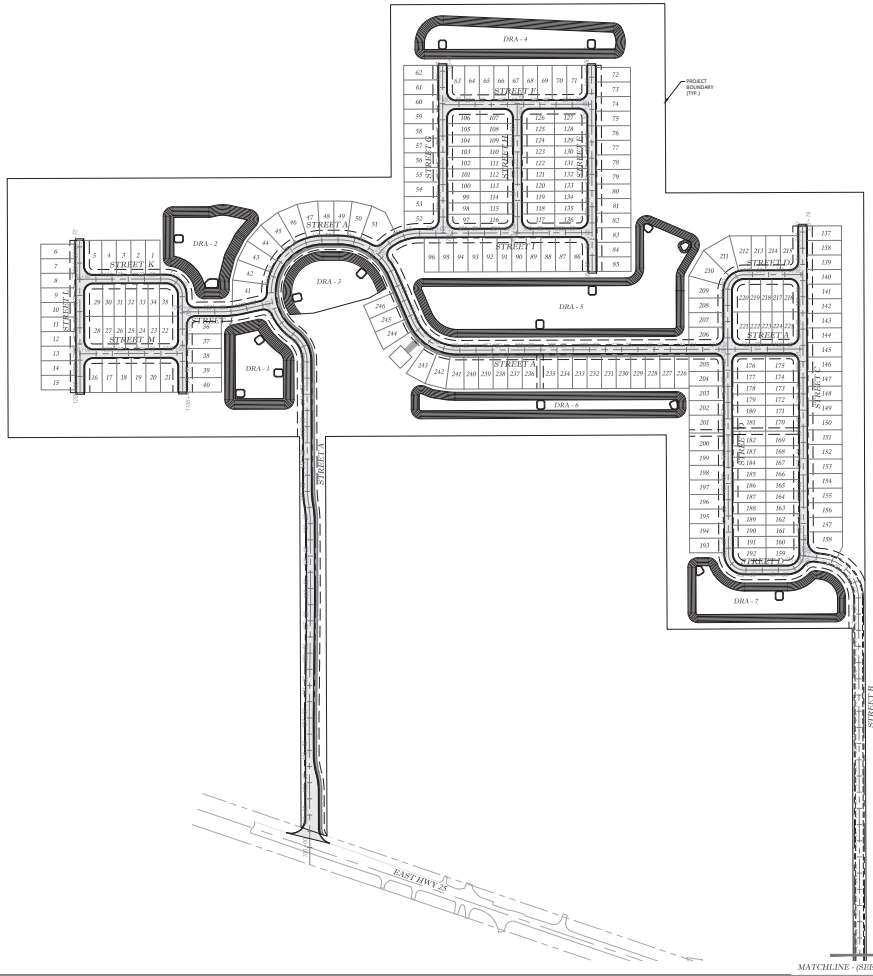
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<p>IRRIGATION SLEEVE SCHEDULE</p> <ul style="list-style-type: none"> ① 12" SCH 40 PVC SLEEVE ② 8" SCH 40 PVC SLEEVE ③ 2" SCH 40 PVC SLEEVE 	<p>ELECTRIC SCHEDULE BOARD</p> <ul style="list-style-type: none"> ① 12" GRAY SCH 40 PVC CONDUIT ② 8" GRAY SCH 40 PVC CONDUIT ③ 2" GRAY SCH 40 PVC CONDUIT
<p>NATURAL GAS SLEEVE SCHEDULE (GAS)</p> <ul style="list-style-type: none"> ① 12" SCH 40 PVC SLEEVE 	<p>TELEPHONE/CABLE/FIBER SLEEVE SCHEDULE (GAS)</p> <ul style="list-style-type: none"> ① 12" SCH 40 PVC SLEEVE ② 8" SCH 40 PVC SLEEVE ③ 2" SCH 40 PVC SLEEVE

MARION COUNTY APPROVAL STAMP

LEGEND

	IRRIGATION SLEEVE
	TRENCH SLEEVE
	DUCT SLEEVE
	DCM SLEEVE

Thomas & Associates
ENGINEERING, LLC
2016 BOWLING GREEN LANSING AVENUE - BOWLING GREEN, FL 32921
OFFICE: 888-888-8888
CELL: 888-888-8888

MARION COUNTY APPROVAL STAMP

DATE: 4/26/2020	DRAWN BY: AS
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