



SUBMITTAL SUMMARY REPORT MajorSite-000296-2026

PLAN NAME: SUNSTOP #360 OCALA	LOCATION: 2540 NE 35TH ST OCALA,
APPLICATION DATE: 01/29/2026	PARCEL: 24261-000-10
DESCRIPTION: Demolition of an existing commercial site and construction of a new convenience store with fuel pump stations.	

CONTACTS	NAME	COMPANY
Applicant	Paolo Mastroserio	Mastroserio Engineering, Inc
Engineer of Record	Paolo Mastroserio	MASTROSERIO ENGINEERING, INC
Surveyor	Rodney Rogers	Rogers Engineering

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.2	05/05/2026	05/12/2026	05/21/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	02/06/2026	02/20/2026	03/17/2026	Requires Re-submit
OCE: Plan Review (DR) v.3				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	05/12/2026	05/11/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Resolved) - Corrective Action: Add Section 04 - Sheet C1 needs Sec 04 added to the Sec, Twp, Rge under the Location Map. This project is in Sections 3 & 4.			
<i>Corrections</i>	Additional 911 Comments (Resolved) - Corrective Action: Incorrect Road Names - Sheet C1 has incorrect road names in the Location Map. The quadrant is incorrect as NW, should be NE. And NE 34th PL is incorrectly labeled as NW 35th PL. Sheets C4, C5, C6, C7, C8, C10, C11 have NE 34th PL incorrect labeled as NE 34th ST.			
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Corrective Action: On the Aerial Overlay NE 34th PL is incorrectly labeled as SW 34th St. - Incorrect Road Name			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	05/12/2026	05/18/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	05/12/2026	05/05/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	05/12/2026	05/12/2026	Requires Re-submit
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding improvements as required by traffic impact analysis.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Not Resolved) - [5/8/26] See mark-ups. No vertical structures/impervious surfaces may extend into required buffers. [INITIAL] Please indicate required buffer types along ROW, DRA on sheet C5			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - [INFO] Please note that utility areas/loading areas will need to be screened consistent with LDC Sec. 6.8.9. [NO] Staff could not find screening for garbage collection area. Please clarify on civil plans.			
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - [5/8/26] Height of gas pump canopy indicated. [INITIAL] Max building height and proposed C-Store height seemingly indicated on site data table. Please clarify height of gas pump canopy			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [INFO] 23 parking spaces provided meets County requirements			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - [INFO] No outdoor storage permitted on site			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - [5/8/26] Indicated on cover sheet. [INITIAL] Please indicate max FAR for B-2 zoning, not just proposed, in site data table.			
<i>Corrections</i>	2.12.4.L - DRI/FQD Compliance Note (Resolved) - [5/8/26] Updated cover note sheet. [INITIAL] This property not within the Marion Oaks Vested DRI area. Please update cover sheet accordingly.			
<i>Corrections</i>	2.12/4.2 - Lot setback (Not Resolved) - [5/12/26] See mark-ups. Building must meet 65' front/side and 25' rear setbacks. Please also update site data table in cover sheet and site plan sheet C5 accordingly. [INITIAL] Gas stations as a use result in increased front/side setback requirements. Please update site data table/site plan accordingly.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Not Resolved) - [5/8/26] Page 8 of submitted EALS indicates that "Potentially Occupied and Abandoned Gopher Tortoise burrows were observed on the project site." Page 11 indicates that "At the time of this survey, no Potentially Occupied Gopher Tortoise burrows were observed on the subject site." Please confirm whether burrows were observed. If observed, please provide map with location of burrows on-site. Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage. [INITIAL] Please provide EALS consistent with LDC Sec. 6.5.4 or provide EALS exemption request indicating criteria in LDC Sec. 6.5.3 are met. Submitted note is not sufficient.			

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	05/12/2026	05/12/2026	Requires Re-submit
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [5/12/26] Signs indicated on site plan. [INITIAL] Will there be any signs? If so, please indicate on site plan. Please note a separate sign permit may be required. Multi-tenant signs may require a master sign plan.			
<i>Corrections</i>	2.12.19 - Dimension & location of site improvement (Resolved) - [5/8/26] Shown on site plan sheet. [INTIAL] Please show width/length of proposed C-Store			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - [INFO] Waiver table included in cover sheet. Update with requested/approved waivers as development review process proceeds.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [INFO] (1) No ESOZ; (2) FEMA Flood Zone X, A; (3) Primary Springs Protection Zone			
<i>Comments</i>	For any questions related to this planning/zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	05/12/2026	05/08/2026	Requires Re-submit
<i>Comments</i>	1. Please submit signed and sealed irrigation and photometric plans for review 2. See markups on landscape plan			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	05/12/2026	05/11/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	05/12/2026	05/12/2026	Informational
<i>Comments</i>	<p>Sunbiz checked/Map checked: C6 Road Project In progress on NE 35th ST next to parcel 24261-000-10 (STC073895/TIP70100D) IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 5/12/26</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/12/2026	05/08/2026	Requires Re-submit
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - Info: This item will be reviewed upon resubmittal			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - (1) INFO: Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction. (2) INFO: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - Please provide the O&M manual as a standalone document			
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications (Not Resolved) - Alternative pipe material request pending			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	05/12/2026	05/06/2026	Approved
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/12/2026	05/17/2026	Requires Re-submit
<i>Corrections</i>	6.12.11 - Turn lanes (Not Resolved) - Corrective Action: The traffic study determined that a right turn lane was needed on NE 35th Street. Please provide a 155' right turn lane at the driveway. The right turn lane can be included as part of the site plan. - 6.12.11 - Turn lanes: Turn lanes shall be required as determined by the Traffic Impact Analysis or for safety purposes as determined by the County. A separate offsite improvement plan is required.			
<i>Corrections</i>	6.12.12 - Sidewalks (Not Resolved) - Corrective Action: Sidewalk is required along NE 25th Avenue and NE 35th Street. Staff supports payment of a fee in-lieu of sidewalk construction. The fee has to be approved by the Development Review Committee. If approved, the fee comes out to \$13,824.00 and must be paid prior to plan approval. - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/12/2026	05/11/2026	Requires Re-submit
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Resolved) - Corrective Action: Correct the contact information on cover sheet to reflect Central States Water Resource contact information. - MCU Contact Info on Project Cover Sheet: NOT APPLICABLE			
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Not Resolved) - Corrective Action: Parcel 24261-000-10 is within the Central States Utility service area. Please provide a letter from the Utility provider stating they have the available mains shown on the plans, and the capacity to serve this site. - 6.14.2.A(1) - Letter from utility provider:			
<i>Comments</i>	Project is within the Central States Water Resources utilities. Engineer of Record to provide a letter before final submittal and approval.			

eREVIEW SESSION FILES:

- 10166-Sunstop NE 35th TIA Methodology -10-2-24.pdf
- AERIAL OVERLAY.pdf
- CIVIL PLANS 1-18-26.pdf
- DRAINAGE REPORT 1-18-26.pdf
- ENVIRONMENTAL ASSESSMENT NOT REQUIRED.pdf
- FIRMETTE.pdf
- GEOTECH REPORT.pdf
- KARST LETTER.pdf
- NRCS_Soil_Report.pdf
- NWL MAP.pdf
- QUAD MAP.pdf
- SURVEY.pdf
- TIA Methodology Approval 32090.PDF

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
jrivers	Please confirm what this is. No structures/impervious surfaces within req. Type C buffer	05/08/2026 11:07	AMCIVIL PLANS 1-18-26.pdf	5
Susan Heyen	missing label	05/08/2026 2:35	PMCIVIL PLANS 1-18-26.pdf	18
jrivers	were	05/08/2026 2:35	PMENVIRONMENTAL ASSESSMENT NOT REQUIRED.pdf	8
jrivers	no	05/08/2026 2:35	PMENVIRONMENTAL ASSESSMENT NOT REQUIRED.pdf	11
Susan Heyen	Show how CRZ will be protected with installation of Lift station	05/08/2026 2:38	PMCIVIL PLANS 1-18-26.pdf	18
Susan Heyen	Show how CRZ will be protected during construction of drive	05/08/2026 2:39	PMCIVIL PLANS 1-18-26.pdf	18
Susan Heyen	Show how CRZ will be protected during construction of drive	05/08/2026 2:41	PMCIVIL PLANS 1-18-26.pdf	18
Susan Heyen	Show how CRZ will be protected with installation of DRA	05/08/2026 2:43	PMCIVIL PLANS 1-18-26.pdf	18
Susan Heyen	Will sign be blocked by existing trees?	05/08/2026 2:44	PMCIVIL PLANS 1-18-26.pdf	18
Susan Heyen	Show lighting on plan to identify tree conflictsProvide building landscape requirements	05/08/2026 3:35	PMCIVIL PLANS 1-18-26.pdf	18
Janet W	Should be NE 34th PL	05/11/2026 4:08	PMAERIAL OVERLAY.pdf	1
jrivers	Please update to reflect 25' rear or 65' side	05/12/2026 12:11	PMCIVIL PLANS 1-18-26.pdf	5
jrivers	Please update to reflect 25' rear or 65' side	05/12/2026 12:12	PMCIVIL PLANS 1-18-26.pdf	5
jrivers	No structures/impervious surfaces within req. Type C buffer	05/12/2026 12:15	PMCIVIL PLANS 1-18-26.pdf	5

OCE: Plan Review (DR) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	02/20/2026	02/10/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Corrective Action: Add Section 04 - Sheet C1 needs Sec 04 added to the Sec, Twp, Rge under the Location Map. This project is in Sections 3 & 4.			
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Corrective Action: Incorrect Road Names - Sheet C1 has incorrect road names in the Location Map. The quadrant is incorrect as NW, should be NE. And NE 34th PL is incorrectly labeled as NW 35th PL. Sheets C4, C5, C6, C7, C8, C10, C11 have NE 34th PL incorrect labeled as NE 34th ST.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	02/20/2026	02/18/2026	Approved
<i>Comments</i>	Central Water/Central Sewer			



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 06/16/2026 Parcel Number(s): 24261-000-10 Permit Number: MajorSite-000296-202

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: SUNSTOP #360 OCALA MAJOR SITE PLAN Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): SOUTHWEST GEORGIA OIL COMPANY, INC
Signature: _____
Mailing Address: 1711 SHOTWELL STREET City: BAINBRIDGE
State: GA Zip Code: 39819 Phone # 229-246-1553
Email address: darryl@inland-stores.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): MASTROSERIO ENGINEERING, INC Contact Name: PAOLO MASTROSERIO
Mailing Address: 170 SE 32ND PLACE City: OCALA
State: FL Zip Code: 34471 Phone # 352-433-2185
Email address: PAOLO@MASTROSERIOENG.COM

D. WAIVER INFORMATION:

Section & Title of Code (be specific): SEE ATTACHED DOCUMENT FOR WAIVER INFORMATION
Reason/Justification for Request (be specific): _____

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

CLEAR FORM

Revised 6/2021

Empowering Marion for Success

marionfl.org

**Waiver Requests for
Sunstop #360 Major Site Plan
PID#24261-000-10
Application #MajorSite-000296-2026**

1. Waiver Request – Section 6.12.11 (Turn Lanes)

Marion County Land Development Code Section 6.12.11 requires construction of turn lanes when warranted by a Traffic Impact Analysis (TIA). The TIA prepared for this project identified that a right-turn lane on NE 35th Street at the project driveway would meet the County's numerical warrant criteria.

Although the warrant threshold is met, the Applicant respectfully requests a waiver from constructing the right-turn lane at this time based on the following conditions:

1. **Planned County Roadway Improvements** Marion County has programmed the widening of NE 35th Street in the near future. The County's planned improvements will reconstruct the roadway section, including turn lanes, drainage, and access management features along this corridor.
2. **Redundancy and Inefficient Use of Resources** Construction of a standalone right-turn lane by the Applicant would be temporary and would be removed or reconstructed as part of the County's widening project. This would result in unnecessary expenditure and redundant construction that provides no long-term benefit to the County or the traveling public.
3. **No Operational Deficiency in the Interim** The TIA indicates that the project's traffic can be safely and efficiently accommodated on the existing roadway network until the County's widening project is implemented. The absence of a dedicated right-turn lane does not create a safety or operational deficiency in the interim condition.
4. **Consistency With County Capital Planning** Deferring construction of the right-turn lane aligns the project with the County's planned capital improvements and avoids constructing infrastructure that will be modified or replaced in the near term.

For these reasons, the Applicant requests approval of a waiver from LDC §6.12.11 to defer construction of the warranted right-turn lane on NE 35th Street. The Applicant remains committed to coordinating with Marion County during the future widening project to ensure access design remains consistent with County standards. The client is willing to execute an agreement to protect the county's interests and will compensate the county for

the cost of the right turn lane. The cost to be determined and agreed upon, by both parties, if the waiver is approved.

2. Waiver Request – Section 6.12.12 (Sidewalks)

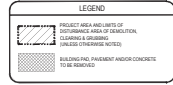
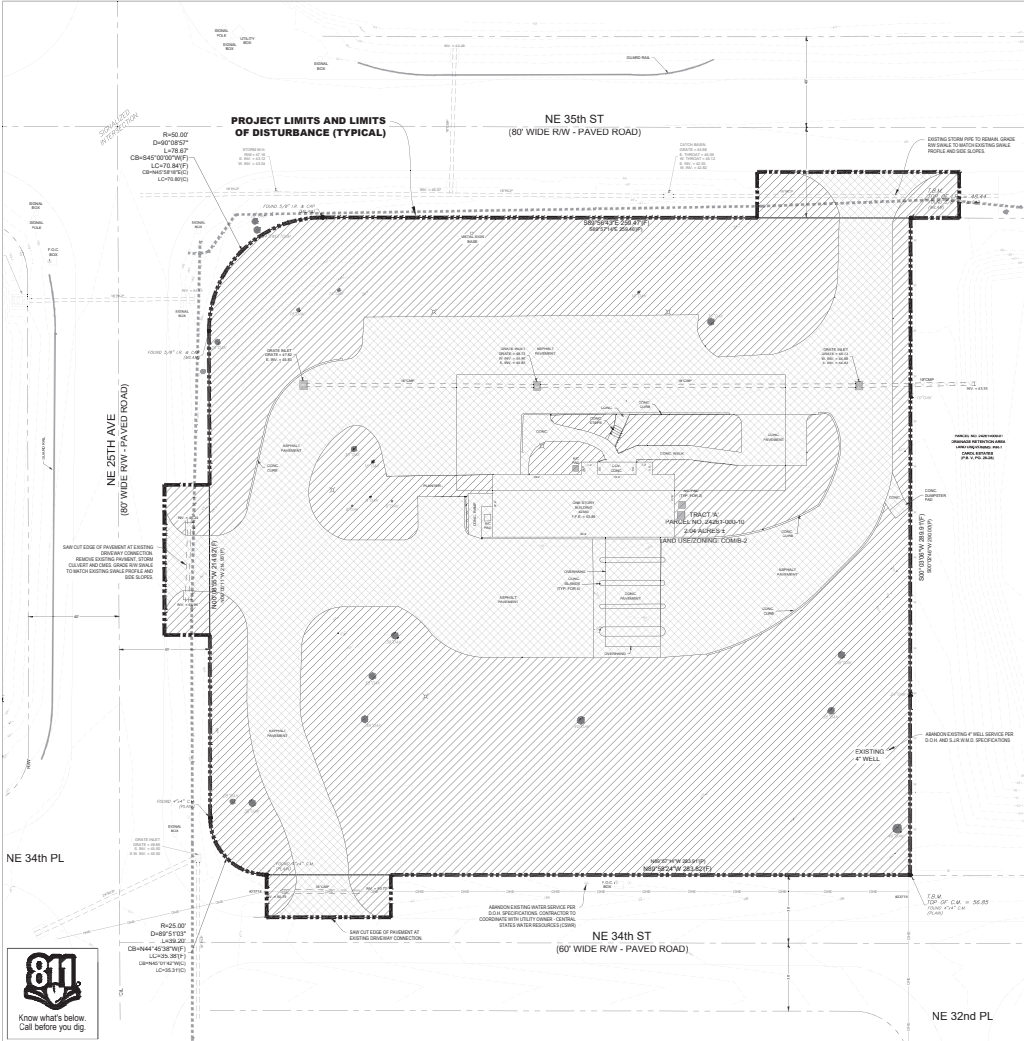
The Applicant requests a waiver from LDC §6.12.12 to allow payment of the calculated **\$13,824.00** into the Marion County Sidewalk Fund in lieu of constructing sidewalks along NE 35th Street and NE 25th Avenue, as isolated frontage segments would not provide meaningful pedestrian connectivity and the in-lieu contribution allows the County to apply the funds where they will deliver greater network benefit.

3. Waiver Request – Section 6.8.6 (Buffers)

The Applicant requests a waiver from LDC §6.8.6 to allow construction of limited impervious area within portions of the required Type C Buffer along the east boundary. This area directly abuts a heavily wooded County DRA that already provides substantial visual screening and functional separation, ensuring the intent of the buffer is maintained. In locations where the buffer width is reduced, the Applicant will provide additional landscape screening to preserve the overall effectiveness of the Type C Buffer.

4. Waiver Request – Section 6.8.8 (Building Landscaping)

The Applicant requests a waiver from LDC §6.8.8 to allow the required landscaping to be satisfied through enhanced screening within the Type C Buffer along NE 35th Street and NE 25th Avenue. The frontage buffers provide substantial opportunity for increased plantings and can achieve the same or greater visual mitigation and aesthetic effect as on-building landscaping. Enhancing the Type C Buffer along these corridors maintains the full intent of the Code while supporting a more cohesive and functional site design.



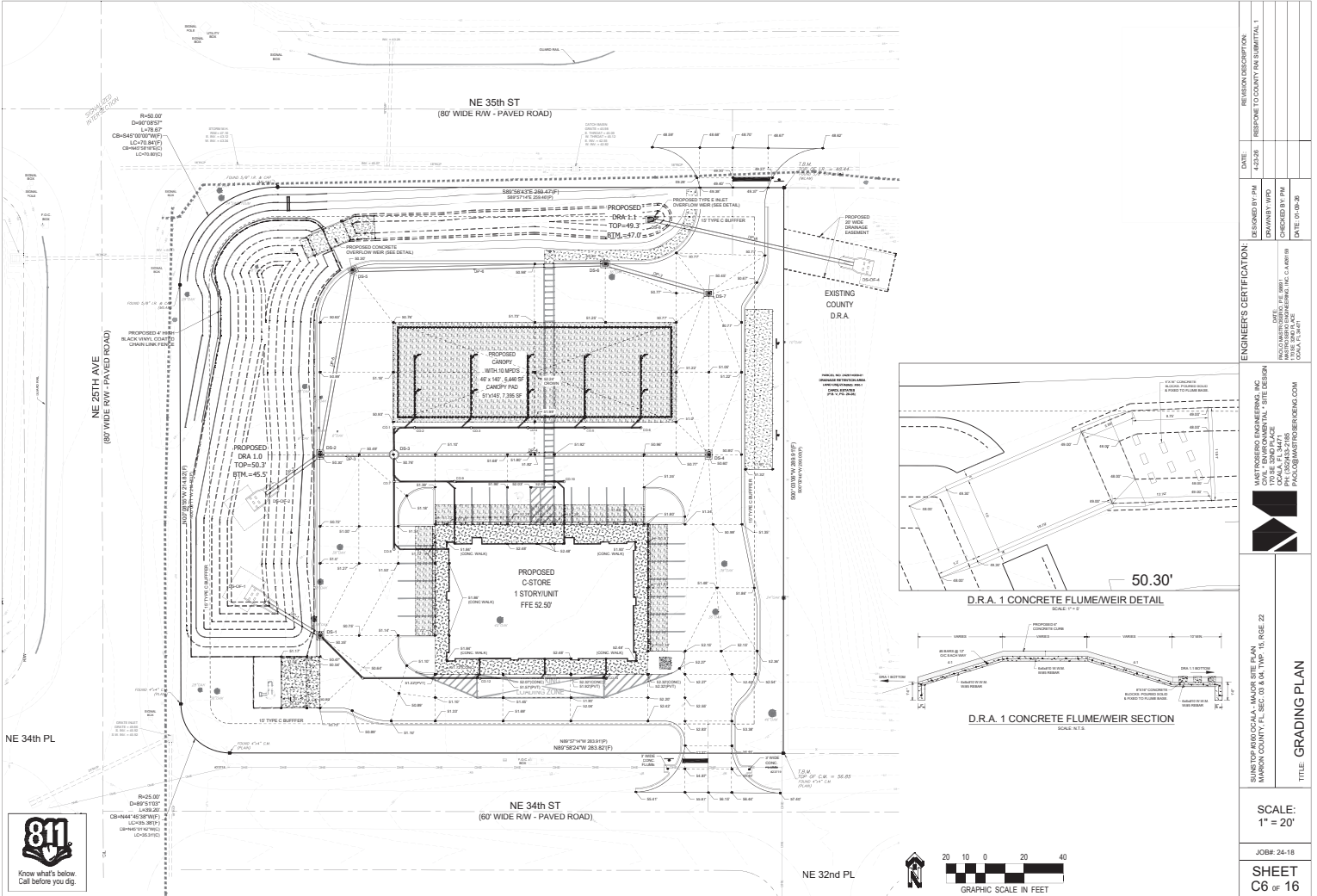
PROJECT AREA & LIMITS OF DISTURBANCE = 2.14 ACRES ±

GENERAL DEMOLITION SPECIFICATIONS:

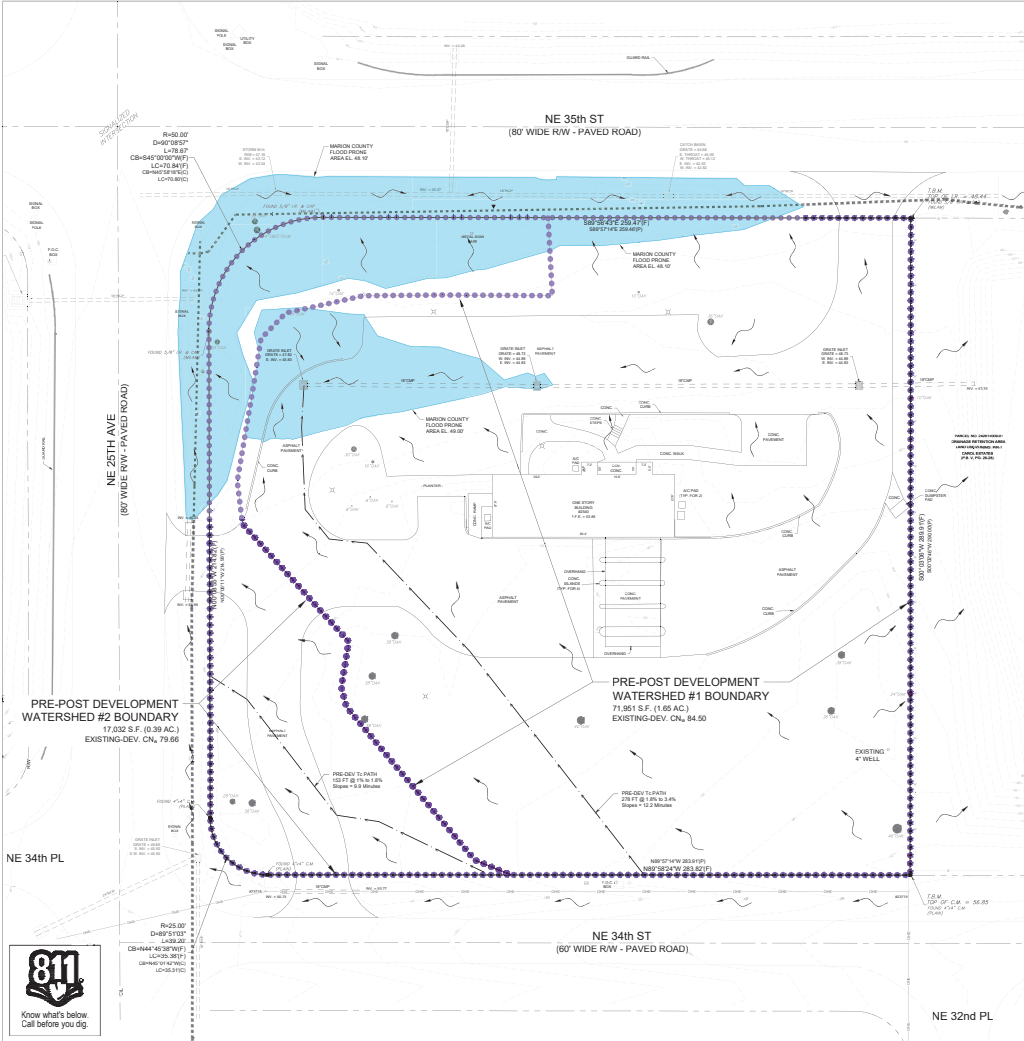
1. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
2. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
3. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES OR OTHER HAZARDOUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS ACCORDING TO APPLICABLE CODES OR REGULATIONS.
4. EMPLOY A DESIGNER LICENSED EXPERIENCED TO DESIGN BUILDING AND TO CONTROL EXISTENTS AND VENTILATION BEFORE AND DURING DEMOLITION OPERATIONS.
5. DO NOT CLOSE OR RESTRICT STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AND/OR CLOSED OR RESTRICTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS. PROVIDE ALTERNATE ROUTES AND SIGNAGE FOR SIDEWALKS ON SURROUNDING ROADS DURING THE DEMOLITION AND RECONSTRUCTION OF THE SIDEWALK.
6. DO NOT CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING AND POLLUTION, WHEN USING WATER. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
7. PROMPTLY REMOVE OR DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
8. DO NOT LEAN OR STACK DEMOLISHED MATERIALS.
9. EXISTING PAVEMENT STRIPPED MATERIALS TO BE REMOVED BY WATER BLASTING, EXCEPT WHERE PAVEMENT MILLING IS SPECIFIED.
10. TEMPORARY PAVEMENT STRIPES SHALL BE PLACED IMMEDIATELY UPON REMOVAL OF EXISTING STRIPES.
11. ALL AREAS DISTURBED BY THE REMOVAL OF EXISTING DRIVEWAYS CONNECTING TO EXISTING COUNTY ROADS SHALL BE RECONSTRUCTED IMMEDIATELY UPON COMPLETION OF DEMOLITION AND RETENTION OF SHOULDER AND WALKWAY SURFACE.

EXISTING SEPTIC SYSTEM ABANDONMENT AND REMOVAL:

1. CONTRACTOR SHALL FULLY ABANDON AND REMOVE THE EXISTING SEPTIC TANK AND DRAINFIELD LOCATED WITHIN THE FOOTPRINT OF PROPOSED BUILDING AND PAVED PARKING IMPROVEMENTS. ABANDONMENT SHALL COMPLY WITH FLORIDA STATUTES 381.001, 381.002, 381.003, 381.004, 381.005, 381.006, 381.007, 381.008, 381.009, 381.010, 381.011, 381.012, 381.013, 381.014, 381.015, 381.016, 381.017, 381.018, 381.019, 381.020, 381.021, 381.022, 381.023, 381.024, 381.025, 381.026, 381.027, 381.028, 381.029, 381.030, 381.031, 381.032, 381.033, 381.034, 381.035, 381.036, 381.037, 381.038, 381.039, 381.040, 381.041, 381.042, 381.043, 381.044, 381.045, 381.046, 381.047, 381.048, 381.049, 381.050, 381.051, 381.052, 381.053, 381.054, 381.055, 381.056, 381.057, 381.058, 381.059, 381.060, 381.061, 381.062, 381.063, 381.064, 381.065, 381.066, 381.067, 381.068, 381.069, 381.070, 381.071, 381.072, 381.073, 381.074, 381.075, 381.076, 381.077, 381.078, 381.079, 381.080, 381.081, 381.082, 381.083, 381.084, 381.085, 381.086, 381.087, 381.088, 381.089, 381.090, 381.091, 381.092, 381.093, 381.094, 381.095, 381.096, 381.097, 381.098, 381.099, 381.100, 381.101, 381.102, 381.103, 381.104, 381.105, 381.106, 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REVISION DESCRIPTION DATE: 4-22-20 RESPONSE TO COUNTY P&S SUBMITTAL 1	
DESIGNED BY PM DRAWN BY WPD CHECKED BY PMA DATE: 01-08-20	ENGINEER'S CERTIFICATION DATE: 01-08-20 PAUL METER (PROFESSIONAL ENGINEER, CLASS # 99) P.E. NO. 343323 PAUL@METREngineering.COM
ENGINEER'S CERTIFICATION I, PAUL METER, A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF IOWA, HEREBY CERTIFY THAT I AM THE DESIGNER OF THE ABOVE DESCRIBED PROJECT AND THAT I AM A MEMBER IN GOOD STANDING OF THE PROFESSIONAL ENGINEERING SOCIETY OF IOWA.	
TITLE: GRADING PLAN	
SCALE: 1" = 20'	
JOB#: 24-18 SHEET C6 of 16	

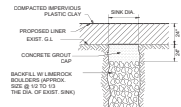


FLOOD ZONE NOTE:

THIS PROPERTY APPEARS TO BE IN A ZONE "X" AREA OF MINIMAL FLOOD HAZARD. A ZONE "X" AREA IS ONE THAT IS NOT IN MARION COUNTY FLOOD PLANE AREA. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP FROM COMMUNITY NUMBER 52083, PANEL 0201, SURVEY D WITH AN EFFECTIVE DATE OF 10/01/07, THE FLOOD ZONE "X" IS SHOWN HEREIN. THESE DATA FROM THE TOPOGRAPHIC SURVEY PERFORMED BY ROGERS ENGINEERING, LLC.

VERTICAL DATUM:

VERTICAL CONTROL POINT: "1185557", PUBLISHED ELEVATION = 848.140 (NAVD)



TYPICAL SINK CHIMNEY REPAIR DETAIL

REVISION DESCRIPTION:	DATE:	DESIGNED BY PM:	ENGINEER'S CERTIFICATION:
RESPONSE TO COUNTY P&S SUBMITTAL 1	4-22-20	DRWN BY WPD	DATE: 4/22/20 REGISTERED PROFESSIONAL ENGINEER, CIVIL ENGINE PAUL OMBRESI, P.E. 00014, FLA. REG. NO. 12157
		CHECKED BY PM:	
		DATE: 01-08-20	
<p>WASTROBERG ENGINEERING INC. 1000 W. STATE ROAD 100, SUITE 100 P.O. BOX 1432705 ORLANDO, FL 32815 PAUL@WROBERG.COM</p>			
<p>SUNNYTOP/LOCAL A - MAJOR SITE PLAN MARION COUNTY, FL REG. NO. 16,147, 16,148, 22</p>			
<p>SCALE: 1" = 20'</p>			
<p>JOB# 24-18</p>			
<p>SHEET C7 of 16</p>			
<p>TITLE: PRE-DEVELOPMENT DRAINAGE PLAN</p>			

RILEY & Company, Inc. (H-20 GP)[®]

w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS & RILEY & COMPANY DPS PHASE CONVERSION UNITS

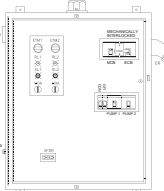
(No Substitutions - No Alternates)

PUMPS: SPECIFICATION
Submersible grinder pumps shall be installed in the H-20 FRP wet well utilizing a dual slide rail system.

The pumps shall be capable of pumping materials normally found in domestic and commercial wastewater.
Stator winding shall be open type with Class H insulation and shall be heat shrink fitted into the stator housing. The use of pins, bolts and other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with a magnetic contactor coil in the control panel. If the winding temperature exceeds 140° C, the motor shall shut off but shall automatically restart when the temperature drops below the threshold. Two heat sensors shall be used on 3 phase motors. Upper & lower mechanical seals shall have Silicon Carbide or Silicon Carbide.

CONTROL PANEL: SPECIFICATION
The enclosure shall be NEMA 4X, minimum 30" high x 20" wide x 10" deep with a 3 point latching system.
The enclosure shall have external mounting feet to allow for wall mounting.
The following components shall be mounted through the enclosure:
1- ea. Red Alarm Beacon (Light) LED 360 Degree viewable range, NEMA 4X
1- ea. Alarm Horn (minimum 95 DdB), NEMA 3 Compliant, NEMA 4X
1- ea. Generator Receptacle w/ washherproof cover 60A Minimum. Shall meet UL 1682, UL 1688 and UL486C Compliance.



The back panel shall be fabricated from .125, 3052-H32 marine alloy aluminum. All components shall be mounted by mechanical stainless steel screws.
The following components shall be mounted to back panel:
2- ea. Riley & Co. DPS Phase Monitor Units
1- ea. Volt Monitor (1 Ph) Phase Monitor (3 Ph) w/ 2 NIO & 1 NIC Contacts
1- ea. Alternator w/ Pump Load Switch
1- ea. Control Transformer (480 Volt Only) (Min. 500VA)
1- ea. Motor RCBB5AH Battery Back-Up w/ Smart Charger (UPS) - 24 Hr Min. 24 hr.
6- ea. Terminals For Field Connections
6- ea. Terminals For Motor Connections (Single Phase Only)
1- ea. Grounding Lug
1- ea. Lighting and Surge Protection shall meet the UL 1449 2nd Edition
The inner door shall have a continuous aluminum piano hinge.
The following components shall be mounted through the inner door:
1- ea. Main Circuit Breaker - UL489
1- ea. Emergency Circuit Breaker - UL 489
1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)
2- ea. Short Circuit Protectors w/ Auxiliary Contacts
1- ea. Control Circuit Breaker & GFCI Circuit Breaker - UL 489
1- ea. GFI Digital Convenience Outlet - NEMA 5-15R
2- ea. Elapsed Time Meter, Non-Resettable
MISCELLANEOUS: All wiring on the back panel shall be contained within the wiring duct. All wiring between the inner door and the back panel shall be contained within a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting. The control panel must be manufactured in-house by the lift station supplier and be a TUV (UL506A Certified) facility.

WEF WELL: SPECIFICATION
Wet Well FRP Wall Laminate must be designed to withstand wall collapse or buckling based on third party specifications and the assumptions below.
Hydraulic Pressure: 62.4 lbs. Per Sq Ft.
Saturated Soil Weight: 120 lbs. Per Cubic Ft.
Soil Modulus: 700 lbs Per Sq Ft.
Pipe Stiffness as Specified in ASTM D 3753.
The wet well FRP laminate must be constructed to withstand or exceed the assumed loading for the complete depth of the structure.
The cover shall be constructed of 1/2 inch thick finished aluminum, diamond plate pattern with 300 series stainless steel hardware. The hatch shall have a positive means of locking the door open in the vertical position via a hold open arm and shall be made of a non-corrosive material. The cover shall be mounted with minimum of six 300 series stainless steel fasteners. The access hatch cover shall have a lift handle and 2 means of locking.
The prefabricated FRP lift station manufacturer shall guarantee the prefabricated lift station per approved drawings for a period of one year from the date of delivery.

INSPECTION & TESTING:
A factory representative shall be provided for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of the complete system. The pump motors shall be tested prior to the start-up to ensure that the insulation of the pump motor and cable is intact. The pumps and the controls shall be checked for mechanical reliability and proper operation.

EXECUTION:
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the engineered drawings.

STATION DESIGN CONDITIONS	
PRIMARY PUMP CAPACITY	23 GPM
PRIMARY TDH	82 TDH
RUN-OUT PUMP CAPACITY	71 GPM
RUN-OUT TDH	53 TDH
PUMP MODEL #	HOMER DRP 263
R.P.M.	3450
HORSEPOWER	2.5
ELECTRICAL VOLTS / PHASE	230V/3Ø
PUMP DISCHARGE SIZE	2"

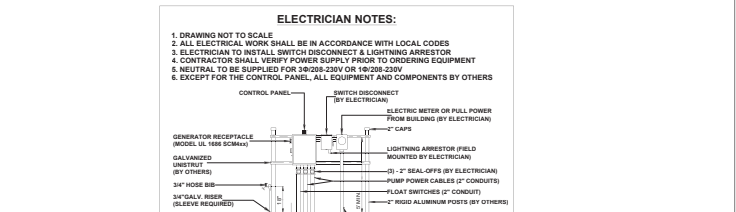
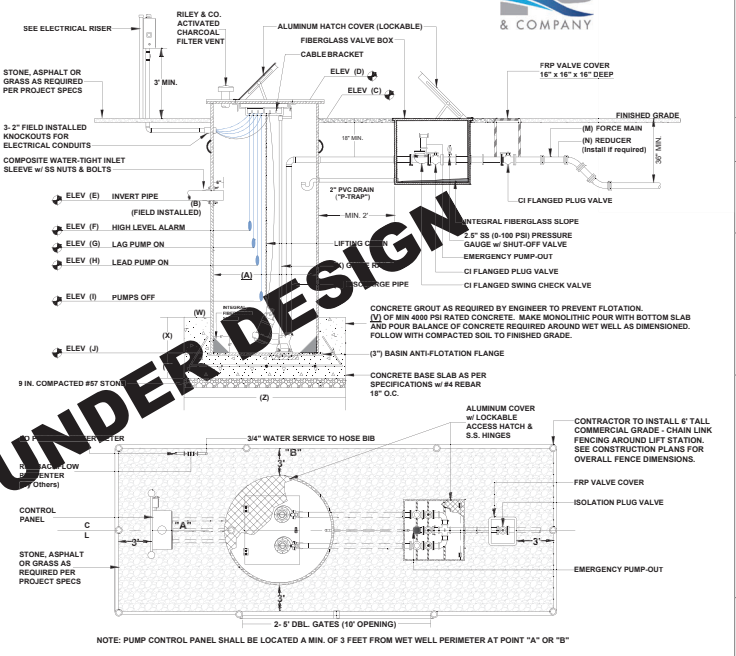
STATION ELEVATIONS AND DIMENSIONS	
WET WELL DIAMETER	(A) 48"
INVERT DIAMETER	(B) 4"
100 YEAR FLOOD ELEVATION	(C) 72.00'
FINISHED GRADE	(D) 72.50'
TOP OF WET WELL	(E) 72.50'
INLET INVERT	(F) 67.45'
HIGH LEVEL ALARM (HLA)	(G) 66.45'
2nd PUMP ON (LAG)	(H) 66.45'
1st PUMP ON (LEAD)	(I) 65.95'
PUMPS OFF	(J) 65.66'
BOTTOM OF WET WELL	(K) 63.50'
GUIDE RAIL DIAMETER	(L) 1 1/2"
DISCHARGE PIPE DIAMETER	(M) 2"
F.M. PIPE DIAMETER	(N) 2"

STATION MANUFACTURING MATERIALS	
DISCHARGE/RISE PIPE	HOPE
INLET PIPE	4" PVC
GUIDE RAIL	304 SS
WET WELL	FRP ASTM D-3753
WET WELL HATCH COVER	100 LBS PSF ALUM
CABLE SHACKLET	304 SS
LIFTING CHAIN	304 SS
PLUG VALVE	CAST IRON
SWING CHECK VALVE	CAST IRON
VALVE BOX	FRP ASTM D-3753
VALVE BOX HATCH COVER	FRP ASTM D-3753

CONCRETE BALLAST REQUIREMENTS	
WET WELL	36" x 20" x 24" 36" x 30"
VALVE BOX	36" x 20" x 24" 36" x 30"
CONCRETE BALLAST	1.51 yds ³
CIRCUMFERENCE DIMENSION - WIDTH	(W) 12.0"
CIRCUMFERENCE DIMENSION - HEIGHT	(X) 12.0"
BASE SLAB DIMENSION - HEIGHT	(Y) 12.0"
BASE SLAB DIMENSION - LENGTH & WIDTH	(Z) 72.0"

PRIVATE SANITARY SEWER PUMP STATION
IN CASE OF EMERGENCY CONTACT THE FOLLOWING NUMBER:
FACILITY OWNED BY: _____
NAME: _____
PHONE NUMBER: _____
FACILITY MAINTAINED BY: _____
NAME: _____
PHONE NUMBER: _____
NOTE: CONTRACTOR MUST SUPPLY INFORMATION SIGN AT START-UP.

LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED



ELECTRICIAN NOTES:
1. DRAWING NOT TO SCALE
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
3. ELECTRICIAN TO INSTALL SWITCH DISCONNECT & LIGHTNING ARRESTOR
4. CONTRACTOR SHALL VERIFY POWER SUPPLY PRIOR TO ORDERING EQUIPMENT
5. NEUTRAL TO BE SUPPLIED FOR 1Ø/2Ø-230V OR 1Ø/2Ø-230V
6. EXCEPT FOR THE CONTROL PANEL, ALL EQUIPMENT AND COMPONENTS BY OTHERS
CONTROL PANEL (BY ELECTRICIAN)
SWITCH DISCONNECT (BY ELECTRICIAN)
ELECTRIC METER OR RAIL POWER FROM BUILDING (BY ELECTRICIAN)
2" CAPS
LIGHTING ARRESTOR (FIELD INSTALLED BY ELECTRICIAN)
UNGROUNDING (BY OTHERS)
2" SEAL OFFS (BY ELECTRICIAN)
PUMP POWER CABLES (2" CONDUITS)
FLAT SWITCHES (2" CONDUITS)
2" HOSE ALUMINUM POSTS (BY OTHERS)
3/4" GALV RISER (SLEEVE REQUIRED)
TO WATER SUPPLY
GROUNDING ROD
POSTS TO BE SET IN CONCRETE (1/2" DIA. x 24" DEEP)
TO SERVICE LOCATION (VERIFY W/ POWER CO.)
NOTE: REDUCED PRESSURE (RPD) BACKFLOW PREVENTER TO BE INSTALLED IN WATER SUPPLY LINE TO LIFT STATION. (FIELD W/ATE. DATE)

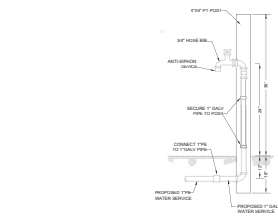
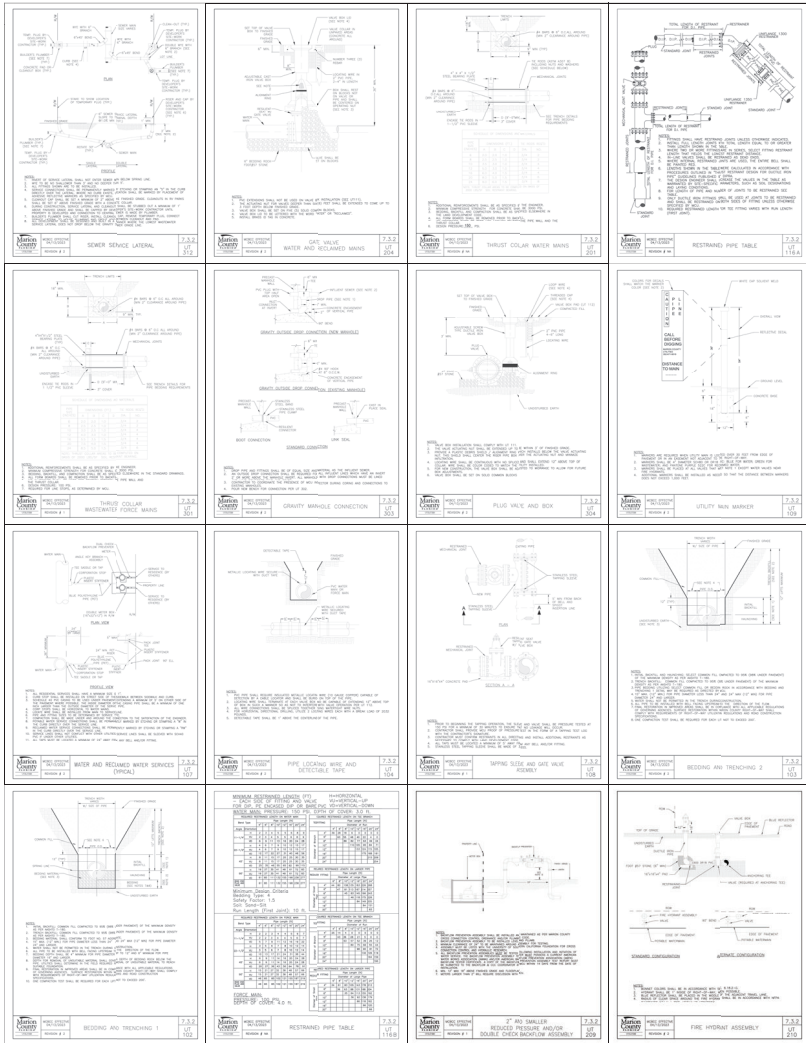
For Lift Station Proposal:
Please Contact Chris Janz
(407) 265-9963
c.janz@rileyandco.com

REVISION DESCRIPTION	DATE
DESIGNED BY: PM	
DRAWN BY: WPD	
CHECKED BY: PM	
DATE: 01-08-20	
ENGINEER'S CERTIFICATION:	
DATE: _____	
REGISTERED PROFESSIONAL ENGINEER	
STATE OF FLORIDA	
NO. _____	
EXPIRES _____	
FLORIDA REGISTERED ENGINEER	
DATE: _____	
REGISTERED PROFESSIONAL ENGINEER	
STATE OF FLORIDA	
NO. _____	
EXPIRES _____	
FLORIDA REGISTERED ENGINEER	
DATE: _____	
REGISTERED PROFESSIONAL ENGINEER	
STATE OF FLORIDA	
NO. _____	
EXPIRES _____	
FLORIDA REGISTERED ENGINEER	
DATE: _____	
REGISTERED PROFESSIONAL ENGINEER	
STATE OF FLORIDA	
NO. _____	
EXPIRES _____	
FLORIDA REGISTERED ENGINEER	

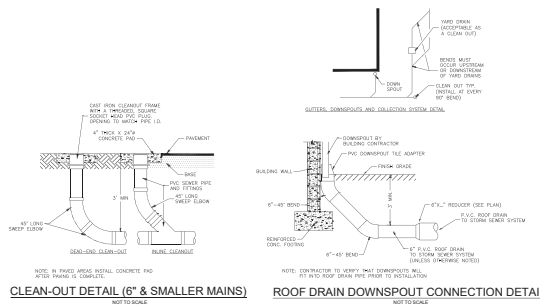
NO SUBSTITUTIONS - NO ALTERNATES

18/2725 SR

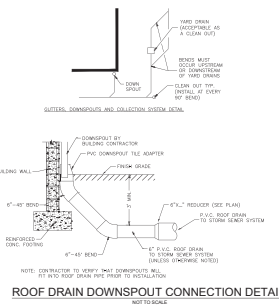
TITLE: LIFT STATION DETAILS
SCALE: 1" = 20"
JOB#: 24-18
SHEET C13 OF 16



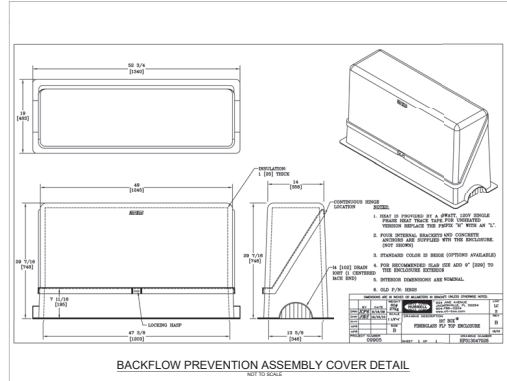
TYPICAL HOSE BIB AT DUMPSTER PAD



CLEAN-OUT DETAIL (6" & SMALLER MAINS)



ROOF DRAIN DOWNSPOUT CONNECTION DETAIL



BACKFLOW PREVENTION ASSEMBLY COVER DETAIL

REVISION DESCRIPTION:
 DATE: 4-22-20
 RESPONSE TO COUNTY PER SUBMITTAL 1

DESIGNED BY: PM
 DRAWN BY: WFD
 CHECKED BY: PM
 DATE: 01-08-20

ENGINEER'S CERTIFICATION:
 DATE: 04/22/20
 WASTROBING ENGINEERING INC.
 10000 WINDY HOLLOW DRIVE, SUITE 100
 PHOENIX, ARIZONA 85028
 PHOENIX@WASTROBING.COM

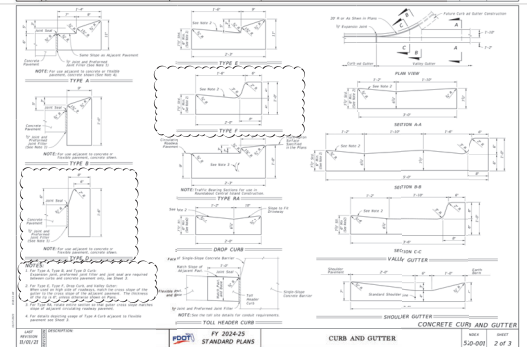
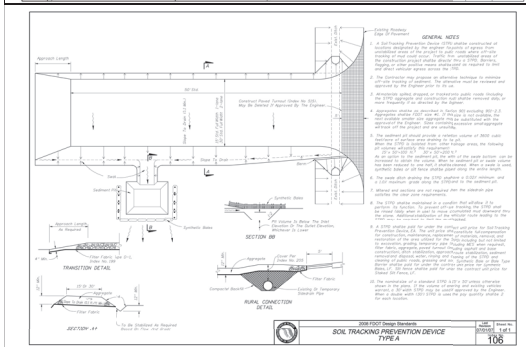
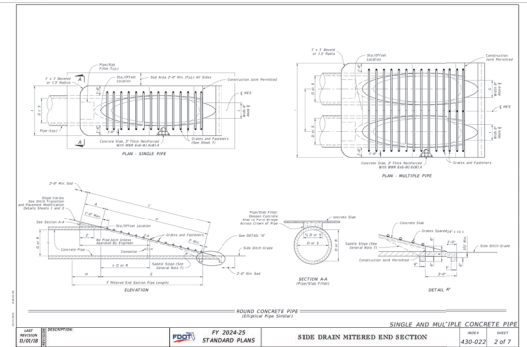
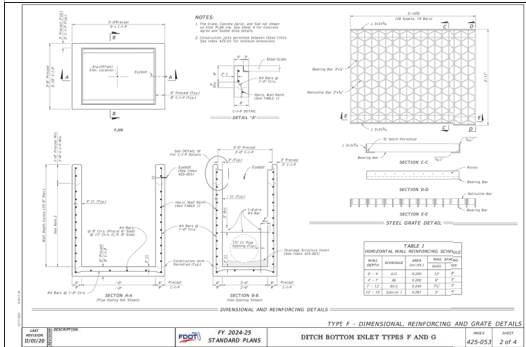
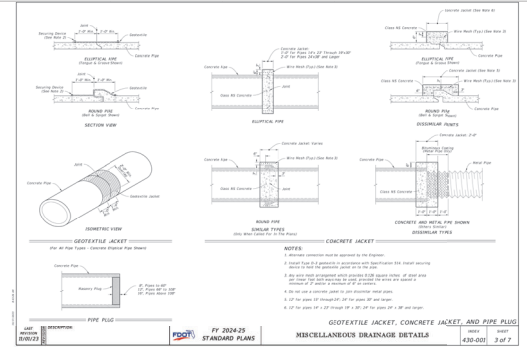
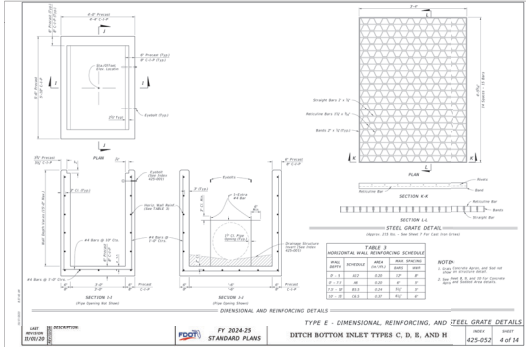
SCALE: N.T.S.

JOB#: 24-18

SHEET C14 OF 16

TITLE: CONSTRUCTION DETAILS

STANDARD LOCAL A MAJOR SITE PLAN
 SANICION COUNTY TITLE 16.00 SUB-TITLE 22



ENGINEER'S CERTIFICATION

DATE: 4/22/20
 DESIGNED BY: PM
 DRAWN BY: WFD
 CHECKED BY: PM
 DATE: 01/06/20

REVISION DESCRIPTION

RESPONSE TO COUNTY P&S SUBMITTAL 1

PAULINO ENGINEERING INC.
 10000 W. BROADWAY, SUITE 200
 DENVER, CO 80231
 PHONE: (303) 440-1111
 FAX: (303) 440-1112
 WWW.PAULINOENGINEERING.COM

SCALE:
 N.T.S.

JOB#: 24-18

SHEET
 C15 OF 16

