



**SUBMITTAL SUMMARY REPORT
30313**

PLAN NAME:	MARTEL PAVED TRAINING COURSE (REVISION TO 28841)	LOCATION:	296 N SW 67th Avenue Rd OCALA,
APPLICATION DATE:	06/19/2023	PARCEL:	23306-001-00
DESCRIPTION:			

CONTACTS	NAME	COMPANY
Applicant		MARION COUNTY UTILITIES
Applicant	Joseph London	Kimley-Horn & Associates
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Joseph London	Kimley-Horn & Associates
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review Revision (DR) v.3	07/30/2026	08/06/2026	08/05/2026	Approved
OCE: Plan Review Revision (DR) v.2	07/21/2026	07/28/2026	07/28/2026	Requires Re-submit
OCE: Plan Review Revision (DR) v.1	05/21/2026	06/05/2026	06/05/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	06/26/2023	07/10/2023	11/18/2025	Approved

SUBMITTAL DETAILS

OCE: Plan Review Revision (DR) v.4					
ITEM	REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR)	(911 Management)	Kristie Wright	08/06/2026	08/05/2026	Approved
Environmental Health (Plans)	(Environmental Health)	Evan Searcy	08/06/2026	07/30/2026	Approved
Fire Marshal (Plans)	(Fire)	Anthony Marino	08/06/2026	07/30/2026	Approved
Growth Services Planning & Zoning (DR)	(GS Planning and Zoning)	sarah wells	08/06/2026	07/30/2026	Approved
Landscape (Plans)	(Parks and Recreation)	Susan Heyen	08/06/2026	07/30/2026	Approved
OCE Design (Plans)	(Office of the County Engineer)		08/06/2026	07/30/2026	Approved

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	08/06/2026	08/05/2026	Informational
Comments	Maps checked ----- IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 8/5/26			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Jason Cambre	08/06/2026	07/30/2026	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	08/06/2026	08/03/2026	Approved
Corrections	2.12.8. - Current boundary and topographic survey (Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
Corrections	6.4.7. Construction Plans - Survey Requirements (Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.			
Corrections	6.2.1.F - North Arrow (Resolved) - 6.2.1.F - North Arrow: Provide north arrow and graphic drawing and written scale			
Corrections	6.2.1.E - Drawing legend (Resolved) - 6.2.1.E - Drawing legend: Provide a drawing legend as needed.			
Corrections	2.12.10 - Easement or land reservation (Resolved) - Corrective Action: Please provide - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation			
Corrections	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Sydney Oberdorfer	08/06/2026	07/30/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	08/06/2026	07/30/2026	Approved
Corrections	6.14.2.A(1) - Letter from utility provider (Resolved) - Corrective Action: Parcel is within The City of Ocala's Service Area. A letter from the City of Ocala stating service availability and connection requirements shall be submitted prior to building permit issuance. Ensure the City of Ocala has seen and approved the revised utility connections, as they are not part of MCU's review process. - 6.14.2.A(1) - Letter from utility provider: Letter of availability and capacity from service area's utility provider, including map of water and sewer mains with distances shown to determine if connection is required.			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	08/06/2026	07/30/2026	Approved
<i>Comments</i> The project is located within the Marion County Utilities service area but will be served by the City of Ocala. A letter has been received from the City of Ocala confirming that the site is currently connected to the City's public water system and that sufficient capacity is available to continue serving development on the site.				

OCE: Plan Review Revision (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Sarah Gurczynski	07/28/2026	07/24/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	07/28/2026	07/23/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	07/28/2026	07/21/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	sarah wells	07/28/2026	07/22/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	07/28/2026	07/21/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	07/28/2026	07/21/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	07/28/2026	07/28/2026	Informational

Comments IF APPLICABLE:
 Sec. 2.18.1.I - Show connections to other phases.
 Sec.2.19.2.H – Legal Documents
 Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
 Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
 For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
 Sec. 6.3.1.B.2 – Required Right of Way Dedication
 For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec. 6.3.1.D.3 - Cross Access Easements
 For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
 Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
 "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
 Sec. 6.3.1.C.2 – Utility Easements
 "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec.6.3.1.D(f) –
 If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."
 - DR 7/28/26

OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	07/28/2026	07/21/2026	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	07/28/2026	07/27/2026	Approved

Corrections 6.2.1.E - Drawing legend (**Resolved**) - 6.2.1.E - Drawing legend: Provide a drawing legend as needed.
Corrections 6.2.1.F - North Arrow (**Resolved**) - 6.2.1.F - North Arrow: Provide north arrow and graphic drawing and written scale
Corrections 2.12.10 - Easement or land reservation (**Resolved**) - **Corrective Action:** Please provide - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation
Corrections 6.4.7. Construction Plans - Survey Requirements (**Resolved**) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.
Corrections 6.2.1.A. - Licensed Professional (**Resolved**) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Survey (Plans) (Office of the County Engineer)	Theresa Small	07/28/2026	07/27/2026	Approved
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Sydney Oberdorfer	07/28/2026	07/24/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	07/28/2026	07/27/2026	Requires Re-submit
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Not Resolved) - Corrective Action: Parcel is within The City of Ocala's Service Area. A letter from the City of Ocala stating service availability and connection requirements shall be submitted prior to building permit issuance. Ensure the City of Ocala has seen and approved the revised utility connections, as they are not part of MCU's review process. - 6.14.2.A(1) - Letter from utility provider: Letter of availability and capacity from service area's utility provider, including map of water and sewer mains with distances shown to determine if connection is required.			
<i>Comments</i>	Repeat comment - Parcel is within The City of Ocala's Service Area. A letter from the City of Ocala stating service availability and connection requirements shall be submitted prior to building permit issuance. Ensure the City of Ocala has seen and approved the revised utility connections, as they are not part of MCU's review process.			

OCE: Plan Review Revision (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	06/05/2026	05/27/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	06/05/2026	05/29/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	06/05/2026	05/22/2026	Requires Re-submit
<i>Comments</i>	1) With the addition of the two 1500 square foot structures, there shall now be required a fire department water supply provided within 400' of the buildings.			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	sarah wells	06/05/2026	05/26/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	06/05/2026	06/03/2026	Approved
<i>Comments</i>	no landscape revisions this submittal			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	06/05/2026	06/04/2026	Approved

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	06/05/2026	06/05/2026	Informational
Comments	Checked Map. ----- IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." ----- - DR 6/5/26			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	06/05/2026	05/26/2026	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	06/05/2026	06/02/2026	Requires Re-submit
Corrections	2.12.10 - Easement or land reservation (Not Resolved) - Corrective Action: Please provide - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation			
Corrections	6.2.1.A. - Licensed Professional (Not Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
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Corrections	6.2.1.E - Drawing legend (Not Resolved) - 6.2.1.E - Drawing legend: Provide a drawing legend as needed.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	06/05/2026	05/22/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/05/2026	05/27/2026	Requires Re-submit
Corrections	6.14.2.A(1) - Letter from utility provider (Not Resolved) - Corrective Action: Parcel is within The City of Ocala's Service Area. A letter from the City of Ocala stating service availability and connection requirements shall be submitted prior to building permit issuance. Ensure the City of Ocala has seen and approved the revised utility connections, as they are not part of MCU's review process. - 6.14.2.A(1) - Letter from utility provider: Letter of availability and capacity from service area's utility provider, including map of water and sewer mains with distances shown to determine if connection is required.			
Comments	Project is within the City of Ocala utility service area. Please see the Corrections comments.			

SUBMITTAL SUMMARY REPORT (30313)

OCE: Plan Review (DR) v.1

ITEM	REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR)	(911 Management)		07/10/2023	11/17/2025	Approved
Comments	YES 2.12.8 - Legal description matches boundary on plan YES 2.12.28 - Correct road names supplied YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Additional 911 comments				
Environmental Health (Plans)	(Environmental Health)		07/10/2023	11/17/2025	Approved
Comments	YES Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems N/A Additional Health comments				
Fire Marshal (Plans)	(Fire)		07/10/2023	11/17/2025	Approved
Comments	YES 6.18.2 - Fire Flow/Fire Hydrant YES 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area N/A 6.18.5 - Access Control Box N/A 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength N/A 6.18.2.G - Painting and Marking of Fire Hydrants N/A NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads INFO Additional Fire comments Fire Review has been conditionally approved for the site plan. Any future structures greater than 1200 sqft will require fire department water supply.				

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		07/10/2023	11/17/2025	Approved
Comments	Land Use: Approval N/A 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation? Per Applicant Submittal Memo dated 6/22/2023, revisions to prior Major Site Plan to provide "revised striping layout and removal of fire hydrants as directed by the owner. The associated documents for this project will remain unchanged from the previous approval (AR #28841)." Deferring any further review remarks to OCE-Traffic, Marion County Utilities, and Fire Rescue. N/A 2.12.4.L(3) - All applicable Developer's Agreements listed? N/A 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note? N/A 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density? N/A 3.2.3 - NON-RESIDENTIAL - Complies with FAR? N/A 2.12.4.L(6) - Gross/wetland/floodplain acreage listed? N/A 3.3.2.C - Complies with Approved ECSD PUD? N/A 3.3.3.A(1) - Complies with Approved Rural Residential Cluster Plan? N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan? N/A 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?] N/A 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?] N/A 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed? N/A 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911? N/A 4.1.4.J - [Greenway Setback Provided?] N/A 2.12.16/6.5 - [EALS or EALS-ER provided?] N/A 6.5 & 6.6 - Habitat Preservation/Mitigation Provided? N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?] N/A 6.12.2.A - [Local Road right-of-Way Provided?] N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?] N/A 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)? N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?] N/A 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat? N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?] N/A 6.11.5 - [Driveways to Intersections Separated/Coordinated?] N/A 6.11.4.E - [Sight Triangle Provided?] N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?] N/A 6.12.12 - [Sidewalks Internal/External Provided?] N/A 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available? N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required? N/A 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected? N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?] N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?] N/A Additional Planning Items: Zoning: Approval INFO 2.12.4.C - Owner and applicant name Revision to APPROVED Major Site Plan AR 28841 YES 2.12.4.L(1) - Parcel number Revision to APPROVED Major Site Plan AR 28841 YES 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown YES 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios), and parking YES 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements INFO 2.12.24 - Landscape requirements/6.8.6 - Buffering Show the landscape buffering plan Sec 6.8.6 YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan INFO 2.12.6 - Location of water and sewer. Does this need a special use permit? Defer to MCU YES 2.12.9 - Show adjacent streets serving development YES 2.12.32 - Show 100yr flood zone YES 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) YES 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route INFO 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan Will there be a sign? Show the location and dimensions of any proposed sign. YES 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks N/A 2.12.27 - Show location of outside storage areas YES 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain N/A Additional Zoning comments			

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Landscape (Plans) (Parks and Recreation)		07/10/2023	11/17/2025	Approved

Comments

N/A 2.12.18 - All trees 10" DBH and larger
 N/A 2.12.25 - Marion Friendly Landscape Areas
 N/A 6.7.3 - Tree protection
 N/A 6.7.4 - Shade tree requirements
 N/A 6.7.6 - Tree removal submittal requirements
 N/A 6.7.8 - Protected tree replacement requirements
 N/A 6.7.9 - Replacement trees; general requirements
 N/A 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)
 N/A 6.8.3 - Landscape design standards
 N/A 6.8.4 - Landscape area requirements for non-residential development
 N/A 6.8.5 - Landscape area requirements for residential and mixed use developments
 N/A 6.8.6 - Buffers
 N/A 6.8.7 - Parking areas and vehicular use areas
 N/A 6.8.8 - Building landscaping
 N/A 6.8.9 - Service and equipment areas
 N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities
 N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities
 N/A 6.8.10 - General planting requirements (specifications)
 N/A 6.8.11 - Landscape installation
 N/A 6.8.12 - Landscape completion inspection requirements
 N/A 6.9.2 - Irrigation plan requirements (details, legend, notes)
 N/A 6.9.3 - Irrigation design standards
 N/A 6.9.5 - Irrigation system installation
 N/A 6.19.3 - Outdoor lighting plan requirements
 N/A 6.19.4 - Exterior lighting design standards
 N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone
 INFO Additional Landscape comments No Landscape revisions to AR#28841

OCE Design (Plans) (Office of the County Engineer)		07/10/2023	11/17/2025	Approved
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Comments

YES 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC
 N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department
 N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.
 N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC
 N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC
 YES 2.1.3 - Order of plan approval
 YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
 YES 2.12.4.A - Type of application on front page
 YES 2.12.4.B - Project name centered at top of front page
 YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet
 YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan
 YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet
 YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet
 YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets prior to plan approval
 YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.
 YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township
 YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp
 YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering
 YES 2.12.4.K - List of approved waivers, their conditions, and the date of approval
 YES 2.12.4.L(1) - Parcel number
 YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer
 YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application
 YES 6.2.1.B - Plans shall be legible and meet typical industry standards
 YES 6.2.1.C - Standardized sheet size shall be 24" x 36"
 YES 6.2.1.F - North arrow and graphic drawing and written scale
 YES Legal Documents
 INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		07/10/2023	11/17/2025	Approved
Comments	INFO Major Site Plan IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."			

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		07/10/2023	11/17/2025	Approved
Comments	N/A 2.12.4.L(9)(b) - Data Block (Impervious Area) N/A 2.12.8 - Topographical Contours N/A 2.12.9/10 - Existing Drainage Right-of-Way/Easements N/A 2.12.9/10 - Proposed Drainage Right-of-Way/Easements N/A 2.12.13/14/15 - General Exhibits N/A 2.12.20 - Stormwater Infrastructure Supports Phasing N/A 2.12.38 - Stormwater Maintenance Entity N/A 6.13.2.C - Geotechnical Investigation Report N/A 6.13.7 - Geotechnical Criteria N/A 6.13.2.A(1)/(2) - Contributing Basins/Tc N/A 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations N/A 6.13.2.A(4) - Stormwater Features & Connective Elements N/A 6.13.2.A(3) - Retention/Detention Area Design Parameters N/A 6.13.3 - Type of Stormwater Facility Criteria N/A 6.13.4 - Stormwater Quantity Criteria N/A 6.13.2.B(4) - Hydrologic Analysis N/A 6.13.4.C - Discharge Conditions N/A 6.13.2.B(6) - Freeboard N/A 6.13.4.D - Recovery Analysis N/A 6.13.5 - Flood Plain & Protection N/A 6.13.2.A(8) - Finish Floor Elevation Criteria N/A 6.13.6 - Stormwater Quality Criteria N/A 6.12.6 - Roadway Flooding Level of Service N/A 6.13.6.B - Alternative Treatment Techniques N/A 6.13.6.C - Best Management Practices N/A 6.13.8 - Stormwater Conveyance Criteria N/A 6.13.2.B(5) - Hydraulic Analysis N/A 6.13.8.B(3) - Lane Spread Calculations N/A 6.13.2.A(9) - Access Accommodates Stormwater N/A 6.13.8.B(7) - Minimum Pipe Size N/A 6.13.2.A(5) - Existing/Proposed Stormwater Structures N/A 6.13.2.A(6) - Existing/Proposed Stormwater Pipes N/A 6.13.2.A(7) - Existing/Proposed Stormwater Swales N/A 6.13.9 - Grading Criteria N/A 6.13.2.A(11)(a) - Construction Entrance N/A 6.13.2.A(11)(b) - Erosion Control N/A 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References INFO 6.13.2.B(8) - Calculation & Plan Consistency N/A 6.13.10.B - Copy of NPDES Permit or NOI N/A Copy of District Permit (County Interest) N/A 6.10 - Karst Topography and High Recharge Areas N/A 7.1.3 - Drainage Construction Specifications N/A 6.13.12 - Operation and Maintenance N/A Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis. INFO Additional Stormwater comments (1) Based on the engineer's description of the changes, there are no stormwater changes to be reviewed. Please confirm. (2) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
OCE Survey (Plans) (Office of the County Engineer)		07/10/2023	11/17/2025	Approved
Comments	N/A 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet N/A 6.2.1.E - Provide drawing legend N/A 6.2.1.F - Provide north arrow and graphic drawing and written scale N/A 6.4.7.A(1) - Show a minimum of two bench marks per site N/A 6.4.7.A(2 & 3) - Bench mark information shown N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review N/A 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site N/A 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System N/A 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - Provide one copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review N/A 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted N/A 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown N/A 6.4.7.E - Line and curve table must be shown on the sheet to which they apply N/A 6.4.7.F - All abbreviations used shall be clearly defined in the legend N/A 2.12.4.F.(2) - Surveyor and Mapper certification N/A 2.12.4.G - Show a location or vicinity map N/A 2.12.8 - Provide current boundary and topographic survey less than one year old N/A 2.12.9 - Provide location and dimensions of all rights-of-way serving the project N/A 2.12.10 - Show any known existing or proposed easement or land reservation N/A 2.12.11 - Provide an aerial map of the site with a layout of the development N/A 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments			

SUBMITTAL SUMMARY REPORT (30313)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Traffic (Permits & Plans) (Office of the County Engineer)		07/10/2023	11/17/2025	Approved
<i>Comments</i>				
YES 2.12.9 - Location and dimensions of streets and right-of-way				
N/A 2.12.20 - Phases of development				
N/A 2.12.30 - Route Plan				
YES 2.12.38 - Maintenance of improvements				
YES 6.2.1.E - Drawing legend				
N/A 6.11.3 - Traffic Impact Analysis				
N/A 6.11.4.B - Cross access				
N/A 6.11.4.E - Sight triangle				
N/A 6.11.5 - Driveway access				
N/A 6.11.6 - Construction route				
N/A 6.11.9.A - Traffic signals				
YES 6.11.9.B - Traffic signs				
YES 6.11.9.C - Pavement marking				
N/A 6.12.1.A. - Transportation Facilities - Purpose and Intent				
N/A 6.12.2 - Right-of-way				
N/A 6.12.11 - Turn lanes				
N/A 6.12.12 - Sidewalks				
N/A 6.12.13 - Utility position in right-of-way				
N/A Additional Traffic comments				
Utilities (OCE Plans) (Utilities)		07/10/2023	11/17/2025	Approved
<i>Comments</i>				
N/A Correct MCU Cover Sheet contact information				
YES Parcel numbers identified in project match proposed site plan layout 23306-001-00				
INFO 6.14.2 A(1) - Water and Sewer Connection service area/provider Marion County Utilities service area but connecting to City of Ocala Utilities per previous approval of Martel Paved Training Course AR 28841. Project shall connect water & sewer as identified on plans to City of Ocala mains; connection to City utilities subjects property to future annexation into Ocala city limits at the City's timeline. MCU strongly recommends the City be provided these plans for review and comment prior to Development Review approval as they are not a part of this review process. No Utility review fee for this site plan.				
INFO 6.14.2 A(1) - Letter of Availability and Capacity (w/Location Map of utilities) from utility service provider Any building permits reviewed by Utilities Permitting Specialist on this parcel must show a utility account/connection agreement with the City of Ocala prior to clearing the building permit.				
YES 6.14.2 - Water and/or Sewer Connection Requirements shown public utility connections				
N/A 6.14.2(e) - Grease Trap/Industrial Pretreatment				
N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS)				
N/A 6.14.4 - Capital Charges and Flow Rates - proposed use identified to calculate				
N/A 6.14.4 - Non-residential irrigation well, or total SF of Irrigation or irrigation flows design analysis identified on utility or irrigation plan				
N/A 6.14.5 - Submittal Requirements				
N/A 6.14.6 - Design Criteria				
N/A 6.14.7 - Construction Inspection				
N/A 6.14.8 - Completion and Closeout - PLAN NOTE: All as-builts shall comply with the current LDC, section 6.14.8				
N/A 6.14.9 - Transfer of Facilities to Marion County Utilities				
N/A 6.15.2 - Decentralized Systems				
INFO 6.15.3 - Fire Protection defer to MCFR				
N/A 6.15.4 - Water Distribution System				
N/A 6.15.5 - Water Services and Connections				
N/A 6.15.6 - Water Metering				
N/A 6.15.7 - Cross Connection Control and Backflow Prevention				
N/A 6.15.8 - Water Well Standards				
N/A 6.15.10 - Water Treatment Plants				
N/A 6.16.2 - Decentralized Systems				
N/A 6.16.3 - Treatment Standards - Primary Springs Protection Zone				
N/A 6.16.4 - Wastewater Collection Systems				
N/A 6.16.5 - Wastewater Pump Stations				
N/A MCUD DETAILS - current LDC version				
N/A Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities				
N/A Additional Utilities comments				
N/A Additional Utilities comments				
N/A Additional Utilities comments				
N/A Additional Utilities comments				

From: [Powell, Brad](#)
To: [Hathaway, Kelly](#)
Cc: [Trexler, Thomas](#); [Pool, Aaron](#)
Subject: RE: AR# 30313 Resubmittal Documents
Date: Wednesday, August 12, 2026 9:22:34 AM
Attachments: [image001.png](#)
[image002.png](#)

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Good morning Kelly,

I will go ahead and get this fee paid this morning.

“We are requesting a plan approval extension to the Martel Paved Training Course project to permit the construction of a new modular training building for the Marion County Sheriff's Office. The original Martel Paved Training Course was constructed and closed out earlier this year. We just received approval for a revision to the Major Site Plan for this minor addition to the Major Site Plan on 8/10/2026. Due to implications of the original approval of the Major Site Plan, this revision to this Major Site Plan is set to expire on 8/14/2026. An original permit extension to the Major Site Plan was originally applied for and approved to finish construction of the main project. We are requesting a second extension to now start and finish construction of the modular training building and fire line.”

Thank you,

Brad Powell, E.I.
Kimley-Horn | 1700 SE 17th Street, Suite 200, Ocala, FL 34471
Direct: 352 888 6567 | Mobile: 352 425 5081

From: Hathaway, Kelly <Kelly.Hathaway@marionfl.org>
Sent: Tuesday, August 11, 2026 2:46 PM
To: Powell, Brad <Brad.Powell@kimley-horn.com>
Cc: Trexler, Thomas <Thomas.Trexler@kimley-horn.com>; Pool, Aaron <Aaron.Pool@marionfl.org>
Subject: RE: AR# 30313 Resubmittal Documents

Hi Brad,

The Plan Extension and DRC for Plan Extension tasks have been added to the workflow as well as the \$50 fee.

Please reply to this email explaining the need for a second extension request so that can be added to the agenda for the Committee members.

Thank you,

Kelly



Kelly Hathaway

Development Review Coordinator

Office of the County Engineer

Marion County Board of County Commissioners

412 SE 25th Ave

Ocala, FL 34471

Main: +1 352 671 8686 | Direct: +1 352 671 8358

[Empowering Marion for Success!](#)

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From: Powell, Brad <Brad.Powell@kimley-horn.com>

Sent: Tuesday, August 11, 2026 1:33 PM

To: Hathaway, Kelly <Kelly.Hathaway@marionfl.org>

Cc: Trexler, Thomas <Thomas.Trexler@kimley-horn.com>; Pool, Aaron <Aaron.Pool@marionfl.org>

Subject: RE: AR# 30313 Resubmittal Documents

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Hi Kelly,

We need to get this project scheduled for this upcoming DRC for a permit extension as the MCSO is starting construction next week. How do we need to apply for this or is there a task you can link to our project to apply?

Thank you,

Brad Powell, E.I.

Kimley-Horn | 1700 SE 17th Street, Suite 200, Ocala, FL 34471

Direct: 352 888 6567 | Mobile: 352 425 5081

From: Hathaway, Kelly <Kelly.Hathaway@marionfl.org>

Sent: Tuesday, August 11, 2026 10:31 AM

To: Powell, Brad <Brad.Powell@kimley-horn.com>

Cc: Trexler, Thomas <Thomas.Trexler@kimley-horn.com>; Pool, Aaron <Aaron.Pool@marionfl.org>

Subject: RE: AR# 30313 Resubmittal Documents

Plan
Revisions

Development Review Committee
Marion County, Florida

Plan #: 20311
Approval Date: 8/14/2023
Expiration Date: 8/14/2026

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be drained and seeded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal law.

GENERAL NOTES

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND UTILITY MANUAL AS APPLICABLE.
2. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
3. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITIONS AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER UNDESIRABLE MATERIAL.
5. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE BE COMMENCED ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOT FOR TEMPORARY BRACKS AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SHIELD OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48-HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED ACQUISITION PERMITS.
9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER FINISHED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY ZONED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
12. THE PRESENCE OF UNKNOWN UTILITIES SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
13. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PROPERLY ABANDONED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
14. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
16. ALL SIGN POSTS TO BE U-GHANNEL GALVANIZED STEEL 2x6x1/2 BREAKAWAY POSTS.
17. ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLOVED IN ACCORDANCE WITH SECTION 12.3.4 OF THE MARION COUNTY LDC.
18. ALL LIGHTING SHALL BE SHIELDED TO NOT CAST GLARE ONTO ADJACENT PROPERTY.
19. BUILDING SHALL COMPLY WITH THE BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS. THE LOCATION WILL NEED TO BE AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL AND IF DEEMED NECESSARY, ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM FIRM. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHALL.
20. UPON COMPLETION OF THE LANDSCAPE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL, A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
21. THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY OF THE N.P.D.E.S. PERMIT OR A.C.I. TO MARION COUNTY.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS LATEST EDITION OR FOOT SPECIFICATIONS AND STANDARDS LATEST EDITION IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
1. ALL FINAL PAVEMENT MARKINGS WITHIN THE STATE RIGHT-OF-WAY SHALL BE THERMOPLASTIC, STOP BARS, TRAFFIC ARROWS, LANE STRIPING AND CROSS SHALL STRIPING SHALL BE THERMOPLASTIC. ALL OTHER PAVEMENT MARKINGS ON SITE SHALL BE PAINT.
2. STOP BARS SHALL BE TWENTY-FOUR INCHES (24") WIDE AND LANE WIDTH.
4. BOTTOM EDGE OF ANY INSTALLED SLOPE SHALL HAVE A 2" CIRCULAR TO 2" CHAIN DRAG UNLESS OTHERWISE NOTED.
5. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
6. TRAFFIC CONTROL ON ALL FOOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
7. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE INDENTURES WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRADE STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
8. ALL EXISTING FENCES AND OTHER STRUCTURES MUST BE MAINTAINED PRIOR TO CONSTRUCTION OF ANY IMPROVED SURFACES.
9. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
10. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND 1/2"CH TO MATERIAL AS EXISTING OR AS INDICATED.
11. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
12. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
13. IF DRAINWAYS IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO EXCAVATION.
14. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPE AREAS BUT ONLY AS DIRECTED BY THE OWNER.
15. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
16. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODED OR SEEDS AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EXISTING AREAS WILL BE SODED OR SEEDS AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
17. ALL CUT OR FILL SLOPES SHALL BE 4:1 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
19. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
20. SOIL WHEN CALLED FOR MUST BE INSTALLED AND MAINTAINED OR DEPOSITED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGE.
21. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EMBODIES, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
22. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
23. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE LOCAL, STATE, FEDERAL AND REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
3. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER-TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WELDED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
4. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY JOINT PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDER IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
6. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
7. UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
8. CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWERS. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
9. MARION COUNTY WILL OWN AND MAINTAIN THE WATER AND SEWER MAINS. DAMAGES TO THE LANDSCAPE, LANDSCAPE OR RESTORATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER IN THE EVENT OF ANY MAIN REPAIR.

MAINTENANCE

1. ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED FULLY THROUGHOUT CONSTRUCTION UNTIL CONSTRUCTION OF A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 48 HOURS OF THE END OF A DAY RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. SALT PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETECTION.
2. ALL SEEDS AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE RESEED, WATERED AND RESEEDS AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 91 OF THE STANDARD SPECIFICATIONS.
3. SALT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SALT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SALT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD-ON ROAD PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THE AREA MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 12 CALENDAR DAYS FOLLOWING THE INSPECTION.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, GEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEM.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/REPRESENTATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

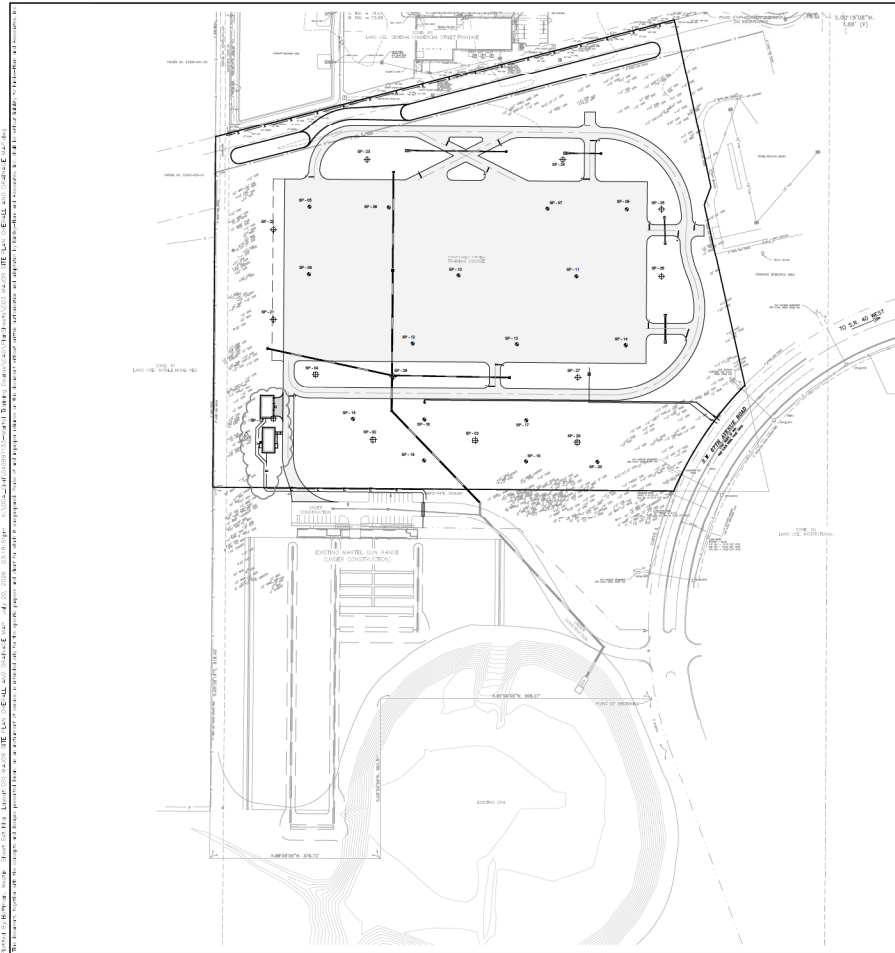
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DATE: 8/14/2023

MAJOR SITE PLAN
GENERAL NOTES

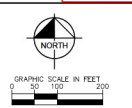
MARION COUNTY SHERIFF
DEPARTMENT
FLORIDA

SHEET NUMBER
C02



SOIL TEST RESULTS:

TEST HOLE SP-01 (GROUND EL. = 84.63)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN CLAYEY SAND (SC)
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
GROUND WATER DEPTH, NOT FOUND
(SC) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
1.5' - 2.0' WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-02 (GROUND EL. = 83.33)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-03 (GROUND EL. = 87.84)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-04 (GROUND EL. = 87.86)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-05 (GROUND EL. = 81.53)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-06 (GROUND EL. = 85.73)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-07 (GROUND EL. = 88.22)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-08 (GROUND EL. = 83.07)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-09 (GROUND EL. = 84.90)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-10 (GROUND EL. = 85.88)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-11 (GROUND EL. = 84.42)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-12 (GROUND EL. = 86.02)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-13 (GROUND EL. = 86.75)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-14 (GROUND EL. = 87.93)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-15 (GROUND EL. = 85.30)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-16 (GROUND EL. = 87.64)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-17 (GROUND EL. = 87.63)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-18 (GROUND EL. = 88.56)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-19 (GROUND EL. = 87.54)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)



SOIL TEST RESULTS (CONT.):

TEST HOLE SP-21 (GROUND EL. = 81.96)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SC) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-22 (GROUND EL. = 81.32)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-23 (GROUND EL. = 81.87)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-24 (GROUND EL. = 85.43)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-25 (GROUND EL. = 88.92)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-26 (GROUND EL. = 89.95)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-27 (GROUND EL. = 87.16)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-28 (GROUND EL. = 83.97)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)
TEST HOLE SP-29 (GROUND EL. = 87.93)
0' - 6" FINE SAND (SF)
6" - 24" WELL-SORTED BROWN AND GREY CLAYEY SAND (SC)
GROUND WATER DEPTH, NOT FOUND
(SF) IMPURE SILT CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW
F = 0.0% BROWN FINE SAND (SF)

Plan Revisions

Development Review Committee
Marion County, Florida

Plan #: 20211
Approval Date: 8/14/2023
Expiration Date: 8/14/2026

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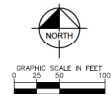
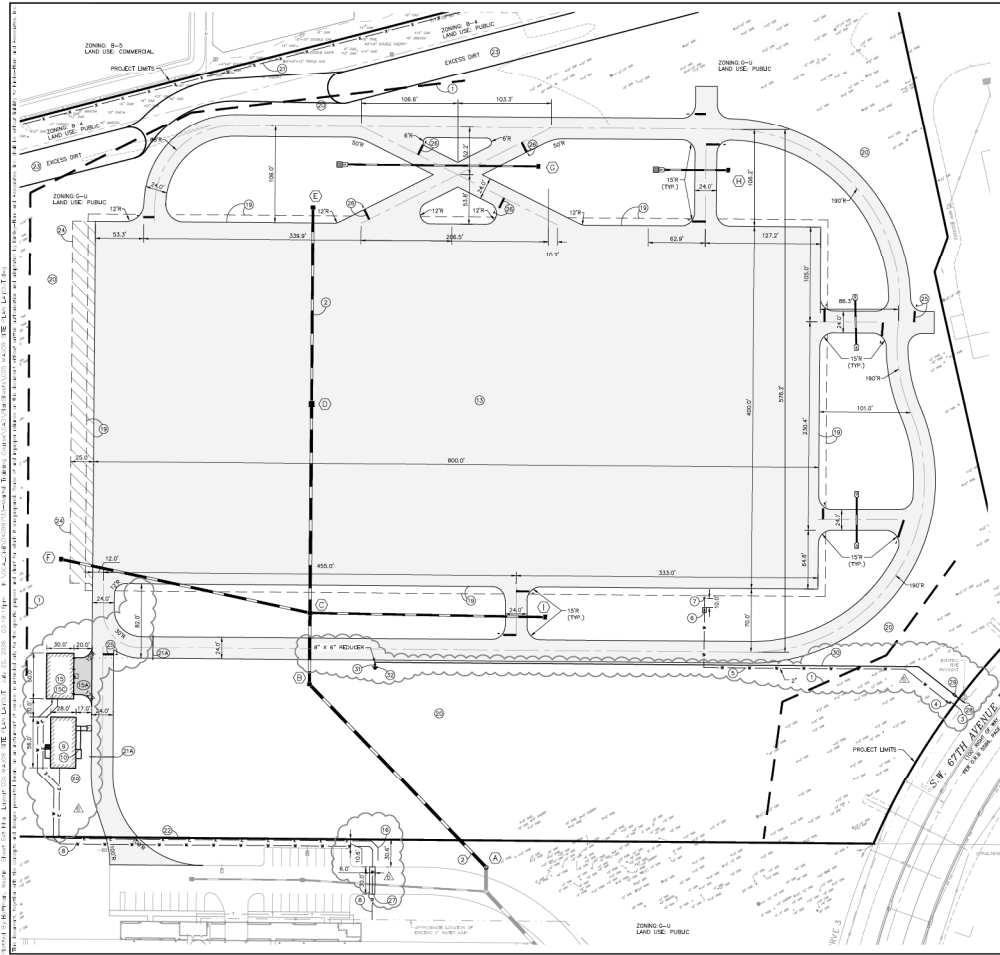
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Phone: (954) 576-1000
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www.kimley-horn.com

MAJOR SITE PLAN
OVERALL AND
DRAINAGE MAP

PREPARED FOR
MARION COUNTY SHERIFF
DEPARTMENT
MARION COUNTY
FLORIDA

DATE: 8/14/23
SCALE: AS SHOWN
DESIGNED BY: DHA
CHECKED BY: DHA
DATE: 8/14/23

SHEET NUMBER
C03



CONSTRUCTION NOTES:

- ALL NOTES LISTED BELOW SHALL BE CONSIDERED BY THE CONTRACTOR UNLESS STATED OTHERWISE.
- INSTALL 12" X 2" TAPPING SLEEVE AND 2" POLYETHYLENE PIPE TO 1" METEDED WATER SERVICE PER W-10 DETAIL 8-11 ON SHEET C10. INSULATE ALL EXPOSED PIPES BY CONTRACTOR.
- INSTALL 2" PVC CLASS 200 SDR 21 WATER SERVICE.
- INSTALL 2" FULL FLOW BALL VALVE IN A VALVE BOX.
- INSTALL SPRINKLER HEAD ASSEMBLY AND ATTACH TO 8" X 8" X 8" CONCRETE POST. SEE DETAIL ON SHEET C10.
- INSTALL 12" PVC CLASS 200 SDR 21 WATER SERVICE FOR PROPOSED STORAGE BUILDING COMING FROM EXISTING GAS VALVE WATER SYSTEM AT THE 12" METAL STORAGE BUILDING CONSTRUCTION. (FUTURE SPACING REQUIREMENTS ARE MET BETWEEN WATER SERVICE AND ELECTRIC UTILITY. COORDINATE WITH SDCD ON SPACING REQUIREMENTS).
- CONSTRUCT 1.500 S.F. MODULAR OFFICE BUILDING.
- CONSTRUCT AREA GRASS AND LANDSCAPE.
- RELIEVED.
- RELIEVED.
- CONSTRUCT 400' X 80' ASPHALT TRAINING COURSE WITH ADDED LANES AS SHOWN. SEE GENERAL NOTE 7 ON SHEET C10 FOR THE SPECIFICATIONS.
- CONSTRUCT 1.500 S.F. METAL STORAGE BUILDING (FUTURE).
- CONSTRUCT ASPHALT DRIVEWAY APRON 1.5' SP-4.5, 6" UNIFORM (LBR 100), 12" STABILIZED SUBGRADE (LBR AND PICTURE).
- CONSTRUCT 1.500 S.F. CONC. DETAIL ON SHEET C10.
- CONTRACTOR TO COORDINATE WITH S.D.C.D. TO INSTALL POWER TO THE PAVED TRAINING COURSE PROJECT.
- INSTALL VIVE LIGHT WINGS. SEE ELECTRICAL SITE PLAN FOR DETAILS.
- ALTERNATE ITEM: INSTALL SITE LIGHTING OWNER WANTS THE LIGHTS TO BE ABLE TO TURN OFF/ON. SEE ELECTRICAL SITE PLAN FOR DETAILS.
- INSTALL 8" REINFORCED CONCRETE TYP. REINFORCEMENT BAY ALONG THE ENTIRE 42.400'-LONG EDGE OF THE PAVED TRAINING COURSE.
- PROVIDE SHADE AND SUE ALL DISTURBED AREAS. SEE GENERAL NOTE 11 ON SHEET C10.
- RELOCATE EXISTING 8" CHAIN LINK FENCE UP TO PROPERTY LINE AND CONNECT TO EXISTING 8" CHAIN LINK FENCE ON PROPERTY LINE EDGES.
- RELIEVED.
- INSTALL SECONDARY UNDERGROUND ELECTRIC FROM EXISTING GUN RANGING TRANSFORMER TO PROPOSED BUILDING.
- EXCESS DIRT, IF ANY, CAN BE PLACED IN LOCATIONS LABELED "EXCESS DIRT". 4:1 MAX SIDE SLOPES AND 300'.
- CONSTRUCT 12" THICK STABILIZED SUBGRADE (SUE MAX DENSITY, 40 LBS) SHOWN.
- PAINT 2"x2" WHITE STOP BAR AND INSTALL 30" STOP SIGN (81-1). POST SHALL BE 2"x2" 14 GAUGE AND 4' LIFT/12" LONG (TYPICAL).
- PAINT 2"x2" WHITE STOP BAR AND INSTALL 30" STOP SIGN IN FOUR LOCATIONS SHOWN. POST SHALL BE 2"x2" 14 GAUGE AND 4' LIFT/12" LONG (TYPICAL).
- REPAIR 6" X 2" ASPHALT SECTION TO MATCH EXISTING.
- INSTALL 12" X 8" TYPICAL TAPER AND VALVE. SEE DETAIL ON SHEET C10.
- INSTALL 4" DOUBLE STRENGTH ORION ASSEMBLY PER DETAIL ON SHEET C10.
- INSTALL 8" C900 DR4 FIRE LINE.
- INSTALL 8" X 6" REDUCER.
- INSTALL FIRE HYDRANT ASSEMBLY PER DETAIL ON SHEET C10.

Plan Revisions

Development Review Committee

Marion County, Florida

Plan #: 20211

Approval Date: 8/14/2023

Expiration Date: 8/14/2026

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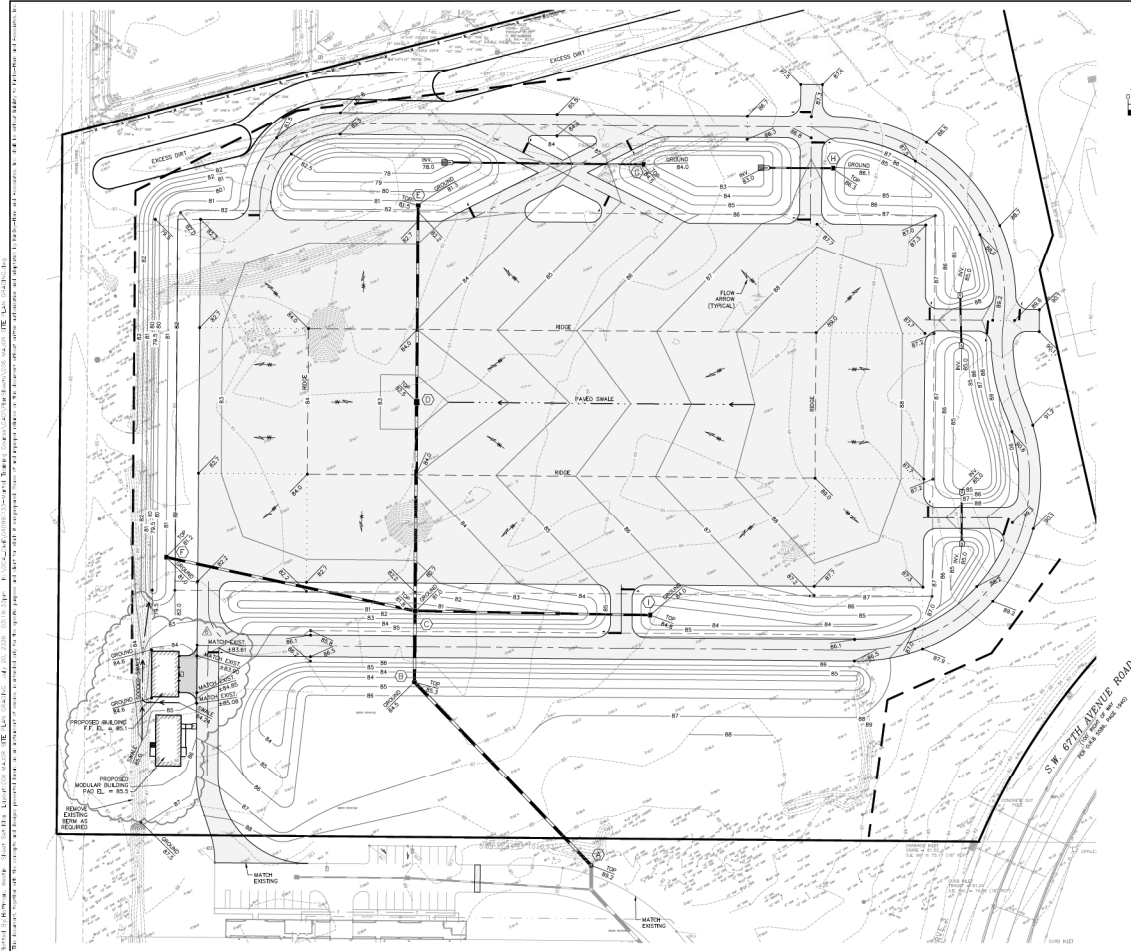
Kimley-Horn

ENGINEER
MARION COUNTY, FLORIDA
913.339

MAJOR SITE PLAN LAYOUT

MARTEL PAVED TRAINING COURSE
PREPARED FOR
MARION COUNTY SHERIFF DEPARTMENT
MARION COUNTY, FLORIDA

SHEET NUMBER
C05



Plan
Revisions

Development Review Committee
Marion County, Florida

Plan #: 20311
Approval Date: 8/14/2023
Expiration Date: 8/14/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be drained and graded. Spot and match may be used if approved by the County Engineer or designee.

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NO.	DATE	REVISION
1	8/14/2023	APPROVED FOR CONSTRUCTION
2	8/14/2023	APPROVED FOR CONSTRUCTION
3	8/14/2023	APPROVED FOR CONSTRUCTION
4	8/14/2023	APPROVED FOR CONSTRUCTION
5	8/14/2023	APPROVED FOR CONSTRUCTION
6	8/14/2023	APPROVED FOR CONSTRUCTION
7	8/14/2023	APPROVED FOR CONSTRUCTION
8	8/14/2023	APPROVED FOR CONSTRUCTION
9	8/14/2023	APPROVED FOR CONSTRUCTION
10	8/14/2023	APPROVED FOR CONSTRUCTION

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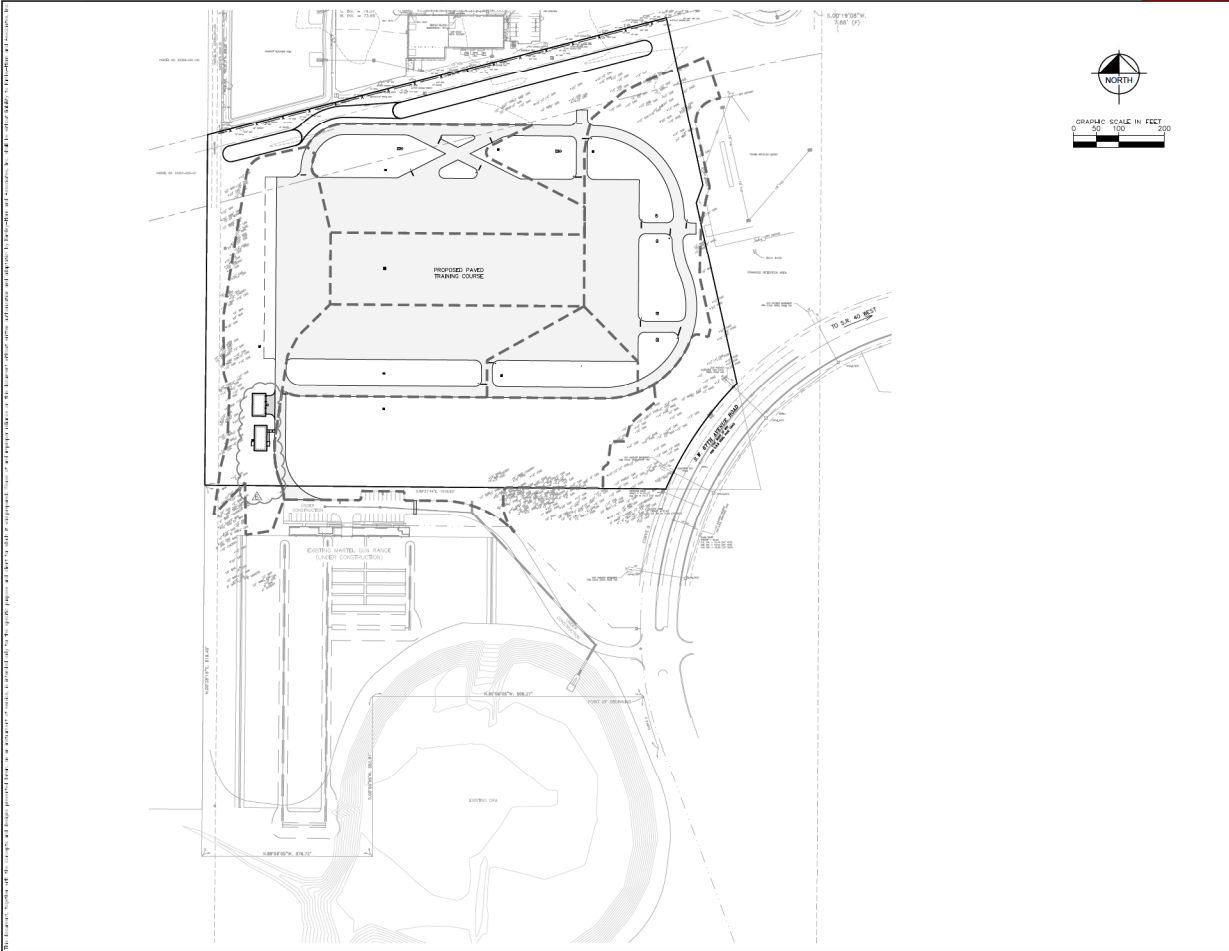
DATE	PROJECT	DESIGNED BY	CHECKED BY	SCALE	AS SHOWN	DATE	PROJECT	DESIGNED BY	CHECKED BY	SCALE	AS SHOWN
8/14/2023	MAJOR SITE PLAN	9/13/23	9/13/23			8/14/2023	MAJOR SITE PLAN	9/13/23	9/13/23		

MAJOR SITE PLAN
GRADING

MARTEL PAVED
TRAINING COURSE
PREPARED FOR
MARION COUNTY SHERIFF
DEPARTMENT
MARION COUNTY
FLORIDA

SHEET NUMBER
C06

NOT TO SCALE. ALL DIMENSIONS ARE IN FEET. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM KIMLEY-HORN AND ASSOCIATES, INC.



Plan Revisions

Development Review Committee
Marion County, Florida

Plan #: 20211
Approval Date: 8/14/2023
Expiration Date: 8/14/2028

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NO.	REVISION	DATE
1	APPROVED FOR CONSTRUCTION	8/14/2023
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9	APPROVED FOR CONSTRUCTION	8/14/2023
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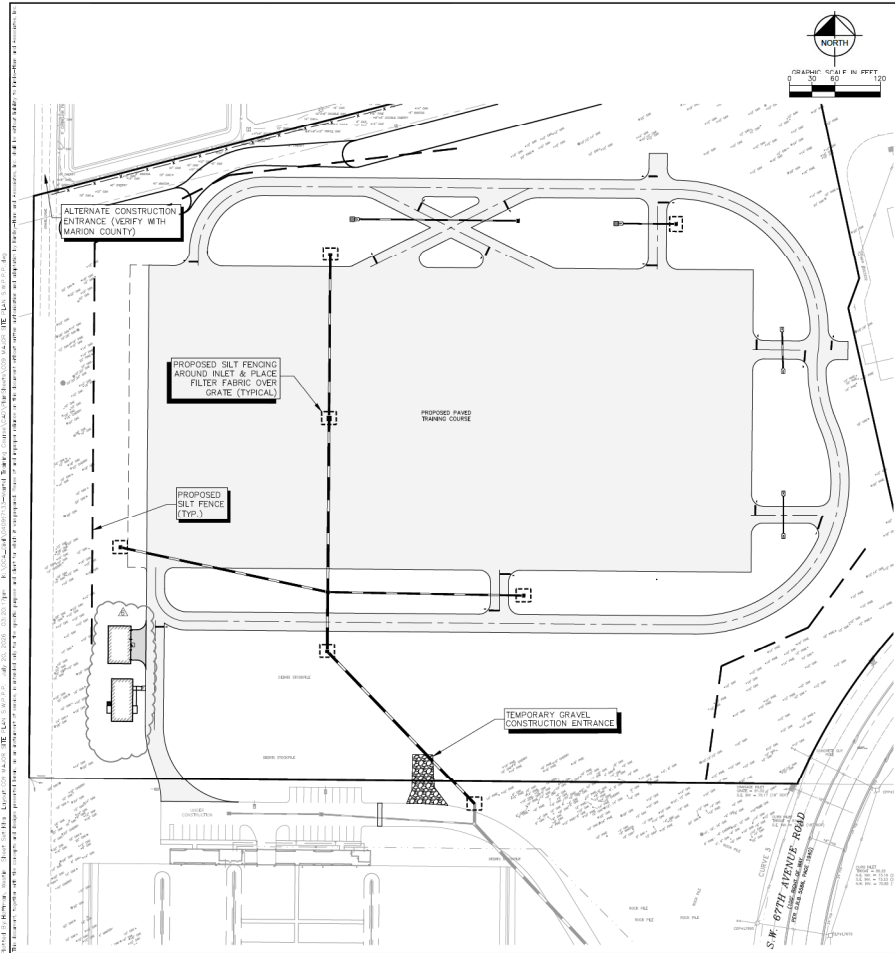
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www.kimley-horn.com

PROJECT: MARION COUNTY SHERIFF DEPARTMENT
SHEET: 007
SCALE: AS SHOWN
DESIGNED BY: DHA
DRAWN BY: DHA
CHECKED BY: DHA
DATE: 8/14/2023

**MAJOR SITE PLAN
DRAINAGE
ANALYSIS**

**MARTEL PAVED
TRAINING COURSE
PREPARED FOR
MARION COUNTY SHERIFF
DEPARTMENT**
MARION COUNTY
FLORIDA

SHEET NUMBER
007



Plan Revisions

Development Review Committee
Marion County, Florida

Plan #: 20311
Approval Date: 8/14/2023
Expiration Date: 8/14/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be cleared and seeded. Seed and mulch may be used if approved by the County Engineer or designee.

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DATE	BY	REVISION
8/14/2023	DMH	1.0

TYPICAL SINK CHIMNEY REPAIR DETAIL

SECTION

OPTIONAL POSITION

SECTION

TYPICAL SILT FENCE DETAIL

STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) NOTES:

1. EROSION CONTROL AND SEDIMENTATION MEASURES SHALL BE EMPLOYED AND MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS. SEDIMENTATION STORAGE CAPACITIES, SEDIMENT BARRIERS, FLOW CONTROLS, EROSION CONTROL STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHALL BE BUILT AND MAINTAINED THROUGHOUT CONSTRUCTION IN A MANNER SUCH THAT TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.
2. THE OWNER/PERMITTEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED DURING CONSTRUCTION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.
3. THE SITE SHALL MAINTAIN FREE OF EXCESS DUST AND SEDIMENTS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR SEDIMENTS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
4. ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
5. SILT FENCE, STRIP BALE INLET FILTERS, AND ANY OTHER EROSION/SEDIMENTATION PROTECTION SHOWN ON THESE PLANS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE OCCURRENCE AND AS PART OF THE DEVELOPMENT. ALL EROSION/SEDIMENTATION PROTECTION SHALL BE MAINTAINED DURING THE LIFE OF THE DEVELOPMENT PROJECT. NO REQUIRED AFTER COMPLETION.
6. CONSTRUCTION WASTE - WASTE SHALL BE COLLECTED AT A DESIGNATED AREA ON-SITE. ADEQUATE NUMBER OF CONTAINERS SHALL BE PROVIDED IMMEDIATELY TO MAINTAIN WASTE COLLECTION BEFORE CONTAINERS OVERFLOW.
7. CONTROL AND DISPOSAL OF WASTE - CONTRACTOR SHALL DEVELOP AND MAINTAIN A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DEGRADED BUILDING MATERIALS, CONCRETE, FRESH AND CURED ASPHALT, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED, MAINTAINED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURNED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY'S STORM WATER SYSTEM.
8. CONCRETE TRUCKS - TRUCKS OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ON-SITE. EXCESS CONCRETE AND WASH WATER SHALL BE DISPOSED OF BY A METHOD THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE. FOR EXAMPLE, DMS COULD BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.
9. CONTRACTOR SHALL PERIODICALLY SHEEP ALL EXISTING ON-SITE PAVED SURFACES AND OFF-SITE ADJUTING CITY STREETS AND STATE HIGHWAYS AS NEEDED TO KEEP TRUCKS OPERATING IN A ROAD-WORTHY CONDITION. SHEEPING SHALL BE DONE BY MECHANICAL MEANS, NOT WATER SPRAYING, ON A REGULAR BASIS AT LEAST ONCE A WEEK INCLUDING, MOST PARTICULARLY, AFTER EVERY RAIN EVENT AND EVERY PROJECT AFTERNOON PRIOR TO LEAVING WORK FOR THE WEEK.
10. SAFETY/HAZARD DISPOSAL - DOMESTIC WASTE HAULERS SHOULD BE CONTRACTED TO REGULARLY REMOVE THE SANITARY AND SEPTIC WASTES AND TO MAINTAIN THE FACILITIES IN GOOD WORKING ORDER.
11. FERTILIZER PREVENTION - ON-ROADSIDE LUBRICANTS AND HYDRAULIC FLUIDS SHOULD BE HANDLED CAREFULLY. EXCESS FERTILIZER SHOULD BE STORED IN A SAFE MANNER AND CLEAN UP OF FERTILIZER SPILLS IMMEDIATELY.
12. HAZARDOUS PREVENTION - NEW PROJECTS SHALL BE USED IN A SAFE MANNER TO AVOID SPILLING OF HAZARDOUS MATERIALS. EQUIPMENT SHOULD BE USED TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY AFTER THEY OCCUR.
13. NON-STORM WATER DISCHARGES - THESE DISCHARGES INCLUDE BUT NOT LIMITED TO FINE MIST/SPRAY FLOWING, POTABLE WATER SOURCES, FLOODING, EXCESSIVE SPRINKLING, AND AIR CONDITIONING CONDENSATE. PRIOR TO ANY DISCHARGE, ALL DISCHARGES OF NON-STORM WATER SHOULD BE STOPPED IMMEDIATELY. DISCHARGES SHOULD ONLY BE DIRECTED TO AREAS THAT ARE STABILIZED TO MAINTAIN EXISTING VEGETATION. EXCESS FLOWING, FLOWING, AND OVERFLOW PROTECTION, LEAKS, SPILLAGE, ETC. DO NOT DISCHARGE NON-STORM WATER FLOWING ONTO DISTURBED AREAS.
14. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT IS REQUIRED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCHES OR GREATER. THE REPORTS ARE TO BE FILED AT THE PROJECT SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA STATUTE FOR STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREAFTER.

THE STORMWATER MANAGEMENT MEASURES PROPOSED ON THIS PLAN SHALL BE EFFECTIVELY IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.

NAME/CONSTRUCTION COMPANY NAME: DATE: MARION COUNTY OWNER: DATE:

Kimley-Horn

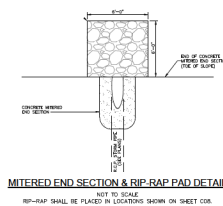
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MAJOR SITE PLAN
S.W.P.P.P.

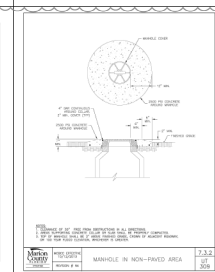
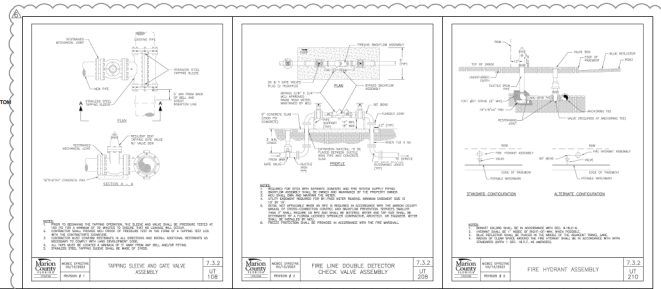
MARION COUNTY SHERIFF
DEPARTMENT

FLORIDA

SHEET NUMBER
C09



-
- RIP-RAP PAD DETAIL**
- The diagram illustrates a cross-section of a rip-rap pad. The central layer consists of rip-rap, labeled "18\" of BROKEN ROCK PER FOOT SPECIFICATIONS SECTION 530-2.13.2". This layer is supported by a "TYPE G2 GEOTEXTILE FABRIC PER FOOT SPECIFICATIONS SECTION 534". The top surface of the pad is labeled "MITERED END SECTION INVERT (POT. PLAN)". The bottom edge of the pad is labeled "POND BOTTOM". The left side of the pad is labeled "4\" OF BEDDING 4\" OF BEDDING PER PLAN SPECIFICATIONS SECTION 530-2.1.4".



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C1

FLORIDA
DEPARTMENT
OF
TRANSPORTATION
FLORIDA HIGHWAY
DEPARTMENT

