



SUBMITTAL SUMMARY REPORT

WaiverSTA-001112-2026

PLAN NAME:	Labby Residence - Ocala Waterway Estates	LOCATION:	0
APPLICATION DATE:	07/24/2026	PARCEL:	3579-001-291
DESCRIPTION:	Ocala Waterway Estates water main connection waiver. 6.14.2.B(1) (A) Water Main Connection Request a waiver from the water main connection as it is extremely cost prohibitive (about \$40,000). A well is requested and in line with what all other residents on the street have.		

CONTACTS	NAME	COMPANY
Applicant	TONY HARTSGROVE	ODC CONSTRUCTION, LLC

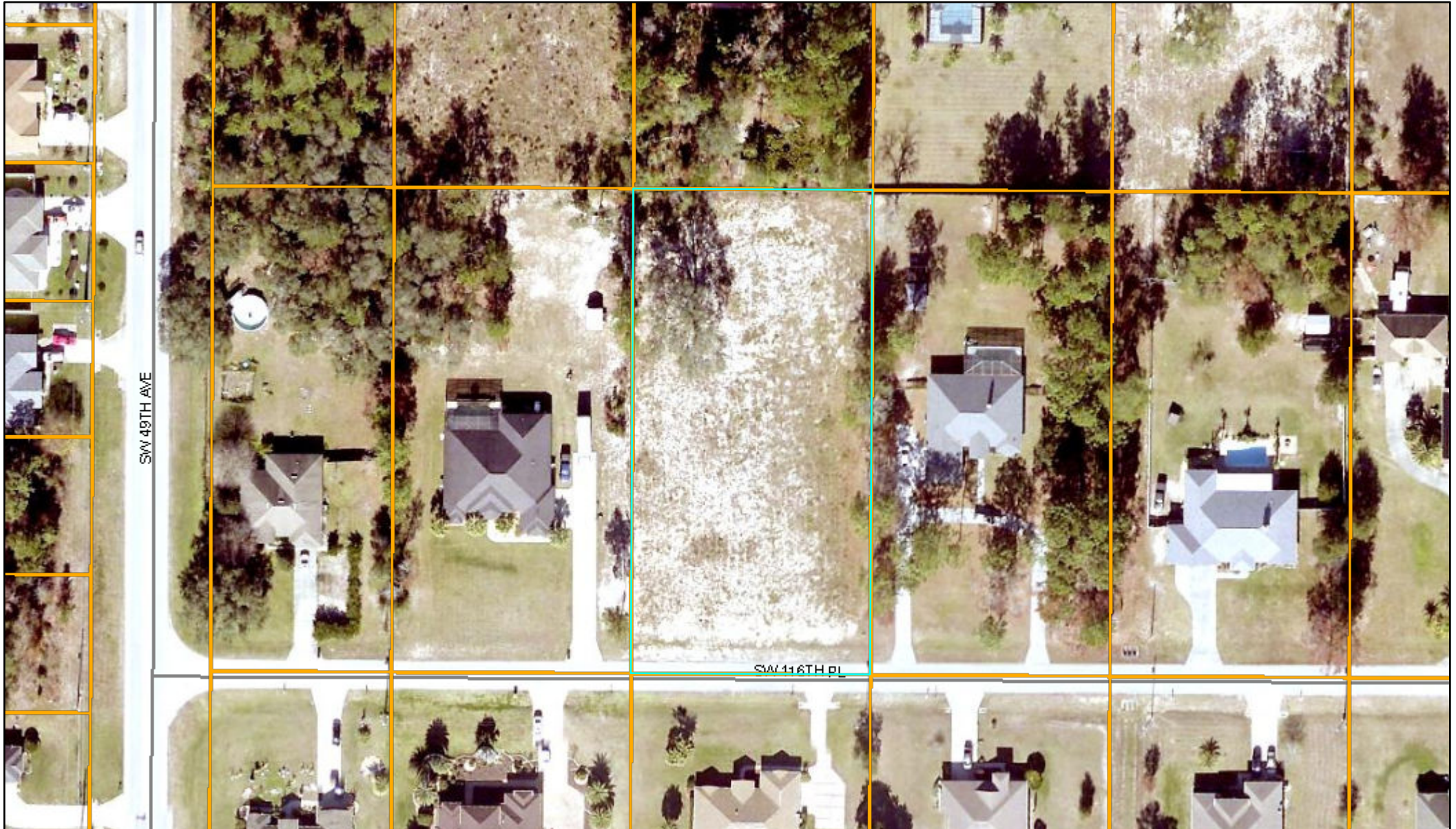
SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Waiver Request Review v.1	07/27/2026	08/05/2026		Approved

SUBMITTAL DETAILS

OCE: Waiver Request Review v.1

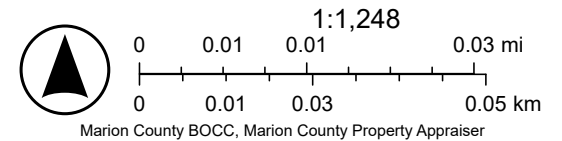
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Environmental Health (Plans) (Environmental Health)	Evan Searcy	08/05/2026	07/29/2026	Approved
<i>Comments</i>	Defer to Utilities for determination. If well is to be installed than a drilling permit will need to be applied for through the Department of Health in Marion County			
Fire Marshal (Plans) (Fire)	Jonathan Kenning	08/05/2026	07/27/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	08/05/2026	07/28/2026	Informational
<i>Comments</i>	Defer to Marion County Utilities for decision. The following information is provided for context: Future Land Use = Medium Residential Zoning Classification = Single Family Dwelling (R-1) Overlay Zone = Secondary Springs Protection Overlay Zone Within the Urban Growth Boundary			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	08/05/2026	07/27/2026	Not Required
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	08/05/2026	08/03/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)		08/05/2026	08/05/2026	Not Required
<i>Comments</i>	ROW is not a reviewer for this type of plan. - DR 8/5/26			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Jason Cambre	08/05/2026	07/28/2026	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	08/05/2026	08/04/2026	Not Required
OCE Traffic (Permits & Plans) (Office of the County Engineer)		08/05/2026	07/28/2026	Not Required
Utilities (OCE Plans) (Utilities)	Heather Proctor	08/05/2026	08/06/2026	Informational
<i>Comments</i>	DENY: The parcel is within the Marion County Utilities service area. The connection distance for a single-family residence is 400 feet (1 ERC). An existing public water main with available capacity is located approximately 360 feet from the proposed residence, placing the property within the required connection distance to public water. Pursuant to the Marion County Land Development Code, Section 6.14.2.B(1)(a): New development in the Urban or Rural Area shall connect to a centralized water system with available capacity if a water line is within a connection distance of 400 feet multiplied by the total number of Equivalent Residential Connections (ERCs). Based on the proposed development and the location of the existing public water main, the proposed single-family residence is required to connect to the Marion County Utilities public water system. Marion County Utilities does not support this waiver.			

ArcGIS Web Map



8/14/2026, 12:39:28 PM

- Marion County Aerial 2024
- Parcels
- Streets
- Red: Band_1
- Green: Band_2
- Blue: Band_3



PLOT PLAN SKETCH

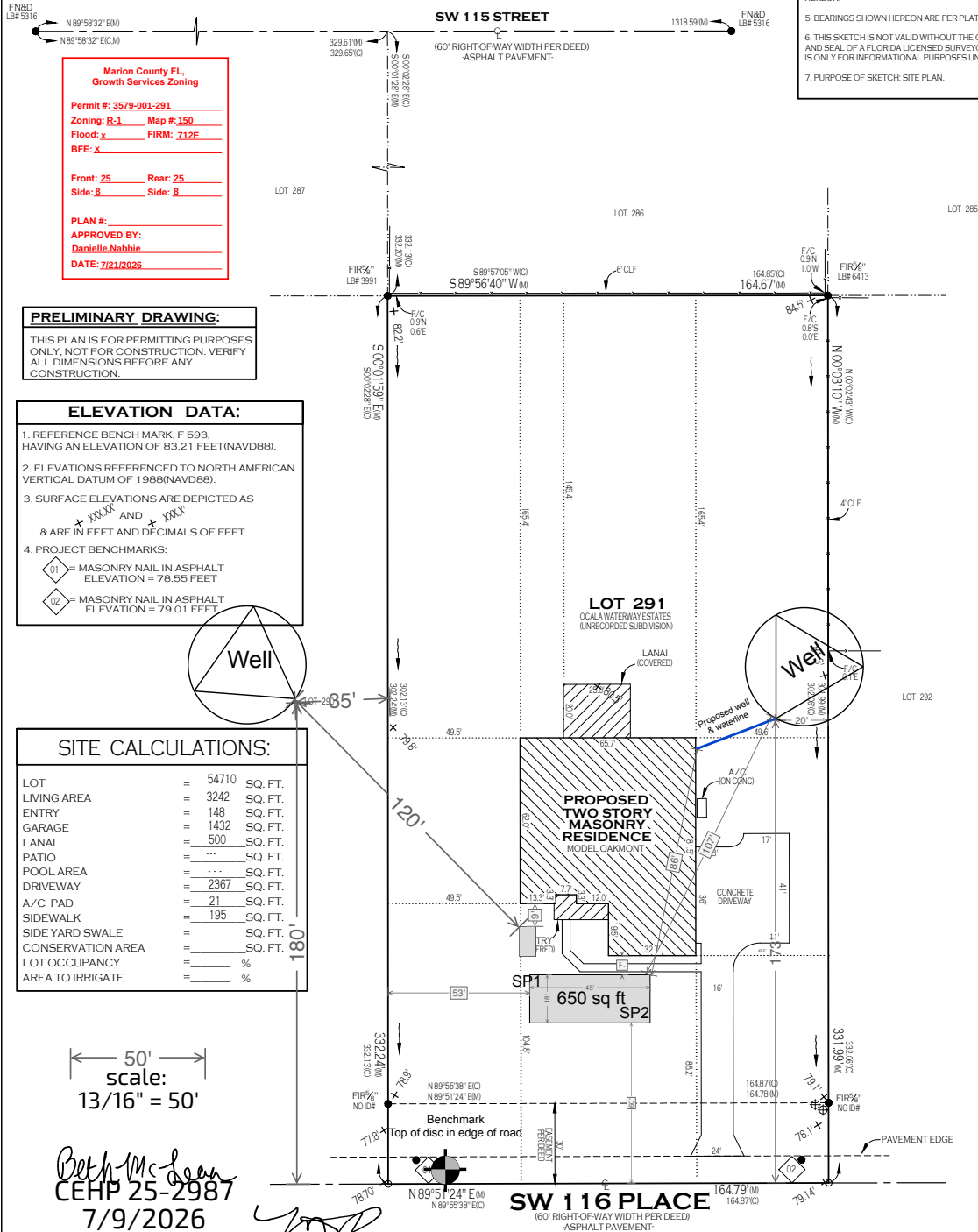
NOT A SURVEY

DESCRIPTION:

LOT 291,
OCALA WATERWAY ESTATES, AN UNRECORDED SUBDIVISION, FURTHER DESCRIBED AS:
THE WEST 1/30 OF THE EAST 15/16 OF THE SOUTH 1/2 OF THE NORTH 1/4 OF THE SOUTH 1/2 OF SECTION 34, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; SUBJECT TO A PERPETUAL EASEMENT TO THE PUBLIC INGRESS AND EGRESS AND PUBLIC UTILITIES, AND SURFACE DRAINAGE OVER THE NORTH 30 FEET.

SURVEYORS NOTES:

1. NO UNDERGROUND FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN HEREON.
2. THIS SKETCH WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. NO INSTRUMENTS OF RECORD REFLECTING OWNERSHIP, EASEMENTS OR RIGHTS OF WAY WERE FURNISHED TO THE UNDERSIGNED, UNLESS OTHERWISE SHOWN HEREON.
3. THIS SKETCH IS IN NO WAY A GUARANTEE OF OWNERSHIP OF THIS PROPERTY.
4. SEE LEGEND FOR SYMBOLS AND/OR ABBREVIATIONS USED HEREON.
5. BEARINGS SHOWN HEREON ARE PER PLAT.
6. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER AND IS ONLY FOR INFORMATIONAL PURPOSES UNLESS SO VALIDATED.
7. PURPOSE OF SKETCH: SITE PLAN.



APPARENT FLOOD HAZARD ZONE: "X" COMMUNITY PANEL No. 12083C0712E EFFECTIVE DATE: 04/19/2017

TLS SURVEYORS AND MAPPERS, INC

LB#8009
 PSM6929@GMAIL.COM
 13167 SPRING HILL DRIVE
 SPRING HILL, FL 34609 (352) 277-6550

BASIS OF BEARINGS:

DATE OF SURVEY:

DRAWN: ESS

CHECKED BY: ESS

SCALE: 1"=40'

FILE: WATERWAY SW 116

S.T.R:

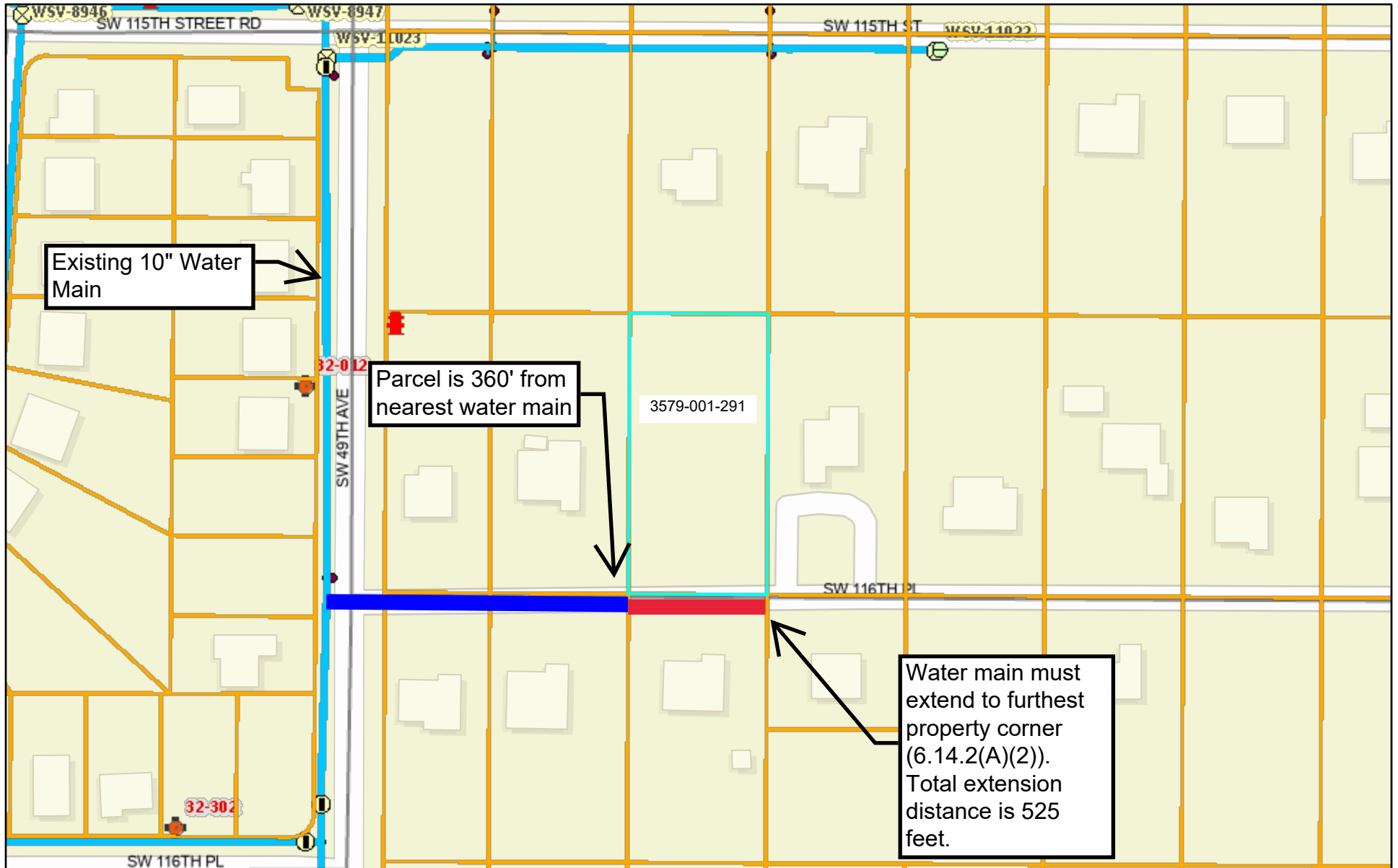
I HEREBY CERTIFY THAT THIS SKETCH HAS BEEN MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN COMPLIANCE WITH THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES.

ERIC S. SMITH DATE 06.30.26
 PSM No. 6929 LB#8009

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF THE SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

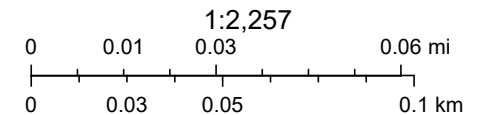
LEGEND: ⊕ = UTILITY PEDESTAL, ○ = DESCRIPTIVE POINT (NO CORNER FOUND OR SET), → = CURRENT DRAINAGE FLOW.
 (C) = CALCULATED DATA, (D) = DEED DATA, (M) = MEASURED DATA, (P) = PLAT DATA, CL = CENTERLINE, A/C = AIR CONDITIONER, CLF = CHIMNEY, CON = CONCRETE, COVD = COVERED, P/E = POOL EQUIPMENT, F/C = FENCE CORNER, "X" OF = FOUND CROSS SCRIBE, FIP = FOUND IRON PIPE, FIP IN ROD, FN&D = FOUND NAIL & DISK, LFE = LOWEST FLOOR ELEVATION, O.R. = OFFICIAL RECORD BOOK, P.B. = PLAT BOOK, PCP = PERMANENT CORNER POINT, PRM = PERMANENT REFERENCE MONUMENT, R/W = RIGHT OF WAY, SIR = SET 5/8" IRON ROD & CAP LB#8009, SN&D = SET NAIL & DISK, (BT) = BUILDING TIE, W/F = WOOD FENCE, D.U.E. = DRAINAGE/UTILITY EASEMENT, P. = POWERPOLE, V/F = VINYL FENCE, F/E = FENCE END, LB = LICENSED BUSINESS

ArcGIS Web Map



7/27/2026, 8:54:46 AM

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|---|--|--|--|
| <ul style="list-style-type: none"> Marion County MCFR Hydrants Hydrant Parcels Streets | <ul style="list-style-type: none"> Water Distribution Net Junctions Water Lateral Lines Water Mains Potable Water Potable Water 8+ Inches | <ul style="list-style-type: none"> Water System Valves Gate Other Water Fittings Water Control Valves | <ul style="list-style-type: none"> Water Hydrants |
|---|--|--|--|



Marion County BOCC, Marion County Board of County Commissioners, Marion County

ArcGIS Web AppBuilder

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri | FDOT | FGDL Download - Source: FDEP | Marion County Utilities Department, Marion County, Florida | Marion County | OCE |

