

May 15, 2023

**SUBJECT: DRC INFORMATIONAL LETTER**

PROJECT NAME: FLORIDA GENERAL TRADING

PROJECT NUMBER: 2022030049

APPLICATION: MAJOR SITE PLAN #29548

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

2 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.27 - Show location of outside storage areas

STATUS OF REVIEW: INFO

REMARKS: Will there be outside storage?

3 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: remove note on C008 stating there are no existing trees on site

4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.2.D - Fire Department Connections

STATUS OF REVIEW: INFO

REMARKS: Will need to further discuss the location of the dry hydrant connection to allow for east access to the connection

5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity

STATUS OF REVIEW: INFO

REMARKS: defer to MCFR

6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: INFO

REMARKS: 4/19/23 - add waivers if requested in the future

7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.5 - Driveway access

STATUS OF REVIEW: INFO

REMARKS: 3/16/23 - Please coordinate with FDOT for the driveway permit.

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NOI prior to construction.

10 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the Permit prior to construction.

11 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity  
STATUS OF REVIEW: NO  
REMARKS: Please update name spelling to match SunBiz. Please also list the name of the company.

12 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc  
STATUS OF REVIEW: NO  
REMARKS: 1) Please provide a pre-basin and post-basin map. 2) Please provide Tc calculations.

13 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations  
STATUS OF REVIEW: NO  
REMARKS: 1) Per the NRCS Soil Survey, this site lies fully within HSG D. Post condition CN for pervious areas should reflect this. 2) Percent areas appear to be off. Please revise runoff calculations and re-run model.

14 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters  
STATUS OF REVIEW: NO  
REMARKS: 1) Please add dimensions or coordinates to DRA. 2) Please show maintenance berm in cross-section.

15 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria  
STATUS OF REVIEW: NO  
REMARKS: Please show maintenance berm in drainage plan with a minimum width of 5' stabilized at 6% grade max around the entire perimeter of the stormwater facility.

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria  
STATUS OF REVIEW: NO  
REMARKS: A full review of the drainage report will be conducted once runoff calculations are revised.

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis  
STATUS OF REVIEW: NO  
REMARKS: Please see comment under Stormwater Quantity Criteria.

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.C - Discharge Conditions  
STATUS OF REVIEW: NO  
REMARKS: Please see comment under Stormwater Quantity Criteria.

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(6) - Freeboard  
STATUS OF REVIEW: NO  
REMARKS: Please see comment under Stormwater Quantity Criteria.

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.D - Recovery Analysis  
STATUS OF REVIEW: NO  
REMARKS: Please see comment under Stormwater Quantity Criteria.

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.6.C - Best Management Practices  
STATUS OF REVIEW: NO  
REMARKS: 1) Will this warehouse site allow for any paint/body shops, service/repair operations, or automotive fleet operations? 2) Please provide note on SWPPP plan stating "a minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility".

22 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria  
STATUS OF REVIEW: NO  
REMARKS: Please see comment under Stormwater Quantity Criteria.

23 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis  
STATUS OF REVIEW: NO  
REMARKS: Please see comment under Stormwater Quantity Criteria.

24 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(5) - Existing/Proposed Stormwater Structures  
STATUS OF REVIEW: NO  
REMARKS: Please provide FDOT index reference for all structures, or provide a detail.

25 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(6) - Existing/Proposed Stormwater Pipes  
STATUS OF REVIEW: NO  
REMARKS: 1) The use of RCP shall conform to FDOT Standard Specifications. Other pipe material may be allowed if on the FDOT Qualified Products List (QPL), and with the approval of the County Engineer. Please show that the proposed PVC for Pipe 4 is on the FDOT QPL.

26 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(7) - Existing/Proposed Stormwater Swales  
STATUS OF REVIEW: NO  
REMARKS: 1) Please provide berm elevations in plan as stated in cross-section. 2) Flow arrow near cross-section A-A (top right) appears to be in the wrong direction.

27 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(11)(a) - Construction Entrance  
STATUS OF REVIEW: NO  
REMARKS: Please label location of construction entrance on SWPPP plan.

28 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(11)(b) - Erosion Control  
STATUS OF REVIEW: NO  
REMARKS: Please update line style of silt fence so limits can be determined.

29 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas

STATUS OF REVIEW: NO

REMARKS: Please provide a S&S karst analysis of the site and surrounding area within 200' of the site boundaries. (The geotechnical report did not have a karst analysis within it.)

30 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS:

31 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.4.B - Cross access

STATUS OF REVIEW: NO

REMARKS: 3/16/23 - A 24' paved cross access easement is required parallel to US 301.

32 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 3/16/23 - Sidewalk is required along US 301. Staff supports the payment of a fee in-lieu sidewalk construction. If approved by the DRC, the fee comes out to \$3,750.00 and must be paid prior to final plan approval.

33 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC

STATUS OF REVIEW: NO

REMARKS: 4/19/23 - fee due with resubmittal

34 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions

STATUS OF REVIEW: NO

REMARKS: 4/19/23 - title block must contain all information on all pages

35 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.

STATUS OF REVIEW: NO

REMARKS: 4/19/23-certification must be verbatim to LDC 2.12.4.F(1)

36 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township

STATUS OF REVIEW: NO

REMARKS: 4/19/23 - Location map must show more of the vicinity

37 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities

STATUS OF REVIEW: NO

REMARKS: as of 5/15/23 review date, payment not posted or received by MCU or OCE/DR. Remains rejected.

\$130 - minimum review fee for plan set review.

38 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: NO

REMARKS: Sheet C005 still has an incorrect north arrow. The North Arrow furthest west is still pointing west.

39 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

STATUS OF REVIEW: NO

REMARKS: 1. Provide Qty, Species, spacing, sizes of plant material, preferably in a table or schedule 2. Provide plant installation details. 3. Provide native status in plant schedule

40 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1. Label all buffers 2. Shrubs as shown on plan do not meet 50% buffer planting requirement 3. Buffers to be continuous, not broken as shown. 4. Buffer on Hwy 301 to be a Type C. Existing Palms will be considered based on condition. Power lines are on opposite side of road, show shade trees, shrubs and groundcovers as required. 5. Provide buffer calculations showing compliance with requirements 6. Waiver required to use existing trees and understory as buffers, staff supports

41 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.11 - Landscape installation

STATUS OF REVIEW: NO

REMARKS: Tree planting detail is missing

42 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)

STATUS OF REVIEW: NO

REMARKS: Hand watering until establishment is not advised, it may take 2 - 3 years to establish certain tree species. Applicant would need to understand that all plant material that dies will need to be replaced. Recommend irrigation system.

43 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements

STATUS OF REVIEW: NO

REMARKS: Unable to locate reference to outdoor lighting on sheet C001, please clarify



## Marion County Board of County Commissioners

### Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

AR 29548

### DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 5-11-23 Parcel Number(s): 03316-045-00 Permit Number: 2022030049  
mm/dd/yyyy

#### A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Florida General Trading Commercial  or Residential   
Subdivision Name (if applicable): Citra Commerce Center  
Unit        Block        Lot 45

#### B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): Florida General Traing Inc.  
Property Owner's Signature: \_\_\_\_\_  
Property Owner's Mailing Address: P.O. Box 89189  
City: Tampa State: FL Zip Code: 33689 Phone #: 352-631-1192

#### C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.

Firm Name (if applicable): MCA Consulting Engineer, Inc Contact Name: Miles Anderson  
Mailing Address: 2300 SE 17th St, Ste 200 City: Ocala State: FL Zip Code: 34471  
Phone #: 352-629-5591 Alternate Phone #: \_\_\_\_\_  
Email address: miles.anderson@mca-engineers.com

#### D. WAIVER INFORMATION:

Section & Title of Code: 6.8.6 Buffers Type C  
Reason/Justification for Waiver Request: A Type C buffer along US 301 is requesting use of existing Palm trees in place of Shade tree. Required Trees are 4 shade & 4 ornamental trees, - provided are 2 Oaks (1 being 40" DBH) and 1 cluster of ornamental, with 6 existing Palm trees.  
All of the trees are viable.

#### DEVELOPMENT REVIEW USE:

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project #: \_\_\_\_\_ AR #: \_\_\_\_\_

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Must Vacate Plat: Yes  No   
Land Use: \_\_\_\_\_ Date: \_\_\_\_\_ Verified by: \_\_\_\_\_

Revised 7/2017



## Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

### DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code: 6.8.6 Buffers Type B

Reason/Justification for Waiver Request: A modification of Buffer Type B on the north and south boundaries. The east half of the site shall retain a tree count that exceeds the required number of Trees. This waiver is requested to use the existing trees and understory as the buffer with shrubs spaced between the trees lined along the boundaries.

Section & Title of Code: 6.12.12 Sidewalks

Reason/Justification for Waiver Request: There are no sidewalks in the developed adjacent lots nor in this area. Sidewalks shall have minimal service to the neighborhood. Client will pay fee-in-lieu of construction at final inspection to C.O.

Section & Title of Code: \_\_\_\_\_

Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_

Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_

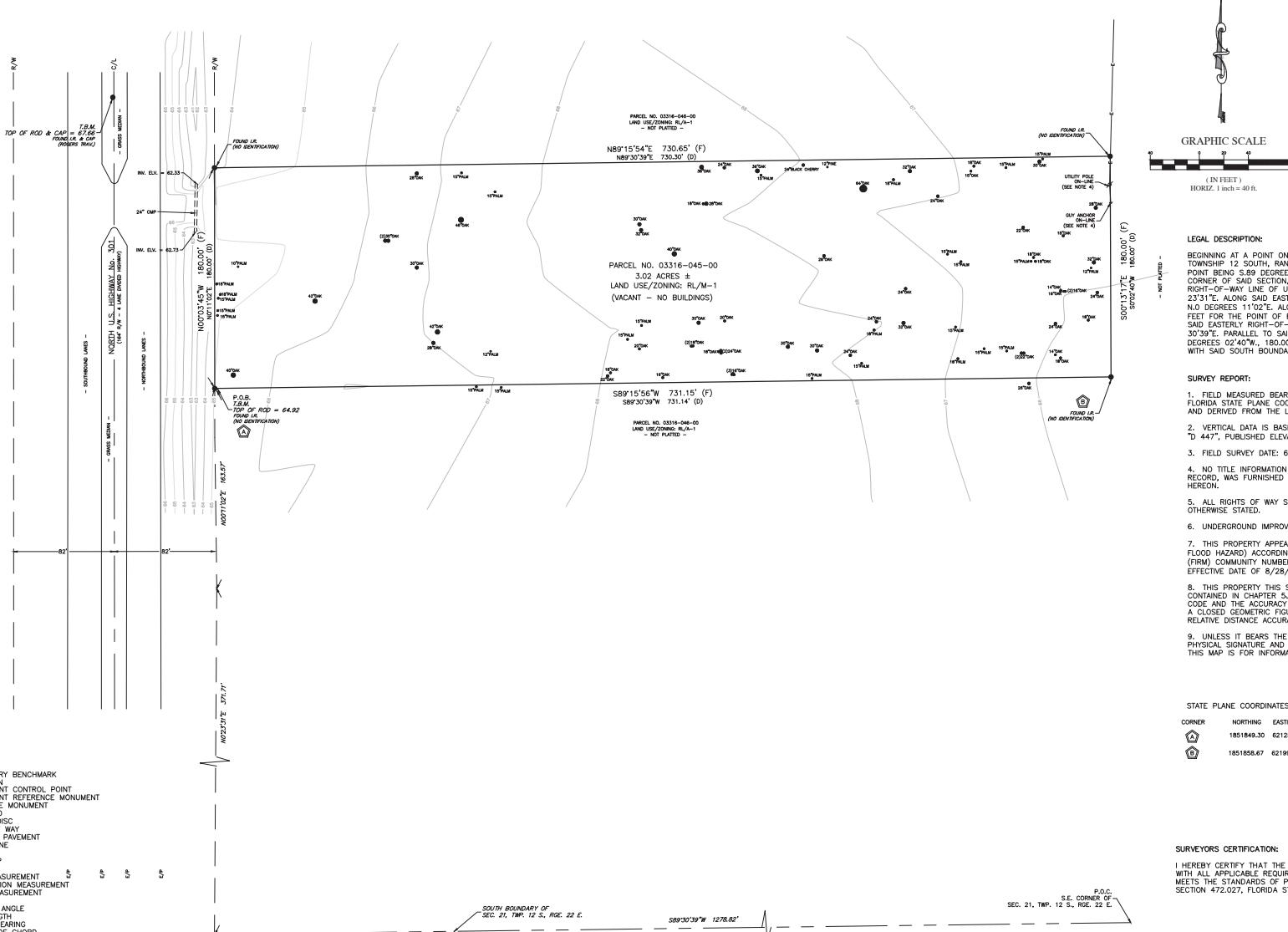
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_

Reason/Justification for Waiver Request: \_\_\_\_\_

Revised 7/2017





STATE PLANE COORDINATES:

CORNER	NORTHING	EASTING	DESCRIPTION
	1851849.30	621258.87	FOUND I.R. (NO IDENTIFICATION)
	1851856.67	621990.02	FOUND I.R. (NO IDENTIFICATION)

**SURVEYORS CERTIFICATION:**  
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE  
WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND  
MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1.  
SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

UNDARY & TOPOGRAPHIC SURVEY  
FOR  
FLORIDA GENERAL TRADING, INC.

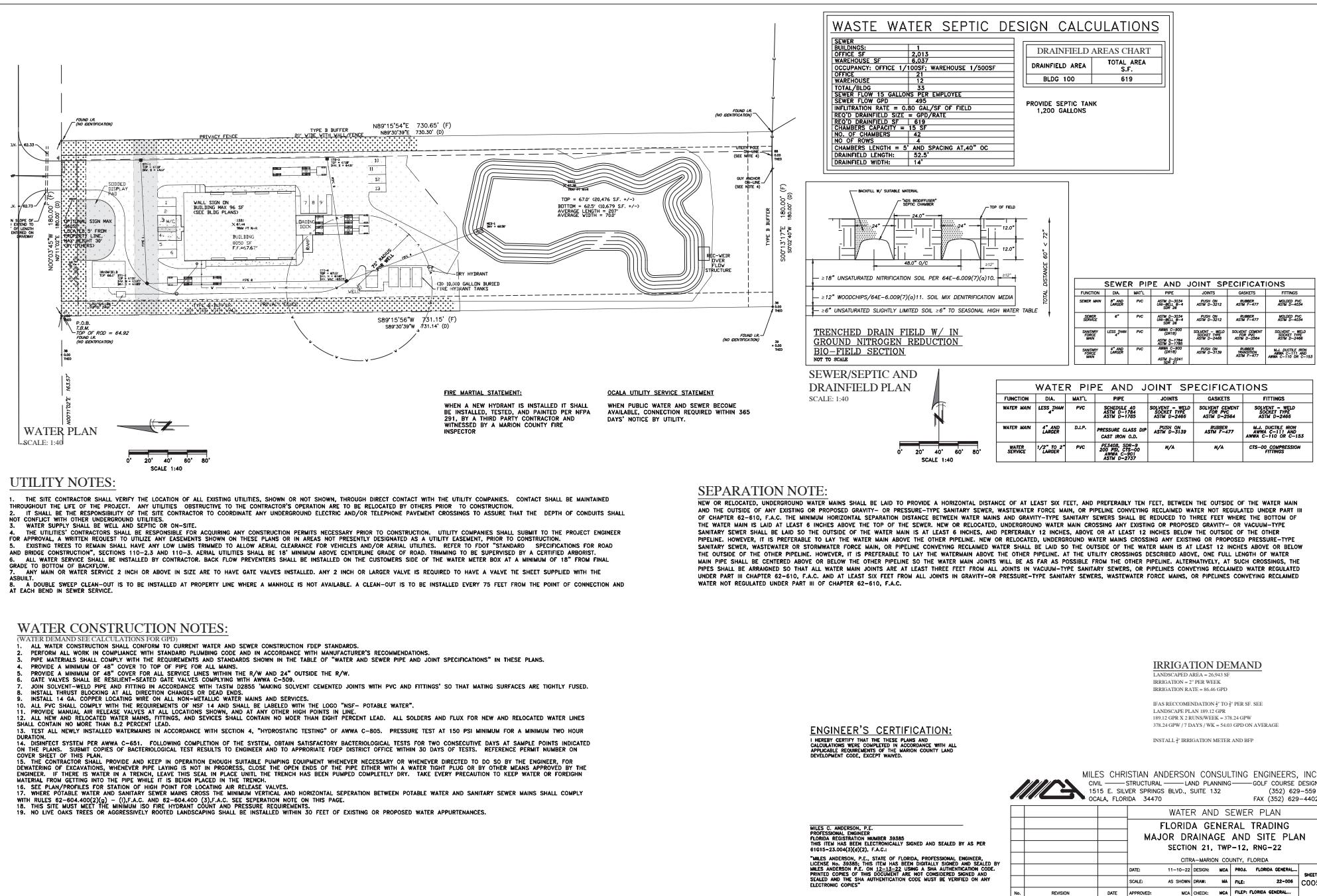
# ROGERS ENGINEERING, LLC

11105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 623-9214 • Lic. No. #4074

REVISION









Tree Type DBH To be removed

Palm	10	No
Palm	18	No
Palm	18	No
Palm	15	No
Palm	15	No
Oak	40	No
Oak	42	Yes
Oak	30-30	Yes
Oak	28	No
Oak	30	Yes
Oak	42	Yes
Oak	28	Yes
Palm	15	Yes
Oak	46	Yes
Palm	12	Yes
Palm	15	No
Palm	15	No
Palm	15	Yes
Oak	18	No
Oak	22	No
Oak	30	Yes
Oak	32	No
Palm	15	Yes
Oak	20	No
Oak	40	No
Oak	16	No
Oak	36	No
Oak	18	No
Oak	28	No
Oak	30	Yes
Oak	18-18	Yes
Oak	20	Yes
Oak	18	No
Oak	24-24	No
Oak	16+16+16	No
Oak	24	No
Oak	36	No
Palm	15	No
Black Cherry	24	No
Oak	30	No
Pine	12	No
Oak	26	Yes
Oak	30	No
Palm	15	No
Oak	64	No
Oak	24	No
Palm	15	No
Palm	18	No
Oak	24	No
Palm	18	No
Oak	32	No
Oak	24	Yes
Oak	24	Yes
Palm	15	Yes
Oak	24	Yes
Palm	15	Yes
Palm	15	Yes
Oak	18	No
Oak	18	No
Oak	18	No
Oak	22-22	Yes
Oak	26	No
Oak	18	No
Oak	14	No
Oak	16	No
Oak	16+16	No
Oak	24	No
Oak	14	No
Oak	18	No
Oak	28	No
Oak	32	No
Palm	12	No
Oak	24	No
Oak	18	No
Oak	22-22	Yes

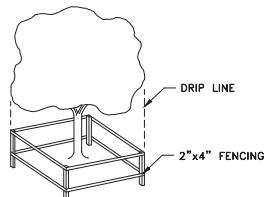
TREE REMOVAL CHART		
TREES	TOTAL DBH	DBH TO BE REMOVED
TOTAL OAK DBH	1,542"	524"
TOTAL PALM DBH	424"	185"
TOTAL CHERRY DBH	24"	0"
TOTAL PINE DBH	12"	0"
ALL TREES	2,002"	647"
TOTAL KEPT	1,383"	

#### TYPICAL TREE PROTECTION AT TIME OF CONSTRUCTION

APPROPRIATE PROTECTIVE MEASURES SHALL BE TAKEN TO PREVENT THE DESTRUCTION OR DAMAGE OF LIVING TREES. BE RETAINED ON SITE. NO PLACEMENT OF MATERIAL OR MACHINERY OR IMPROVED SOIL EROSION, OR ADDITIONAL FILL, AS A PERMAMENT FOR VEHICLE CIRCULATION SHALL BE PLACED ANY CLOSER TO ANY TREE THAN THE DRIP LINE. NO ATTACHMENTS OF WIRES, EXCEPTING PROTECTIVE GUIDE WIRES, SHALL BE ATTACHED TO ANY TREE. NO CHANGE OF GRADE MORE OR LESS THAN 6 INCHES MAY BE MADE WITHIN THE DRIP LINE OF A TREE UNLESS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN.

\*\*\*\* PLEASE USE EXTREME CARE & CAUTION WHEN WORKING IN THE AREAS SURROUNDING THE TREES TO BE SAVED. DO NOT ROOT RAKE. IF ROOT CUTTING IS NECESSARY, PLEASE CUT ROOTS SHARPLY AND COVER WITH 6 TO 12 INCHES TOPSOIL. NO WORK SHALL BE DONE WITHIN THE 2"x4" TREE PROTECTION FENCE LINE.

#### TREE PROTECTION DETAIL



#### BOUNDARY OF PRESERVED TREE PROTECTION AREA

49,183 S.F.

#### BOUNDARY OF PRESERVED TREE PROTECTION AREA

49,183 S.F.

PARCEL NO. 03316-046-00  
LAND USE/ZONING: RL-A-1  
- NOT PLANTED -

N89°15'54"E 730.65'(F)  
N89°30'39"E 730.30'(D)

PARCEL NO. 03316-046-00  
3.01 ACRES /  
LAND USE/ZONING: RL-A-1  
(VACANT - NO BUILDINGS)

S89°15'56"W 731.15'(F)  
S89°30'39"W 731.14'(D)

TOP = 67.0' (20,476 S.F. +/-)  
BOTTOM = 65.5' (19,679 S.F. +/-)  
AVERAGE LENGTH = 207'  
AVERAGE WIDTH = 70.0'

TREE COVERAGE & REMOVAL PLAN  
SCALE: 1:30

S001317"E 180.00'(F)  
S002407"E 180.00'(D)

30  
4.00  
THEO

36  
4.00  
THEO

38  
4.00  
THEO

39  
4.00  
THEO

#### ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THE PLANS AND CALCULATIONS WHICH COME IN CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT WAIVED.

61618-23-004(3)(c)(2), F.A.C.

MILES C. ANDERSON, P.E.  
PROFESSIONAL ENGINEER  
TOWNE & ANDERSON, INC. 38325  
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY AS PER  
61618-23-004(3)(c)(2), F.A.C.  
"MILES C. ANDERSON, P.E. STATE OF FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 38325. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
MILES C. ANDERSON, P.E. ON 12-13-22 USING A SHA AUTHENTICATION CODE.  
PERIODICLY, THIS ITEM WILL BE CHECKED FOR CHANGES. IF CHANGES ARE MADE,  
SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES."

TREE REMOVAL PLAN					
FLORIDA GENERAL TRADING MAJOR DRAINAGE AND SITE PLAN SECTION 21, TWP-12, RNG-22					
CITRA-MARION COUNTY, FLORIDA					
DATE:	11-10-22	DESIGN:	MCA	PROJ.:	FLORIDA GENERAL
SCALE:	AS SHOWN	DRAW:	MA	FILE:	22-008
No.	REVISION	DATE	APPROVED:	MCA	FILED: FLORIDA GENERAL
C007					



#### SITE PROTECTION & GENERAL PLANTING REQUIREMENTS

**PROTECTION OF NATIVE PLANT COMMUNITIES OR EXISTING PLANTINGS**  
PROTECTIVE BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH AND CONSTRUCTED OF A HIGHLY VISIBLE DURABLE MATERIAL THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. HIGHLY DURABLE CONSTRUCTION SITE BARRIER FENCING IS AN EXAMPLE OF AN ACCEPTABLE BARRIER.

**SLOPE PLANTINGS**  
LANDSCAPING OF ALL CUTS AND FILLS OR TERRACES SHALL BE SUFFICIENT TO PREVENT EROSION, AND ALL ROADWAY SLOPES STEEPER THAN ONE FOOT VERTICALLY TO THREE FEET HORIZONTALLY SHALL BE PLANTED WITH GROUND COVER APPROPRIATE FOR THE PURPOSE AND FOR SOIL CONDITIONS, WATER CONSERVATION, AND ENVIRONMENTAL CONSIDERATIONS.

**PLANTING SPECIFICATIONS**  
DEAD AND DYING PLANTS SHOULD BE REPLACED BY THE DEVELOPER DURING THE FLOWLONG PLANTING PERIOD. ALL SHRUBS, GROUND COVERS, TREES, AND FLOWERS, FLOW NUMBER 1 QUALITY OR BETTER AS SHOWN IN GRADING GUIDE FOR NURSERY PLANTS, PARTS I AND II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED). PLANTING SPECIFICATION ARE LISTED AS FOLLOWS: PLANTING SPECIFICATIONS TABLE BELOW.

Planting Specifications Table		
	Height at time of Planting or Container Size	Spacing & other Requirements
Ground Covers, Vines	Min. 3 runners or 24" max height	Up to 2' O.C.
Shrubs	Min. 24" or 3 gallon; must attain 36" w/in 1 year	Up to 3' O.C.; 2" min. mulch required
Trees	Min. 6' or 2.5" caliper, DBH	See 10.k.(3)(a) below

**PLANT SPECIES**  
THE PLANT SPECIES SELECTED SHOULD BE HARDY FOR THE PARTICULAR MICROCLIMATE IN WHICH THE DEVELOPMENT IS LOCATED, AND APPROPRIATE IN TERMS OF FUNCTION AND SIZE. WATER CONSERVING PLANTS AND FLORIDA FRIENDLY LANDSCAPE PRINCIPLES ARE TO BE USED WHERE APPROPRIATE TO TYPE AND SCALE OF DEVELOPMENT.

#### LANDSCAPE PLAN

**GENERAL REQUIREMENTS**  
THE LANDSCAPE PLAN STANDARDS SECTION (SECTION 6.8) OF COUNTY LAND DEVELOPMENT CODE SHALL APPLY TO ALL DEVELOPMENTS INCLUDING PLANNED UNIT DEVELOPMENTS. EXISTING SINGLE FAMILY HOMES AND DUPLEXES ARE EXEMPT.

**PRESERVATION AND USE OF NATIVE OR APPROVED NON-INVASIVE VEGETATION AND DROUGHT TOLERANT LANDSCAPES**

ALL NEW AND EXPANDED DEVELOPMENT SHALL, TO THE GREATEST EXTENT PRACTICAL, PRESERVE AND MAINTAIN EXISTING NATIVE OR APPROVED NON-INVASIVE VEGETATION TO MEET LANDSCAPING REQUIREMENTS ON THE SITE. ALL LANDSCAPE PLANS, CONSTRUCTION AND MAINTENANCE SHALL AT A MINIMUM MEET THE REQUIREMENTS OF THIS SECTION, CONSISTENT WITH THE FOLLOWING:

(1)(a) PLANT PALETTES USED SHALL BE SUITED TO A SITE'S SPECIFIC GROWING CONDITIONS;  
(1)(a) IRRIGATED LANDSCAPES SHALL BE DESIGNED TO USE WATER IN THE MOST EFFECTIVE MANNER PRACTICAL, AND HYDROZONING.

**MINIMUM LANDSCAPE AREA FOR NON-RESIDENTIAL DEVELOPMENT**  
THE AMOUNT OF LANDSCAPING FOR NON-RESIDENTIAL DEVELOPMENT SHALL COMPLY WITH THE FOLLOWING:  
<12,500 SF = 12%  
>12,500 SF AND < 1 ACRE = 15%  
> ONE ACRE = 20%

**USE OF APPROVED NATIVE OR DROUGHT TOLERANT PLANTS**  
AT LEAST 40% OF THE REQUIRED LANDSCAPE AREA SHALL BE LANDSCAPED USING FLORIDA FRIENDLY LANDSCAPING PRINCIPLES. WHEN THE LANDSCAPING REQUIREMENTS ARE MET BY A SPECIFIC DEVELOPMENT THROUGH THE USE OF ONLY NATIVE TREES AND PLANT MATERIAL (EXCLUDING GRASS) AND/OR WATER CONSERVING PLANTS AND FLORIDA-FRIENDLY LANDSCAPING PRINCIPLES...THE MINIMUM LANDSCAPE AREA MAY BE REDUCED BY 5%.

**SHADE TREES**  
MINIMUM SIZES (3" CAL.): FL #1; WATER UNTIL ESTABLISHED; 1:3,000SF OF SITE; NOT LOCATED TO CREATE CONFLICTS.

**PARKING LOT LANDSCAPING**  
200SF EVERY 10 SPACES; PARKING LOT SCREENING (MIN. 5' WIDE); LOCATED IN PROTECTED AREAS (OFFSETS); APPROPRIATE PLANT TYPES

#### BUFFERING

**FUNCTION AND MATERIALS**  
BUFFERS SHALL PROVIDE A YEAR-ROUND VISUAL TABLE SCREEN IN ORDER TO MINIMIZE ADVERSE IMPACTS. IT MAY CONSIST OF FENCING, EVERGREENS, BERMS, ROCKS, BOULDERS, MOUNDS, WALLS, OR COMBINATIONS THEREOF TO ACHIEVE THE SAME OBJECTIVES.

**GARAGE COLLECTION AND UTILITY AREAS**  
LOADING AND UNLOADING AREAS SHALL BE SCREENED BY A PLANTING AREA A MINIMUM OF THREE FEET WIDE.

**DESIGN**  
ARRANGEMENT OF PLANTINGS IN BUFFERS SHALL PROVIDE MAXIMUM PROTECTION TO ADJACENT PROPERTIES AND AVOID DAMAGE TO EXISTING PLANT MATERIAL. POSSIBLE ARRANGEMENTS INCLUDE PLANTING IN PARALLEL, SERPENTINE, OR BROKEN ROWS. IF PLANTED BERM ARE USED, THE MINIMUM ROW WIDTH SHALL BE FOUR FEET, AND THE MAXIMUM SIDE SLOPE SHALL BE 3:1. BUFFER AREAS MAY NOT BE LOCATED ON ANY PORTION OF AN EXISTING OR DEDICATED RIGHT-OF-WAY OR EASEMENT.

**PLANTING SPECIFICATIONS**  
PLANT MATERIALS USED AS BUFFER SCREENS SHALL BE SUFFICIENTLY LARGE AND PLANTED IN SUCH A FASHION THAT A YEAR-ROUND SCREEN AT LEAST SIX FEET (ABOVE GROUND LEVEL) IN HEIGHT SHALL BE PRODUCED WITHIN THREE GROWING SEASONS. HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND BE MAINTAINED SO AS TO FORM A 60-INCH HIGH CONTINUOUS VINE. OVER THE FIRST TWO YEARS OF GROWTH, ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO CURRENT BEST MANAGEMENT PRACTICES.

**WALLS AND FENCES**  
SCREENING OF TRASH CONTAINERS WITH OPAQUE MATERIALS IS INCLUDED HEREIN.

**MAINTENANCE**  
PLANTINGS WATERED REGULARLY AND IN A MANNER APPROPRIATE FOR THE SPECIFIC PLANT SPECIES THROUGH THE FIRST GROWING SEASON. PLANTING MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE, AND DEAD AND DYING PLANTS SHOULD BE REPLACED BY THE APPLICANT DURING THE NEXT PLANTING SEASON.

#### RESIDENTIAL DEVELOPMENT (NOT APPLICABLE TO THIS SITE)

LANDSCAPE PLAN REQUIREMENTS FOR NEW RESIDENTIAL OR MIXED USE DEVELOPMENT LANDSCAPE PLANS SHALL BE REQUIRED FOR ALL COMMON AREAS, INCLUDING BOULEVARDS, RECREATION AREAS, BUFFER AREAS, AND OTHER OPEN SPACE. IN ADDITION, THE DEVELOPER SHALL:

- I AGREEMENTS/ARTICLES INFORMING FUTURE OWNERS OF LS REQUIREMENTS;
- II 20+ UNITS= SAMPLE LANDSCAPE PLANS, CCRS, FFL EDUCATION

#### NATURAL GROUNDWATER RECHARGE

NEW RESIDENTIAL AND MIXED USE SUBDIVISIONS SHALL IMPLEMENT MARION-FRIENDLY LANDSCAPING, AS APPLICABLE.

#### GROUNDWATER IMPACT AREA:

A. 60% MAX. OF DEVELOPABLE AREA IN PRIMARY SPZ.  
B. 10% MAX. OF DEVELOPABLE AREA IN SECONDARY SPZ.  
C. AREA NEEDED TO DISPERSE DEVELOPMENT REUSE MAY INCREASE GIA.

GIA MAY BE EXCEEDED IF GRPA (BELOW) IS IMPLEMENTED.

LANDSCAPABLE AREA OUTSIDE OF GIA = MFLA.

#### GROUNDWATER RECHARGE PRESERVATION AREA

#### IRRIGATION PLAN REQUIRED (SHALL BE PROVIDED UNDER SEPARATE COVER BY OTHERS)

IRRIGATION PLAN REQUIRED  
THE PLAN MUST BE PREPARED BY A PROFESSIONAL THAT MEETS WATER SOURCE CONNECTIONS, THE LICENSING AND CERTIFICATION REQUIREMENTS UNDER SUBSECTION N., BELOW, AND SHALL BE CLEARLY READABLE, TO REASONABLE SCALE, SHOW THE ENTIRE SITE TO BE IRRIGATED, AND INCLUDE ALL IMPROVEMENTS AND EQUIPMENT SPECIFIED IN THE PLANS. THE PLAN SHALL BE APPROVED BY THE DEVELOPER. NOTES OR DRAWINGS ON THE LANDSCAPE PLAN SHEET, MINIMUM PLAN REQUIREMENTS ARE LISTED BELOW IN THE IRRIGATION PLAN REQUIREMENTS TABLE.

#### Irrigation Plan Requirements Table

Preparer's name, address & telephone: North arrow; Scale	Type of irrigation components and their precipitation rates
Location of all proposed improvements on parcel	Controller
Place of any required or installed soil moisture or rai sensors	Water requirements per zone in gallons per minute(GPM)
Operating pressure of water supply system	Construction details
Design operating pressure of irrigation system	Outline specifications covering installation and materials

#### IRRIGATION SYSTEMS

**IRRIGATION DESIGN STANDARDS**  
EXCEPT BONA FIDE AGRICULTURAL OPERATIONS; INTENSIVE RECREATIONAL USES; AND GOLF COURSE PLANT AREAS.

HIGH VOLUME IRRIGATION (+0.5 GPM) ONLY FOR TURF GRASS AND OTHER GROUND COVERS THAT NORMALLY HAVE A MATURE OR MAINTAINED HEIGHT NO GREATER THAN 1'.

LOW VOLUME IRRIGATION (=0.5 GPM) MAY BE USED IN ANY NON-TURF LANDSCAPE AREAS. DESIGNED TO LIMIT, TO THE GREATEST EXTENT PRACTICABLE, THE APPLICATION OF WATER TO IMPERVIOUS AREAS...

DESIGNED TO AVOID IMPACTS ON EXISTING NATIVE OR APPROVED NON-INVASIVE VEGETATION AND DROUGHT TOLERANT LANDSCAPE THAT WILL BE ON THE DEVELOPMENT SITE.

DESIGNED IN ACCORDANCE WITH FLORIDA-FRIENDLY DESIGN STANDARDS; FS 373.22B; AND CONSTRUCTED IN ACCORDANCE WITH ITS STANDARDS AND SPECIFICATIONS FOR LANDSCAPE IRRIGATION SYSTEMS.

HIGH VOLUME SYSTEMS SPRAY HEADS AND ROTORS SHALL NOT BE COMBINED ON THE SAME CONTROL VALVE ZONE.

HIGH VOLUME SYSTEMS IRRIGATION HEAD SPACING SHALL NOT EXCEED 55% OF THE INDIVIDUAL HEAD'S DIAMETERS OF COVERAGE WHERE SQUARE SPACING IS USED, OR 60% WHERE TRIANGULAR SPACING IS USED.

#### TURF/SHRUB SEPARATION/HYDROZONING

MATCHED PRECIPITATION RATE WITHIN EACH ZONE

PRESSURE REGULATING CONTROL VALVES AND/OR IRRIGATION HEADS USED.

CHECK VALVES TO PREVENT WATER LOSS DUE TO DRAINAGE; TOPOGRAPHY

UNLESS MANUALLY CONTROLLED, CONTROLLERS SHALL HAVE PROGRAM FLEXIBILITY.

RAIN SENSORS OR MOISTURE SENSORS, WHICH AUTOMATICALLY VERTICALLY SCHEDULE IRRIGATION EVEN WHEN AQUATIC, BANBALI, OR MOISTURE CONTROLS ARE PRESENT, SHALL BE INSTALLED ON ALL NEW IRRIGATION SYSTEMS AND MAINTAINED IN WORKING ORDER.

ALL IRRIGATION SYSTEMS, REGARDLESS OF THEIR WATER SUPPLY SOURCE AND WHETHER SAID SOURCE IS METERED, SHALL INCLUDE A TOTALIZING VOLUME METER.

#### LANDSCAPE LIGHTING NOTE:

ALL EXTERIOR/OUTDOOR LIGHTING SHALL BE MOUNTED ON THE BUILDING. SEE ARCHITECTS PLAN UNDER SEPARATE COVER. UTILITY COMPANY SHALL PROVIDE OUTSIDE LIGHT ON EXISTING POWER POLE.

#### LANDSCAPE COMPLETION INSPECTION REQUIREMENTS NOTE:

UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BE THE DESIGN PROFESSIONAL, A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATION OF OCCUPANCY.

#### IRRIGATION COVERAGE LIMITS

IRRIGATION SYSTEM FOR WHICH A PERMIT IS REQUIRED UNDER SUBP. (2) ABOVE SHALL COMPLY WITH THE FOLLOWING:

A HIGH VOLUME IRRIGATION AREA SHALL NOT EXCEED 75% OF THE TOTAL LANDSCAPED AREA. UP TO 50% OF ANY TURFGRASS AREA MAY BE IRRIGATED WITH HIGH VOLUME IRRIGATION, UNLESS BAHIA GRASS IS THE EXCLUSIVE TURF GRASS USED IN WHICH CASE UP TO 75% PERCENT MAY BE IRRIGATED WITH HIGH VOLUME IRRIGATION.

A LOW VOLUME IRRIGATION AREA MAY BE UTILIZED FOR AN ENTIRE 68 LANDSCAPED AREA WITH THE EXCEPTION OF TURF GRASS AND PRESERVED AREAS.

IN THE ALTERNATIVE TO SUBPARAGRAPHS (A) AND (B), ABOVE, IF 25% OF THE SITE IS MAINTAINED IN PRE-EXISTING NATIVE OR APPROVED NON-INVASIVE, DROUGHT TOLERANT VEGETATION, THE REMAINING LANDSCAPED AREA MAY BE A HIGH VOLUME IRRIGATION AREA.

AS A BONUS TO ENCOURAGE REUSE, IRRIGATION SYSTEMS THAT USE RECLAIMED WATER EXCLUSIVELY MAY EXCEED THE LIMITATION UNDER SUBSECTION (A), ABOVE, BY UP TO 50%, BUT NOT TO EXCEED THE TOTAL ALLOWED LANDSCAPE AREA.

#### PLANS AND INSTALLATION

EXCEPT FOR PROPERTY OWNERS INSTALLING IRRIGATION SYSTEMS ON THEIR OWN SINGLE FAMILY RESIDENCE OR OWNER/OCCUPIED DUPLEX, ONLY IRRIGATION INSTALLATION PROFESSIONALS MEETING THE LICENSING REQUIREMENTS UNDER SUBSECTION N., BELOW, MAY INSTALL IRRIGATION SYSTEMS, SUCH AS IRRIGATION INSTALLATION PROFESSIONAL SHALL:

(A) ATTACH THIS DIAGRAM INSIDE EACH IRRIGATION VALVE SITE DIAGRAM;

(B) PROVIDE IRRIGATION SCHEDULING INFORMATION;

(C) ATTACH IRRIGATION VALVE SITE DIAGRAM INSIDE EACH IRRIGATION VALVE SITE;

(D) WITHIN 90 DAYS AFTER INSTALLATION, ADJUST THE IRRIGATION CONTROLLER IF THE SYSTEM IS 1) INSTALLED AS PART OF NEWLY ESTABLISHED LANDSCAPING AND OR 2) REQUIRES RESETTING TO OPERATE ACCORDING TO NORMAL, ESTABLISHED LANDSCAPE CONDITIONS.

#### MAINTENANCE AND OTHER ITEMS

#### LANDSCAPE MAINTENANCE

#### FERTILIZER USE

FERTILIZERS, IF USED, SHALL BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF CITY/COUNTY CODE APPLICABLE ORDINANCES.

LAND USE TABLE					
AG	AGRICULTURE, RURAL LANDS, NATURAL RESERVATION				
SFR	SINGLE FAMILY, DUPLEX RESIDENTIAL				
MF	MULTI-FAMILY RESIDENTIAL				
COM	COMMERCIAL, RV PARKS, COMMERCIAL RECREATION				
IND	INDUSTRIAL USES				
PUB	PUBLIC USE (INCLUDING GOVERNMENT, INSTITUTIONAL, AND RELATED PROFESSIONAL OFFICES)				
ROW	ARTERIAL OR COLLECTOR RIGHT-OF-WAY OR ROAD EASEMENT				

LAND USE TABLE					
PROPOSED USE	PERMITTED OR EXISTING USE				
AG	- - - - -	- - - - -	- - - - -	- - - - -	- - - - -
SFR	E - - C - A - B - C - C				
MF	E - A - - B - C - C				
COM	D - B - B - - B - C - C				
IND	B - B - B - B - - B - D				
PUB	E - B - C - C - C - C				

#### FLORIDA GENERAL TRADING BUFFER TABLE

#### BUFFER TYPE:

B- B-TYPE BUFFERS SHALL CONSIST OF A 20-FOOT WIDE LANDSCAPE STRIP WITH BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRIZE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR.

C- C-TYPE BUFFERS SHALL CONSIST OF A 15-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRIZE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR. C-TYPE MODIFIED BUFFERS SHALL CONSIST OF A 5-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST ONE SHADE TREE AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET, HOWEVER, SHALL NOT IMPED THE BILLBOARD VISIBILITY BOUNDARY, OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRIZE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR. C-TYPE MODIFIED BUFFER SHALL BE APPROVED BY WAIVER.

#### ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT WAIVED.

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LANDSCAPE DATA	
FLORIDA GENERAL TRADING	
MAJOR DRAINAGE AND SITE PLAN	
SECTION 21, TWP-12, RNG-22	
CITRA-MARION COUNTY, FLORIDA	
DATE: 11-10-22 DESIGN: MCA PROJ: FLORIDA GENERAL	
DATE:	DESIGN: MCA PROJ: FLORIDA GENERAL
SCALE:	AS SHOWN DRAW: MCA FILE: 22-006 CO009
No.	REVISION
	DATE APPROVED: MCA CHECK: MCA FILE: FLORIDA GENERAL