

May 15, 2023

SUBJECT: **DRC INFORMATIONAL LETTER**

PROJECT NAME: FLORIDA GENERAL TRADING

PROJECT NUMBER: 2022030049

APPLICATION: MAJOR SITE PLAN #29548

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: Will there be outside storage?
- 3 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: remove note on C008 stating there are no existing trees on site
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.2.D - Fire Department Connections
STATUS OF REVIEW: INFO
REMARKS: Will need to further discuss the location of the dry hydrant connection to allow for east access to the connection
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 4/19/23 - add waivers if requested in the future
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: INFO
REMARKS: 3/16/23 - Please coordinate with FDOT for the driveway permit.
- 9 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NOI prior to construction.

- 10 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the Permit prior to construction.
- 11 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity
STATUS OF REVIEW: NO
REMARKS: Please update name spelling to match SunBiz. Please also list the name of the company.
- 12 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc
STATUS OF REVIEW: NO
REMARKS: 1) Please provide a pre-basin and post-basin map. 2) Please provide Tc calculations.
- 13 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations
STATUS OF REVIEW: NO
REMARKS: 1) Per the NRCS Soil Survey, this site lies fully within HSG D. Post condition CN for pervious areas should reflect this. 2) Percent areas appear to be off. Please revise runoff calculations and re-run model.
- 14 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters
STATUS OF REVIEW: NO
REMARKS: 1) Please add dimensions or coordinates to DRA. 2) Please show maintenance berm in cross-section.
- 15 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria
STATUS OF REVIEW: NO
REMARKS: Please show maintenance berm in drainage plan with a minimum width of 5' stabilized at 6% grade max around the entire perimeter of the stormwater facility.
- 16 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria
STATUS OF REVIEW: NO
REMARKS: A full review of the drainage report will be conducted once runoff calculations are revised.
- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis
STATUS OF REVIEW: NO
REMARKS: Please see comment under Stormwater Quantity Criteria.
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4.C - Discharge Conditions
STATUS OF REVIEW: NO
REMARKS: Please see comment under Stormwater Quantity Criteria.
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(6) - Freeboard
STATUS OF REVIEW: NO
REMARKS: Please see comment under Stormwater Quantity Criteria.

- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4.D - Recovery Analysis
STATUS OF REVIEW: NO
REMARKS: Please see comment under Stormwater Quantity Criteria.
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.6.C - Best Management Practices
STATUS OF REVIEW: NO
REMARKS: 1) Will this warehouse site allow for any paint/body shops, service/repair operations, or automotive fleet operations? 2) Please provide note on SWPPP plan stating "a minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility".
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria
STATUS OF REVIEW: NO
REMARKS: Please see comment under Stormwater Quantity Criteria.
- 23 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis
STATUS OF REVIEW: NO
REMARKS: Please see comment under Stormwater Quantity Criteria.
- 24 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(5) - Existing/Proposed Stormwater Structures
STATUS OF REVIEW: NO
REMARKS: Please provide FDOT index reference for all structures, or provide a detail.
- 25 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(6) - Existing/Proposed Stormwater Pipes
STATUS OF REVIEW: NO
REMARKS: 1) The use of RCP shall conform to FDOT Standard Specifications. Other pipe material may be allowed if on the FDOT Qualified Products List (QPL), and with the approval of the County Engineer. Please show that the proposed PVC for Pipe 4 is on the FDOT QPL.
- 26 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(7) - Existing/Proposed Stormwater Swales
STATUS OF REVIEW: NO
REMARKS: 1) Please provide berm elevations in plan as stated in cross-section. 2) Flow arrow near cross-section A-A (top right) appears to be in the wrong direction.
- 27 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(11)(a) - Construction Entrance
STATUS OF REVIEW: NO
REMARKS: Please label location of construction entrance on SWPPP plan.
- 28 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(11)(b) - Erosion Control
STATUS OF REVIEW: NO
REMARKS: Please update line style of silt fence so limits can be determined.

- 29 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas
STATUS OF REVIEW: NO
REMARKS: Please provide a S&S karst analysis of the site and surrounding area within 200' of the site boundaries. (The geotechnical report did not have a karst analysis within it.)
- 30 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS:
- 31 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.4.B - Cross access
STATUS OF REVIEW: NO
REMARKS: 3/16/23 - A 24' paved cross access easement is required parallel to US 301.
- 32 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.12 - Sidewalks
STATUS OF REVIEW: NO
REMARKS: 3/16/23 - Sidewalk is required along US 301. Staff supports the payment of a fee in-lieu sidewalk construction. If approved by the DRC, the fee comes out to \$3,750.00 and must be paid prior to final plan approval.
- 33 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC
STATUS OF REVIEW: NO
REMARKS: 4/19/23 - fee due with resubmittal
- 34 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
STATUS OF REVIEW: NO
REMARKS: 4/19/23 - title block must contain all information on all pages
- 35 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.
STATUS OF REVIEW: NO
REMARKS: 4/19/23-certification must be verbatim to LDC 2.12.4.F(1)
- 36 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township
STATUS OF REVIEW: NO
REMARKS: 4/19/23 - Location map must show more of the vicinity

- 37 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: NO
REMARKS: as of 5/15/23 review date, payment not posted or received by MCU or OCE/DR. Remains rejected.
\$130 - minimum review fee for plan set review.
- 38 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale
STATUS OF REVIEW: NO
REMARKS: Sheet C005 still has an incorrect north arrow. The North Arrow furthest west is still pointing west.
- 39 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)
STATUS OF REVIEW: NO
REMARKS: 1. Provide Qty, Species, spacing, sizes of plant material, preferably in a table or schedule 2. Provide plant installation details. 3. Provide native status in plant schedule
- 40 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Label all buffers 2. Shrubs as shown on plan do not meet 50% buffer planting requirement 3. Buffers to be continuous, not broken as shown. 4. Buffer on Hwy 301 to be a Type C. Existing Palms will be considered based on condition. Power lines are on opposite side of road, show shade trees, shrubs and groundcovers as required. 5. Provide buffer calculations showing compliance with requirements 6. Waiver required to use existing trees and understory as buffers, staff supports
- 41 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.11 - Landscape installation
STATUS OF REVIEW: NO
REMARKS: Tree planting detail is missing
- 42 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: Hand watering until establishment is not advised, it may take 2 - 3 years to establish certain tree species. Applicant would need to understand that all plant material that dies will need to be replaced. Recommend irrigation system.
- 43 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: Unable to locate reference to outdoor lighting on sheet C001, please clarify



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 29548

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 5-11-23 Parcel Number(s): 03316-045-00 Permit Number: 2022030049
mm/dd/yyyy

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Florida General Trading Commercial ☒ or Residential ☐
Subdivision Name (if applicable): Citra Commerce Center
Unit Block Lot 45

B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): Florida General Traing Inc.
Property Owner's Signature: _____
Property Owner's Mailing Address: P.O. Box 89189
City: Tampa State: FL Zip Code: 33689 Phone # 352-631-1192

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.

Firm Name (if applicable): MCA Consulting Engineer, Inc Contact Name: Miles Anderson
Mailing Address: 2300 SE 17th St, Ste 200 City: Ocala State: FL Zip Code: 34471
Phone # 352-629-5591 Alternate Phone # _____
Email address: miles.anderson@mca-engineers.com

D. WAIVER INFORMATION:

Section & Title of Code: 6.8.6 Buffers Type C
Reason/Justification for Waiver Request: A Type C buffer along US 301 is requesting use of existing Palm trees in place of Shade tree. Required Trees are 4 shade & 4 ornamental trees, - provided are 2 Oaks (1 being 40" DBH) and 1 cluster of ornamental, with 6 existing Palm trees.
All of the trees are viable.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Must Vacate Plat: Yes ☐ No ☐
Land Use: _____ Date: _____ Verified by: _____

Revised 7/2017

Empowering Marion for Success

www.marioncountyfl.org



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code: 6.8.6 Buffers Type B

Reason/Justification for Waiver Request: A modification of Buffer Type B on the north and south boundaries. The east half of the site shall retain a tree count that exceeds the required number of Trees. This waiver is requested to use the existing trees and understory as the buffer with shrubs spaced between the trees lined along the boundaries.

Section & Title of Code: 6.12.12 Sidewalks

Reason/Justification for Waiver Request: There are no sidewalks in the developed adjacent lots nor in this area. Sidewalks shall have minimal service to the neighborhood. Client will pay fee-in-lieu of construction at final inspection to C.O.

Section & Title of Code: _____

Reason/Justification for Waiver Request: _____

Section & Title of Code: _____

Reason/Justification for Waiver Request: _____

Section & Title of Code: _____

Reason/Justification for Waiver Request: _____

Section & Title of Code: _____

Reason/Justification for Waiver Request: _____

Revised 7/2017

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MAJOR SITE PLAN & DRAINAGE PLAN FOR FLORIDA GENERAL TRADING

MARION COUNTY, FL
PARCEL NUMBER 03316-045-00

GENERAL PURPOSE:
THE PROPOSED SITE AND DRAINAGE PLAN IN THIS SUBMITTAL INCLUDES A 3.02 ACRE SITE. THE SITE SHALL FUNCTION AS A R-1 - RURAL INDUSTRIAL SITE.

CONCURRENCY:
THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

SITE DATA:
TOTAL SITE AREA (WITHIN BOUNDARY)=131,551.2 SF (3.02 AC'S)
PROPOSED AREAS FOR TOTAL SITE:
PROPOSED BUILDING = 8,000 SF
PROPOSED ON SITE IMPERVIOUS AREA (EXCLUDING DRA BOT- (DR-OPEN SPACE) = 5,756.65 SF
TOTAL IMPERVIOUS AREA = 48,910 SF
IMPERVIOUS PERCENT OF COVERAGE = 38%
PERVIOUS AREA (OPEN AREA) = 81,631.44 SF
PERVIOUS AREA PERCENT OF COVERAGE = 62%
LANDSCAPED AREA PERCENT = 26,843 SF = 20%

PARCEL NUMBER: 03316-045-00
PROJECT ADDRESS: 180 US HWY 301
OFTA, FL
ZONING: M-1
FUT: R/1/USE POLICY 10-1.5 (1% POLICY 1.25) RESIDENTIAL
PRE-EXISTING COMMERCIAL USE
OWNER: FLORIDA GENERAL TRADING
L.P., 800 9116
L.A.P.A., FL 33516-0450
REGISTERED AGENT NAME & ADDRESS:
AL-ATABI AOSMAN
716 WEST PALM BLVD
BRANDON, FL 33511

SITE LAND USE CHART			
IMPERVIOUS:	EXISTING (ACRES)	PROPOSED (ACRES)	PROPOSED (S.F.)
BUILDINGS	0.00	0.185	8,050.00
ASPHALT PAVING	0.00	0.856	28,560.89
CONCRETE PAVING	0.00	0.039	1,715.11
DRA BOTTOM	0	0.265	11,564
TOTAL IMPERVIOUS	0.00	1.146	49,910
PERVIOUS:			
RETENTION/ DETENTION (TOP - BTM)	0	0.310	13,522.74
OPEN AREA	0.00	1.564	68,127.84
TOTAL PERVIOUS	0.00	1.874	81,631.44
TOTAL SITE AREA	0.00	3.02	131,551.2

FEMA = ZONED "X" (SEE DRAINAGE PACKAGE FOR MAPS)

ZONING INFORMATION			
ZONING	FUT	ACTUAL USE	PARCEL #
A-1	RL	AGRICULTURE	03316-044-00
A-1	RL	AGRICULTURE	03316-045-00
A-1	RL	AGRICULTURE	03316-046-00
M-1	RL	AGRICULTURE	03316-047-00

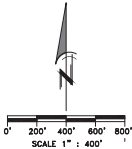
THIS PROPERTY IS COMPLIANT WITH POLICY 10-1.5 OF THE COMPREHENSIVE PLAN RECOGNIZING THIS USE

PARKING REQUIREMENTS
PARKING SPACE CALCULATIONS ARE BASED ON MARION COUNTY, LDC 6.11.8
OFFICE/BUSINESS (2,013 SQFT) 1 SPACE PER 300 SQFT GFA
=2,013 SQFT/300
=6.71 = 7 PARKING SPACES REQUIRED
WAREHOUSE (6,037 SQFT) 1 SPACE PER 1,000 SQFT FOR THE FIRST 20,000 SQFT
=6,037 SQFT/1,000 SQFT
=6.037 = 6 PARKING SPACES
TOTAL PARKING SPACES REQUIRED = 13
TOTAL PARKING SPACES PROVIDED = 13
HANDICAP PARKING REQUIRED SPACES = (FOR 1-100 SPACES) 1 SPACE PER 25 SPACES
= 1 SPACES
PROVIDED SPACES = 1 SPACES

ITE - TRIP GENERATION CALCULATIONS:
TOTAL NEW PEAK HOUR (EXISTING)
NEW PEAK HOUR TRIPS
HOUSEHOLD & DISTRIBUTION (152) = 8,050 SF @ 0.12 / 1000 SF = 0.966m
TOTAL NEW PEAK HOUR
WEEKDAY AVERAGE TRIPS
HOUSEHOLD & DISTRIBUTION (152) = 8,050 SF @ 0.18 / 1000 SF = 1.35m+1
TOTAL WEEKDAY TRIPS = 14
*HOUSEHOLD TRIPS ARE INCIDENTAL TO WAREHOUSE & DISTRIBUTION OPERATIONAL USE.

DIRECTIONAL FLOW
VEHICLE ROUTE: 800 NORTH
400 SOUTH
DELIVERY/SHIPMENT ROUTE ABOVE (ABOVE) FROM THE SOUTH AND DEPART ON A SHOULDER ROUTE TO THE NORTH AND TWO TRUCK DELIVERY TRIPS BE WIDE OPEN MORNING TRIPS.

AL-ATABI AOSMAN, PRESIDENT
P.O. BOX 89189
TAMPA, FL 33689
TELE: (852)-631-1192



LOCATION MAP
SCALE: 1"= 150'
SECTION 21, TWP-12, RNG-22
MARION COUNTY, FL

FDOT NOTES:
1. NO FOOT INTERSTATE OR ROADWAYS WILL BE CLOSED.
2. CONSTRUCTION IS NOT TO INSTALL OR WORK IN THE F.W. WITH OUT FOOT PERMIT.
SPRINGS PROTECTION NOTE:
THIS SITE IS WITHIN THE SECONDARY SPRINGS PROTECTION ZONE AND ES02.

FDOT MINIMUM STANDARD NOTES
A. THE PERMITTEE SHALL PROVIDE AS-BUILT PLANS, ALONG WITH A RECORD DRAWINGS REPORT BY PERMITTEE'S PROFESSIONAL ENGINEER, FORM 850-040-19, WITHIN 30 DAYS OF COMPLETING CONSTRUCTION.
B. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
C. TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL THEN GIVEN TO FDOT WITH THE RECORD DRAWINGS REPORT BY PERMITTEE'S PROFESSIONAL ENGINEER.
D. ALL CONCRETE TO BE REMOVED SHALL BE SAW CUT AT THE NEAREST JOINT IN GOOD CONDITION, SO AS TO PRODUCE A CONNECTION WITH NEW CONCRETE THAT IS FREE OF CRACKS, DEFECTS, IN SHAPE, NOTICEABLE VIBES, SURFACE IRREGULARITIES, AND OTHER DEFECTS. CONCRETE CUTTER SHALL BE SAW CUT BETWEEN ASPHALT AND CUTTER BEFORE REMOVAL.
E. ALL MATERIALS INSTALLED WITHIN FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE FDOT'S QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL, SIGNALS AND DEVICES.
OPERATION AND MAINTENANCE STATEMENT
I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOW HEREIN AND ON THE APPROVED PLAN.
NOTIFICATION/CONTROL STATEMENT
THE CONTRACTOR SHALL PROVIDE A MAINTENANCE OF TRAFFIC PLAN AND INCLUDE LANE CLOSURE RESTRICTION FROM 7:00 AM TO 5:00 PM FDOT ROAD #13 SHEETS 1 AND 2 MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY A CERTIFIED PERSON.
THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY LANE CLOSURES OR BEGINNING ANY CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY.
STAKING NOTE:
ELECTRONIC PLANS SHALL BE PROVIDED TO FLORIDA LICENSED SURVEYOR FOR STAKING. STAKING FOR CONSTRUCTION SHALL TAKE PLACE AFTER PRE-CONSTRUCTION MEETING.
ADDRESS:
QUADRANT ADDRESSES WILL BE ISSUED TO THIS PROJECT. ONCE PLAN HAS APPROVED STATUS.

ENGINEER:
MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
2403 S.E. 17TH STREET, SUITE 506
OCALA, FLORIDA 34771
TELE: 352-629-5581
CONTACT: MILES C. ANDERSON, P.E.

SURVEYOR:
ROBERT L. BOKERS PE
1105 S.E. 180 AVENUE
OCALA, FLORIDA 34711
(352) 622-9214

NOTE:
NOTICEERING OR GRUBBING IS TO TAKE PLACE UNTIL PERMIT DOCUMENTS HAVE BEEN APPROVED ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS

PRE-CONSTRUCTION MEETING NOTE:
NO SITE WORK SHALL BE CONDUCTED PRIOR TO OBTAINING A "SITE PERMIT" FROM THE COUNTY & WMD.

MAINTENANCE & CONSTRUCTION NOTES:
1. AREA AROUND ANY PROPOSED PIPE ENDS SHALL BE FINISH GRADED AND SLOPED AS PER THESE PLANS. SWALE ELEVATION TRANSITIONS TO PIPE ENDS SHALL BE 24 FEET UNLESS OTHERWISE SHOWN ON PLAN PROFILES.
2. CONTRACTOR SHALL CLEAN OUT ALL PROPOSED CROSS DRAINAGE AFTER PLACEMENT OF BODS OR GRASS AND MULCH.
3. ALL AREAS DISTURBED IN THE F.W. DURING CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY RESEED FOLLOWING FINAL GRADING. ALLOW FOR SOG WITH A 1:1 SLOPE. OTHER AREAS DISTURBED AFTER CONSTRUCTION SHALL BE GRASSSED UNLESS SOG IS SPECIFICALLY PROPOSED. SOG SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
4. SIGNAGE AND STRIPING WITHIN THIS SITE PLAN SHALL BE DIAMOND GRADE AND CONFORM TO F.D.O.T. 1-1 SPECIFICATIONS. ALL SIGNAGE AND STRIPING TO BE INSTALLED FOR ENTRANCE ON US HWY. 441 SHALL BE OF HIGH INTENSITY THERMOPLASTIC.
OPERATION AND MAINTENANCE (O&M):
PROPOSED MAINTENANCE PRACTICES AND SCHEDULES OF DRAINAGE FACILITIES AND SYSTEMS SHALL BE AS PER MARION COUNTY LAND DEVELOPMENT STANDARDS. THIS SHOULD INCLUDE THE IDENTIFICATION OF THE ENTITY RESPONSIBLE FOR OPERATION AND MAINTENANCE, INCLUDING NAME, ADDRESS AND TELEPHONE NUMBER.
* SEE DRAINAGE PACKAGE FOR SIGNED O&M LETTER BY DEVELOPER.

GENERAL NOTES:
7. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN LAND DEVELOPMENT REGULATIONS FOR MARION COUNTY.
8. BOUNDARY, TOPOGRAPHY AND TREE INFORMATION IS BASED ON A SURVEY BY: [REDACTED] ENGINEERING, INC.
9. BUILDINGS SHALL BE HANDICAP ACCESSIBLE AS PER THE STATE OF FLORIDA REGULATIONS. THE ARCHITECT/ENGINEER SHALL PROVIDE BUILDING PLANS, CLEAN AND SUITABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF THE BUILDING FOUNDATION AND SHALL BE COMPACTED TO A 95% MAXIMUM DENSITY WITH TERMITES TREATMENT.
10. ALL PARKING SPACES SHALL BE STRIPED WITH 4" WHITE LINES. HANDICAP SPACES SHALL BE SIGNED AND SHALL HAVE ADDITIONAL 4" BLUE LINES INSIDE EACH SPACE AT 7" FROM WHITE LINES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH FDOT STANDARDS. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FDOT CHAPTER 11.
11. A TYPE III BELT FENCE SHALL BE INSTALLED ALONG BOUNDARIES AS SHOWN ON SWPPP SHEET OF THE PROPOSED CONSTRUCTION. PRIOR TO ANY SITE DEVELOPMENT.
12. THE SITE, ACCESS & ROADWAY ARE TO BE KEPT CLEAN & FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES DURING CONSTRUCTION. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
13. ALL RETENTION IMPROVEMENTS AND STORM SEWER SYSTEMS EXISTING AND PROPOSED MUST BE COMPLETE PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
14. IF A SINKHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE PROCEDURES OUTLINED IN THE "APPLICANTS HANDBOOK-KARST SENSITIVE AREAS", SPRING, MAY 1998, SHALL BE FOLLOWED.
15. MINIMUM STRENGTHS FOR ALL CONCRETE ON THIS SITE SHALL BE 3000 PSI AT 28 DAYS OR AS OTHERWISE NOTED. ALL VEHICLE PARKING AREAS SHALL BE PAVED W/ AUTO PAVEMENT (SEE PAVEMENT STRUCTURE THICKNESS TABLE ON CDD). ALL OTHER PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH TRUCK PAVEMENT AS PER PAVEMENT STRUCTURE THICKNESS TABLE ON CDD. ALL CONCRETE TRUCK LOADINGS APPROX SHALL BE 3000 PSI CONCRETE UNLESS NOTED OTHERWISE. GEO-TECH TO FIELD VERIFY DURING CONSTRUCTION.
16. PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
17. ALL PAVEMENT MARKINGS, MATERIALS AND SIGNS SHALL CONFORM TO FDOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATION. SEE MAINTENANCE AND CONSTRUCTION NOTE NUMBER 4.
18. REPRODUCTIONS OF THESE PLANS ARE NOT VALID UNLESS SIGNED BY THE SURVEYOR AND ENGINEER IN RESPONSIBLE CHARGE AND SEALED WITH RAISED EMBOSSED SEALS.
19. COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.
20. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO ANY CONSTRUCTION OF UTILITIES SHOWN ON THESE PLANS.
21. ALL DESIGNED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON EXISTING DATA SUPPLIED BY THE SURVEYOR AND BORING DATA SUPPLIED BY GEOTECH, INC.
22. FOR ANY CONSTRUCTION WITHIN THE STATE OF FLORIDA R/W THE CONTRACTOR SHALL OBTAIN THE REQUIRED RIGHT-OF-WAY PERMITS BEFORE COMMENCING WITH THIS CONSTRUCTION.
23. ALL ACCESS AND PARKING SHALL COMPLY WITH 1997 FAC.
24. SEE AS-BUILT DRAWINGS OR CERTIFICATION REQUIRED PRIOR TO C.O.

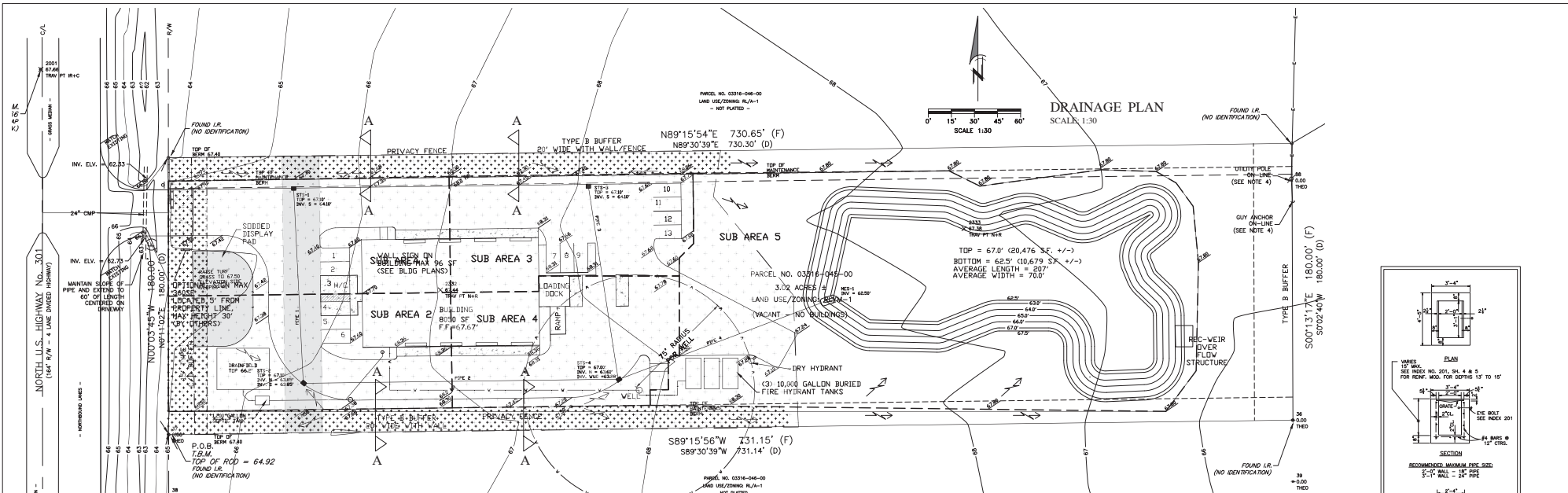
INDEX OF SHEETS:	
C001 COVER SHEET	
C002 SURVEY SHEET	
C003 SITE PLAN	
C004 DRAINAGE PLAN	
C005 UTILITY PLAN	
C006 SWPPP	
C007 TREE REMOVAL PLAN	
C008 LANDSCAPE PLAN	

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL ——— STRUCTURAL ——— LAND PLANNING ——— GOLF COURSE DESIGN
1515 E. SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591
OCALA, FLORIDA 34740 FAX (352) 629-4402

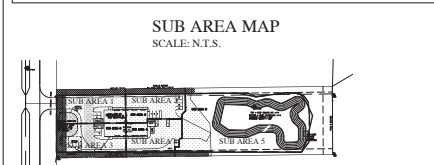
COVER
FLORIDA GENERAL TRADING
MAJOR DRAINAGE AND SITE PLAN
SECTION 21, TWP-12, RNG-22
CITRA-MARION COUNTY, FLORIDA

DATE:	11-10-22	DESIGN:	MCA	PROJ:	FLORIDA GENERAL	
SCALE:	AS SHOWN	DRAWN:	MCA	FILE:	22-006	

No. REVISION DATE APPROVED: MCA CHECK: MCA FILE: FLORIDA GENERAL SHEET C001



SUB AREA	TOTAL AREA S.F.	IMPERVIOUS COVER S.F.	IMPERVIOUS COVER PERCENT
1	16,468	9,822	58%
2	16,578	6,573	42%
3	13,194	9,208	70%
4	13,599	10,187	75%
5	56,809	14,196	25%



COVERAGE	PRE AREA S.F.	POST AREA S.F.	CURVE #
IMPERVIOUS	0.0	0.0	98
DRA STR	0.0	0.0	98
OPEN AREA	14,810.4	0.34	1.00
OVERALL CN NUMBER	46		

COVERAGE	PRE AREA S.F.	POST AREA S.F.	CURVE #
IMPERVIOUS	0.0	0.0	98
DRA STR	0.0	0.0	98
OPEN AREA	118,843	2.88	1.00
OVERALL CN NUMBER	46		

STAGE (FEET)	AREA (SQ FT)	PERIMETER (FEET)	VOLUME (CU FT)
67.5	55,086	739	558
67.7	23,621	726	254
66	59,766	701	648
65	18,011	676	641
64	15,357	651	635
63	12,802	626	629
62.5	11,564	613	627

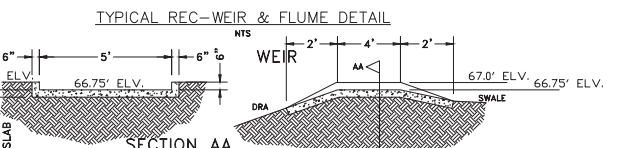
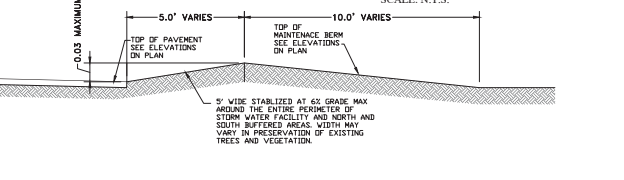
DRAINAGE STRUCTURE AND PIPE
NOTE: ALL DRAINAGE STRUCTURES AND STORM PIPES THAT ARE PLANNED FOR THIS SITE ARE SHOWN ON THE SITE PLAN. NO OFFSITE STRUCTURES EXIST OR ARE PROPOSED.

INLET	TYPE	GRATE EL.	INVERT EL. (IN)	INVERT EL. (OUT)
ST-1	C	67.10	-	64.1 S
ST-2	C	67.10	63.85 N	63.85 S
ST-3	C	67.10	-	64.10 S
ST-4	C	67.00	N - 63.61 W - 63.28	63.28 S
MES-1	-	-	-	62.50

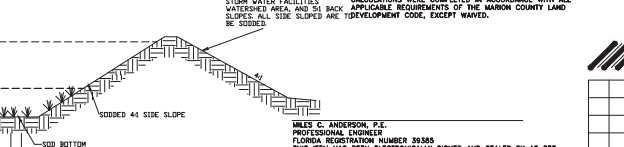
STORM PIPE RUN TABLE									
	FROM	TO	SIZE	TYPE	LENGTH	SLOPES	HEAD WATER	TAIL WATER	
PIPE 1	ST-1	-	ST-2	18"	RCP	125 LF	0.20%	68.64	68.19
PIPE 2	ST-2	-	ST-4	24"	RCP	203 LF	0.28%	67.85	66.99
PIPE 3	ST-3	-	ST-4	18"	RCP	126 LF	0.38%	66.94	66.25
PIPE 4	ST-4	-	MES	24"	RCP	148 LF	0.53%	66.94	66.25

WATER-SHED	DRA	CN	TOP A	MAX STAGE	STAGE	STORAGE TREATMENT VOLUME	BOTTOM D	AVERAGE SHOWT E	CONFINING LAYER
MS	ACS	MARK	NATURAL GROUND	POST	POST	STAGE	STAGE	STAGE	STAGE
1	2.88	DRA	11.57	46	68.34	67.3	65.63	67.807	64.28
								9.720	62.50
								60.80	54.10

TYPICAL MAINTENANCE BERM SECTION A-A
SCALE: N.T.S.



PRE CONDITION	POST CONDITION
25YR = 1.55 CFS/0.36 ACU	25YR N/A
100YR = 2.88 CFS/0.52 ACU	100YR N/A



DRA FENCE NOTES:
DRA FENCE SHALL BE 4' HIGH AND 4' WIDE. IT SHALL BE ALLOWED IF THE DRAINAGE RETENTION/DETENTION FACILITY IS ENCLOSED IN A CHAIN LINK FENCE WITH A MINIMUM HEIGHT OF FIVE FEET.

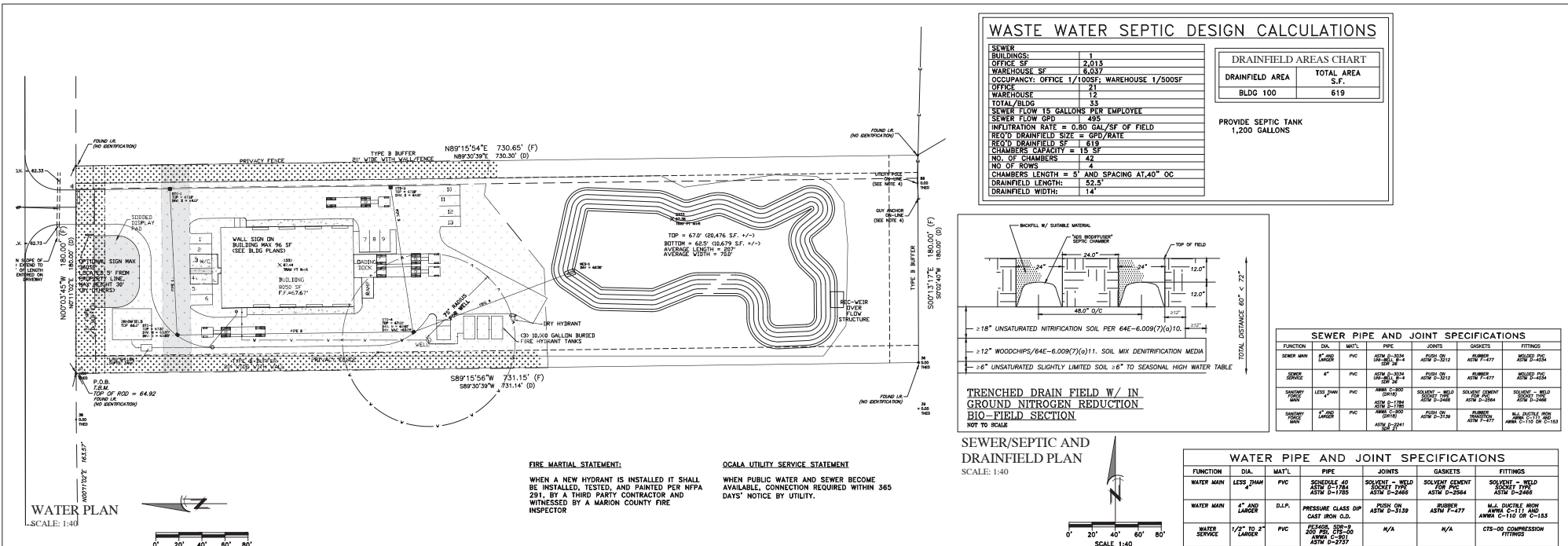
DRAINAGE NARRATIVE SUMMARY:
THE SITE DRAINAGE WATER SHED PLAN IS LOCATED IN OTTAWA COUNTY AND CONSISTS OF 3.02 ACRES. THE PROPOSED DRAINAGE SYSTEM FOR THE SITE HAS BEEN DESIGNED TO ROUTE ALL GENERATED STORM WATER FROM SITE AREA, TO STORM STRUCTURES THAT SHALL CONVEY THE RUNOFF TO THE PROPOSED DRA. THE SITE WAS ANALYZED USING A 100YR/24HR FREQUENCY STORM TO QUANTIFY THE STORAGE VOLUMES THAT NEED TO BE RETAINED. THE STORAGE AREA IS DESIGNED TO MAINTAIN AND RECOVER THE ENTIRE POST 100 YR/24HR FREQUENCY STORM OF THE IMPROVED WATERSHED AREA. THE ROAD (EAST END) OF THE SITE HAS NO IMPROVEMENTS AND SHALL SHEETFLOW OFFSITE SIMILAR TO THE PRECONDITION. SEE WATER SHED AND DRA TABLE ON THIS SHEET.

DRAINAGE CONSTRUCTION NOTES:
1. CONTRACTOR MUST EXERCISE CAUTION AND CONSTRUCT DRAINAGE DETENTION AREA AND SWALES AT ALL BOUNDARIES TO CONTROL MITIGATION OF ADVERSE QUANTITY AND QUALITY IMPACT OFF-SITE DUE TO STORM WATER RUNOFF.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL. THE SWALE AND DRAINAGE AREAS ON THIS SITE SHALL BE CONSTRUCTED DURING THE EARTH MOVING PHASE OF CONSTRUCTION. THEY WILL BE LINED WITH STRAW DURING THE REMAINDER OF THE SITE CONSTRUCTION AND ACT AS TRAPS FOR ANY DEBRIS ORIGINATING FROM THE SITE. THE STRAW WILL BE LINED WITH STRAW DURING THE REMAINDER OF THE SITE CONSTRUCTION AND ACT AS TRAPS FOR ANY DEBRIS ORIGINATING FROM THE SITE. THE STRAW WILL BE LINED WITH STRAW DURING THE REMAINDER OF THE SITE CONSTRUCTION AND ACT AS TRAPS FOR ANY DEBRIS ORIGINATING FROM THE SITE.
3. DRESSING OF THE SWALE AND DRAINAGE RETENTION OR CONVEYANCE EARTHEN CHANNELS WILL OCCUR DURING THE FINAL PHASE OF CONSTRUCTION. THE STRAW WILL BE REMOVED AS WELL AS ANY FINES THAT MAY HAVE PASSED THROUGH THE STRAW FILTER. THE BANKS WILL THEN BE SOODED AND THE FLOOR OF THE FILTER POND WILL BE LEFT OPEN. ANY 2:1 OR STEEPER SLOPES SHALL BE SOODED AND STAKED.
4. BASK/DRA SLOPES AND BOTTOM TO BE FULLY VEGETATED. USE OF ST AUGUSTINE OR PERMANENT GRASS IS SUGGESTED.
5. SEE SURVEY SHEET FOR BENCHMARK.
6. FOR ALL PORTIONS OF THE PROPERTY PERIMETER NOT LINED WITH TYPE III SILT FENCE, A "CONSTRUCTION BARRIER" CONSISTING OF 24" POST @ 12' O.C. WITH 24" TOP & MIDDLE RAILS AND HEAVY DUTY HOPE ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED.

ENGINEER'S CERTIFICATION:
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS' REQUIREMENTS OF THE MARION COUNTY LAND USE/DEVELOPMENT CODE, EXCEPT WHERE SHOWN OTHERWISE.

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
1515 E. SILVER SPRINGS BLVD., SUITE 132
OCALA, FLORIDA 34470
(352) 629-5591
FAX (352) 629-4402

DRAINAGE PLAN			
FLORIDA GENERAL TRADING MAJOR DRAINAGE AND SITE PLAN SECTION 21, TWP-12, RNG-22			
OTTAWA-CRANFORD, FLORIDA			
DATE:	11-10-20	DESIGN:	MCA
APPROVED:	AS SHOWN	DRAWN:	MCA
SCALE:	1"=20'-00"	FILED:	22-00
NO.	REVISION	DATE	DATE



UTILITY NOTES:

1. THE SITE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN, THROUGH DIRECT CONTACT WITH THE UTILITY COMPANIES. CONTACT SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO THE CONTRACTOR'S OPERATION ARE TO BE RELOCATED BY OTHERS PRIOR TO CONSTRUCTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO COORDINATE ANY UNDERGROUND ELECTRIC AND/OR TELEPHONE PAYMENT CROSSINGS TO ASSURE THAT THE DEPTH OF CONDUITS SHALL NOT CONFLICT WITH OTHER UNDERGROUND UTILITIES.
3. THE UTILITIES CONTRACTORS SHALL BE RESPONSIBLE FOR ACQUIRING ANY CONSTRUCTION PERMITS NECESSARY PRIOR TO CONSTRUCTION. UTILITY COMPANIES SHALL SUBMIT TO THE PROJECT ENGINEER FOR APPROVAL, A WRITTEN REQUEST TO UTILIZE ANY EASEMENTS SHOWN ON THESE PLANS OR IN AREAS NOT PRESENTLY DESIGNATED AS A UTILITY EASEMENT, PRIOR TO CONSTRUCTION.
4. EXISTING TREES TO REMAIN SHALL HAVE ANY LOW LIMBS TRIMMED TO ALLOW AERIAL CLEARANCE FOR VEHICLES AND/OR AERIAL UTILITIES. REFER TO FOOT "STANDARD" SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 110-2.3 AND 110-3. AERIAL UTILITIES SHALL BE 18" MINIMUM ABOVE CENTERLINE GRADE OF ROAD, TRIMMING TO BE SUPERVISED BY A CERTIFIED ARBORIST.
5. ALL WATER SERVICE SHALL BE INSTALLED BY CONTRACTOR. BACK FLOW PREVENTERS SHALL BE INSTALLED ON THE CUSTOMERS SIDE OF THE WATER METER BOX AT A MINIMUM OF 18" FROM FINAL GRADE TO BOTTOM OF BACKFLOW.
6. ANY MAIN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE ASS'LT.
7. A DOUBLE SWEEP CLEAN-OUT IS TO BE INSTALLED AT PROPERTY LINE WHERE A MANHOLE IS NOT AVAILABLE. A CLEAN-OUT IS TO BE INSTALLED EVERY 75 FEET FROM THE POINT OF CONNECTION AND AT EACH BEND IN SEWER SERVICE.

WATER CONSTRUCTION NOTES:

- (WATER DEMAND SEE CALCULATIONS FOR GPD)
1. ALL WATER CONSTRUCTION SHALL CONFORM TO CURRENT WATER AND SEWER CONSTRUCTION FDEP STANDARDS.
 2. PERFORM ALL WORK IN COMPLIANCE WITH STANDARD PLUMBING CODE AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. PIPE MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS SHOWN IN THE TABLE OF "WATER AND SEWER PIPE AND JOINT SPECIFICATIONS" IN THESE PLANS.
 4. PROVIDE A MINIMUM OF 48" COVER TO TOP OF PIPE FOR ALL MAINS.
 5. PROVIDE A MINIMUM OF 48" COVER FOR ALL SERVICE LINES WITHIN THE R/W AND 24" OUTSIDE THE R/W.
 6. GATE VALVES SHALL BE RESILIENT-SEATED GATE VALVES COMPLYING WITH AWWA C-509.
 7. JOIN SOLVENT-WELD PIPE AND FITTING IN ACCORDANCE WITH TASTM D2855 "MAKING SOLVENT CEMENTED JOINTS WITH PVC AND FITTINGS" SO THAT MATING SURFACES ARE TIGHTLY FUSED.
 8. INSTALL THRUST BLOCKING AT ALL DIRECTION CHANGES OR DEAD ENDS.
 9. INSTALL 14 GA. COPPER LOCATING WIRE ON ALL NON-METALLIC WATER MAINS AND SERVICES.
 10. ALL PVC SHALL COMPLY WITH THE REQUIREMENTS OF NSF 14 AND SHALL BE LABELED WITH THE LOGO "NSF - POTABLE WATER".
 11. PROVIDE MANUAL AIR RELEASE VALVES AT ALL LOCATIONS SHOWN, AND AT ANY OTHER HIGH POINTS IN LINE.
 12. ALL NEW AND RELOCATED WATER MAINS, FITTINGS, AND SERVICES SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD. ALL SOLDER AND FLUX FOR NEW AND RELOCATED WATER LINES SHALL CONTAIN NO MORE THAN 8.2 PERCENT LEAD.
 13. TEST ALL NEWLY INSTALLED WATER MAINS IN ACCORDANCE WITH SECTION 4, "HYDROSTATIC TESTING" OF AWWA C-805. PRESSURE TEST AT 150 PSI MINIMUM FOR A MINIMUM TWO HOUR DURATION.
 14. DISINFECT SYSTEM PER AWWA C-651. FOLLOWING COMPLETION OF THE SYSTEM, OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS FOR TWO CONSECUTIVE DAYS AT SAMPLE POINTS INDICATED ON THE PLANS. SUBMIT COPIES OF BACTERIOLOGICAL TEST RESULTS TO ENGINEER AND TO APPROPRIATE FDEP DISTRICT OFFICE WITHIN 30 DAYS OF TESTS. REFERENCE PERMIT NUMBER ON COVER SHEET OF THIS PLAN.
 15. THE CONTRACTOR SHALL PROVIDE AND KEEP IN OPERATION ENOUGH SUITABLE PUMPING EQUIPMENT WHENEVER NECESSARY OR WHENEVER DIRECTED TO DO SO BY THE ENGINEER, FOR Dewatering of excavations, whenever PIPE LAYING IS NOT IN PROGRESS, CLOSE THE OPEN ENDS OF THE PIPE EITHER WITH A WATER TIGHT PLUG OR BY OTHER MEANS APPROVED BY THE ENGINEER. IF THERE IS WATER IN A TRENCH, LEAVE THIS SEAL IN PLACE UNTIL THE TRENCH HAS BEEN PUMPED COMPLETELY DRY. TAKE EVERY PRECAUTION TO KEEP WATER OR FOREIGN MATERIAL FROM GETTING INTO THE PIPE WHILE IT IS BEING PLACED IN THE TRENCH.
 16. SEE PLAN/PROFILES FOR STATION OF HIGH POINT FOR LOCATING AIR RELEASE VALVES.
 17. WHERE POTABLE WATER AND SANITARY SEWER MAINS CROSS THE MINIMUM VERTICAL AND HORIZONTAL SEPERATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS SHALL COMPLY WITH RULES 49-404.00(2)(a) - (3), F.A.C. AND 49-404.00 (3), F.A.C. SEE SEPERATION NOTE ON THIS PAGE.
 18. THIS SITE MUST MEET THE MINIMUM ISO FIRE HYDRANT COUNT AND PRESSURE REQUIREMENTS.
 19. NO LIVE OAKS TREES OR AGGRESSIVELY ROOTED LANDSCAPING SHALL BE INSTALLED WITHIN 30 FEET OF EXISTING OR PROPOSED WATER APPURTENANCES.

SEPERATION NOTE:

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPERATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAIN CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE, HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE, HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THE THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT WHERE SHOWN.

MILES C. ANDERSON, P.E.
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NUMBER 38888
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY PER 61615-25.004(5)(d)(2), F.A.C.
MILES ANDERSON, P.E., STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38888, THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MILES ANDERSON, P.E., ON 12-12-22 USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

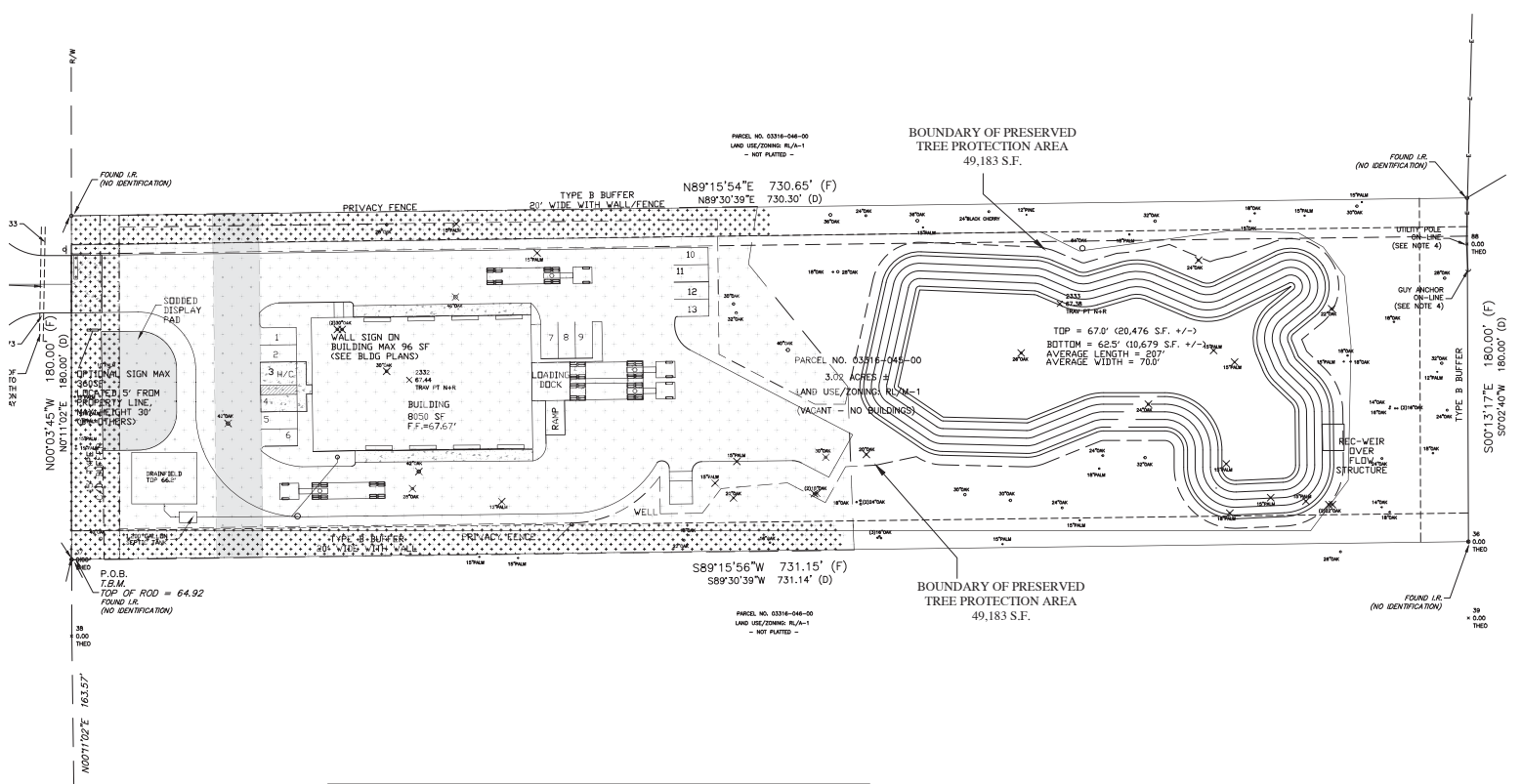
MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.

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1515 E. SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591
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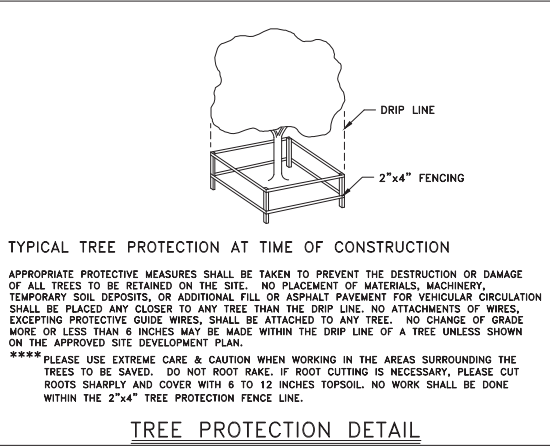
WATER AND SEWER PLAN
FLORIDA GENERAL TRADING
MAJOR DRAINAGE AND SITE PLAN
SECTION 21, TWP-12, RNC-22
CITRA-MARION COUNTY, FLORIDA

DATE: 11-10-22 DESIGN: MCA PROJ. FLORIDA GENERAL TRADING
SCALE: AS SHOWN DRAW: MCA FILE: 22-006 SHEET: CO05
No. REVISION DATE APPROVED: MCA CHECK: MCA FILED: FLORIDA GENERAL TRADING

Tree Type	DBH	To be removed
Palm	10	No
Palm	18	No
Palm	18	No
Palm	15	No
Palm	15	No
Palm	15	No
Oak	40	No
Oak	42	Yes
Oak	30+30	Yes
Oak	28	No
Oak	30	Yes
Oak	42	Yes
Oak	28	Yes
Palm	15	Yes
Oak	46	Yes
Palm	12	Yes
Palm	15	No
Palm	15	No
Oak	18	No
Oak	22	No
Oak	30	Yes
Oak	32	No
Palm	15	Yes
Palm	15	Yes
Oak	20	No
Oak	40	No
Oak	16	No
Oak	36	No
Oak	18	No
Oak	28	No
Oak	30	Yes
Oak	20	Yes
Oak	18	No
Oak	24+24	No
Oak	16+16+16	No
Oak	24	No
Oak	36	No
Black Cherry	15	No
Oak	24	No
Pine	30	No
Oak	12	No
Oak	26	Yes
Oak	30	No
Palm	15	No
Oak	64	No
Oak	24	No
Palm	15	No
Palm	18	No
Oak	24	No
Palm	18	No
Oak	32	No
Oak	24	Yes
Oak	32	No
Oak	24	Yes
Palm	15	Yes
Palm	15	Yes
Palm	15	Yes
Palm	18	Yes
Palm	15	No
Palm	15	No
Palm	15	No
Oak	18	No
Oak	14	No
Oak	16	No
Oak	16+16	No
Oak	24	No
Oak	14	No
Oak	18	No
Oak	28	No
Oak	32	No
Palm	12	No
Oak	24	No
Oak	18	No



TREE REMOVAL CHART		
TREES	TOTAL DBH	DBH TO BE REMOVED
TOTAL OAK DBH	1,542"	524"
TOTAL PALM DBH	424"	165"
TOTAL CHERRY DBH	24"	0"
TOTAL PINE DBH	12"	0"
ALL TREES	2,002"	647"
TOTAL KEPT	1,383"	



TYPICAL TREE PROTECTION AT TIME OF CONSTRUCTION

APPROPRIATE PROTECTIVE MEASURES SHALL BE TAKEN TO PREVENT THE DESTRUCTION OR DAMAGE OF ALL TREES TO BE RETAINED ON THE SITE. NO PLACEMENT OF MATERIALS, MACHINERY, TEMPORARY SOIL DEPOSITS, OR ADDITIONAL FILL, OR ASPHALT PAVEMENT FOR VEHICULAR CIRCULATION SHALL BE PLACED ANY CLOSER TO ANY TREE THAN THE DRIP LINE. NO ATTACHMENTS OF WIRES, EXCEPTING PROTECTIVE GUIDE WIRES, SHALL BE ATTACHED TO ANY TREE. NO CHANGE OF GRADE MORE OR LESS THAN 6 INCHES MAY BE MADE WITHIN THE DRIP LINE OF A TREE UNLESS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN.

***** PLEASE USE EXTREME CARE & CAUTION WHEN WORKING IN THE AREAS SURROUNDING THE TREES TO BE SAVED. DO NOT ROOT RAKE. IF ROOT CUTTING IS NECESSARY, PLEASE CUT ROOTS SHARPLY AND COVER WITH 6 TO 12 INCHES TOPSOIL. NO WORK SHALL BE DONE WITHIN THE 2"x4" TREE PROTECTION FENCE LINE.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THE THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT WHERE SHOWN OTHERWISE.

MILES C. ANDERSON, P.E.
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NUMBER 38285
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY AS PER 81619-23.06(5)(a)(2), F.A.C.
MILES ANDERSON, P.E., STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38285, THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MILES ANDERSON, P.E. ON 11-15-22 USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN
1515 E. SILVER SPRINGS BLVD., SUITE 132
OCALA, FLORIDA 34470
(352) 629-5591
FAX (352) 629-4402

TREE REMOVAL PLAN			
FLORIDA GENERAL TRADING			
MAJOR DRAINAGE AND SITE PLAN			
SECTION 21, TWP-12, RNG-22			
CITRA-MARION COUNTY, FLORIDA			
DATE:	11-15-22	DESIGN:	MCA
SCALE:	AS SHOWN	DRAWN:	MA
FILED:	22-008	CHECKED:	MCA
APPROVED:		DATE:	
REVISION:		DATE:	



LANDSCAPE NOTES AND CALCCS

LANDSCAPE NOTES:

- SIMPLE IRRIGATION SYSTEM CONNECTED TO HOSE BIB TIMER TO BE INSTALLED
- IRRIGATION AS-BUILTS WILL BE PROVIDED AT PROJECT COMPLETION
- ALL DISTURBED AREAS TO BE SODDED WITH ARGENTINE BAHIA SOD
- ALL PLANT MATERIAL TO BE FLORIDA GRADE #1
- ALL PLANT BEDS SHALL USE PINE STRAW MULCH
- LANDOWNER TO MAINTAIN LANDSCAPING AS APPROVED IN PERPETUITY
- PLANT MATERIAL CAN BE EXCHANGED WITH EQUIVALENT PLANT MATERIAL

LANDSCAPE IRRIGATION NOTE:

PERMIT WILL BE ISSUED FROM THE MARION COUNTY BUILDING DIVISION PRIOR TO INSTALLATION OF IRRIGATION SYSTEMS. UPON COMPLETION OF THE LANDSCAPE AND/OR IRRIGATION INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. PRIOR TO THE INSPECTION, THE CONTRACTOR MUST PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

LANDSCAPE AREA CALCULATIONS:

TOTAL LANDSCAPED AREA REQUIRED - 26,310 SF
TOTAL LANDSCAPED AREA PROVIDED - 26,943 SF

TREE CALCULATIONS:

TOTAL AREA = 131,155.20 SF (3.02 A.C.)
SHADE TREE REQUIRED = 1 PER 3,000
TOTAL REQUIRED = 43.72
EXISTING TREE PRESERVED = 58
NEW TREES PROVIDED = 13 OAK
TOTAL TREES (PRESERVED + PLANTED) = 71 TREES
INCHES DBH REQUIRED = 100" DBH/AC
DBH REQUIRED = 302" DBH
NEW DBH PROVIDED = 45.5" OAKS; CRAPE MYRTLE 52.5",
TOTAL DBH = 98" DBH
EXISTING DBH = 1,108" OAKS; 24" CHERRY; 12" PINE; 259" PALM;
TOTAL DBH = 236"
TOTAL DBH PROVIDED: NEW DBH = 98"; EXISTING DBH = 1,383",
TOTAL = 1,501"

SITE LANDSCAPE

TREE/ GROUND COVER MATERIALS:

LIVE OAK - 3.0"
CRAPE MYRTLE - 30 15 GALLON
GROUND COVER MATERIALS:
GROUND COVER AT SIDEWALK & OPEN SPACE - 23,269 SF

BUILDING FRONTAGE LANDSCAPE:

BUILDING FRONTAGE = 70 LF
LANDSCAPE REQUIRED = 70 LF

LANDSCAPE PROVIDED = 66 LF

BUILDING FRONTAGE PLANT MATERIALS:

LIVE OAK - 7"
VIBURNUM - 11 PLANTS
MONKEY GRASS/GROUND COVER - 1,191 SF

PARKING AREA LANDSCAPE:

LANDSCAPE REQUIRED = 784.44 SF

LANDSCAPE PROVIDED = 2,548 SF

PARKING AREA PLANT MATERIALS:

GROUND COVER/MULCH - 2,548 SF

LANDSCAPE BUFFER, TYPE C

TOTAL AREA: 2,856 SF

BUFFER PLANT MATERIALS:

VIBURNUM - 90 PLANTS MINIMUM

LIVE OAK - 1, 3.5" ; 1, 40" CALIPER

LANDSCAPE BUFFER, TYPE B

TOTAL AREA: 14,809 SF

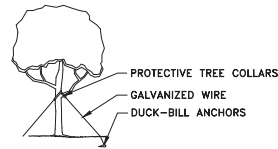
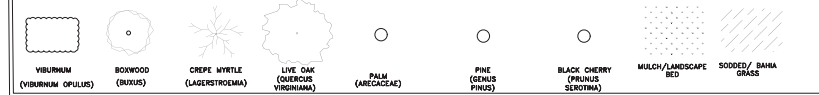
BUFFER PLANT MATERIALS - NORTH BOUNDARY:

VIBURNUM - 346 PLANTS MINIMUM
LIVE OAK - 5, 3.5" ; 12 TREES, 294" DBH +/- EXISTING, WITH 8 ADDITIONAL TREES BEING PRESERVED
CRAPE MYRTLE - 7, 5.5"
TOTAL TREES = 32 TREES

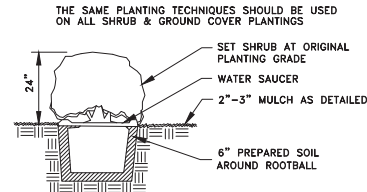
BUFFER PLANT MATERIALS - SOUTH BOUNDARY:

VIBURNUM - 366 PLANTS MINIMUM
LIVE OAK - 5, 3.5" ; 8 TREES, 199" DBH +/- EXISTING, WITH 14 ADDITIONAL TREES BEING PRESERVED
CRAPE MYRTLE - 6, 3.5"
TOTAL TREES = 33 TREES

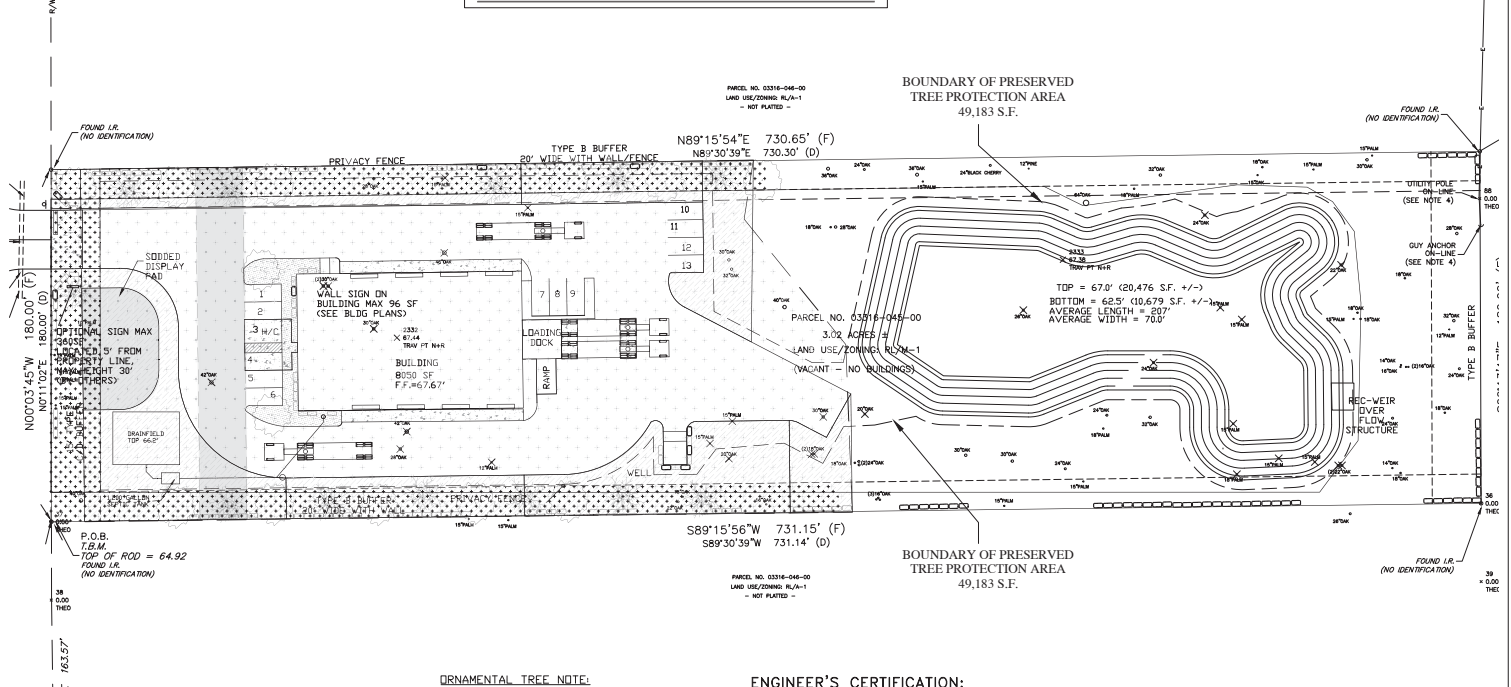
LANDSCAPE LEGEND :



TYPICAL TREE GUYING DETAIL



TYPICAL SHRUB INSTALLATION DETAIL



SHRUBS SHALL BE PLANTED AT 3" ON CENTER OR AS APPROPRIATE TO THE TYPE OF SHRUB SPECIES. GROUND COVER GROWN TO 24" TALL SHALL BE SPACED AT 2'-3".

EXISTING TREE COVERAGE
CURRENTLY THERE ARE NO TREES ON THIS SITE. SEE LANDSCAPE PLAN FOR NEW TREE HEIGHTS AND PLANT MATERIALS.

ORNAMENTAL TREE NOTE:

ORNAMENTAL TREES SHALL BE PLACED IN PARKING LOT ISLANDS AND ALONG HWY 441 TO MINIMIZE VISUAL INTERFERENCE OF THE EXISTING BILLBOARD IN ACCORDANCE WITH DIV 8 SEC 6.87 D (4) MCLC. THIS ALSO IS A JUSTIFICATION OF THE NEED TO REQUEST THE WAIVER FOR NOT MEETING THE NUMBER OF SHADE TREES REQUIRED.

PROTECTED TREE REPLACEMENT REQUIREMENT NOTE:

ALL TREES NOT PERMITTED FOR REMOVAL MUST BE PROTECTED AND MAINTAINED. FOR THOSE PROTECTED TREES PERMITTED FOR REMOVAL, TREES SHALL BE REPLACED IN ACCORDANCE WITH MINIMUM STANDARDS SET FORTH IN SEC. 6.7-6.8.

THE REMOVED TREE WITH 36" DBH IS MITIGATED BY PLANTING 9 LIVE OAKS W/ 4" DBH MIN CALIPER IN ACCORDANCE WITH SEC. 6.7-6.8.

ALL CONSERVATION TREES DENOTED ON THE PLAN SHALL BE RECORDED IN PUBLIC RECORDS BY THE OWNER AS PER SEC. 6.7-6.8 NOTED ON THIS SHEET.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT WAIVED.

MILES C. ANDERSON, P.E.

PROFESSIONAL ENGINEER

FLORIDA REGISTRATION NUMBER 39385

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY AS PER

81615-23.004(3)(G)(2), F.A.C.

"MILES ANDERSON, P.E., STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 39385; THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MILES ANDERSON P.E. ON 12-13-22 USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES"

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN
1515 E. SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591
ODALA, FLORIDA 34470 FAX (352) 629-4402



LANDSCAPE PLAN			
FLORIDA GENERAL TRADING MAJOR DRAINAGE AND SITE PLAN SECTION 21, TWP-12, RNG-22			
CITRA-MARION COUNTY, FLORIDA			
DATE:	11-10-22	DESIGN:	MCA
SCALE:	AS SHOWN	DRAW:	MA
FILE:	22-008		
REVISION	DATE	APPROVED:	MCA
		CHECK:	MCA
		FILED:	FLORIDA GENERAL

SITE PROTECTION & GENERAL PLANTING REQUIREMENTS

PROTECTION OF NATIVE PLANT COMMUNITIES OR EXISTING PLANTINGS
PROTECTIVE BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH AND CONSTRUCTED OF A HIGHLY VISIBLE DURABLE MATERIAL THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
HEAVY-DUTY PLASTIC CONSTRUCTION SITE BARRIER FENCING IS AN EXAMPLE OF AN ACCEPTABLE BARRIER.

SLOPE PLANTINGS
LANDSCAPING OF ALL CUTS AND FILLS OR TERRACES SHALL BE SUFFICIENT TO PREVENT EROSION, AND ALL ROADWAY SLOPES STEEPER THAN ONE FOOT VERTICALLY TO THREE FEET HORIZONTALLY SHALL BE PLANTED WITH GROUND COVER APPROPRIATE FOR THE PURPOSE AND FOR SOIL CONDITIONS, WATER CONSERVATION, AND ENVIRONMENTAL CONSIDERATIONS.

PLANTING SPECIFICATIONS
DEAD AND DYING PLANTS SHOULD BE REPLACED BY THE DEVELOPER DURING THE FOWLONG PLANTING SEASONS. ALL SHRUBS, GROUND COVERS AND TREES SHALL BE FLORIDA NUMBER 1 QUALITY OR BETTER, AS SET OUT IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED). PLANTING SPECIFICATION ARE LISTED AS FOLLOWS: PLANTING SPECIFICATIONS TABLE BELOW.

Planting Specifications Table		
	Height at time of Planting or Container Size	Spacing & other Requirements
Ground Covers, Vines	Min. 3 runners or 24" max height	Up to 2' O.C.
Shrubs	Min. 24" or 3 gallon; must attain 36" w/in 1 year	Up to 3' O.C.; 2" min. mulch required
Trees	Min. 6" or 2.5" caliper, DBH	See 10. k. (3)(a) below

PLANT SPECIES
THE PLANT SPECIES SELECTED SHOULD BE HARDY FOR THE PARTICULAR MICROCLIMATE IN WHICH THE DEVELOPMENT IS LOCATED AND APPROPRIATE. IN TERMS OF FUNCTION AND SIZE, WATER CONSERVING PLANTS AND FLORIDA FRIENDLY LANDSCAPE PRINCIPLES ARE TO BE USED WHERE APPROPRIATE TO TYPE AND SCALE OF DEVELOPMENT.

LANDSCAPE PLAN

GENERAL REQUIREMENTS

THE LANDSCAPE MINIMUM STANDARDS SECTION (SECTION 6.8), OF COUNTY LAND DEVELOPMENT CODE SHALL APPLY TO ALL DEVELOPMENTS, INCLUDING PLANNED UNIT DEVELOPMENTS, EXISTING SINGLE FAMILY HOMES AND DUPLEXES ARE EXEMPT.

PRESERVATION AND USE OF NATIVE OR APPROVED NON-INVASIVE VEGETATION AND DROUGHT TOLERANT LANDSCAPES

ALL NEW AND EXPANDED DEVELOPMENT SHALL, TO THE GREATEST EXTENT PRACTICAL, PRESERVE AND MAINTAIN EXISTING NATIVE OR APPROVED NON-INVASIVE VEGETATION TO MEET LANDSCAPING REQUIREMENTS ON THE SITE. ALL LANDSCAPE PLANS, CONSTRUCTION AND MAINTENANCE SHALL AT A MINIMUM MEET THE REQUIREMENTS OF THIS SECTION, CONSISTENT WITH THE FOLLOWING:

(1)(A) PLANT PALETTES USED SHALL BE SUITED TO A SITE'S SPECIFIC GROWING CONDITIONS;
(1)(A) IRRIGATED LANDSCAPES SHALL BE DESIGNED TO USE WATER IN THE MOST EFFECTIVE MANNER PRACTICAL; AND HYDROZONING.

MINIMUM LANDSCAPE AREA FOR NON-RESIDENTIAL DEVELOPMENT
THE AMOUNT OF LANDSCAPING FOR NON-RESIDENTIAL DEVELOPMENT SHALL COMPLY WITH THE FOLLOWING MINIMUMS:

<12,500 SF = 12%
> 12,500 SF AND < 1 ACRE = 15%
> ONE ACRE = 20%

USE OF APPROVED NATIVE OR DROUGHT TOLERANT PLANTS

AT LEAST 40% OF THE REQUIRED LANDSCAPE AREA SHALL BE LANDSCAPED USING FLORIDA FRIENDLY LANDSCAPING PRINCIPLES, WHEN THE LANDSCAPING REQUIREMENTS ARE MET BY A SPECIFIC DEVELOPMENT THROUGH THE USE OF ONLY NATIVE TREES AND PLANT MATERIAL (EXCLUDING GRASS) AND/OR WATER CONSERVING PLANTS AND FLORIDA-FRIENDLY LANDSCAPING PRINCIPLES...THE MINIMUM LANDSCAPE AREA MAY BE REDUCED BY 5%.

SHADE TREES

MINIMUM SIZES (3/8" CAL.); FL #1; WATER UNTIL ESTABLISHED; 1:3,000SF OF SITE; NOT LOCATED TO CREATE CONFLICTS.

PARKING LOT LANDSCAPING

200SF EVERY 10 SPACES; PARKING LOT SCREENING (MIN. 5' WIDE); LOCATED IN PROTECTED AREAS (OFFSETS); APPROPRIATE PLANT TYPES

BUFFERING

FUNCTION AND MATERIALS

BUFFERING SHALL PROVIDE A YEAR-ROUND VISUALTABLE SCREEN IN ORDER TO MINIMIZE ADVERSE IMPACTS. IT MAY CONSIST OF FENCING, EVERGREENS, BERMS, ROCKS, Boulders, WOUNDS, WALLS, OR COMBINATIONS THEREOF TO ACHIEVE THE SAME OBJECTIVES.

GARBAGE COLLECTION AND UTILITY AREAS

LOADING AND UNLOADING AREAS SHALL BE SCREENED BY A PLANTING AREA A MINIMUM OF THREE FEET WIDE.

DESIGN

ARRANGEMENT OF PLANTINGS IN BUFFERS SHALL PROVIDE MAXIMUM PROTECTION TO ADJACENT PROPERTIES AND AVOID DAMAGE TO EXISTING PLANT MATERIAL. POSSIBLE ARRANGEMENTS INCLUDE PLANTING IN PARALLEL, SERPENTINE, OR BROKEN ROWS. IF PLANTED BERMS ARE USED, THE MINIMUM TOP WIDTH SHALL BE FOUR FEET, AND THE MAXIMUM SIDE SLOPE SHALL BE 3:1. BUFFER AREAS MAY NOT BE LOCATED ON ANY PORTION OF AN EXISTING OR DEDICATED RIGHT-OF-WAY OR EASEMENT.

PLANTING SPECIFICATIONS

PLANT MATERIALS USED AS BUFFER SCREENS SHALL BE SUFFICIENTLY LARGE AND PLANTED IN SUCH A FASHION THAT A YEAR-ROUND SCREEN AT LEAST SIX FEET (ABOVE GROUND LEVEL) IN HEIGHT SHALL BE PRODUCED WITHIN THREE GROWING SEASONS. HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND BE MAINTAINED SO AS TO FORM A 60-INCH HIGH CONTINUOUS VISUAL SCREEN WITHIN TWO YEARS AFTER TIME OF PLANTING. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO CURRENT BEST MANAGEMENT PRACTICES.

WALLS AND FENCES

SCREENING OF TRASH CONTAINERS WITH OPAQUE MATERIALS IS INCLUDED HEREIN.

MAINTENANCE

PLANTINGS WATERED REGULARLY AND IN A MANNER APPROPRIATE FOR THE SPECIFIC PLANT SPECIES THROUGH THE FIRST GROWING SEASON. PLANTING MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE, AND DEAD AND DYING PLANTS SHOULD BE REPLACED BY THE APPLICANT DURING THE NEXT PLANTING SEASON.

RESIDENTIAL DEVELOPMENT (NOT APPLICABLE TO THIS SITE)

LANDSCAPE PLAN REQUIREMENTS FOR NEW RESIDENTIAL OR MIXED USE DEVELOPMENT
LANDSCAPE PLANS SHALL BE REQUIRED FOR ALL COMMON AREAS, INCLUDING BOULEVARDS, RECREATION AREAS, BUFFER AREAS, AND OTHER OPEN SPACE. IN ADDITION, THE DEVELOPER SHALL PROVIDE FOR THE FOLLOWING:
I. AGREEMENTS/ARTICLES INFORMING FUTURE OWNERS OF LS REQUIREMENTS;
II 20+ UNITS= SAMPLE LANDSCAPE PLANS, CCRS, FFL EDUCATION

NATURAL GROUNDWATER RECHARGE

NEW RESIDENTIAL AND MIXED USE SUBDIVISIONS SHALL IMPLEMENT MARION-FRIENDLY LANDSCAPING, AS APPLICABLE.

GROUNDWATER IMPACT AREA:

A. 60% MAX. OF DEVELOPABLE AREA IN PRIMARY SPZ.
B. 70% MAX. OF DEVELOPABLE AREA IN SECONDARY SPZ.
C. AREA NEEDED TO DISPERSE DEVELOPMENT REUSE MAY INCREASE GIA.

GIA MAY BE EXCEEDED IF GRPA (BELOW) IS IMPLEMENTED.

LANDSCAPABLE AREA OUTSIDE OF GIA = MFLA.

GROUNDWATER RECHARGE PRESERVATION AREA

IRRIGATION PLAN REQUIRED (SHALL BE PROVIDED UNDER SEPERATE COVER BY OTHERS)

IRRIGATION PLAN REQUIRED

THE PLAN MUST BE PREPARED BY A PROFESSIONAL THAT MEETS WATER SOURCE CONNECTIONS, THE LICENSING AND CERTIFICATION REQUIREMENTS UNDER SUBSECTION N. BELOW, AND SHALL BE CLEARLY READABLE, TO REASONABLE SCALE, SHOW THE ENTIRE SITE TO BE IRRIGATED, AND INCLUDE ALL IMPROVEMENTS AND EQUIPMENT SPECIFICATIONS. THIS REQUIREMENT CAN BE MET BY THE ADDITION OF NOTES OR DRAWINGS ON THE LANDSCAPE PLAN SHEET. MINIMUM PLAN REQUIREMENTS ARE LISTED BELOW IN THE IRRIGATION PLAN REQUIREMENTS TABLE.

Irrigation Plan Requirements Table	
Preparer's name, address & telephone: North arrow; Scale	Type of irrigation components and their precipitation rates
Location of all proposed improvements on parcel	Controller
Place of any required or installed soil moisture or ran sensors	Water requirements per zone in gallons per minute(GPM)
Operating pressure of water supply system	Construction details
Design operating pressure of irrigation system	Outline specifications covering installation and materials

IRRIGATION SYSTEMS

IRRIGATION DESIGN STANDARDS

EXCEPT: BONA FIDE AGRICULTURAL OPERATIONS; INTENSIVE RECREATIONAL USES; AND GOLF COURSE PLAN AREAS.

HIGH VOLUME IRRIGATION (+0.5 GPM) ONLY FOR TURF GRASS AND OTHER GROUND COVERS THAT NORMALLY HAVE A MATURE OR MAINTAINED HEIGHT NO GREATER THAN 1'.

LOW VOLUME IRRIGATION (=/<0.5 GPM) MAY BE USED IN ANY NON-TURF LANDSCAPE AREAS.

DESIGNED TO LIMIT, TO THE GREATEST EXTENT PRACTICABLE, THE APPLICATION OF WATER TO IMPERVIOUS AREAS...

DESIGNED TO AVOID IMPACTS ON EXISTING NATIVE OR APPROVED NON-INVASIVE VEGETATION AND DROUGHT TOLERANT LANDSCAPE THAT WILL BE ON THE DEVELOPMENT SITE.

DESIGNED IN ACCORDANCE WITH FLORIDA-FRIENDLY DESIGN STANDARDS: FS 373.228; AND CONSTRUCTED IN ACCORDANCE WITH FIS STANDARDS AND SPECIFICATIONS FOR LANDSCAPE IRRIGATION SYSTEMS.

HIGH VOLUME SYSTEMS SPRAY HEADS AND ROTORS SHALL NOT BE COMBINED ON THE SAME CONTROL VALVE ZONE.

HIGH VOLUME SYSTEMS IRRIGATION HEAD SPACING SHALL NOT EXCEED 55% OF THE INDIVIDUAL HEAD'S DIAMETERS OF COVERAGE WHERE SQUARE SPACING IS USED, OR 60% WHERE TRIANGULAR SPACING IS USED.

TURF/SHRUB SEPARATION;HYDROZONING

MATCHED PRECIPITATION RATE WITHIN EACH ZONE

PRESSURE REGULATING CONTROL VALVES AND/OR IRRIGATION HEADS USED.

CHECK VALVES TO PREVENT WATER LOSS DUE TO DRAINAGE; TOPOGRAPHY

UNLESS MANUALLY CONTROLLED, CONTROLLERS SHALL HAVE PROGRAM FLEXIBILITY.

RAIN SENSORS OR MOISTURE SENSORS, WHICH AUTOMATICALLY OVERRIDE SCHEDULED IRRIGATION EVENTS WHEN ADEQUATE RAINFALL OR MOISTURE CONDITIONS ARE PRESENT SHALL BE INSTALLED ON ALL NEW IRRIGATION SYSTEMS AND MAINTAINED IN WORKING ORDER.

ALL IRRIGATION SYSTEMS, REGARDLESS OF THEIR WATER SUPPLY SOURCE AND WHETHER SAID SOURCE IS METERED, SHALL INCLUDE A TOTALIZING VOLUME METER.

LANDSCAPE LIGHTING NOTE:

ALL EXTERIOR/OUTDOOR LIGHTING SHALL BE MOUNTED ON THE BUILDING. SEE ARCHITECTS PLAN UNDER SEPARATE COVER. UTILITY COMPANY SHALL PROVIDE OUTSIDE LIGHT ON EXISTING POWER POLE.

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS NOTE:

UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BE THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATION OF OCCUPANCY.

IRRIGATION COVERAGE LIMITS

IRRIGATION SYSTEM FOR WHICH A PERMIT IS REQUIRED UNDER SUBP. (2) ABOVE SHALL COMPLY WITH THE FOLLOWING:

A HIGH VOLUME IRRIGATION AREA SHALL NOT EXCEED 75% OF THE TOTAL LANDSCAPED AREA. UP TO 50% OF ANY TURFGRASS AREA MAY BE IRRIGATED WITH HIGH VOLUME IRRIGATION, UNLESS BAHIA GRASS IS THE EXCLUSIVE TURF GRASS USED IN WHICH CASE UP TO 75% PERCENT MAY BE IRRIGATED WITH HIGH VOLUME IRRIGATION.

A LOW VOLUME IRRIGATION AREA MAY BE UTILIZED FOR AN ENTIRE 68 LANDSCAPED AREA WITH THE EXCEPTION OF TURF GRASS AND PRESERVED AREAS.

IN THE ALTERNATIVE TO SUBPARAGRAPHS (A) AND (B), ABOVE, IF 25% OF THE SITE IS MAINTAINED IN PRE-EXISTING NATIVE OR APPROVED NON-INVASIVE, DROUGHT TOLERANT VEGETATION, THE REMAINING LANDSCAPED AREA MAY BE A HIGH VOLUME IRRIGATION AREA.

AS A BONUS TO ENCOURAGE REUSE, IRRIGATION SYSTEMS THAT USE RECLAIMED WATER EXCLUSIVELY MAY EXCEED THE LIMITATION UNDER SUBSECTION (A), ABOVE, BY UP TO 50%, BUT NOT TO EXCEED THE TOTAL ALLOWED LANDSCAPE AREA.

PLANS AND INSTALLATION

EXCEPT FOR PROPERTY OWNERS INSTALLING IRRIGATION SYSTEMS ON THEIR OWN SINGLE FAMILY RESIDENCE OR OWNER/OCCUPIED DUPLEX, ONLY IRRIGATION INSTALLATION PROFESSIONALS MEETING THE LICENSING REQUIREMENTS UNDER SUBSECTION N. BELOW, MAY INSTALL IRRIGATION SYSTEMS. SUCH AN IRRIGATION INSTALLATION PROFESSIONAL SHALL:
(A) PREPARE AND PROVIDE TO THE OWNER AN IRRIGATION VALVE SITE DIAGRAM;
(B) ATTACH SUCH DIAGRAM INSIDE EACH IRRIGATION CONTROLLER;
(C) PROVIDE IRRIGATION SCHEDULING INFORMATION;
(D) WITHIN 90 DAYS AFTER INSTALLATION, ADJUST THE IRRIGATION CONTROLLER IF THE SYSTEM IS 1) INSTALLED AS PART OF NEWLY ESTABLISHED LANDSCAPING AND OR 2) REQUIRES RESETTING TO OPERATE ACCORDING TO NORMAL, ESTABLISHED LANDSCAPE CONDITIONS.

MAINTENANCE AND OTHER ITEMS

LANDSCAPE MAINTENANCE

FERTILIZER USE

FERTILIZERS, IF USED, SHALL BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF CITY/ COUNTY CODE APPLICABLE ORDINANCES.

LAND USE TABLE	
AG	AGRICULTURE, RURAL LANDS, NATURAL RESERVATION
SFR	SINGLE FAMILY, DUPLEX RESIDENTIAL
MF	MULTI-FAMILY RESIDENTIAL
COM	COMMERCIAL, RV PARKS, COMMERCIAL RECREATION
IND	INDUSTRIAL USES
PUB	PUBLIC USE (INCLUDING GOVERNMENT, INSTITUTIONAL, AND RELATED PROFESSIONAL OFFICES).
ROW	ARTERIAL OR COLLECTOR RIGHT-OF-WAY OR ROAD EASEMENT

PROPOSED USE	LAND USE TABLE									
	PERMITTED OR EXISTING USE									
	AG	SFR	MF	COM	IND	PUB	ROW			
	AG	-	-	-	-	-	-	-	-	-
	SFR	E	-	C	A	B	C	C		
MF	E	A	-	A	B	C	C			
COM	D	B	B	-	B	C	C			
IND	B	B	B	B	-	B	D			
PUB	E	B	C	C	C	-	C			

FLORIDA GENERAL TRADING BUFFER TABLE

BUFFER TYPE:

B- B-TYPE BUFFERS SHALL CONSIST OF A 20-FOOT WIDE LANDSCAPE STRIP WITH BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER.

C- C-TYPE BUFFERS SHALL CONSIST OF A 15-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR.

C MODIFIED- C-TYPE MODIFIED BUFFERS SHALL CONSIST OF A 5-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET, HOWEVER, SHALL NOT IMPEAD THE BILLBOARD VISIBILITY BOUNDARY, OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR. TYPE-C MODIFIED BUFFER SHALL BE APPROVED BY WAIVER.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT WHERE SHOWN OTHERWISE.

MILES C. ANDERSON, P.E.
PROFESSIONAL ENGINEER
FLORIDA LICENSE NUMBER 38480
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY AS PER 61015-23.004(3)(2)(2), F.A.C.

MILES ANDERSON, P.E., STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38480; THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MILES ANDERSON P.E. ON 11-10-22. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.

CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN
1515 E. SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591
OCALA, FLORIDA 34470 FAX (352) 629-4402



LANDSCAPE DATA					
FLORIDA GENERAL TRADING MAJOR DRAINAGE AND SITE PLAN SECTION 21, TWP-12, RNG-22					
CITRA-MARION COUNTY, FLORIDA					
DATE:	11-10-22	DESIGN:	MCA	PROJ.	FLORIDA GENERAL
SCALE:	AS SHOWN	DRAW:	NA	FILED	22-008
No.	REVISION	DATE	APPROVED:	MCA CHECK:	MCA FILED, FLORIDA GENERAL
				SHEET	
				C009	