

August 8, 2024

PROJECT NAME: CANOPY OAKS - FIFTH THIRD BANK

PROJECT NUMBER: 2024020061

APPLICATION: MAJOR SITE PLAN #31168

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 2/23/24-add waivers if requested in future - sk
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: n/a
- 6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?  
STATUS OF REVIEW: INFO  
REMARKS: DRI vesting note provided.
- 7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]  
STATUS OF REVIEW: INFO  
REMARKS: Not located in an ESOZ area - FPOZ provided.
- 8 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Major Site Plan  
STATUS OF REVIEW: INFO

REMARKS: Verified with Sunbiz.HR

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



**Marion County  
Board of County Commissioners**

AR 31168

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW PLAN APPLICATION**

Date: 2/8/2024

**A. PROJECT INFORMATION:**

Project Name: Canopy Oaks - Fifth Third Bank  
Parcel Number(s): 3530-1001-02 & 3530-1001-03  
Section 24 Township 16 Range 20 Land Use Comm Zoning Classification B-2  
Commercial  Residential  Industrial  Institutional  Mixed Use  Other \_\_\_\_\_  
Type of Plan: MAJOR SITE PLAN  
Property Acreage 0.90 Number of Lots 0 Miles of Roads 0  
Location of Property with Crossroads SR 200 & SW 99th Street Road  
Additional information regarding this submittal: Parcel numbers subject to change pending Canopy Oaks Phase II Replat (AR 30149) currently under review.

**B. CONTACT INFORMATION** (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

**Engineer:**  
Firm Name: Tillman and Associates Engineering, LLC Contact Name: Jeffrey McPherson  
Mailing Address: 1720 SE 16th Ave Bldg 100 City: Ocala State: FL Zip Code: 34471  
Phone # 352-387-4540 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: permits@tillmaneng.com

**Surveyor:**  
Firm Name: DC Johnson & Associates Contact Name: Daniel C. Johnson  
Mailing Address: 11911 S. Curley St City: San Antonio State: FL Zip Code: 33576  
Phone # 352-588-2768 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: survey@dcjohnson.com

**Property Owner:**  
Owner: PV-TOW Ocala, LLC Contact Name: Charles A Ernest, Jr.  
Mailing Address: 140 Carillon Parkway City: St. Petersburg State: FL Zip Code: 33716  
Phone # 727-726-1115 Alternate Phone # \_\_\_\_\_  
Email address: cakers@paradiseventuresinc.com

**Developer:**  
Developer: same as above Contact Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone # \_\_\_\_\_ Alternate Phone # \_\_\_\_\_  
Email address: \_\_\_\_\_

Revised 6/2021

CLEAR FORM

Empowering Marion for Success

marionfl.org

PERMITS:

- 1. MARION COUNTY - MAJOR SITE PLAN -
2. S.W.F.W.M.D. - E.R.P. -
3. FDEP - POTABLE WATER -
4. FDEP - SANITARY SEWER -
5. FDEP - NPDES (By Others)



MAJOR SITE PLAN
CANOPY OAKS -
FIFTH THIRD BANK

SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

INDEX OF SHEETS

Table listing sheet numbers and titles: 01.01 COVER SHEET, 02.01 GENERAL NOTES, 03.01 AERIAL PHOTOGRAPH, 04.01 GEOMETRY PLAN, 05.01 DRAINAGE & GRADING PLAN, 06.01 UTILITY PLAN, 07.01 POTABLE WATER DISTRIBUTION DETAILS, 08.01 SANITARY SEWER DETAILS, 09.01 ROADWAY AND PAVEMENT DETAILS, 10.01 DRAINAGE DETAILS, 11.01 EROSION CONTROL PLAN AND DETAILS, B1.01 BORING LOGS, B006 PHOTOMETRIC PLAN, 04-04 ELEVATION PLAN, L6.01 PLANTING SPECIFICATIONS, L7.01 PLANTING SCHEDULE & IRRIGATION NOTES, L8.01 PLANTING PLAN, L9.01 PLANTING DETAILS, 1-1 BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY DC JOHNSON & ASSOCIATES)

Marion County Approval Stamp

APPROVED WAIVERS

THIS SITE CONTAINS:
TOTAL PROJECT ACRES = 1.34 ACRES
PROPOSED IMPERVIOUS AREA = 0.53 AC. (23,116 SF)
EXISTING IMPERVIOUS AREA = 0 AC. (0 SF)
MARION COUNTY PARCEL #3530-1001-03
TOTAL PARCEL ACRES = 0.90 ACRES
LAND USE: COM
ZONING: B-2

PREVIOUSLY APPROVED TO HW WAIVERS FOR ENTIRE DEVELOPMENT

Table with 4 columns: GENERAL REQUIREMENT, DATE, DESCRIPTION, DATE APPROVED. Lists various engineering and surveying requirements and their approval dates.

DESCRIPTION:

(PER TITLE COMMITMENT NUMBER 110198015 AS ISSUED BY JOHNSON, POPE, BOKOR, RUPPEL & BURNS, LLP)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARION, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS 3 CANOPY OAKS PHASE II REPLAT 2, ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 16, PAGE 56, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FL-WEST PROJECTION, WITH NORTHWESTERLY RIGHT-OF-WAY OF SOUTHWEST HIGHWAY NO. 200 HAVING A GRID BEARING OF S. 42°00'17" W. RIGHT-OF-WAY MONUMENTS ARE SHOWN AND REFERENCED HEREON.

HORIZONTAL CONTROL:

COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FL-WEST PROJECTION, WITH SOUTHEASTERLY BOUNDARY OF THE PLAN OF CANOPY OAKS PHASE II, REPLAT TWO, HAVING A GRID BEARING OF S. 42°00'17" W. CORNER MONUMENTS ARE SHOWN AND REFERENCED HEREON.

Table with 2 columns: SOUTHEAST CORNER OF LOT 10, SOUTHERNMOST CORNER OF LOT 1. Lists coordinates and bearings for specific points.

VERTICAL CONTROL:

ELEVATIONS SHOWN HEREON ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD88), NATIONAL GEODETIC SURVEY BENCHMARK "G 893", LOCATED ON THE NORTH SIDE OF STATE ROAD 200, PUBLISHED ELEVATION = 88.92' (NAVD88) / 86.83' (NGVD29). DATUM CONVERSION: (NAVD88) + 0.09' = (NGVD29)

OWNER/DEVELOPER:
PV-TOW OCALA, L.L.C.
CONTACT: CODY AKERS
140 CARILLON PARKWAY
ST. PETERSBURG, FLORIDA 33716
PHONE (727) 726-1115

CIVIL ENGINEER:
TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.
JEFFREY McPHERSON, P.E.
1720 SE 16th AVE, BLDG. 100
OCALA, FLORIDA 34471
PHONE (352) 387-4540

SURVEYOR:
DC JOHNSON & ASSOCIATES, INC.
DANIEL JOHNSON
1191 S. CURLEY STREET
SAN ANTONIO, FLORIDA 33576
PHONE (352) 588-2768

GEOTECHNICAL CONSULTANT:
WHITESTONE ASSOCIATES, INC.
CONTACT: ANTHONY BARBONE
8405 BENJAMIN ROAD, SUITE J
TAMPA, FLORIDA 33634
PHONE (813) 581-0690



VICINITY MAP
SCALE: 1" = 500'

Utility Companies

Table listing utility companies and contact information: Water (BLCDD), Sewer (BLCDD), Electric (Duke Energy), Cable/Phone/Internet (Digital Communication Media), Natural Gas (TECO), Bryan Schaub, (352) 414-5454 EXT. 4105, Bob Wagner, (352) 317-1339, Jorge Santiago, (352) 873-4817, Bruce Stout, (352) 401-3147.

NOTES:

- 1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE BLCDD UTILITY MANUAL AS APPLICABLE.
2. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY MAP NO. 1288-C0086, MARION COUNTY, FLORIDA, DATE APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES IN FLOODS ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.
3. DEVELOPMENT OF THE PROPERTY AS SHOWN ON THESE PLANS IS VESTED PURSUANT TO THE ON TOP OF THE WORLD DRI DEVELOPMENT ORDER, AND THE VESTING IS SUBJECT TO THE TERMS AND CONDITIONS OF THE ON TOP OF THE WORLD DRI DEVELOPMENT ORDER AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.
4. THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
5. ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 VERTICAL DATUM, TO CONVERT TO NAVD 1988, SUBTRACT 0.91 FEET.
6. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
7. SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH FDOT REQUIREMENTS.

OWNER'S SIGNATURE

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

CHARLES A. ERNST JR., OPERATING MANAGER
PV-TOW OCALA, L.L.C.

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

JEFFREY McPHERSON, P.E.
Registered Engineer No. 69905
STATE OF FLORIDA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

DANIEL C. JOHNSON
DC JOHNSON & ASSOCIATES
Registered Land Surveyor No. 3653
STATE OF FLORIDA

Tillman & Associates ENGINEERING, L.L.C.
CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION # 29796

Table with 2 columns: DATE, REVISIONS. Contains a grid for tracking revisions.

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK
PV-TOW OCALA, L.L.C.
MARION COUNTY, FLORIDA
COVER SHEET

DATE: 05-16-24
DRAWN BY: SJS
CHKD BY: CMH
JOB NO.: 24-8438

SHT. 01.01

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK...
2. ALL STRUCTURING TO BE ACCORDANCE WITH THE LATEST STANDARDS OF MARION COUNTY AND FOOT...
3. PAVEMENT STRIPING TO BE ACCORDANCE WITH MARION COUNTY SPECIFICATIONS AND WITH THE FLORIDA DOT, ROADWAY & TRAFFIC CONTROL DIVISION...

WATER MAIN CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH AFWPA STANDARDS AS WELL AS THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WATER MAIN CONSTRUCTION...
2. ALL WATER MAIN CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY I.L.C.C.D.O...
3. SEPARATION REQUIREMENTS (SEE TABLE 1.0 - UTILITY SEPARATIONS)...
4. NEW OR ELUCIDATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 1' FROM THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER MAIN...

FORCE MAIN NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR FORCE MAIN CONSTRUCTION...
2. ALL FORCE MAIN CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY I.L.C.C.D.O...
3. PIPE LENGTHS SHOWN IN PROJECT SHALL BE UNIFORM SPACES BETWEEN FITTINGS OF BRANCHED AND MAINS...
4. DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURER...

AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL BE REQUIRED TO CERTIFY AS TO RECORD DRAWINGS TO THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION ON THE APPROVED PLANS...
A. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION...
B. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STORM DRAINAGE, WATER, SEWER AND WASTEWATER PIPES AND RELATED APPURTENANCES...
C. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS OF DIMENSIONS AND DETAIL INFORMATION CHANGED MAKE BY FIELD ORDER OR BY CHANGE ORDER...

CLEARANCES

- 1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING 10 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CENTERLINE OF CONSTRUCTION APPROVAL DATE...
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH PRELIMINARY AND FINAL AS-BUILT OF ALL UTILITY IMPROVEMENTS, SEGMENTS, TESTS, MEASUREMENTS, TESTS, AND ANY OTHER INFORMATION...
3. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH THE CLEARANCE APPROVALS WITH ALL THE NECESSARY INFORMATION AND ANY OTHER INFORMATION NECESSARY FOR THE CLEARANCE APPROVALS WITH THE ENGINEER...

PAVING AND DRAINAGE NOTES

- 1. PAVEMENT RETURN REPRESENT SCALD DISTANCE BETWEEN CENTRALISES OF DRAINAGE STRUCTURES...
2. ALL PAVEMENT RETURN BEAS SHALL BE MEASURED FROM THE INTERFACE OF THE CONCRETE CURB AND PAVEMENT TO CENTERLINE OF DRAINAGE STRUCTURE...
3. TOP ELEVATION OF MANHOLE IN GRASSY AREAS SHALL BE LOCATED AT FINISHED GRADE ELEVATION...

REUSE NOTES

- 1. ALL BRAGRATION, SEWER AND FURNITURE RISING PRIOR TO BE OWNED AND MAINTAINED BY I.L.C.C.D.O AS A SOLID PURPLE COLOR...
2. BRAGRATION AND FURNITURE RISING SHALL BE CONFORMED TO ANFWA C605.4 LATEST EDITION...
3. SEPRTS OF SEWER AND FURNITURE RISING UNITS TO BE FIELD FINISHED GRADE...
4. SEWER AND FURNITURE RISING UNITS TO BE LOCATED AT PAVEMENT CURB OF CURB OF DRIVE PAVEMENT UNLESS OTHERWISE NOTED...

EROSION CONTROL NOTES

- 1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO AVOID NEARBY POLLUTING, SOIL OR DAMAGE TO SUCH MATERIALS AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING WATER...
2. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL REGIONAL CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN...
3. SLOPMENT OF DETENTION POUNDS SHOULD BE ACCOMPLISHED WITHIN 14 DAYS OF POND GRADING TO MINIMIZE EROSION POTENTIAL...
4. AT A MINIMUM, THE RESTORATION/RESTORATION STORAGE AREA SHALL BE DEGRADED WITHIN ONE FOOT PRIOR TO BEING COMPLETED FOR PROVISION OF PROVISIONAL EROSION CONTROL STRUCTURES...

- 23. TO ALL WASTEWATER PIPES SHALL BE WRENAP AS SPECIFIED IN FOOTING 205...
24. ALL STORM PIPES JOINTS SHALL BE WRNAP AS SPECIFIED IN FOOTING 205...
25. THE LAST FOOT OF STORM WATER POND SHALL NOT BE EXCAVATED UNLESS ALL DISTURBED AREAS ARE STABILIZED...
26. ALL PIPE MATERIALS MUST BE APPROVED BY ENGINEER IN WRITING PRIOR TO PLACEMENT...
27. SIGNIFICANT CEMENT MUST BE TAPED WHEN DETENTION PONDS TO INSURE THAT JOINTS BOND TO AND NOT BECOME CONCRETE DRAINING CONSTRUCTION SHALL BE BY CONSTRUCTION SEQUENCE...
28. ALL SANITARY SEWER LATERALS SHALL BE 8" NICH CHANNELS, UNLESS SPECIFIED OTHERWISE ON PLANS...
29. INVERTS OF SANITARY SEWER LATERALS AT THEIR CONNECTION TO SANITARY MAINS SHALL NOT BE MORE THAN ONE (1) FOOT ABOVE THE MANHOLE COVER...
30. MANHOLE ASBEST 5" PVC UNDERPIPE LINE SLOPE WILL BE 1/4" PER 10' MINIMUM SLOPE OR WILL BE RELIED BY PROPORTION TO MEET THE MINIMUM SLOPE REQUIREMENT OF AN ADDITIONAL 3/4"...

SANITARY SEWER NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARDS SPECIFICATIONS FOR WASTEWATER CONSTRUCTION...
2. ALL SANITARY SEWER CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY I.L.C.C.D.O...
3. ALL MANHOLES SHALL BE 4" FT. INDIER DIAMETER...
4. PIPE LENGTHS SHOWN REPRESENT EQUAL SPACES BETWEEN MANHOLES CENTERLINE...
5. ALL SANITARY SEWER LATERALS SHALL BE 8" NICH CHANNELS, UNLESS SPECIFIED OTHERWISE ON PLANS...
6. INVERTS OF SANITARY SEWER LATERALS AT THEIR CONNECTION TO SANITARY MAINS SHALL NOT BE MORE THAN ONE (1) FOOT ABOVE THE MANHOLE COVER...
7. MANHOLE ASBEST 5" PVC UNDERPIPE LINE SLOPE WILL BE 1/4" PER 10' MINIMUM SLOPE OR WILL BE RELIED BY PROPORTION TO MEET THE MINIMUM SLOPE REQUIREMENT OF AN ADDITIONAL 3/4"...
8. PIPE MATERIALS WILL BE ASBEST 5" PVC UNLESS OTHERWISE NOTED...
9. A MINIMUM 4" ASBEST 5" PVC UNDERPIPE LINE SHALL BE MAINTAINED ON THE SANITARY SEWER SEWER LATERALS...
10. SANITARY SEWER LATERALS HAVE A SLOPE OF 1/4" OR GREATER...
11. SANITARY SEWER FORCE MAINS ARE TO BE UPGRADICED IN MATERIAL, 10" TO 12" WATER MAIN STANDARDS AND HYDROSTATICALLY PRESSURE TESTED WITH WATER UNDER PRESSURE...
12. LEAKAGE TEST ARE SPECIFIED REQUIRING THAT:
A. THE LEAKAGE EXPARATION ON INFILTRATION DOES NOT EXCEED 20 GALLONS PER HOUR OF EACH DIAMETER PIPE IN 24 HOURS FOR 100' OF PIPE...
B. INFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH AN EXCESSIVE HEAD OF FEET...
C. INFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH AN EXCESSIVE HEAD OF FEET...
13. DEFLECTION TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
14. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
15. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
16. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
17. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
18. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
19. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...
20. TESTING OF SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARD PROCEDURE FOR WASTEWATER FACILITIES...

FORCE MAIN NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR FORCE MAIN CONSTRUCTION...
2. ALL FORCE MAIN CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY I.L.C.C.D.O...
3. PIPE LENGTHS SHOWN IN PROJECT SHALL BE UNIFORM SPACES BETWEEN FITTINGS OF BRANCHED AND MAINS...
4. DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURER...
5. ALL FORCE MAIN SHALL BE 4" ASBEST 5" PVC UNLESS OTHERWISE NOTED...
6. ALL FORCE MAIN SHALL BE 4" ASBEST 5" PVC UNLESS OTHERWISE NOTED...
7. ALL FORCE MAIN SHALL BE 4" ASBEST 5" PVC UNLESS OTHERWISE NOTED...
8. ALL FORCE MAIN SHALL BE 4" ASBEST 5" PVC UNLESS OTHERWISE NOTED...
9. ALL FORCE MAIN SHALL BE 4" ASBEST 5" PVC UNLESS OTHERWISE NOTED...
10. ALL FORCE MAIN SHALL BE 4" ASBEST 5" PVC UNLESS OTHERWISE NOTED...

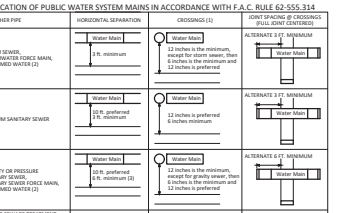


TABLE 2.0 - STORM PIPE COVER (UNPAVED)

Table with 3 columns: PIPE TYPE/USE & SHAPE, COMMERCIAL, NON-COMMERCIAL. Rows include CONCRETE (ROUND & FLUTED), CORRUGATED STEEL (12-24" ROUNDED, 30-48" ROUNDED, etc.), CORRUGATED POLYETHYLENE, and POLYETHYLENE CHLORIDE.

TABLE 3.0 - STORM PIPE COVER (RIGID PAVEMENT)

Table with 3 columns: PIPE TYPE/USE & SHAPE, MINIMUM COVER, MINIMUM COVER. Rows include CONCRETE (ROUND & FLUTED), CORRUGATED STEEL (12-24" ROUNDED, 30-48" ROUNDED, etc.), CORRUGATED POLYETHYLENE, and POLYETHYLENE CHLORIDE.



TABLE 4.0 - STORM PIPE COVER (FLEXIBLE PAVEMENT)

Table with 3 columns: PIPE TYPE/USE & SHAPE, MINIMUM COVER, MINIMUM COVER. Rows include CONCRETE (ROUND & FLUTED), CORRUGATED STEEL (12-24" ROUNDED, 30-48" ROUNDED, etc.), CORRUGATED POLYETHYLENE, and POLYETHYLENE CHLORIDE.



TILLMAN & ASSOCIATES, INC. ENGINEERING & ARCHITECTURE. CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, SURVEILLING. 1720 SEE (6th) Bldg. 100, Ocala, FL 34471. Office: (352) 397-4640 Fax: (352) 397-4945 CENTRAL FLORIDA AUTHORITY, FL 2026

Marion County Approval Stamp

RESOLUTIONS

DRAFT

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK PVT-TOV OCAALA, L.L.C. MARION COUNTY, FLORIDA

GENERAL NOTES

DATE: 05-16-24 DRAWN BY: SJS CHKD BY: CMH JOB NO: 24-2438



Marion County Approval Stamp

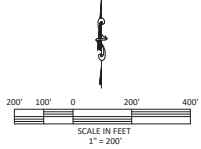
**William & Associates**  
 ENGINEERING, LLC  
 CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 387-4640 Fax: (352) 387-4645  
 CERTIFICATE OF AUTHORIZATION #12296

REVISIONS	DATE

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
 PV-TOW Ocala, LLC  
 MARION COUNTY, FLORIDA

DATE: 05-16-24  
 DRAWN BY: S-15  
 CHKD. BY: CMH  
 JOB NO.: 24-2438

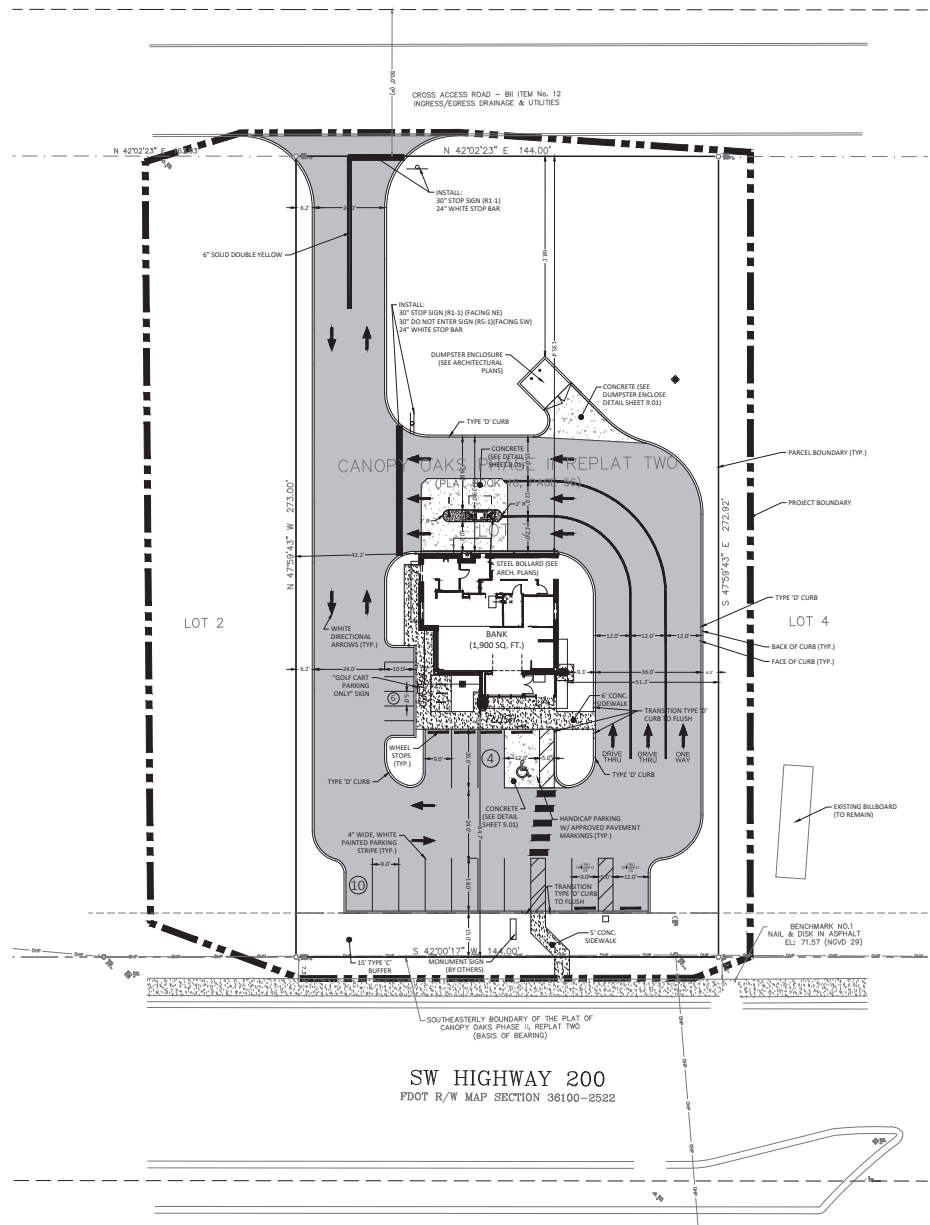
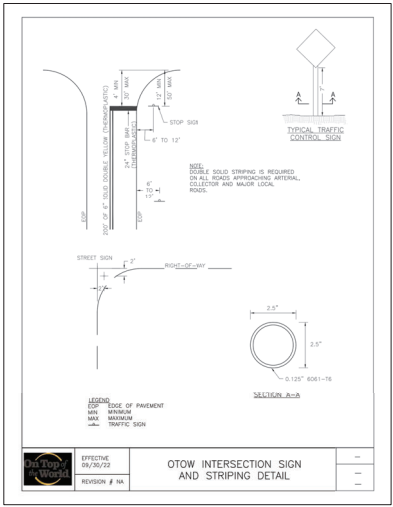
**AERIAL PHOTOGRAPH**



SHT. 03.01



**NOTE:**  
REFER TO WHITESTONE'S REPORT OF GEOTECHNICAL INVESTIGATION FOR PAVEMENT DESIGN



**SITE DATA**  
 PARCEL NUMBER: 3530-1001-03  
 PARCEL AREA: 0.90 AC.  
 PROJECT AREA: 58,157 S.F. (1.34 AC.)  
 ZONING: B-2  
 EXISTING USE: VACANT  
 FUTURE LAND USE: COMMERCIAL  
 PROPOSED USE: COMMERCIAL  
 ELECTRIC BY: DUKE ENERGY  
 POTABLE WATER BY: BAY LAUREL CENTER C.D.D.  
 IRRIGATION BY: BAY LAUREL CENTER C.D.D.  
 FIRE BY: MARION COUNTY FIRE DEPARTMENT  
 SANITARY SEWER BY: BAY LAUREL CENTER C.D.D.  
 TELEPHONE BY: DIGITAL COMMUNICATION MEDIA  
 SOLID WASTE: TO BE DETERMINED (LOCAL FRANCHISE)

**BUILDING HEIGHT:**  
 MAXIMUM HEIGHT = 50'  
 PROPOSED HEIGHT = 18' - 8"  
**BUILDING FLOOR AREA:**  
 PROPOSED BANK SQFT = 1900 SF

(1900 SF / 39204 SF) = 0.0485  
 FLOOR AREA RATIO = 4.85 %

**PARKING REQUIRED:**  
 ACCORDING TO MARION COUNTY LDC, TABLE 6.11-5 (FIDUCIARY INSTITUTIONS)  
 1 SPACE PER 300 SQ. FT. GFA  
 (1900/300) = 6.3 SPACES  
 TOTAL PARKING SPACE REQUIRED = 7 SPACES

**PARKING PROVIDED:**

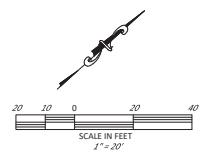
9' x 18' SPACES	= 8 SPACES
9' x 18' EV SPACES	= 2 SPACES
9' x 20' SPACES	= 3 SPACES
12' x 20' HANDICAP SPACES	= 1 SPACE
5' x 10' GOLF CART SPACE	= 6 SPACES
(4 CART SPACES = 1 CAR SPACE)	
<b>TOTAL PROVIDED PARKING</b>	<b>= 15 SPACES</b>

**MINIMUM SETBACK REQUIREMENTS**  
 FRONT: 40'  
 REAR: 25'  
 SIDE: 10'

**PROPOSED IMPERVIOUS AREA**  
 PROPOSED BANK = 1,900 S.F.  
 PROPOSED CURB/ASPHALT/PARKING/SIDEWALK = 21,216 S.F.

**TOTAL PROJECT IMPERVIOUS AREA** = 23,116 S.F. (0.53 AC.)  
**TOTAL ONSITE OPEN SPACE** = 16,088 S.F. (41.0%)  
**REQUIRED OPEN SPACE** = 20%

**NOTES:**  
 1) EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT ANY GLARE ONTO ADJACENT PROPERTIES AND STREETS. DESIGN STANDARDS SHALL BE PER MARION COUNTY CODE REQUIREMENTS, AND SUBMITTED AT TIME OF BUILDING PERMIT.



Marion County Approval Stamp

**Tillman & Associates**  
 ENGINEERING, LLC  
 CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
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 CERTIFICATE OF AUTHORIZATION #22296

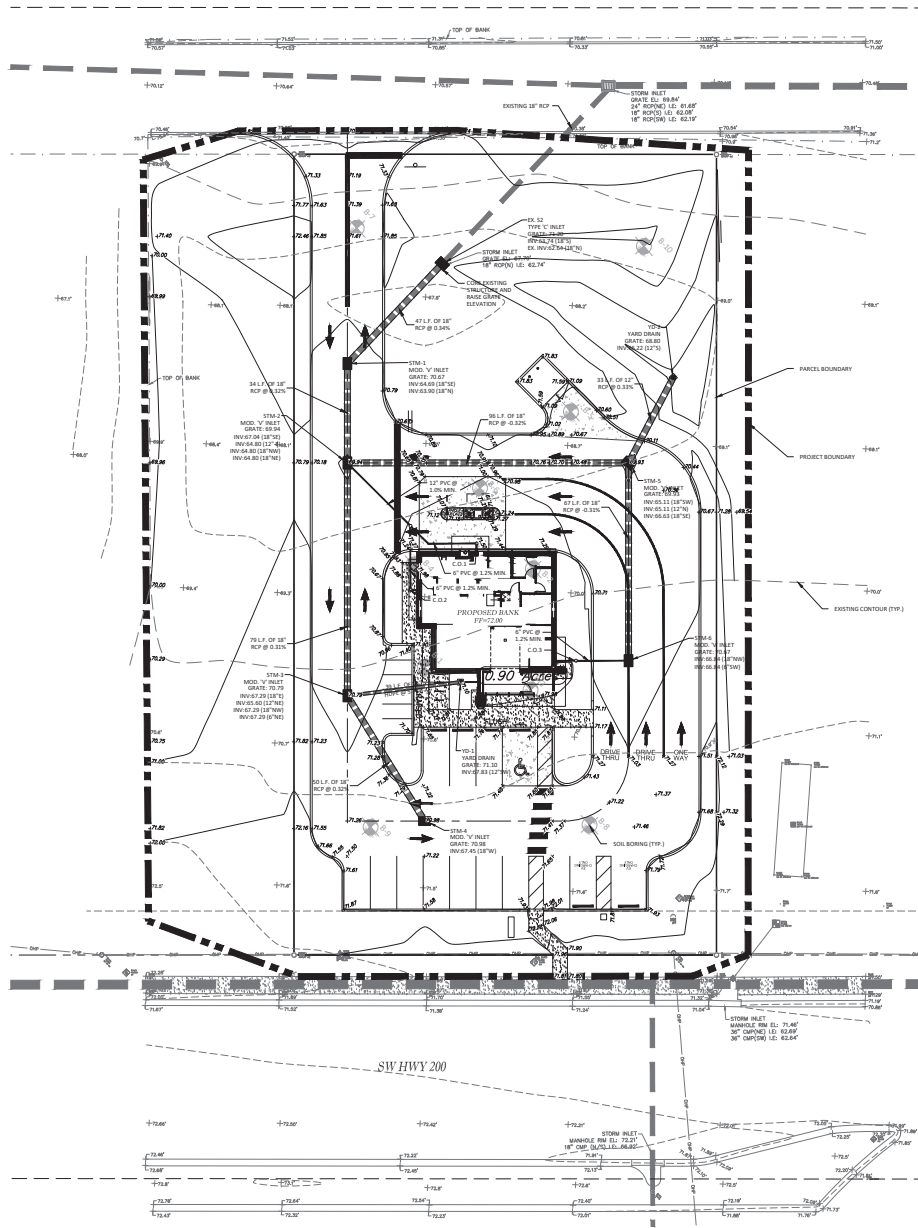
REVISIONS	DATE	DESCRIPTION

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
 PV-TOW Ocala, LLC  
 MARION COUNTY, FLORIDA

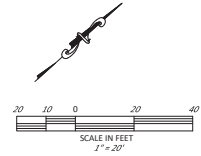
**GEOMETRY PLAN**

DATE: 05/17/24  
 DRAWN BY: SJS  
 CHKD BY: CMH  
 JOB NO. 24-2438

SHT. 04.01



Marion County Approval Stamp



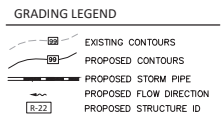
NOTES:  
 1. REFER TO WHITESTONE REPORT OF GEOTECHNICAL INVESTIGATION (DATED OCTOBER 13, 2023) FOR RECOMMENDATION OF OVEREXCAVATION AND REPLACEMENT/RECOMPACTION OF THE UPPER 6' OF VERY LOOSE SANDS ENCOUNTERED WITHIN THE PROPOSED BUILDING AND 5' BEYONDS. SEE SECTION 5.1 OF THE GEOTECHNICAL REPORT.

**William & Associates**  
 ENGINEERING, L.L.C.  
 CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 387-6640 Fax: (352) 387-4645  
 CERTIFICATE OF AUTHORIZATION #22096

NO.	DATE	REVISIONS

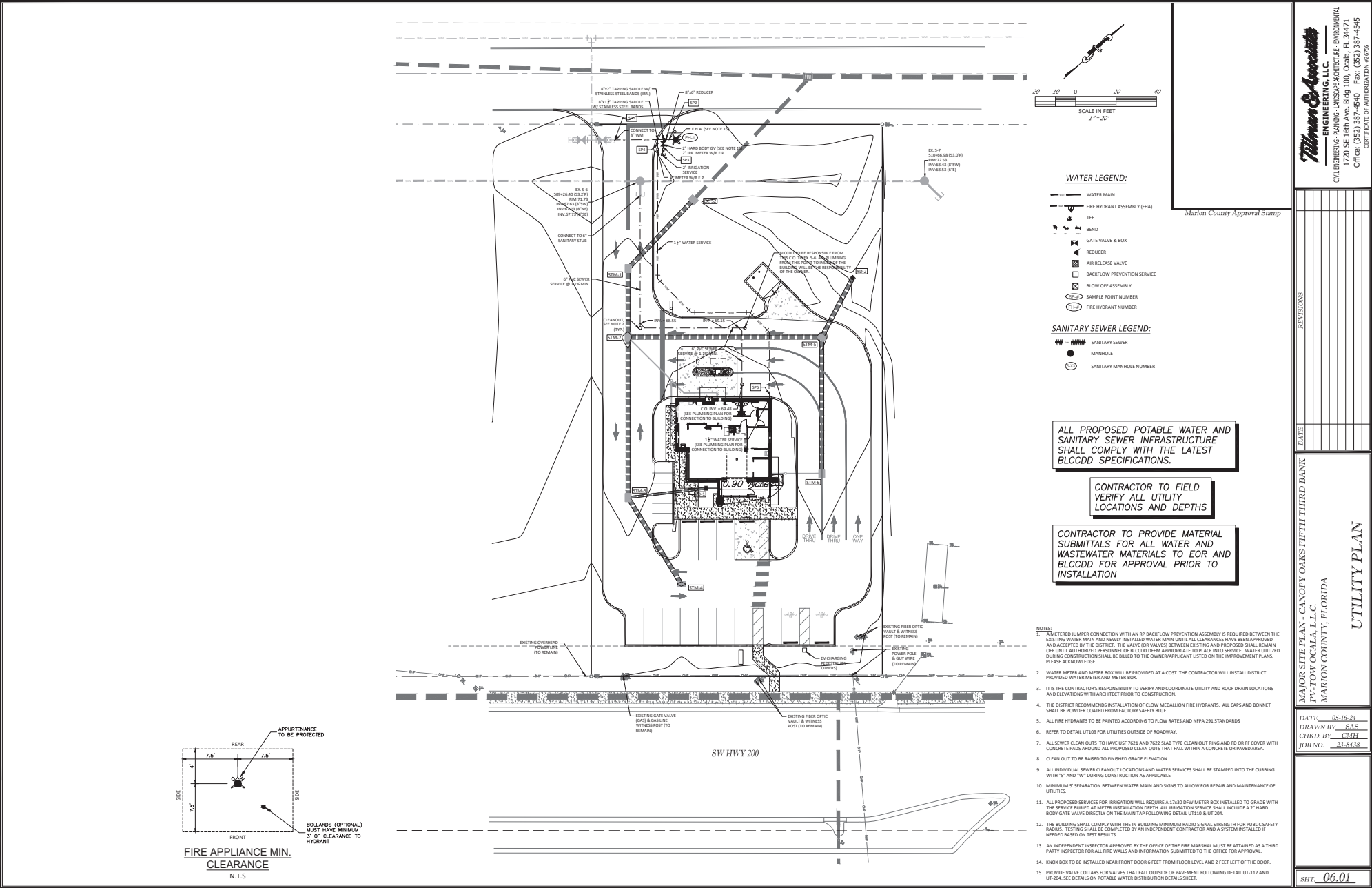
MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
 PV-TOW Ocala, L.L.C.  
 MARION COUNTY, FLORIDA  
**DRAINAGE & GRADING PLAN**

DATE: 05-16-24  
 DRAWN BY: SAS  
 CHKD BY: CMH  
 JOB NO.: 24-2438



SHT. 05.01





**WATER LEGEND:**

- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- GATE VALVE & BOX
- REDUCER
- AIR RELEASE VALVE
- BACKFLOW PREVENTION SERVICE
- BLOW OFF ASSEMBLY
- SAMPLE POINT NUMBER
- FIRE HYDRANT NUMBER

**SANITARY SEWER LEGEND:**

- SANITARY SEWER
- MANHOLE
- SANITARY MANHOLE NUMBER

**ALL PROPOSED POTABLE WATER AND SANITARY SEWER INFRASTRUCTURE SHALL COMPLY WITH THE LATEST BLCDD SPECIFICATIONS.**

**CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATIONS AND DEPTHS**

**CONTRACTOR TO PROVIDE MATERIAL SUBMITTALS FOR ALL WATER AND WASTEWATER MATERIALS TO EOR AND BLCDD FOR APPROVAL PRIOR TO INSTALLATION**

**NOTES**

1. METERED JUMPER CONNECTION WITH AN RP BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE EXISTING WATER MAIN AND NEWLY INSTALLED WATER MAIN UNTIL ALL CLEARANCES HAVE BEEN APPROVED AND ACCEPTED BY THE DISTRICT. THE VALVE (OR VALVES) BETWEEN EXISTING AND PROPOSED SHALL REMAIN ON UNL AUTHORIZED PERSONNEL OR BLCDD SIGN APPROPRIATE TO PLACE INTO SERVICE. WATER UTILIZED DURING CONSTRUCTION SHALL BE BILLED TO THE OWNER/APPLICANT LISTED ON THE IMPROVEMENT PLANS. PLEASE ACKNOWLEDGE.
2. WATER METER AND METER BOX WILL BE PROVIDED AT A COST. THE CONTRACTOR WILL INSTALL DISTRICT PROVIDED WATER METER AND METER BOX.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE UTILITY AND ROOF DRAIN LOCATIONS AND ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
4. THE DISTRICT RECOMMENDS INSTALLATION OF GLOW METALLUM FIRE HYDRANTS. ALL CAPS AND BONNET SHALL BE POWDER COATED FROM FACTORY SAFETY BLUE.
5. ALL FIRE HYDRANTS TO BE PAINTED ACCORDING TO FLOW RATES AND NFPA 251 STANDARDS.
6. REFER TO DETAIL UT508 FOR UTILITIES OUTSIDE OF ROADWAY.
7. ALL SEWER CLEAN OUTS TO HAVE USE 7621 AND 7622 SLAB TYPE CLEAN OUT RING AND FD OR FF COVER WITH CONCRETE RINGS AROUND ALL PROPOSED CLEAN OUTS THAT FALL WITHIN A CONCRETE OR PAVED AREA.
8. CLEAN OUTS TO BE RAGED TO FINISHED GRADE ELEVATION.
9. ALL INDIVIDUAL SEWER CLEANOUT LOCATIONS AND WATER SERVICES SHALL BE STAMPED INTO THE CURBING WITH "S" AND "W" DURING CONSTRUCTION AS APPLICABLE.
10. MINIMUM 5' SEPARATION BETWEEN WATER MAIN AND SIGNS TO ALLOW FOR REPAIR AND MAINTENANCE OF UTILITIES.
11. ALL PROPOSED SERVICES FOR IRRIGATION WILL REQUIRE A 17x30 DPW METER BOX INSTALLED TO GRADE WITH THE SERVICE BURIED AT METER INSTALLATION DEPTH. ALL IRRIGATION SERVICES SHALL INCLUDE A 2" HARD BODY GATE VALVE DIRECTLY ON THE MAIN TAP FOLLOWING DETAIL UT10 & UT 204.
12. THE BUILDING SHALL COMPLY WITH THE IN-BUILDING MINIMUM RADIO SIGNAL STRENGTH FOR PUBLIC SAFETY RADIOS. TESTING SHALL BE COMPLETED BY AN INDEPENDENT CONTRACTOR AND A SYSTEM INSTALLED IF NEEDED BASED ON TEST RESULTS.
13. AN INDEPENDENT INSPECTOR APPROVED BY THE OFFICE OF THE FIRE MARSHAL MUST BE ATTAINED AS A THIRD PARTY INSPECTOR FOR ALL FIRE WALLS AND INFORMATION SUBMITTED TO THE OFFICE FOR APPROVAL.
14. KNOX BOX TO BE INSTALLED NEAR FRONT DOOR 6 FEET FROM FLOOR LEVEL AND 2 FEET LEFT OF THE DOOR.
15. PROVIDE VALVE COLLARS FOR VALVES THAT FALL OUTSIDE OF PAVEMENT FOLLOWING DETAIL UT-112 AND UT 204. SEE DETAILS ON POTABLE WATER DISTRIBUTION DETAILS SHEET.

**Thommen & Associates**  
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 Office: (352) 387-6540 Fax: (352) 387-4845  
 CERTIFICATE OF AUTHORIZATION #22296

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DATE

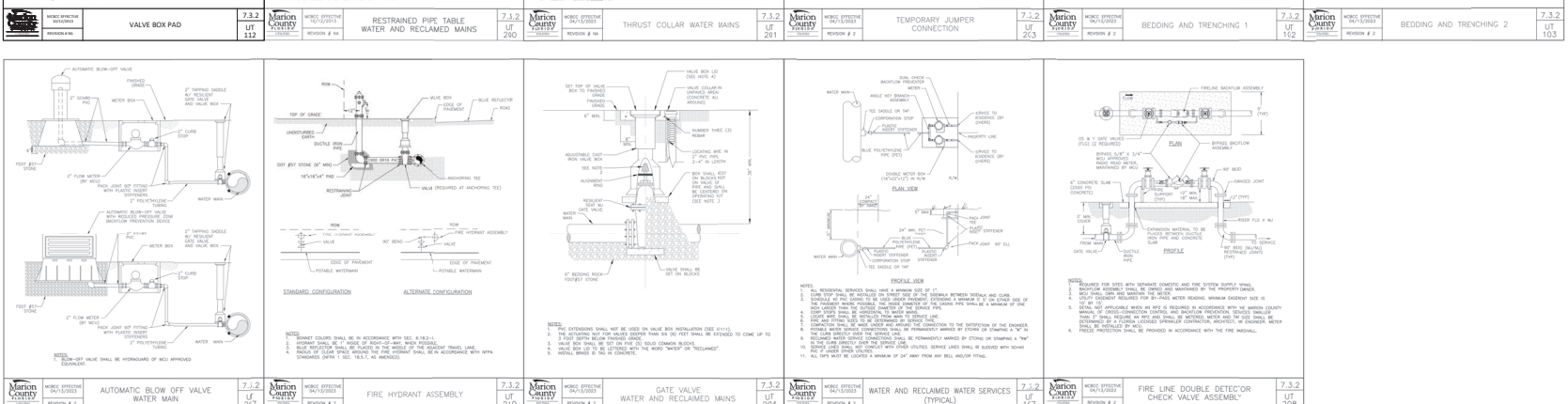
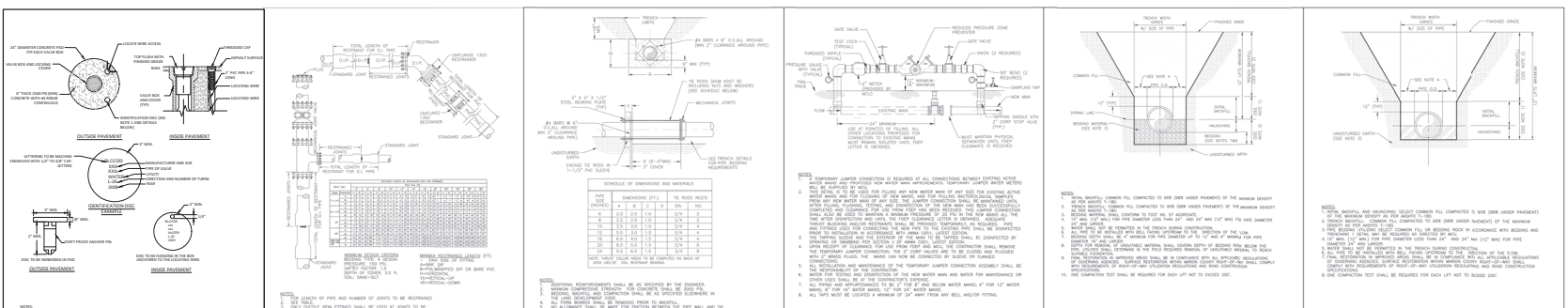
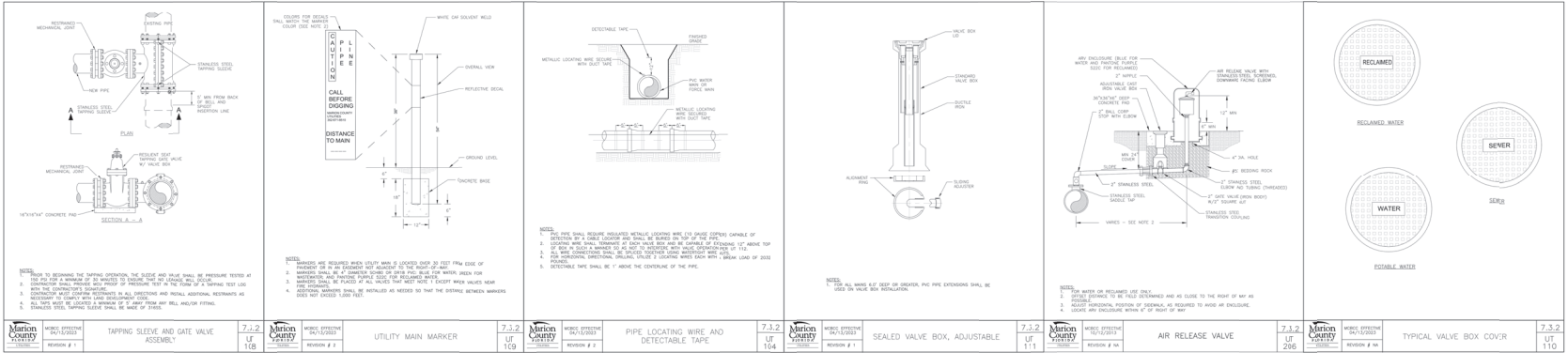
MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
 PVTOW Ocala, LLC  
 MARION COUNTY, FLORIDA

DATE: 05-16-24  
 DRAWN BY: SJS  
 CHKD. BY: CMH  
 JOB NO. 24-8438

UTILITY PLAN

SHT. 06.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



**William & Associates**  
ENGINEERS LLC  
CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4640 Fax: (352) 387-4645  
CERTIFICATE OF AUTHORIZATION #12266

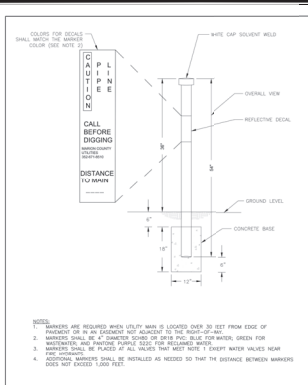
Marion County Approval Stamp

NO.	DATE	REVISIONS

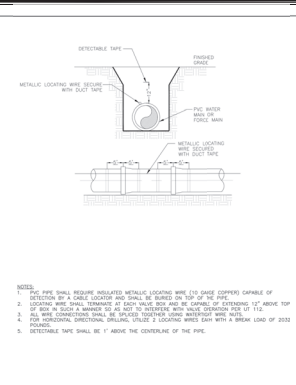
MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
P.V. TOWN Ocala, LLC  
MARION COUNTY, FLORIDA  
**POTABLE WATER**  
DISTRIBUTION DETAILS  
DATE: 05-16-24  
DRAWN BY: SJS  
CHKD BY: CMH  
JOB NO.: 24-8438

SHT. 07.01

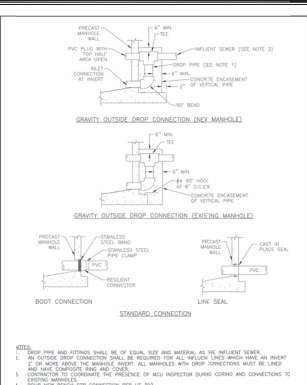
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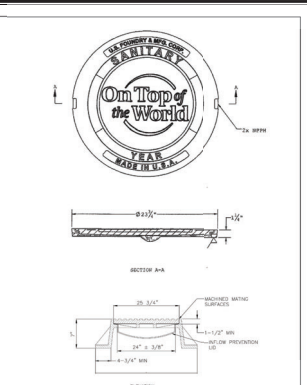
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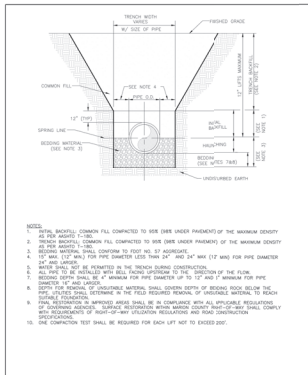
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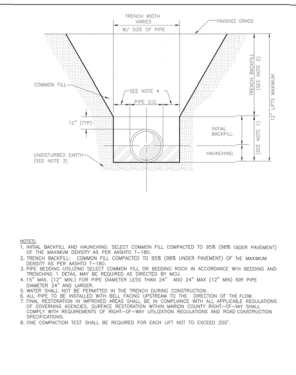
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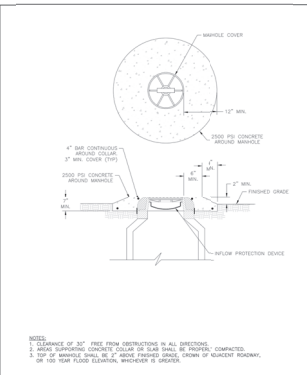
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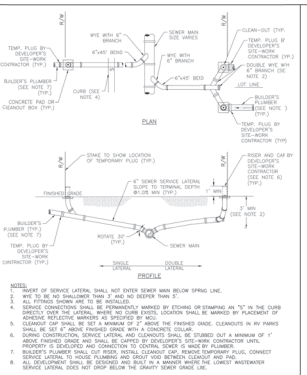
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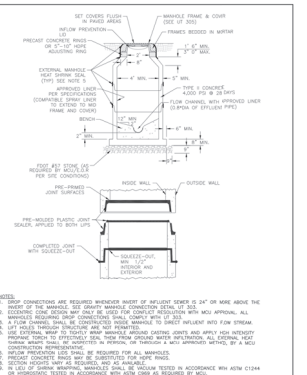
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Marion County FLORIDA	MSDC EFFECTIVE 06/15/2023	7.2.2 LF 11.2	Marion County FLORIDA	MSDC EFFECTIVE 06/15/2023	7.3.2 LF 10.3	Marion County FLORIDA	MSDC EFFECTIVE 06/15/2023	7.3.2 LF 309	Marion County FLORIDA	MSDC EFFECTIVE 06/15/2023	7.3.2 LF 309	Marion County FLORIDA	MSDC EFFECTIVE 06/15/2023	7.2.2 LF 3.2	Marion County FLORIDA	MSDC EFFECTIVE 06/15/2023	7.3.2 LF 306
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	REVISION # 2			BEDDING AND TRENCHING 1			REVISION # 2			BEDDING AND TRENCHING 2			REVISION # 1			MANHOLE IN NON PAVED AREA	

**William & Associates**  
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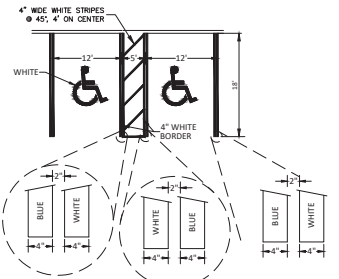
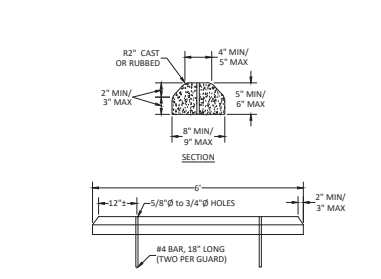
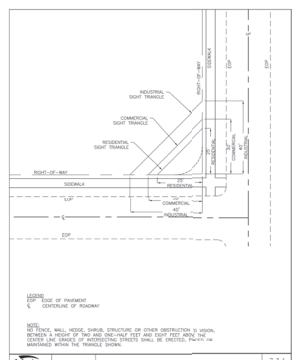
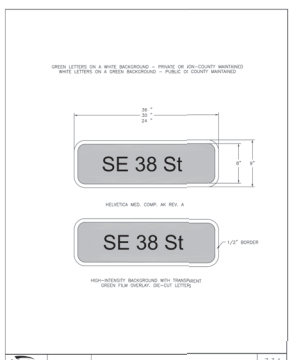
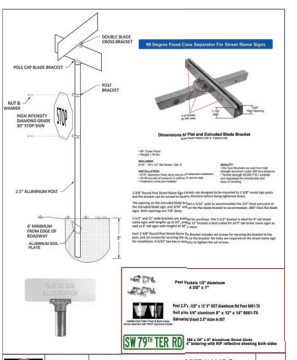
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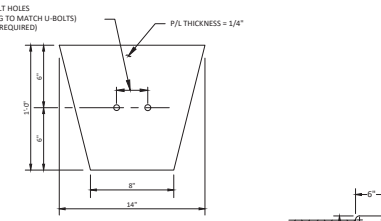
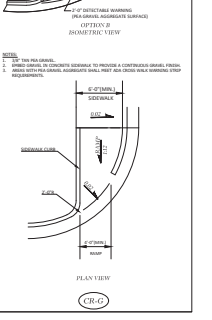
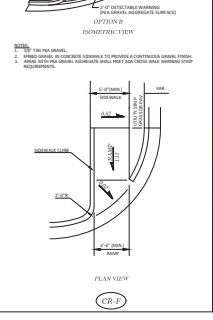
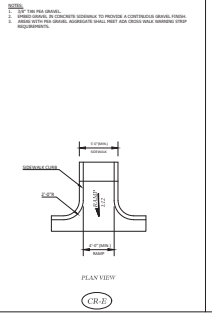
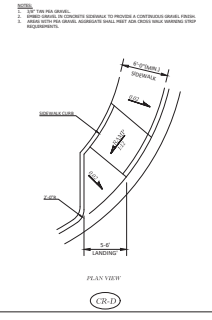
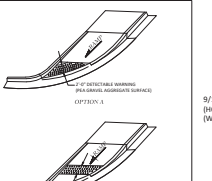
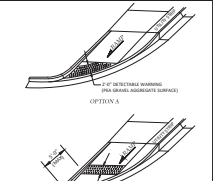
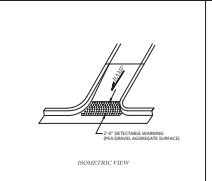
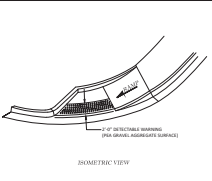
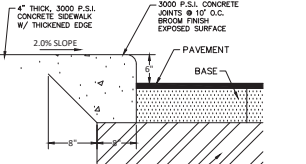
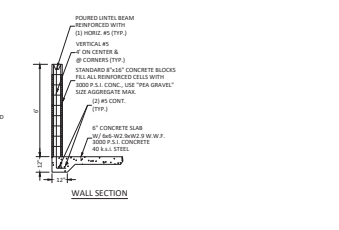
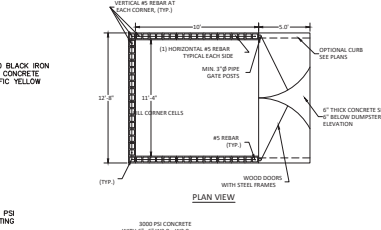
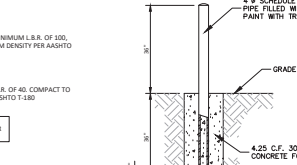
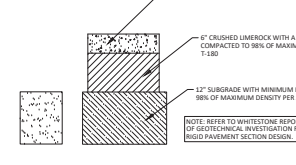
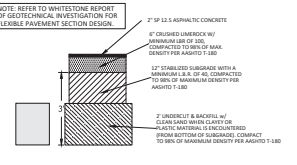
MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
PVT-OTOW Ocala, LLC  
MARION COUNTY, FLORIDA  
**SANITARY SEWER**  
DETAILS

DATE: 05-16-24  
DRAWN BY: SJS  
CHKD BY: CMH  
JOB NO.: 24-8438

SHT. 08.01



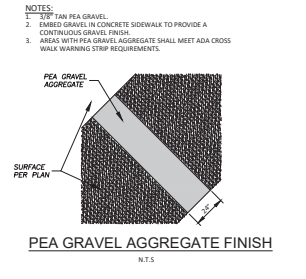
Marion County Approval Stamp



**NOTES:**

1. ALIGN SOIL PLATE BOTTOM AT 2/3 OF FOUNDATION DEPTH.
2. SLOT UP TO 1\"/>

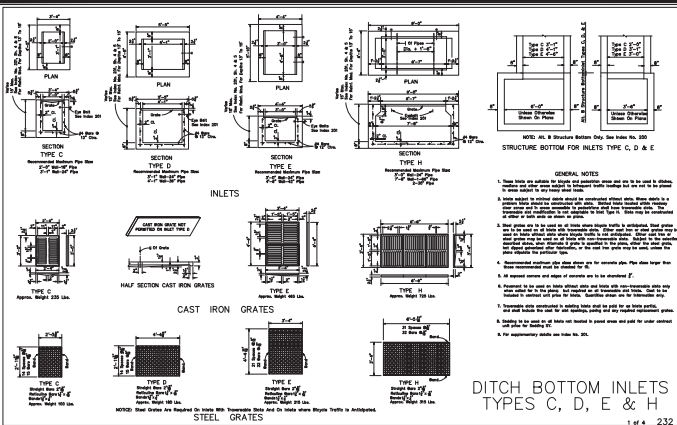
**"ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE."**



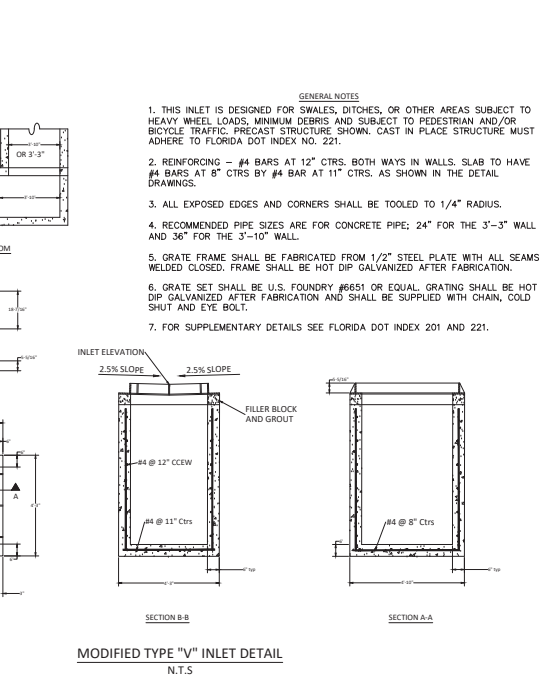
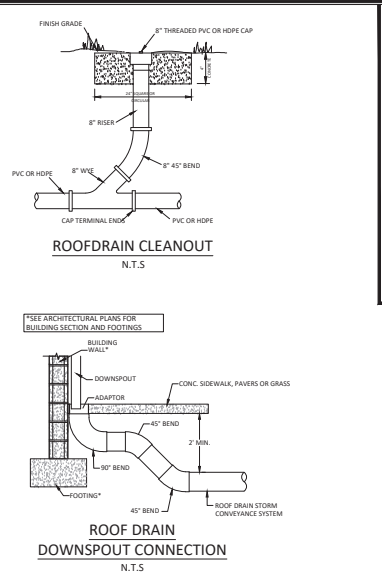
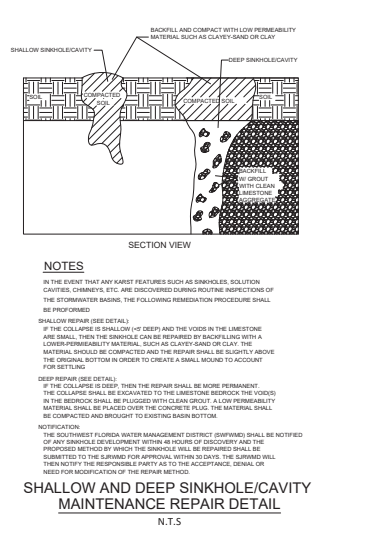
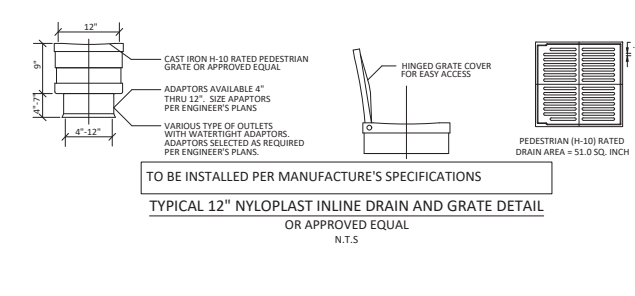
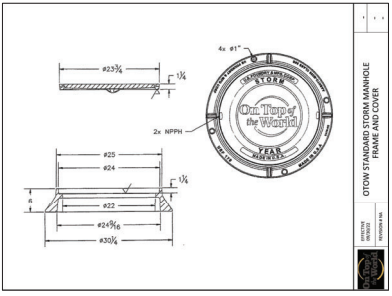
DATE	REVISONS

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
 PV-TOW Ocala, LLC  
 MARION COUNTY, FLORIDA  
**ROADWAY AND PAVEMENT DETAILS**

DATE: 05-16-24  
 DRAWN BY: SJJ  
 CHECKED BY: CCH  
 JOB NO.: 23-5438  
 SHEET: 09.01



PIPE SIZE (IN)	LENGTH (FEET)	QUANTITY	UNIT PRICE (\$)	TOTAL (\$)	REMARKS
18"	100	1	100.00	100.00	SEE PLAN
24"	100	1	100.00	100.00	SEE PLAN
30"	100	1	100.00	100.00	SEE PLAN
36"	100	1	100.00	100.00	SEE PLAN
42"	100	1	100.00	100.00	SEE PLAN
48"	100	1	100.00	100.00	SEE PLAN
54"	100	1	100.00	100.00	SEE PLAN
60"	100	1	100.00	100.00	SEE PLAN
66"	100	1	100.00	100.00	SEE PLAN
72"	100	1	100.00	100.00	SEE PLAN
78"	100	1	100.00	100.00	SEE PLAN
84"	100	1	100.00	100.00	SEE PLAN
90"	100	1	100.00	100.00	SEE PLAN
96"	100	1	100.00	100.00	SEE PLAN
102"	100	1	100.00	100.00	SEE PLAN
108"	100	1	100.00	100.00	SEE PLAN
114"	100	1	100.00	100.00	SEE PLAN
120"	100	1	100.00	100.00	SEE PLAN



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Marion County Approval Stamp

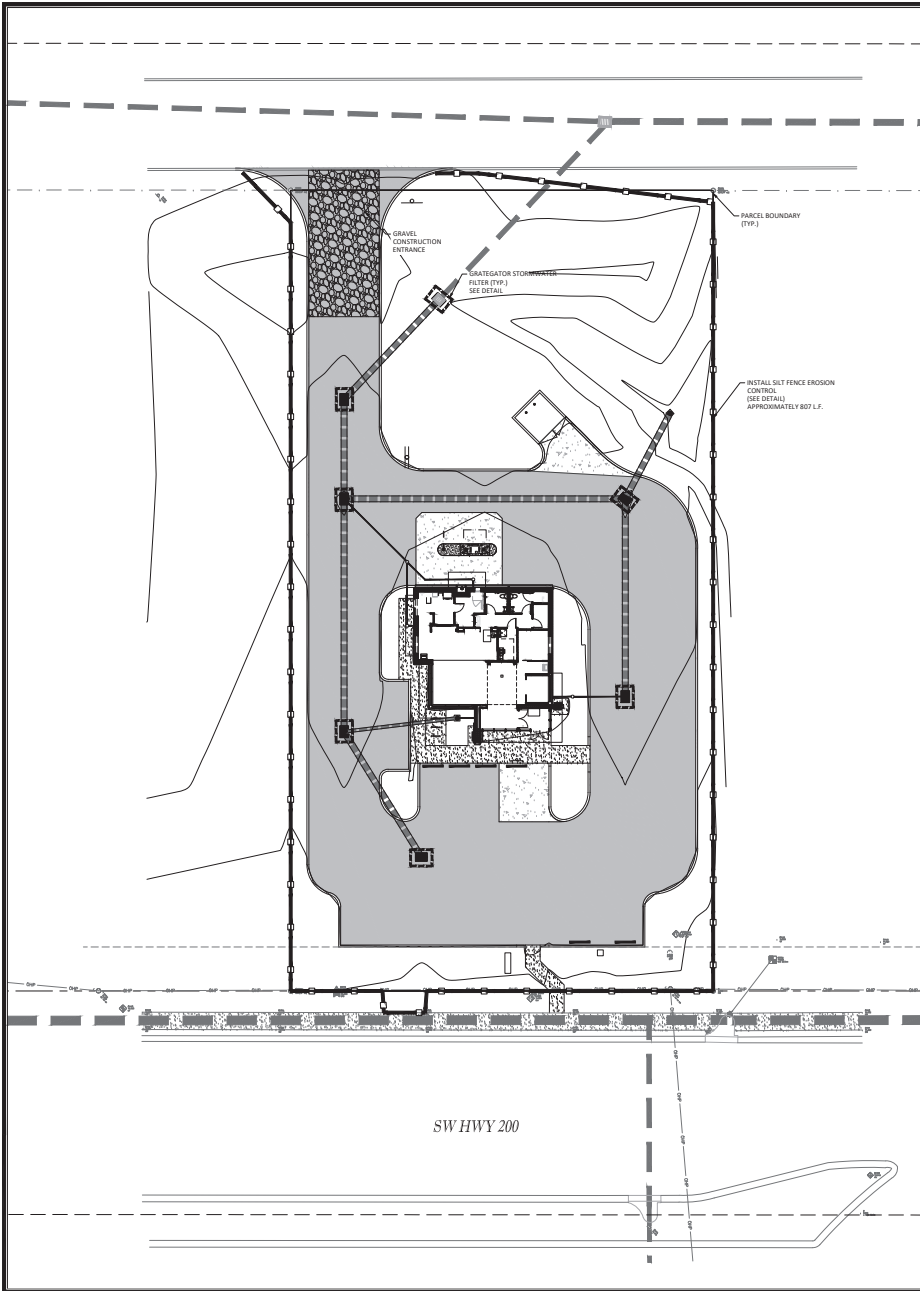
NO.	DATE	REVISIONS

**Tillman & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4640 Fax: (352) 387-4645  
CERTIFICATE OF AUTHORIZATION #22096

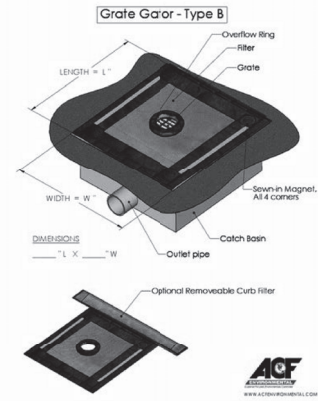
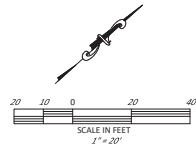
MAJOR/SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
PVC-TOW Ocala, LLC  
MARION COUNTY, FLORIDA

DATE: 05-16-24  
DRAWN BY: SJS  
CHKD BY: CMH  
JOB NO.: 24-8438

DRAINAGE DETAILS  
SHEET 10.01



- NOTES:**
1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
  2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREA ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPLOUSE AREA HAS BEEN STABILIZED BY SOO, OR COMPLETED AS DETERMINED BY THE ENGINEER.
  3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
  4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENT IN USE OF PERMANENT MEASURES.
  5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
  6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
  7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
  8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
  9. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE GRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
  10. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (L.F.).
  11. ALL INLETS TO BE PROTECTED BY DETAILS AS OUTLINED IN F.D.O.T. 2008 INDEX NO. 102



Marion County Approval Stamp

**William & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4640 Fax: (352) 387-4645  
CERTIFICATE OF AUTHORIZATION #22296

REVISIONS

NO.	DATE	DESCRIPTION

STATE OF FLORIDA EROSION CONTROL DESIGNER & REVIEWER MANUAL, LATEST EDITION: JULY 2013

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
P/C-TOW Ocala, LLC  
MARION COUNTY, FLORIDA

**EROSION CONTROL DETAILS**

DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

DRAWN BY: SAS  
CHKD BY: CMH  
JOB NO. 24-8438

RESIDENTIAL AND COMMERCIAL TYPICAL DETAILS PAGE 2

SW HWY 200

**ROCK BARRIER GUTTER STRUCTURE FOR CULVERTS**

**SILT FENCE BARRIER INSTALLATION**

**CURB AND GUTTER SEDIMENT CONTAINMENT SYSTEM**

**SOIL TRACKING PREVENTION DEVICE**

**INSTALLING A DISTURBED SLOPE RECIP**

**INSPECTION REQUIREMENTS FOR ALL INSTALLED BMPs**

1. AT LEAST ONCE EVERY 7 DAYS, INSPECT AND REPAIR ANY DAMAGE FOUND.  
2. REPAIR TO MEET THE INSTALLATION DETAILS OF EACH DEVICE OR SOO. INSPECT AND REPAIR ANY DAMAGE FOUND.

DEPOSITION ZONE

DEPOSITION RATE (INCHES PER HOUR)	SPACING (FEET)
0.5	10
1.0	20
2.0	40
4.0	80
8.0	160

Marion County Approval Stamp

WHITESTONE RECORD OF SUBSURFACE EXPLORATION <span style="float:right">Boring No. 01, Page 1 of 1</span>									
Project: [Blank] Date: [Blank] Well: [Blank] Station: [Blank] Depth: [Blank] Well Type: [Blank]									
SAMPLER INFORMATION		DEPTH		STRATA		DESCRIPTION OF MATERIALS (Classification)		REMARKS	
Sample No.	Well No.	Depth (ft)	Blow Count	Log No.	Soil Type	Color	Moisture	Grain Size	Notes
1.0	1.0	0.0 - 1.0	10		CL				Top Soil
1.1	1.0	1.0 - 2.0	15		CL				Top Soil
1.2	1.0	2.0 - 3.0	20		CL				Top Soil
1.3	1.0	3.0 - 4.0	25		CL				Top Soil
1.4	1.0	4.0 - 5.0	30		CL				Top Soil
1.5	1.0	5.0 - 6.0	35		CL				Top Soil
1.6	1.0	6.0 - 7.0	40		CL				Top Soil
1.7	1.0	7.0 - 8.0	45		CL				Top Soil
1.8	1.0	8.0 - 9.0	50		CL				Top Soil
1.9	1.0	9.0 - 10.0	55		CL				Top Soil
2.0	1.0	10.0 - 11.0	60		CL				Top Soil
2.1	1.0	11.0 - 12.0	65		CL				Top Soil
2.2	1.0	12.0 - 13.0	70		CL				Top Soil
2.3	1.0	13.0 - 14.0	75		CL				Top Soil
2.4	1.0	14.0 - 15.0	80		CL				Top Soil
2.5	1.0	15.0 - 16.0	85		CL				Top Soil
2.6	1.0	16.0 - 17.0	90		CL				Top Soil
2.7	1.0	17.0 - 18.0	95		CL				Top Soil
2.8	1.0	18.0 - 19.0	100		CL				Top Soil
2.9	1.0	19.0 - 20.0	105		CL				Top Soil
3.0	1.0	20.0 - 21.0	110		CL				Top Soil
3.1	1.0	21.0 - 22.0	115		CL				Top Soil
3.2	1.0	22.0 - 23.0	120		CL				Top Soil
3.3	1.0	23.0 - 24.0	125		CL				Top Soil
3.4	1.0	24.0 - 25.0	130		CL				Top Soil
3.5	1.0	25.0 - 26.0	135		CL				Top Soil
3.6	1.0	26.0 - 27.0	140		CL				Top Soil
3.7	1.0	27.0 - 28.0	145		CL				Top Soil
3.8	1.0	28.0 - 29.0	150		CL				Top Soil
3.9	1.0	29.0 - 30.0	155		CL				Top Soil
4.0	1.0	30.0 - 31.0	160		CL				Top Soil
4.1	1.0	31.0 - 32.0	165		CL				Top Soil
4.2	1.0	32.0 - 33.0	170		CL				Top Soil
4.3	1.0	33.0 - 34.0	175		CL				Top Soil
4.4	1.0	34.0 - 35.0	180		CL				Top Soil
4.5	1.0	35.0 - 36.0	185		CL				Top Soil
4.6	1.0	36.0 - 37.0	190		CL				Top Soil
4.7	1.0	37.0 - 38.0	195		CL				Top Soil
4.8	1.0	38.0 - 39.0	200		CL				Top Soil
4.9	1.0	39.0 - 40.0	205		CL				Top Soil
5.0	1.0	40.0 - 41.0	210		CL				Top Soil
5.1	1.0	41.0 - 42.0	215		CL				Top Soil
5.2	1.0	42.0 - 43.0	220		CL				Top Soil
5.3	1.0	43.0 - 44.0	225		CL				Top Soil
5.4	1.0	44.0 - 45.0	230		CL				Top Soil
5.5	1.0	45.0 - 46.0	235		CL				Top Soil
5.6	1.0	46.0 - 47.0	240		CL				Top Soil
5.7	1.0	47.0 - 48.0	245		CL				Top Soil
5.8	1.0	48.0 - 49.0	250		CL				Top Soil
5.9	1.0	49.0 - 50.0	255		CL				Top Soil
6.0	1.0	50.0 - 51.0	260		CL				Top Soil
6.1	1.0	51.0 - 52.0	265		CL				Top Soil
6.2	1.0	52.0 - 53.0	270		CL				Top Soil
6.3	1.0	53.0 - 54.0	275		CL				Top Soil
6.4	1.0	54.0 - 55.0	280		CL				Top Soil
6.5	1.0	55.0 - 56.0	285		CL				Top Soil
6.6	1.0	56.0 - 57.0	290		CL				Top Soil
6.7	1.0	57.0 - 58.0	295		CL				Top Soil
6.8	1.0	58.0 - 59.0	300		CL				Top Soil
6.9	1.0	59.0 - 60.0	305		CL				Top Soil
7.0	1.0	60.0 - 61.0	310		CL				Top Soil
7.1	1.0	61.0 - 62.0	315		CL				Top Soil
7.2	1.0	62.0 - 63.0	320		CL				Top Soil
7.3	1.0	63.0 - 64.0	325		CL				Top Soil
7.4	1.0	64.0 - 65.0	330		CL				Top Soil
7.5	1.0	65.0 - 66.0	335		CL				Top Soil
7.6	1.0	66.0 - 67.0	340		CL				Top Soil
7.7	1.0	67.0 - 68.0	345		CL				Top Soil
7.8	1.0	68.0 - 69.0	350		CL				Top Soil
7.9	1.0	69.0 - 70.0	355		CL				Top Soil
8.0	1.0	70.0 - 71.0	360		CL				Top Soil
8.1	1.0	71.0 - 72.0	365		CL				Top Soil
8.2	1.0	72.0 - 73.0	370		CL				Top Soil
8.3	1.0	73.0 - 74.0	375		CL				Top Soil
8.4	1.0	74.0 - 75.0	380		CL				Top Soil
8.5	1.0	75.0 - 76.0	385		CL				Top Soil
8.6	1.0	76.0 - 77.0	390		CL				Top Soil
8.7	1.0	77.0 - 78.0	395		CL				Top Soil
8.8	1.0	78.0 - 79.0	400		CL				Top Soil
8.9	1.0	79.0 - 80.0	405		CL				Top Soil
9.0	1.0	80.0 - 81.0	410		CL				Top Soil
9.1	1.0	81.0 - 82.0	415		CL				Top Soil
9.2	1.0	82.0 - 83.0	420		CL				Top Soil
9.3	1.0	83.0 - 84.0	425		CL				Top Soil
9.4	1.0	84.0 - 85.0	430		CL				Top Soil
9.5	1.0	85.0 - 86.0	435		CL				Top Soil
9.6	1.0	86.0 - 87.0	440		CL				Top Soil
9.7	1.0	87.0 - 88.0	445		CL				Top Soil
9.8	1.0	88.0 - 89.0	450		CL				Top Soil
9.9	1.0	89.0 - 90.0	455		CL				Top Soil
10.0	1.0	90.0 - 91.0	460		CL				Top Soil
10.1	1.0	91.0 - 92.0	465		CL				Top Soil
10.2	1.0	92.0 - 93.0	470		CL				Top Soil
10.3	1.0	93.0 - 94.0	475		CL				Top Soil
10.4	1.0	94.0 - 95.0	480		CL				Top Soil
10.5	1.0	95.0 - 96.0	485		CL				Top Soil
10.6	1.0	96.0 - 97.0	490		CL				Top Soil
10.7	1.0	97.0 - 98.0	495		CL				Top Soil
10.8	1.0	98.0 - 99.0	500		CL				Top Soil
10.9	1.0	99.0 - 100.0	505		CL				Top Soil

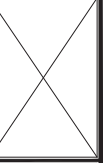
REVISIONS

DATE

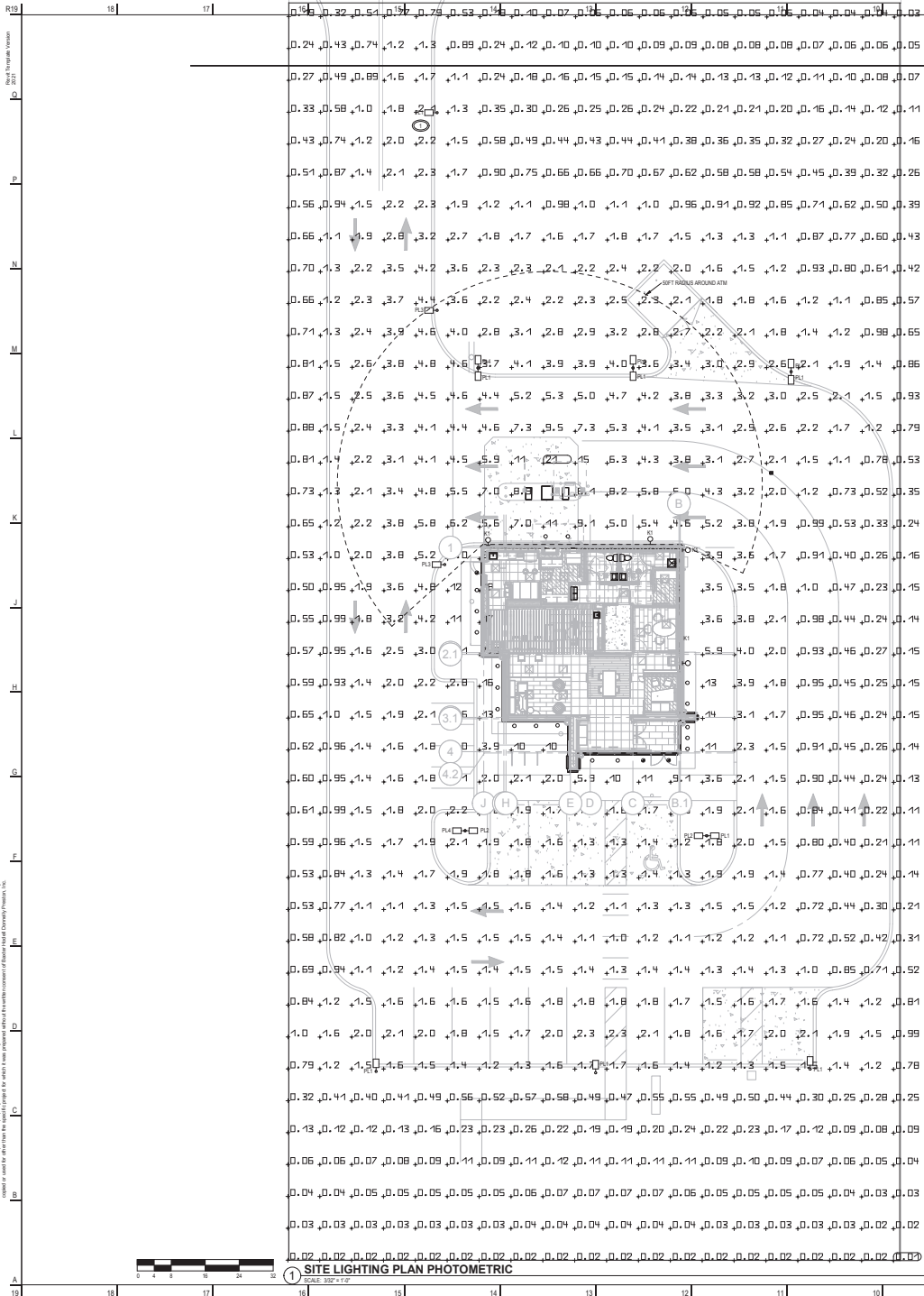
MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK PVI-TOW Ocala, LLC MARION COUNTY, FLORIDA

BORING LOGS

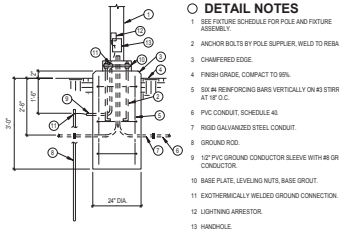
DATE: 05-16-24  
DRAWN BY: SAS  
CHKD. BY: CMH  
JOB NO.: 24-2438



SH. BL.01



① SITE LIGHTING PLAN PHOTOMETRIC



② POLE BASE  
SCALE NONE

○ DETAIL NOTES

- 1 SEE FIXTURE SCHEDULE FOR POLE AND FIXTURE ASSEMBLY
- 2 ANCHOR BOLTS BY POLE SUPPLIER, WELD TO REBARS
- 3 CHAMFERED EDGE
- 4 FRESH GRADE, COMPACT TO 95%
- 5 SIX (6) REINFORCING BARS VERTICALLY ON 48" STIRRUPS AT 18" OC
- 6 PVC CONDUIT, SCHEDULE 40
- 7 RIGID GALVANNEUM STEEL CONDUIT
- 8 GROUND ROD
- 9 1/2" PVC GROUND CONDUCTOR SLEEVE WITH #4 GROUND CONDUCTOR
- 10 BASE PLATE, LEVELING NUTS, BASE GROUT
- 11 EXOTHERMICALLY WELDED GROUND CONNECTION
- 12 LIGHTNING ARRESTOR
- 13 HANDHOLE

**GENERAL NOTES**

- A. ALL FIXTURES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 8' FROM ALL OTHER UNDERGROUND UTILITIES INCLUDING LIGHT POLES AND A VERTICAL SEPARATION OF AT LEAST 18" INCLUDING FOOTERS
- B. PLSUD PROJECT NUMBER IS 11-034-10E

LUMINAIRES

NOTES:  
1) OVERALL FIXTURE HEIGHT IS 29FT. WITH 2" CONCRETE BASE AND POLE HEIGHT

MARK	QTY	LED (W)	DIMENSIONS (LxWxH)	COLOR	LOAD (W)	FIXTURE VOLTAGE	MANUFACTURER	CATALOG NO.	DESCRIPTION	OTHER ACCEPTABLE MANUFACTURERS	MOUNTING		SIZE		SEE NOTE
											DIFFUSING MEDIA	MANUFACTURERS	WIDTH	DEPTH	
PL1	X	3000	400K	21	120	0E CURRENT	EVOLVE/SHROUD/NO/ST/PL/CC	LED WALL PACK	NONE	NONE	TYPE 2	12"	12"	26"	1
PL2	X	3000	400K	23	208	0E CURRENT	EVAL/S/S/2/0/2/AN/740.X1.XX.CC.HA	LED POLE LIGHT	NONE	NONE	TYPE 2	24"	10"	47"	1
PL3	X	5100	400K	38	208	0E CURRENT	EVAL/S/S/2/0/2/AN/740.X1.XX.CC.HA	LED POLE LIGHT	NONE	NONE	TYPE 2	24"	10"	47"	1
PL4	X	5100	400K	38	208	0E CURRENT	EVAL/S/S/2/0/2/AN/740.X1.XX.CC.HA	LED POLE LIGHT	NONE	NONE	TYPE 3	24"	10"	47"	1

**EVOLVE**  
LED Area Light Compact Low Wattage

**Customer Information:**  
CUSTOMER NAME: \_\_\_\_\_  
PROJECT NAME: \_\_\_\_\_ TYPE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
CONSULT NUMBER: \_\_\_\_\_

**EACL Series**  
LED Area Light Compact Low Wattage  
Current's EACL Series of Area Light Luminaires offer a wide range of control patterns, color temperatures, lumen packages, and mounting configurations to optimize area light applications, as well as provide versatility in lighting design within the same form factor.

Construction		Lumen Maintenance	
Housing: Die-cast aluminum housing with integral heat sink for maximum heat transfer	Construction: Impact resistant polycarbonate powder paint, minimum 20 mil thickness	Projected Lxw per E85 TM-24 at 20°C	LUMEN DEGRADATION @ 6000HRS
Paint: Standard: Black, Dark Bronze, Gray, White, RAL & custom colors available	Weight: 8.5 lbs (3.9 kg) Max depending on configuration	A2, A3, A4, B2, B3, B4, C2, C3, C4, D2, D3, D4, E2, E3, E4, F2, F3, F4, G2, G3, H2, H3, H4, I2, I3, I4	LM79: 100, 80, 60, 40, 20, 10, 5, 3, 2, 1, 0.5, 0.25, 0.1, 0.05

Optical System		Luminaire Ambient Temperature Factor	
Lumens: 12500 - 35000	Distribution: Asymmetric Forward Type IV, Asymmetric Wide Spot II, Asymmetric Reverse/Auto Type I	EMTFC1	EMTFC2
Efficacy: 142 lm/W	CRI: 90/90, 80/80, 50/50	10, 100, 30, 50, 500	10, 100, 30, 50, 500
CR: 270		25, 100, 50, 90, 90*	25, 100, 50, 90, 90*

Electrical		Ratings	
Input Voltage: 120-277V & 347-480V	Input Frequency: 50/60Hz	Operating Temperature: -40°C to 50°C	Vibration: 35 vibration per ANSI C62.49-2008
Power Factor: > 90% at rated watts	Total Harmonic Distortion: < 20% at rated watts	LM-79: Testing in accordance with E85A Standards	

Surge Protection		Controls	
EMMBus	NON-EMMBus	Dimming: Standard - 0-10V, Optional - DALI (option L3), LightStar™ and Dimmer Compatible	Sensors: Photo Electric Sensor (PES) available, LightStar™ and Dimmer Compatible
Warranty: 5 Year (Standard)		Emergency Battery Backup: Provides emergency operations when there is a loss to normal power, supported by independent Secondary Battery and BCB Board. Powers luminaires for a minimum of 90 minutes @ 100% lumens. Available on all 4" and 6" Compact Packages only. Operating Temperature (EMBS models): 0°C to 40°C (32°F/104°F surge protection by EMBS models).	

**EVOLVE**  
LED Wall Pack

**Customer Information:**  
CUSTOMER NAME: \_\_\_\_\_  
PROJECT NAME: \_\_\_\_\_ TYPE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
CONSULT NUMBER: \_\_\_\_\_

**EWAS Series**  
LED Wall Pack  
The E85 LED Series Wall Pack (EMWS) offers Type II and IV optical patterns with lumen values ranging from 3000 to 17500 lumens, and is a designed retrofit for 50W to 400W HD including an optional Emergency Battery Backup.

Construction		Lumen Maintenance	
Housing: Aluminum die cast enclosure	Construction: Impact resistant tempered glass	Projected Lxw per E85 TM-24 at 20°C	LUMEN DEGRADATION @ 6000HRS
Paint: Construction resistant polyester powder paint, minimum 20 mil thickness	Weight: 8.5 lbs	A2, A3, A4, B2, B3, B4, C2, C3, C4, D2, D3, D4, E2, E3, E4, F2, F3, F4, G2, G3, H2, H3, H4, I2, I3, I4	LM79: 100, 80, 60, 40, 20, 10, 5, 3, 2, 1, 0.5, 0.25, 0.1, 0.05

Optical System		Luminaire Ambient Temperature Factor	
Lumens: 3000 - 17500	Distribution: Type II & IV	EMTFC1	EMTFC2
Efficacy: 142 lm/W	CRI: 90/90, 80/80, 50/50	10, 100, 30, 50, 500	10, 100, 30, 50, 500
CR: 270		25, 100, 50, 90, 90*	25, 100, 50, 90, 90*

Electrical		Ratings	
Input Voltage: 120-277V & 347-480V	Input Frequency: 50/60Hz	Operating Temperature: -40°C to 40°C	Vibration: 35 per ANSI C62.49-2008
Power Factor: > 90% at rated watts	Total Harmonic Distortion: < 20% at rated watts	LM-79: Testing in accordance with E85A Standards	

Surge Protection		Controls	
EMMBus	NON-EMMBus	Dimming: Standard - 0-10V, Optional - DALI (option L3), Photo Electric Sensor (PES) available, LightStar™ and Dimmer Compatible	Sensors: Photo Electric Sensor (PES) available, LightStar™ and Dimmer Compatible
Warranty: 5 Year (Standard)		Emergency Battery Backup: Provides emergency operations when there is a loss to normal power, supported by independent Secondary Battery and BCB Board. Powers luminaires for a minimum of 90 minutes @ 100% lumens. Available on all 4" and 6" Compact Packages only. Operating Temperature (EMBS models): 0°C to 40°C (32°F/104°F surge protection by EMBS models).	



BHP ARCHITECTURE  
 COLLEEN M. BHP  
 ARCHITECT  
 1000 W. WASHINGTON ST.  
 SUITE 200  
 FT. LAUDERDALE, FL 33304  
 www.bhp.com  
 PROJECT NO. 2023-1018  
 SHEET NO. 006  
 CONTRACT DOCUMENT  
 PROGRESS SET  
 NOT FOR CONSTRUCTION  
 Project Manager  
 Approver  
 Author  
 Checker  
 Date Issued  
 08/11/2023  
 Project Location  
 FFP2181  
 E006  
 Autodesk Docs/FPF2181 Top of the World (Oct23)/023-07158-MEP-Central.Flt  
 2/20/2024 12:05:15 PM





**PLANT LIST**

Canopy Oaks Fifth Third Bank					
REV	SEC	Botanical Name	Common Name	Size and Spacing	Native Shade
<b>Trees</b>					
BHT	3	Callistemon 'Red Cluster'	Bottlebrush, tree-form	#30; 6' H x 5' SPD; MT; 2' min open below	
BND	5	Betula nigra 'Dura-Heart'	River Birch	#60; 12-14' H x 6-7' SPD; MT 2-3 matched trunk	Yes Yes
S.C	3	Ilex x 'Cora'	Oak Leaf Holly	#30; 6' H x 7' SPD	
SLS	3	Ilex x attenuata 'Savannah'	Savannah Holly	Cont#B&B; 10-12' H x 4' SPD; 3 1/2' cal min; 2' CT; standard; straight leader	Yes Yes
LIT	6	Liquidambar japonicum	Liquidambar, tree-form	B&B; 6' H x 5' SPD; MT; 2' min open below	
MND	3	Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Magnolia	Cont#B&B; 13-15' H x 6-8' SPD; 3 1/2' cal min	Yes Yes
RP	5	Pinus palustris	Longleaf Pine	Cont#B&B; 14-16' H x 6' SPD; 3 1/2' cal min	Yes Yes
QR	2	Quercus shumardii	Shumard Oak	Cont#B&B; 13-15' H x 6-8' SPD; 3 1/2' cal min	Yes Yes
QV	6	Quercus virginiana	Live Oak	Cont#B&B; 13-15' H x 6-8' SPD; 3 1/2' cal min	Yes Yes
SP	6	Sabal palmetto	Sabal Palm	BL; hurricane cut; see plan for CT heights	Yes
UAW	2	Ulmus alata 'Winged'	Winged Elm	Cont#B&B; 12-14' H x 6-8' SPD; 3 1/2' cal; straight trunk	Yes Yes
<b>Shrubs, Grasses &amp; Groundcovers</b>					
AM	66	Asperula officinalis	Lily-of-the-Nile	#1; 6L; 3-4 ppp min; 18" oc	
CLR	3	Crinum augustum 'Queen Emma'	Crinum Lily, red	#7; 3' dia; specimen	
DTV	66	Diabella tasmanica 'Variegata'	Variiegated Flax Lily	#3; 6L; 30" oc	
DV	19	Dietes vegeta	African Iris, white	#3; 6L; 5-6 ppp min; 4' oc	
HPC	16	Hamelia patens 'Catus'	Catosa Firebush	#3; 6L; 18" H x 18" SPD; 3' oc	Yes
KCB	36	Ilex cornuta 'Burfordi Nana'	Dwarf Burford Holly	#7; 24-30" H x 18-22" SPD; 30" oc	
KFS	39	Ilex vomitoria 'Stokes Dwarf'	Schilling's Dwarf Yaupon Holly	#3; 12-15" H x 12-18" SPD; 30" oc	Yes
LAN	16	Lantana camara 'New Gold'	Lantana, dwarf yellow	#1; 6L; 12" SPD; 2' oc	
LCD	27	Loropetalum chinensis 'YILL-C-10'	Paucifloro Dwarf	#2; 12" H x 12" SPD; 2' oc	
LM	103	Liriodie muscatl 'Emerald Goddess'	Emerald Goddess Liriodie	#1; 6L; 5-7 ppp min; 18" oc	
MC	19	Muhlenbergia capillaris	Muhly Grass	#3; 6L; 3' oc	Yes
NDS	10	Nandina domestica 'Salka'	Obsession Nandina	#3; 6L; 18" SPD	
PC	15	Plumbago auriculata	Cape Plumbago 'Imperial Blue'	#3; 18" x 18"; 2' oc	
PHF	73	Phoradendron integrifolium 'Pringled'	Phillyrea Dwarf 'Sensae Yew'	#3; 12-12" H x 12-18" SPD; 30" oc	
SRB	2	Scaevola molle	Bird of Paradise	#15; 30" x30" min; 6L; 3 ppp; sun grown	
SRG	4	Serebia repens	Saw Palmetto, green	#7; 24" H x 24" SPD	Yes
TAM	18	Tachyspermum asiaticum 'Yimira'	Dwarf Confederate Jasmine	#1; 5 ppp; 12" min; 18" oc	
VO	43	Viburnum odoratissimum	Sweet Viburnum	#7; 30-36" H x 2' SPD; 3' oc	
YW	40	Viburnum obtovatum	Walters Viburnum	#7; 30-36" H x 2' SPD; 3' oc	Yes
YWS	22	Viburnum obtovatum 'Mrs. Shillers Delight'	Dwarf Walters Viburnum	#3; 16-18" H x 18-18" SPD; 3' oc	Yes
ZF	18	Zinnia mexicana	Coonibe	#3; 6L; 18" SPD; 30" oc	Yes
<b>Sod &amp; Miscellaneous Items</b>					
SOO		Faxagalum notatum 'Argentea'	Argentine Bahua		
MULCH		Pine Straw	Pine Straw	3" depth	

OWNER RESERVES THE RIGHT TO CHANGE, ADD OR REMOVE NON REQUIRED PLANT MATERIAL THAT IS NOT SUBJECT TO CODE REQUIREMENTS.

**LANDSCAPE COMPLETION INSPECTION REQUIREMENTS**

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, CERTIFICATION THAT THE INSTALLATION MEETS REQUIREMENTS SHALL BE SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY BY THE CONTRACTOR WITH LOCAL SEC. 6.8.13 AND 6.8.14
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE AS-BUILT PLAN AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCESSIBLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.
- THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AS OUTLINED BELOW:

**DURING CONSTRUCTION, THE CONTRACTOR SHALL MARK UP A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE LANDSCAPE ARCHITECT A CLEAR AND LEGIBLE DIAGRAM WITH THE FOLLOWING AS-BUILT INFORMATION:**

- CHANGES TO LAYOUT OR MATERIALS
- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION
- IRRIGATION "AS-BUILT" INFORMATION (SEE IRRIGATION)
- WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE

**NOTE:** PRE-APPROVAL BY THE LANDSCAPE ARCHITECT IS REQUIRED FOR ANY DESIGN CHANGE, INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, OR MATERIALS - SEE SPECIFICATIONS

**OWNER RESPONSIBILITY**

THE OWNER IS RESPONSIBLE FOR CONTINUED SURVIVAL OF THE PLANTS

LOCAL SECTION 6.8.11 LANDSCAPE INSTALLATION SHALL HEAR SURVIVAL IN PERMANENCY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS, DEAD AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.

LOCAL SECTION 6.8.12 ALL IRRIGATION SYSTEMS SHOULD BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE FLORESA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OR THE FLORESA FARMS AND NEIGHBORHOOD PROGRAM.

**LANDSCAPE NOTES: (SEE PLANTING SPECIFICATIONS FOR COMPLETE REQUIREMENTS)**

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1, OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND FORESTRY SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL, AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY REPRESENTATIVES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- ALL LANDSCAPE INSTALLATIONS MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSATISFACTORY CONDITIONS (WEEDS, ROCK, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL DROEGE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
- THE CONTRACTOR SHALL ACCOUNT HIMSELF WITH THE SITE AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE BELL AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPANIBLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER, SEE TREE PRESERVATION PLANS.
- CONTRACTOR SHALL PROVIDE TREE ROOT BARRIERS AND / OR GEOTEXTILE ALONG IMPROVEMENTS AND UTILITIES (WHEN ROOT BARRIERS ARE SHOWN ON THE PLANS AND / OR DETAILS)
- ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- SOIL PROVIDED SHALL BE FREE OF LIME ROCK, ROCKS OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT THE INSPECTION BY LANDSCAPE ARCHITECT/OWNER INSPECTOR.
- MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://wfl.as.tfl.edu>
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LOC SEC. 6.8.13.
- FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL CONPLY WITH MARION COUNTY LOC SEC. 6.8.14.
- ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LOC SEC. 6.8.10 IRRIGATION.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LOC SEC. 6.8.15 AND SEC. 6.8.16.

**MARION COUNTY CODE REQUIREMENTS**

ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LAND DEVELOPMENT CODE, ARTICLE 8, DIVISION 8, LANDSCAPE

PROJECT AREA = 0.96 AC

SEE CIVIL PLANS FOR ADDITIONAL PROJECT DATA AND OPEN SPACE

SHADE TREES (LOC 6.7.4)

1 SHADE TREE PER 3,000 SF (NON-RESIDENTIAL DEVELOPMENT)

REQUIRED = 14 SHADE TREES

PROVIDED = 26 SHADE TREES  
(ADDITIONAL SHADE TREES ARE PROVIDED TO MEET 6.7.8 TREE REPLACEMENT)

PROTECTED TREE REPLACEMENT (SEC 6.7.8)

PER CANOPY OAKS PHASE 4, PLANT BOOK 13 PAGE 160 NOTE #16:

"EACH LOT SHALL COMPLY WITH MARION COUNTY LAND DEVELOPMENT CODE SECTION 6.7.8, TREE REPLACEMENT REQUIREMENTS - REPLACEMENT OF 100' D.B.H. PER ACRE WILL BE REQUIRED."

REQUIRED INCHES = 90" (6.96 X 100)

PROVIDED INCHES = 101" (6 SHADE TREES)

BUFFER ALONG SB 200

2 SHADE AND 3 ACACY / 100 LF

LANDSCAPE PLANTINGS 2' Ht

144 LF

REQUIRED 3 SHADE AND 1 ACACY TREE

PROVIDED = YES (SEE PLAN NOTES)

BUILDING LANDSCAPE (SEC 6.8.8)

PROVIDE PLANTINGS ALONG PUBLIC VIEW SIDES OF ALL PROPOSED STRUCTURES

PLANTING AREA (MIN. LENGTH OF LENGTH OF WALL, WITHIN 25' OF BUILDING)

5' WIDE MIN. 2' OFFSET FROM BLDG.

LARGE TREES NOT LESS THAN 20 FROM BLDG.

PROVIDED = YES

FRONTING AREA LANDSCAPE (SEC 6.8.7)

5' WIDE PERIMETER SCREEN

20' OF SCREEN HIGH IF SPACE

1 SHADE TREE PER SINGLE ISLAND, 2 PER DOUBLE ISLAND

1-2 ORNAMENTALS, TREE IF THERE IS A LIGHT FEATURE OR CONTROL SIGN

PROVIDED = YES

**GENERAL PLANTING REQUIREMENTS (SEC 6.8.10)**

NOTE PLANTS (SEE PLANT LIST)

INSIDE THE URBAN GROWTH BOUNDARY, 25% MINIMUM OF ALL PROPOSED REQUIRED PLANTS SHALL BE NATIVE:

TOTAL REQUIRED PLANTS:

TREES = 44

SHRUBS AND GROUNDCOVER = 707

TOTAL = 831

REQUIRED = NATIVE PLANTS (63 x 6.25)

PROVIDED = 208 (32 NATIVE TREES + 176 NATIVE SHRUBS)

50% MIN OF THE TOTAL PROPOSED REQUIRED SHADE TREES SHALL BE NATIVE:

REQUIRED = 13 NATIVE SHADE TREES (26 x 0.50)

PROVIDED = 25 TOTAL NATIVE SHADE TREES

SHADE TREE LIMITS

PROPOSED SHADE TREES ARE LIMITED TO 50% MAX OF ANY ONE SPECIES:

26 TOTAL PROPOSED NEW SHADE TREES 6.50 = 13 ALLOWED

HIGHEST SPECIES QTY PROPOSED = 6 QV

PALM TREE LIMITS

NOT MORE THAN 5% OF ALL REQUIRED TREES SHALL BE PALM TREES

PALM TREES PROVIDED = 6

CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR ADDITIONAL PLANTING AND IRRIGATION PLANS PRIOR TO BEGGING OR CONSTRUCTION.

SUBMITTAL #2

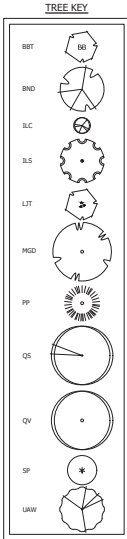
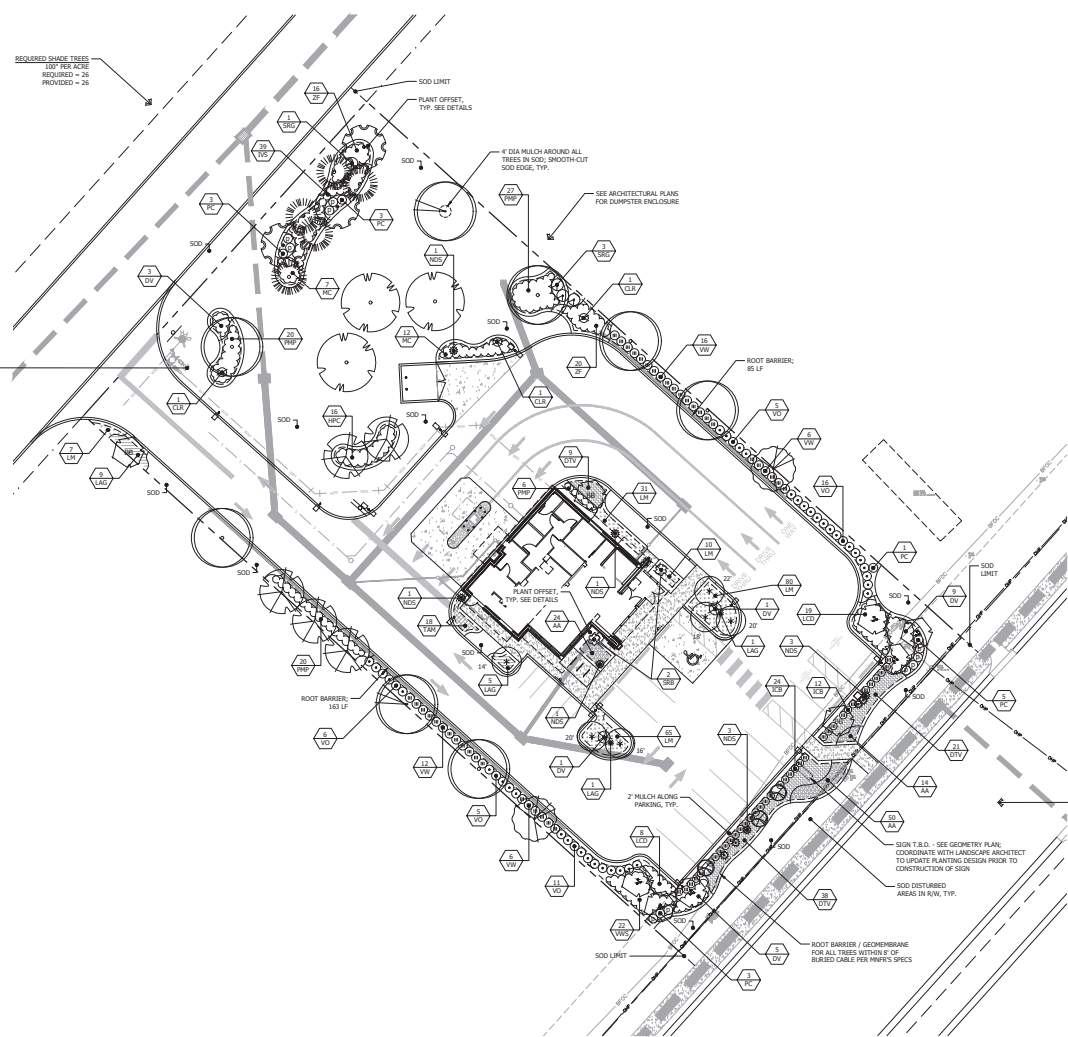
REVISIONS

DATE

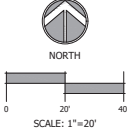
MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK

PW-TOW Ocala, L.L.C.  
 MARION COUNTY, FLORIDA  
**PLANT SCHEDULE & IRRIGATION NOTES**

DATE: 7/11/2024  
 DRAWN BY: JRP  
 CHECKED BY: JRP  
 JOB NO: 21-8138



REQUIRED BUFFER:  
 2' SHADE AND 3' ACCENT / 100 LF  
 LAYERED PLANTINGS 3' HT  
 144 LF  
 REQUIRED - 3 SHADE, 5 ACCENT  
 PROVIDED - 10 ACCENT TREES  
 NOTE: ACCENT TREES ARE PROVIDED  
 INSTEAD OF LARGER TREES DUE TO THE  
 FOLLOWING CONSTRAINTS:  
 • OVERHEAD UTILITIES  
 • BURIED FIBER OPTIC  
 • BILLBOARD



SUBMITTAL #2

REVISIONS	DATE

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
 PV-TOW Ocala, L.L.C.  
 MARION COUNTY, FLORIDA

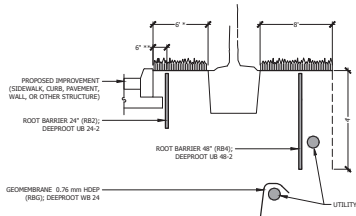
DATE: 7/11/2024  
 DRAWN BY: JBP  
 JOB NO: 21-8138

PLANTING PLAN

L8.01

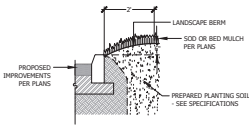
©Marion CountyOTOW - Canopy Oaks BankLANDSCAPE\_ARCHITECTURE/CONSTRUCTION21-8138 L8.01 Planting Plan.dwg L8.01 1/11/2024 12:48:14 PM

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

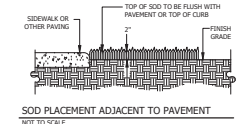


- NOTES:**
1. PROVIDE ROOT BARRIER / GEOMEMBRANE ALONG IMPROVEMENTS AS SHOWN ON PLANS, AND WHEREVER LARGE / SHADE TREES ARE LESS THAN SIX FEET FROM IMPROVEMENTS (E.G. GAK, MAGNOLIA, PINE, ELM).
  2. \*\* WHERE TREES ARE LESS THAN 4 FEET, CONSULT MANAGER'S SPECIFICATIONS TO INCREASE BARRIER SIZE.
  3. UNLESS NOTED OTHERWISE, PROVIDE A MINIMUM BARRIER OF 12 LINEAR FEET CENTERED ON EACH TREE.
  4. INSTALL ROOT BARRIER / GEOMEMBRANE PER MANAGER'S SPECIFICATIONS.
  5. \*\* CONSULT WITH PROJECT ENGINEER FOR OPTIONAL ROOT BARRIER INTEGRATION WITH CURB.
  6. EQUAL PRODUCT SUBSTITUTIONS ARE ALLOWABLE WITH WRITTEN APPROVAL.

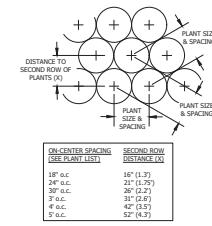
**ROOT BARRIER SCENARIOS**  
NOT TO SCALE



**PARKING LOT TREE ISLAND BERM**  
NOT TO SCALE



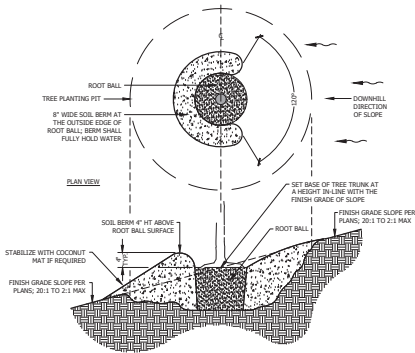
**SOD PLACEMENT ADJACENT TO PAVEMENT**  
NOT TO SCALE



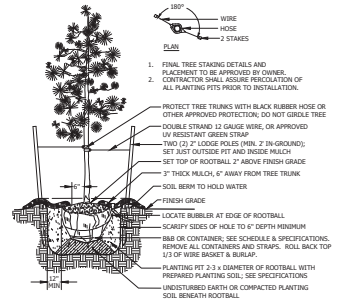
**TRIANGULAR PLANT SPACING**  
NOT TO SCALE

OFFSET SPACING (SEE PLAN)	SECOND ROW SPACING (IN)
18" o.c.	16" (1.7)
24" o.c.	21" (2.75)
30" o.c.	26" (3.7)
36" o.c.	31" (4.7)
42" o.c.	37" (5.7)
48" o.c.	42" (6.7)

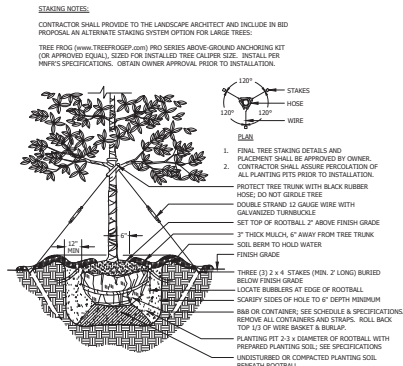
NOTE: BEDS SHALL HAVE A MINIMUM OF TWO ROWS OF ANY ONE TYPE OF PLANT MATERIAL, UNLESS SHOWN OTHERWISE (E.G. AS A SINGLE ROW HEDGE).



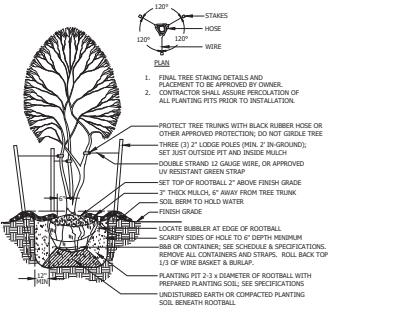
**ADDITIONAL REQUIREMENTS FOR TREE PLANTING ON SLOPES**  
NOT TO SCALE



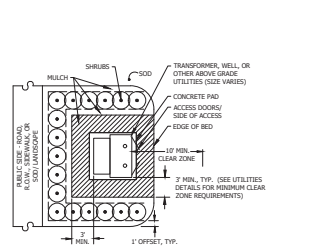
**SINGLE-TRUNK TREE PLANTING (UP TO 8' HEIGHT)**  
NOT TO SCALE



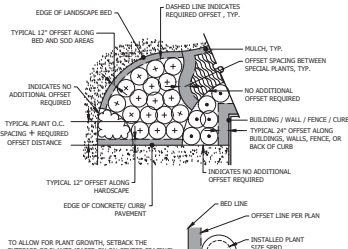
**TREE PLANTING (2" TO 4" CALIPER)**  
NOT TO SCALE



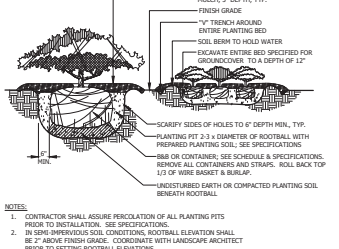
**MULTI-STEM TREE PLANTING**  
NOT TO SCALE



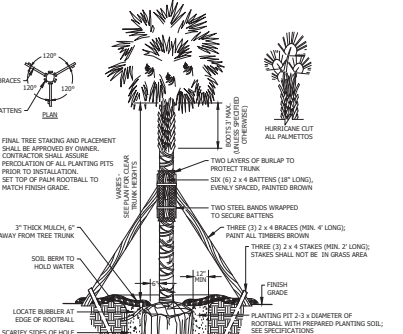
**SCREEN DETAIL: TRANSFORMERS/ WELLS/ UTILITIES**  
NOT TO SCALE



**PLANT OFFSET SCENARIOS**  
NOT TO SCALE



**SHRUBS AND GROUNDCOVER PLANTING**  
NOT TO SCALE



**PALM TREE PLANTING DETAIL**  
NOT TO SCALE

SUBMITTAL #2

**William & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave. Bldg. 100, Ocala, FL 34471  
Office: (352) 387-4640 Fax: (352) 387-4545

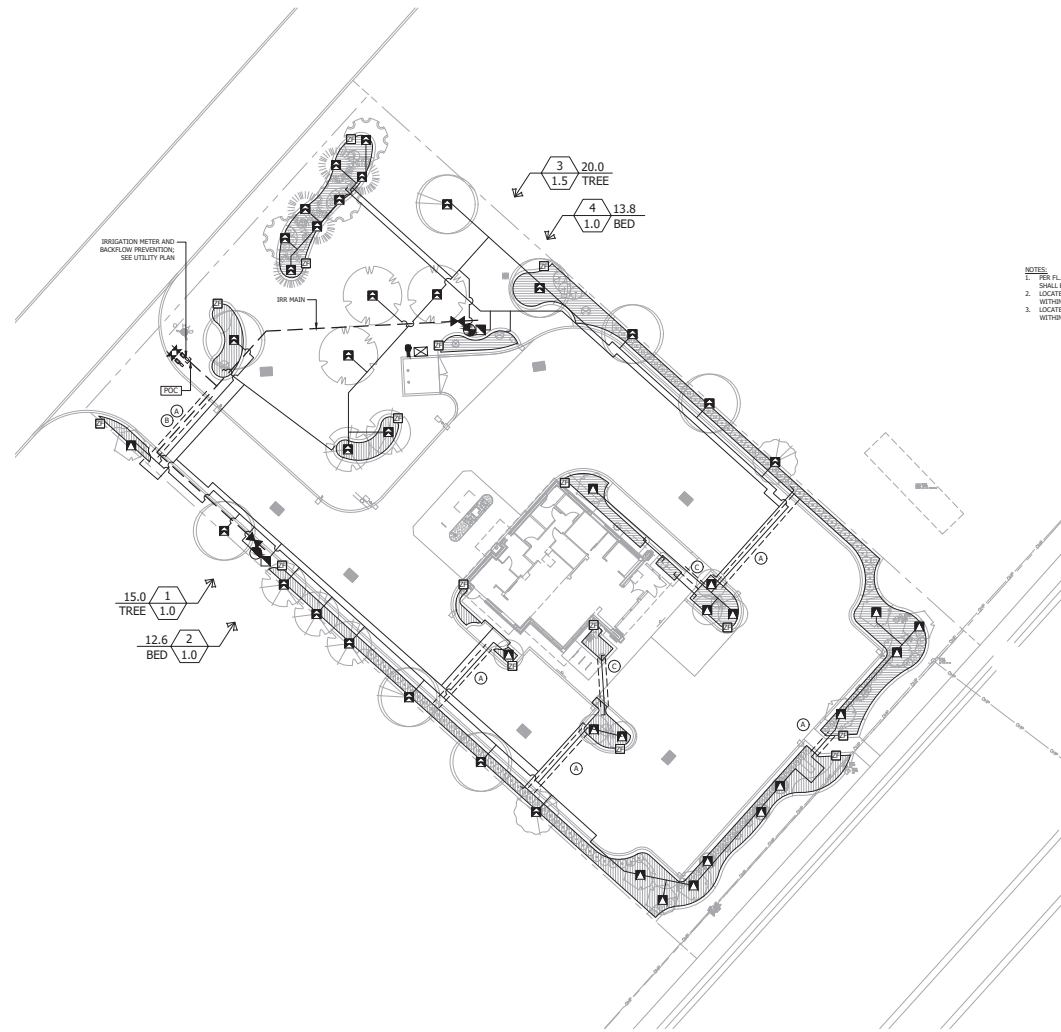
REVISIONS	DATE

MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK  
PV-TOW Ocala, L.L.C.  
MARION COUNTY, FLORIDA

DATE: 7/11/2024  
DRAWN BY: JBP  
JOB NO: 21-8138

L9.01





**NOTES:**

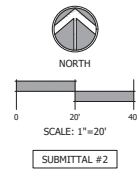
1. PER FL. BLDG. CODE, ALL IRRIGATION LINES AND HEADS SHALL BE A MINIMUM OF 1 FT. AWAY FROM ALL STRUCTURES.
2. LOCATE IRRIGATION LINES AND APPURTENANCES FULLY WITHIN PROPERTY BOUNDARY.
3. LOCATE ALL SHRUB AND GROUNDCOVERS IRRIGATION FULLY WITHIN MULCH BED AREAS PER DETAILS.

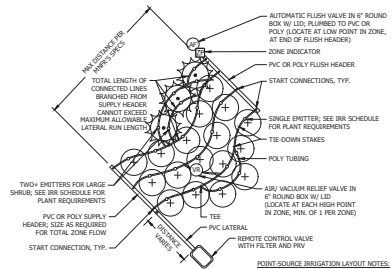
REVISIONS	DATE

**MAJOR SITE PLAN - CANOPY OAKS FIFTH THIRD BANK**  
 PV-TOW Ocala, L.L.C.  
 MARION COUNTY, FLORIDA

**IRRIGATION PLAN**

DATE: 7/11/2024  
 DRAWN BY: JRP  
 CHKD. BY: JRP  
 JOB NO.: 21-8138

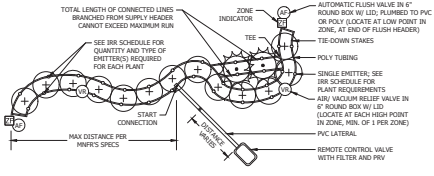




**POINT-SOURCE IRRIGATION - END FEED LAYOUT**

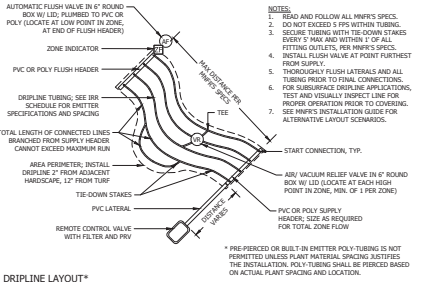
NOT TO SCALE

- POINT-SOURCE IRRIGATION LAYOUT NOTES:**
1. PLY TUBING SHALL BE PERIODS BASED ON ACTUAL PLANT SPACING AND LOCATION. READ AND FOLLOW ALL MWR'S SPEC.
  2. DO NOT EXCEED 5 FPS WITHIN TUBING.
  3. SECURE TUBING WITH TIE-DOWN STAKES EVERY 5' MAX AND WITHIN 1' OF ALL FITTING
  4. INSTALL FLUSH VALVE AT POINTS FURTHEST FROM SUPPLY.
  5. THOROUGHLY FLUSH LATERALS AND ALL TUBING PRIOR TO FINAL CONNECTIONS. TEST AND VISUALLY INSPECT LINE FOR PROPER OPERATION PRIOR TO COVERING.
  6. SEE MWR'S INSTALLATION GUIDE FOR ALTERNATIVE LAYOUT SCENARIOS.



**POINT-SOURCE IRRIGATION - LOOP / BRANCH LAYOUT**

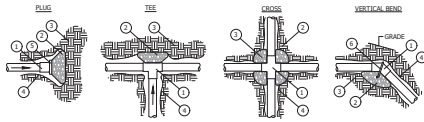
NOT TO SCALE



**DRIFLINE LAYOUT\***

NOT TO SCALE

- NOTES:**
1. READ AND FOLLOW ALL MWR'S SPEC.
  2. DO NOT EXCEED 5 FPS WITHIN TUBING.
  3. SECURE TUBING WITH TIE-DOWN STAKES EVERY 5' MAX AND WITHIN 1' OF ALL FITTING OUTLETS, PER MWR'S SPEC.
  4. INSTALL FLUSH VALVE AT POINT FURTHEST FROM SUPPLY.
  5. THOROUGHLY FLUSH LATERALS AND ALL TUBING PRIOR TO FINAL CONNECTIONS. TEST AND VISUALLY INSPECT LINE FOR PROPER OPERATION PRIOR TO COVERING.
  6. SEE MWR'S INSTALLATION GUIDE FOR ALTERNATIVE LAYOUT SCENARIOS.



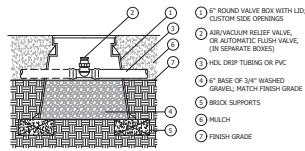
**THRUST BLOCK DETAILS**

NOT TO SCALE

- ① WIRE FITTING  
② CONCRETE BLOCK  
③ UNDISTURBED SOIL  
④ EDGE OF TRENCH  
⑤ WOOD BOARD  
⑥ NEAR UNBROKEN  
⑦ AROUND FITTING

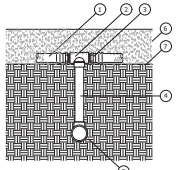
PIPE SIZE	TEE AND PLUG	90° BEND	45° BEND
2"	0.7 SF	1.0 SF	0.6 SF
2-1/2"	1.0 SF	1.5 SF	0.8 SF
3"	1.3 SF	2.1 SF	1.3 SF

- NOTES:**
1. SUPPLY LINES 2" SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
  2. THRUST BLOCKS SHALL BE SIZES AS SPECIFIED IN THE TABLE ABOVE, AND SHALL BE A MINIMUM OF 12" THICK, 07" THICK FOR 2" PIPE OR LESS, OR AS REQUIRED BY CODE.
  3. ALL FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE TO PREVENT CONCRETE FROM ADHERING TO PIPE, FITTINGS, OR BOLTS.
  4. CONCRETE SHALL NOT ENCAPSULATE PIPE OR FITTING TO ALLOW FOR FUTURE ACCESS AND MAINTENANCE.
  5. CONTROL WIRING SHALL NOT BE ENCASED IN CONCRETE.
  6. THRUST BLOCK BEARING AREAS SHALL BE POURED AGAINST UNDISTURBED SOIL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE ALL LOOSE MATERIAL AND EXTEND CONCRETE TO UNDISTURBED SOIL.
  7. EXTEND THRUST BLOCK AS REQUIRED TO MEET THE FULL LENGTH OF FITTINGS.
  8. AT ALL FITTINGS, PROVIDE PRESSURE TREATED WOOD BOARD BETWEEN PLUG AND CONCRETE.
  9. JOINTS AND BOLTS SHALL BE ACCESSIBLE FOR REPAIRS.
  10. ALL JOBS IN PLACE CONCRETE SHALL BE 3000 PSI.
  11. SURFACE BEARING AREAS ARE HOMOGENEOUS, AND SHALL BE RECALCULATED FOR EXCESSIVE SOFT, WET, OR LOOSE SOIL, OR IF WORKING LINE PRESSURE IS GREATER THAN 100 PSI.



**FLUSH OR AIR RELIEF VALVE IN 6" ROUND VALVE BOX**

NOT TO SCALE



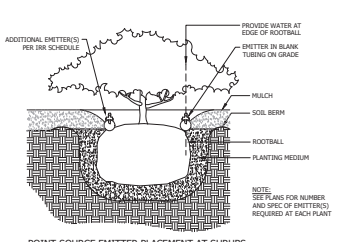
**AT-GRADE START CONNECTION**

NOT TO SCALE

- ① HUNTER POINT SOURCE DRIP EMITTER. INSTALL USING POCKET FINCH TOOL.  
② HUNTER HCL BLANK POLY TUBING.  
③ TIE-DOWN STAKES, MIN. 5' O.C. ON CURVES, AND WITHIN 1' OF ALL FITTING OUTLETS.  
④ PLANTING SOIL.  
⑤ FINISH GRADE.

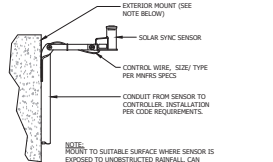
**POINT-SOURCE EMITTER WITH TUBING ON GRADE**

NOT TO SCALE



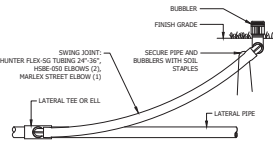
**POINT-SOURCE EMITTER PLACEMENT AT SHRUBS**

NOT TO SCALE



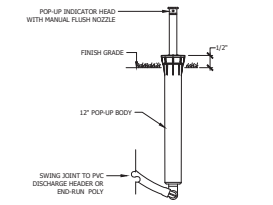
**HUNTER SOLAR SYNC SENSOR (ET, FREEZE, RAIN)**

NOT TO SCALE



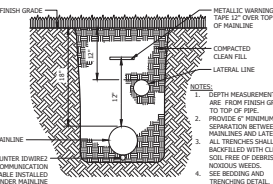
**BUBBLER ASSEMBLY**

NOT TO SCALE



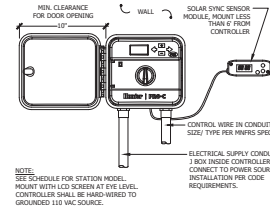
**ZONE INDICATOR MANUAL FLUSH VALVE ASSEMBLY**

NOT TO SCALE



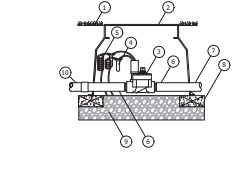
**IRRIGATION TRENCH**

NOT TO SCALE



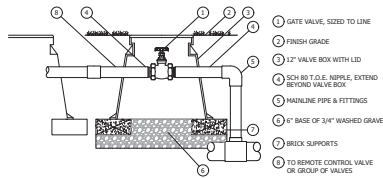
**HUNTER PRO-C CONTROLLER W/ SOLAR SYNC MODULE**

NOT TO SCALE



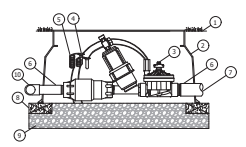
**HUNTER ICV ELECTRIC GLOBE VALVE COMMERCIAL / MUNICIPAL**

NOT TO SCALE



**ZONE ISOLATION VALVE**

NOT TO SCALE



**DRIP CONTROL KIT**

NOT TO SCALE

- ① FINISH GRADE  
② VALVE BOX - 3/8\"/>

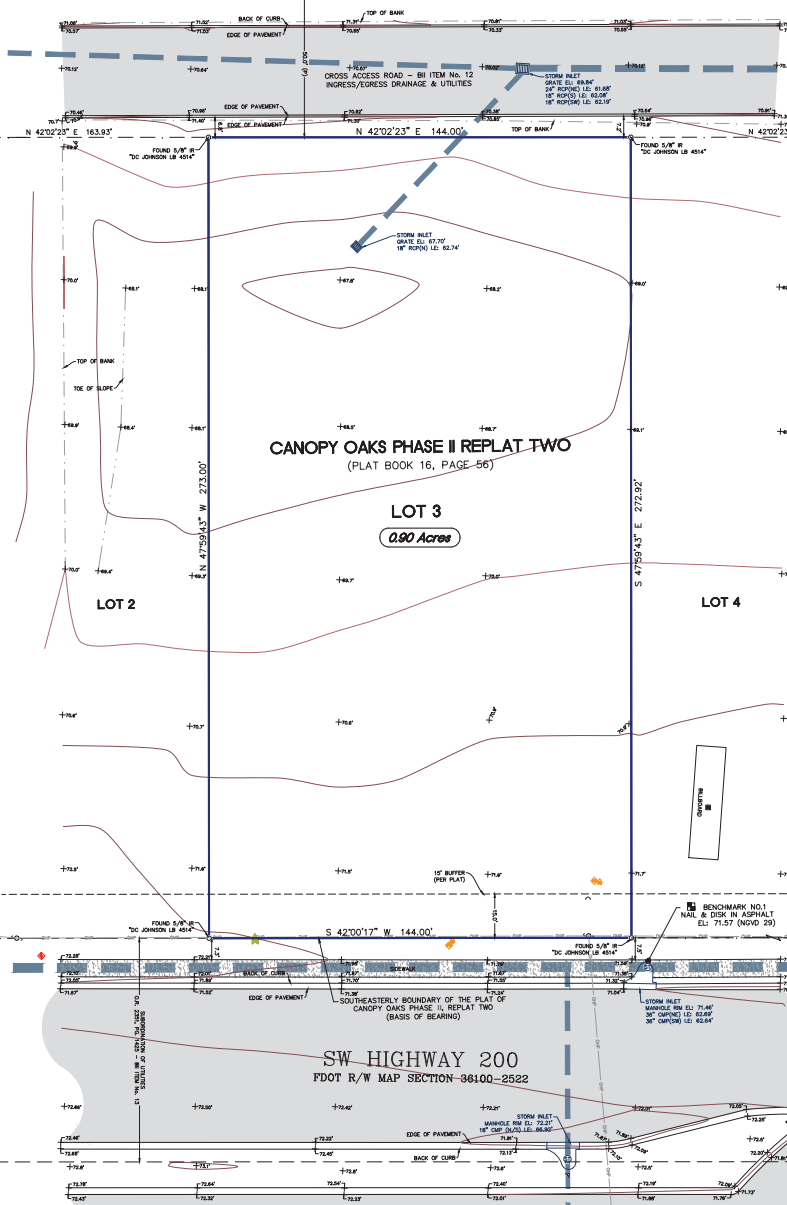
SUBMITTAL #2

# ALTA/NSPS LAND TITLE SURVEY OF A PORTION OF SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST MARION COUNTY, FLORIDA

DESCRIPTION: (Per Title Commitment Number 110195015 as issued by Johnson, Pope, Bokor, Ruppel & Burns, LLP)

The Land referred to herein below is situated in the County of MARION, State of Florida, and is described as follows:

Lots 3 CANOPY OAKS PHASE II REPLAT 2, according to the plat thereof recorded in Plat Book 16, Page 56, of the Public Records of Marion County, Florida



### SURVEYOR'S NOTES:

- Use of this survey for purposes other than intended, without written verification, will be at the user's risk and without liability to the surveyor. Nothing herein shall be construed to give any rights or benefits to anyone other than those certified to. This survey meets the "Standards of Practice" set forth by the Florida Board of Land Surveyors in Chapter 53-17 Florida Administrative Code.
- Surveyor has reviewed Commitment for Title Insurance, Commitment Number 110195015, as issued by Johnson, Pope, Bokor, Ruppel & Burns, LLP; and underwritten by First American Title Insurance Company, issued 04/14/2024 at 8:00 a.m. All pertinent matters except leases, liens, mortgages, taxes, and/or other similar financial matters, identified as encumbrances in Schedule B-II of said Commitment for Title Insurance, have been shown or noted hereon. The undersigned has relied solely upon said Title Insurance Commitment for all matters pertaining to easements, rights-of-way, setback lines, agreements, reservations, or other similar matters.
- No instruments of record reflecting easements, right-of-ways and/or ownership were furnished to the undersigned except as shown.
- No underground installations, improvements or encroachments, have been located except those shown hereon.
- Bearings shown hereon are based on the Florida State Plane Coordinate System, FL-West Projection, with Northwesterly right-of-Southwest Highway No. 200 having a grid bearing of S. 42°00'17" W. Right-of-Way monuments are shown and referenced hereon.
- Bearings and distances shown hereon are field measured, unless otherwise indicated. The text for ties to improvements indicates the direction they lie in relation to the boundary.
- Subject property may contain lands that are subject to jurisdiction or restriction by one or more of the following agencies: Army Corp. of Engineers, Southwest Florida Water Management District (S.W.F.W.M.D.) or Florida Department of Environmental Protection (F.D.E.P.).
- There are no gorges or gaps between subject property and Highway 200 right-of-way.

### ALTA TABLE A NOTES:

- [Item 1] See map of survey for found or set monuments.
- [Item 2] The physical address of the subject property is not yet recorded.
- [Item 3] Subject property appears to lie in Flood Zone "X" according for FEMA Flood Insurance Rate Map Panel No. 12083C0684E, dated 4/19/2017.
- [Item 4] Subject property contains 0.90 acres, more or less.
- [Item 5] Elevations shown hereon are based upon North American Vertical Datum of 1989 (NAVD89), National Geodetic Survey benchmark "G 593", located along State Road 200, Marion County, Florida, published elevation = 86.83' (NGVD29).
- [Item 6] Zoning report not provided to surveyor for review.
- [Item 7] See map of survey for building dimensions and area.
- [Item 8] No structures are currently on the subject property.
- [Item 14] Subject property lies approximately 431' from the intersection of Southwest Highway No. 200 and Southwest 58th Street Road.
- [Item 16] No evidence of recent earth moving work, building construction, or building additions were observed.
- [Item 18] See Schedule B-II table for index of easements and servitudes disclosed in Title Documents. See map of survey for depiction thereof.

### LEGEND

- |                                    |                                   |
|------------------------------------|-----------------------------------|
| IP, IR = IRON PIPE, IRON ROD       | —○— = POWER POLE / TELEPHONE POLE |
| M&D = NAIL & DISK                  | —○— = OVERHEAD POWER LINE         |
| PT = PLAT MEASUREMENT              | —○— = CIVIL ANCHOR                |
| O.R. = OFFICIAL RECORDS BOOK       | —○— = REFLECTOR SIGN              |
| PL = PLAT BOOK                     | —○— = POST                        |
| PL = PAGE                          | —○— = ROAD SIGN                   |
| R/W = RIGHT-OF-WAY                 | —○— = FIBER OPTIC VAULT           |
| E = ELEVATION                      | —○— = FIBER OPTIC WITNESS POST    |
| I.E. = INVERT ELEVATION            | —○— = ELECTRIC VAULT              |
| T&B = TEMPORARY BENCHMARK          | —○— = GATE VALVE - GAS            |
| RCP = REINFORCED CONCRETE PIPE     | —○— = GAS LINE WITNESS POST       |
| CWP = CORRUGATED METAL PIPE        | —○— = STORM MANHOLE               |
| ○ = FOUND 5/8" IR                  | —○— = SPOT ELEVATION              |
| ○ = FOUND NAIL & DISK              |                                   |
| ○ = FOUND NAIL & DISK - 1/8" 4514" |                                   |
| ○ = VERTICAL CONTROL BENCHMARK     |                                   |
| ○ = ASPHALT                        |                                   |
| ○ = CONCRETE                       |                                   |

SCHEDULE B-II	
ITEM No.	Standard exceptions: not of survey matters.
1-9	All matters contained on Plat of CANOPY OAKS PHASE II REPLAT. Items that affect subject property have been shown hereon.
10-12	Consent in Favor of Sunter Electric Cooperative, Inc. contained in Instrument record Book 759, Page 293. Easement is blanket over subject property.
13	Consent in Favor of Sunter Electric Cooperative, Inc. contained in Instrument record Book 1413, Page 142 is blanket over the subject property.
14	Consent in Favor of Sunter Electric Cooperative, Inc. contained in Instrument record Book 4675, Page 949; Amendment recorded in Book 4922, Page 1164, and Book 6419, Page 145 affect the subject property and has been shown hereon.
15	Terms and conditions of the Reciprocal Easement Agreement recorded in Book 4675, Page 949; Amendment recorded in Book 4922, Page 1164, and Book 6419, Page 145 affect the subject property and has been shown hereon.
16	Water Retention Area Agreement recorded in Book 4819, Page 913; Amendment recorded in Book 4922, Page 1177; and Book 6189, Page 623 agrees to provide drainage for the benefit of an land blanket over the subject property. Not shown hereon.
17	Memorandum of Roof Agreement recorded in Book 4922, Page 1156 is blanket over the subject property.
18	Declaration of Surface Water Management System Facilities Shared Cost and Maintenance Agreement recorded in Book 5426, Page 299 grants benefit of a stormwater management system blanket over the subject; not shown hereon.
19	Master Declaration of Covenants, Conditions and Restrictions, Easements, Charges and Liens for Canopy Oaks Phase II, recorded in Book 7450, Page 1207, affects the subject property but is not enforceable therefore has not been shown hereon.
20	Notice of Environmental Resource permit recorded in Book 8146, Page 1557 is blanket over the subject property.
21	Items shown on Survey prepared by DC Johnson Associates, dated September 25, 2003 have been shown hereon.

**CERTIFICATION:**

Paradise Group, LLC; PV-TOW Ocala, LLC; Johnson, Pope, Bokor, Ruppel & Burns, LLP; First American Title Insurance Company; Valley National Bank; Sanders Law Group

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 5, 6(b), 7(a)(b), 8, 14, 16, 18 of Table A thereof. The fieldwork was completed on 03/04/2024.

Date of Plat or Map: 04/25/2024

SEAL: [Professional Seal of Donald C. Johnson, P.L.S./P.S.M. License Number 3653, State of Florida]

DRINK DCJ | DATE: 05/03/2024 | Not valid without the signature and original rolled seal of a Florida Licensed Surveyor and Mapper.

DEWB DCJ | DATE: 05/03/2024

**NOTE: ENTITIES CERTIFIED ON THIS SURVEY ARE ASSOCIATED WITH THEIR INTEREST IN THE SUBJECT PROPERTY. SURVEYOR'S INSURANCE APPLIES ONLY TO CONTRACTED CLIENT AND ADDITIONAL INSURES, NOT CERTIFIED PARTIES**

**HORIZONTAL CONTROL:**  
Coordinates and Bearings shown hereon are based on the Florida State Plane Coordinate System, FL-West Projection, with Southeastern boundary of the plat of CANOPY OAKS PHASE II, REPLAT TWO, having a grid bearing of S. 42°00'17" W. Corner monuments are shown and referenced hereon.

Southeast corner of Lot 10, CANOPY OAKS PHASE II REPLAT TWO:  
Found 6/8" Iron Rod (ICH LB 8021)  
E: 874588.69  
N: 8150866.63  
Lot-South: 75.4181° N  
Lot-North: 75.4181° N  
Convergence: -00°00'27.28"

Southeast corner of Lot 1, CANOPY OAKS PHASE II REPLAT TWO:  
Found 5/8" Iron Rod (AVID)  
E: 874588.69  
N: 8150866.63  
Lot-South: 75.4181° N  
Lot-North: 75.4181° N  
Convergence: -00°00'27.28"

**VERTICAL CONTROL:**  
Elevations shown hereon are based upon National Geodetic Vertical Datum of 1989 (NGVD89), National Geodetic Survey benchmark "G 593", located on the North side of State Road 200, published elevation = 85.82' (NAVD88) / 86.83' (NGVD29); Datum Conversion: (NAVD88) + 0.01' = (NGVD29)

BY	REC	DLU
REVISION	DATE	DESCRIPTION
1/26/2024	DATE	1/26/2024
05/03/24	DATE	05/03/24
As Shown	As Shown	As Shown
1 of 1	1 of 1	1 of 1

**DATE OF FIELD SURVEY: 3/4/2024**

**BOUNDARY & TOPOGRAPHIC SURVEY**

Paradise Group, LLC  
Canopy Oaks Phase II  
Replat Lot 3

PROJECT NO. 2023-250A18C00001  
SEC. 24  
TWP. 16S  
RANGE 20E  
COUNTY: Marion