August 8, 2024 PROJECT NAME: CANOPY OAKS - FIFTH THIRD BANK PROJECT NUMBER: 2024020061 APPLICATION: MAJOR SITE PLAN #31168

- DEPARTMENT: ENGDRN STORMWATER REVIEW REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI STATUS OF REVIEW: INFO REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- DEPARTMENT: ENGDRN STORMWATER REVIEW
 REVIEW ITEM: Copy of District Permit (County Interest)
 STATUS OF REVIEW: INFO
 REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGIN DEVELOPMENT REVIEW
 REVIEW ITEM: 2.12.4.K List of approved waivers, their conditions, and the date of approval
 STATUS OF REVIEW: INFO
 REMARKS: 2/23/24-add waivers if requested in future sk
- 4 DEPARTMENT: ENGIN DEVELOPMENT REVIEW REVIEW ITEM: Additional Development Review Comments STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 5 DEPARTMENT: DOH ENVIRONMENTAL HEALTH REVIEW ITEM: Additional Health comments STATUS OF REVIEW: INFO REMARKS: n/a
- 6 DEPARTMENT: LUCURR LAND USE CURRENT REVIEW
 REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) DRI/FQD Compliance Note?
 STATUS OF REVIEW: INFO
 REMARKS: DRI vesting note provided.
- DEPARTMENT: LUCURR LAND USE CURRENT REVIEW
 REVIEW ITEM: 2.12.4.L(5)/5.2 [Applicable ESOZ/FPOZ Status Listed?]
 STATUS OF REVIEW: INFO
 REMARKS: Not located in an ESOZ area FPOZ provided.
- 8 DEPARTMENT: ENRAA ACQ AGENT ENG ROW REVIEW ITEM: Major Site Plan STATUS OF REVIEW: INFO

REMARKS: Verified with Sunbiz.HR

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 - Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 2/8/2024

A. PROJECT INFORMATION:

Project Name: Canopy Oaks - Fifth Thir	d Bank	
Parcel Number(s): 3530-1001-02 & 353	30-1001-03	
Section 24 Township 16 Rang	ge 20 Land Use Comm	Zoning Classification B-2
Commercial Residential Industr	rial 🗌 Institutional 🗌 Mixed	d Use 🗌 Other
Type of Plan: MAJOR SITE PLAN		
Property Acreage 0.90	Number of Lots 0	Miles of Roads 0
Location of Property with Crossroads	SR 200 & SW 99th Street Road	d
Additional information regarding this	s submittal: Parcel numbers sul	bbject to change pending Canopy Oaks Phase II
Replat (AR 30149) currently under revie	W.	

B. CONTACT INFORMATION (<u>Check</u> the appropriate box indicating the point for contact for this project. Add <u>all</u> emails to receive correspondence during this plan review.)

Engineer:			
Firm Name: Tillman and Associates Engineering,	LLC Contact Name:	Jeffrey McPhe	rson
Mailing Address: 1720 SE 16th AVe Bldg 100	City: Ocala	State: FL	Zip Code: <u>34471</u>
Phone # <u>352-387-4540</u>	_Alternate Phone #		
Email(s) for contact via ePlans: permits@tillman	neng.com		
Sumonom			
Eime Name: DC Johnson & Associates	Contact Name	Daniel C John	
Mailing Address: 11911 S. Curley St.	<u> </u>	State: Fl	7in Codo: 33576
Phone # 352-588-2768	Alternate Phone #		Zip Code. <u>33370</u>
Email(a) for contact via aPlane: survey@dciobn	_Alternate Flione #		
Eman(s) for contact via er fans. <u>suvey@ucjonn</u>	13011.0011		
Property Owner:			
Owner: PV-TOW Ocala, LLC	Contact Name:	Charles A Erne	est, Jr.
Mailing Address: 140 Carillon Parkway	City: St. Petersburg	State: FL	Zip Code: <u>33716</u>
Phone # 727-726-1115	Alternate Phone #		-
Email address: cakers@paradiseventuresinc.com	1		
Developer:			
Developer: same as above	Contact Name:		
Mailing Address:	City:	State:	Zip Code:
Phone #	_Alternate Phone #		
Email address:			
Revised 6/2021	CLEAR FORM		
Emp	owering Marion for Success		
	marionfl.org		

PERMITS:

MARION COUNTY - MAJOR SITE PLAN -S.W.F.W.M.D. - E.R.P. -

- S.W.F.W.M.D. E.R.P. -FDEP POTABLE WATER -FDEP SANITARY SEWER FDEP NPDES (By Others)



APPROVED WAIVERS

PR	EVIOUSLYA	PPROVED O.T.O.W. WAIVERS FOR ENTIRE DEVELOPMENT	DATE APPROVEI
MENIMUM DRAINAGE EASEMENT	8.2.9(0/7	THE PULLE ENGINEET BETWEEN LIKEN LOT MENO I FEET ON LIKEN SHE OF CENTER LIKE FOR A TOTAL OF IN FEET. IN FEET TOTAL WADTH FOR A CONVEXANCE SYSTEM UNLESS IT IS NEEDED TO BE LINCEN.	12-21-2009
UTILITY LOCATION	8.2.5 x(2)(s)	LOCATION MAY VART, BUT ALL UTILITIES MUST BEIMAN WITHIN THE UTILITY ESSEMENTS.	12-21-2009
BUFFERS/ZANDSCAPE BUFFERS	8238	THE "C" AP THE FERSION IS DOWN FERDING AND ADDRESS OF THE WAY ADDRESS AND ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDR	12-21-2009
CORNER RADII AT INTERSECTIONS	8.2.5.4(5)	PROVING 25 FT, FOR EDGE OF PAYEMENT SLEW AND 25 FT, FOR R.W. REDGES AT INTERECTIONS ON ALL RESIDENTIAL ROADWAIN LANGER RADE ON COLLECTOR BOILDS TO COMPLY NITHLESC.	12-21-2009
PRIVATE ROAD - MENIMUM RIGHT-OF-WAY WIDTH	8.2.5.q()(q)ie	PROFIDE A COMBREATION OF INFIT OF WAY AND EASEMENTS TO TOTAL 40 FT FOR ALL RESEARCH TELL BOADWAYS WITHIN DEVELOPMENT, ROAD ANY NOT TO BE LESS THAN THE PAREMENT WITH PLUS A FT ON ATTHER SIDE.	12-21-2009
RIGHT-OF-WAY DEDICATION	8.2.5.a(2)(5)	NO ION DEZENTEN ALGURED ON INTERNAL ALBUMMENTAL MANDENTIL SUMPRINS ALL OTHER ROMONANS USE TO PROVIDE R/W DEDIKATION IN MOUNDAINE WITH PREVIOSELT APPROVED MASTER COMMENSE MP.	12-21-2009
		MANTER COMMUNE BALUFALIS FULL AR PROVINED AS CUMAC ADDITARENAS AN APROVED ON THE MASTER COMPANY PLAY SUBSTTEED ON JONE (1986, FITTH ANY ADJESTMENTS THAT HAVE BEEN MAKE TO THAT PLAY.	
SECTION/QUARTER SECTION LINE ROADS	8.2.5.40(2)(400)	85.70.1	12-31-3009
DECORATIVE POSTS/POSTS FOR REGULATORY AND WARNING SIGNS	APPENDIX B LDC DETAIL 29/ APPENDIX R2151-3	ALL RECEASTING REFEATORST AND HERNON SECT AND MEAN DE AN ACAUNT DERIND PORTS DE LET OF STELL "P" COMMENDE, DESTE BOUTLAND, ALL ANDRESE COMPLEXE MET MIT TOP DERA BREMENTS FOM SUMP, COLOR AND REFEASD ALL SEEN SCHPORTS MEET FOOT STANDARD FOR BREAK UPAT.	12-31-3009
CENTERLINE RADII	82.5x13	CANDERSONAGO - AN INFORMENT PARAMETER - PROTURE POR INFECTION ALLA REAL OF ALL REAL AND ADDRESS AND ADDRES ADDRESS AND ADDRESS	12-21-2009
CUL-DE-BAC AND DEAD ENDS	82.8x(3)(4)	PROPERTIES A MUSICUM OF A MERCUPERIDUSE FOR MIL CELLOR-SACE ALLOWING A PLOP THE PERIMENT TO BE LOCATED WITHIN THE EMPERATE OF MERCUPERIES AND PARTNER MERCUPERION OF THE DESTRUCTION CELLOR-SACE	01-04-2010
OVT STREET PARKING	8.2.54.09	HISTORY CHET SPICES AND EPROPENDENT THE OF CALCULATED SPICES FRALE OF DESIGN TIDE FOR GREE CALTER SPICE AND THE ADDITIONATION FOR ADDITIONAL AND ADDITIONAL AND ADDITIONAL ADDITICAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITI	12-21-2009
CROBS SECTIONS	8.2.4	PROVIDE CROSS SECTION DEFAIL AT DRUMAD STRUCTURES, CROSSINGS AND CONFLICTS IN CRU OF LIC REQUIRIMENT OF CROSS SECTIONS REARY OF, NOT APPLICABLE TO SR UP AND SW WITH AT ENCR. DUVELOPMENT.	12-21-2009
PRIVATE ROAD STATUS	8.2.5.4(7)(1)	PREATE DAALD SLATES FOR ALL NALES NOT DESIGNATED & SCALE AGAINS OF HAY ON THE PROVIDESE I PROVIDESE OF OTHER MATTER COMMENDES MATERIAL DATES AND A UNDER COMPUTERS AS BET LETTED ON THE COMPOSED MATE TO BE DETECTED TO THE FUEL ELEMENT AS MAIL - OF MATERIAL DATES OF ADDRESS AS DESTINATED ON THE COMPOSED MATE TO BE DETECTED TO THE FUEL ELEMENT AS MAIL - OF MATERIAL DATES OF ADDRESS AS DESTINATED.	12-21-2009
RETENTION BASIN SIGNAGE	8.2.9.4.(9)	APPROVED A WADER FOR THE DRA MAINTENANCE NON FOR THE ON TOP OF THE WORLD DEVELOPMENT AS LONG AS IT IS NOT THE TOP OF THE WORLD DEVELOPMENT AS LONG AS IT IS	12-10-202

DESCRIPTION

(PER TITLE COMMITMENT NUMBER 110195015 AS ISSUED BY JOHNSON, POPE, BOKOR, RUPPEL & BURNS, LLP) THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARION, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS 3 CANOPY OAKS PHASE II REPLAT 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 16, PAGE 56, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FL-WEST PROJECTION, WITH NORTHWESTERLY RIGHT-OF-WAY OF SOUTHWEST HIGHWAY NO. 200 HAVING A GRID BEARING OF S. 420017" W. IGHT-OF-WAY MONUMENTS ARE SHOWN AND REFERENCED HEREON.

HORIZONTAL CONTROL:

COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FL-WEST PROJECTION, WITH SOUTHEASTERLY BOUNDARY OF THE PLAT OF CANOPY OAKS PHASE II, REPLAT TWO, HAVING A GRUB BEARING OF \$429017W. CORNER MONUMENTS ARE SHOWN AND REFERENCED HEREON

SOUTHEAST CORNER OF LOT 10,	SOUTHERNMOST CORNER OF LOT 1,
CANOPY OAKS PHASE II REPLAT TWO:	CANOPY OAKS PHASE II REPLAT TWO:
FOUND 5/8" IRON ROD (JCH LB 8071)	FOUND 5/8" IRON ROD (AVID)
N:1725862.13	N:1725197.31
E:574528.62	E:573929.92
LAT:29°04'51.91" N	LAT:29°04'45.32" N
LON:82°15'20.12" W	LON:82°15'26.85" W
CONVERGENCE -000%07'27.22"	CONVERGENCE -000°07'30.47"

VERTICAL CONTROL:

ELEVATIONS SHOWN HEREON ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD88). VATIONAL GEODETIC SURVEY BENCHMARK "G 593", LOCATED ON THE NORTH SIDE OF STATE ROAD 20 PUBLISHED ELEVATION = 85.92' (NAVD88) / 86.83' (NGVD29): DATUM CONVERSION: (NAVD88) + 0.91' = (NGVD29)

CIVIL ENGINEER:

JEFFREY McPHERSON, P.E.

1720 SE 16th AVE BLDG 100

OCALA, FLORIDA 34471

PHONE (352) 387-4540

TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.

OWNER/DEVELOPER:	
PV-TOW OCALA, L.L.C.	
CONTACT: CODY AKERS	
140 CARILLON PARKWAY	
ST. PETERSBURG, FLORIDA	33716
PHONE (727) 726-1115	

CANOPY OAKS -FIFTH THIRD BANK SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST

MARION COUNTY, FLORIDA

MAJOR SITE PLAN

THIS SITE CONTAINS: TOTAL PROJECT ACRES = 1.34 ACRESPROPOSED IMPERVIOUS AREA = 0.53 AC. (23,116 SF) EXISTING IMPERVIOUS AREA = 0 AC. (0 SF) MARION COUNTY PARCEL #3530-1001-03 TOTAL PARCEL ACRES = 0.90 ACRES LAND USE: COM ZONING: B-2



VICINITY MAP SCALE: 1" = 500'

Utility Companies

BLCCDD Water Sewer BLCCDD Electri Duke Energ Cable/Ph Digital Con TECO Natural Gas

Bryan Schmalz, (352) 414-5454 EXT. 4105 Bryan Schmalz, (352) 414-5454 EXT, 4105 Bob Wagner, (352) 317-1339 Jorge Santiago, (352) 873-4817 Brace Stout (352) 401-3417

SURVEYOR: DC JOHNSON & ASSOCIATES, INC. DANIEL JOHNSON 11911 S. CURLEY STREET SAN ANTONIO, FLORIDA 33576 PHONE (352) 588-2768

GEOTECHNICAL CONSULTANT: WHITESTONE ASSOCIATES, INC. CONTACT: ANTHONY BARBONE 8405 BENJAMIN ROAD, SUITE J TAMPA, FLORIDA 33634 PHONE (813) 581-0690

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5.01	UTILITY PLAN	
7.01	POTABLE WATER DISTRIBUTION DETAILS	
8.01	SANITARY SEWER DETAILS	Mari
9.01	ROADWAY AND PAVEMENT DETAILS	
0.01	DRAINAGE DETAILS	
.01	EROSION CONTROL PLAN AND DETAILS	
L.01	BORING LOGS	
006	PHOTOMETRIC PLAN	
L.:01	SLEEVING PLAN	
6.01	PLANTING SPECIFICATIONS	
7.01	PLANTING SCHEDULE & IRRIGATION NOTES	
8.01	PLANTING PLAN	
9.01	PLANTING DETAILS	
1	BOUNDARY & TOPOGRAPHIC SURVEY	
	(PREPARED BY DC JOHNSON & ASSOCIATES)	

on County Appr

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE ELCORD UTLITY MANULA SA PPLICABLE.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY MAP NO. 1208/C084/E, MARION COUNTY, FLORIDA, DATE APRIL 19, 207. THE PROPERTY DESCRIBED HEREON LIES IN FLOODE SOME "X"-AN AREA OF MINIMAL FLOOD HAZARD.
- 1 DEVELOPMENT OF THE PROPERTY AS SHOWN ON THESE PLANS IS USETED PERSIANT TO THE ON TOY OF THE WORL DO RE DEVELOPMENT ORDER. AND THE VESTING IS SUBJECT TO THE TEASLAND CONDITIONS OF THE ON TOY OF THE WORLD DRI DEVELOPMENT ORDER AS MAY BE AMENDED FROM THE TO TIME. INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.
- 4. THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
- ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 VERTICAL DATUM. TO CONVERT TO NAVD 1988, SUBTRACT 0.91 FEET.
- 6. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- 7. SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH FDOT REQUIREMENTS.

OWNER'S SIGNATURE

I HEREBY CERTIFY THAT I. MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS

CHARLES A. ERNST JR., OPERATING MANAGER PV-TOW OCALA, L.L.C.

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAVED.

JEFFREY McPHERSON, P.E. Registered Engineer No. 69905 STATE OF FLORIDA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

DANIEL C. JOHNSON DC JOHNSON & ASSOCIATES Registered Land Surveyor No. 3653 STATE OF FLORIDA

SHEET

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OR WORK-CONTRACTOR SHALL CONTACT SURSININE STATE ONE CALL OF FLORIDA, INC. AT 3 400-34770. IN ACCOMMENCE WITH CHAPTER 555. FLORIDA STRUTTS. CTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF MARION COUNTY AND FD
- 3. PAVEMENT STRIPING TO BE IN ACCORDANCE WITH MARION COUNTY TRAFFIC STANDARDS, INDEX 17346. 4. ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- WHERE MUCK OR OTHER ORGANIC MATERIAL IS FOUND, IT SHALL BE REMOVED AND REPLACED BY GOOD QUALITY BACKFILL MATERIAL OBTAINED IROM THE GRACING OPERATIONS OR OTHER SOURCE APPROVED BY THE ENGINEER. THE ORGANIC MATERIAL SHALL BE THAN USED AS TOP DESING WHEN MUKED WITH CLEAR SARDY SOL.
- ALL FINISHED GRADES AND ELEVATIONS ARE AS DENOTED BY THE APPLICABLE LEGEND
- AS PART OF THE CLEARING AND GRUBBING OPERATION, THE CONTRACTOR IS TO REMOVE EXE FROM THE SITE AS SHOWN ON PLANS. 8. THE CONTRACTOR SHALL NOTIFY <u>BLCCOD</u> ENGINEERING DIVISION AND TILLMAN AND ASSOCIATES ENGINEERING, LLC AT LEAST ONE WEEK BEFORE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL OBTAIN A MARION COUNTY R/W PERMIT PRIOR TO COMMENCEMENT WORK WITHIN MARION COUNTY R/W.
- A MINIMUM SEPARATION OF 1.5 FEET BETWEEN THE LIMEROCK BASE AND THE HIGHEST GROUNDWATER ELEVATION SHALL BE MAINTAINED WITHIN THE BIGHT-OF-WAY. CONTRACTOR TO NOTIFY ENGINEER IF 1.5 FEET OF SEPARATION 5 NOT ACHIEVED.
- 10. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 11. PER SECTION 83-371, CODE OF ORDINANCES: FOR ANY WORK WITHIN PUBLIC BIGHT OF WAYS, A RIGHT OF WAY UTILIZATION PERMIT MUST BE ORTAINED FROM THE ENGINEERING DEPARTMENT A MINIMUM OF 48 HOURS PRIDE TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL JUMINT THERE (1) SETS OF TAINCHAE SHOP DRAVINGES AND MANUNCTURETS CATALOGIS WITH THE MODEL MANABER SHITE OF THE THE INTERNICED OF ONE PROVIDE DESCRIPTION THE SUBMITTALS SHALL BARE THE APPROVED THE UNDERRIGHTNO UTILITY CONTRACTOR. ALL UTILITY SHOP DRAVINGS AND MANUFACTURETS CATALOGIS SHALL BE APPROVED BY THE EXAMPLE OF RECORD AND BLECO PROFIL TO CONTRACTOR.
- 13. THE CONTRACTOR SHALLS SUBJECT THEE (1) JESTS OF COMPLETE DEFINIED SHOP DRAWINGS FOR ALL SANTANY MANAPOLES, NET WILLS OTHER CASTINGS, AND NAMES, THE SUBJECT SHOP SHALL REAR THAT AND PROVIDE OTHER THROUGH DUTING ON RACH SHIELT. A COMPLETE SET OF THE LITER STATION RELETINGS. SHOP DRAWINGS S ALSO REQUIRED IF PAPIL/CARE. ALL UTLITY SHOP DRAWINGS SHALL BE APPORTUDE OF THE INSTITUTE OF RECEIDS AND RECORD SHOP ECON PROVIDE TO CONTRACTOR.

14. CONTRACTOR TO DIS OUT ALL LIMPROCK IN IS ANDS

PAVING AND DRAINAGE NOTES

PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCE BETWEEN CENTERLINES OF DR

- ALL PAVEMENT RETURN RADII SHALL BE 28' AND MEASURED FROM THE INTERFACE OF THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE NOTED. 3. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EVEBOLT.
- 4. FIVE (5) FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS AND
- TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE LOCATED AT FINISHED GRADE ELEVATION.
- AS AN ALTERNATIVE, CONTRACTOR MAY USE ALTERNATIVE PIPE MATERIALS IN LIEU OF RCP. HOWEVER, CONTRACTOR MUST RECEIVE APPROVAL OF ALTERNATIVE PIPE MATERIALS IN WRITING BY MARDON COUNTY AND TELLMAN & ASSOCIATES ENGINEERING, LLC BRITE TO CONTRACTOR IN TON
- TOP SOIL WHICH HAS BEEN STRIPPED AND STOCK PLED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGRADED SURFACES SO AS TO PROVIDE AT LEAST FOUR INCHES OF EVEN COVER TO ALL DISTURBED AREAS OF THE DEVELOPMENT AND SHALL BE TRADUCED BY SECOND OR FIAMTING ALL DISTURBED AREAS WITH SLOPES UP TO 6:1 SHALL BE SEEDED AND MULCHED. SLOPES STEEPER THAN 6:1 SHALL BE SOC SLOPES 3:1 OR STEEPER SHALL HWE THE SOD PEGGED.
- 9. SEE TABLE 2.0 FOR REQUIRED STORM PIPE COVER BENEATH AN UNPAVED SECTION. 10 SEE TABLE 3.0 FOR BEOLUBED STORM PIRE COVER INVEATH BIGD PAVEMENT
- 11. SEE TABLE 4.0 FOR REQUIRED STORM PIPE COVER BENEATH FLEXIBLE PAVEMENT
- THE TABLIATED VALUES ARE EXCOMMENCED MINIMUM DIMENSIONE TO WITHSTAM ANTICIDATED INFORMATI TARFIE LOADS. BIOTRODIAC COMPARIANCE HE OCCURRENT TO JUNIOR TO CONTINUETORI OCCURRENT LOADS ON REVIEWAY THAT'S LOADS EXCOUNT PAVEMENT IS COMPARITED. SOME SIZE THEORESIS COMBINATIONS MAY REQUIRE MINIMUM COVER GREATER THAN THOSE LISTEE RAVENUES TO ROOK 25, 50 (1997) TO REV. 26, 50 (1997) TO REVIEWA THAT'S LOADS TO REVIEWAY THAT THAN THOSE LISTEE RAVENUES TO ROOK 25, 50 (1997) TO REV. 26, 50 (1997) TO REVIEWA THAT'S LOADS TO REVIEWA THAT'S LOADS TO REVIEWA THAT'S LOADS TO REVIEWA THAT'S LOADS TO REV. 26, 50 (1997) TO RE
- ALL RCP STORM WATER PIPE SHALL MEET THE COVER & CLASS CRITERIA AS OUTLINED IN FOOT INDEX 205.
- 14 ALL STORM PIPE JOINTS SHALL BE WRAPPED AS SPECIFIED IN EDOT INDEX 280 15. THE LAST FOOT OF STORM WATER POND SHALL NOT BE EXCAVATED UNTIL ALL DISTURBE
- 16. ANY FILL MATERIAL MUST BE APPROVED BY ENGINEER IN WRITING PRIOR TO PLACEMENT.
- SIGNIFICANT CARE MUST BE TAKEN WHEN GRADING RETENTION PONDS TO ENGURE THAT POND BOTTONS DO NOT BECOME COMPACTED DURING CONSTRUCTION OR SPACED BY CONSTRUCTION SEDMENT. II SEDMENTATION OR COMPACTION OF A PON BOTTOM OCCURSI. I WILL BE THE RESPONSIBULY OF THE CONTRACTOR TO RESTORE THE DESIGN HYDRAULC CONDUCTIVITY.

SANITARY SEWER NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR WASTEWATER CONSTRUCTION.
- 2. ALL SANITARY SEWER CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY BLCCD.D. MANHOLES SHALL BE 4 FT. INSIDE DIAMETER
- PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN MANHOLE CENTERLINE ALL SANITARY SERVICE LATERALS SHALL BE 6 INCH DIAMETER, UNLESS SPECIFIED OTHERWISE ON PLANS.
- INVERTS OF SANITARY SERVICE LATERALS AT THEIR CONNECTION TO SANITARY MANHOLES SHALL BE NO MORE THAN ONE (1) FOOT ABOVE THE MANHOLE INVERT.
- MINIMUM AS BUILT 8" PVC SEWER LINE SLOPE WELL BE 0.40% MINIMUM SLOPE OR WILL BE RELAID BY CONTRACTOR TO MEET THE MINIMUM SLOPE REQUIREMENT AT NO ADDITIONAL COST. MARK LATERALS WITH 4" X 4" X 8" PT POST PAINTED GREEN ON END
- 9. PIPE MATERIAL IS ASTM D3034. SDR-26 UNLESS OTHERWISE NOTED.
- A MINIMUM 1.54% SLOPE SHALL BE MAINTAINED ON THE SANITARY SEWER SERVICE LATERALS. AT NO TIME SHALL A SANITARY SEWER LATERAL HAVE A SLOPE OF 15% OR GREATER.
- SANTUMY SEVER ORANYY MANG ARE TO DE UNORMOLD NI MATERNAL TO NATURE MAIN DEVINOUTRONG AND INFORCISTATIONE (PRESSURE TEXTO WITH WHEN TO EXALURE TACTIONAL DE VERTICAL MANNUN RECURRED CLEANANCE (PROLA VANTER MAN CANNOT BE LANGE TACTIONE) ON IT HE SEVER MAIN IS ADOVE THE WARREN MAN LINEDRED TO MATERNAL CANNOT BE LANGE WITHOUT PROOF MEMORY. FROM TEXP.
- LEAKAGE TEST ARE SPECIFIED REQUIRING THAT
- CTION TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDED STANDARDS FOR WASTEWAT TIES, CHAPTER 33.85, FOR ALL GRAVITY SANITARY SEWER LINES. TESTING IS REQUIRED AFTER THE INAL BEEN NFLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE 50L-RPE SYSTEM TESTING REQUIREMENT
- NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
 USING A RIGID BALL OR MANDREL FOR THE PIPE DEFLECTION TESTS WITH A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DAMETER OR WIERAGE INDED DIAMETER OF THE PIPE. DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.
- TESTING OF THE SEWAGE COLLECTION SYSTEM IS AS FOLLOWS
- A. ALL GRAVITY SEWER MAINS REQUIRE LOW PRESSURE AIR TESTING IN ACCORDANCE WITH THE LATEST UNI-BELL STANDARD FOR LOW PRESSURE AIR TESTS. AIR TEST, AS A MINIMUM, SHALL CONFORM TO THE TEST PROCEDURES DESCREED IN ASTIM SPECIFICATIONS, ASTIM 17417 FOR PASTIC PIPE.
- 8. ALL SEWER MAINS SHALL BE LAMPED BY IN THE PRESENCE OF A BL.C.C.D.D. REPRESENTATIVE C. ALL MANHOLES SHALL BE INSPECTED FOR INFILTRATION, ALIGNMENT, FLOW CHANNEL CONSTRUCT TAR EPOXY PAINT THROUGHOUT.

D. DEFLECTION TEST ARE REQUIRED FOR ALL FLEXIBLE PIPE EXCLUDING FORCE MAINS. TESTS SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.D MEASURE FROM THE INTERFACE TO THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE NOTED.

15. SANITARY SEWER SERVICES SHALL BE INSTALLED 10' FROM BACK OF CURB.

SANITARY SEWER GRAVITY MAINS ARE TO BE UPGRADED IN MATERIAL TO WATER MAIN STANDARDS AND HYDROSTATICALLY PRESSURE TESTED WITH WATER TO ENSURE JOINT TIGHTNESS IF EITHER OF THE HORIZONTAL OR VERTICAL MINIMUM REQUIRES ("FLABANE" FROM A WATER MAIN, CANNOT BE MARTENNED OR IT THE SEVER PANINS ADVICT THE WATER MAIN.

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

WATER MAIN CONSTRUCTION NOTES

FORCE MAIN NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STA AND SPECIFICATIONS FOR FORCE MAIN CONSTRUCTION.

ALL FORCE MAIN CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY B.L.C.C.D.D

3. PIPE LENGTHS SHOWN IN REPRESENT SCALED DISTANCES BETWEEN FITTINGS OF BRANCHES AND MAINS

DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURE

5. VALVES SHALL BE EQUIPPED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH COVER, WITH THREADED EXTENSIONS WHERE NEEDED, UNLESS OTHERWISE NOTED.

ALL PVC FORCE MAIN SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS, MARKED WITH THE SEAL OF APPROVAL OF THE NATIONAL SANITATION FOUNDATION (NSF).

HYDROSTATIC & LEAKAGE TESTING OF THE FORCE MAIN SHALL BE DONE IN ACCORDANCE WITH THE AWWA STANDARDS, HYDROSTATIC TESTING TO BE DONE IN ACCORDANCE WITH AWWA C-600.

10. AR RELEASE VALVES SHALL BE REQUIRED AT ALL HIGH POINTS IN THE PROPOSED FORCE MARY, AS SHOWN ON PLANS, HIGH POINTS IN THE FORCE MAIN ARE DEFINED AS A CHANGE IN ELEVATION TWICE THE DAMETER OF THE INFERT.

A. HYDRO-STATIC TESTS CONSISTING OF A HYDROSTATIC PRESSURE TEST AND HYDROSTATIC LEAKAGE TEST SHALL BE CONDUCTED ON ALL NEWLY INSTALLED SEWER FORCE MAIN SYSTEM PRESSURE PIPES AND APPURTEMANCES 2500 OR M23 AS APPLICABLE. THE PRESSURE SHALL BE 100 PSI FOR TWO (2) IT

PER MARION COUNTY CRITERIA: IRIE INDINANTS MUST BE LOCATED SO AS NOT TO REQUIRE THE LAYING OF MORE THAN FOUR-HUNDRED (400) PEET OF THOSE CONNECTED TO SUCH HYDRIART, ALONG THE NEAREST PUBLIC RIGHT-OF-WAY, TO THE CENTER OF ANY BUILDABLE LOT OR PARCEL IN THE DEVELOPMENT.

ANY NEW HYDRANTS MUST BE ABLE TO EVEN 1000 G.P.M. OF WATER 20 P.S.I. AT ANY TIME OF THE DAY. ANY NEW HYDRANTS SHALL BE TESTED BY THE CONTRACTOR IN THE PRESENCE OF THE FIRE DEPARTMENT PRORT TO APPROVAL OF THE FIRE HYDRANTS BY THE FIRE DEPARTMENT (STH EDITION OF FLORIDA FIRE PREVENTION COED)

EACH NEW FIRE HYDRANT SHALL BE CLOW MEDALLION WITH TOPS AND BORNETS POWDER COATED FROM PACTORY, SAVETY BLUE.

VINERE LINDERGROUND WATER MARKS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PROR TO CONSTRUCTION WORK. (STH EDITION OF FLOREDA FIRE REVENEMENTED)

THE ACCESS ROADS SHALL REMAIN CLEAR OF VEHICULAR OBSTRUCTIONS TO ALLOW ACCESS OF FIRE DEPARTMENT UNITS WHELE THE BUILDINGS ARE BEING CONSTRUCTED. (STH EDITION OF FLORIDA FIRE PREVENTION CODE)

IF LAND CLEARING OPERATIONS REQUIRE BURNING AS BURN PERMIT MUST BE OBTAINED FROM THE DEPARTMENT OF FORESTRY PROR TO BURNING ANY MATERIAL.

ALL IRRIGATION, REUSE AND EFFLUENT REUSE PIPING TO BE OWNED AND MAINTAINED BY B.L.C.C.D.D. SOUD PURPLE COLOR.

REUSE AND EFFLUENT REUSE MAINS TO BE LOCATED S' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

ALL RELISE AND EFFLUENT REUSE MAINS UNDER PAVEMENT SHALL BE DUCTLE IRON PIPE AND SHALL EXTEND S' BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.

6. ALL IRRIGATION SLEEVING UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.

ALL NON-METALLIC REUSE MARKS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED RIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. SEE STANDARD DRAWINGS. IN ADDITION, ALL PVC REUSE MANNES SHALL BE A SOLD PURPLE COLD.

DURING CONSTRUCTION, THE CONTRACTORS SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLILING, SLITING OR ISSTURING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TUBBIENT TO THE EXISTING SURFACE WATERS, SUCH MEASURES SHALL BA PROPOSED BY THE PROJECT EMISTER AND ANY RECULUD, BUTTON LIMITED TO, CONSTRUCTION OF TEMPORARY EDGION CONTROL STRUCTURES SUCH AS SEGMENT BASINS, SEDIMENT CHICK, OR SI LI BARRIERS

A TA MINNERM, THE RETURNING/RETENTION STORAGE AREA MUST BE EXCAVATED WITHIN ONE FOOT PRIOR TO BALDING CONSTITUTION OR PACIENTIC OF INFORMATION SUBJECT WITHIN THE AREA TO BE SERVED BY THOSE FACILITIES TO PREVENT REDUCTION IN STORAGE VIGUINE AND PERCULATION MARTE. ALL ACCUMULATED SCIDINES MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADUATION. AND STABILIZATION.

AND ADDRIDNAL METHODS OF PROTECTION SHALL BE IMPLEMENTED BY THE CONFIGURATION ROLES OF PROTECTION SHALL BE IMPLEMENTED BY THE CONFIGURATION ROLDERS TO COMPLY WITH SUFFICIENT AND ADDRIDNE OF THE CONFIGURATION ROLES OF THE CONFIGURATION ROLDERS OF THE CONFIGURATION CONF

ALL SODDED AND/OR SEEDED AREAS MUST BE WATERED AS NECESSARY DURING CONSTRUCTION AND MONTHS AFTER COMPLETION OF CONSTRUCTION IN ORDER TO ENSURE STARIE ZATION AND SURVIVAL

SODDING OF DETENTION PONDS SHOULD BE ACCOMPLISHED WITHIN 14 DAYS OF POND GRADING TO MINIMIZE ERDISION POTENTIAL.

DEPTH OF REUSE AND EFFLUENT REUSE LINES TO BE 36" BELOW FINISHED GRADE.

CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL EROSION CONTROL MEASURES A CONTROL PLAN.

A 2' STRIP OF SOD SHALL BE PLACED BEHIND BACK OF CURB.

REUSE AND EFFLUENT REUSE MAINS SHALL BE PVC CONFORMING TO AWWA C-900-16; LATEST EDITION & SHALL BE DR 3B. ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICARTS, AND PVE PREPARATION, FOR LATING SHALL BE IN A ACCORDANCE WITH THE PVE MANUFACTURES HATEST RECOMMENDATIONS.

TED ON THE PROPERTY WILL BE CONSTRUCTED UNDER THE 8TH EI

11. ALL FORCE MAINS TO BE CONSTRUCTED WITH A MINIMUM OF 3 FEET OF COVER.

12. TESTING OF THE SEWAGE COLLECTION SYSTEM IS AS FOLLOWS:

FIRE DEPARTMENT

1. THE STRUCTURES BEING CONSTR FLORIDA FIRE PREVENTION CODE

ANY NEW FIRE HYDRA

EROSION CONTROL NOTES

REUSE NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH AWWA STANDARDS AS WELL AS THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WATER MAIN CONSTRUCTION. ALL WATER MAIN CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY B.L.C.C.D.D.
- SEPARATION REQUIREMENTS (SEE TABLE 1.0-UTILITY SEPARATIONS) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS, SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES AND ON-SITE SEWAGE TREATMART AND REPORT DETERMENT.
- NEW OR RELOCATED UNDORRIFICUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL INSTANCE ILEAT 3' BETWENT THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF MAY EXISTING OF REPORTSOL SEWER, STORM WATER FORCE MAIN OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PAG OF CHAPTER 5-610, FA.C.
- 2.1.2. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3' AND PRETERNALY 30' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EDISTING OR PROPOSED VACUUM-TYPE SWITTER.
- 2.1.3. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL OSTANCE OF AT LEAST & AND PRETRAMA'U DI ETVIENT IN E OUTSILG OT THE WATER MAIN AND THE OUTSILG OF ANY ELSISTING ON PROVIDED CHART'OR DIFESSATE PTYS SAVITARY SCHEME VALUE MAIN AND THE CHART ON THE SAVI ON PROVIDED CHART'S DIFESSATE DIFESSATION OF THE VALUE MAIN AND THE CHART OF THE SAVIE HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND DISM'N'T TYPE SAVIES SHALL BE REDUCTED TO STURBET RE EDITION OF THE WATER MAINS AND DISANCE THE TOO OF THE SAVIES.
- 2.2. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS OR RELIAIMED WATER PIPELINES:
- 2.2.1. HEW OR RELOCATED UNREDIGIDURD WATER MARKE CROSSING ANY GRAVITY OR VACUUM-TYPE SAMETAM STATE FOR SHALL BE LADS DITE COTTACTOR THE WATER MARKES AT LAST 5" AND RETERANCY 12" ACRIVE TOTAT LAST 12" BELOW THE OUTSIDE OF THE OTHER PRP. IT SPRETRANEL TO LAW THE WATER MARK AROVE THE OTHER PREINN.
- 2.2.2. NEW OR RELOCATED UNRERIGIUMD WATER MARKS CROSSING ANY DOSTING OR PROPOSED PRESSURE THY SAMITARY SENER, WASTINGHTE OR STORM WATER NAME KAN OR PREUINE CONVENSION RELAXION WATE SAMIL BE LOD SO THE OUTSIDE OF THE WATER MARK SAX 1 LEAT 22" ABOVE OR BELOW THE OUTSIDE OF THE OTHER PREUINE. IT IS PREEMANED TO LY THE WATER MARK BADOT THE OTHER PREUINE.
- Other RMPLEME. IS SWEETABLE TO UN THE WAITE MANA AND THE CHEER RMPLEME. 1.4. THE UTION CONTROL COLUMNESS OF AND ADDRESS OF ADDRESS 2.3. NO WATER MAIN SHALL PASS THEOLIGH OF CONTACT WITH ANY PART OF A SANITARY SEWER MANIFOLE OR A STORM SIMPLE MANHOLE.
- NEW OF SECURITY REFERENCES. WHY OF SECURITY REFERENCESS. WHY OF SECURITY REFERENCESS. DESCRIPTION OF SECU
- 2.5. EXCEPTIONS / MITIGATION: ADHERENCE TO THE ABOVE CONSTRAINTS AND SEPARATIONS IN THE ABOVE ITEMS SHALL BE CO MITING TO PERSON IF DRAFT REACTOR INDIGES IT IS NOT TECHNICALLY EXAMINE ON BOARD HITTIDOT SALEPTIONE IF OUR SAME INCOME THE I
- REPRESENT SCALED DISTANCES BETWEEN FITTINGS OF BR DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURER.
- ALL VALVES SHALL BE EQUIPPED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH COVER, WITH THREAD NEEDED.
- ALL PUBLIC WATER SYSTEMS COMPONENTS, EXCLUDING FIRE HYDRAFTS, THAT SMALL BE INSTALLED UNDER THS PROJECT, AND THAT SMALL COME INTO CONFACT WITH DERINGING WATER SHALL CONFORM TO REF INTERNATIONAL STANDARD BL AND SHALL BE MARKED WITH SYSTEM SFLOR OF APOLIAL.
- La menual multication de la construction de la construcción de la cons
- ALL NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLI DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. SEE STANDARD DRAWINGS. IN ADDITION, ALL PVC WATER MAINS SHALL BE A SOURD BLUE COLOR.
- MARK DRINKING WATER SERVICES WITH 4" x 4" x 8' PT POST PAINTED BLUE ON END.
- PIPE MATERIALS: ALL PIPES, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND MITTIRS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AWWA STANDARDS.
- In Crasting Annual Isochis To II. DOID SINUL B. IN ACCOMMENT WITH ANNUA DID AL ATTE TOTOM AD SINUL BILL PROPEND LIST AND AN AD ADVALUES AND ADVAL
- WATER MAIN CONNECTION SHALL BE MADE UNDER THE SUPERVISION OF THE <u>BLCOD</u>, ALL VALVES SHALL BE OPER BLCOD PERSONNEL ONLY. WATER MARIS ARE TO BE DISINFLICTED PER ANSWWAR CSSI-92 AND MARION COUNTY LA DEVELOPMENT COLD OF STANDARDS AND SPECIFICATIONS FOR WASTERWARE AND WATER MAIN CONSTRUCTION SE
- 13. ALL VALVES SHALL BE LOCATED IN NON PAVED AREAS, UNLESS SPECIFIED ON PLAN
- 14 FIRE HYDRANT I FADS SHALL HAVE A MINIMUM INSDE DIAMETER OF 6" AND SHALL INCLUDE AN ALIXULARY VALVE IF AGGRESSIVE SOL CONSTITIONS ARE FOUND DURING CONSTRUCTION, WATER MAINS SHALL BE PROTECTED THROUGH THE USE OF CORRESSION RESISTANT MATERIALS, THROUGH ENCASEMENT OF THE WATER MAINS IN POLYETHRENE, OR THROUGH PROVIDED OF CALIFOCE PROTECTION.
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHAL BE "LEAD FREE" AS DEFINED IN THE LATEST VERSION OF THE SAFE WATER DRINKING ACT.
- 7. WHERE NEW OR ALTERED DEAD-END WATER MAINS INCLUDED IN THIS PROJECT CANNOT BE AVOIDED, THEY SHALL BE PROVIDED WITH A FIRE FLUSHING HIDRANT OR BLOW-OF FOR FLUSHING PURPOSES.
- A THE THE ALL AND ALL
- PROPOSED FIRE HYDRANTS CONNECTED TO THE POTABLE WATER MAIN, FOR THIS PROJECT, SHALL BE PAINTED PER NIPPA AND AWWA STANDARDS. FIRE HYDRANTS CONNECTED TO THE DESIGNATED FIRE LINE SHALL BE PAINTED PER JURISDICTION. Areas to account the method to concrete to the decount of the use sout is shown in Analysis and the account of the method of the account of the account of the method of the account of the a
- N END OF THE AIR RELIEF PIPE FROM ALL AUTOMATIC AIR RELIEF VALVES WILL BE EXTENDED TO AT LEAST ONE FOOT IRADE AND WILL BE PROVIDED WITH A SCREENED, DOWNWARD FACING ELBOW: [FAC 62-555.320[21](b)(3, AND RSW
- ABOVE 8.4.2
- VENUEXICA AND LINE ONE MESSAGE MULTI AF PROVIDED IN THERVELES AND LINE REPORTED AND LINE AND . ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS WILL BE PROVIDED WITH THRUST BLOCKS OR RESTRAINED JOINTS TO PREVENT MOVEMENT. [IAC 62-555.322[21](b)]8, AND RSWW 8.5.4]
- - NEW OR ALTERED WATER MAIN INSTALLATION AND PRESSURE AND LEAKAGE TESTING, SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS. PVC WATER MAIN INSTALLATION AND TESTING SHALL CONFORM TO AWWA CEDS. NEW OR ALTERED WATERMAINS, INCLUDING FIRE HYDRANT LEADS AND SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, SHALL BE DISINFECTED AND BACTERICIOSOLALY TESTED IN ACCORDANCE WITH AWWA GESS.
 - 26. THE MINIMUM COVER TO BE PROVIDED OVER POTABLE WATER UNES SHALL BE 3'. RSWW 8.7.3 27. WATER SERVICES SHALL BE INSTALLED 10' FROM BACK OF CURB.
- - - THE GRAVITY SANITARY SEWER. BECI AIMED WATER NOT BECILIATED UNDER PART III OF CHARTER 62,610 F & I
 - Disclaimer This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555-314 for a
- LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314 r Main Water Main 3 ft. minimum M SEWER, MWATER FORCE MAIN Water Main Water Main Water Main 10 ft. preferred 3 ft. minimum 12 inches is preferred 6 inches minimum IN CANITARY SEWER Ц Water Main Water Main Water Main 10 ft. preferred 6 ft. minimum (1) RAVITY OR PRESSURE ANITARY SEWER, ANITARY SEWER FORCE MAIL ICCL MIMED WATER (2) Ц WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES. . LATED UNDER PART III OF CHAPTER 62-610, F.A.C. RY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF

- AS-BUILT NOTES
 - THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE E CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPR CONCURRENTLY WITH CONSTRUCTION PROGRESS. RECORD DRAWINGS SUBMITTED AS PART OF THE PROJECT ACCEPTANCE SHALL COMPLY WITH THE FOLLOWING REQ.

CLEARANCES

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING 50 DAYS PROR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.

THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIGNED AND SEALED AS BUILTS OF ALL STORM WATER IMPROVEMENTS AND ANY OTHER INFORMATION NECES

SIGNED AND GRANNERS AND ANY OTHER INFORMATION NECESSARY INPROVEMENTS AND ANY OTHER INFORMATION NECESSARY FOR THE CLEARANCE APPROVALS WITH <u>SWF W.KD</u>, AND THE LOCAL UTLIFY PROVEMER. THIS INFORMATION SMALL BE PROVIDED TO THE ENGINEER OF DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTULCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.

TABLE 3.0 -STORM PIPE COVER

(RIGID PAVEMENT)

RIGID PAVEMENT (DOWELED JOINTS AND GOOD CONDITION)

UGATED STEEL *

78" - 102" ROUND AND 108" & LARGER

NYL CHLORIDE

GATED POLYETHYLEN

15" - 48" ROUNS

TABLE 4.0 -STORM PIPE COVER

(FLEXIBLE PAVEMENT)

JOINTS NOT DOWELED OR POOR CONDITION (FRACTURED)]

P MINIMUM CON

MINIMUM COVE

(18") (27

UB) PIPE

LEXIBLE PAVEMENT OR RIGID PAVEMENT

BOTTOM____

ROUND & ELLIPTICA

36"-48" ARCH EQUIVAL

54"-72" ARCH EQUIVAL 78"-96" ARCH EQUIVAL

54"-72" ROUND 78"-102" ROUND

108" & LARGE

15"-24" ARCH EQUIVAL 30"-46" ARCH EQUIVAL

96"-102" ARCH EQUIVALER

D POLYETHYLENE

15" - 30" ROU

SHOWN IN BRACKETS [] APPLY TO T MUST BE SPECIFIED TO UTILIZE THE U

YVNYI CHI ORIDE

15" - 30" ROUND VALUES SHOWN IN PARENTHESIS () A WHICH MUST BE SPECIFIED TO UTILIZ

ED ALUMINUM

TEEL -

MINIMUM

OVER

4471-4545

VT AKC 100, Fax:

Bldg 1 1540

ING - L Ave. 187-4 FILANNING PLANNING 16th Av 52) 38:

NGINEER 1720 Office:

NOTES

GENERAL

R SITE PLAN - CANOPY (W OCALA, L.L.C. DN COUNTY, FLORIDA

MAJOR SI PV-TOW C MARION 0

DATE 05-16-24

DRAWNRY SAS

IOB NO. 23-8438

sht. 02.01

HKD. BY CMH

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TUUMEN O

Marion County Apr

- A. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
- DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDEREIRIUM ON AND GROUND STORM DRAINAGE, WATER, REUSE AND WASTEWATER PHYSIC AN APAURTENNECKS. LA IPPING IOLATION BICLIUMON HERICENTAL AND VI LOCATIONS OF UTULTES AND AFFURTHENESES SHALL BE CLEARLY SHOWN REFERENCES TO FEMANEINT SURFACE. IMPROVEMENTS. DRAWINGS SHAL SHOW ACTUAL INSTALLED PRE MATERIAL CASS, ETC. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
- ALL NON-METLUE FORCE MARE SHALL BE INTALLED INTA CONTINUUS, INSELATED IS GAUGE COPPER WHE INSTALLED DIRECTLY ON TOP OF THE PREFOR LOCATION THROUGHS. SEE STADAURO DRIVINGS, IN ADDITION ALL TVC: FORCE MARE SHALL BE ETHER SOLD GREES COCIO (MINTE WIT) GAUGE INTERNIT GAUL LITTERNO SHALL APPEAR LODGY ON THE AND BAUL RIX THE BYTHE LINGTH OF THE PRE-LITTERNG ANAL LITTERNO SHALL APPEAR LODGY ON THE AND BAUL RIX THE BYTHE LINGTH OF THE PRE-LITTERNG CHALL BEDA AS SACCEMBRE FOR THE INTERNED USE. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
 - E. LOCATION OF ALL INLETS AND MANHOLES, HYDRANTS, VALVES AND VALVE BOXES SHALL BE SHOWN, ALL VALVES SHALL BE REFERENCED FROM AT LEAST TWO PREFERABLY
- DIMENSIONS BETWEEN ALL INLETS AND MANIHOLES SHALL BE VERIFIED AND SHOWN. TH INVERTS AND GRADE ELEVATIONS OF ALL INLETS, CONTROL STRUCTURES AND MANIHOLES SHALL BE SHOWN.
 - CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR POND GRADING. SPOT ELEVATIONS SHALL BE TAKEN AT TOP OF BANK, POND BOTTOM, AND ALL GRADE BREAKS AT 50'
 - DRAWINGS SHALL CLEARLY INDICATE VERTICAL AND HOREDNTAL SEPARATION BETWEEN WATER MAIN AND STORM DRAINAGE/SANITARY SEWER/RECLAIM WATER MAINS AT POINT OF CROSSING IN ACCORDANCE WITH FDEP CRITERIA.

 - EXCREMENTATION OF A DATA THE CHARTLE AND ADDRESS TO THE ADDRESS THEADDRESS TO THEADDRESS TO THE ADDRESS TO THE ADDRES EACH SHEET OF THE PLANS SHALL BE SIGNED, SEALED AND DATED BY REGISTERED SURVEYOR WITH A NOTE READING "THESE AS-BUILT DRAWINGS ACCURATELY DEPICT THE ACTUAL IMPROVEMENTS AS described on the second s

HYDRANTS WATER SERVICE (SIZES: 3/4", 1', 1-1/2", 2', etc.../MATERIAL, etc...) WATER MAIN (SIZES: 3/4", 1', 1-1/2", 2", etc.../MATERIAL, etc...)

MARTICLES (WYERI ELEVATIONS, INT ELEVATIONS, IEC...) SEWER LATERALS (SIZES: 3/4", 1', 1-2/2", 2", IEC../MATERIAL, IEC...) GRAVITY SEWER MAIN (SIZES: 3/4", 1', 1-2/2", 2", IEC.../MATERIAL, IEC...) FORCE MAINS (SIZES: 3/4", 1', 1-2/2", 2", IEC../MATERIAL, IEC...)

TABLE 2.0 - STORM PIPE COVER (UNPAVED)

COMMERCIAL

18" [15"]

24" [33"]

(24") [27"]

21" [21]

(30") [33"]

36" 27" [24"]

33" (21") [27"] 36" (24") [30"]

(30") [36"]

(35*)

18" [21"

12" [12]

(18") [21"]

(24*)

15" [15"]

18" (12") [15"] 24" (18") [21"]

(30")

UNPAVED

AUTOCAD AS-BUILT LAYERS WILL BE REQUIRED TO BE FORMATTED WITH THE FOL

SYSTEM VALVES (MAIN VALVES - PLUG, etc...) CONTROL VALVES (ARV's, PRV's, etc...)

CLEAN OUTS SYSTEM VALVES (MAIN VALVES - PLUG, etc...) CONTROL VALVES (ARV's, PRV's, etc...) FITTINGS MANNED IS (INVEST IF EVATIONS: BIM FEEVAT

PIPE TYPE/SIZE & SHAPE

36"- 48" ROU

15" - 30" ARCH EQUI

102" & LARGER ARCH

ATED ALUMINUS 12" - 24" ROUN 30" - 48" ROUN 54" - 72" ROUN

30" - 48" ARCH E

UGATED POLYETHYLENE

54" - 72" ARCH EQUIV

95" - 102" ARCH EQUIVALER

15" - 45" ROU

SPECIFIED TO UTILIZE THE LESSER COVER. VALUES SHOWN IN BRACKETS [] APPLY TO TYPE 1-R (SPIRAL RIB) PIPE WHICH MUST BE

78" - 102" ROUN

NCRETE *

RUGATED STEEL

WASTEWATER



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER







NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER





NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

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NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

				Плиная Сламания Плиная Сламания от автерия от авте
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PART 1.00 GENERAL

1.01 WORK INCLUDED

A. LANDSCAPING: Provide all labor, materials, plant materials, soil additives, soil preparation, aesthetic and fine grading, fortiling, mulciling, planting, stalling, sodding, clanup, equipment, services, and maintainain plantings until Substantia Completion to all landscaping work indicated on the Drawings and as specified, and as regurited by the Warnath ythrough Final Acceptance.

1.02 RELATED WORK SPECIFIED ELSEWHERE

A. Refer to irrigation drawings and requirements.

1.03 WARRANTS

A the construction of apparential process of the proposed participation of the theory of the construction of the process of the construction of the construction of the construction of the process of the construction of

8. Any dead starts, or plants showing indication of probable non-sarvival or lock of hashit and vigor, or which do not exhibit the characteristics that meet Spontantion, your and the regional which the Characteristics that meet be duringed and installed at no additional cost to the Owner. All implacements shall meet the original SpontChators and shall be guaranteed for an additional period equal to the original.

C. The Contractor shall notify the Owner in writing ten (10) days prior to the end of the guarantee period shall extend until notification is

1.04 PROTECTION

A. The Contractor shall provide and maintain the necessary safeguards to protect the work, adjacent property, and the public, and shall be responsible for any damage or injury due to the Contractor's negligence.

1.05 VERIFICATION OF PLANS, DIMENSIONS, AND QUANTITIES

A. The Contractor is responsible for obtaining the current and latest approved plan

Before proceeding with any work, carefully check and verify all dimensions and quantities. All scaled dimensions are approximate.

C. Immediately notify the Landscape Architect of any inaccuracies or conflicts. 1.06 SUBMITTALS

A. Submit documentation to Owner's Representative within fourteen (14) days after award of Contract, indicating quantities of plant material, availability, and source of plant material.

B. The Contractor shall be responsible for all material listed on the Plant List unless noted otherwise. C. All material shall be subject to inspection and approval by Owner's Representative

D. The Contractor shall coordinate a material tagging trip with the Landscape Architect for all tree, specimen, and accent materials as indicated during the pre-construction meeting.

E. Any and all substitutions due to unavailability must be requested in writing prior to confirmation of ordering. In the event plant material is not available as specified in the Plant List, provide documented requests proving unavailability from three (3) reactivened inversely.

- F. The Contractor shall submit "As-Built" drawings as indicated on the drawings and specifications prior to Substantial Completion. 1.07 QUALITY ASSURANCE
- A REFERENCE SPECIFICATIONS AND STANDARDS
- 1. Standards as established by the Florida Nursery Growers Association (FNGA)

B TESTS AND INSPECTIONS

I. Pantis shall be subject to inspection and approval of the Owner's Representative at place of growth and/or upon delivery for conformly to specifications. Such approval shall not impair the right or inspection during progress of work. Inspection and tagging of plant materials by Owner's Representative is not approval of the plant material with regard to the heath and vigor. The heath and vigor of the plant material is the sole responsibility of the Contractor.

2. The Contractor shall be responsible for proper plant growth in existing on-site path. Prior a commitment of plant disponent, the Contractor and a causine water to determine if cold chemistry and dataget is satisfactory. Any runatatifactory conditions shall be brought to be immediate attention of the work''s Representative for possible medical action or plant metrial substitutions. The Denn's Representative reserves the right to make immediate attention of the result of the transport for the right to make immediate attention of the result of the right to make immediate attention of the result of the right to make immediate attention of the result of the right to make immediate attention of the result of the right to make immediate attention of the result of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the right to make immediate attention of the results of the results

3. Owner's Representative reserves the right to take and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request of the Owner's Representative. Rejected materials table immediately removed from the site at the Contractor sequence. The Contractor shall pay cost of testing of materials not meeting specifications.

C. CHANGES IN WORK

The Donary's Representative may order charges in the work, and the composition gloghtmetric the twants drud the made to the Contract. All such orders and adjustments, plus claims by the Contractor for earth compensation, must be made and approved in writing prior to executing the work involved. All changes in the work, notifications, and Contractor's nequest for information shall conform to the contibution of the Contract.

D. CORRECTION OF WORK

 The Contractor, at their own cost, shall re-execute any work that fails to conform to the requirements of the Contract and shall remedy defects due to faulty materials or workmanship. E. PERFORMANCE

All planting shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.

- 2. All work shall comply with applicable codes and regulations.
- 3. The work shall be coordinated with other trades to prevent conflicts.

1.08 PROJECT CONDITIONS

A.Sequencing: Do not commence planting until site grading, soil import, and preparation has been completed.

B. Inspect and approve all sprinkler work and finish grading prior to the start of strub and groundcover planting as specified. Trees may be planted in advance of infigition system installation provided adequate providion is made for interim watering at the Contractor's expense.

... no contractor shall inform the Landscape Architect of any discussary between the Drawings, Specifications, and actual field conditions. Immediately inform the Owner's Representative and do not kin owner and waitree there is a significant discrepancy until approval to proceed has been received from the Owner's Representative.

1.09 SITE CONDITIONS A Existing Conditions:

Exercise care in digging and other work so as not to damage existing work including, but not imited to, part material, impation materials, underground pipes and calleds, and the pipes and hydrants of valenting systems. Should such overhead or underground obstructions be encountered which interfere with planning, the Lankcape, Architect shall be consulted and will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate regard or any damage caused by their works.

2. Should any objectionable materials such as old concrete, bricks or other debris be encountered during planting operations, the Contractor shall bring this to the attention of the Owner's Representative to coordinate removal of the material from the site.

 Unsatisfactory conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action. 1.10 PRODUCT HANDLING

A Delivery:

1. Plant transportation shall comply with all Federal and State regulations.

Deliver fertilizer to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trademark and conformance to State Law.

3. The Contractor shall furnish Owner's Representative receipts for all amendments.

4. Deliver all plants with legible identification labels.

Label trees, evergreens, bundles of containers of like shrubs or groundcover plants.

b. State correct plant name and size indicated on plant list.

- c. Use durable waterproof labels with water-resistant ink, which will remain legible for at least 60 days.
- Protect plant material during delivery to prevent damage to root ball or desiccation of leaves.
- Contractor shall notify the Owner's Representative three (3) days in note of delivery of all plant materials and shall submit an itemized list of plants in each delivery.
- B. Storage: Store plant material in shade and protect from weather.

C. Handling: The Contractor is caudioned to exercise care in handling, loading, unloading, and storing of plant materials. Plant materials that have been damaged in any way shall be discarded. If they have been initiated, they shall be replaced with undamaged materials at the Contractor's expense.

D. Tagged Materials: The Contractor shall leave all tags on materials previously tagged by the Owner's Representative until Substantial Completion

PART 2.00 PRODUCTS

2.01 MATERIALS A. GENERAL

Neuroscitatives: All insect shrade and photoe balls betwee to revert an excitabilisticity by the Severtion Novie Committee on Hydrochina's Wonnerschuture publication "Standard Plant Names". The designated subholy for the identification of all materials shale be the two publications of Li-K. Balay, "Hortus III" and "Manual of Cubicated Plants", and all specimens shall be true to type, name, etc., as described therein.

Grade Standards and Quality: All plants shall be nursery grown and shall comply with all required inspection, grading standards and plant regulations as set forth in all sections of the Florida Department of Agriculture "Florida Grades and Standards for Nursery Plants" latest edition.

3. The minimum grade for all trees and which shall be forkids No. 1 unless otherwise indicated. All plates shall be sound, healthy and vigcous, well tranched and desmity foldated when in less. They shall have healthy, well-developed not systems free of defects, and shall be free of disease and insict pest, ago or larvae. 4. Measurements:

The minimum acceptable size of a plantin, measured while previous, while both the short the s

b. Clear trunk of all types of palms shall be measured from the finished grade to the beginning of the fronds. The booted portion of the head of the palm shall be in proportion to the overall height of the palm.

Plant Protection: Plants shall be protected upon arrival at the site, by being thoroughly watered, kept moist, and properly maintained until planted.

B. PLANT MATERIALS: In reference to method of cultivation, root system status, etc., plants for landscaping shall be classified under the following designations

1. Container Grown Plants: a. Container grown plants shall have been grown in a container large enough and for sufficient time for the root system to have developed well to hold its soil together firm and whole; no plant shall be losse in the container. Plants shall have been root pruned at each step in the plant production process to remove girdling or kinked roots.

b. All containers shall be cut and opened fully in a manner such as will not damage the root system. Container grown plants shall not be removed from the container until immediately before planting, when all due care shall be taken to prevent damage to the root system.

c. Plants which have become root bound, girdling, or have poor ro distribution, will not be acceptable. Also not acceptable are plan roots or root colliers that lack healthy structural and radial chara The Contractor shall replace regiscratile material, or provide com measures prior to planting according to best industry practices.

2. Balled and Burlapped (B & B) Trees:

b. Burtap: Shall be pure burtap, 100% organic material with the ability to c. B & B trees shall have been routinely pruned during field production and dug at least four (4) weeks prior to planting. 15. Burlap and Wire Removal:

16. Box removal:

17. Plant tablets:

18. Backfill:

necessary to remove injure prior to delivery of plants.

D.Planting of flowering annuals:

E Sod planting:

G Seeding

a. After the root ball is positioned and backfilled, remove all twine and cut away the top of the burlap; do not fold down into the soil.

b. Remove the top 6 - 8 inches of the basket wires prior to final backfilling. Fold back sharp wire ends.

Remove bottom of plant boxes before planting. Remove sides of box without damage to root ball after positioning plant and partially backfilling.

a. During installation, Agriform 20-10-5 Tablets Plus Minors, or approved equal, shall be provided in each planting hole as per quantities and application of the manufacture's specifications.

b. Planting tablets shall be set with each plant on the top of the root while the plants are still in their containers so the required number tablets to be used in each hole can be easily verified by the Owner Representative.

a. The remainder of the hole shall then be backfilled and tamoed firm

b. Next, an earthen basin shall be constructed around each plant. Each basin shall be of a depth sufficient to held at least three (3) inches of water. The basins shall be constructed of amended backfill materials. Remove basin in all turf areas after initial watering.

Pruning: Pruning of new plantings shall be limited to the minimum necessary to remove injured twigs and branches. Pruning may not be done

price outwiney or particle. 20. Staking and Guryley: The Contractor shall be responsible to maintain three in a straight and plumb position throughout the guarantee period. Thee staking shall coincide with three planting. All stakes shall be installed plumb and as indicated in the details. Stakes and guys shall not create tripping or other hazardous conditions. Remove the staking and gurying materials once these are established.

Flowering annuals shall be grown in 4° pots as indicated on the plans. Annuals shall remain in their flats until transplanting. The flat's soil shall contain sufficient moisture so that it will not fall apart when lifting the plants

The annuals shall be planted in straight rows and evenly spaced, unless otherwise noted, and at intervals called out in the drawings. Triangular spacing shall be used unless otherwise noted on the drawings.

3. Each rooted plant shall be planted with its proportionate amount of flat soil. Plantings shall be immediately sprinkled after planting until the entire area is soaked to the full depth of each hole.

4. The annuals planting area shall be mulched with appropriate fine bedding mulch. Each annual bed shall be mulched so that the ground is thorough covered, and the annuals are not buried.

Care shall be exercised at all times to protect the plants after planting. Any damage to plants by trampling or other operations of this Contract shall be renaired immediately.

Preparing soil: Remove rocks, weeds, and debris from area to be sodded. If dirt is compacted, work up soil to a depth of 6 inches and break up all clods. Test soil and prep all areas as noted elsewhere in specifications.

Grading and rolling: Carefully smooth all surfaces to be sodded. Roll areas to expose soil depressions or surface irregularities. Regrade as required.

3. Laying sod: Lay first strip of sod stabs along a straight line (use a string in inegular anxes). But joints tightly, do not overlap edges. On second strip, stagger jeike much as in laying incise. On stope, leiph at the bottom and runs do strips along the bottom of the stope. The second and strip row will be at a higher elevation. Use a straign joint to out soft or fit causes. eddes and

as a regner elevation. Use a sharp knife to cut sod to fit curves, edges and sprinkler heads. Sod shall be laid within 72 hours of harvesting and 12 hour from time of delivery.

4. Actoring: On slopes steeper than 4:1, sod shall be anchored with one-inch-wide by sevench long U-shaped #11 non-galvanized steel wire staples. Use a minimum of four (4) staples along the upfils lide of these datigs in every other row. Along waterways, two (2) additional staples shall be placed in the upper end of each od strip at these actings in those. Staple shall be driven fluch with the top of the sod. Provide additional staples are necessary to secure sod in place.

Watering: Do not lay whole lawn before watering. When a conveniently large area has been sodded, water lightly preventing drying. Continue to lay sod, and to water until installation is complete.

Rolling sod: After laying all sod, roll lightly to eliminate irregularities and to form good contact between the sod and soil. Avoid a very heavy roller or excessive initial watering which may cause roller marks.

Inrigation: Water thoroughly the complete lawn surface. Soil should be molitored at least 8 inches deep. Repeat sprinkling at negular intervals keep sod moist at all times until rooted. After sod is established, decreas frequency and increase amount of water per application as necessary.

8. Replacement: Replace all dead or dying sod with equal material prior to inspection and as directed by the Owner's Representative

Mulch shall be 3" thick minimum following application, and 3" away from plant trunk.

On berms and slopes steeper than 4:1, install plants through coconut fibe erosion control blanket Rollmax C125BN or approved equal. Along plantee swales and waterways, provide Enkamat J or approved equal. Install and anchor blanket/mats per manufacture?s specifications.

Prepare soil: Remove rocks, weeds, and debris from area to be seeded. If dirt is compacted, work up soil to a depth of six (6) inches and break up all clods. Test soil and prep all areas as noted elsewhere in the Specifications.

Time seeding as appropriate for the type of plant, generally as: bahia with browntop millet in mid-February through mid-August; bahia with rye in mid-October through early January.

3. Apply seed according to the application rates and instructions specified by the

Uniformly spread seed over the seeding area and incorporate into the soil at a depth of 1/4 to 1/2 inch.

5. Cover the seed with a solid layer of straw mulch that is dry, and free of weed and incerts

6. Roll and disc the seeded area so the mulch is fully anchored to the soil.

7. Do not apply water to newly seeded areas to force seed germination. Supplemental irrigation may be necessary during dry periods to sustain growth. When irrigation is provided, the seed bad shall be moist, not overly wet.

c. Tablets shall be located in the upper 1/2 to 1/3 of the plant pit, 1°-2° from roots

6. Weeding: Before and during preliminary and finish grading, dig out all weeds and grasses by the roots and discose of of the stres. Grasses not of the units of the stress of the s

Trenches: If sprinkler system has been installed after grading and fertilizing has been completed, re-till the trench, backfill, and fertilize to the depth specified for the area to conform to specified requirements.

8. Eliminate all erosion scars prior to commencing maintenance period

2 02 MATERIAL S INSTALLATION

D. Disposal of excess soil: Dispose of any unacceptable or excess soil at an off-site location anomatic by Owner's Recommendation

A. All plant materials shall be approved by the Owner's Representative as they are delivered to the job site or other site inspections, and in all cases:

Conditions: Planets shall be symmetrical to strong but to start, in a condition of healthy and vignous growth, free from plant disease, insert ests, or their ago, and with healthy normal not systeme setting their containers, but not to the piel of being root bound. Plants shall not be punded prior to dolivery, encept as authorized by the Owner's Representative. Spray al trees to eliminate intents and funges and apply folar and theatmanner for to dolivery.

Dimensions: The height and spread of all plants shall be measured with branches in their normal position. Where dimensions of any plant materials are omitted from the Plant List, plants shall be normal stock for type listed.

Actual planting shall be performed during those periods when weather and soil conditions are suitable and in accord with locally accepted practice.

Only as many plants as can be planted and watered on that same day shall be distributed in a planting area.

5. Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the roots is not broken and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall not be opened prior to placing the plants in the planting area.

6. Do not do any planting, other than specimen trees, until all operations involved with the installation of the spirisker system have been completed final grades have been established, the planting areas have been properly graded and prepared as havein specified, and the work approved by the Owner's Representative.

The relative position of each tree and plant is subject to approval by the Owner's Representative, and shall, if necessary to achieve project design objectives, be relocated as directed.

Concerning, an indexation of networks 8. Remove each plant from its container and plant in such manner that when setting it, will bear the same relation to the constructed finished grade as it bore to the grade in the container bafore being transplanted. Place each plan in the carter of the plant ab addit, unless otherwise generalized, with the prepared soil. Filing will not be permitted around trunks or stams. Properly cut off all broken or threed rocks.

B. Layout of major plantings: Locations for plants and outlines of areas to be planted shall be marked on the ground before any planting pits are dug. All such locations shall be approved by the Owner's Representative.

Layout shall be accomplished with flagged grade stakes indicating plant names and specified container size on each stake or alternate approved method.

If underground construction or utility line is encountered in the excavation of planting areas, other locations for planting may be selected by the Owner's Representative or Landscape Architect.

It shall be the Contractor's responsibility to confirm with the Owner and governing agencies the location and depth of all underground utilities and obtaution;

Excavation for planting shall include the stripping and stacking of all acceptable topsoil encountered within the areas to be excavated for trenches, tree holes, plant pits and planting beds.

Excess soil generated from the planting holes and not used as backfill or in establishing the final grades, shall be removed from the site.

Protect all areas from excessive compaction when trucking plants or other material to the planting site. Compacted areas shall be cross-ripped to 12"

Set plant plumb and hold rigidly in position until soil has been tamped firmly around ball or roots.

7. All excavated holes shall have vertical sides with roughened surfaces and shall be of a size that is twice the diameter and one-half times the depth of the

be of a size that is when the training and other an other and other and the opport of the settled, it will bear the same relation to the constructed finished grade as it not ball for all shrubs. Trees 15 gallon and smaller to be planted as above, trees 24th box or larger to be excavated to the depth of the note ball (allow 1-2² for settlem) and as sease allows. 24th care of the note ball on all sides.

Layout areas and set stakes/flags for trees at locations indicated on Drawing Secure approval from Owner's Representative before excavating pits. Make necessary adjustments as directed.

a. Specimen trees to be planted prior to construction of finish grades shall be located by surveyor for position and finish-grade relationship to top of root ball.

9. When hardpan or muck is encountered, break through to clean soil and backfill with prepared backfill as directed. Losson compacted soil at sides and bottoms by scarkfing or other approved method. Site true to finish grade and fill the pit with prepared scali, progressively setting the soil about the root tail by water jeffing and hooding to remove vidds.

Set tree in center of pit in a vertical position so that crown of ball will be level with finish grade after allowing for watering and settling.

Prepare watering basin same width as tree plant ball. Water thoroughly immediately following planting. Bachfil all volds which develop with additio prepared planting soil to bring to finish grade. Remove all basins in lawn areas, and smooth to finish grade prior to laying sod.

Monitor tree and shrub root balls for adequate moisture content. Deep water and/or provide soaker hoses to maintain moisture supply.

13. All plants which settle deeper than the surrounding grade shall be raised to the correct level. After the plant has been placed, additional backfil shall be added to the hole to cover approximatify one-half of the height of the theory of the standard between the backfill and the height of the theorem of the standard the root ball. At this stage, water shall be added to the top of the party filled hele to theorem of the standard the root ball and adjacent soil.

a. Cut cans on two sides with an acceptable can cutter.

5. Face plants with fullest growth toward the best public view

C. Planting of trees, shrubs and groundcovers:

4. Center plants in pit or trench

14. Can removal:

b. Do not injure root ball. c. Do not cut cans with spade or axe Provide fertilizer, weed and pest control, and mowing to promote a contiguous stand of groundcover.

A. At the last working day of each week, and after all planting operations have be completed, remove all vash, encess skil, plant containers, and rubbin from the property. All that has the removed completing from the sits and disposed of automation of the site work shall be repaired.

B. The Contractor shall leave the site area broom-clean and shall wash down all paved areas within the Contract area, leaving the premises in a clean condition. All walks shall be left in a clean and safe condition.

A. All inspections herein specified shall be made by the Owner's Repretitive designee as the work progresses.

C. Continuously protect all lawn areas, plant materials, and tree supports until Substantial Completion of the work.

A. The Contractor shall be responsible for notifying the Owner's Representative in advance for the following site visits.

 Time indicated as follows:

B. Protect work completed by other trades from damage.

a. Pre-job conference - 7 days

d. Plant material review - 48 hours

e. Plant layout review - 48 hours

f. Final acceptance walk-through - 7 days

3.07 SUBSTANTIAL COMPLETION OF INSTALLATION

2. Remove all debris resulting from landscape work.

B. Prior to inspections do the following:

3.08 FINAL ACCEPTANCE OF INSTALLATION

g. Verification of Warranty walk-through - 7 days B. When observations are conducted by someone other than the Owner's Representative, the Contractor shall show evidence in writing of when and by whom these observations were made.

A Maintain all planted areas free of weeds, debris and insects. Mow, cultivate, weed, and water all areas until the work is approved as substantially complete by the Owner.

1. Reseed, resod or replant areas where necessary for full and even coverage

Regrade, lightly compact and replant around sprinkler heads where necessary to maintain proper vertical positioning in relation to general grade.

Fil all depressions and eroded channels with sufficient soil mix to adjust grade to assure proper drainage. Compact lightly and replant the filled area in accord with plan requirements.

C. The approved date of Substantial Completion shall be the date when the Owner's Representative accepts in writing that all Planting and Irrigation work is substantially satisfactory and complete.

A. At the end of the guarantee period, if the Owner is satisfied with the Planting and Irrigation work, and all conditions of the Warranty are complete, the Owner shall provide Final Acceptance.

END PLANTING SPECIFICATIONS Trilman & Associates Engineering 11C New 2021

B. If the work fails to pass verification of Warranty, any subsequent observation must be rescheduled as per the above schedule. The cost to the Owner for additional observations will be charged to the Contractor at the prevailing to rate of the Owners Representative.

5. Address any items noted in the punch list from prior inspections

6. Provide "As-Built" drawings plotted to scale and as digital PDF.

b. Tree tagging - 7 days c. Final grade review - 48 hours

3.04 CLEAN-UP

3.05 FIELD QUALITY CONTROL

3.06 OBSERVATION SCHEDULE

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SPECIFICATIONS

PLANTING

L.C. FLORIDA

ITE PLAN -OCALA, L.I COUNTY, I

MAJOR SI PV-TOW (MARION (

DATE_ 7/11/2024

SUBMITTAL #2

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

DRAWN BY___ CHKD. BY JRP JOB NO. 23-8438

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TRUMENT ENGINEERING - PLANWING - LA 11720 SE 16th Ave. 1 Office: (352) 387-45

ING, LLC.

d. Roots Plus: All trees classified as B & B shall be tagged as a Roots Plus product and the tag shall remain until Substantial Completion has been product and the tag shall remain until Substantial Completion has been awarded. Any material previously tagged at a nursery by the shall have the nursery's locking tag visible on the tree until inspection.

3. Bare Root Plants: No bare root plants shall be used unless otherwise

4. Grow Bag/Fabric Container Plants: No grow bag plants shall be used. Sod: Sod shall be established, well-rooted Argentine Bahia, St. Augustine, other as specified. Muck-grown sod shall not be used. Sod shall be free of useds and undersimble online oncome.

6. Seed:

a. All seed shall have 95% pure seed content with a verified 85% minimum germination rate.
b. Unless specified otherwise, grass seed shall consist of a 80,20 mixture of Arguntine Bahia and annual rye (or Argentine Bahia and browntop millet as applicable of the season; sensatilation).

C. OTHER MATERIALS:

1. Soil: a. Topool shall be a friable loam, typical of cubivated topools locally, containing at least 5 percent of decayed organic matter (humung). It shall be teached by the declander, and least local, the shall be reasonably free of weeks, autous), atomer, clock, sticks, roots or other objectionable extransous matter of decisis. It shall be reasonable and shall have an actisty range of pH (a) to 2.0 Topool from mut grass infeated areas will not be acceptable.

b. Solt lesting shall be performed and analyzed by a laboratory registered by the state. Testing shall include fertility and suitability analysis with written recommendations for fertilitar or amendments, which shall take precedence over rates or analysis specified in this section. Soil testing shall be the Contractor's responsibility. Submit test results to the Landscape Architect for review.

c. Soil Preparation: Prior to placing mix and backfill, or commencing with planting, rotolil any or all areas that have been previously compacted over 90 percent for other construction purposes.

a. Fortiliser, part of which the elements shall be derived from organic sources, plat the a complete bend formula, balanced as subtable for plat type. It all contain introgen, photophas, and potassium, as well as incommented microsubrates such as magnetism, mice, copper, and the structure of the second second second second second second bend second second second second second second second second microsoft second secon

b. Agriform 20-10-5 Tablets Plus Minors, or approved equal, shall be provided in each planting hole as per quantities and application of the manufactures specifications.

c. A complete fertilizer analysis shall be approved by the Landscape

Weed Control: All planting beds shall be treated with the pre-emergent Snapshot 2.5 TG prior to mulching per manufacturer's instructions.

1: All mulch shall be grade #1, clean, bright, and free of weeds, moss, and other debris. Pine straw shall be used unless specified otherwise. ss mulch shall not be used.

5. Water: Suitable water for the irrigation plants during the progress of construction shall be provided and provided and paid for the by the Contractor, who shall also furnish adequate watering equipment.

6. Tree Stakes and Ties: Stakes and tree ties shall be provided in accordance with the plan details and the Staking and Guying requirements. Substitution require written approval by the Owner.

PART 3.00 EXECUTION

3.01 INSPECTION

A. Ensure that final grades to three (3) inches have been established prior to commercing planting operations. Provide for inclusion of all amendments, setting, etc. The Contractor shall be responsible for the finish grading of all planting areas, to elevations as indicated on Civil Engineer's plans and as directed by the Owner's Representative.

B. Inspect trees, shrubs and liner stock plant material for injury, insect infestation and trees and shrubs for improper pruning. C. Do not begin planting of trees until deficiencies are corrected or plants replaced

3.02 PREPARATION

A. The Soil Preparation:

1. All planted areas to be planted shall be loosened to 12" except 2:1 or steeper slopes. 2. Soll to be used for planting shall be free of rocks over 1/2" in diameter, and free of foreign detrix, refuse, plants or rocks, clock, weeds, sticks, solversts, petroleum products, concrete, base rock, or chef netletrious or endanceus material. Soil shall be free of soil-home diseases and capable of sustaining healthy jaint IIP. Nattraikin can exercing these specifications shall be remove

B. Aesthetic Gradino:

The Contractor shall be responsible for re-grading of ponds and berm grading as indicated as audithetic parking on the glass and details.
 F.H. dir, H. (respin, dural, dural law locally durationed material from naturally durated sources, free from dry, organic detricit, stones larger than 1-loch diameter and other materials harmand to associated durating and plant growth. Soil shall be well mixed and contain no more than 25 percent music.

Berms shall be gently rolling and parabolic with uniform levels or slopes with no more than 4:1 maximum slope.

Finish grading shall insure proper drainage of site as determined by the Civil Engineer's grading plans and the Owner's Representative.

All areas shall be graded such that final grades will be 2" below adjacent paved areas, sidewalks, valve boxes, headers, clean-outs, drains, manholes, etc. or as indicated on Drawings.

Surface drainage shall be away from all structure foundations at a minimum of 1/4" per foot to aid in water runoff.

S. Remove or redistribute excess sell before application of fortilizer. Make allowances when establishing finish grades for earth excavation from planting pits and mulch.

 The Contractor shall contact the Landscape Architect for approval of all aesthetic grading prior to any planting. C. Final Grades: 1. Minor grading modifications may be required to establish the final grades. PLANT LIST

Key	Qty	Botanical Name	Common Name	Size and Spacing	Native	Shade
Trees						
BBT	3	Callistemon 'Red Cluster'	Bottlebrush, tree-form	#30; 6' ht x 5' sprd; MT; 2' min open below		-
BND	5	Betula nigra 'Dura-Heat'	River Birch	#65; 12-14' ht x 6-7' sprd; MT 2-3 matched trunks	Yes	Yes
ILC	3	Ilex x 'Conaf'	Oak Leaf Holly	#30; 6' ht x 3' sprd		
ILS	3	Ilex x attenuata 'Savannah'	Savannah Holly	Cont/B&B 10-12' ht x 4'+ sprd; 3 1/2" cal min; 3' CT; standard; straight leader	Yes	Yes
UT	6	Ligustrum japonicum	Ligustrum, tree-form	B&B 6' ht x 5' sprd; MT; 2' min open below		
MGD	3	Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Magnolia	Cont/B&B 13-15' ht x 6-8' sprd; 3 1/2" cal min	Yes	Yes
PP	5	5 Pinus palustris Longleaf Pine Cont/B8B; 14-16' ht x 6' sprd; 3 1/2" cal min		Yes	Yes	
QS	2	Quercus shumardii	Shumard Oak	Cont/B&B 13-15' ht x 6-8' sprd; 3 1/2" cal min	Yes	Yes
qv	6	Quercus virginiana	Live Oak	Cont/B&B 13-15' ht x 6-8' sprd; 3 1/2" cal min	Yes	Yes
SP	6	Sabal palmetto	Sabal Palm	BR; hurricane cut; see plan for CT heights	Yes	
UAW	2	Ulmus alata 'Winged'	Winged Elm	Cont/B&B 12-14' ht x 6-8' sprd; 3 1/2" cal; straight trunk	Yes	Yes
Shrubs, G	irasses 8	Groundcovers				
AA	88	Agapanthus africanus	Lily-of-the-Nile	#1; full; 3-4 ppp min; 18" oc		
CLR	3	Crinum augustum 'Queen Emma'	Crinum Lily, red	#7; 3' OA; specimen		
DTV	68	Dianella tasmanica 'Variegata'	Variegated Flax Lily	#3; full; 30" oc		
DV	19	Dietes vegeta	African Iris, white	#3; full; 5-6 ppp min; 4' oc		
HPC	16	Hamelia patens 'Calusa'	Calusa Firebush	#3; full; 18" ht x 18" sprd; 3' oc	Yes	
ICB	36	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	#7; 24-30" ht x 18-22" sprd; 30" oc		
IVS	39	Ilex vomitoria 'Stokes Dwarf'	Schilling's Dwarf Yaupon Holly	#3; 12-15" ht x 15-18" sprd; 30" oc	Yes	
LAG	16	Lantana camara 'New Gold'	Lantana, dwarf yellow #1; full; 12" sprd; 2' oc			
LCD	27	Loropetalum chinensis 'PIILC-III"	Purple Daydream Dwarf	#2; 12" ht x 15" sprd; 3' oc		
LM	193 Liriope muscari "Emerald Goddess" Emerald Goddess Liriope #1; ful; 5-7 ppp min; 18" oc					
мс	19	Muhlenbergia capillaris	Muhly Grass	#3; full; 3' oc	Yes	
NDS	10	Nandina domestica 'Selka'	Obsession Nandina	#3; full; 18" sprd		
PC	15	Plumbago auriculata	Cape Plumbago 'Imperial Blue'	#3; 18" x 18"; 3' oc		
PMP	73	Podocarpus macrophyllus 'Pringlei'	Pringles Dwarf Japanese Yew	#3; 10-12" ht x 12-18" sprd; 30" oc		
SRB	2	Strelitzia reginae	Bird of Paradise	#15; 36" x36" min; full; 3 ppp; sun grown		
SRG	4	Serenoa repens	Saw Palmetto, green	#7; 24" ht x 24" sprd	Yes	
TAM	18	Trachelospermum asiaticum 'Minima'	Dwarf Confederate Jasmine	#1; 5 ppp; 12" runners; 18" oc		
vo	43	Wburnum odoratissimum	Sweet Wburnum	#7; 30-36" ht x 2' sprd; 3' oc		
w	40	Wburnum obovatum	Walters Viburnum	#7; 30-36" ht x 2' sprd; 3' oc	Yes	
WWS	22	Wburnum obovatum 'Mrs. Shillers Delight'	Dwarf Walters Viburnum	#3; 16-18" ht x 16-18" sprd; 3' oc	Yes	
ZF	36	Zamia floridana	Coontie	#3; full; 18" sprd; 30" oc	Yes	
Sod & Mis	scellaneo	us Items		•		
SOD	Paspalu	m notatum 'Argentine'	Argentine Bahia			
MULCH	Pine Str	20	Pipe Straw	3" depth		1

OWNER RESERVES THE RIGHT TO CHANGE, ADD OR REMOVE MATERIAL THAT IS NOT SUBJECT TO CODE REOUIREMENTS.

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

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(NOTE: PRE-APPROVAL BY THE LANDSCAPE ARCHITECT IS REQUIRED FOR ANY DESIGN CHANGE, INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, OR MATERIALS - SEE SPECIFICATIONS)

OWNER RESPONSIBILITY

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THE OWNER IS RESPONSIBLE FOR CONTINUED SURVIVAL OF THE PLANTS

LDC SECTION 6.8.11 - LANDSCAPE INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS. DEAD AND/ OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DANS OF NOTIFICATION BY THE COUNTY.

LDC SECTION 6.9.8 - ALL IRRIGATION SYSTEMS SHOLLD BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE FLORIDA-RRIENCY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INJUSTRIES OF THE FLORIDA VARDAS AND REIGHERHOOD PROCEMM.

LANDSCAPE NOTES: (SEE PLANTING SPECIFICATIONS FOR COMPLETE REDUIREMENTS) ALL PART MITERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN <u>GRADES AND STANDARDS</u> <u>TRE INJECTORY PLANTS</u>, DISTON OF PART PUBLICITY, FOREIN CORRECTIVET OF ARGUELTINE AND COMMUNES SERVICES, AND SHALL CONFORM TO <u>AMERICAN STANDARDS FOR INJECTORY STOCE</u>, AMERICAN INJECTORY AND LANGGAR ASSOCILTION, LINETE DITION.

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CORFLICT ENTHERING QUANTITIES IN THE LIST AND THE FLANSS, THE FUNNES SHALL CONTROL AND THE DISSERVENCY, SHALL BEBOLGHT THE ATTENTION OF THE UNDECK/OF MEDITECT FORCE TO BID. MY DEVIATION FROM THESE FLANS MUST BE APPROVED BY THE LIANSCHPE AND/HTECT FORCE TO BID.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- 4. ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- CLOBERTICE IN THE AVECTOR STATUS AND A ST
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER; SEE TREE PRESERVATION PLANS.
- 8. CONTRACTOR SHALL PROVIDE TREE ROOT BARRIERS AND / OR GEOMEMBRANE ALONG IMPROVEMENTS AND UTILITIES WHEN ROOT BARRIERS ARE SHOWN ON THE PLANS AND / OR DETAILS.
- 9. ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- 10. SOIL PROVIDED SHALL BE FREE OF LIMEROCK. PEBBLES OR OTHER CONSTRUCTION DEBRIS.
- 11. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
- 13. MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE <u>FLORIDA YARDS & NEIGHBORHOODS</u> <u>HANDBOOK</u> http://ffl.fas.ufl.edu
- 14. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
- 15. FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
- 16. ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 9 IRRIGATION.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH <u>MARION COUNTY LDC SEC.</u>
- INSTALLATION/MAINTENA 6.8.15 AND SEC. 6.9.10.

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 имоче MARION COUNTY CODE REQUIREMENTS ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LAND DEVELOPMENT CODE, ARTICLE 6. DIVISION 8. LANDSCAPING https://libary.municpde.com/filmasicar_county_ SEE CIVIL PLANS FOR ADDITIONAL PROJECT DATA AND OPEN SPACE SHADE TREES (SEC 6.7.4) 1 SHIDE TREE PR 3,2003 SF (NON-RESIDENTIAL DEVELOPMENT) REQUIRED - 4 SHADE TREES PROVIDED - 26 SHADE TREES (AUCTIONAL SHADE TREES ARE PROVIDED TO MEET 6.7.8 TREE REPLACEMENT) PROTECTED TREE REPLACEMENT (SEC 6.7.8) PER CANOPY DAKS PHASE II, PLAT BOOK 13 PAGE 160 NOTE #19: "EACH LOT SHALL COMPLY WITH MARION COUNTY LAND DEVELOPMENT CODE SECTION 6.7.8, TREE REPLACEMENT REQUIREMENTS - REPLACEMENT OF 100" D.B.H. PER ACRE WILL BE REQUIRED." REQUIRED INCHES = 90" (0.90 × 100) PROVIDED INCHES = 91" (26 SHADE TREES) BUFFER ALONG SR 200 2 SHADE AND 3 ACCENT / 100 LF LAYERED PLANTINGS 3' HT 144 LF REQUIRED 3 SHADE AND 5 ACCENT TREES PROVIDED = YES (SEE PLAN NOTES) BUILDING LANDSCAPE (SEC 6.8.8) PROVIDE PLANTINGS ALONG PUBLIC VIEW SIDES OF ALL PROPOSED STRUCTURES PLANTING AREAS 60% OF LENGTH OF WALL, WITHIN 25' OF BUILDING 5' WIDE MIN.; 2' OFFSET FROM BLDG. LARGE TREES NOT LESS THAN 20 FROM BLDG. PARKING AREA LANDSCAPE (SEC 6.8.7) 5' WIDE PERIMETER SCREEN MAJOR SITE PLAN- CANOPY OAKS FIFTH THIRD BANK PPTOW OCALA, L.L.C. MARION COUNTY, FLORUDA PLANT SCHEDULE & IRRIGATION NOTES 5' WIDE PERIMETER SCREEN 200 SF ISLAND EVERY 10 SPACES 1 SHADE TREE PER SINGLE ISLAND, 2 PER DOUBLE ISLAND 1-2 ORNAMENTAL TREES IF THERE IS A LIGHT FIXTURE OR CONTROL SIGNS GENERAL PLANTING REQUIREMENTS (SEC 6.8.10) NATIVE PLANTS (SEE PLANT LIST) INSIDE THE USBAN GROWTH BOUNDARY, 25% MINIMUM OF ALL PROPOSED REQUIRED PLANTS SHALL BE NATIVE: TOTAL REQUIRED PLANTS: TREES = 44 SHRUBS AND GROUNDCOVER = 787 TOTAL = 831 REQUIRED = NATIVE PLANTS (831 × 0.25) PROVIDED = 208 (32 NATIVE TREES + 176 NATIVE SHRUBS) 50% MIN OF THE TOTAL PROPOSED REQUIRED SHADE TREES SHALL BE NATIVE: REQUIRED = 13 NATIVE SHADE TREES (26 x 0.50) PROVIDED = 26 TOTAL NATIVE SHADE TREES
- <u>SHADE TREE LIMITS</u> PROPOSED SHADE TREES ARE LIMITED TO 50% MAX OF ANY ONE SPECIES: 25 TOTAL PROPOSED NEW SHADE TREES x 0.50 = 13 ALLOWED HIGHEST SPECIES QTY PROPOSED = 6 QV

PROJECT AREA = 0.90 AC

PROVIDED = YES

PROVIDED = YES

PALM TREE LIMITS NOT MORE THAN 25% OF ALL REQUIRED TREES SHALL BE PALM TREES PALM TREES PROVIDED = 6

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SUBMITTAL #2 NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL





NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

IRRIGATION REQUIREMENTS

- ALL NEW PLANT MATERIAL SHALL BE IRRIGATED THROUGHOUT AN ESTABLISHMENT PERIOD SUITABLE FOR VIGOROUS GROWTH OF SPECIFIED PLANT MATERIAL TYPE AND SIZE, AND THEREAFTER TO ENSURE THE HEALTHY SURVIVAL OF THE PLANTS. SEE OWNER
- AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT, IF REQUIRED

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 THE AUTOMIC CONTROLES SAUL CONNECT TO A HARI SERSOR OR OTHER MOLSTURE SERSING DEVICE, AND HAVE PRESETS FOR SEGONAL ADJUSTINES. SEASUNAL AUJUST MENTS. UPON COMPLETION OF THE BRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE "ASBUILT" DRAWINGS AND OPERATIONAL IMPROVATION, A FINAL INSPECTION AND LANDSCAPE, IRRIGATION RELEASE SHALL BE SIGNED, SEALED AND SUBMITTED, IF REQUIRED.

IRRIGATION SPECIFICATIONS

- INFORMATION SPECIFICATIONS
 In the ROUTING DISTURBANE OF REFLEXION AND ADDRESS SPECIFICATION, AND CONTRACT DOCUMENTS
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- SMALL SHIELF EQUIPMENT WARRANG FREQUERIENTS. INSTALLATION FOR WORK SHALL BE COORDINATED WITH OTHER TRADES IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND GROBERY FLOW OF VEHICULAR TRAFFIC AND COMPLETION OF ALL WORK ON THE STE. CONTRACTOR SHULL VERIFI INSTALLING SURCE, AND DOCUMENT GPM SIPPLY AND STATIC PRESSURE PRIOR TO INSTALLATION.

- L. COMPLOTE SHALL YARY FERSION SCIENCE, AND COLORENT OF SHAPLY AND STATIC RESISTER FEESING FERSION TO BETWINDING THE COMPLOTE SHALL TO BE COMPLETE SHALL

- BLOW FIRST-GALE OF CONTROL VALUE, SCALTFORMANCE, AND STAND BLAN FOLL, THE DERIM HAN MARKEN BERTHEL VALUES SOFTIO OFFICIARE, COLUMN THE STATULATION WALK WAS DELINED TO THE STATULE TO THE ADMAIN THE STATULE INDITY THE UNACCURE ARCHITECT OF ANY CORFLECT, ON WITH DOTAGE FOR HIPPOND THE STATULE OF CONTROL THE ADMAIN THE DATA THE UNACCURE ARCHITECT OF ANY CORFLECT, ON WITH DOTAGE FOR HIPPOND THE STATULE OF CONTROL THE ADMAIN THE ADMAIN THE UNACCURE ARCHITECT ON ANY CORFLECT, ON WITH DOTAGE FOR HIPPOND THE STATULE OFFICE ADMAIN THE VALUES AND ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN ADMAIN THE VALUES AND ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN ADMAIN THE VALUES AND ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN ADMAIN THE VALUES AND ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN ADMAIN THE VALUES AND ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN THE ADMAIN CORFLAGE WITH THE ADMAIN CORFLAGE WITH THE ADMAIN THE ADMAINT THE ADMAIN THE ADMAINT THE ADMAINT THE ADMAINT THE ADMAINT THE ADMAINT THAT ADMAINT THE ADMAINT THE ADMAINT THAT ADMAINT T

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- 28. FOR MAINLINE ISOLATION VALVES, INSTALL LEEMCO RESTRAINTS, OR APPROVED EQUAL. INSTALL PER FITTING MINERS SPECIFICATIONS
- MINIMUM LATERAL PIPE SIZE SHALL BE 3/4".

- MINISHIM LTDBL, IPPE SEE SHULE BY C. OWER HILL STEPHEN CONTINUES LOCATION AND PRAVIDE ELECTRIC STRUCE WITHIN PRE (3) FEET OF LOCATION. NO MINISHING STRUCE CONTINUES LOCATION AND PRAVIDE ELECTRICA TO COMPLET THE BRIGHTING CONTINUES EQUIPMENT TO THE FORMES AURX. IN DIRICH LTDBL FORMES AURX. LINETER 2006 GENERATION AT OF THE SHALL LINE AND THAN ATO IT ADDR DEFENSION OF ADVALUES IN DIRICH LTDBL FORMES AURX. LINETER 2006 GENERATION AT OF THE SHALL LINE AND ATO IT ADDR DEFENSION OF ADVALUES IN DIRICH LINE AUX AND ADVALUES AUX AND ADVALUES AUX AND ADVALUES AND ADVALUES AND ADVALUES AUX ADVALUES AUX AND ADVALUES AUX

- HOLE. 35. CONTRACTOR SHALL LOCATE ALL VALVES SO THAT VALVE BOXES DO NOT STRADOLE THE EDGE BETWEEN SOD / BED AREAS; LOCATE ALL VALVES SO THAT THERE IS A MINIMUM OFFSET OF THERE (3) FEET FROM BACK OF CURB, EDGE OF PAVEMENT, OR EDGE OF SOD.

- OF AWAYA GEOL. THE IRRIGATION SYSTEM GROUNDING GRID(5) SHALL BE TESTED IN ACCORDANCE WITH NFPA 780. THE GRID SHALL BE AMENDED OR EXPANDED AS INCESSARY TO ACHIEVE RESISTANCE READINGS OF LESS THAN 10 OMHS, AFTER FINAL INSTALLATION, IMPS/REMEMTIS SHALL BE REFORMED AND PROVIDED TO THE OWHER VERY SI YOMTHS THROUGHOUT THE WARRANTY PREIDO.

MARION COUNTY CODE REQUIREMENTS ALL IRRIGATION INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LAND DEVELOPMENT CODE, ARTICLE 6, DURISION & 1981/ATION before (Previous Junior Beneficial Control of Control of

IRRIGATION WATERING RESTRICTIONS, NON-RESIDENTIAL

- IRRIGATION IS NOT ALLOWED BETWEEN 10:00 A.M. AND 4:00 P.M.
 WHEN DAYLIGHT SAVINGS TIME IS IN EFFECT, NON-RESIDENTIAL LANDSCAPE IRRIGATION
 MAY ODCUR ONLY ON TUESDAY AND/ OR PRITUA-

- NOTE: IRRIGATION OF A NEW LANDSCAPE IS ALLOWED AT ANY TIME OF DAY FOR THE INITIAL THIRTY (30) DAYS, AND EVERY OTHER DAY FOR THE NEXT THIRTY (30) DAYS, FOR A TOTAL OF ONE STYLY (30) DAY BEFIND

RECLAIMED WATER

RECLAIMED WATER I. ALL IRRIGATION APPURTENANCES SHALL BE PURPLE AND MEET RECLAIMED WATER CRITERIA.

BAY LAUREL CENTER CDD IRRIGATION ADDITIONAL REQUIREMENTS

- THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL APPLY TO ALL CUSTOMERS INSTALLING NEW LANDSCAPING, OR RETROFITTING OR REPLACING AN EXISTING COMMERCIAL IRRIGATION SYSTEM WITHIN THE BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT (RACCED).
- A SCHEDULED IBRIGATION INSPECTION SHALL BE MADE WITH THE DISTRICT BY THE CONTRACTOR AT THE COMPLETION OF INSTALLATION TO ENSURE COMPLANCE WITH THE BELOW STANDARDS AS PROVIDED IN THE DISTRICT'S UNIFORM EXTENSION POLICY. PLASES CALL (23): 414-545 THERE (3) BUSINESS ONLY IN ADVINCET OS CHEDULE.

- Used Ext. (1) Version (Versit) () Version (Versit) ()

ENFORCEMENT

- IRRIGATION SYSTEM INSTALLATION SHALL COMPLY WITH STANDARDS SET FORTH HEREIN AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE DISTRICT PRIOR TO USE OF IRRIGATION WATER FROM THE DISTRICT.
- AND APPOUND IS THE CERTICIT FORM TO USE OF REMAINTON WATER HIGH THE CENTELT. IN THE PROFT THE REMAINTON STEPH HALD THE THE REQUIREMENTS OF THIS FOLCY, THE CENTERS SERVICE TO DISTRIBUTION OF REMAINTON AND THE PROFT THE REMAINS AND AND ADDRESS WHOLE STORE CONTRACTION OF STRIPPICATION FOR ADDRESS AND ADDRE
- IN THE EVENT THE IRRIGATION SYSTEM FAILS TO MEET THE REQUIREMENTS OF THIS POLICY, THE BUILDER/DEVELOPER SHALL BI SUBJECT TO THE IRRIGATION RE-INSPECTION FEE AND THE SERVICE WILL NOT BE TRANSFERRED TO THE NEW CUSTOMER UNTIL THE RUIN DEPONDENCEMENT DHE IRRIGATION SYSTEM INTO COMEN IANEY MANY THIS ROLLY', (SAD23)

IRRIGATION COMPLETION REQUIREMENTS

- TRANSFORTION COVINCE CONTRACTOR INCLUCIONATION REGISTRO CONTRACTOR IN THE CONTRACTOR INFORMATION OF THE REGISTRO CONTRACTOR IN CONTRACTOR INFORMATION OF THE CONTRACTOR OF THE REGISTRO TO THE LARGEST AND CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE LOCATIONS OF STREAM OF STREAM OF THE CONTRACTOR INFORMATION OF THE LOCATIONS OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMATION INFORMATION OF STREAM OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR OF THE CONTRACTOR OF THE CONTRACTOR OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMED OF THE CONTRACTOR INFORMATION OF THE CONTRACTOR INFORMEDIAL OF THE CONTRACTOR OF THE CONTR

- Initia Schoolana, Sei Tinga, Win Hosi-Initia Laura Mai Sekarah (Hese): 5
 Initia Schoolana, Sei Tinga, Win Hosi-Initia Laura Mai Sekarah (Hese): 5
 Initia Laura Markana, Mar





- OF FACH ZONE VALVE (UNLESS OTHERWISE NOTED ON THE PLANS) THE BELOW GUIDE GIVES A GRIEBAL OUTLINE FOR LATERAL ZONE LIKE PIPE SZUKA, SZUKO SKILDA BE STATER PROM THE FURMENT MOST EXTERNITIES OF EACH ZONE AND WORKED MACK TO THE ZONE WALKE. CARE POULD BE TAKEN TO TOTAL EACH INTERSECTION OF LATERAL ZONE LIKE TO KEEP AN ACCURATE ACCOUNT OF GIPH ALL THE WAY BACK TO THE WALKE. THE GIPH FOR EACH ZONE IS GUIDENT EACH VILLE CALL OUT ON THE FLANS. GALLONS PER MINUTE (GPM) APPROPRIATE PIPE SIZE 0-9 GPM 3/4" PVC 10-15 GPM 1" PVC 1 1/4" PVC 16-24 GPM 25-34 GPM 1 1/2" PVC 35-54 GPM 2" PVC
- ALWAYS CALL 811 TWO BUSINESS DAYS BEFORE YOU DIG #IT'S THE LAW#



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I Concerning International Int

Tilling Engine Engine 1720 SE 16th Ave. E Office: (352) 387-45

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ITE PLAN - CANOPY OAKS FIFTH THIRD | OCALA, L.L.C. COUNTY, FLORIDA

MAJOR SI PV-TOW (MARION (

DRAWN BY___

CHKD. BY JRP JOB NO. 23-8438

IRRIGATION SCHEDULE & NOTES

7/11/2024 DATE____

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

- LATERAL ZONE LINE PIPE SIZING DOWNSTREAM







WALL SOLAF

E, MOUNT LESS THAN 6' FROM

MIN. CLEARANCE FOR DOOR OPENING

EXTERIOR MOUNT (SEE NOTE BELOW)

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

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THIRD

CANOPY OAKS

SITE PLAN - CANOPY C 7 OCALA, L.L.C. 8 COUNTY, FLORIDA

MAJOR SI PV-TOW (MARION (

DATE____ 7/11/2024

DRAWN BY____

CHKD. BY JRP JOB NO. 23-8438

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IRRIGATION DETAILS

ž E 16th (352) 3

