



Marion County

Development Review Committee

Meeting Agenda

Monday, January 12, 2026

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **ADOPT THE FOLLOWING MINUTES:**
 - 3.1. **January 5, 2026**
4. **PUBLIC COMMENT**
5. **CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL**
 - 5.1. **Freedom Crossings Commercial Phase 1 Subdivision - Final Plat**
PID#: 35699-006-03, 35699-006-06, 35699-006-04 #33011
R.M. Barrineau and Associates, Inc.
 - 5.2. **Liberty Crossings Lot 4 - Major Site Plan**
PID#: 35699-010-00 #32667
Mastroserio Engineering, Inc.
6. **SCHEDULED ITEMS:**

- 6.1. **Oak Trace Villas Phase 2 - Major Site Plan - Waiver to Plan in Review**
PID#: 3501-100-015 #PIR000207-2026 (24826)
Radcliffe Engineering

LDC 2.21.4 A Construction, completion and close out

CODE states A. Major Site Plans shall be valid for two years with a one-time extension of one year if requested in writing by the applicant and approved by DRC.

APPLICANT requests waiver to allow Phase 2 (AR 24876) to synchronize with Phase 3 (AR 29214 with expiration date of December 24, 2026). Construction has been ongoing for several years with a change of ownership and delays in the Developer's Agreement with Marion County. Phase 2 has been substantially constructed and is nearing completion. The Preliminary Plat for Phase 2 has been filed as a fee simple plat. It is in the County "system" and has undergone several reviews and meetings with staff.

- 6.2. **Ocala Preserve Phase 14 - Improvement Plan - Extension Request**
PID#: 13687-000-00 #26463
Atwell, LLC

On 12/31/25, the Applicant requested a one-year extension for this Improvement Plan. The request is to extend one year from the current expiration date of June 9, 2026. The new expiration date would be June 9, 2027.

- 6.3. **Dave & Anne Quanbeck Division - Ag Lot Split - Waiver to County MSBU**
PID#: 05949-001-00 #33595
Clymer Farner Barley, Inc.

LDC 2.16.1B(8)(g) Applicability

CODE states A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC.

APPLICANT request - MSBU waiver for maintenance of newly created improvements.

7. **CONCEPTUAL REVIEW ITEMS:**

8. **DISCUSSION ITEMS:**

9. **OTHER ITEMS:**

- 9.1. **Notation: 2026 Thursday Staff Coverage**

10. **ADJOURN:**



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21783

Agenda Date: 1/12/2026

Agenda No.: 3.1.

SUBJECT:
January 5, 2026



Marion County

Development Review Committee

Meeting Minutes

412 SE 25th Ave
Ocala, FL 34471
Phone: 352-671-8686

Monday, January 5, 2026

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A BLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. ROLL CALL

MEMBERS PRESENT:

Michelle Fanelli representative for Building Safety
Ken McCann, Vice Chairman (Fire Marshal)
Steven Cohoon (County Engineer)
Chuck Varadin (Growth Services Director)
Tony Cunningham (Utilities Director)

OTHERS PRESENT:

Chris Rison (Planning/Zoning)
Sara Wells (Planning/Zoning)
Alex Turnipseed (Office of the County Engineer)
Chris Zeigler (Office of the County Engineer)
Michelle Sanders (911 Management)
Susan Heyen (Parks)
Linda Blackburn (Legal)
Aaron Pool (Office of the County Engineer)
Kelly Hathaway (Office of the County Engineer)
Sandi Sapp (Office of the County Engineer)

2. PLEDGE OF ALLEGIANCE

3. ADOPT THE FOLLOWING MINUTES:

3.1. December 29, 2025

Motion by Tony Cunningham to approve the minutes, seconded by Steven Cohoon

Motion carried 4-0

4. PUBLIC COMMENT

5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL

- 5.1. Marion Oaks Townhomes - Major Site Plan
Parcel # 8004-0433-19 #32203
Clymer Farner Barley, Inc.**

Motion by Chuck Varadin to approve consent agenda, seconded by Tony Cunningham

Motion carried 5-0

6. SCHEDULED ITEMS:

- 6.1. Rimes Pool - Waiver to Major Site Plan
Parcel #15173-011-07 STA-000077-2025
Rogers Engineering, LLC**

LDC 2.21.1.C/D/E - Stormwater Compliance

CODE states C. Improvements which do not require a Major Site Plan but do result in an increase in flooding of adjacent property or concentration of stormwater discharge onto adjacent property shall only be subject to stormwater compliance as follows: (1) Demonstrate to the Office of the County Engineer that proposed and existing development will not adversely affect public property and will not generate stormwater runoff in excess of pre-development runoff. Demonstration can be provided through sketches, pictures, site maps, etc. and can be confirmed through a scheduled and coordinated site visit. (2) Provide erosion control. Temporary erosion control shall be provided as needed throughout construction and permanent erosion control shall be established prior to the project being considered successfully closed and completed by the County, including but not limited to the issuance of any Certificate of Occupancy associated with the property. (3) Submit two copies of a finalized sketch which shows the existing improvements in the immediate vicinity, proposed improvements, stormwater controls and a statement that the owner understands and complies with required stormwater controls. Both copies shall bear the owner's original signature and date. Upon review and approval, one approved sketch shall be returned to the applicant. D. Large parcels of property such as, but not limited to, farms, woodlands, commercial nurseries, or sod farms where existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet shall not be subject to submittal of a complete Major Site Plan but instead shall be subject to stormwater compliance as follows: (1) Demonstrate to the Office of the County Engineer that proposed and existing development will not adversely affect adjacent property and will not generate stormwater runoff in excess of pre-development runoff. Demonstration can be provided through sketches, pictures, site maps, etc. and can be confirmed through a

scheduled and coordinated site visit. Stormwater controls can be provided through a combination of natural retention areas with excess capacity and/or constructed stormwater systems. (2) Provide erosion control. Temporary erosion control shall be provided as needed throughout construction and permanent erosion control shall be established prior to the project being considered successfully closed and completed by the County, including but not limited to the issuance of any Certificate of Occupancy associated with the property. (3) Submit two copies of a finalized sketch which shows the existing improvements in the immediate vicinity, proposed improvements, stormwater controls and a statement that the owner understands and complies with required stormwater controls. Both copies shall bear the owner's original signature and date. Upon review and approval, one approved sketch shall be returned to the applicant. E. Improvements related to bona fide agricultural uses that meet all of the following conditions are exempt from the requirements of a Major Site Plan: (1) Are on a parcel greater than or equal to ten acres.(2) Are a minimum of 200 feet from all property lines.(3)If collectively all existing and proposed surfaces are less than three percent of the gross site area and do not exceed 30,000 square feet of impervious ground coverage. (4) Do not increase any offsite drainage. (5) Do not contribute offsite drainage to a County documented drainage problem. **APPLICANT** request for swimming pool to be constructed on existing concrete pad.

Motion by Steven Cohoon to approve, seconded by Michelle Fanelli

Motion carried 5-0

**6.2. Proposed Commercial Development - Waiver to Major Site Plan
Parcel # 3758-030-001 STA-000004-2025
Lindsey Klein**

LDC 6.8.6K(4) Buffers

CODE states D-Type buffer shall consist of a 15-foot wide landscape strip with a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 25 percent of the required buffer.

APPLICANT request - We are proposing a commercial development on parcel 3758-030-001. Pursuant to Section 6.8.6 of the Land Development Code (Screening/Landscape Buffer Requirements Table), a buffer wall is required along the east and south property boundaries, identified as Buffer D on the east side and Buffer B on the south side. In lieu of the 6-foot concrete masonry wall prescribed by code, we respectfully request approval to provide an enhanced landscape buffer designed to meet and exceed the intent of these requirements. The proposed landscape plan offers an equivalent level of screening while maintaining the site's natural features and complementing the surrounding environment. Constructing a wall in these locations would result in the removal or disturbance of healthy, mature vegetation and could create a more rigid visual character that is inconsistent with the existing aesthetic along SE Maricamp Road. The enhanced landscape buffer, by contrast, achieves the same functional and visual objectives of the code while preserving existing trees, protecting root systems, and reinforcing the rural and green character of the corridor. We believe this approach aligns with the spirit and intent of Section 6.8.6 by providing effective visual screening through

environmentally sensitive design. The result is a more sustainable and visually cohesive solution that benefits both the site and the surrounding community.

Motion by Chuck Varadin to deny, seconded by Steven Cohoon

Motion carried 5-0

6.3. Bahia Terrace - Waiver to Major Site Plan

Parcel #9007-0088-15 #33582

Aldo Alvarez

LDC 2.20.1.B - Minor Site Plan

CODE states a Minor Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements are in compliance with all of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage does not exceed 35 percent of the gross site area or 9,000 square feet, whichever is less. (2) The combined driveway trip generation is less than 50 peak hour vehicle trips. (3) The project is not in the ESOZ or FPOZ and subject to the site plan requirements of Article 5. (4) The site improvement does not increase flooding of adjacent property, or the concentration of stormwater discharge onto adjacent property.

APPLICANT requests waiver because the proposed project includes a total impervious area of 8,600 square feet which is below the 9,000 square foot threshold established in the Marion County Land Development Code (Article 2, Division 20 - Minor Site Plan). Given that the impervious area does not meet the minimum requirement for a Minor Site Plan, we respectfully request a waiver of the Minor Site Plan submittal. The proposed improvements are minimal, will not create additional drainage or environmental impacts beyond existing conditions.

Applicant withdrew

6.4. Bagwell Family Division - Family Division Waiver Request

Parcel #12479-000-00 Fam Div 000074-2025

Brad A. Bagwell

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands. outside of the Farmland Preservation Area each of the new tract and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be a shared access that is at least forty (40) feet in width and shall be provided by

recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT request - Family division creating ~5-acre tract for primary structure, for his daughter, Alana Bagwell.

Motion by Chuck Varadin to approve contingent on providing boundary survey, title work and legal documentation, seconded by Tony Cunningham

Motion carried 5-0

**6.5. Mooney Family Division -Family Division Waiver Request
Parcel #37838-000-00 Fam Div -000109-2025
Richard Mooney**

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands. outside of the Farmland Preservation Area each of the new tract and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be a shared access that is at least forty (40) feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT request - Give the front 3.29 acres to Mellisa Batterbee, the back 4.71

acres to Richard Mooney.

Motion by Tony Cunningham to table for 60 days, seconded by Chuck Varadin

Motion carried 5-0

7. CONCEPTUAL REVIEW ITEMS:

8. DISCUSSION ITEMS:

8.1. Department Review Sign-offs

Growth Services Director inquired on Department of Health review sign offs on Family Division Waiver request.

9. OTHER ITEMS:

Land Development Manager inquired on Legistar review for Building Safety Director

Fire Marshall spoke about DRC members running DRC Thursday staff meetings need to be determined

Motion to adjourn by Tony Cunningham, seconded by Michelle Fanelli

Motion Carried 5-0

10. ADJOURN: 9:38 PM

Ken McCann, Vice-Chairman

Attest:

Kelly Hathaway
Development Review Coordinator



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21784

Agenda Date: 1/12/2026

Agenda No.: 5.1.

SUBJECT:

Freedom Crossings Commercial Phase 1 Subdivision - Final Plat

PID#: 35699-006-03, 35699-006-06, 35699-006-04 #33011

R.M. Barrineau and Associates, Inc.



SUBMITTAL SUMMARY REPORT 33011

PLAN NAME: FREEDOM CROSSINGS COMMERCIAL PHASE 1 **LOCATION:** 5997 SW 95TH ST
OCALA,
APPLICATION DATE: 06/27/2025 **PARCEL:** 35699-006-03

DESCRIPTION:

| CONTACTS | NAME | COMPANY |
|-----------|------------------|-------------------------------------|
| Applicant | Travis Barrineau | R.M. BARRINEAU AND ASSOCIATES, INC. |
| Applicant | Travis Barrineau | R.M. BARRINEAU AND ASSOCIATES, INC. |

| SUBMITTAL | STARTED | DUE | COMPLETE | STATUS |
|--------------------------|------------|------------|------------|--------------------|
| OCE: Plan Review (DR) v. | 10/22/2025 | 10/29/2025 | 12/09/2025 | Requires Re-submit |
| OCE: Plan Review (DR) v. | 12/10/2025 | 12/17/2025 | 12/18/2025 | Approved |

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--------------------------------------|---------------|------------|------------|----------|
| 911 Management (DR) (911 Management) | Laura Johnson | 10/29/2025 | 10/28/2025 | Approved |

Comments YES 2.19.3.B - If there are internal roads within the development please provide digital streets in NAD83 FL W .dwg or .dxf format to laura.johnson@marioncountyfl.org Please email CAD file to kristie.wright@marionfl.org and laura.johnson@marionfl.org
 YES 2.12.28 - Street names match 9-1-1 road names Due to businesses using ingress/easement for access we have decided to issue road names. See Sheets 3 & 4 for road names. Please label accordingly on all future submittals.
 YES 6.2.1.F - North arrow and graphic drawing and written scale
 N/A Additional 911 comments

PLAT - DISCLAIMER - Addresses and Road names on this plat are subject to change if: 1) This plat is changed and/or 2) Future development in adjacent areas impacts this plat. If road configuration or number of lots, location of lot layout or size of lot changes, please contact our office immediately and provide a revised Master Plan. ALSO: If this plat expires or is voided, all road names become null and void.

JAMIE WALDRON / 9-1-1 MANAGEMENT / 352-671-8460 / FAX 352-671-8798

| | | | | |
|---|--|------------|------------|----------|
| Environmental Health (Plans) (Environmental Health) | | 10/29/2025 | 12/09/2025 | Approved |
|---|--|------------|------------|----------|

Comments N/A Central Sewer
 N/A Lot Size
 N/A Total Flow
 N/A Available Area
 N/A DEP Water Approval
 N/A Operating Permit Required
 N/A 2.12.6 - Location of septic systems & wells
 N/A 2.12.36 - Location of water & septic systems
 INFO Additional Health comments N/A

| | | | | |
|-----------------------------|------------------|------------|------------|----------|
| Fire Marshal (Plans) (Fire) | Jonathan Kenning | 10/29/2025 | 12/02/2025 | Approved |
|-----------------------------|------------------|------------|------------|----------|

SUBMITTAL SUMMARY REPORT (33011)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|--------------|------------|------------|--------------------|
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Jared Rivera | 10/29/2025 | 12/09/2025 | Requires Re-submit |
| <i>Comments</i> | | | | |
| <p>Please see legacy reviews for ZONING/LAND USE below:</p> <p>ZONING: YES 2.12.4.C -Owner and applicants name Included</p> <p>YES 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Advisory notice #1 states the correct FLU/Z for the subject property; however, FLU/Z for adjoining properties is missing in advisory notice/on the plat depictions. Please provide for PIDs 35695-010008, 35695-010002, and 35699-006-06</p> <p>9/30/25 - Adjacent zoning provided on sheets 3/4. Please include reference to recorded "Development Agreement" (OR BK 7309, PGS 347-384) on cover/plat sheets.</p> <p>YES 2.12.22 - Approximate location of all lot lines with dimensions and area in sq ft Initial - Numbers are listed, but units are not listed. Indicate sq. ft. units on plat sheets 3 and 4.</p> <p>9/30/25 - SF indicated in legend</p> <p>INFO 2.12.9 - Location and dimensions of proposed right of ways and streets, including easements, reservations or dedications Defer issues related to access location as required by Developer's Agreement to Land Use.</p> <p>INFO 2.12.24 - Preliminary buffer plan/6.8.6 - Buffering Initial - 15' Type C buffer is required along SW 60th Ave and SW 95th St. Provide location, dimensions, and label on plat sheets 3 and 4.</p> <p>9/30/25 - Buffers on sheets 3/4.</p> <p>(1) Staff notes utilities easement in the same place as proposed buffers. In the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk. Any modifications of the buffer shall require BCC approval through the waiver process.</p> <p>(2) Pursuant to recorded Developer's Agreement, 20' buffer/setback easements consistent with lines 6.2.2.1 and 6.2.2.2 of agreement (located on adjacent residential subdivision) provides the otherwise required buffer between residential/commercial uses and results in reduced rear setback of 5' for commercial lots.</p> <p>YES 6.4.4.A - Project is consistent with preliminary plat Waivers were approved to skip pre-plat and improvement plan. Site plans for each platted lot to occur at time of development.</p> <p>N/A 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks Not applicable because no improvements exist at this time. Improvements to be submitted as individual site plans.</p> <p>N/A 6.3.1.C(11) - PUD zoning consistent with Division 4 B-2 zoning / COM FLU designation</p> <p>YES 6.3.1.C(15)(b) - Flood zone determination listed FEMA Flood Zone X;</p> <p>LAND USE: N/A 6.3.1.A(3)(d) - Replat Subdivision Subtitle provided?</p> <p>NO 6.3.1.C(4) - All Existing Easements w/OR Bk & Pg (e.g., conservation)? The plat identifies an 5' wide utility easement established by separate deed. The is a significant concern as the LDC requires a Type "C" Buffer along the site's frontage that includes a combination of both shade and ornamental trees. This conflict needs to be addressed for the ongoing projects and the plat as any requirements for buffer waivers may require consideration for approval by the Board of County Commissioners.</p> <p>YES 6.3.1.C(10) or (15)(a) - Land Use Listed w/Developer Agreements</p> <p>N/A 6.3.1.C(14) - Intent & Purpose of All Tracts Identified</p> <p>N/A 6.3.1.C(15)() - Hamlet Subdivision reference note provided?</p> <p>YES 6.3.1.C(15)() - [Springs Protection Note Provided?]</p> <p>N/A 6.3.1.C(15)() - Wellhead Protection Note Provided?</p> <p>N/A 6.3.1.C(15)(g) - DRI/FQD DO Compliance Note Provided?</p> <p>YES 6.3.1.C(15)(h)/1.8.2.C(6) - Concurrency OK or Deferral Note provided?</p> <p>N/A 6.3.1.C(15)(j) - Contiguous sustainable agricultural lands statement No adjoining lands have a Ag Exempt Classification (all are either B-2 or PUD).</p> <p>N/A 6.3.1.D(1)(e) - Park Dedication in Developer's Acknowledgement & Dedication (DA&D)?</p> <p>N/A 6.3.1.D(1)(f) - Conservation Dedication in Developer's Acknowledgement & Dedication (DA&D)?</p> <p>YES 6.3.1.D(1)(b)2 - [Public Use/Access Easement for Private Roads/CPAE?] Cross access easement conveyed to "public".</p> <p>NO 6.3.1.C(15)(e) - [External Roads Access Prohibition Note provided?] 1) The proposed cross access does not indicate the planned secondary right-in/right-out locations - one to SW 95th Street, and one to SW 60th Avenue as enabled by the Amended and Restated Access and Development Agreement, and where the driveways are currently constructed and in place.</p> <p>2) What appears to be the start of a southern projection of the easement towards SW 95th Street seems indicated between Lots 8/9 and 10; however, that alignment does not conform to the Agreement and does not reflect that the right-in/right-out driveway apron corresponding to the Agreement was constructed with the SW 95th Street widening and is in place.</p> <p>3) A revision in the access location to SW 95th Street and/or SW 60th Avenue requires obtaining an additional Amendment to the Agreement which requires two duly notice public hearings for consideration. Staff notes the proposal would shift the driveway further east, closer to the SW 95th St/SW 60th Ave intersection and place it further within the existing turn-lane present on SW 95th Street, which may contribute to operational and/or LOS issues in the future. (A recent concept discussion recently further brought this issue to staff's attention.)</p> <p>N/A 6.11.5.D(4) - [Prohibited driveway locations for corner lots shown?] See prior comment regarding external roads access.</p> | | | | |
| Landscape (Plans) (Parks and Recreation) | | 10/29/2025 | 12/09/2025 | Approved |
| <i>Comments</i> | | | | |
| <p>YES 2.12.24 Show location and dimensions of required land use buffering. Show location and dimension of landscape buffer along SW 95th St and SW 60th Ave</p> <p>N/A 2.12.25 - Marion Friendly Landscape Areas</p> | | | | |

SUBMITTAL SUMMARY REPORT (33011)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--|-----------------|------------|------------|----------|
| OCE Design (Plans) (Office of the County Engineer) | | 10/29/2025 | 12/09/2025 | Approved |
| <i>Comments</i> | | | | |
| YES 2.19.2.B - Final Plat fee of \$319.00 + (\$5.00 x per lot) made payable to Marion County BCC 10/23/25-fee due with resubmittal 10/8/25-fee due with resubmittal 7/17/25-fee due with resubmittal | | | | |
| N/A 2.19.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department | | | | |
| N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC | | | | |
| N/A 2.1.3 - Order of plan approval | | | | |
| N/A 2.18.4.H - Maintenance agreement | | | | |
| N/A 2.19.4.A - Improvement agreement with cost estimate | | | | |
| N/A 6.3.1.F(5) - Statement of itemized cost estimate for Improvement or Maintenance Agreement | | | | |
| N/A 2.19.4.A - All improvements are completed & as built inspection complete | | | | |
| N/A 2.18.4.E - Indemnification agreement | | | | |
| INFO 2.19.3 - Executed mylar prior to plan approval & 6.4.4.K - All signatures shall be original and made in permanent dark ink | | | | |
| YES 2.12.7 - Digital version of plan | | | | |
| YES 6.2.1.B - Plans legible | | | | |
| YES 6.2.1.D - Index of sheets and all sheets shall indicate each sheet number and the total number of sheets | | | | |
| YES 6.2.1.C - Standardized sheet size shall be 24" x 36" | | | | |
| YES 6.2.1.E - Drawing legend | | | | |
| YES 6.2.1.F - North arrow, graphic drawing, & written scale | | | | |
| YES 6.3.1.C(13) - Legal description contains acreage to one one-hundredth | | | | |
| YES 6.3.1.C(15)(f) - This plat contains ___ lots and ___ miles of road | | | | |
| YES 6.3.1.C(15)(d) - Legal documents & cross reference book & page | | | | |
| YES 6.4.4.L - Clear margins not less than a half inch wide on three sides and 3 inches wide on the left side for binding | | | | |
| YES 6.4.4.M - Location of seals | | | | |
| YES 6.3.1.B - Area for Book & Page and number of sheets | | | | |
| YES 6.3.1.E(2) - DRC certification & signatures | | | | |
| YES 6.3.1.E(3) - Clerk & BCC certifications of approval | | | | |
| YES 6.3.1.E(4) - Clerk acceptance for recording certification | | | | |
| N/A 6.3.1.C(15)(i) - Board assessment notification | | | | |
| N/A 6.3.1.F(1) - Establishment of MSBU, CDD, or other State recognized special district for the maintenance and operation of the dedicated improvements | | | | |
| YES 6.12.9.F - Public dedications shall be pre-approved by DRC. If a MSBU is established as the maintenance and operation entity, roads and stormwater facilities can be platted as public. | | | | |
| YES 6.3.1.D(b)1 or 6.3.1.D(b)2 - Declaration of private/public roads | | | | |
| N/A Legal Documents | | | | |
| INFO Additional Development Review Comments After approval, plans will be electronically stamped by the county. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. | | | | |
| OCE Property Management (Plans) (Office of the County Engineer) | Elizabeth Woods | 10/29/2025 | 12/09/2025 | Approved |

SUBMITTAL SUMMARY REPORT (33011)

Comments

Sec. 2.19.1. - Applicability.

The Final Plat shall be submitted for approval and recording in the public records of Marion County for each development where platting is required by this Code and shall comply with Ch. 177 FS. All subdivision improvements shall be dedicated private unless otherwise approved by DRC or required by this Code.

Sec.2.19.2.G – Title Certification

All Final Plats submitted to Marion County shall be accompanied by a title opinion, no more than 30 days old, of an attorney, licensed in Florida, or a certification by an abstractor or title company certifying the record title owner of the lands as described and shown on the plat.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec.6.2.1. – Requirements.

Sec.6.2.1.A.

Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.

Sec.6.3.1.C(14) - The purpose/use, improvements, and maintenance responsibilities for all tracts shall be listed on the plat in a list or table form;

Sec.6.3.1.C(15) - The following statements shall be captioned as "ADVISORY NOTICES" and be provided in a prominent manner on the plat, as appropriate, in the following order:

Sec.6.3.1.C(d)(1)(2) - As related to covenants, restrictions, or reservations:

1. WHEN COVENANTS, restrictions, or reservations are established by the developer they shall be indicated as follows and completed accordingly: "COVENANTS, RESTRICTIONS, AND/OR RESERVATIONS AFFECTING THE OWNERSHIP OR USE OF THE PROPERTY SHOWN IN THIS PLAT ARE FILED IN MARION COUNTY OFFICIAL RECORD BOOK NO. _____, PAGE _____."

2. The following shall minimally be provided: "There may be additional restrictions that are not recorded or referenced on this plat that may be found in the Marion County Official Records;"

Sec.6.3.1.D -

The Final Plat shall contain, on the first page, the following dedications executed and acknowledged as required by law, in the forms set forth below:

Sec.6.3.1.D(1) –

All dedications shall be in the following forms or as approved by the County Attorney (Italic), with the appropriate items below. When a name or entity is used within a dedication item, the exact legal name of the entity shall be provided.

Sec.6.3.1.D(a) - "DEVELOPER'S ACKNOWLEDGEMENT AND DEDICATION"

"KNOW ALL MEN BY THESE PRESENTS, that [exact corporate name, state of incorporation, or individual's name], fee simple owner of the land described and platted herein, as [exact subdivision name], being in Marion County, has caused said lands to be surveyed and platted as shown hereon and does hereby dedicate as follows:"

Sec.6.3.1.D.(b)(1)(2)(3)

Streets, Rights-of-way, and Parallel Access Easements, select as appropriate:

1. For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

2. For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec.6.3.1.D(c)(1)(2) - Utility Easements, select as appropriate:

1. "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

2. "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Sec.6.3.1.D(2) - Add the appropriate closing.

Sec.6.3.1.D(2)(a) - If corporation:

IN WITNESS WHEREOF, the above named corporation has caused these presents to be signed by its _____ and its corporate seal to be affixed hereto by and with the authority of its board of directors this _____ day of _____, 20_____.

(FULL CORPORATE NAME), a corporation of the State of _____

By: _____

(Signature of president or vice president or chief executive above)

Type Name and Title of Officer (signature must have two (2) witnesses or be under corporate seal).

Sec.6.3.1.D(2)(b) - If individual:

SUBMITTAL SUMMARY REPORT (33011)

IN WITNESS WHEREOF, (I) (we), (name(s), have hereunto set (my) (our) hand(s) and seal(s) this _____ day of _____, 20_____.

WITNESSES:

_____ (signature)

(Typed name) _____

Sec.6.3.1.D(2)(c) - Add the acknowledgement (witnesses and notary) of those executing the dedication consistent with § 689.01 FS.

Sec.6.3.1.D(3)(a) -

Add the appropriate joinder and consent to the dedication by a mortgagee or other party of interest using one, or a combination of, the following methods:

Provide the joinder and consent to the dedication by a mortgagee or other party in interest as a direct statement on the Final Plat as follows:

"[MORTGAGEE or PARTY OF INTEREST] CONSENT

The undersigned hereby certifies that it is the holder of (a) mortgage(s), lien(s), or other encumbrance(s) upon the property described hereon and does hereby join in and consent to the dedication of the land described in said dedication by the owner thereof and agrees that its mortgage(s), lien(s), or other encumbrance(s) which (is)(are) recorded in Official Record Book _____ at page(s) _____ of the public records of Marion County, Florida, shall be subordinated to the dedication shown hereon."

Sec.6.3.1.D(3)(a)(1)(a)(b)(c) - Provide the appropriate closing.

If corporation:

a. IN WITNESS WHEREOF, The said Corporation has caused the presents to be signed by its _____ and its Corporate Seal to be affixed hereon by and with the authority of its Board of Director this _____ day of _____, 20_____.

(Full Corporate Name), A Corporation of the State of _____

By (Signature of President Vice President or Chief Executive Officer)

_____ (Typed name and title of Officer)

(AFFIX CORPORATE SEAL) or have two witnesses as listed in Item 2 below. b.

b. If individual: IN WITNESS WHEREOF, (I) (We), _____ Do hereunto set (my) (our) hand(s) and seal(s) this _____ day of _____, 20_____.

WITNESSES (repeat signature below as necessary for each owner).

(Signature) _____

(Typed name) _____

c. Add the acknowledgment (witnesses and notary) of those executing the Mortgagee or party of interest consent consistent with § 689.01 FS.

Sec.6.3.1.D(3)(a)(2)(a)(b)(c) -

Provide the joinder and consent as a separate instrument joining in and ratifying the plat and all dedications thereon, in accordance with § 177.081 FS, as follows:

a. The final plat and the separate instrument(s) shall be recorded within the Marion County Public Records concurrently and include coordinated references between the documents as provided in following Section 6.3.1.D(3)(a)2.b and c.

b. The following statement shall be placed on the final plat: "A separate instrument(s) serving as joinder and consent for a mortgagee or other party of interest to the Plat depicted hereon has been separately filed and recorded in the Marion County Public Records Official Record Book (enter number), pages (enter number) to (enter number)," as assigned by the Clerk of the Court's Office.

c. The separate instrument shall utilize the same general form as provided in Section 6.3.1.D(3)(a)1(a) above and shall include the final plat's official name as listed on the final plat and include a blank entry reference for the Marion County Public Records Plat Book and Page(s) as assigned by the Clerk of the Court's Office.

Sec.6.3.1.F. - The following supporting documentation shall also be provided as appropriate:

Sec.6.3.1.F(1) - A copy of the documents demonstrating the establishment of a corresponding MSBU, CDD, or other State recognized special district responsible for the maintenance and operation of the dedicated improvements. If the MSBU option is selected by the developer, it shall be established to provide maintenance and upkeep for, at minimum, roads and drainage infrastructure. Other improvements, such as, but not limited to, street lighting or recreation, can be added to the MSBU if desired by the development.

Sec.6.3.1(F)(2) - For a subdivision with privately dedicated improvements, a copy of the completed and filed documents demonstrating the private entity is properly established, operating, and eligible to be responsible for the improvements so dedicated to the association. In the case of an entity previously created and encompassing the proposed subdivision, documents demonstrating the continued establishment of the entity and its acceptance of responsibility for the improvements to be conveyed shall be required;

Sec.6.3.1(F)(3) - A copy of the final protective covenants and deed restrictions, where such covenants and restrictions are required or established by the applicant, in a form to be recorded and cross-referenced to the submitted Final Plat. In the case where covenants and restrictions are previously recorded and applicable to a proposed subdivision, a copy of the effective covenants and deed restrictions shall also be provided;

Sec.6.3.1(F)(4)(a)(b)(c)- A certificate of title demonstrating the following:

a. The lands as described and shown on the plat are in the name of, and apparent record title is held by, the person, persons, or organizations executing the dedication;

b. That all taxes have been paid on said property as required by § 197.192 FS, as amended; and

c. The official record book and page number of all mortgages, liens, or other encumbrances against the land, and the names of all persons holding an interest in such mortgage, lien or encumbrance.

The title certification shall be an opinion of a Florida attorney-at-law or the certification of an abstract or title insurance company licensed to do business in Florida. The County reserves the right to require that the title certification be brought current at the time of Final Plat approval.

Sec.6.3.1.F(5) - When required in conjunction with an Improvement or Maintenance Agreement, an itemized cost estimate prepared and certified by the developer's engineer including the cost of construction of all required improvements in the following form:

"CERTIFICATE OF COST ESTIMATE

I, _____, A Florida registered engineer, License No. _____, do hereby certify to Marion County that a cost estimate has been prepared under my responsible direction for those improvements itemized in this exhibit and that the total cost estimate for said improvements is \$ _____. This estimate has been prepared, in part, to induce approval by the County of a Final Plat for the _____ Subdivision, and for the purpose of establishing proper surety amounts associated therewith.

_____ (Signature)

(Name, Florida Registered Engineer

License No. _____)"

(AFFIX SEAL)

INFO 2.19.1 - The Final Plat shall be submitted and shall comply with Ch. 177 FS

SUBMITTAL SUMMARY REPORT (33011)

YES 2.19.2.G - Title Certification or title opinion, no more than 30 days old
 YES 2.19.2.H - Legal documents
 INFO 6.2.1.A - Plans shall be prepared by a professional licensed by the State of Florida
 N/A 6.3.1.C(1) - If the Final Plat exceeds one sheet
 N/A 6.3.1.C(2) - "Not included" parcels to be labeled "not a part of this plat"
 N/A 6.3.1.C(4) - Dimensions and locations of all known existing easements
 N/A 6.3.1.C(5) - Dimensions and locations of all proposed easements
 N/A 6.3.1.C(6) - Dimensions and locations of all existing or recorded streets
 N/A 6.3.1.C(8) - All adjacent property identified
 N/A 6.3.1.C(9) - County and city limit lines within or abutting the tract
 INFO 6.3.1.C(14) - The purpose/use, improvements, and maintenance responsibilities
 YES 6.3.1.C(15) - "ADVISORY NOTICES" and be provided in a prominent manner
 YES 6.3.1.C(15)(d) - Covenants, restrictions, or reservations
 INFO 6.3.1.D - The Final Plat shall contain certain dedications executed and acknowledged
 INFO 6.3.1.D(1)(a) - Developer's acknowledgement and dedication
 INFO 6.3.1.D(1) - All dedications shall be in the following forms or as approved by the County Attorney
 INFO 6.3.1.D(1)(b) - Streets, rights-of-way, and parallel access easements
 INFO 6.3.1.D(1)(c) - Utility easements
 INFO 6.3.1.D(1)(d) - Stormwater easements and facilities
 INFO 6.3.1.D(1)(f) - Conservation easement
 INFO 6.3.1.D(2) - Add the appropriate closing
 INFO 6.3.1.D(2)(a) - Add the acknowledgement (witnesses and notary) consistent with § 689.01 FS
 INFO 6.3.1.D(3) - Add the appropriate joinder and consent to the dedication by a mortgagee or other party of interest using one, or a combination of, the following methods:
 INFO 6.3.1.D(3)(a) - Provide the joinder and consent to the dedication by a mortgagee or other party
 INFO 6.3.1.D(3)(a)1 - Provide the appropriate closing
 INFO 6.3.1.F - The following supporting documentation shall also be provided as appropriate:
 YES 6.3.1.F(2) - Documents for a subdivision with privately dedicated improvements
 N/A 6.3.1.F(3) - A copy of the final protective covenants and deed restrictions
 YES 6.3.1.F(4) - A certificate of title requirements
 N/A 6.4.4.B - The legal description shall include a metes and bounds description
 INFO Additional Right-of-Way comments Checked SunBiz and Project Map. 7.23.25 -EMW

OCE Stormwater (Permits & Plans) (Office of Kevin Vickers) 10/29/2025 11/25/2025 Approved
 the County Engineer

OCE Survey (Plans) (Office of the County Engineer) 10/29/2025 12/09/2025 Approved

Comments
 YES 6.4.4.D - Mathematical closure and shall be in compliance with Ch. 5J-17 FAC. (5J-17.051) (15ii) (5J-17.051)(2)(b1-3) FAC
 YES 6.4.4.B - The legal description shall include a metes and bounds description
 YES 6.4.4.A - Final plat shall comply with Ch. 177 FS and the requirements of this Code
 YES 6.4.4.B & C The point of commencement or point of beginning in the description shall be tied to the nearest Government Corner or Record Corner
 N/A 6.4.4.C - A Certified Corner Record must be submitted to the State of Florida and the County Surveyor
 YES 6.4.4.E - Showing or establishing the location of the ordinary high water line shall describe the methodology used for said determination.
 YES 6.4.4.F - The point of beginning and the point of commencement shall be clearly labeled in bold when a point of beginning or point of commencement is used in the legal description
 YES 6.4.4.G - All permanent reference monuments and permanent control points as prescribed in Ch. 177 FS shall be installed prior to submission of Final Plat
 YES 6.4.5.A(1) - Permanent Reference Monuments (PRMs) shall be set in accordance with § 177.091 FS
 YES 6.4.5.A(2) - PRMs shall be graphically shown and fully described on the plat
 YES 6.4.5.A(3) - PRMs shall not exceed a maximum spacing of 1,400' apart
 YES 6.4.5.A(4) - PRMs shall be referenced to the State Plane Coordinate System with datum and adjustment stated
 N/A 6.4.5.A(5) - When PRMs are set as offset/witness corners, the corners shall be shown
 YES 6.4.5.C - A table or note containing the geodetic control station information
 YES 6.4.5.D - Distances shown on the plat shall be shown as ground distances and noted as such
 YES 6.4.5.F(1) - Permanent Control Points (PCPs) shall be set in accordance with § 177.091 FS
 YES 6.4.5.F(2) - PCPs shall not exceed a maximum spacing of 1,000 feet apart
 YES 6.4.5.F(3) - PCPs shall be set
 YES 6.4.5.F(4) - PCPs shall be graphically shown and fully described on the plat
 N/A 6.4.5.F(5) - When PCPs are set as offset/witness corners, the corners shall be shown on the plat
 YES 6.4.5.G - Where plat boundary corners are found to coincide with previously set monumentation, monumentation shall be shown on the plat
 INFO 6.4.5.H - All lot and tract corner monumentation shall be set in accordance with the requirements of § 177.091 FS
 YES 6.4.5.I - All section lines, government lot lines and grant lines and/or corners found shown with ties to the plat boundary
 YES 6.4.5.J - Platted adjoining lands shall be identified
 N/A 6.4.5.K - Unplatted adjoining lands shall be labeled as "unplatted" with deed book or official record book and pages shown
 YES 6.4.5.M - Line and curve tables must be shown on the sheet to which they apply
 YES 6.4.5.N - Bearings basis shall be noted and referenced to an established, monumented line shown on the plat
 YES 6.2.1.A - Provide the name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet
 YES 6.2.1.E - Provide drawing legend
 YES 6.2.1.F - Provide north arrow and graphic drawing and written scale
 YES 6.3.1.E(1) - The Surveyors and Mappers Certification
 N/A 6.4.6.A - Show the lot and block lines of the previous plat, including monumentation
 YES 6.4.6.B - Any rights-of-way and/or easements to be vacated shown with Official Record Book and Page
 N/A 6.4.6.C - Show any discrepancies between the boundary of a replat and the previous plat.
 N/A Additional Survey comments

OCE Traffic (Permits & Plans) (Office of the Chris Zeigler) 10/29/2025 11/19/2025 Requires Re-submit
 County Engineer

SUBMITTAL SUMMARY REPORT (33011)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|---|------------|------------|--------------------|
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 10/29/2025 | 11/19/2025 | Requires Re-submit |
| <i>Comments</i> | An approved traffic study is required prior to final plat approval | | | |
| <i>Corrections</i> | 6.11.3 - Traffic Impact Analysis (Not Resolved) - 6.11.3 - Traffic Impact Analysis: Provide a Traffic Impact Analysis | | | |

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|-----------------------------------|-------------|------------|------------|----------|
| OCE Utilities (Plans) (Utilities) | | 10/29/2025 | 12/09/2025 | Approved |

Comments INFO Signed and sealed as-builts have been provided and match the subject Final Plat No as-builts have been provided to MCU
 INFO CADD files have been provided and match the subject Final Plat No as-builts have been provided to MCU
 N/A Review Fee per Resolution 15-R-583 made payable to Marion County Utilities 10/24/25 No fee for this review. Previous comment. Utilities Plan Review Fee: \$130.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 33011

N/A Additional Utilities comments 10/24/25 Previously approved in residential plat 9/29/25 No response 7/15/2025 Landscape and utility easements are shown overlapping along both entrances at SW 92nd Place and SW 57th Avenue. Please confirm that the total width of the easement is sufficient to accommodate both Marion County Utilities infrastructure and required landscaping, especially where the water main is adjacent to the road right-of-way. In these cases, the utility easement must extend a minimum of 5 feet beyond the main, for a total of 10 feet, to allow adequate clearance for access and maintenance.

Completed in ePlans 10/30/2025

OCE: Plan Review (DR) v.2

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|---|------------|------------|----------|
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Jared Rivera | 12/17/2025 | 12/11/2025 | Approved |
| <i>Comments</i> | JARED RIVERA / GROWTH SERVICES / 352-438-2687 | | | |
| <i>Corrections</i> | 2.12.10 - Easement (Resolved) - 2.12.10 - Easement: Show existing and proposed easements on plan, and provide description of each easement. | | | |
| <i>Corrections</i> | 2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections) | | | |

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|---------------|------------|------------|----------|
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 12/17/2025 | 12/18/2025 | Approved |

33011



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 06/25/2025
mm/dd/yyyy

A. PROJECT INFORMATION:

Project Name: FREEDOM CROSSINGS COMMERCIAL PHASE 1
Parcel Number(s): 35699-006-03, 35699-006-06, 35699-006-04
Section 21 Township 16 Range 21 Land Use COMM Zoning Classification COMM BU
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: FINAL PLAT
Property Acreage 18.40 Number of Lots 14 Miles of Roads 0
Location of Property with Crossroads SW 60TH AV AND SW 95TH ST
Additional comments regarding this submittal _____

B. CONTACT INFORMATION (fill in as applicable):

Engineer:

Firm Name: TILLMAN ENGINEERING Contact Name: TIM BROOKER, PE
Mailing Address: 1720 SE 16 AV, BLDG 100 City: OCALA State: FL Zip Code: 34471
Phone # 352-387-4540 Alternate Phone # _____
Email(s) for contact via ePlans: tbrooker@tillmaneng.com

Surveyor:

Firm Name: R.M. BARRINEAU AND ASSOCIATES, INC. Contact Name: TRAVIS BARRINEAU, PSM
Mailing Address: 1309 SE 25TH LOOP #103 City: OCALA State: FL Zip Code: 34471
Phone # 352-622-3133 Alternate Phone # 352-427-5527
Email(s) for contact via ePlans: travis@rmbarrineau.com

Owner:

Owner: FREEDOM CROSSINGS LAND, LLC Contact Name: TODD RUDNIANYN
Mailing Address: 2441 NE 3RD ST. City: OCALA State: FL Zip Code: 34470
Phone # 352-239-1555 Alternate Phone # _____
Email address: toddrud@gmail.com

Developer:

Developer: SAME Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 7/2017

FREEDOM CROSSINGS COMMERCIAL PHASE 1

PLAT BOOK _____, PAGE
SHEET 1 OF 4

SECTION 21, TOWNSHIP 14 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA.

DESCRIPTION:

A PORTION OF THE N.W. 1/4 OF SECTION 21, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SAID SECTION 21; THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 21, S.00°32'01"W, A DISTANCE OF 1439.18 FEET; THENCE DEPARTING SAID WEST BOUNDARY, S88°47'20"E, A DISTANCE OF 583.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF S.W. 60TH AVENUE (RIGHT OF WAY WIDTH Varies); SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE, ALONG THE SOUTH BOUNDARY OF TRACT I OF FREEDOM CROSSINGS PRESERVE PHASE 1, AS RECORDED IN PLAT BOOK 14, PAGE 102 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, N40°50'00"E, A DISTANCE OF 192.00 FEET; THENCE CONTINUE ALONG SAID SOUTH BOUNDARY, S88°47'20"E, A DISTANCE OF 531.01 FEET TO A POINT ON THE WEST BOUNDARY OF TRACT B OF SAID FREEDOM CROSSINGS PRESERVE PHASE 1; THENCE DEPARTING THE SOUTH BOUNDARY OF TRACT B, ALONG THE WEST BOUNDARY OF TRACT B, S00°23'00"W, A DISTANCE OF 271.00 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID TRACT B; THENCE DEPARTING THE WEST BOUNDARY OF SAID TRACT B, ALONG THE SOUTH BOUNDARY OF SAID TRACT B, N40°50'00"E, A DISTANCE OF 523.53 FEET TO A POINT ON THE WEST BOUNDARY OF AGENCUMENTED TRACT A; THENCE DEPARTING THE SOUTH BOUNDARY OF TRACT B, ALONG THE WEST BOUNDARY OF TRACT H, S00°23'00"W, A DISTANCE OF 523.53 FEET; THENCE CONTINUE ALONG SAID WEST BOUNDARY, S45°24'24"W, A DISTANCE OF 86.25 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF S.W. 60TH AVENUE (RIGHT OF WAY WIDTH Varies); THENCE DEPARTING THE WEST BOUNDARY OF TRACT H, ALONG THE NORTH RIGHT OF WAY LINE OF S.W. 60TH AVENUE, S89°42'46"W, A DISTANCE OF 108.26 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF S.W. 60TH AVENUE; THENCE DEPARTING THE NORTH RIGHT OF WAY LINE OF S.W. 60TH AVENUE, ALONG THE EAST RIGHT OF WAY LINE OF S.W. 60TH AVENUE, N44°39'50"W, A DISTANCE OF 101.02 FEET; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, N00°00'00"W, A DISTANCE OF 1059.09 FEET TO THE POINT OF BEGINNING; SAID LANDS CONTAINING 18.40 ACRES, MORE OR LESS.

ADVISORY NOTICES: PER MARION COUNTY LAND DEVELOPMENT CODE 6.3.1.C(15)

- THE CURRENT FUTURE LAND USE DESIGNATION AND ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED HEREON ARE COMMERCIAL AND COMMUNITY BUSINESS (B-2) RESPECTIVELY.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 1208300704E, MARION COUNTY, FLORIDA, COMMUNITY NO. 120140, PANEL NO. 0704E, DATED APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES IN FLOOD ZONE "X" - AN AREA OF MINIMAL FLOODING. ALL PERSONS WITH AN INTEREST IN THE LANDS DESCRIBED HEREON SHOULD EVALUATE THE CURRENT FLOODPLAIN LIMITS AS THEY MAY BE ADJUSTED FROM TIME TO TIME AS DETERMINED BY FEMA.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED OR REFERENCED ON THIS PLAT THAT MAY BE FOUND IN THE OFFICIAL RECORDS OF MARION COUNTY.
- THIS PLAT CONTAINS 14 LOTS, 0 TRACTS AND 0.00 MILES OF ROAD.
- CONVEYANCES, RESTRICTIONS AND/OR RESERVATIONS AFFECTING THE OWNERSHIP OR USE OF THE PROPERTY SHOWN IN THIS PLAT ARE FILED IN MARION COUNTY OFFICIAL RECORDS BOOK _____, PAGE _____.
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENT APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTIES ARE SUBJECT TO A DEFERRED CONCURRENT DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENT REVIEW AND/OR APPROVAL IS DEFERRED TO A LATER DEVELOPMENT REVIEW STAGE.
- THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, HAS REVIEWED AND ACCEPTED THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF THE PROPERTY DESCRIBED HEREON THAT THIS PLAT IS SUBJECT TO SPECIAL ASSIGNMENTS THAT MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH THE MAINTENANCE, OPERATION AND CONSTRUCTION OF INFRASTRUCTURE AS DETERMINED ACCESSIBLE TO SAID BOARD OR OTHER GOVERNING BODY HAVING JURISDICTION.
- THE CROSS ACCESS EASEMENT SHOWN HEREON SHALL BE DEVELOPED AT THE TIME OF EACH LOT DEVELOPMENT AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.
- MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE FUTURE DRAINAGE FACILITIES ON EACH LOT IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHENEVER THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT PALMETTO COALA-FREEDOM CROSSINGS LAND LLC, A FLORIDA LIMITED LIABILITY COMPANY, FEE SIMPLE OWNERS OF THE LAND DESCRIBED AND PLATTED HEREIN AS FREEDOM CROSSINGS COMMERCIAL PHASE 1, BEING IN MARION COUNTY, HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREIN.

CROSS ACCESS AND UTILITY EASEMENT SHOWN ON THIS PLAT IS A NON EXCLUSIVE CROSS ACCESS EASEMENT FOR THE USE AND BENEFIT OF THE PUBLIC FOR ACCESS TO LOTS 1 THROUGH 14 AND MAINTENANCE OF SAID EASEMENT IS THE RESPONSIBILITY OF SAID LOT OWNERS.

IN WITNESS WHEREOF, PALMETTO COALA-FREEDOM CROSSINGS LAND LLC, A FLORIDA LIMITED LIABILITY COMPANY HAVE CAUSED THESE PRESENTS TO BE SIGNED BY ITS OWNERS ON THIS _____ DAY OF _____, 2025.

BY: MICHAEL D. HOUGHTON, MANAGER WITNESS: _____
PRINTED NAME: _____

NOTARY ACKNOWLEDGMENT:
STATE OF _____
COUNTY OF _____
I, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 2025, BY MICHAEL D. HOUGHTON AS MANAGER.

PERSONALLY KNOWN
NOTARY PUBLIC IDENTIFICATION _____
NOTARY PUBLIC _____
STATE OF _____

APPROVAL BY COUNTY OFFICIALS:

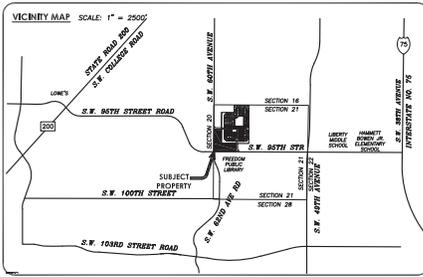
DEVELOPMENT REVIEW COMMITTEE:
APPROVED: _____
BY: _____ COUNTY ENGINEERING

| SHEET INDEX | |
|-------------|---|
| SHEET | CONTENTS |
| 1 | DESCRIPTION, NOTES, LEGEND, WIGNYIT MAP |
| 2 | OVERALL BOUNDARY OF PLAT, STATE PLANE COORDINATES AND SURVEYORS NOTES |
| 3-4 | PLAT DETAIL SHEETS |

BY: _____ COUNTY SURVEYOR

BY: _____ COUNTY UTILITIES

BY: _____ COUNTY BUILDING SAFETY



NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION:
KNOW ALL MEN BY THESE PRESENTS THAT TODD B. RUDNIMANN, AS TRUSTEE FOR SWENEY S. SWENEY 3N, SWENEY 3S, SWENEY 1A LAND TRUST, DATED JUNE 1, 2007, FEE SIMPLE OWNERS OF THE LAND DESCRIBED AND PLATTED HEREIN AS FREEDOM CROSSINGS COMMERCIAL PHASE 1, BEING IN MARION COUNTY, HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREIN.

CROSS ACCESS AND UTILITY EASEMENT SHOWN ON THIS PLAT IS A NON EXCLUSIVE CROSS ACCESS EASEMENT FOR THE USE AND BENEFIT OF THE PUBLIC FOR ACCESS TO LOTS 1 THROUGH 14 AND MAINTENANCE OF SAID EASEMENT IS THE RESPONSIBILITY OF SAID LOT OWNERS.

IN WITNESS WHEREOF, TODD B. RUDNIMANN HAVE CAUSED THESE PRESENTS TO BE SIGNED BY ITS OWNERS ON THIS _____ DAY OF _____, 2025.

BY: TODD B. RUDNIMANN, MANAGER WITNESS: _____
PRINTED NAME: _____

NOTARY ACKNOWLEDGMENT:
STATE OF _____
COUNTY OF _____
I, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 2025, BY TODD B. RUDNIMANN AS TRUSTEE.

PERSONALLY KNOWN
NOTARY PUBLIC IDENTIFICATION _____
NOTARY PUBLIC _____
STATE OF _____

APPROVAL BY ADMINISTRATIVE AUTHORITY:

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 2025, THE FOREGOING PLAT WAS APPROVED BY THE ADMINISTRATOR OR HIS OR HER DESIGNATED ADMINISTRATIVE OFFICIAL FOR MARION COUNTY, FLORIDA.

BY: _____ COUNTY ADMINISTRATOR, OR DESIGNATED ADMINISTRATIVE OFFICIAL WITNESS: _____
GREGORY C. HARRILL, CLERK OF THE CIRCUIT COURT

CLERK OF THE COUNTY'S CERTIFICATE FOR ACCEPTANCE AND RECORDING:
I, CLERK OF THE CIRCUIT COURT OF MARION COUNTY, FLORIDA, DO HEREBY ACCEPT THAT THIS PLAT OF FREEDOM CROSSINGS COMMERCIAL PHASE 1 FOR RECORDING, THIS PLAT FILED FOR RECORD THIS _____ DAY OF _____, 2025, AT _____ A.M./P.M. AND RECORDED ON PAGE _____ OF PLAT BOOK _____.

BY: GREGORY C. HARRILL, CLERK OF THE CIRCUIT COURT

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT NOEL NATION AND STEPHEN GREENE, AS SUCCESSOR CO-TRUSTEES OF THE 256 ACRES LAND TRUST DATED FEBRUARY 4, 2004, FEE SIMPLE OWNERS OF THE LAND DESCRIBED AND PLATTED HEREIN AS FREEDOM CROSSINGS COMMERCIAL PHASE 1, BEING IN MARION COUNTY, HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREIN.

CROSS ACCESS AND UTILITY EASEMENT SHOWN ON THIS PLAT IS A NON EXCLUSIVE CROSS ACCESS EASEMENT FOR THE USE AND BENEFIT OF THE PUBLIC FOR ACCESS TO LOTS 1 THROUGH 14 AND MAINTENANCE OF SAID EASEMENT IS THE RESPONSIBILITY OF SAID LOT OWNERS.

IN WITNESS WHEREOF, NOEL NATION AND STEPHEN GREENE HAVE CAUSED THESE PRESENTS TO BE SIGNED BY ITS OWNERS ON THIS _____ DAY OF _____, 2025.

BY: NOEL NATION, TRUSTEE WITNESS: _____
PRINTED NAME: _____

NOTARY ACKNOWLEDGMENT:
STATE OF _____
COUNTY OF _____
I, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 2025, BY NOEL NATION AS TRUSTEE.

PERSONALLY KNOWN
NOTARY PUBLIC IDENTIFICATION _____
NOTARY PUBLIC _____
STATE OF _____

BY: STEPHEN GREENE, TRUSTEE WITNESS: _____
PRINTED NAME: _____

NOTARY ACKNOWLEDGMENT:
STATE OF _____
COUNTY OF _____
I, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 2025, BY STEPHEN GREENE AS TRUSTEE.

PERSONALLY KNOWN
NOTARY PUBLIC IDENTIFICATION _____
NOTARY PUBLIC _____
STATE OF _____

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: FREEDOM CROSSINGS LAND LLC, A FLORIDA LIMITED LIABILITY COMPANY, FEE SIMPLE OWNERS OF THE LAND DESCRIBED AND PLATTED HEREIN AS FREEDOM CROSSINGS COMMERCIAL PHASE 1, BEING IN MARION COUNTY, HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREIN.

CROSS ACCESS AND UTILITY EASEMENT SHOWN ON THIS PLAT IS A NON EXCLUSIVE CROSS ACCESS EASEMENT FOR THE USE AND BENEFIT OF THE PUBLIC FOR ACCESS TO LOTS 1 THROUGH 14 AND MAINTENANCE OF SAID EASEMENT IS THE RESPONSIBILITY OF SAID LOT OWNERS.

IN WITNESS WHEREOF, FREEDOM CROSSINGS LAND LLC, A FLORIDA LIMITED LIABILITY COMPANY HAVE CAUSED THESE PRESENTS TO BE SIGNED BY ITS OWNERS ON THIS _____ DAY OF _____, 2025.

BY: TODD B. RUDNIMANN, MANAGER WITNESS: _____
PRINTED NAME: _____

NOTARY ACKNOWLEDGMENT:
STATE OF _____
COUNTY OF _____
I, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 2025, BY TODD B. RUDNIMANN AS MANAGER.

PERSONALLY KNOWN
NOTARY PUBLIC IDENTIFICATION _____
NOTARY PUBLIC _____
STATE OF _____

SURVEYOR'S CERTIFICATE:
I CERTIFY THIS PLAT, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES; MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS; AND IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAT DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS.

BY: TRAVIS P. BARRINEAU, P.S.M.
FLORIDA REGISTERED SURVEYOR NO. LS 6897
R.M. BARRINEAU & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB 5001
1309 S.E. 25TH LOOP, SUITE 103, OCALA, FLORIDA 34471

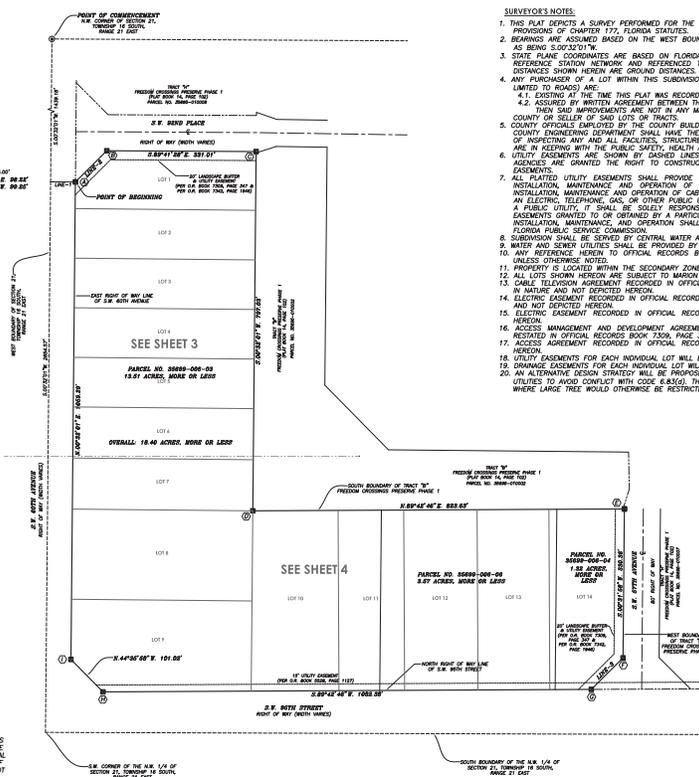
R.M. BARRINEAU AND ASSOCIATES
PROFESSIONAL SURVEYORS & MAPPERS
1309 S.E. 25TH LOOP, SUITE 103, OCALA, FLORIDA 34471
PHONE: 352.825.1111 FAX: 352.825.1111
WWW.RMBARRINEAU.COM

PREPARED BY: R.M. BARRINEAU & ASSOCIATES, INC. 1309 S.E. 25TH LOOP, SUITE 103 OCALA, FLORIDA 34471

FREEDOM CROSSINGS COMMERCIAL PHASE 1

SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA.

PLAT BOOK _____, PAGE
SHEET 2 OF 4



- SURVEYOR'S NOTES:**
- THIS PLAT BEING A SURVEY PERFORMED FOR THE SPECIFIC PURPOSE OF RECORDING A SUBDIVISION PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES.
 - BERNARDS ARE ASSUMED BASED ON THE WEST BOUNDARY OF THE N.W. 1/4 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, AS BEING S.50°32'01"W.
 - STATE PLANE COORDINATES ARE BASED ON FLORIDA WEST COAST NAD-83 (GDA80) (DDP0000022000), BASED ON TRIANGLE VERTICAL REFERENCE STATION NETWORK AND REFERENCED TO THE CITY OF Ocala ENGINEERING DEPARTMENT CONTROL POINT 0013. ALL DISTANCES SHOWN HEREIN ARE GEODESIC DISTANCES.
 - ANY PURCHASER OF A LOT WITHIN THIS SUBDIVISION IS ADVISED OF THE FOLLOWING, UNLESS IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO RIGHTS) ARE:
 - EXISTING AT THE TIME THIS PLAT WAS RECORDED IN THE PUBLIC RECORDS, OR
 - ACQUIRED BY WRITTEN AGREEMENT BETWEEN THE DEVELOPER AND MARION COUNTY BOARD OF COUNTY COMMISSIONERS, THEN SAID IMPROVEMENTS ARE NOT IN ANY MANNER ASSURED FOR CONSTRUCTION IN THE FUTURE BY EITHER MARION COUNTY OR SELLERS OF SAID LOTS OR TRACTS.
 - COUNTY OFFICIALS EMPLOYED BY THE COUNTY BUILDING AND ZONING DEPARTMENT, COUNTY ENVIRONMENTAL HEALTH DEPARTMENT, AND COUNTY ENGINEERING DEPARTMENT SHALL HAVE THE RIGHT TO ENTER UPON THE LANDS INCLUDED IN THIS PLAT FOR THE PURPOSES OF INSPECTING ANY AND ALL FACILITIES, STRUCTURES AND CONSTRUCTION OF IMPROVEMENTS IN ORDER TO ASSURE THAT THE SAME ARE IN KEEPING WITH THE PUBLIC SAFETY, HEALTH AND GENERAL WELFARE.
 - UTILITY EASEMENTS ARE SHOWN BY DASHED LINES ON THE ATTACHED PLAT: ALL PUBLIC UTILITY COMPANIES AND GOVERNMENTAL AGENCIES ARE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, MAINTAIN AND OPERATE UTILITIES AND DRAINAGE FACILITIES IN THE EASEMENTS.
 - ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES, PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
 - SUBDIVISION SHALL BE SERVED BY CENTRAL WATER AND CENTRAL SEWER SYSTEMS.
 - WATER AND SEWER UTILITIES SHALL BE PROVIDED BY MARION COUNTY UTILITIES DEPARTMENT.
 - ANY REFERENCE HEREIN TO OFFICIAL RECORDS BOOKS ARE REFERRED TO THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA UNLESS OTHERWISE NOTED.
 - PROPERTY IS LOCATED WITHIN THE SECONDARY ZONE OF THE SPRINGS PROTECTION ZONE.
 - ALL LOTS SHOWN HEREON ARE SUBJECT TO MARION COUNTY LAND DEVELOPMENT REVIEW AT THE TIME OF DEVELOPMENT.
 - CABLE TELEVISION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 2696, PAGE 1518 AFFECTS SUBJECT PROPERTY, IS BLANKET IN NATURE AND NOT RESTRICTED HEREON.
 - ELECTRIC EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 2751, PAGE 1629 AFFECTS SUBJECT PROPERTY, IS BLANKET IN NATURE AND NOT RESTRICTED HEREON.
 - ELECTRIC EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 5526, PAGE 1127 AFFECTS SUBJECT PROPERTY AND IS DEPICTED HEREON.
 - ACCESS MANAGEMENT AND DEVELOPMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 0163, PAGE 1026, AMENDED AND REVISED IN OFFICIAL RECORDS BOOK 7350, PAGE 343 AFFECTS SUBJECT PROPERTY AND IS DEPICTED HEREON.
 - ACCESS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 7342, PAGE 1946 AFFECTS SUBJECT PROPERTY AND IS DEPICTED HEREON.
 - UTILITY EASEMENTS FOR EACH INDIVIDUAL LOT WILL BE RECORDED BY SEPARATE DOCUMENT AT THE TIME EACH LOT IS DEVELOPED.
 - DRAINAGE EASEMENTS FOR EACH INDIVIDUAL LOT WILL BE RECORDED BY SEPARATE DOCUMENT AT THE TIME EACH LOT IS DEVELOPED.
 - AN ALTERNATIVE DESIGN STRATEGY WILL BE PROPOSED, UTILIZING ORNAMENTAL TREE SPECIES AREAS ADJACENT TO OVERHEAD UTILITIES TO AVOID CONFLICT WITH CODE 8.8(3). THIS APPROACH IS INTENDED TO MAINTAIN COMPLIANCE AND PREVENT CONFLICTS WHERE LARGE TREE WOULD OTHERWISE BE RESTRICTED WITHIN 30 FEET OF POWER LINES.

| POINT CODE | STATE PLANE COORDINATES | | SCALE FACTOR |
|------------|-------------------------|------------|--------------|
| | NORTHING | EASTING | |
| 0013 | 1730500.441 | 589212.598 | 0.999946351 |
| 1 | 1728369.025 | 586395.024 | 0.999946778 |
| 2 | 1728437.851 | 586464.812 | 0.999946774 |
| 3 | 1728436.512 | 586795.063 | 0.999946655 |
| 4 | 1727939.518 | 586786.402 | 0.999946655 |
| 5 | 1727845.646 | 587011.856 | 0.999946554 |
| 6 | 1727215.168 | 587029.492 | 0.999946651 |
| 7 | 1727245.273 | 587338.452 | 0.999946457 |
| 8 | 1727317.402 | 586486.993 | 0.999946771 |
| 9 | 1727309.777 | 586385.156 | 0.999946752 |

SURVEYOR'S CERTIFICATE

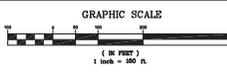
I CERTIFY THIS PLAT, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, AND IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAT DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS.

BY:
 FRANK P. BARRINEAU, P.E.S.M.
 FLORIDA REGISTERED SURVEYOR NO. LS 6897
 R.M. BARRINEAU & ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION NO. LB 5091
 1309 S.E. 20TH LOOP, SUITE 103, Ocala, FLORIDA 34471

R.M. BARRINEAU
 AND ASSOCIATES
 PROFESSIONAL SURVEYORS & MAPPERS
 1309 S.E. 20TH LOOP, SUITE 103, Ocala, FLORIDA 34471
 PHONE: (352) 237-1400 FAX: (352) 237-1401
 WWW.RMBARRINEAU.COM

APPROVED WAIVERS:

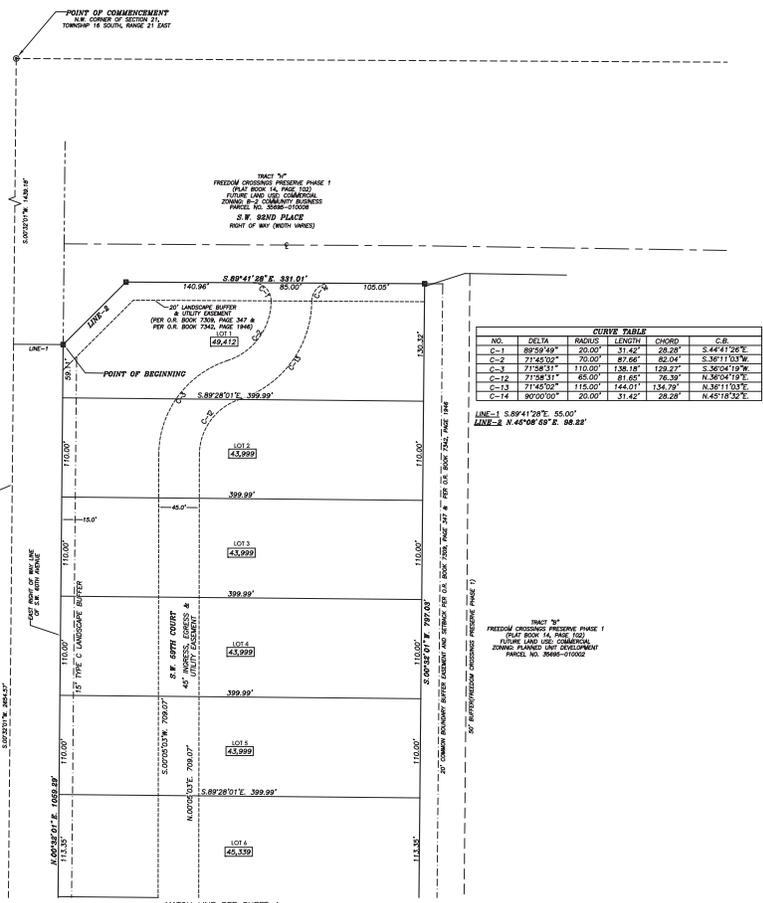
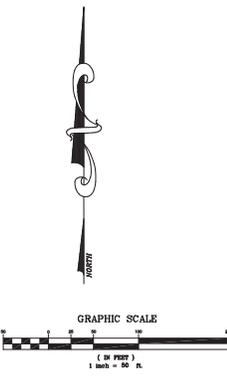
| CODE | DESCRIPTION | CONDITIONS | DATE |
|--------|------------------|--|---------|
| 2.17.1 | PRELIMINARY PLAT | PROVIDE NECESSARY INFORMATION ON FINAL PLAT | 3-17-25 |
| 2.18.1 | IMPROVEMENT PLAN | EACH LOT REQUIRED TO SUBMIT MARION COUNTY DRAINAGE PLAN AT TIME OF DEVELOPMENT | 6-9-25 |



FREEDOM CROSSINGS COMMERCIAL PHASE 1

SECTION 21, TOWNSHIP 14 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA

PLAT BOOK _____, PAGE _____
SHEET 3 OF 4



| NO. | DELTA | RADIUS | LENGTH | CHORD | C.B. |
|------|-----------|---------|---------|---------|-------------|
| C-1 | 89°59'49" | 20.00' | 31.42' | 28.28' | S44°41'20"E |
| C-2 | 71°45'04" | 70.00' | 87.66' | 62.04' | S30°11'03"W |
| C-3 | 71°45'04" | 110.00' | 136.18' | 102.27' | S30°04'19"W |
| C-12 | 71°45'04" | 65.00' | 81.65' | 76.35' | N36°04'19"E |
| C-13 | 71°45'04" | 115.00' | 144.01' | 134.79' | N30°11'03"E |
| C-14 | 80°00'00" | 20.00' | 31.42' | 28.28' | N45°18'32"E |

LINE-1 S.89°41'28"E. 55.00'
LINE-2 N.45°08'09"E. 58.82'

| DATE | DESCRIPTION | CONDITIONS | DATE |
|---------|------------------|--|--------|
| 2.17.17 | PRELIMINARY PLAN | | |
| 2.18.17 | IMPROVEMENT PLAN | FOR LOT REQUIRED TO SUBMIT MARION COUNTY DRAINAGE PLAN AT TIME OF DEVELOPMENT. | 6-9-25 |

SURVEYOR'S CERTIFICATE:
I CERTIFY THIS PLAN, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, AND IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAN DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS.

BY:
FRANZ P. BARRINEAU, P.E.M.
FLORIDA REGISTERED SURVEYOR NO. LS 6897
R.M. BARRINEAU & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB 5091
1309 S.E. 25TH LOOP, SUITE 100, Ocala, FLORIDA 34471

R.M. BARRINEAU & ASSOCIATES, INC.
PROFESSIONAL SURVEYORS & MAPPERS
MARION COUNTY, FLORIDA
PHONE: (352) 342-1111 FAX: (352) 342-1112
WWW.RMBARRINEAU.COM

PREPARED BY: R.M. BARRINEAU & ASSOCIATES, INC. 1309 S.E. 25TH LOOP, SUITE 100 Ocala, FLORIDA 34471

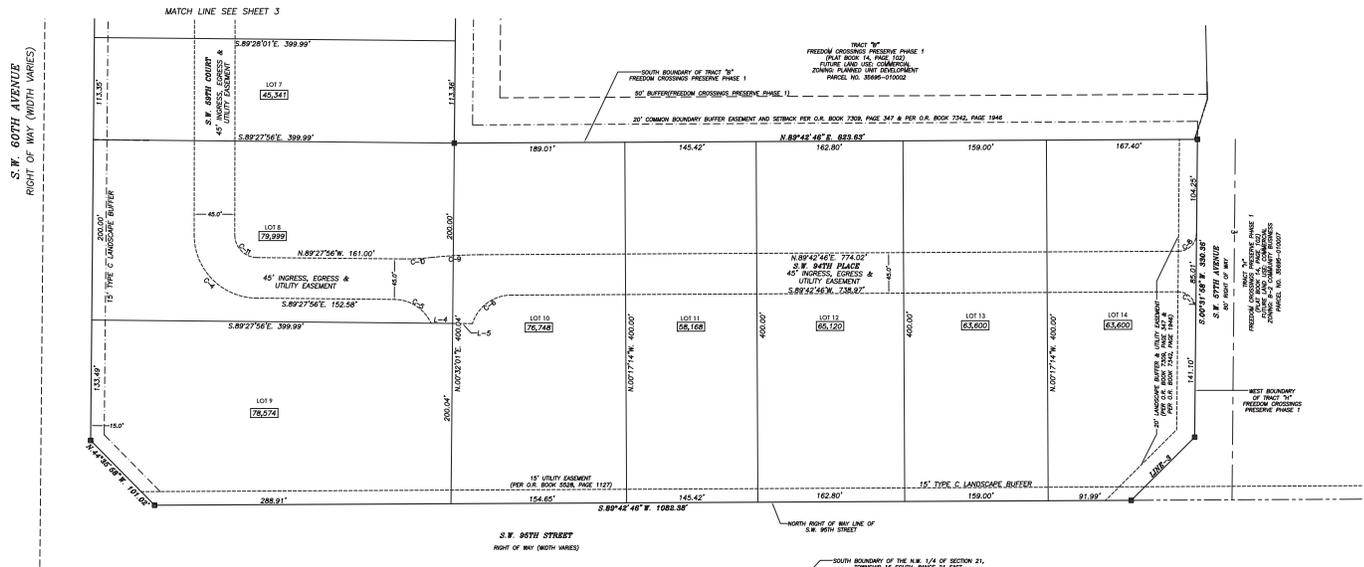
LEGEND:

- ⊕ = STATE PLANE COORDINATE
- ⊗ = CENTERLINE OF RIGHT OF WAY
- OR = OFFICIAL RECORDS OF MARION COUNTY
- = SQUARE FOOTAGE OF LOT
- = PERMANENT REFERENCE MONUMENT
- = FOUND 4" x 4" CONCRETE MONUMENT - LB 5091
- = PERMANENT REFERENCE MONUMENT
- = SET 4" x 4" CONCRETE MONUMENT - LB 5091
- ⊙ = FOUND NAIL & DISC - LB 5091

FREEDOM CROSSINGS COMMERCIAL PHASE 1

SECTION 21, TOWNSHIP 14 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA.

PLAT BOOK _____, PAGE
SHEET 4 OF 4

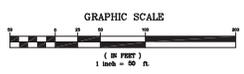


| NO. | DELTA | RADIUS | LENGTH | CHORD | C.B. |
|-----|-----------|---------|---------|--------|--------------|
| C-1 | 89°33'02" | 20.00' | 109.81' | 98.63' | S 44°43'28"E |
| C-2 | 65°01'28" | 45.00' | 81.07' | 48.37' | S 58°57'15"E |
| C-3 | 72°20'51" | 45.00' | 86.81' | 53.11' | N 53°30'48"E |
| C-4 | 90°47'41" | 20.00' | 31.70' | 28.42' | N 44°52'54"W |
| C-5 | 89°10'24" | 20.00' | 31.13' | 28.08' | N 45°07'42"E |
| C-6 | 09°54'56" | 525.00' | 54.10' | 54.15' | S 89°45'15"W |
| C-7 | 08°44'04" | 275.00' | 32.32' | 32.30' | S 87°09'59"W |
| C-8 | 89°33'02" | 25.00' | 39.07' | 35.22' | N 44°41'20"W |

| CODE | DESCRIPTION | CONDITIONS | DATE |
|--------|------------------|---|---------|
| 2.17.1 | PRELIMINARY PLAN | PROVIDE NECESSARY INFORMATION ON FINAL PLAN | 3-17-25 |
| 2.18.1 | IMPROVEMENT PLAN | ACT TO REQUIRE TO SUBMIT MARION COUNTY DRAINAGE PLAN AT TIME OF DEVELOPMENT | 6-9-25 |

SURVEYOR'S CERTIFICATE
I CERTIFY THIS PLAN, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, AND IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAN DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS.

BY:
THOMAS P. BARRINEAU, P.E.M.
FLORIDA REGISTERED SURVEYOR NO. LB 6897
R.M. BARRINEAU & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB 5091
1309 S.E. 25TH LOOP, SUITE 100, Ocala, FLORIDA 34471
R.M. BARRINEAU & ASSOCIATES
PROFESSIONAL SURVEYORS & MAPPERS
MARION COUNTY, FLORIDA
1309 S.E. 25TH LOOP, SUITE 100, Ocala, FLORIDA 34471
PHONE: (352) 342-1111 FAX: (352) 342-1112
WWW.RMBARRINEAU.COM



LINE-3 S 45°09'24" W, 88.85'
LINE-4 S 89°27'56"E, 24.00'
LINE-5 S 89°27'56"E, 21.93'

- LEGEND:**
- ⊕ = STATE PLANE COORDINATE
 - ⊙ = CENTERLINE OF RIGHT OF WAY
 - ⊙ = OFFICIAL RECORDS OF MARION COUNTY
 - = SQUARE FOOTAGE OF LOT
 - = PERMANENT REFERENCE MONUMENT
 - = FOUND 4" x 4" CONCRETE MONUMENT - LB 5091
 - = PERMANENT REFERENCE MONUMENT
 - = SET 4" x 4" CONCRETE MONUMENT - LB 5091
 - ⊙ = FOUND NAIL & DISC - LB 5091

PREPARED BY: R.M. BARRINEAU & ASSOCIATES, INC. 1309 S.E. 25TH LOOP, SUITE 100, Ocala, FLORIDA 34471



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21785

Agenda Date: 1/12/2026

Agenda No.: 5.2.

SUBJECT:

Liberty Crossings Lot 4 - Major Site Plan

PID#: 35699-010-00 #32667

Mastroserio Engineering, Inc.



SUBMITTAL SUMMARY REPORT 32667

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|--|-----------------------------|
| PLAN NAME: LIBERTY CROSSINGS LOT 4 - MAJOR SITE PLAN PLAN | LOCATION: |
| APPLICATION DATE: 03/27/2025 | PARCEL: 35699-010-00 |
| DESCRIPTION: | |

| CONTACTS | NAME | COMPANY |
|--------------------|-------------------|------------------------------|
| Applicant | Paolo Mastroserio | Mastroserio Engineering, Inc |
| Applicant | Suzie Archer | |
| Engineer of Record | Paolo Mastroserio | Mastroserio Engineering, Inc |

| SUBMITTAL | STARTED | DUE | COMPLETE | STATUS |
|--------------------------|------------|------------|------------|--------------------|
| OCE: Plan Review (DR) v. | 10/08/2025 | 10/15/2025 | 11/21/2025 | Requires Re-submit |
| OCE: Plan Review (DR) v. | 12/12/2025 | 12/19/2025 | 01/08/2026 | Approved |

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|---|------------|------------|----------|
| 911 Management (DR) (911 Management) | | 10/15/2025 | 11/21/2025 | Approved |
| <i>Comments</i> | YES 2.12.8 - Legal description matches boundary on plan YES 2.12.28 - Correct road names supplied YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Additional 911 comments JANET WARBACH / 9-1-1 MANAGEMENT / 352-671-8460 / FAX 352-671-8798 | | | |
| Environmental Health (Plans) (Environmental Health) | | 10/15/2025 | 11/21/2025 | Approved |
| <i>Comments</i> | YES Central Sewer Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval Central Water N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments Central Sewer/Central Water | | | |
| Fire Marshal (Plans) (Fire) | | 10/15/2025 | 11/21/2025 | Approved |
| <i>Comments</i> | YES 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area N/A 6.18.5 - Access Control Box N/A 6.18.2.D - Fire Department Connections YES NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength YES 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads N/A Additional Fire comments | | | |

SUBMITTAL SUMMARY REPORT (32667)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|-------------|------------|------------|--------------------|
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | | 10/15/2025 | 11/21/2025 | Requires Re-submit |

Comments

Land Use - Approved
YES 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?
YES 2.12.4.L(3) - All applicable Developer's Agreements listed? Please include on Cover Page.
N/A 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?
N/A 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?
YES 3.2.3 - NON-RESIDENTIAL - Complies with FAR?
YES 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?
N/A 3.3.2.C - Complies with Approved ECSD PUD?
N/A 3.3.3.A(1)- Complies with Approved Rural Residential Cluster Plan?
N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan?
YES 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]
YES 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]
N/A 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed?
YES 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911?
N/A 4.1.4.J - [Greenway Setback Provided?]
YES 2.12.16/6.5 - [EALS or EALS-ER provided?] Please provide environmental assessment or exemption.
INFO 6.5 & 6.6 - Habitat Preservation/Mitigation Provided? If listed species present, preservation or mitigation will be required.
N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?]
N/A 6.12.2.A - [Local Road right-of-Way Provided?]
N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?]
YES 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)?
N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?]
N/A 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat?
N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?]
N/A 6.11.5 -[Driveways to Intersections Separated/Coordinated?]
N/A 6.11.4.E - [Sight Triangle Provided?]
N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?]
N/A 6.12.12 - [Sidewalks Internal/External Provided?]
YES 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?
N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required?
YES 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?
YES 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?]
YES 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?]
N/A Additional Planning Items:

Zoning - Reject
YES 2.12.4.C - Owner and applicant name Included
YES 2.12.4.L(1) - Parcel number Included
INFO 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Please indicate zoning/FLU designation for residential development south of SW 95th St in future submissions of cover sheet
INFO 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios) and parking Please indicate required/proposed building height
YES 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements Included
NO 2.12.24 - Landscape requirements/6.8.6 - Buffering [INFO] Waiver for 10-ft buffer along SW 49th Street was approved for final plat (AR 32200). Final plat was approved on 10/6/25. Staff recognizes buffer waiver applies to this site plan. However, in the case that buffer requirements/conditions for the waiver are violated, the site may be subject to the code enforcement process, at the property owner's risk.
[NO] 10' Type C buffer on site plan sheet, 15' Type C buffer on final plat sheet (AR 32200), and no buffer on landscaping sheet along rear of lot? 15' Type C buffer is required. Please correct.
YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan Included
YES 2.12.6 - Location of water and sewer. Does this need a special use permit? Within Marion County Utilities service area. Defer to MCU.
YES 2.12.9 - Show adjacent streets serving development Included
YES 2.12.32 - Show 100yr flood zone FEMA Flood Zone X
INFO 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) Initial - Provide Environmental Assessment for Listed Species or EALS exemption
10/13/25 - EALS submitted and transmitted to FWC
YES 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route Included. Parking figures located on site plan sheet SP-C004. Parking space details are located on sheet SP-C008.
INFO 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan. Initial - Include location of signs.
10/13/25 - Sign indicated on site plan. Please note separate sign permit will be required.
YES 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks Included
YES 2.12.27 - Show location of outside storage areas No outdoor storage
INFO 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain No ESOZ
FEMA Flood Zone X
Secondary Springs Protection Zone
INFO Additional Zoning comments JARED RIVERA / GROWTH SERVICES / 352-438-2687 / JARED.RIVERA@MARIONFL.ORG
JARED RIVERA / GROWTH SERVICES / 352-438-2687 / JARED.RIVERA@MARIONFL.ORG

SUBMITTAL SUMMARY REPORT (32667)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--|--|------------|------------|--------------------|
| Landscape (Plans) (Parks and Recreation) | | 10/15/2025 | 11/21/2025 | Requires Re-submit |
| <i>Comments</i> | <p>N/A 2.12.18 - All trees 10" DBH and larger</p> <p>N/A 2.12.25 - Marion Friendly Landscape Areas</p> <p>N/A 6.7.3 - Tree protection</p> <p>YES 6.7.4 - Shade tree requirements</p> <p>N/A 6.7.6 - Tree removal submittal requirements</p> <p>N/A 6.7.8 - Protected tree replacement requirements</p> <p>N/A 6.7.9 - Replacement trees; general requirements</p> <p>YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)</p> <p>YES 6.8.3 - Landscape design standards</p> <p>N/A 6.8.4 - Landscape area requirements for non-residential development</p> <p>YES 6.8.5 - Landscape area requirements for residential and mixed use developments</p> <p>NO 6.8.6 - Buffers Site plan indicates a 10' Type C buffer on the East boundary. Waiver required to reduce width from 15' to 10'. Please show Type C buffer planting on the East boundary</p> <p>YES 6.8.7 - Parking areas and vehicular use areas</p> <p>YES 6.8.8 - Building landscaping</p> <p>YES 6.8.9 - Service and equipment areas</p> <p>N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities</p> <p>N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities</p> <p>YES 6.8.10 - General planting requirements (specifications)</p> <p>YES 6.8.11 - Landscape installation</p> <p>YES 6.8.12 - Landscape completion inspection requirements</p> <p>YES 6.9.2 - Irrigation plan requirements (details, legend, notes)</p> <p>YES 6.9.3 - Irrigation design standards</p> <p>YES 6.9.5 - Irrigation system installation</p> <p>YES 6.9.6 - Completion inspection requirements</p> <p>NO 6.19.3 - Outdoor lighting plan requirements Will there be outdoor lighting? if so, please submit a signed and sealed photometric plan</p> <p>NO 6.19.4 - Exterior lighting design standards Photometric plan is missing required submittal information. Please see LDC section 6.19.3.B.(4) for missing submittal requirements</p> <p>N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone</p> <p>N/A Additional Landscape comments</p> | | | |

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| OCE Design (Plans) (Office of the County Engineer) | | 10/15/2025 | 11/21/2025 | Approved |
|--|--|------------|------------|----------|

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| <i>Comments</i> | <p>YES 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage) 10/14/25-fee due with resubmittal 4/29/25-fee due with resubmittal</p> <p>N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department</p> <p>N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.</p> <p>N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC</p> <p>N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC</p> <p>N/A 2.1.3 - Order of plan approval</p> <p>YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions</p> <p>YES 2.12.4.A - Type of application on front page</p> <p>YES 2.12.4.B - Project name centered at top of front page</p> <p>YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet</p> <p>YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan</p> <p>YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet</p> <p>YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet</p> <p>YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval</p> <p>YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.</p> <p>YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township</p> <p>YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp</p> <p>YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering</p> <p>INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 4/29/25-add waivers if requested in future</p> <p>YES 2.12.4.L(1) - Parcel number</p> <p>YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer</p> <p>YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application</p> <p>YES 6.2.1.B - Plans shall be legible and meet typical industry standards</p> <p>YES 6.2.1.C - Standardized sheet size shall be 24" x 36"</p> <p>YES 6.2.1.F - North arrow and graphic drawing and written scale</p> <p>N/A Legal Documents</p> <p>INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.</p> | | | |
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SUBMITTAL SUMMARY REPORT (32667)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|-------------|------------|------------|----------|
| OCE Property Management (Plans) (Office of the County Engineer) | | 10/15/2025 | 11/21/2025 | Approved |

Comments

INFO Major Site Plan SunBiz and Project Map Checked -EMW 10.09.25
IF APPLICABLE:
Sec. 2.18.1.1 - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec.6.3.1.D(f) –
If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."
4/30/25 HR

SUBMITTAL SUMMARY REPORT (32667)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--|---|------------|------------|----------|
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | | 10/15/2025 | 11/21/2025 | Approved |
| <i>Comments</i> | YES 2.12.4.L(9)(b) - Data Block (Impervious Area) YES 2.12.8 - Topographical Contours YES 2.12.9/10 - Existing Drainage Right-of-Way/Easements YES 2.12.9/10 - Proposed Drainage Right-of-Way/Easements YES 2.12.13/14/15 - General Exhibits YES 2.12.20 - Stormwater Infrastructure Supports Phasing YES 2.12.38 - Stormwater Maintenance Entity YES 6.13.2.C - Geotechnical Investigation Report N/A 6.13.7 - Geotechnical Criteria DRA constructed with AR 25504 YES 6.13.2.A(1)/(2) - Contributing Basins/Tc YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations YES 6.13.2.A(4) - Stormwater Features & Connective Elements N/A 6.13.2.A(3) - Retention/Detention Area Design Parameters N/A 6.13.3 - Type of Stormwater Facility Criteria YES 6.13.4 - Stormwater Quantity Criteria YES 6.13.2.B(4) - Hydrologic Analysis YES 6.13.4.C - Discharge Conditions YES 6.13.2.B(6) - Freeboard YES 6.13.4.D - Recovery Analysis N/A 6.13.5 - Flood Plain & Protection YES 6.13.2.A(8) - Finish Floor Elevation Criteria N/A 6.13.6 - Stormwater Quality Criteria YES 6.12.6 - Roadway Flooding Level of Service N/A 6.13.6.B - Alternative Treatment Techniques N/A 6.13.6.C - Best Management Practices YES 6.13.8 - Stormwater Conveyance Criteria YES 6.13.2.B(5) - Hydraulic Analysis N/A 6.13.8.B(3) - Lane Spread Calculations YES 6.13.2.A(9) - Access Accommodates Stormwater YES 6.13.8.B(7) - Minimum Pipe Size YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes N/A 6.13.2.A(7) - Existing/Proposed Stormwater Swales YES 6.13.9 - Grading Criteria YES 6.13.2.A(11)(a) - Construction Entrance YES 6.13.2.A(11)(b) - Erosion Control YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References YES 6.13.2.B(8) - Calculation & Plan Consistency INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction. INFO Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction. YES 6.10 - Karst Topography and High Recharge Areas YES 7.1.3 - Drainage Construction Specifications YES 6.13.12 - Operation and Maintenance YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis. INFO Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org. | | | |

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| OCE Survey (Plans) (Office of the County Engineer) | | 10/15/2025 | 11/21/2025 | Approved |
|--|--|------------|------------|----------|

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| <i>Comments</i> | YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale YES 6.4.7.A(1) - Show a minimum of two bench marks per site YES 6.4.7.A(2 & 3) - Bench mark information shown N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown N/A 6.4.7.E - Line and curve table must be shown on the sheet to which they apply YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend YES 2.12.4.F.(2) - Surveyor and Mapper certification YES 2.12.4.G - Show a location or vicinity map YES 2.12.8 - Provide current boundary and topographic survey less than one year old YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project YES 2.12.10 - Show any known existing or proposed easement or land reservation YES 2.12.11 - Provide an aerial map of the site with a layout of the development YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments | | | |
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SUBMITTAL SUMMARY REPORT (32667)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|--|------------|------------|--------------------|
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | | 10/15/2025 | 11/21/2025 | Approved |
| <i>Comments</i> | | | | |
| | YES 2.12.9 - Location and dimensions of streets and right-of-way | | | |
| | YES 2.12.20 - Phases of development | | | |
| | N/A 2.12.30 - Route Plan | | | |
| | N/A 2.12.38 - Maintenance of improvements | | | |
| | YES 6.2.1.E - Drawing legend | | | |
| | YES 6.11.3 - Traffic Impact Analysis | | | |
| | YES 6.11.4.B - Cross access | | | |
| | N/A 6.11.4.E - Sight triangle | | | |
| | N/A 6.11.5 - Driveway access | | | |
| | N/A 6.11.6 - Construction route | | | |
| | N/A 6.11.9.A - Traffic signals | | | |
| | YES 6.11.9.B - Traffic signs | | | |
| | YES 6.11.9.C - Pavement marking | | | |
| | N/A 6.12.1.A. - Transportation Facilities - Purpose and Intent | | | |
| | N/A 6.12.2 - Right-of-way | | | |
| | N/A 6.12.11 - Turn lanes | | | |
| | YES 6.12.12 - Sidewalks | | | |
| | N/A 6.12.13 - Utility position in right-of-way | | | |
| | N/A Additional Traffic comments | | | |
| <hr style="border-top: 1px dashed black;"/> | | | | |
| OCE Utilities (Plans) (Utilities) | | 10/15/2025 | 11/21/2025 | Requires Re-submit |

SUBMITTAL SUMMARY REPORT (32667)

Comments

YES Marion County Utilities Contact Information Correctly displayed on cover sheet.

YES Parcel numbers identified in project match proposed site plan layout SP-C001: 35699-010-00. Does not display both sides of parcel on GIS.

YES 6.14.2.A(1) - Public water service area/provider Marion County Utilities

YES 6.14.2.A(1) - Public sewer service area/provider Marion County Utilities

N/A 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider

YES 6.14.2.A - Water Connection Requirements Connecting to existing 12" water main.

YES 6.14.2.A - Sewer Connection Requirements Connecting to existing 8" sewer main.

YES 6.14.2.C.2(e) - Grease Trap, FOG Worksheet 10/15/25 Oldcastle Precast 1250 Gallon or Schier 277 gallon Previous comment: SP-C006 - Need signed and sealed calculations and sizing for the grease trap.

INFO 6.14.2.C - Industrial Pretreatment Comment not addressed: Shown as mixed use on the building plans. If the use of a building changes and a grease trap will be required, a grease trap will need to be retrofitted to the building.

N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan

YES 6.14.3.B - Springs Protection Zone Located in a secondary springs protection zone.

YES 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate Capital charges and flow rates will be calculated during the permitting stage, before approval. (if major/minor site plan)

YES 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified Located on Title page - 14,236 SF. Previous comment - SP-C006 - Need total irrigated square foot listed on plan page.

YES 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate Capital charges and flow rates will be calculated during the permitting stage, before approval. (if major/minor site plan)

YES 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections

N/A 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections

YES 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules Gravity sewer proposed. No lift station details provided.

NO 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas 10/15/25 Second request. Access point required at P.O.C. If unable to provide, please contact Heather.Proctor@MarionFL.org - (352) 438-2846 prior to resubmitting. Previous comment: SP-C006 - Install Doghouse manhole to delineate ownership since this is a high traffic area. Cloud on plans, End of County Maintenance.

YES 6.14.5.A(8) - Submittal Requirements - Connection to existing water system 10/15/25: The Engineer of Record confirmed in response comments that the proposed meter sizes are appropriate. Marion County Utilities (MCU) will not be held liable for any low flow issues within the proposed units. Previous Comment: SO-C006 - Calls out (2) 1.5" meters installed on a 2" service line. Engineer to provide documentation that this will provide enough flow to both customers at full flow. (2) Cloud on plans, End of County Maintenance, at the meter boxes.

YES 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system

N/A 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements

YES 6.14.5.B - Construction Notes - UT DETAILS - current LDC version SP-C007 Add detail for manhole connection, manhole, and fire line.

INFO 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc) Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting. The Engineer of Record is required to determine if FDEP permits are required for the proposed project.

YES 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU EOR to determine if FDEP permit is required.

N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by developer

YES 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU EOR to determine if FDEP Permit is required.

N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer

N/A 6.14.5.D - Hydraulic Analysis Gravity sewer,

YES 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU

YES 6.14.7 - Construction Inspection - PLAN NOTE: Located on SP-C001

YES 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts For any Utility assets between the water main and the meter, Marion County will require a Bill of Sale and As-builts of the service, prior to meter(s) being installed. A final hold has been placed on permit, if applicable. All as-builts shall comply with the current Marion County LDC, section 6.14.8

N/A 6.14.9.A - Developer's Agreement

YES 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:

YES 6.14.9.B - Bill of Sale All facilities constructed on the developer's property prior to interconnection with Marion County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).

YES 6.15.1 - Potable Water Distribution System

N/A 6.15.2 - Decentralized Water System (WTP)

YES 6.15.3 - Fire Protection/Fire Flow Capacity 10/15 Comment satisfied. Previous Comment Defer to Marion County Fire Rescue (2) A fire hydrant placed outside of the R/W that will benefit only the proposed property owner would constitute a private fire line. The fire line will require a DDC installed at the R/W line and an annual fire line charge per the rate resolution. to avoid this, the hydrant must be placed at the R/W.

N/A 6.15.4 - Water Main Piping Installation Service tap only.

NO 6.15.5 - Water Service and Connection 10/15/25 Casing required under for water service utility-use path/sidewalk

YES 6.15.6.A - Potable Water Metering - individual/banked, size

YES 6.15.6.B - Irrigation Water Metering - size 1" Irrigation meter SP-C006

N/A 6.15.6.C - Sewer service only (water meter required/shown)

NO 6.15.6.D - Meter Location 10/15/25 Taps must be a minimum 24" apart and minimum 24" from any bell or fitting, OR Make (1) sized appropriate tap and build meter bank to minimize taps in main. Previous comment SP-C006 - MCU requests all meters to be relocated to the south boundary of the parcel to keep meters uniform. (2) Plan Note: No vegetation to be planted within three (3) feet of County Owned Infrastructure.

N/A 6.15.6.E - Meter Easements Meters located in ROW

N/A 6.15.6.F - Meter Boxes

N/A 6.15.6.G & H - Meter Sizing

YES 6.15.7 - Cross Connection Control and Backflow Prevention Shown on SP-C006

N/A 6.15.8 - Public Water Well Standards

N/A 6.15.9 - Wellfield and Water Supply

N/A 6.15.10 - Water Treatment Plants (WTP)

SUBMITTAL SUMMARY REPORT (32667)

N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)
 YES 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design
 N/A 6.16.5.A & B - Private Wastewater Pump Stations
 N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)
 N/A 6.17 - Water Reclamation/Reuse Facilities
 YES Article 7 - Construction Standards - PLAN NOTE: All facilities constructed on the developer's property prior to interconnection with Marion County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).

INFO Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities 10/15/25 Fee for this review, \$130.00 - 5/2025 Utilities Plan Review Fee: \$130.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 32667

N/A Additional Utilities comments
 INFO Additional Utilities comments For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896.

OCE: Plan Review (DR) v.2

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|---|------------|------------|---------------|
| 911 Management (DR) (911 Management) | Caroline Dennison | 12/19/2025 | 12/18/2025 | Approved |
| Environmental Health (Plans) (Environmental Health) | Evan Searcy | 12/19/2025 | 12/23/2025 | Approved |
| Fire Marshal (Plans) (Fire) | Jonathan Kenning | 12/19/2025 | 12/12/2025 | Approved |
| <i>Comments</i> | Previously approved | | | |
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Jared Rivera | 12/19/2025 | 12/16/2025 | Informational |
| <i>Comments</i> | JARED RIVERA / GROWTH SERVICES / 352-438-2687 / JARED.RIVERA@MARIONFL.ORG | | | |
| <i>Corrections</i> | 2.12.27 - Location & screening of outside storage (Resolved) - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections. | | | |
| <i>Corrections</i> | 2.12 - Lot area & lot width (Resolved) - 2.12 - Lot area & lot width: Provide required lot area and lot width in the site data table. Show proposed lot area and lot width of all lots in the site data table and on the plan. | | | |
| <i>Corrections</i> | 2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections) | | | |
| <i>Corrections</i> | 4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required. | | | |
| <i>Corrections</i> | 2.12.4/6.11.6 - Construction access (Resolved) - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,. | | | |
| <i>Corrections</i> | 6.5 & 6.6 - Habitat Preservation/Mitigation (Resolved) - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection. | | | |
| <i>Corrections</i> | 2.12 - Rezoning (Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval. | | | |
| <i>Corrections</i> | 2.12.4.L & Article 5 - Overlay zones (Resolved) - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS. | | | |
| <i>Corrections</i> | 2.12 - Waivers (Requested & Approved) (Resolved) - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval. | | | |
| <i>Corrections</i> | 2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Resolved) - 2.12.5/1.8.2.D - Traffic Concurrence Evaluation?: In order to propose alternative solutions to addressing the lack of roadway capacity, a traffic study will be required and a traffic methodology must be submitted for review and approval prior to the traffic study being completed. Please contact OCE-Traffic Review for further information on completing the necessary methodology and study. | | | |
| <i>Corrections</i> | 2.12 - Land Use Designation-adjacent properties (Resolved) - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties. | | | |
| <i>Corrections</i> | 2.12.16/6.5 - EALS or Exemption provided (Resolved) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures. | | | |
| Landscape (Plans) (Parks and Recreation) | Susan Heyen | 12/19/2025 | 01/08/2026 | Approved |
| <i>Comments</i> | Unable to view revised plan set, pole hts on lighting plan not submitted (E202) | | | |
| OCE Design (Plans) (Office of the County Engineer) | Gerald Koch | 12/19/2025 | 01/08/2026 | Approved |

SUBMITTAL SUMMARY REPORT (32667)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--|--|------------|------------|---------------|
| OCE Property Management (Plans) (Office of the County Engineer) | Elizabeth Woods | 12/19/2025 | 12/22/2025 | Informational |
| <i>Comments</i> | REMARKS: SunBiz and Project Map Checked -EMW 10.09.25 IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." 4/30/25 HR | | | |
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | Kevin Vickers | 12/19/2025 | 12/15/2025 | Approved |
| OCE Survey (Plans) (Office of the County Engineer) | Theresa Smail | 12/19/2025 | 12/17/2025 | Approved |
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 12/19/2025 | 12/12/2025 | Approved |
| OCE Utilities (Plans) (Utilities) | Heather Proctor | 12/19/2025 | 12/24/2025 | Approved |
| <i>Comments</i> | Project will be served by Marion County Utilities for water, wastewater, and irrigation. | | | |
| <i>Recommendations</i> | C7 – The grease interceptor note may be revised. Marion County Utilities does not require a minimum 1,250-gallon grease trap. | | | |



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32667

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 03/20/2025
mm/dd/yyyy

A. PROJECT INFORMATION:

Project Name: LIBERTY CROSSINGS LOT 4 - MAJOR SITE PLAN PLAN
Parcel Number(s): 35699-010-00
Section 22 Township 16 Range 21 Land Use COM Zoning Classification B-2
Commercial Residential Industrial Institutional Mixed Use Other
Type of Plan: MAJOR SITE PLAN
Property Acreage 1.14 Number of Lots N/A Miles of Roads N/A
Location of Property with Crossroads NORTH OF SW 95TH ST. ON THE EAST SIDE OF SW 49TH AVENUE RD.
Additional comments regarding this submittal _____

B. CONTACT INFORMATION (fill in as applicable):

Engineer:

Firm Name: MASTROSERIO ENGINEERING INC Contact Name: PAOLO MASTROSERIO
Mailing Address: 170 SE 32ND PLACE City: OCALA State: FL Zip Code: 34471
Phone # 352-433-2185 Alternate Phone # 352-572-3051
Email(s) for contact via ePlans: PAOLO@MASTROSERIOENG.COM

Surveyor:

Firm Name: A M GAUDET & ASSOCIATES, INC. Contact Name: ANDRUS GAUDET
Mailing Address: 4709 SE 102ND PL #3 City: BELLEVIEW State: FL Zip Code: 34420
Phone # 352-245-2708 Alternate Phone # _____
Email(s) for contact via ePlans: ANDRUS@AMGAUDET.COM

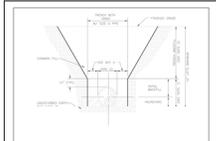
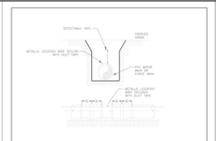
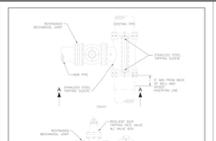
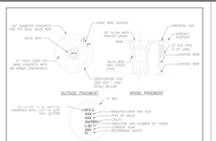
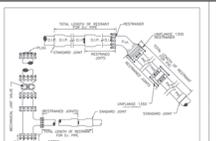
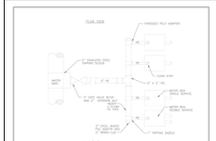
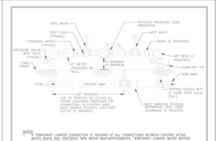
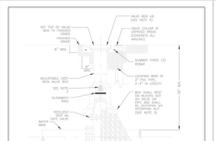
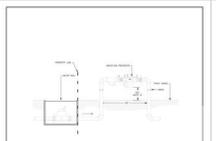
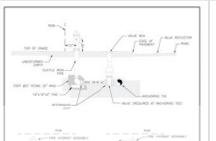
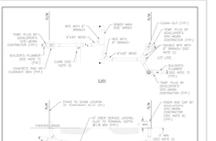
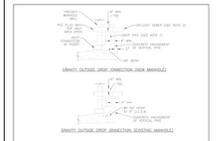
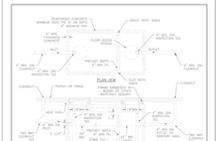
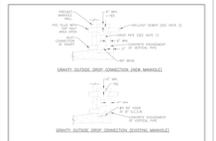
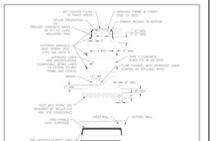
Owner:

Owner: NATION NOEL TR RUDNIANYN TODD B TR ET AL Contact Name: TODD RUDYNIANYN
Mailing Address: 2441 NE 3RD ST STE. 201 City: OCALA State: FL Zip Code: 34470
Phone # 352-239-1555 Alternate Phone # _____
Email address: TODDR@NEIGHBORHOODSTORAGE.COM

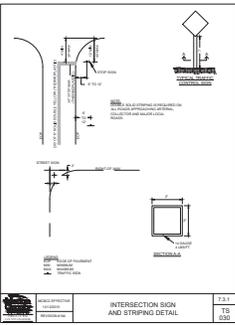
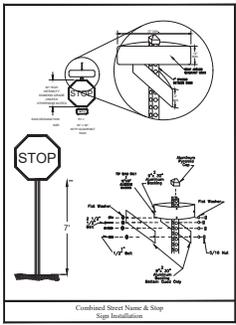
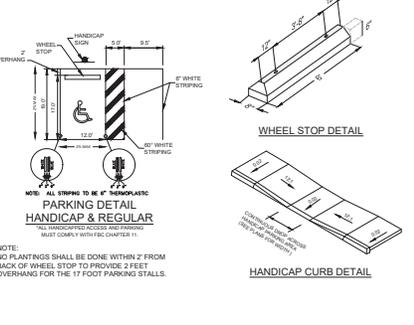
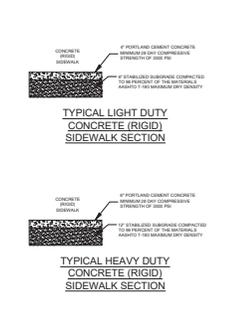
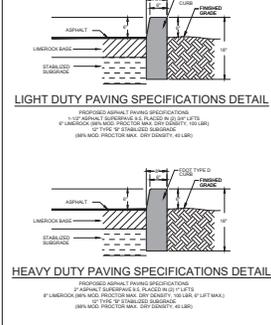
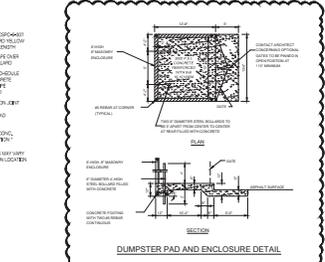
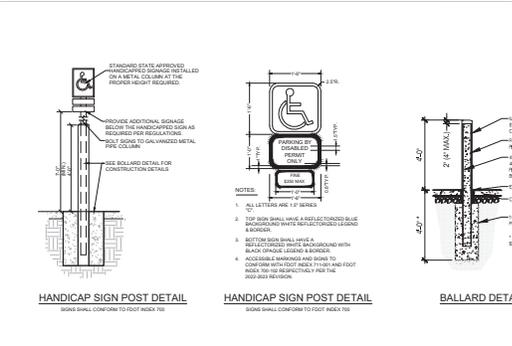
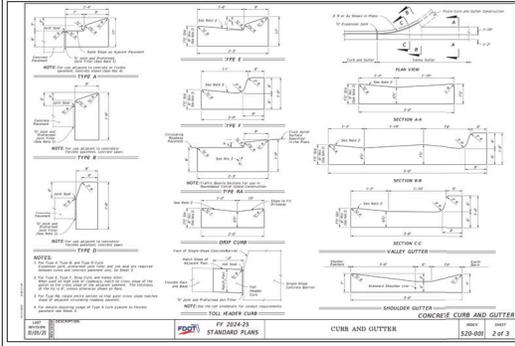
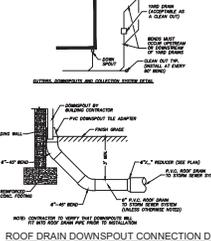
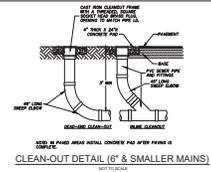
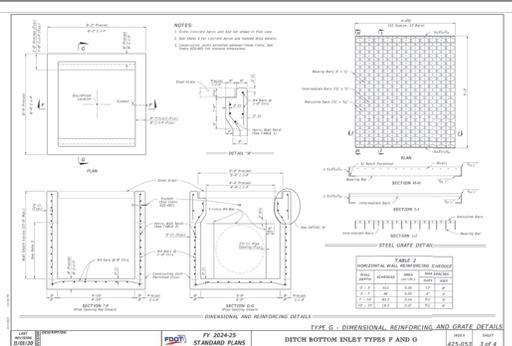
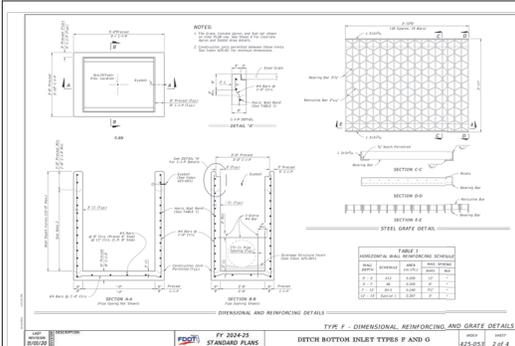
Developer:

Developer: _____ Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 7/2017

| | | | | | |
|---|--|--|---|---|--|
|  <p>BEDDING AND TRENCHING 2</p> <p>73.2 01 05</p> |  <p>PIPE LOCATING WIRE AND DETECTABLE TAPE</p> <p>73.2 01 04</p> |  <p>TAPPING SLEEVE AND GATE VALVE ASSEMBLY</p> <p>73.2 01 08</p> |  <p>VALVE BOX PAD</p> <p>73.2 01 03</p> |  <p>RESTRAINED PIPE TABLE</p> <p>73.2 01 04</p> |  <p>RESTRAINED PIPE TABLE</p> <p>73.2 01 04</p> |
|  <p>METER BANK 2\" SUPPLY</p> <p>73.2 01 03</p> |  <p>TEMPORARY JUMPER CONNECTION</p> <p>73.2 01 03</p> |  <p>GATE VALVE WATER AND RECLAIMED WATER</p> <p>73.2 01 04</p> |  <p>2\" AND SMALLER REDUCED PRESSURE WINDING DOUBLE CHECK BACKFLOW ASSEMBLY</p> <p>73.2 01 03</p> |  <p>PIPE WINDING ASSEMBLY</p> <p>73.2 01 03</p> |  <p>SEWER SERVICE LATERAL</p> <p>73.2 01 03</p> |
|  <p>GRAVITY MANHOLE CONNECTION</p> <p>73.2 01 03</p> |  <p>GREASE INTERCEPTOR</p> <p>73.2 01 03</p> |  <p>GRAVITY MANHOLE CONNECTION</p> <p>73.2 01 03</p> |  <p>STANDARD SEWER MANHOLE FRAME AND COVER</p> <p>73.2 01 03</p> |  <p>PRECAST CONCRETE MANHOLE</p> <p>73.2 01 03</p> | <p># SEATS <input type="text" value="50"/> enter number of seats in dining area</p> <p>TYPE OF PLATES <input type="text" value="10"/> enter 10 for paper (single service) or 25 for dishes (full service)</p> <p># HOURS OPEN <input type="text" value="35"/></p> <p>LOADING FACTOR <input type="text" value="1"/> enter 1 for interstate highway enter 1.5 for other freeways enter 1.25 for recreational area enter 1 for main highway enter 0.75 for other roads</p> <p>Formula = Number of Seats x Type of Plates x Number of Hours Open x Loading Factor</p> <p>GREASE INTERCEPTOR CAPACITY REQUIRED = <input type="text" value="667"/> GALLONS</p> <p>GREASE INTERCEPTOR SIZING</p> <p>1 GREASE INTERCEPTOR SIZING</p> |

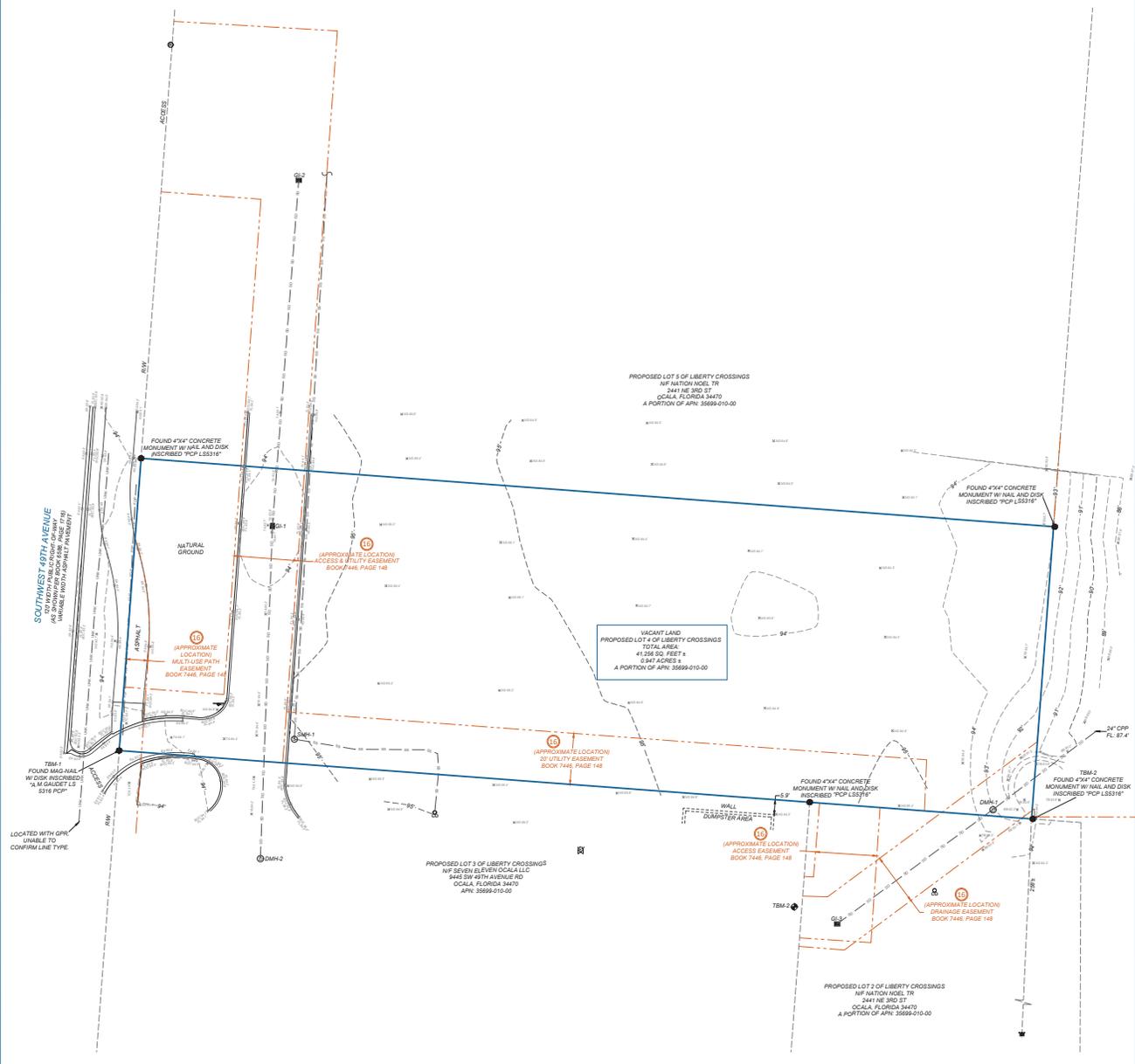
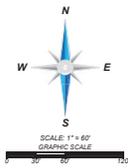
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| <p>REVISION DESCRIPTION</p> <p>DATE: 07-12-2022</p> <p>RESPONSE TO COUNTY MAIL</p> <p>RESPONSE TO COUNTY MAIL 2</p> <p>DESIGNED BY: PM</p> <p>DRAWN BY: WPD</p> <p>CHECKED BY: PM</p> <p>DATE: 06-14-2022</p> | <p>ENGINEER'S CERTIFICATION</p> <p>DATE: 06-14-2022</p> <p>PAUL MESTRETIENBERG, INC. CLAS 0109</p> <p>PAUL MESTRETIENBERG, INC.</p> <p>10000 N. 10TH AVENUE, SUITE 100</p> <p>DENVER, CO 80231</p> <p>PAULMESTRETIENBERG.COM</p> | <p>PROJECT: BERRY CROSSING - LOT 14 MANHOLE & PLUM</p> <p>LOCATION: COUNTY 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20</p> <p>TITLE: DETAILS</p> <p>SCALE: N.T.S.</p> <p>JOB#: 24-70</p> <p>SHEET C7 OF 8</p> |
|---|--|---|



| REVISION DESCRIPTION | DATE | DESIGNED BY | DRAWN BY | CHECKED BY |
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| RESPONSE TO COUNTY MAIL 4 | 10-30-20 | | | |
| RESPONSE TO COUNTY MAIL 5 | 10-31-20 | | | |
| RESPONSE TO COUNTY MAIL 6 | 11-01-20 | | | |
| RESPONSE TO COUNTY MAIL 7 | 11-02-20 | | | |
| RESPONSE TO COUNTY MAIL 8 | 11-03-20 | | | |
| RESPONSE TO COUNTY MAIL 9 | 11-04-20 | | | |
| RESPONSE TO COUNTY MAIL 10 | 11-05-20 | | | |
| RESPONSE TO COUNTY MAIL 11 | 11-06-20 | | | |
| RESPONSE TO COUNTY MAIL 12 | 11-07-20 | | | |
| RESPONSE TO COUNTY MAIL 13 | 11-08-20 | | | |
| RESPONSE TO COUNTY MAIL 14 | 11-09-20 | | | |
| RESPONSE TO COUNTY MAIL 15 | 11-10-20 | | | |
| RESPONSE TO COUNTY MAIL 16 | 11-11-20 | | | |
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| RESPONSE TO COUNTY MAIL 37 | 12-02-20 | | | |
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| RESPONSE TO COUNTY MAIL 100 | 12-31-20 | | | |

ALTA/NSPS LAND TITLE SURVEY OF PROPOSED LOT

NORTH OF 9445 SOUTHWEST 49TH AVENUE ROAD
 LOCATED IN: SECTION 22, TOWNSHIP 16 SOUTH, RANGE 21 EAST
 OCALA, MARION COUNTY, FLORIDA 34476



LEGEND & SYMBOLS

| | |
|--------|---------------------------------|
| ● | FOUND MONUMENT AS NOTED |
| ○ | COMPUTED POINT |
| ⊕ | TEMPORARY BENCHMARK (TBM) |
| ⊙ | SANITARY MANHOLE (DMH) |
| ⊕ | WATER METER |
| ⊕ | GRADED INLET (GI) |
| ⊕ | STORM MANHOLE (DMH) |
| ⊕ | IRIGATION CONTROL VALVE |
| ⊕ | CLEANOUT |
| ⊕ | SIGN |
| ⊕ | BACK OF CURB |
| FL | FLOW LINE |
| TE | TOP OF BANK |
| BB | BOTTOM OF BANK |
| EA | EDGE OF ASPHALT |
| TA | TOP OF ASPHALT |
| TC | TOP OF CONCRETE |
| NS | NATURAL GROUND |
| RCIP | REINFORCED CONCRETE PIPE |
| PVC | POLYVINYL CHLORIDE PIPE |
| CPP | CORRUGATED PLASTIC PIPE |
| EM | MEASURED/CALCULATED DIMENSION |
| RI | RECORD DIMENSION |
| NO | NOW OR FORMERLY |
| P.O.C. | POINT OF COMMENCEMENT |
| P.O.B. | POINT OF BEGINNING |
| --- | BOUNDARY LINE |
| --- | MAJOR CONTOUR LINE |
| --- | MINOR CONTOUR LINE |
| --- | EASEMENT LINE |
| --- | RIGHT-OF-WAY LINE |
| --- | UNDERGROUND FIBER OPTIC LINE |
| --- | UNDERGROUND SANITARY SEWER LINE |
| --- | UNDERGROUND STORM DRAIN LINE |
| --- | UNKNOWN UNDERGROUND LINE |

TEMPORARY BENCHMARK INFORMATION

TBM-1
 FOUND MAGNANAL W/ DISK INSCRIBED
 "A.M. GAUGE" L.S. 3312 PCP
 NORTHING: 122453.97
 EASTING: 59774.10
 ELEVATION: 93.64'

TBM-2
 SET MAGNANAL W/ DISK INSCRIBED
 "SURVEY MARKER"
 NORTHING: 122792.81
 EASTING: 59208.82
 ELEVATION: 93.98'

INVERT INFORMATION

DMH-1
 SANITARY SEWER MANHOLE
 RIM ELEVATION: 93.09'
 BOTTOM OF STRUCTURE: 93.9'
 8" PVC I.D.

DMH-2
 STORM DRAIN MANHOLE
 RIM ELEVATION: 94.03'
 BOTTOM OF STRUCTURE: 93.9'
 18" CPP SW
 24" CPP NE

DMH-3
 STORM DRAIN MANHOLE
 RIM ELEVATION: 94.07'
 BOTTOM OF STRUCTURE: 93.7'
 18" CPP SW

GLS-1
 GRADED INLET
 RIM ELEVATION: 93.67'
 BOTTOM OF STRUCTURE: 93.1'
 18" P.O.P.

GLS-2
 GRADED INLET
 RIM ELEVATION: 94.65'
 BOTTOM OF STRUCTURE: 90.0'
 18" P.O.P.

GLS-3
 GRADED INLET
 RIM ELEVATION: 93.38'
 BOTTOM OF STRUCTURE: 91.1'

BLEW
 Surveying | Engineering | Environmental
 3825 N. SHILOH DRIVE • FAYETTEVILLE, AR 72703
 EMAIL: SURVEY@BLEWINC.COM
 OFFICE: 479.443.6509 FAX: 479.350.1883
 WWW.BLEWINC.COM

| | |
|---------------------------------|--------------------------------------|
| SURVEYOR JOB NUMBER: 24-8029 | SURVEY DRAWN BY: KAM - 12/19/2024 |
| SURVEY REVIEWED BY: JMC | SHEET: 2 OF 2 |



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21786

Agenda Date: 1/12/2026

Agenda No.: 6.1.

SUBJECT:

Oak Trace Villas Phase 2 - Major Site Plan - Waiver to Plan in Review

PID#: 3501-100-015 #PIR000207-2026 (24826)

Radcliffe Engineering

LDC 2.21.4 A Construction, completion and close out

CODE states A. Major Site Plans shall be valid for two years with a one-time extension of one year if requested in writing by the applicant and approved by DRC.

APPLICANT requests waiver to allow Phase 2 (AR 24876) to synchronize with Phase 3 (AR 29214 with expiration date of December 24, 2026). Construction has been ongoing for several years with a change of ownership and delays in the Developer's Agreement with Marion County. Phase 2 has been substantially constructed and is nearing completion. The Preliminary Plat for Phase 2 has been filed as a fee simple plat. It is in the County "system" and has undergone several reviews and meetings with staff.

From: [Michael W. Radcliffe](#)
To: [Archer, Suzie](#)
Cc: [Michael Miller \(miller@straightlinefl.com\)](#); [Kelle Boyer](#); [Development Review](#)
Subject: RE: Oak Trace Villas - Ph 2 extension request AR 24826
Date: Monday, December 29, 2025 8:15:37 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Thanks Suzie. I'm assuming it will be on the Jan 5, 2026 agenda? Which would be fine.

Regards,



MICHAEL W. RADCLIFFE, P.E.
MICHAEL W. RADCLIFFE ENGINEERING, INC.
PH: 352-629-5500
CELL: 352-361-7931

From: Archer, Suzie <Suzie.Archer@marionfl.org>
Sent: Monday, December 29, 2025 7:42 AM
To: Michael W. Radcliffe <Mike@radcliffeengineering.com>
Cc: Michael Miller (miller@straightlinefl.com) <miller@straightlinefl.com>; Kelle Boyer <KBoyer@rogerseng.com>; Development Review <DevelopmentReview@marionfl.org>
Subject: RE: Oak Trace Villas - Ph 2 extension request AR 24826

Hi Mike,

By copy of this email I am sharing with the Development Review team to place this item on an agenda for you as requested.

Hope this helps.

Thanks,

|
Suzie Archer



Marion
County
FLORIDA



Transportation Admin Manager
Office of the County Engineer

Marion County Board of County Commissioners
412 SE 25th Ave.
Ocala, FL 34471
Main: 352-671-8686

[Empowering Marion for Success!](#)

Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

From: Michael W. Radcliffe <Mike@radcliffeengineering.com>
Sent: Wednesday, December 24, 2025 11:16 AM
To: Archer, Suzie <Suzie.Archer@marionfl.org>
Cc: Michael Miller (miller@straightlinefl.com) <miller@straightlinefl.com>; Kelle Boyer <KBoyer@rogerseng.com>
Subject: Oak Trace Villas - Ph 2 extension request AR 24826

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Suzie,

Per your call yesterday, please schedule this Oak Trace Villas - Ph 2 (AR24826) extension request for the next available DRC meeting.

Phase 3 (AR29214) was recently extended to 12/4/26 and we are requesting Phase 2 be extended to the same 12/4/26 expiration date.

Phase 2 construction has been underway for some time but not yet completed awaiting resolution of lift station design and permitting issues.

Merry Christmas and please call me about this next week

Regards,



MICHAEL W. RADCLIFFE, P.E.
MICHAEL W. RADCLIFFE ENGINEERING, INC.
PH: 352-629-5500
CELL: 352-361-7931



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

February 27, 2023

RADCLIFFE ENGINEERING
MIKE RADCLIFFE
2611 SE LAKE WEIR AVENUE
OCALA, FL 34471

SUBJECT: EXTENSION REQUEST
PROJECT NAME: OAK TRACE VILLAS PHASE 2
PROJECT #2020030100
APPLICATION: MAJOR SITE PLAN #24826

Dear RADCLIFFE ENGINEERING:

The extension request for the above referenced project was reviewed by the Development Review Committee on February 27, 2023 and the decision was as follows:

This Major Site Plan was approved by DRC on February 22, 2021. This is the applicant's first request for an extension. This Major Site Plan expired on February 22, 2023. The extension being requested is for one year to February 22, 2024.

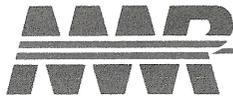
APPROVED

The approval of this plan will expire on February 27, 2024. Decisions by DRC may be appealed to the Board of County Commissioners. If you disagree with DRC's decision, please call me at (352) 671-8682 to be scheduled for the appeal process.

Feel free to contact the Office of the County Engineer at (352) 671-8686 or DevelopmentReview@marionfl.org should you have questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



February 20, 2023

Development Review Team
412 SE 25th Ave
Ocala, FL 34471

RE: Major Site Plan Extension
PROJECT #2020030100 MAJOR SITE PLAN #24826
Oak Trace Villas Phase 2

Dear Suzie:

We respectfully request a one year extension of the Major Site Plan for Oak Trace Villas Phase 2. The original plan was approved by the Development Review Committee (DRC) on February 22, 2021.

Please let us know when this request will be considered by the DRC.

Sincerely,
Michael W. Radcliffe Engineering, Inc.

A handwritten signature in blue ink, appearing to read 'Mike', is written over a blue circular scribble.

Michael W. Radcliffe, P.E.

cc: Daniel Eckhard, Straight Line Construction, LLC
Rebecca Supal, Straight Line Construction, LLC
file

MAJOR SITE PLAN FOR OAK TRACE VILLAS PHASE 2 A TOWNHOME PUD MARION COUNTY, FLORIDA

General Notes:

1. SURVEY INFORMATION PROVIDED BY ROGERS ENGINEERING, LLC. (SEE TOWNHOME SURVEY SUPPLEMENT ALONG WITH THIS PLAN.) DATE OF SURVEY: JULY 16, 2019.
2. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED, PUBLIC RECORDS NOT SEARCHED BY ROGERS ENGINEERING, LLC. ADDITIONS OR OMISSIONS TO SURVEY MAPS BY OTHER THAN THE SURVEYING PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYING PARTY OR PARTIES.
3. SUBJECT TO EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, AND RESERVATIONS OF RECORD. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE. ALL CONSTRUCTION PERFORMED IN MARION COUNTY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT. ALL CONSTRUCTION IN FOOT RIGHT-OF-WAY REQUIRES A PERMIT FROM FCDD.
4. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREIN SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES ASSUMING OR OBTAINING TO SURVEY MAPS BY OTHER THAN THE SURVEYING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYING PARTY OR PARTIES.
5. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED ENGINEER'S SEAL.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE AND THIS PLAN.
7. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPROVED AREAS.
8. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
9. SOME AREAS MAY BE IN CONFORMANCE WITH THE COUNTY SOIL CODE AND IN ACCORDANCE WITH ALL APPLICABLE FLOOD PROTECTION STANDARDS. ALL SOIL SHALL BE 30" HIGHER MINIMUM SELECTIVE MATERIAL.
10. OWNER SHALL PROTECT EXISTING SHADY TREES TO BE SAVED. THESE TREES SHALL BE INSTALLED AND INSPECTED. (SEE DETAIL.)
11. UNDERGROUND IMPROVEMENTS AND UTILITIES, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES (IF ANY) TO THE PROJECT ENGINEER.
13. ALL NON-CONDUCTIVE UNDERGROUND PIPING SHALL HAVE LOCATOR WIRE.
14. THE SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR CONDUIT INSTALLATION AS REQUIRED FOR ELECTRIC AND TELEPHONE. ALL ELECTRIC TO BE PLACED UNDERGROUND AND TO PARKING AREA LIGHT FIXTURES TO BE PLACED UNDERGROUND AT THE EXPENSE OF THE OWNER.
15. OWNERS TO COORDINATE WITH PROJECT ELECTRICAL CONTRACTOR FOR PARKING LOT LIGHTING AND ELECTRICAL SERVICE.
16. CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT FOR FIRE PROTECTION IN COMPLIANCE WITH CURRENT NFPA CODES AND STANDARDS.
17. TREE REMOVAL PERMIT IS REQUIRED BEFORE ANY TREES CAN BE REMOVED. TREES TO BE SAVED MUST HAVE PROTECTION MEASURES INSTALLED AND INSPECTED BEFORE THESE DESIGNATED FOR REMOVAL ARE REMOVED.
18. TREES MAY NOT BE PLANTED UNDER, OVER OR UNDER ANY EXISTING OR PROPOSED POND. THIS INCLUDES ANY LAND DESIGNATED AFTER SITE APPROVAL. ELECTRICAL DISTRIBUTION (CABLES) WILL BE REQUIRED FOR ELECTRICAL POWER ON PRIVATE PROPERTY; 10 FOOT FOR UNDERGROUND, AND 30 FOOT FOR OVERHEAD ELECTRIC.
19. LANDSCAPE & IRRIGATION PLAN TO BE DONE BY OTHERS.
20. THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
21. PER DIVISION 26, SECTION 2.22 (1)(f) OF THE MARION COUNTY LAND DEVELOPMENT CODE, A RIGHT-OF-WAY UTILIZATION PERMIT IS REQUIRED FOR ALL CONSTRUCTION, HERBICIDE/PESTICIDE SPRAYING, TREE CLEANING, AND ALL TEMPORARY PRIVATE USE OF PUBLIC RIGHT-OF-WAY.
22. ALL AREAS DISTURBED IN THE R/W DURING CONSTRUCTION SHALL BE RESTORED AND SOILED, ALLOW FOR RELOADED UNLESS SOI IS SPECIFICALLY PROPOSED.
23. THE CONTRACTOR ENCOUNTERS LAMINATE DURING EXPANSION OF THE DRA (THE DRA WILL BE OVER-EXCAVATED AND BACKFILLED TO MEET SENSITIVE KARST AREA BURN REQUIREMENTS), IF A SINK CHIMNEY IS ENCOUNTERED ON SITE, MAKE REPAIRS IN ACCORDANCE WITH THE REPAIR DETAIL.
24. ALL STRIPING WITHIN COUNTY RIGHT-OF-WAY SHALL THERMOPLASTIC AND AT LEAST 4" WIDE WITH 24" STOP BAR WITHIN COUNTY RIGHT-OF-WAY. ALL STRIPING SHALL BE 6" WIDE, PAINTED WITH WHITE PAINT, UNLESS OTHERWISE NOTED. ALL STRIPING SHALL CONFORM TO F.O.D. SPECIFICATIONS UNLESS OTHERWISE NOTED.
25. ASPHALT PAVEMENT AREA TO BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS:
 - 1.25" 90-9.5 ASPHALT CONCRETE
 - 4" LIMBONK BASE COMPACTED (5% OF MAX. DENSITY, L.B.R. 100)
 - 12" STABILIZED SURGRADE (5% OF MAX. DENSITY, ASHFT T-180, L.B.R. 40)
26. AN AS-BUILT CERTIFICATION SHALL BE PROVIDED TO THE COUNTY ENGINEERING DEPARTMENT BY A DESIGN PROFESSIONAL, UNDER REVIEW AND APPROVAL OF THE COMPLETED CONSTRUCTION, ALSO, THE PROJECT ENGINEER SHALL SIGN & SUBMIT A STATEMENT OF COMPLETION PRIOR TO THE FINAL INSPECTION.
27. UPON COMPLETION OF CONSTRUCTION AND FINAL INSPECTION, AN ELECTRONIC COPY OF THE RECORD DRAWING IN AUTOCAD FORMAT WILL BE PROVIDED TO THE MARION COUNTY ENGINEERING DEPARTMENT.
28. ALTERNATIVE PIPE MATERIAL TO HDPE MAY BE USED WITH PRIOR APPROVAL FROM THE PROJECT ENGINEER. CONTACT TO GROUP BIDDING OF STORMWATER STRUCTURES UP TO PIPE INVERT TO PREVENT STANDING WATER.
29. SOIL BORING INFORMATION SHOWN ON THIS PLAN SET IS COPIED DIRECTLY FROM GEOTECHNICAL REPORT DATED FEBRUARY 18, 2020. SOIL BORING INFORMATION IN THE GEOTECHNICAL REPORT WILL TAKE PRECEDENCE OVER ANY DISCREPANCY FOUND BETWEEN THE PLANS AND THE GEOTECHNICAL REPORT. ADDITIONAL BORINGS FROM APPROVED 2/18/2019 WOODHEAD ENGINEERING COMPANY PLANS PROVIDED AS SUPPLEMENTAL INFORMATION.

Outdoor Lighting:

OUTDOOR STREET LIGHTS TO BE INSTALLED ON SITE ALONG SW 104TH PLACE AS AN EXTENSION OF EXISTING LIGHTING SCHEME BY SECD ENR.

Parking Requirements:

PARKING REQUIRED:

2 OFF-STREET PARKING SPACES REQUIRED PER TOWNHOME.
2 X 54 TOWNHOMES = 108 PARKING SPACES REQUIRED.
54 RESIDUAL SPACES PROVIDED
54 GARAGE SPACES PROVIDED
+ 28 ADDITIONAL PARKING SPACES
134 PARKING SPACES PROVIDED

Environmental:

ECOLOGICAL ASSESSMENT TO BE DONE BY OTHERS.

Tree & Landscaping Requirements:

SEE LANDSCAPE & IRRIGATION PLAN BY ANDY KESSELER, L.A.

Statement of Intent:
INFRASTRUCTURE & CONSTRUCTION FOR RUPD DEVELOPMENT OF 54 TOWNHOMES, A CONDOMINIUM PLAN WILL BE FILED FOR FEE SIMPLE TENANCY OWNERSHIP WITH COMMON AREA & INFRASTRUCTURE (EXCEPT WATER & SEWER BY MARION COUNTY UTILITIES) MAINTENANCE BY HOMEOWNERS ASSOCIATION.

Flood Certification:
PHASE 2 IS LOCATED WITHIN FLOOD ZONE "X" - AN AREA OF MINIMAL FLOODING, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION (FEMA) PER THE MARION COUNTY GEOGRAPHIC INFORMATION SYSTEMS WEB PAGE LOCATED AT: <http://www.marioncounty.org>

Spillage Protection:
THIS PROJECT LIES WITHIN THE SECONDARY SPRINGS PROTECTION ZONE.

Drainage Design Summary:
THIS PROPERTY WILL HAVE PRIVATE ON-SITE RETENTION AREAS HAVING THE 100 YR/24 HR. FOOT (11.7) SHOW EVENT PLUS TREATMENT REQUIREMENTS FOR WATER QUALITY TREATMENT. RUNOFF WILL BE DIVERTED TO DRAIN 1.0, 2.0 & 3.0 THROUGH OUTLETS, DOWNSPOUTS, OVERLAND FLOW, SPILLS, DRAINAGE, DRAINAGE INLETS AND UNDERGROUND PIPES.

EXISTING SOIL TYPE = 99.5% C&C (CONCRETE) HYDROLOGIC SOIL GROUP = A
4.5% C&B (CONCRETE) HYDROLOGIC SOIL GROUP = A

DESIGN MEETS MARION COUNTY STORMWATER QUALITY CRITERIA PER SECTION 6.1.1.6.A.2.0:
- 6" DETENTION SYSTEMS THAT HAVE A DEPTH OF SIX FEET OR LESS, MEASURED FROM TOP OF BANK TO POND BOTTOM WITH ONE-SLOPE THAT ARE NOT STEEPER THAN 4:1 AND SOILED BOTTOMS

NOTE: GRADES HAVE BEEN REVISIONED TO MAINTAIN THEIR CAPACITY. ON SECTION SHEETS WITH STORMWATER REFLECT FUTURE ALLOWABLE MODIFICATIONS TO MEET THIS CRITERIA.

Maintenance and Operation Schedule for Stormwater Management System:

1. BASINS SHALL BE CLEANED AND MONITOR REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH AT LEAST MONTHLY DURING WINTER MONTHS AND BI-MONTHLY DURING THE GROWING SEASON.
2. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SOILED CLEAN MORE FREQUENTLY.
3. BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS DURING ALL SEASONS TO HOLD EROSION.
4. REMEDIAL ACTION MAY BE REQUIRED, IF THE BASINS DO NOT SHOW GOOD PROPERLY AND MAINTAINING WATER FOR AN EXTENDED PERIOD OF TIME, THE ENGINEER SHALL BE NOTIFIED TO ASSIST IN THE IMPLEMENTATION OF THE REMEDIAL ACTION.

Traffic Statement:
TRAFFIC GENERATION DATA ARE BASED ON THE ITE 10TH EDITION, MULTIMODAL (LOW RISK) AVERAGE VEHICLE TRIP ENDS (TE CODE 220).

TOTAL TRIPS:
 PHASE 2 = 54 X 7.32 = 395.28
 FUTURE PHASE 2 = 51 X 7.32 = 373.32
 TOTAL TRIPS = 768.60

TOTAL TRIPS (AM):
 PHASE 2 = 54 X 0.46 = 24.84
 FUTURE PHASE 2 = 51 X 0.46 = 23.46
 TOTAL TRIPS = 48.30

TOTAL TRIPS (PM):
 PHASE 2 = 54 X 0.56 = 30.24
 FUTURE PHASE 2 = 51 X 0.56 = 28.56
 TOTAL TRIPS = 58.80

Sewer Notes:

PROPOSED GRAVITY SEWER TO CONNECT TO EXISTING COUNTY SEWER SERVED BY LIFT STATION 001-001 LOCATED IN OAK TRACE VILLAS PHASE 1.

1. SANITARY SEWER SIZE TO BE AS SHOWN ON PLAN AND LAD AT A MINIMUM SLOPE OF 0.50% FOR 18" PVC AND 1.02% FOR 4" PVC.
2. ALL SINKER PIPE MATERIAL SHALL BE 50K 26.
3. CLEAN OUTS TO BE PLACED AT THE CONNECTION POINT TO THE EXISTING LATERALS, 4' FROM THE BUILDING, AT ALL WYES AND BENDS, AND AT MOST EVERY 75' ALONG CONSTANT RUNS. BRASS TOPS TO BE FLUSH MOUNTED IN PAVED AREAS.
4. SANITARY SEWER ESTIMATED DEMAND (PER MARION COUNTY LOC):
 EXISTING PHASE 1 = 74 UNITS X 200 gpd X 0.8 (multi-family) = 11,840
 PROPOSED PHASE 2 = 54 UNITS X 200 gpd X 0.8 (multi-family) = 8,640
 20,480 gpd
 5. PEAK FLOW = 20,480 gpd / 1,440 min/day X 4.0 PEAK FACTOR = 56.89 gpm
 (PHASE 1 & 2)
 EXISTING 0.01-0.01 PUMP # CAPACITY = 84 gpm
 EXISTING 0.01-0.01 PUMP # CAPACITY = 84 gpm

Water Notes:

1. CONNECT TO EXISTING WATER SYSTEM OWNED & OPERATED BY MARION COUNTY UTILITIES. ALL PVC WATER PIPE TO BE DR 18.

Permits:

| AGENCY | PHASE 1 PERMIT # | PHASE 1 APPROVAL DATE | PHASE 2 PERMIT # | PHASE 2 APPROVAL DATE |
|---------------|------------------|-----------------------|------------------|-----------------------|
| MARION COUNTY | UNKNOWN | UNKNOWN | UNKNOWN | UNKNOWN |
| SWFWMD | 9481.000 | 9/27/1991 | | |
| FWFP WATER | UNKNOWN | UNKNOWN | | |
| FWFP SEWER | UNKNOWN | UNKNOWN | | |

Utility Contacts:

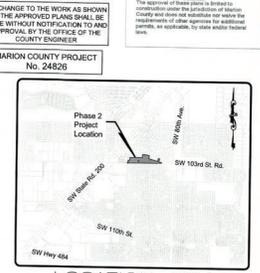
| WATER & SEWER | MARION COUNTY UTILITIES | SECO ENERGY | SHERRY FOURRY | (352) 307-6000 |
|---------------|-------------------------|---------------|----------------|----------------|
| ELECTRIC | SECO ENERGY | DAN CANNON | (352) 280-8640 | |
| TELEPHONE | CENTURY LINK | DAN CANNON | (352) 388-8817 | |
| CABLE | MARION COUNTY | KEN MCGRAW | (352) 301-8800 | |
| CELL | TECO TELECOM | ANDY WANNINGO | (202) 451-2119 | |

Legal Description:
 LOTS 3 & 4, 3-BAD SUBDIVISION, FIRST REPLAT, AS RECORDED IN PLAT BOOK 3, PAGES 107 AND 108 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND ONE MORE PARCELS HERETOFORE DESCRIBED AS FOLLOWS:
 A PARCEL OF LAND LYING IN SECTION 25, TOWNSHIP 18 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, ALSO BEING A PART OF TRACT A, MARION COUNTY ESTATES, UNIT 1, AS RECORDED IN PLAT BOOK 1, PAGES 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 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985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

CONSTRUCTION STAKEOUT
 SURVEYOR SHALL BE RESPONSIBLE FOR BENCH MARK & DATUM VERIFICATION, CONTACT PROJECT SURVEYOR FOR BENCH MARK INFORMATION

DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA
 APPLICATION # 24826
 APPROVAL DATE: 3/22/2021
 EXPIRATION DATE: 2/22/2023

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY ARE USING THE LATEST APPROVED AND PERMITTED PLANS PRIOR TO BEGINNING CONSTRUCTION.



Site Information:

PROJECT NAME: OAK TRACE VILLAS PHASE 2
 PROJECT LOCATION: SW 104TH STREET ROAD 2 EAST OF SW 200 MARION COUNTY, FLORIDA
 TOTAL PARCEL AREA: 18.22 ACRES
 OWNER: 16302 STREET PARTNERSHIP
 CONTACT: FRANK TONIA, PARTNER
 ADDRESS: 16302 SW 104TH PLACE OAKA, FL 32117
 PHONE: (352) 268-0082

CONSTRUCTION AREA: 8.12 ACRES IN PHASE 2 (391/431 SF)
 PROJECT AREA: 1.506 AC (62K SQU) W/IN
 ZONING: COMMERCIAL
 LAND USE: B-4 SPECIAL USE PERMIT ALLOWING FOR R-MUD USE
 FLOOR AREA RATIO: 77.91% / 406,524 - 519 (194)
 SF/AC FROM PROJECT BOUNDARY
 BULIDINGS SETBACK: 1 STORY 75 MAXIMUM
 SIGNAGE: PERMITTED
 SEWER: 8" (82) (82)
 SEWER - PUBLIC (WCS)

Impervious Area

APPROVED PHASE 1 = 1.84 AC IMPERVIOUS / 8.00 AC = 23.00%
 APPROVED PHASE 2 = 1.44 AC IMPERVIOUS / 8.33 AC = 17.17%
 APPROVED PHASE 3 = 2.88 AC IMPERVIOUS / 8.33 AC = 34.58%
 TOTAL PHASE 1 + 2 + 3 = 6.16 AC IMPERVIOUS / 24.66 AC = 24.95%

EXISTING PHASE 1 = 1.84 AC IMPERVIOUS / 8.00 AC = 23.00%
 PROPOSED PHASE 2 = 1.44 AC IMPERVIOUS / 8.33 AC = 17.17%
 FUTURE PHASE 3 = 2.88 AC IMPERVIOUS / 8.33 AC = 34.58%
 TOTAL PROPOSED = 6.16 AC IMPERVIOUS / 24.66 AC = 24.95%

Index of Sheets:

- C001 - COVER SHEET
- C002 - PREDEVELOPMENT PLAN
- C003 - SITE PLAN (HORIZONTAL CONTROL PLAN)
- C004 - TYPICAL SECTIONS
- C005 - DRAINAGE PLAN
- C006 - DRA SECTIONS
- C007 - GRADING PLAN
- C008 - WATER & SEWER UTILITY PLAN
- C009 - FORCE MAIN RECONNECTION
- C010 - PHOTO METRIC PLAN
- C011 - C012 - MAJOR ROADWAY PLAN & PROFILE SHEET
- C013 - MINOR ROADWAY PLAN & PROFILE SHEETS
- C014 - C016 - STORMWATER POLLUTION PREVENTION PLAN DETAILS
- S001 - 8002 SURVEY
- L001 - L005 LANDSCAPING PLAN
- L006 -

AAE ENGINEERING, INC.
 10000 SW 104TH PLACE, SUITE 100, OAKA, FL 32117
 (352) 268-0082
 www.aae-engineering.com

COVER SHEET
 OAK TRACE VILLAS - PHASE 2
 SHEET NO. C001 OF 016

Revisions to Plan Set

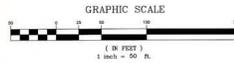
| NO. | DATE | DESCRIPTION |
|-----|-----------|---------------------------|
| 1 | 2-8-2021 | ISSUED FOR PERMIT |
| 2 | 3-22-2021 | APPROVED FOR CONSTRUCTION |

MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2

MARION COUNTY, FLORIDA

- Legend:**
- TIME OF CONCENTRATION LINE
 - - - EXISTING DRAINAGE BASIN LINE
 - - - EXISTING BURIED CABLE
 - - - EXISTING #1 WATER MAIN
 - - - EXISTING UNDERGROUND ELECTRIC
 - - - EXISTING SEWER MAIN
 - - - EXISTING FENCE
 - - - PROPERTY LINE
 - - - SOIL TYPE BREAK LINE
 - - - SOIL TYPE
 - ⊙ GEO-TECH D.R.A. SOIL BORING
 - ⊙ GEO-TECH ROADWAY SOIL BORING
 - ⊙ MOORHEAD D.R.A. SOIL BORING (1988)
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING LIGHT POLE
 - ⊙ EXISTING POWER POLE
 - ⊙ EXISTING SEWER MANHOLE
- CaB**

NOTE: ALL SOILS WITHIN PHASE 2 PROJECT AREA ARE WELL DRAINED CANDLER SANDS

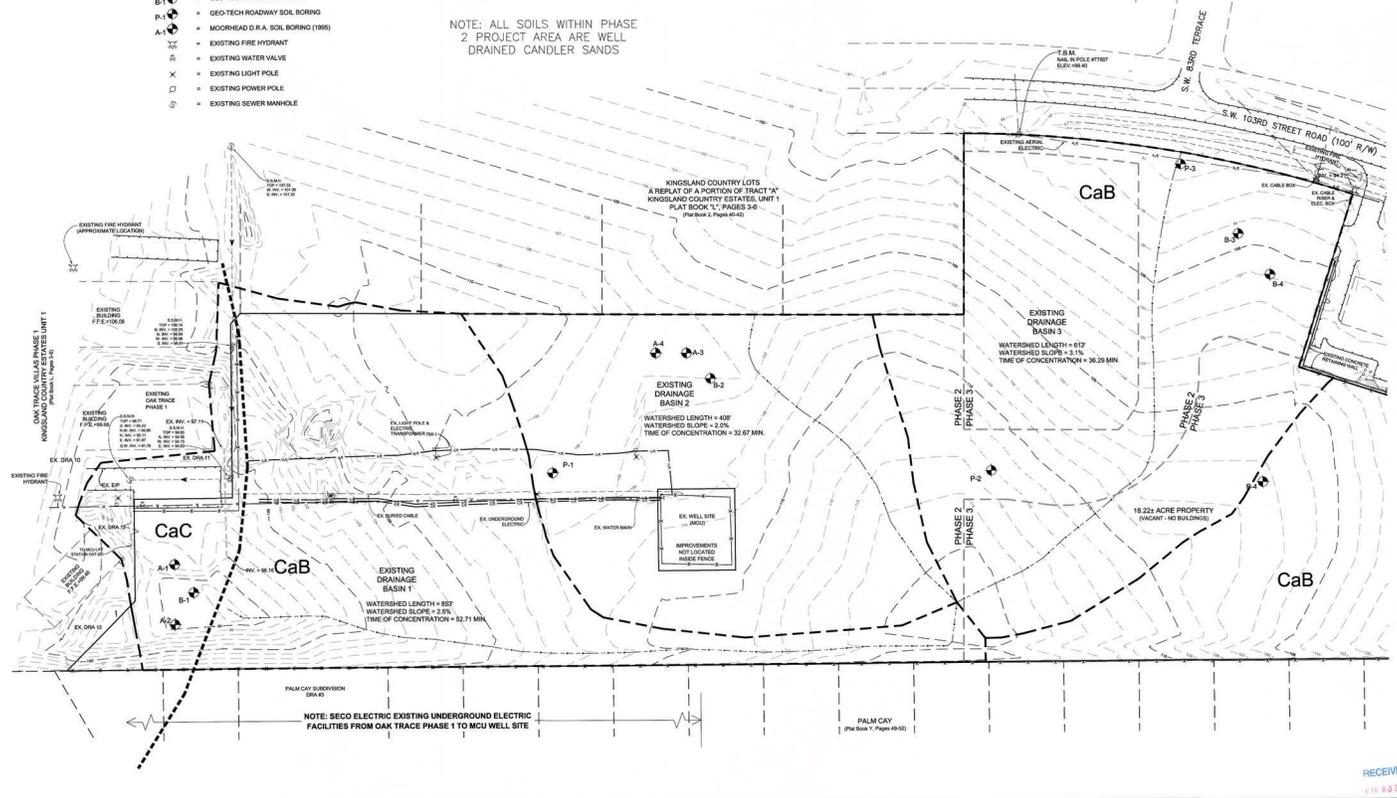


DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 24828
APPROVAL DATE: 2/22/2021
EXPIRATION DATE: 2/22/2023

NOTICE:
All construction shall conform to the construction standards contained in the Marion County Land Development Code. Any deviation from the Code of any ordinance shall be subject to the review and approval of the County Engineer or engineer.

The approval of these plans is limited to construction as shown on the plans. Marion County and does not warrant or make the requirements of these codes for individual permits, as applicable, by state and/or federal laws.



Predevelopment Plan

SHEET NO. 0007 OF 0216

RECEIVED
MAR 2 2023

MARION COUNTY ENGINEERING, INC.
1000 N. W. 10th Street, Suite 100, Palm Bay, FL 32909
Tel: 321-327-2020
Fax: 321-327-2020
www.marioncountyengineering.com

MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2

MARION COUNTY, FLORIDA

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 24836
APPROVAL DATE: 2/22/2021
EXPIRATION DATE: 2/22/2023

At construction shall conform to the contribution requirements contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way shall be clearly marked and maintained in a neat and orderly manner and shall be used as approved by the County Engineer or designee.

NOTE: The approval of this plan is based on the information submitted and the applicant's representation that the information is true and correct. The applicant shall be responsible for obtaining all necessary permits and approvals for additional information, as applicable, for state and federal laws.

SECTION 6.7.3.E - TREE PROTECTION

- The protection shall continue during the course of construction. The following requirements shall be in addition to tree removal permits, all permits for construction or utility activities, any and all development permits issued under and pursuant to the Code.
- The clearing of construction equipment or material or the disposal of waste material shall be limited to paths, aisles, easements, easement corners, and marker within the 10' of any tree which is being protected. It shall be noted.
- The placement of equipment or material, debris, or fill within the 10' of any tree which is being protected is not allowed.
- The contractor shall install all tree protection barriers and signs on a weekly basis during the course of construction. Any portions or signs which have been damaged or are missing shall be replaced immediately.
- If any tree which has not been reported to be removed is destroyed, or removal is required during construction, with the exception of mature trees, no tree to be placed the long term survival in question, the tree(s) must be replaced at an increased height with a minimum replacement rate of 3:5-inch caliper. The County Engineer shall be notified immediately upon the destruction of any tree. The County Engineer may require a replacement tree for each tree destroyed. The tree mitigation fund may be authorized by the County's Landscape Architect.

IMPERVIOUS AREA (PHASE 2 ONLY)

| CONV # | LENGTH | WIDTH | AREA | CHORD | CH AREA | CH PERIM |
|--------|--------|--------|---------|--------|-------------|----------|
| C1 | 11.80 | 100.00 | 43'29" | 11.84 | 587'19.23' | |
| C2 | 10.58 | 115.00 | 57'10" | 10.57 | 587'47.79' | |
| C3 | 39.21 | 115.00 | 192'14" | 39.23 | 640'33.60' | |
| C4 | 48.00 | 115.00 | 223'43" | 47.85 | 582'43.39' | |
| C5 | 13.27 | 100.38 | 73'42" | 13.26 | 585'50.07' | |
| C6 | 194.89 | 115.00 | 973'50" | 192.46 | 6482'51.11' | |
| C7 | 7.38 | 100.00 | 43'29" | 7.38 | 522'71.76' | |
| C8 | 25.31 | 100.00 | 104'33" | 25.28 | 515'52.76' | |
| C9 | 6.19 | 100.00 | 19'47" | 6.16 | 510'70.58' | |
| C10 | 10.52 | 25.00 | 19'47" | 10.57 | 502'70.58' | |
| C11 | 36.02 | 25.00 | 82'37" | 35.89 | 540'55.25' | |
| C12 | 39.23 | 25.00 | 89'43" | 39.20 | 536'19.52' | |
| C13 | 17.23 | 100.00 | 92'19" | 17.20 | 503'77.25' | |
| C14 | 17.23 | 100.00 | 92'19" | 17.20 | 521'77.25' | |

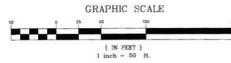
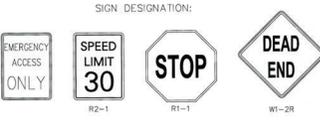
NOTES

- SW 103RD STREET ROAD IS TYPICALLY A CROWNED SECTION WITH PARALLEL DRAINS. EXCEPT BETWEEN STATION 1+48 TO 3+48 WHERE SECTION IS TO SLOPE NORTH TO SOUTH DUE TO UNDERGROUND ELECTRIC CONDUITS AND EXISTING TRANSFORMER ELEVATIONS AND SPECIAL SWALE BETWEEN STATION 1+48 TO 1+49 (NORTH SIDE) DUE TO UNDERGROUND ELECTRIC CONDUITS AND EXISTING TRANSFORMER ELEVATIONS.
- MINOR NORTH AND SOUTH DRAINS ARE INVERTED CROWN SECTIONS AND TRANSITION TO SPILL INTO SW 103RD STREET ROAD SWALES. SEE ELEVATION ON GRADING PLAN.
- SEE TYPICAL SECTIONS AND SPOT ELEVATIONS FOR MORE INFORMATION.
- PROPOSED PILES AND UTILITY ENDS SECTIONS FROM STATION 3+00 TO 1+00 ARE TO BE CONSTRUCTED IN FUTURE PHASE 3.
- ALL HANDICAPPED PARKING SPACES ARE TO BE 12' x 20' WITH ADJACENT 5' WIDE STRIPED AREAS AND 5' TYPICAL PARKING SPACES ARE TO BE 8' x 20'. SEE PARKING CONSTRUCTION DETAILS ON SHEET 024.
- CONSTRUCT SIDEWALK BY PHASE AS NECESSARY.

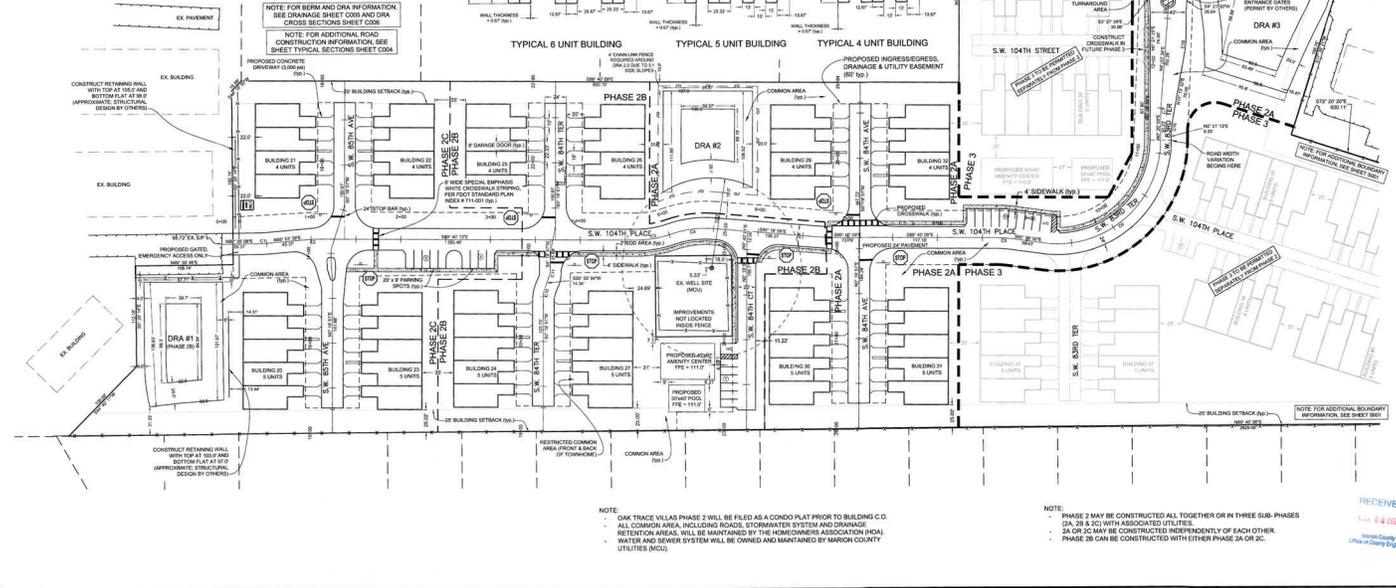
NOTE: FOR BERM AND DRA INFORMATION, SEE DRAINAGE SHEET 008 AND DRA CROSS SECTIONS SHEET 006.

NOTE: FOR ADDITIONAL ROAD CONSTRUCTION INFORMATION, SEE SHEET TYPICAL SECTIONS SHEET 006.

TYPICAL REGULATORY AND WARNING SIGNS



NOTE: STOP SIGNS SHALL BE 30" AND FABRICATED USING, AT A MINIMUM, 3/4" DIAMOND GRADE V.P. REFLECTIVE SHEETING.



NOTE: OAK TRACE VILLAS PHASE 2 WILL BE FILED AS A CONDO PLAN PRIOR TO BUILDING C.O.

2. ALL COMMON AREA, INCLUDING ROADS, STORMWATER SYSTEM AND DRAINAGE RETENTION AREAS, WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA).

3. WATER AND SEWER SYSTEM WILL BE OWNED AND MAINTAINED BY MARION COUNTY UTILITIES (MCU).

NOTE: PHASE 2 MAY BE CONSTRUCTED ALL TOGETHER OR IN THREE SUB-PHASES: 2A, 2B & 3C WITH ASSOCIATED UTILITIES.

2A OR 3C MAY BE CONSTRUCTED INDEPENDENTLY OF EACH OTHER.

PHASE 2B CAN BE CONSTRUCTED WITH EITHER PHASE 2A OR 3C.

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MAR 4 2021
Marion County
Office of County Engineer

Sheet No.
C003
C016

W. W. WILFONG ENGINEERING, INC.
10000 SW 10th Street, Suite 100, Ocala, FL 34474
Phone: 352-237-2222
Fax: 352-237-2223
www.wwilfong.com

SECTION 6.3.3.E - TREE PROTECTION

The protection shall continue during the course of construction. The following requirements shall be provided for tree removal, protection, or preservation for construction in public rights-of-way, and all development permits issued under and pursuant to this Code:

- The quantity of construction equipment or material on the site of a tree removal activity shall not exceed the amount of equipment or material permitted to be on the site within the 72 hours of any tree which is being protected or not removed.
- The protection shall consist of tree protection barriers and signs on a weekly basis during the course of construction. Any protection or sign which has been damaged or is missing shall be replaced immediately.
- If any tree which has not been approved to be removed is destroyed, or requires major damage during construction, with the exception of natural events, as to be placed in the ground in question, the landowner shall be required to replace all or such a tree of the same or larger (combined DBH of the trees) as destroyed or damaged. That replacement shall be of comparable species, of the approved or damaged tree with a minimum replacement size of 2.5-inch diameter. The landowner reserves the right to establish a replacement value for such trees and payment into the tree mitigation fund may be required by the County Landscape architect.

PROPOSED SWALE FLOWS

| TYPICAL ROADSIDE SWALE @ MIN. PLAN SLOPE | DEPTH | SLOPE | FLOW | VELOCITY |
|--|-------|-------|-----------|-----------|
| | 1.25' | 0.91% | 21.16 cfs | 3.38 1/4' |
| TYPICAL ROADSIDE SWALE @ MIN. PLAN SLOPE (ACTUAL FLOW) | 0.97' | 0.91% | 11.64 cfs | 2.86 1/4' |
| MODIFIED ROADSIDE SWALE INTO PIPE (P-1) | 0.75' | 4.20% | 15.17 cfs | 4.04 1/4' |
| MODIFIED ROADSIDE SWALE INTO PIPE (P-1) (ACTUAL FLOW) | 0.46' | 4.20% | 1.96 cfs | 2.12 1/4' |
| TYPE "A" SWALE @ MIN. PLAN SLOPE | 1.0' | 1.28% | 13.84 cfs | 3.46 1/4' |

IMPERVIOUS AREA (PHASE 2 ONLY)

BUILDINGS:
 83,000 SF - TOWNHOMES
 3,400 SF - AMENITY CENTER/POOL
 TOTAL = 86,400 SF

PAVEMENT AREA:
 96,887 SF - PROPOSED SITE PAVEMENT

DRIVEWAY CONCRETE:
 9,406 SF - PROPOSED DRIVEWAY CONCRETE

SIDEWALKS:
 7,088 SF - PROPOSED SIDEWALKS

TOTAL IMPERVIOUS AREA:
 172,083 SF (3.95 AC)

NOTES:

- SW 104TH PLACE IS TYPICALLY A CROWNED SECTION WITH PARALLEL SWALES, EXCEPT BETWEEN STATION 1+65 TO 1+65 WHERE SECTION IS TO SLOPE NORTH TO SOUTH DUE TO UNDERGROUND ELECTRIC CONFLICTS AND EXISTING TRANSFORMER ELEVATIONS AND SPECIAL SWALE ELEVATIONS ON GRADING PLAN.
- MINOR NORTH AND SOUTH DRIVES ARE INVERTED CROWN SECTIONS AND TRANSITION TO SPILL INTO SW 103RD STREET ROAD SWALES. SEE ELEVATIONS ON GRADING PLAN.
- SEE TYPICAL SECTIONS ON SHEET C004 AND SPOT ELEVATIONS ON SHEET C007 FOR MORE INFORMATION.
- PROPOSED PIPES AND MITERED END SECTIONS FROM STATION 9+45 TO 10+00 ARE TO BE CONSTRUCTED IN FUTURE PHASE 3.
- REQUIRED FLOW IN THE CHARTS BELOW IS BASED ON RAINFALL INTENSITY FROM ZONE 7, IDF CURVE FOR THE 25 YEAR / 24 HOUR STORM EVENT.

MAJOR SITE PLAN

for OAK TRACE VILLAS - PHASE 2

MARION COUNTY, FLORIDA

GRAPHIC SCALE



Legend:

- PROPOSED STORM PIPE
- PROPOSED MITERED END SECTION
- PROPOSED MITERED END SECTION WITH SPLASH PAD
- PROPOSED SPILLWAY WITH SPLASH PAD
- PROPOSED TYPE 'C' INLET
- PROPOSED FLOW ARROW
- PROPOSED E SWALE
- PROPOSED DRAINAGE AREA BREAK
- DRA CROSS SECTION
- DRA AREA & RUNOFF FOR 25 YEAR / 24 HOUR STORM EVENT
- DRA AREA BREAKLINE

DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA

APPLICATION #: 24826
 APPROVAL DATE: 2/22/2021
 EXPIRATION DATE: 2/22/2023

All construction shall conform to the construction standards established by the Marion County Land Development Code. The Marion County Land Development Code, including all amendments and other rules and orders, shall apply to all construction. The applicant shall obtain and submit to the County Engineer a copy of the Marion County Land Development Code for review and approval. The County Engineer may require the applicant to provide a copy of the Marion County Land Development Code for review and approval.

NOTICE:
 The applicant shall continue to be responsible for construction under the jurisdiction of Marion County until the construction is complete and the County will draw for subdivision or other measurements of other agencies for historical records, as applicable, to date and review.

PROPOSED PIPES

| DIAMETER | LENGTH | SLOPE | REQUIRED FLOW | FLOW CAPACITY | VELOCITY | INVERT IN ELEVATION | INVERT OUT ELEVATION |
|----------|--------|-------|---------------|---------------|-----------|---------------------|----------------------|
| P-1 | 18' | 4.0% | 5.82 cfs | 8.05 cfs | 4.55 1/4' | 92.30 | 92.00 |
| P-2 | 18' | 4.0% | 3.88 cfs | 4.95 cfs | 4.03 1/4' | 97.85 | 96.30 |
| P-3 | 15' | 30.6% | 0.46 cfs | 0.96 cfs | 3.61 1/4' | 102.63 | 102.43 |
| P-4 | 15' | 42.7% | 0.46 cfs | 1.50 cfs | 3.61 1/4' | 101.48 | 101.31 |
| P-5 | 15' | 50.6% | 2.073 cfs | 10.85 cfs | 16.39 cfs | 92.8 1/4' | 101.35 |
| P-6 | 15' | 49.1% | 2.88 cfs | 4.02 cfs | 11.90 cfs | 9.69 1/4' | 104.99 |
| P-7 | 15' | 45' | 1.0% | 2.83 cfs | 7.00 cfs | 5.70 1/4' | 107.32 |
| P-8 | 18' | 36' | 0.3% | 7.60 cfs | 8.05 cfs | 4.55 1/4' | 96.00 |
| P-9 | 18' | 48' | 0.55 cfs | 8.11 cfs | 8.74 cfs | 4.89 1/4' | 92.27 |
| P-10 | 15' | 83' | 0.3% | 0.30 cfs | 3.83 cfs | 3.12 1/4' | 96.19 |

PROPOSED INLETS

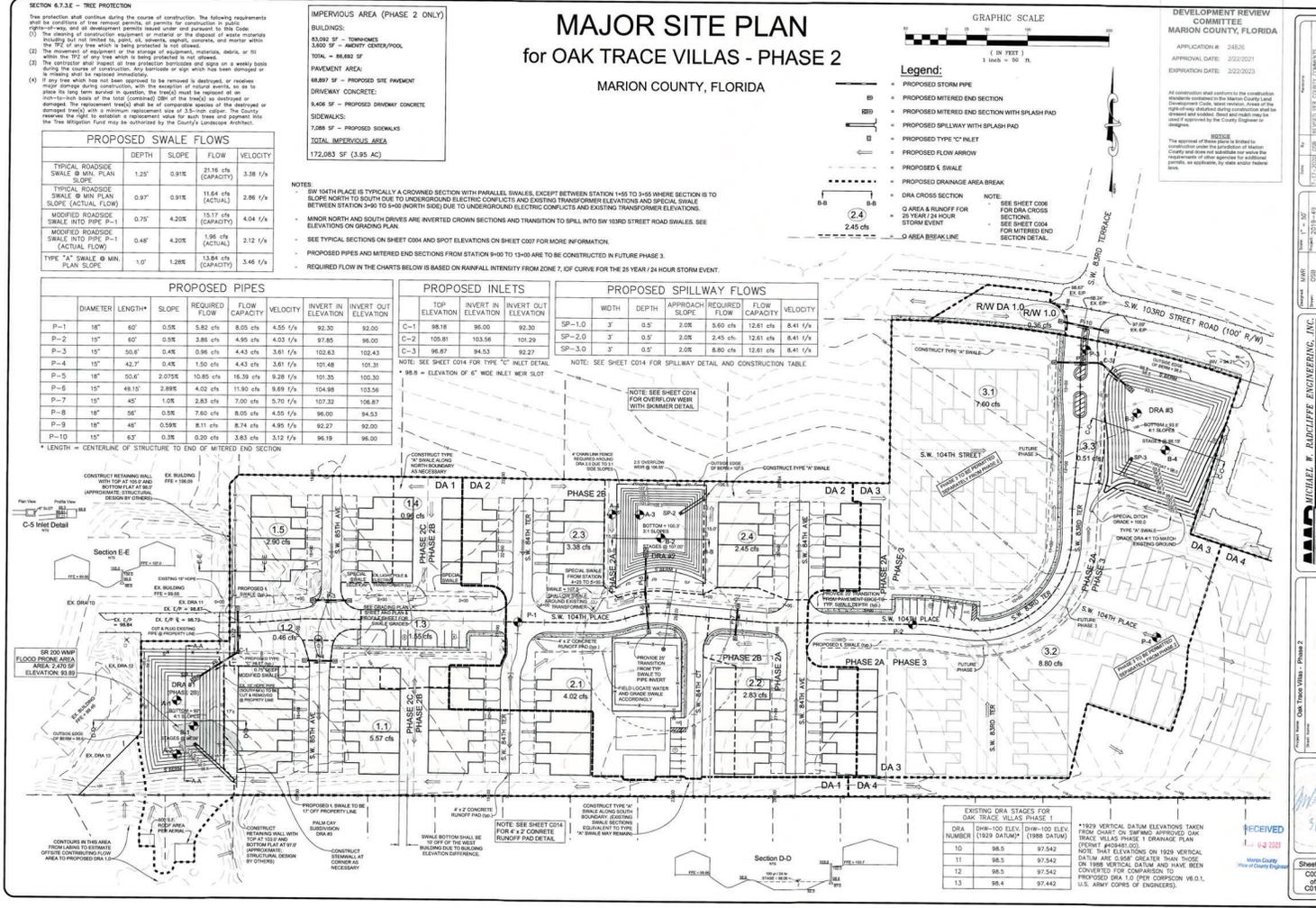
| TOP ELEVATION | INVERT IN ELEVATION | INVERT OUT ELEVATION |
|---------------|---------------------|----------------------|
| C-1 | 96.16 | 96.50 |
| C-2 | 105.81 | 103.68 |
| C-3 | 96.87 | 94.53 |

PROPOSED SPILLWAY FLOWS

| WIDTH | DEPTH | APPROACH SLOPE | REQUIRED FLOW | FLOW CAPACITY | VELOCITY | |
|--------|-------|----------------|---------------|---------------|-----------|-----------|
| SP-1.0 | 3' | 0.5' | 2.0% | 3.60 cfs | 12.81 cfs | 8.41 1/4' |
| SP-2.0 | 3' | 0.5' | 2.0% | 2.45 cfs | 12.81 cfs | 8.41 1/4' |
| SP-3.0 | 3' | 0.5' | 2.0% | 8.80 cfs | 12.81 cfs | 8.41 1/4' |

PROPOSED SWALES

| STATION | DEPTH | SLOPE | FLOW | VELOCITY |
|---------|-------|-------|-----------|-----------|
| 1+65 | 1.25' | 0.91% | 21.16 cfs | 3.38 1/4' |
| 1+65 | 0.97' | 0.91% | 11.64 cfs | 2.86 1/4' |
| 1+65 | 0.75' | 4.20% | 15.17 cfs | 4.04 1/4' |
| 1+65 | 0.46' | 4.20% | 1.96 cfs | 2.12 1/4' |
| 1+65 | 1.0' | 1.28% | 13.84 cfs | 3.46 1/4' |



EXISTING DRA STAGES FOR OAK TRACE VILLAS PHASE 1

| DRA NUMBER | 1929 DATUM (1929 DATUM) | 1988 DATUM (1988 DATUM) |
|------------|-------------------------|-------------------------|
| 10 | 98.5 | 97.542 |
| 11 | 98.5 | 97.542 |
| 12 | 98.5 | 97.542 |
| 13 | 98.0 | 97.443 |

*1929 VERTICAL DATUM ELEVATIONS TAKEN FROM CHART ON SHARED APPROVED OAK TRACE VILLAS PHASE 1 DRAINAGE PLAN (PERMIT #2019-001).
 NOTE: THAT ELEVATIONS ON 1929 VERTICAL DATUM ARE 0.55' GREATER THAN THOSE ON 1988 VERTICAL DATUM AND HAVE BEEN CONVERTED FOR COMPARISON TO PROPOSED DRA 1.0 (PER CORPSPON V6.0.1, U.S. ARMY CORPS OF ENGINEERS).

Michael R. Radcliffe Engineering, Inc.
 1100 S.W. 10th Street, Suite 200, Ft. Lauderdale, FL 33304
 Phone: (954) 571-1100
 Fax: (954) 571-1101
 Website: www.mradcliffe.com

Project: Oak Trace Villas - Phase 2
 Date: 2/22/2021
 Sheet No. C005 of C016

Drainage Plan

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 MARION COUNTY ENGINEERING DEPARTMENT
 2/22/2021

MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2

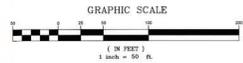
MARION COUNTY, FLORIDA

**DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA**

APPLICATION #: 24820
 APPROVAL DATE: 2/22/2021
 EXPIRATION DATE: 2/22/2023

All construction shall conform to the subdivision standards contained in the Marion County Land Development Code, Street and Utility. Areas of the site plan showing utility construction shall be subject to the approval of the County Engineer or designee.

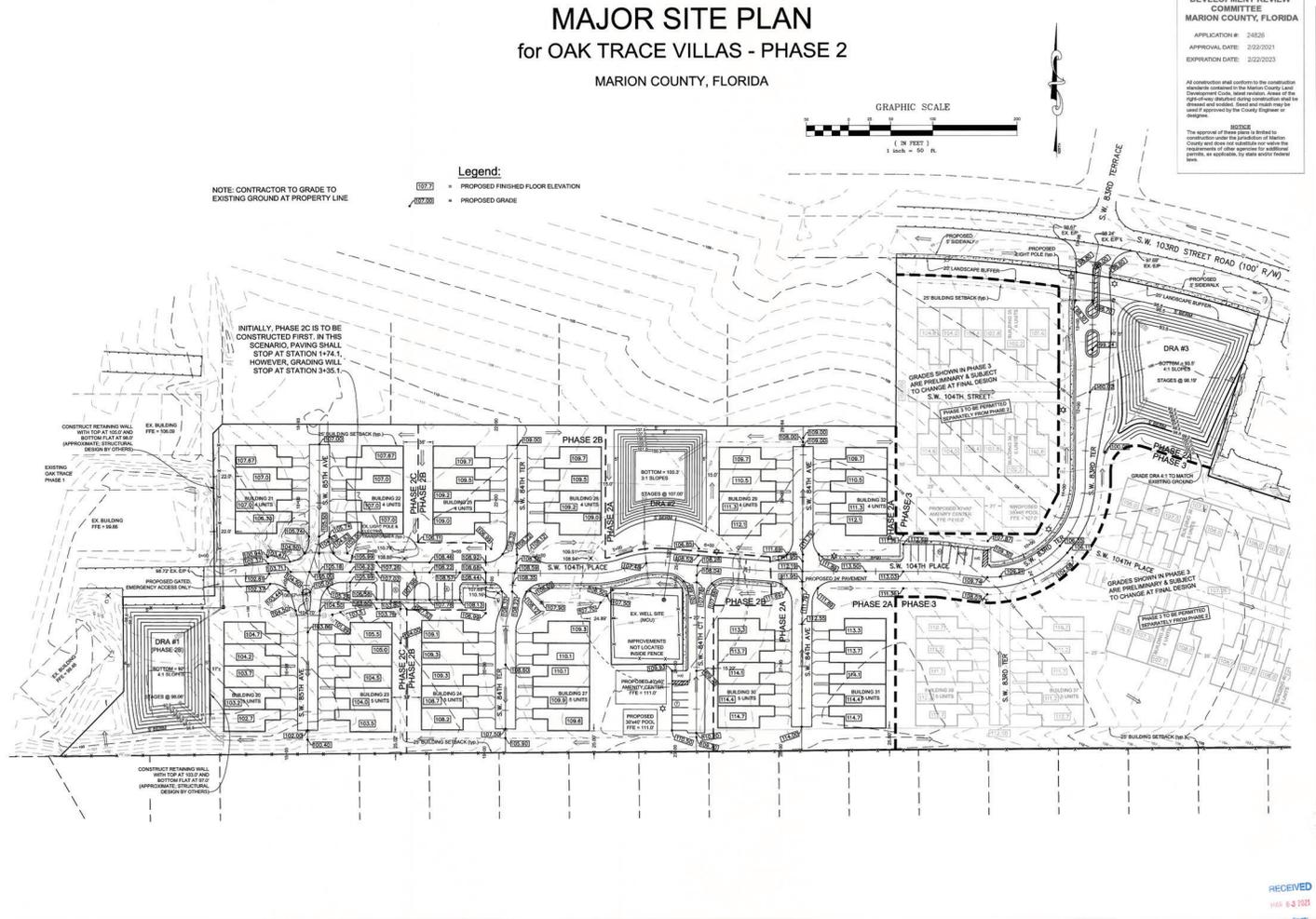
NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute any other the construction or other systems or mechanical permits, as applicable, by state and/or federal laws.



- Legend:**
- 107.7 = PROPOSED FINISHED FLOOR ELEVATION
 - 107.50 = PROPOSED GRADE

NOTE: CONTRACTOR TO GRADE TO EXISTING GROUND AT PROPERTY LINE

INITIALLY, PHASE 3C IS TO BE CONSTRUCTED FIRST. IN THIS SCENARIO, PAVING SHALL STOP AT STATION 1+74.1, HOWEVER, GRADING WILL STOP AT STATION 3+35.1.



| | |
|--------------|-------------------------------------|
| PROJECT NAME | Oak Trace Villas - Phase 2 |
| DATE | 2/22/2021 |
| SCALE | AS SHOWN |
| DESIGNER | MICHAEL K. ADLIFE ENGINEERING, INC. |
| CHECKED | [Signature] |
| DATE | 2/22/2021 |

Grading Plan

Sheet No. 0207 of 0216

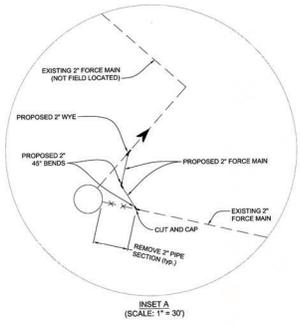
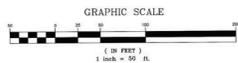
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MAR 02 2021

MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2 FORCE MAIN RECONNECTION MARION COUNTY, FLORIDA

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
APPLICATION #: 24628
APPROVAL DATE: 2/22/2021
EXPIRATION DATE: 2/22/2023

All construction shall conform to the construction standards contained in the Marion County Land Development Code. Water mains shall be the right-of-way established during construction and be placed and installed. Street and utility lines to be used if approved by the County Engineer or Engineer.

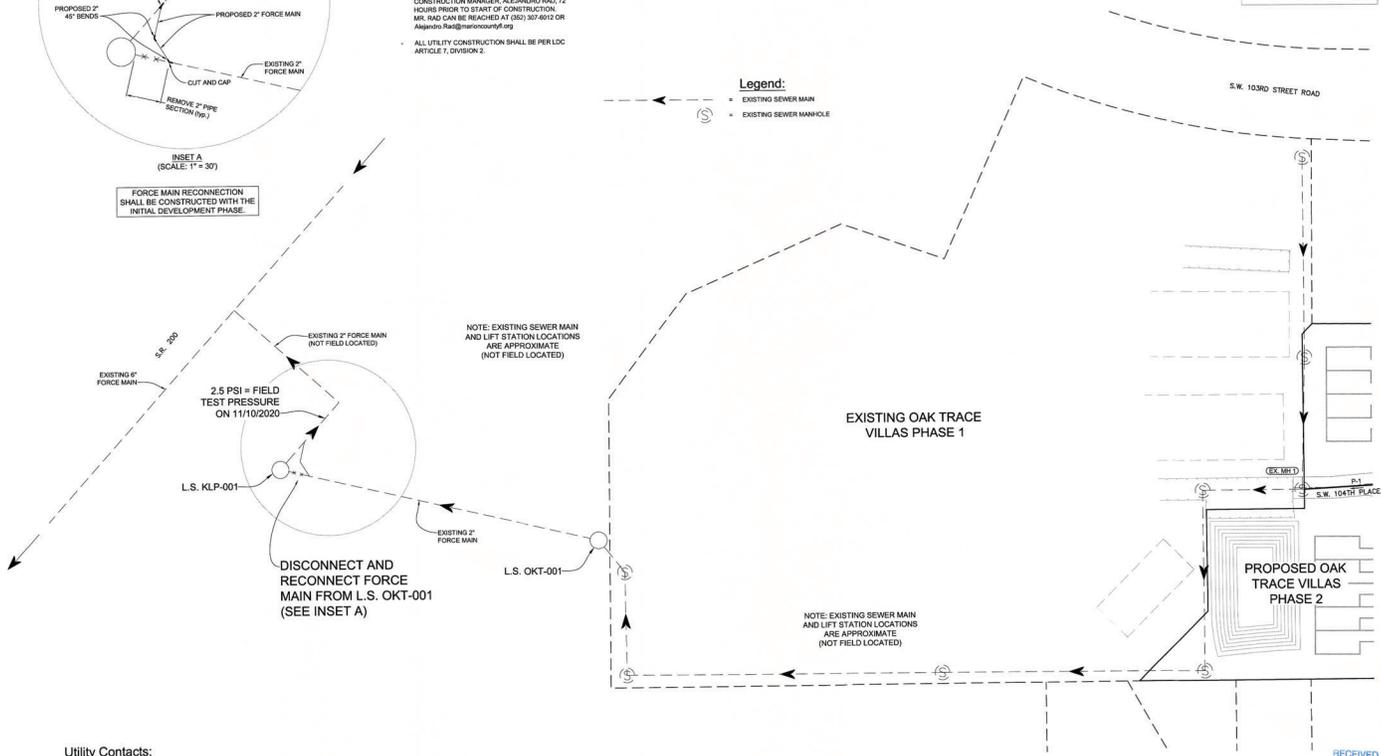
NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirement of other agencies for additional permits, as applicable, by state and/or federal laws.



INSET A
(SCALE: 1" = 30')
FORCE MAIN RECONNECTION SHALL BE CONSTRUCTED WITH THE INITIAL DEVELOPMENT PHASE.

UTILITY NOTES:
UTILITY INSTALLATION PROJECTS SHALL BE INSPECTED BY MCD. A PRE-CONSTRUCTION MEETING IS TO BE ORGANIZED WITH THE MCD CONSTRUCTION MANAGER, ALEJANDRO RAD, 72 HOURS PRIOR TO START OF CONSTRUCTION. MR. RAD CAN BE REACHED AT (352) 307-6912 OR Alejandro.Rad@marioncounty.org
ALL UTILITY CONSTRUCTION SHALL BE PER LDC ARTICLE 7, DIVISION 2.

Legend:
- - - - - EXISTING SEWER MAIN
○ EXISTING SEWER MANHOLE



Utility Contacts:
WATER & SEWER: MARION COUNTY UTILITIES (352) 307-6000
ELECTRIC: SECO ENERGY - SHERY FOGARTY (352) 568-8845
TELEPHONE: CENTURY LINK - DAN CANNON (352) 368-8917
CABLE: UNKNOWN
FIRE: MARION COUNTY - KEN MCCANN (352) 391-6000
GAS: TECO PROPLES GAS - MARIO SANCHEZ (352) 401-3419

Force Main Reconnection

Project Name: Oak Trace Villas - Phase 2
Owner: MICHAEL W. BAILEY ENGINEERING, INC.
Date: 2-22-2021
Scale: 1" = 50'
Sheet No.: C008A or C018

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Marion County
Office of County Engineer

MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2

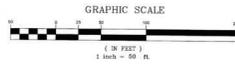
MARION COUNTY, FLORIDA

**DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA**

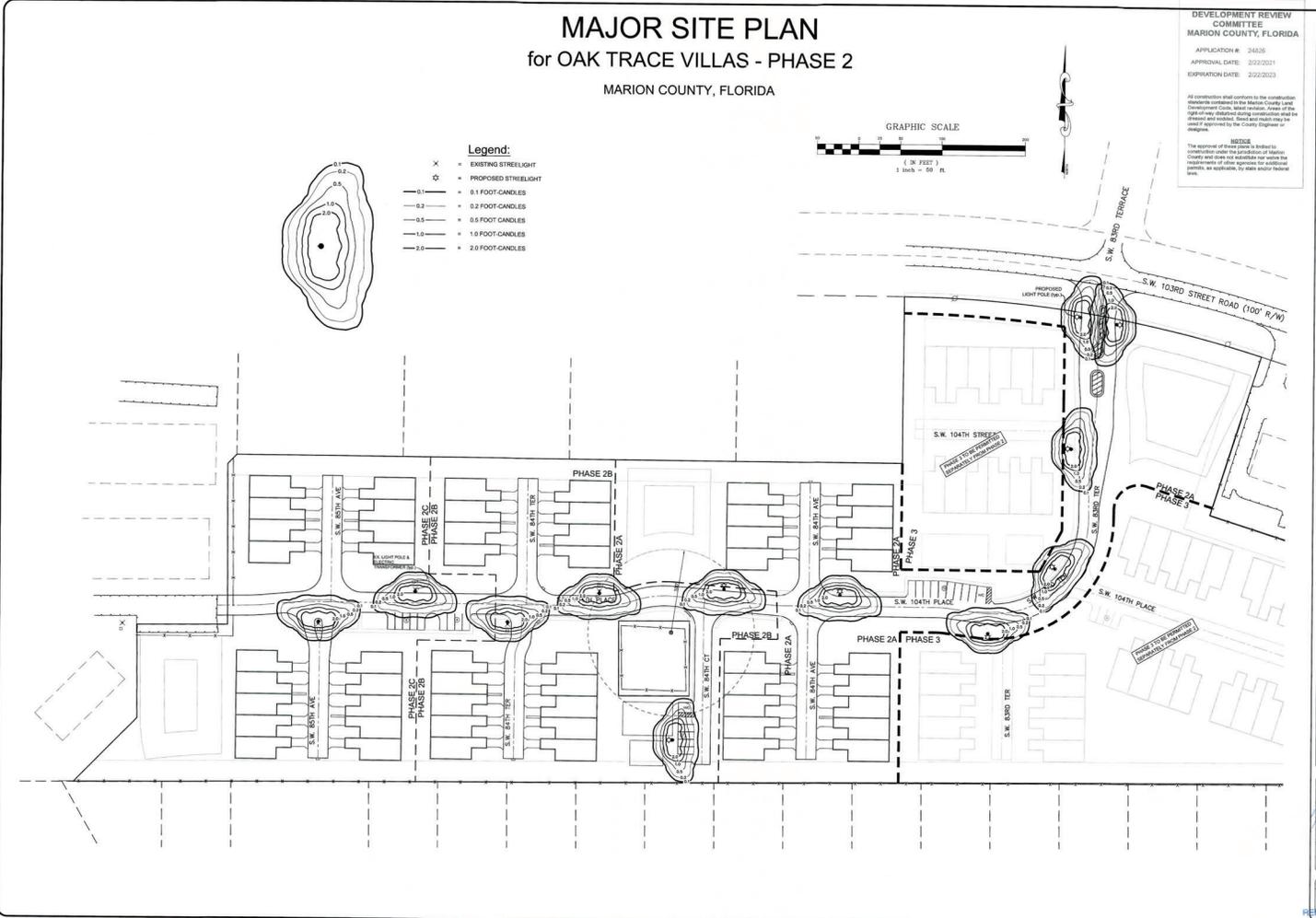
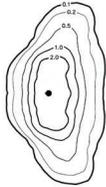
APPLICATION #: 24826
 APPROVAL DATE: 2/22/2021
 EXPIRATION DATE: 2/22/2023

All construction shall conform to the subdivision standards contained in the Marion County Land Development Code. Street widths, areas of the right-of-way, drainage, utility construction and the placement of all structures, signs and other things shall be subject to approval by the County Engineer or his/her designee.

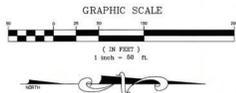
NOTICE
 The approval of these plans is limited to construction upon the jurisdiction of Marion County. It does not constitute nor make the requirements of other agencies for additional permits, as applicable, for each specific project item.



- Legend:**
- X = EXISTING STREELIGHT
 - = PROPOSED STREELIGHT
 - 0.1 = 0.1 FOOT CANDLES
 - 0.2 = 0.2 FOOT CANDLES
 - 0.5 = 0.5 FOOT CANDLES
 - 1.0 = 1.0 FOOT CANDLES
 - 2.0 = 2.0 FOOT CANDLES

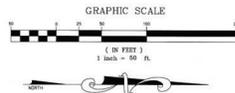


| | |
|--|-------------------------|
| PHOTOMETRIC PLAN | |
| Project Name: Oak Trace Villas - Phase 2 | Scale: 1" = 40' |
| Client: MICHAEL W. BAULIFFE ENGINEERING, INC. | Date: 2/22/21 |
| Location: 104th Street, Marion County, Florida | Sheet No. of 0300A |
| Drawn by: [Signature] | Checked by: [Signature] |
| Approved by: [Signature] | RES-016 |



MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2

MARION COUNTY, FLORIDA

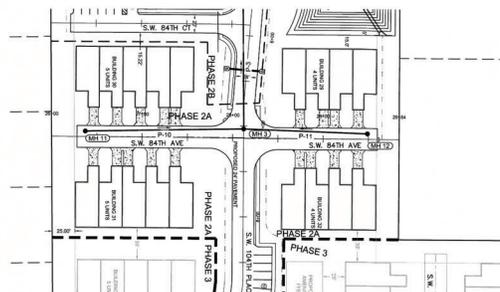
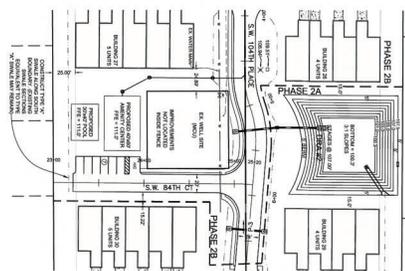


DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 24826
APPROVAL DATE: 2/22/2021
EXPIRATION DATE: 2/22/2023

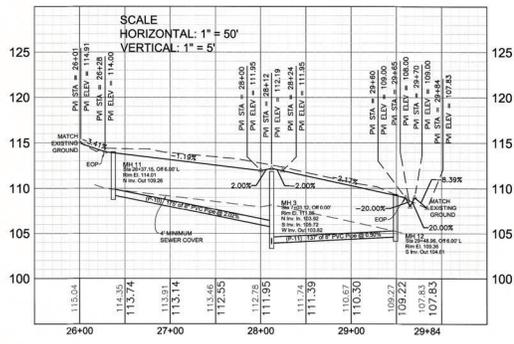
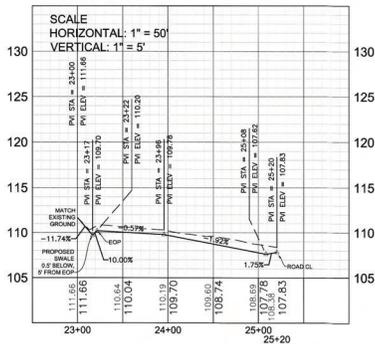
All construction shall conform to the construction documents submitted to the Marion County Land Development Code, latest edition. Areas of the right-of-way proposed during construction shall be returned to original condition. Final plan shall not be used if approved by the County Engineer or his designee.

NOTICE
The approval of these plans by the Marion County Commission is not a guarantee of the accuracy of the information or data upon which the plans are based. The Commission and its members are not liable for any errors or omissions on the part of the applicant or the County Engineer or his designee.



S.W. 84th Court

S.W. 84th Avenue



Sheet No. 012 of 02

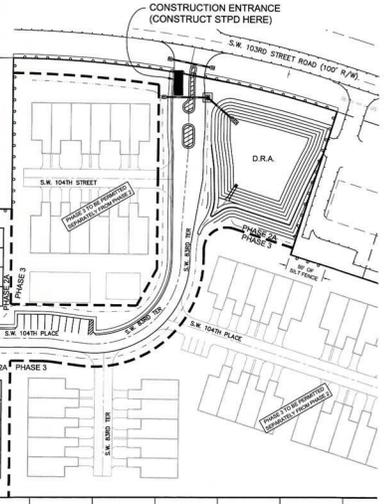
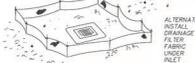
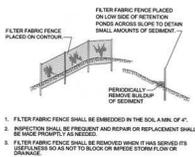
3/1/21

Michael W. Radcliffe
Professional Engineer
No. 12157
State of Florida

Michael W. Radcliffe Engineering, Inc.
1000 N. US Highway 1, Suite 100
Ocala, Florida 34471
Phone: 352-237-2000
Fax: 352-237-2001
www.mradcliffe.com

MAJOR SITE PLAN for OAK TRACE VILLAS - PHASE 2

MARION COUNTY, FLORIDA



DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 24828
APPROVAL DATE: 2/22/2021
EXPIRATION DATE: 2/22/2023

All construction shall conform to the construction requirements contained in the Marion County Land Development Code, latest edition. Areas of the site plan showing existing construction shall not be altered and no new construction shall be allowed unless approved by the County Engineer or Supervisor.

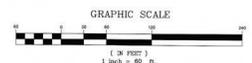
NOTICE: The applicant of these plans is authorized to construct under the jurisdiction of Marion County and does not intend to waive the requirements of other agencies for additional permits, as applicable, to these approved plans.

LEGEND:
D.R.A. DRAINAGE RETENTION AREA
SILT FENCE LOCATION
INLET PROTECTION

INSTALL TOTAL OF 2,230
LF FABRIC SILT FENCE

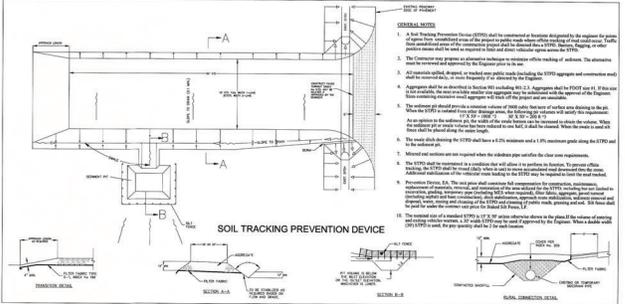
MARION COUNTY PROJECT
No. 24828

- General Notes**
- A copy of the Notice of Intent (NOI) or letter from the Department of Environmental Protection (DEP) outlining coverage under this General Permit shall be posted at the construction site or a prominent place for public viewing (such as a sign on a building panel).
 - The discharge of hazardous substances or oil in the stormwater discharge(s) from a facility or activity shall be prevented or contained in accordance with the applicable stormwater pollution prevention plan for the facility or activity.
 - The permittee shall provide for compliance with the terms and schedule of this plan beginning with the initiation of construction activities.
 - Permittee shall adhere to the State of Florida DEP General Permit for Stormwater Discharge from Large and Small Construction Activities.
 - Prevent existing vegetation where available and maintain disturbed portions of the site to prevent erosion. Stabilization measures include permanent seeding, sod, preservation of existing mature vegetation and preservation of existing trees. Stabilization measures shall be initiated as soon as practicable, but in no case more than 7 days. In portions of the site where construction activities have temporarily or permanently ceased.
 - Backfill shall include adequate erosion control practices. In steep slopes from eroded soils, flow lines, water sediment ponds, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include silt fences, mounds, check dams, storm drain inlet protection, permanent sediment basins or Stormwater Retention Areas (S.R.A.'s).
 - Construct temporary Sediment Control Basins at each point of discharge into D.R.A.'s.
 - Comply for Other Potential Pollutants.
 - (1) Waste Disposal: The plan shall ensure that waste, such as discarded building materials, chemicals, tires, and auto parts are properly contained in accordance with all applicable state, local and federal regulations. The permittee shall establish the discharge of solid materials, including building materials, to waterways of the State or as Municipal Separate Sewer System (MS4).
 - (2) The plan shall ensure that off-site vehicle tracking of sediments and the generation of dust is minimized.
 - (3) The plan shall be consistent with applicable State and local waste disposal, sanitary sewer or septic system regulations.
 - (4) The plan shall address the proper application rates and methods for the use of fertilizers, herbicides and pesticides at the construction site and set forth the best practices to be implemented and followed. Materials shall be applied only as needed and in accordance with label directions and approved.
 - (5) The plan shall ensure that the application, generation, and storage of toxic substances is limited and that toxic materials are properly stored and disposed.
 - A **qualified inspector (designated by the operator) shall inspect all points of discharge into surface waters of the State or a Municipal Separate Sewer System (MS4), identified areas of the construction site that have been fully stabilized, eroded areas of the construction site that have not been fully stabilized, erosion prevention structures, and basins where vehicles enter or exit the site, at least once every calendar date and within 24 hours of the end of a storm that is 0.50 inches or greater in accordance with the General Permit.**
 - The permittee shall retain copies of stormwater pollution prevention plans and all reports required by this permit, and records of all data used to complete the NOI to be covered by this permit, for a period of at least three years from the date that the site is finally stabilized.
 - The permittee shall retain a copy of the stormwater pollution prevention plan and all reports, notices and documentation required by this permit at the construction site, or an appropriate alternate location as specified in the NOI, from the date of project initiation to the date of final stabilization.
 - The permittee shall submit a completed Notice of Termination (NOT) (DEP Form 62-421.30003), signed in accordance with Part VII.C. of this permit, within 14 days of final stabilization of the site to terminate coverage under this permit.
 - A permittee shall submit a NOI to the following address:
NFDPS Stormwater Notice Center, MSF 2510
Florida Department of Environmental Protection
2900 Blue Water Road
Tallahassee, Florida 32399-2400
 - Projects that discharged stormwater associated with construction activity to a MS4 shall submit a copy of the NOI to the operator of the MS4.



- Notes**
- For silt fence detail see Type III silt fence in FDOT rules 62C. 516. Silt fence location shown for clarity only, actual face to be near the property line as practical.
 - All existing storm water drainage patterns and channels outside the construction area shown on these plans are to be maintained. The contractor shall notify the engineer if the work appears to disrupt or change storm water drainage patterns. The contractor shall maintain a clear path for all surface water drainage structures and structures during all phases of construction such that impact to construction and/or operating facilities is minimized. The contractor shall be responsible for any erosion, sediment transport, disturbed foundations, impact to structures, and any other damage caused during construction.
 - The contractor shall prevent the discharge of sediment due to construction operations. Approved sediment control devices shall be installed to prevent discharge of sediment into any off-site watercourse. Recommended erosion control shall consist of all basins, or other erosion control methods as shown or approved by the project engineer. All new and existing lines pipes and structures shall be flushed clean after construction.
 - Provide erosion control blanket for all slopes 2:1 (horizontal to vertical) or steeper.
 - Timber and staked erosion and sedimentation controls be installed, then the contractor needs to prevent the discharge of turbid water off the project site.
 - Should additional erosion and sedimentation controls be needed, then the contractor needs to prevent the discharge of turbid water off the project site.
 - This plan provides reasonable assurance that the proposed construction activities will not result in erosion and sedimentation in violation of off-site, adverse impacts to wetland, off-site flooding or violation of water quality standards.

- Project Information**
- This plan is intended for use in conjunction with the Major Site Plan for this project.
 - The construction activities on this site consist of and will be performed in the following order: clearing and grubbing, excavation of the proposed roadway and drainage, concrete improvements.
 - The estimated project area is 1.55 acres. The area to be disturbed by construction is 0.11 acres.
 - The topography of the area is gently sloping to dipping and generally decreases the drainage basins as shown on the Hydrographic Plan and Topographic Plan. Existing water is 100% Grade 100% type "A" topography soil, which is well-drained to moderately drained and according to the National Resource Conservation Service (NRCS) classification.



Stabilization Schedule:
(Required to be completed by Contractor)

Major Construction Activities:
Start Date: _____
End Date: _____
Close Construction Activities:
Temporary Date: _____
Permanent Date: _____
Date that Stabilization Measures were Installed: _____

Permittee's Certification:
The undersigned certifies that the surface water and stormwater management measures proposed in the plan will be effectively implemented until completion of the project or until the permanent surface water management system is operational.

Contractor's Certification:
I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida General Permit for Stormwater Discharge from Large and Small Construction Activities and the Stormwater Pollution Prevention Plan prepared hereunder.

Signature: _____ Date: _____
Print Name: _____
Address: _____
Phone Number: _____

INFORMATION FOR ELECTRONICALLY SIGNED AND SEALED DOCUMENTS
If this item has been electronically signed and sealed it uses a SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED OR SEALED. THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
NOTHING FOLLOWS, PRINTED COPIES ARE VALID IF PHYSICALLY SIGNED, COPIED AND SEALED WITH THE ENGINEER'S EMBOSSED SEAL.

MICHAEL W. RADCLIFFE ENGINEERING, INC.
Professional Engineer
No. 12000
State of Florida
Professional Seal
No. 12000
State of Florida
Professional Seal
No. 12000
State of Florida
Professional Seal

Stormwater Pollution Prevention Plan
(SWPPP)

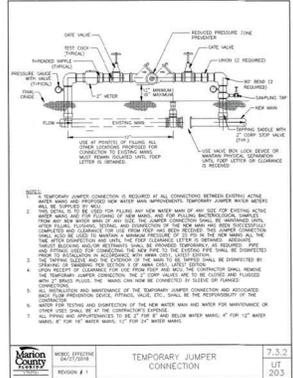
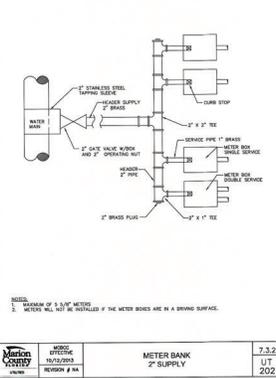
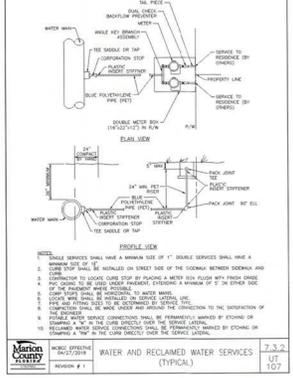
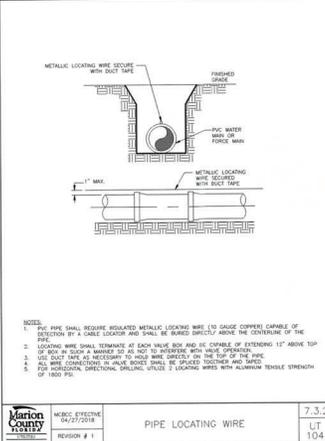
Sheet No. 0013 of 0016

DATE: 2/22/2021
TIME: 10:00 AM

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
 APPLICATION #: 2408
 APPROVAL DATE: 2/22/2021
 EXPIRATION DATE: 2/22/2023

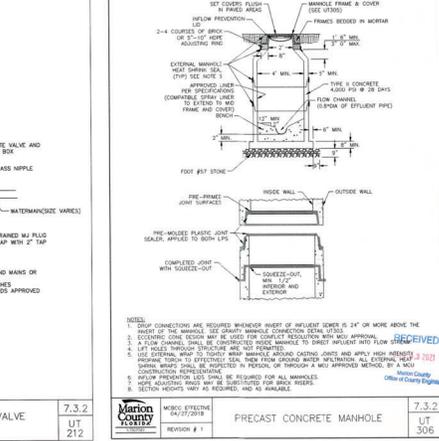
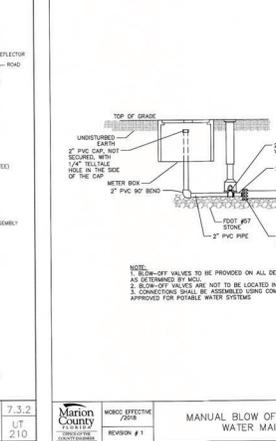
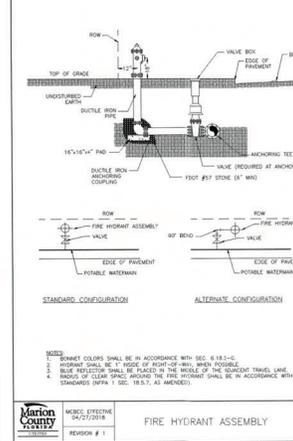
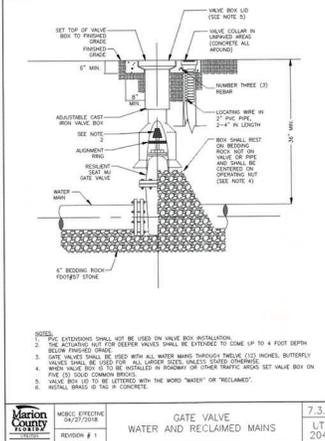
All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be restored to original condition. Street and right-of-way shall be used if approved by the County Engineer or designee.

NOTICE
 The approval of these plans is limited to the construction shown on the plans. Marion County will not be responsible for the maintenance of these projects or additional permits, as applicable, by state and/or federal laws.



MAJOR SITE PLAN
 for OAK TRACE VILLAS - PHASE 2
 MARION COUNTY, FLORIDA

NOTE: CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.



MICHAEL W. RUDOLPH ENGINEERING, INC.
 1000 W. UNIVERSITY BLVD., SUITE 100
 GAITHERSBURG, MD 20878
 TEL: 301-279-2200
 FAX: 301-279-2202
 WWW.MRENGR.COM

Project Name: Oak Trace Villas - Phase 2
 Date: 5/10/21

Sheet No. 0016 of 016

| UTILITY | DIMENSION | LOCATION | UNDERGROUND |
|----------------------|------------------------|----------|-------------|
| GAS | A | F | 30" |
| WATER | B | F | 30" |
| SEWER F.M. | C | F | 30" |
| TELEPHONE CONDUIT | D | F | 30" |
| TELEPHONE CABLE | E | F | 30" |
| IR-CABLE | G | F | 30" |
| ELECTRIC UNDERGROUND | H | F | 30" |
| ELECTRIC POLES* | TANGENT W/RIGHT-OF-WAY | | |

* AND ASSOCIATED ABOVE GROUND EQUIPMENT
 * MAINTAIN CLEAR ZONE REQUIREMENTS AS DEFINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION

UNLESS OTHERWISE APPROVED BY COUNTY ENGINEER

| | | | | |
|---------------------------|----------------------------|---------------|----------------------------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # NA | UTILITY POSITION IN RIGHT-OF-WAY | 7.3.1 |
| | | | | UT 006 |

CHAIN LINK FENCE DETAIL

CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.

| | | | | |
|---------------------------|----------------------------|---------------|------------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # NA | CHAIN LINK FENCE | 7.3.2 |
| | | | | UT 100 |

TYPE "A" BEDDING AND TRENCHING

CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.

| | | | | |
|---------------------------|----------------------------|--------------|--------------------------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # 1 | TYPE "A" BEDDING AND TRENCHING | 7.3.2 |
| | | | | UT 102 |

DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA

APPLICATION # 24026
 APPROVAL DATE: 2/22/2021
 EXPIRATION DATE: 2/22/2023

All construction that conforms to the construction requirements contained in the Marion County Land Regulations and other applicable codes shall be approved and issued. Street and utility lines shall be installed in accordance with the requirements of other agencies for additional permits, as applicable, to their respective agencies.

MAJOR SITE PLAN
 or OAK TRACE VILLAS - PHASE 2
 MARION COUNTY, FLORIDA

| | | | | |
|---------------------------|----------------------------|--------------|-----------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # 1 | MAJOR SITE PLAN | 7.3.2 |
| | | | | UT 102 |

TYPE "B" BEDDING AND TRENCHING

CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.

| | | | | |
|---------------------------|----------------------------|--------------|--------------------------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # 1 | TYPE "B" BEDDING AND TRENCHING | 7.3.2 |
| | | | | UT 103 |

REDUCED PRESSURE BACKFLOW PREVENTER

CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.

| | | | | |
|---------------------------|----------------------------|---------------|-------------------------------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # NA | REDUCED PRESSURE BACKFLOW PREVENTER | 7.3.2 |
| | | | | UT 209 |

FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY

CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.

| | | | | |
|---------------------------|----------------------------|--------------|--|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # 1 | FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY | 7.3.2 |
| | | | | UT 208 |

SEWER SERVICE LATERAL

CONTRACTOR TO UTILIZE MARION COUNTY'S UTILITY MANUALS (LATEST EDITION) FOR WATER, SEWER AND LIFT STATION CONSTRUCTION DETAILS.

| | | | | |
|---------------------------|----------------------------|--------------|-----------------------|--------|
| MARION COUNTY ENGINEERING | MOBIC EFFECTIVE 10/25/2013 | REVISION # 1 | SEWER SERVICE LATERAL | 7.3.2 |
| | | | | UT 312 |

MICHAEL W. RADCLIFFE ENGINEERING, INC.
 10000 W. US HWY 90, SUITE 100, OAK TRAIL, FLORIDA 32051
 PHONE: 352-277-4433 FAX: 352-277-7000
 WWW.MICHAELWRE.COM

Sheet No. C016 of C016

GENERAL NOTES

- NOTE A. FOR ALL EXISTING AND NEW PLANT MATERIAL, TYPES AND ACTUAL LAYOUT SHALL BE DETERMINED ON THE DATE AND PERMITTED. TYPICAL LAYOUT AND PLANT MATERIAL AND SPACING TO BE PERMITTED.
- NOTE B. FOR ALL CLEARANCE AREAS AND COMMON RECREATION AREAS, PLANT MATERIAL TYPES AND LAYOUT SHALL BE DETERMINED AS THE PERMITTED AND PERMITTED.
- NOTE C. SEE GOLF PLANS FOR ALL AREAS AND SPACING OF THE NEW REE-PLANTED AND PLANTING. THIS WORK SHALL BE THE RESPONSIBILITY OF THE GOLF CONTRACTOR AND IS NOT INCLUDED IN THE SCOPE FOR THE LANDSCAPE CONTRACTOR.
- NOTE D. PLANT MATERIAL IN THE BUFFER AREAS SHOWN WITH THIS NOTE SHALL BE SET 2' AWAY AND WILL BE INSTALLED IN DOUBLE STAGGERED FORM.
- NOTE E. SEE GOLF PLANS FOR ALL AREAS AND SPACING OF ALL EXISTING AREAS WITHIN THE AREA OF THE BUFFER AREAS. THIS WORK SHALL BE THE RESPONSIBILITY OF THE GOLF CONTRACTOR AND IS NOT INCLUDED IN THE SCOPE FOR THE LANDSCAPE CONTRACTOR.

TYPICAL LANDSCAPE MATERIAL SPECIFICATIONS

| GROUP | DESCRIPTION | QUANTITY | PLANT SPECIFICATION |
|-----------------------|----------------------------------|----------|--|
| SHRUB TREES | 1. MANISIA IMBRIOLATA TORALANUS/ | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| | 2. PTERIS PALM | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| | 3. SYZYGIA SPINOSA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| ORNAMENTAL TREES | 1. CAESALPINIA SPINOSA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| | 2. CAESALPINIA SPINOSA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| | 3. CAESALPINIA SPINOSA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| GRASS AND BERMGRASSES | 1. ANNA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| | 2. ANNA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |
| | 3. ANNA | 100 | 4" GAL. CAL. 1/2" - 1" TALL, BRN2 LEAF, 100% FT. TALL CANOPY |

DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA
 APPLICATION # 24028
 APPROVAL DATE: 2/22/2021
 EXPIRATION DATE: 2/22/2023

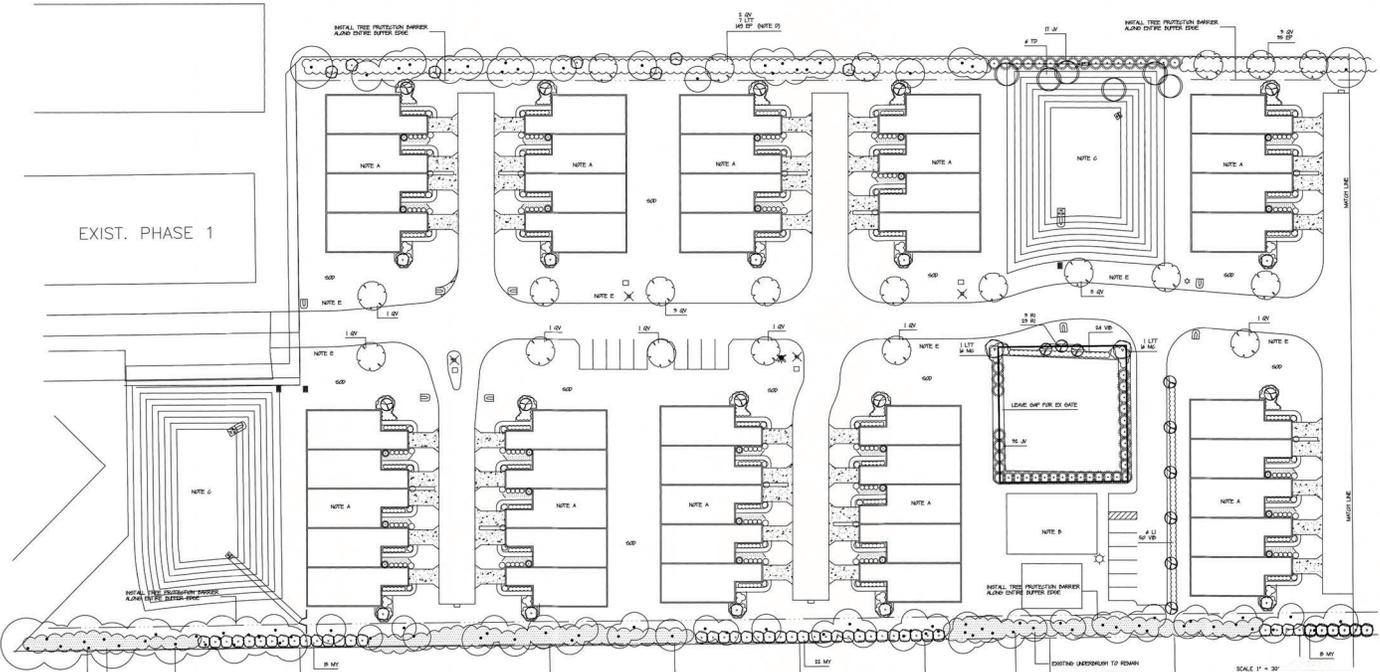
All construction shall conform to the conditions and specifications contained in the Marion County and Development Code. The applicant agrees to be bound by any stipulations, conditions, and specifications contained in the approved and recorded deed and plat maps and any other documents approved by the County Engineer or otherwise.

The approval of these plans is limited to the conditions and specifications of Marion County and does not constitute nor waive the responsibility of other agencies for additional permits, as applicable, by state and/or federal laws.

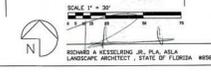
| | | | | |
|----------------------------------|----------|----------------|----------|------|
| DATE | 12/15 | REVISED LAYOUT | REV. NO. | DATE |
| SCALE | 1" = 30' | DESCRIPTION | | |
| PROJECT NAME | RAK | | | |
| PROJECT NO. | | | | |
| DESIGNER | EDK | | | |
| ARCHITECT | EDK | | | |
| LANDSCAPE ARCHITECT | EDK | | | |
| REGISTERED PROFESSIONAL ENGINEER | EDK | | | |

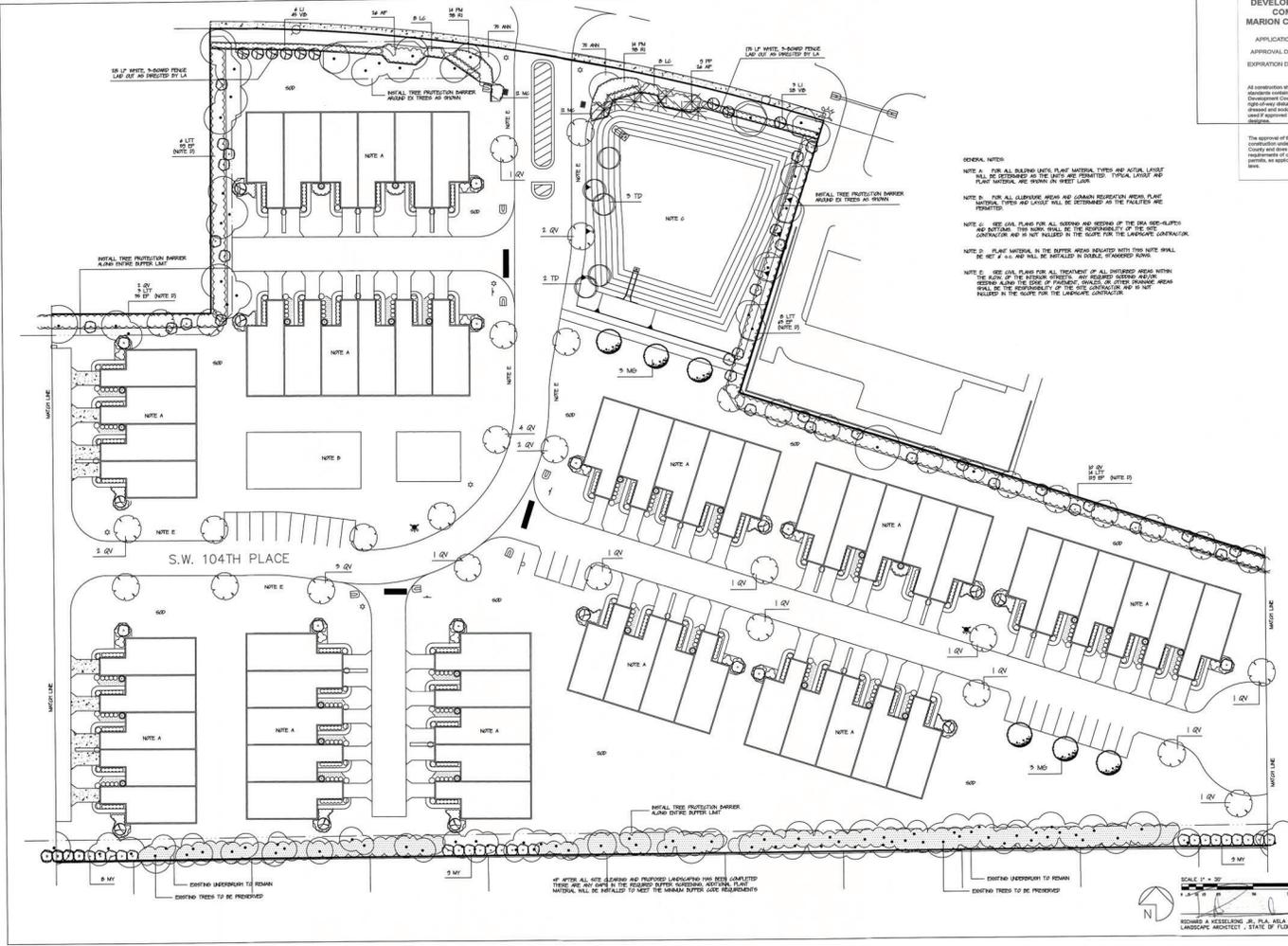
LANDSCAPE PLAN
 OAK TRACE VILLAS
 PHASES 2 & 3
 MARION CO FLORIDA

RECEIVED
 MAR 18 2021
 Marion County Planning Department



IF AFTER ALL SITE CLEARING AND PLANTING HAS BEEN COMPLETED THE PERMITS ARE IN THE POSSESSION OF THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE METAL TREES TO BE PRESERVED TO MEET THE MINIMUM BUFFER REQUIREMENTS.





DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 2402
APPROVAL DATE: 2022/02/23
EXPIRATION DATE: 2022/02/23

All construction shall conform to the applicable provisions contained in the Marion County Land Development Code, which includes the right-of-way established during construction and shall be reviewed and recorded. Street and utility layout if approved by the County Board.

NOTICE
The approval of these plans by the Marion County Board of Commissioners does not constitute an approval of the project or any other requirements of other agencies or local ordinances, as applicable, by name or by reference.

- GENERAL NOTES:
- NOTE A: FOR ALL DESIGNATED PLANT MATERIAL TYPES AND ACTUAL LAYOUT WILL BE DETERMINED AS THE OWNER AND GRANTEE. TYPICAL LAYOUT AND PLANT MATERIALS ARE SHOWN IN THESE LISTS.
 - NOTE B: FOR ALL CLEARANCE AREAS AND COMMON RECREATION AREAS, PLANT MATERIAL TYPES AND LAYOUT WILL BE DETERMINED AS THE OWNER AND GRANTEE.
 - NOTE C: USE GOLF PLANS FOR ALL BUILDING AND SETBACKS OF THE AREA (SEE-PLATES AND PARTIALS). THIS SHALL BE THE RESPONSIBILITY OF THE SET-BACK CONTRACTOR AND IS NOT INCLUDED IN THE SCOPE FOR THE LANDSCAPE CONTRACTOR.
 - NOTE D: PLANT MATERIALS IN THE BUFFER AREAS SHOWN WITH THIS NOTE SHALL BE SET IN ALL AND WILL BE INSTALLED IN DOUBLE SPACED ROWS.
 - NOTE E: USE GOLF PLANS FOR ALL TREATMENT OF ALL DISTURBED AREAS WITHIN THE SCOPE OF THE PROJECT. ALL REQUIRED SETBACKS AND BUFFER AREAS SHALL BE THE RESPONSIBILITY OF THE SET-BACK CONTRACTOR AND IS NOT INCLUDED IN THE SCOPE FOR THE LANDSCAPE CONTRACTOR.

| | |
|-----------|----------|
| DATE: | 12 / 15 |
| DESIGNER: | RAK |
| SCALE: | 1" = 30' |
| JOB NO.: | |

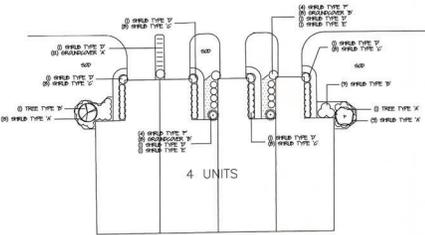
ENVIRONMENTAL DESIGN
INCORPORATED
1000 W. 10th Street
Gulf Breeze, Florida 32561
351/666-8888
www.edkinc.com

EDK

LANDSCAPE PLAN
OAK TRACE VILLAS
PHASES 2 & 3
MARION CO FLORIDA

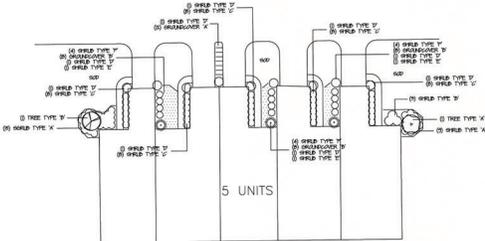
SHEET 1622 of 1622

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6.3.2021
Marion County
Planning Dept.



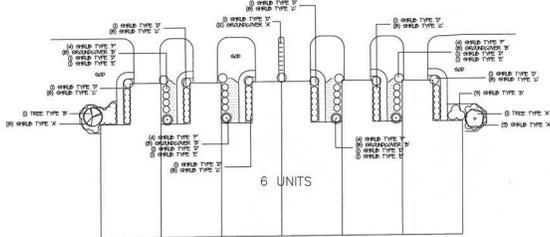
TYPICAL 4-UNIT BUILDING

LANDSCAPE MATERIALS LISTED IN THIS SHEET ARE SUBJECT TO CHANGE WITHOUT NOTICE. LANDSCAPE MATERIALS LISTED IN THIS SHEET ARE SUBJECT TO CHANGE WITHOUT NOTICE.



TYPICAL 5-UNIT BUILDING

LANDSCAPE MATERIALS LISTED IN THIS SHEET ARE SUBJECT TO CHANGE WITHOUT NOTICE. LANDSCAPE MATERIALS LISTED IN THIS SHEET ARE SUBJECT TO CHANGE WITHOUT NOTICE.



TYPICAL 6-UNIT BUILDING

LANDSCAPE MATERIALS LISTED IN THIS SHEET ARE SUBJECT TO CHANGE WITHOUT NOTICE. LANDSCAPE MATERIALS LISTED IN THIS SHEET ARE SUBJECT TO CHANGE WITHOUT NOTICE.

LANDSCAPE MATERIAL RECOMMENDATIONS

| TREE TYPE | LANDSCAPE MATERIAL | SHRUB TYPE | LANDSCAPE MATERIAL |
|---------------|--|---|--|
| TREE TYPE X | LAUREL OAK MAGNOLIA LIGNUM VIRGINE LIGNUM VIRGINE | SHRUB TYPE 1 LITSEA MEXICANA FRUIT TREE | 1. 18 GAL. 1 1/2" CA. 4' - 7' TALL, MULTI-TRUNK, FULL CANOPY 2. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SINGLE TRUNK, FULL CANOPY 3. 18 GAL. 1 1/2" CA. 4' - 7' TALL, MULTI-TRUNK, FULL CANOPY |
| TREE TYPE Y | LEAFY LIME MANGROVE CALIFORNIA REDWOOD | SHRUB TYPE 2 MELISSA MANGROVE BOTTLEBRUSH | 4. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SINGLE TRUNK, FULL CANOPY 5. 18 GAL. 1 1/2" CA. 4' - 7' TALL, MULTI-TRUNK, FULL CANOPY 6. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SINGLE TRUNK, FULL CANOPY |
| SHRUB TYPE X | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 3 MELISSA MANGROVE BOTTLEBRUSH | 7. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SINGLE TRUNK, FULL SET 3' x 4' 8. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 9. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE Y | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 4 MELISSA MANGROVE BOTTLEBRUSH | 10. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 11. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 12. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE Z | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 5 MELISSA MANGROVE BOTTLEBRUSH | 13. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 14. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 15. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 1 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 6 MELISSA MANGROVE BOTTLEBRUSH | 16. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 17. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 18. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 2 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 7 MELISSA MANGROVE BOTTLEBRUSH | 19. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 20. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 21. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 3 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 8 MELISSA MANGROVE BOTTLEBRUSH | 22. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 23. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 24. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 4 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 9 MELISSA MANGROVE BOTTLEBRUSH | 25. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 26. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 27. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 5 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 10 MELISSA MANGROVE BOTTLEBRUSH | 28. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 29. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 30. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 6 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 11 MELISSA MANGROVE BOTTLEBRUSH | 31. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 32. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 33. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 7 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 12 MELISSA MANGROVE BOTTLEBRUSH | 34. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 35. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 36. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 8 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 13 MELISSA MANGROVE BOTTLEBRUSH | 37. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 38. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 39. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 9 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 14 MELISSA MANGROVE BOTTLEBRUSH | 40. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 41. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 42. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 10 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 15 MELISSA MANGROVE BOTTLEBRUSH | 43. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 44. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 45. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 11 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 16 MELISSA MANGROVE BOTTLEBRUSH | 46. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 47. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 48. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 12 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 17 MELISSA MANGROVE BOTTLEBRUSH | 49. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 50. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 51. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 13 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 18 MELISSA MANGROVE BOTTLEBRUSH | 52. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 53. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 54. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 14 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 19 MELISSA MANGROVE BOTTLEBRUSH | 55. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 56. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 57. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 15 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 20 MELISSA MANGROVE BOTTLEBRUSH | 58. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 59. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 60. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 16 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 21 MELISSA MANGROVE BOTTLEBRUSH | 61. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 62. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 63. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 17 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 22 MELISSA MANGROVE BOTTLEBRUSH | 64. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 65. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 66. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 18 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 23 MELISSA MANGROVE BOTTLEBRUSH | 67. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 68. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 69. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 19 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 24 MELISSA MANGROVE BOTTLEBRUSH | 70. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 71. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 72. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 20 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 25 MELISSA MANGROVE BOTTLEBRUSH | 73. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 74. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 75. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 21 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 26 MELISSA MANGROVE BOTTLEBRUSH | 76. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 77. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 78. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 22 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 27 MELISSA MANGROVE BOTTLEBRUSH | 79. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 80. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 81. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 23 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 28 MELISSA MANGROVE BOTTLEBRUSH | 82. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 83. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 84. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 24 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 29 MELISSA MANGROVE BOTTLEBRUSH | 85. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 86. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 87. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 25 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 30 MELISSA MANGROVE BOTTLEBRUSH | 88. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 89. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 90. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 26 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 31 MELISSA MANGROVE BOTTLEBRUSH | 91. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 92. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 93. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 27 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 32 MELISSA MANGROVE BOTTLEBRUSH | 94. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 95. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 96. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 28 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 33 MELISSA MANGROVE BOTTLEBRUSH | 97. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 98. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' 99. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |
| SHRUB TYPE 29 | SPYRUS SPYRUS SPYRUS | SHRUB TYPE 34 MELISSA MANGROVE BOTTLEBRUSH | 100. 18 GAL. 1 1/2" CA. 4' - 7' TALL, SET 3' x 4' |

LANDSCAPE NOTES

1. ALL LANDSCAPE NOTES ON OTHER SHEETS APPLY TO THIS INSTALLATION.
2. SPECIFIC NOTES WILL BE DETERMINED BY FURNISHING AS SHOWN BY OWNER.
3. LANDSCAPE MATERIALS SHALL BE SELECTED FROM THE RECOMMENDED LISTES SHOWN ABOVE. THE OWNER SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL. PLANT LIST TO UNIT NO. THAT THERE IS A SHORTAGE OF UNITS THROUGHOUT THE INSTALLATION.
4. PLANT MATERIAL SELECTION SHALL BE DETERMINED BY THE LANDSCAPE CONTRACTOR AND SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
5. ALTERNATIVE MATERIALS MAY BE CONSIDERED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
6. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH 1" - 1 1/2" OF APPROVED IRRIGATION.
7. ALL OTHER AREAS BETWEEN THE PERIMETER OF THE UNITS AND THE DRIVE SHALL BE COVERED WITH 2" OF GRANULITE FURNISHING AND AS SPECIFIED ON OTHER SHEETS.
8. ALL LANDSCAPE INSTALLATION AREAS SHALL BE COVERED BY A DRIP-IRRIGATION SYSTEM.
9. DRIP LINES SHALL BE SPACED NO GREATER THAN 30" AND SHALL BE GROUPED AND COMPLETELY COVERED BY THE IRRIGATION.

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION # 24028
APPROVAL DATE 2/22/2021
EXPIRATION DATE 2/22/2023

All construction shall conform to the conditions and specifications contained in the approved final plat and any amendments thereto. The applicant shall be responsible for obtaining all necessary permits from the Marion County Department of Public Works, Engineering and Planning. The applicant shall be responsible for obtaining all necessary permits from the Marion County Department of Public Works, Engineering and Planning. The applicant shall be responsible for obtaining all necessary permits from the Marion County Department of Public Works, Engineering and Planning.

NOTICE

The approval of these plans is limited to the construction shown on the plat and does not constitute an approval of the plat or any other documents. The applicant shall be responsible for obtaining all necessary permits from the Marion County Department of Public Works, Engineering and Planning. The applicant shall be responsible for obtaining all necessary permits from the Marion County Department of Public Works, Engineering and Planning. The applicant shall be responsible for obtaining all necessary permits from the Marion County Department of Public Works, Engineering and Planning.

| | | | | | | | | | | | |
|------|---------|----------|-----|-------|----------|---------|-------|-----|------|-------------|----|
| DATE | 12 / 15 | DRAWN BY | RAK | SCALE | 1" = 20' | JOB NO. | 24028 | NO. | DATE | DESCRIPTION | BY |
| DATE | 12 / 15 | DRAWN BY | RAK | SCALE | 1" = 20' | JOB NO. | 24028 | NO. | DATE | DESCRIPTION | BY |

EDK

ENVIRONMENTAL DESIGN
ANY RESIDENTIAL LANDSCAPE ARCHITECT
DESIGN, CONSTRUCTION, AND MAINTENANCE
OF LANDSCAPE ARCHITECTURE, PLANNING, DESIGN

TYPICAL UNIT LANDSCAPING
OAK TRACE VILLAS
PHASES 1 & 2
MARION CO FLORIDA

SHEET 180 OF 180



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21787

Agenda Date: 1/12/2026

Agenda No.: 6.2.

SUBJECT:

Ocala Preserve Phase 14 - Improvement Plan - Extension Request

PID#: 13687-000-00 #26463

Atwell, LLC

On 12/31/25, the Applicant requested a one-year extension for this Improvement Plan. The request is to extend one year from the current expiration date of June 9, 2026. The new expiration date would be June 9, 2027.



CONSULTING. ENGINEERING. CONSTRUCTION.

12/31/25

Marion County Development Review Committee
601 SE 25th Ave.
Ocala, FL 34471

**RE: Request Permit Extension for Ocala Preserve Ph. 14
Application #: 26463**

Dear Reviewers,

This letter is to request a permit extension to be placed on the DRC meeting agenda for Application # 26463 - Ocala Preserve Phase 14, which expires 6/9/2026.

Please feel free to reach out should you have any questions.

Thank you,

David Staley

David Staley, P.E.
ATWELL, LLC
Project Manager
Phone: 904.719.2766
Email: dstaley@atwell.com

From: David Staley
 To: Development Review
 Cc: Craig L McIntosh
 Subject: RE: Permit Extension for Application # 26463
 Date: Wednesday, December 31, 2025 12:53:04 PM
 Attachments: [image002.png](#)
[Permit Extension Request for Ocala Preserve Ph 14.pdf](#)

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER
 This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Please see attached letter requesting a permit extension to be placed on the DRC meeting agenda for Ocala Preserve Phase 14.

Please let me know if additional information is needed.

Thank you,

David Staley, P.E.
 Project Manager
 ATWELL, LLC
 904.719.2766 Mobile

From: Development Review <DevelopmentReview@marionfl.org>
 Sent: Tuesday, December 30, 2025 4:52 PM
 To: David Staley <dstaley@atwell.com>; Development Review <DevelopmentReview@marionfl.org>
 Cc: Craig L McIntosh <craigmcintosh@forestar.com>
 Subject: RE: Permit Extension for Application # 26463

Good afternoon,

You would send an email at least 30 days prior to the plan expiration date requesting an extension. The request would be placed on a DRC meeting agenda, and the Committee would vote on the request. There is a \$50 fee associated with the request.

Please feel free to reach out should you have any questions.

Kind regards,

Kelly

Your Development Review Team
 Office of the County Engineer

Marion County Board of County Commissioners
 412 SE 25th Ave., Ocala, FL 34471
 Main: 352-671-8686

Empowering Marion for Success!

Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

From: David Staley <dstaley@atwell.com>
 Sent: Tuesday, December 30, 2025 1:54 PM
 To: Development Review <DevelopmentReview@marionfl.org>
 Cc: Craig L McIntosh <craigmcintosh@forestar.com>
 Subject: Permit Extension for Application # 26463

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What would be the correct way to request a permit extension for Application # 26463 - Ocala Preserve Phase 14, which expires 6/9/2026?

IMPROVEMENT PLANS FOR OCALA PRESERVE PHASE 14

SECTION 33, TOWNSHIP 14 SOUTH, RANGE 21 EAST

MARION COUNTY, FLORIDA

| SITE INFORMATION | |
|--------------------------------|--|
| MASTER TAX PARCEL ID NUMBERS: | |
| 13887-000-00 | |
| TOTAL PROJECT AREA: 9.19 ACRES | |

| DEVELOPMENT DATA | |
|-------------------------|---|
| ZONING/FUTURE LAND USE: | PUD (AN 091901) / MEDIUM DENSITY RESIDENTIAL |
| LAND USE: | SINGLE-FAMILY DETACHED RESIDENTIAL HOUSING |
| DEVELOPMENT AGREEMENTS: | OR BAPD, 8661036-151, 81031171-1185, 38450302, 38421879-1082 |
| PHASE 14 AREA: | 9.19 AC |
| PROPOSED LOTS: | 77 |
| ROAD LENGTH: | 0.317 MILES |
| VERTICAL DATUM: | NAVD83 |
| WATER: | POTABLE WATER WILL BE PROVIDED BY MARION COUNTY UTILITIES |
| SEWER: | WASTEWATER WILL BE PROVIDED BY MARION COUNTY UTILITIES |
| GARBAGE: | SOLID WASTE PICKUP WILL BE PROVIDED BY A CITY/VA. WASTE Hauler. |
| FIRE PROTECTION: | FIRE PROTECTION IN ACCORDANCE WITH THE MARION COUNTY LDC WILL BE PROVIDED VIA THE CENTRAL POTABLE |

| GENERAL NOTES |
|---|
| 1. STREETS TO BE PRIVATE SUBDIVISION LOCAL ROADS WITH RESIDENTIAL USE DESIGN (SPEED 35 MPH, POSTED 35 MPH). |
| 2. RESIDENTIAL IRRIGATION IS VIA POTABLE WATER SYSTEM. GOLF COURSE AND COMMON AREA IRRIGATION IS VIA THE IRRIGATION SYSTEM GOVERNED UNDER BOPWAD WUP 2002011.003. |
| 3. TOPOGRAPHIC AND OTHER DATA IS BASED ON A SURVEY BY DEWPOINT SURVEYING, INC. FROM OCTOBER, 2020. EXISTING TOPOGRAPHY SHALL BE VERIFIED PRIOR TO CONSTRUCTION. |
| 4. ALL LOTS/TRACTS IN THIS DEVELOPMENT SHALL USE THE INTERNAL SUBDIVISION ROADS/DRIVE FOR DRIVEWAYS/DRIVE 2. ACCESS DRIVE TO DRIVEWAY/VEHICLE ACCESS TO US HIGHWAY 27, N.W. 44TH AVE. OR N.W. 45TH STREET IS PROHIBITED. |
| 5. DEVELOPMENT OF ANY OF THE PROPERTY SHOWN IN THIS SUBDIVISION PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PLUG MASTER PLAN. |
| 6. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER. |
| 7. NO INCREMENTAL CHANGES TO THIS SUBDIVISION. ADDITIONAL PERMITS ARE REQUIRED FOR CHANGES. |
| 8. THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCLUSORY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC UTILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO DEFERRED CONCLUSORY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCLUSORY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO IMPROVEMENT PLAN FINAL PLAN SITE PLAN OR BUILDING PERMIT REVIEW. |

**COUNTY ENGINEER
MARION COUNTY, FLORIDA**

APPLICATION # 26463
 APPROVAL DATE: 6/9/2021
 EXPIRATION DATE: 6/9/2026

The approval of these plans by Marion County denotes approval in accordance with applicable County regulations, ordinances, and specifications. Approval does not include verification or endorsement of functional aspects, materials, methods, or number of construction units. Does not constitute a professional seal or engineering contribution to a professional seal by the County nor any of its employees or agents.

All construction shall conform to the construction documents contained in the Marion County Land Development Code. Meet section. Areas of the right-of-way disturbed during construction shall be preserved and restored. (Seed and mulch may be used if approved by the County Engineer or engineer.)

NOTICE
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirements of other approvals for additional permits, as applicable, by any other federal laws.

WALDROP ENGINEERING

LAW DEVELOPMENT CONSULTANT
 CIVIL ENGINEER
 JASON MITCHELL (OWNER) - STATE REG. NO. 10464 - FL 32721
 P. 352.225.1232 | E. 1027.1232 | WWW.WALDROPENGINEERING.COM

David Staley, P.E.
 Project Manager
 ATWELL, LLC
 904.719.2766 Mobile
 7807 Baymeadows Road | Suite 200 | Jacksonville, FL 32256
www.atwell.com
 Local Solutions | National Presence

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**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

26463

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 03/18/2021
mm/dd/yyyy

A. PROJECT INFORMATION:

Project Name: Ocala Preserve Phase 14
Parcel Number(s): 13687-000-00
Section 33 Township 14 Range 21 Land Use MR Zoning Classification PUD
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: IMPROVEMENT PLAN
Property Acreage 9.19 Number of Lots 27 Miles of Roads 0.1
Location of Property with Crossroads US 27, approximately 2 miles west of I-75
Additional comments regarding this submittal _____

B. CONTACT INFORMATION (fill in as applicable):

Engineer:

Firm Name: Waldrop Engineering, P.A. Contact Name: Damon Parrish
Mailing Address: 262 Maitland Center Pkwy, Ste 262 City: Maitland State: FL Zip Code: 32751
Phone # 407-775-6505 Alternate Phone # 863-514-8444
Email(s) for contact via ePlans: damon.parrish@waldropengineering.com

Surveyor:

Firm Name: GeoPoint Surveying, Inc. Contact Name: David Williams
Mailing Address: 213 Hobbs Street City: Tampa State: FL Zip Code: 33619
Phone # 813-248-8888 Alternate Phone # _____
Email(s) for contact via ePlans: davidw@geopointsurvey.com

Owner:

Owner: Forestar USA Real Estate Group, Inc. Contact Name: John Garrity
Mailing Address: 4042 Park Oaks Blvd, Ste 200 City: Tampa State: FL Zip Code: 33610
Phone # 813-392-3385 Alternate Phone # _____
Email address: johngarrity@forestar.com

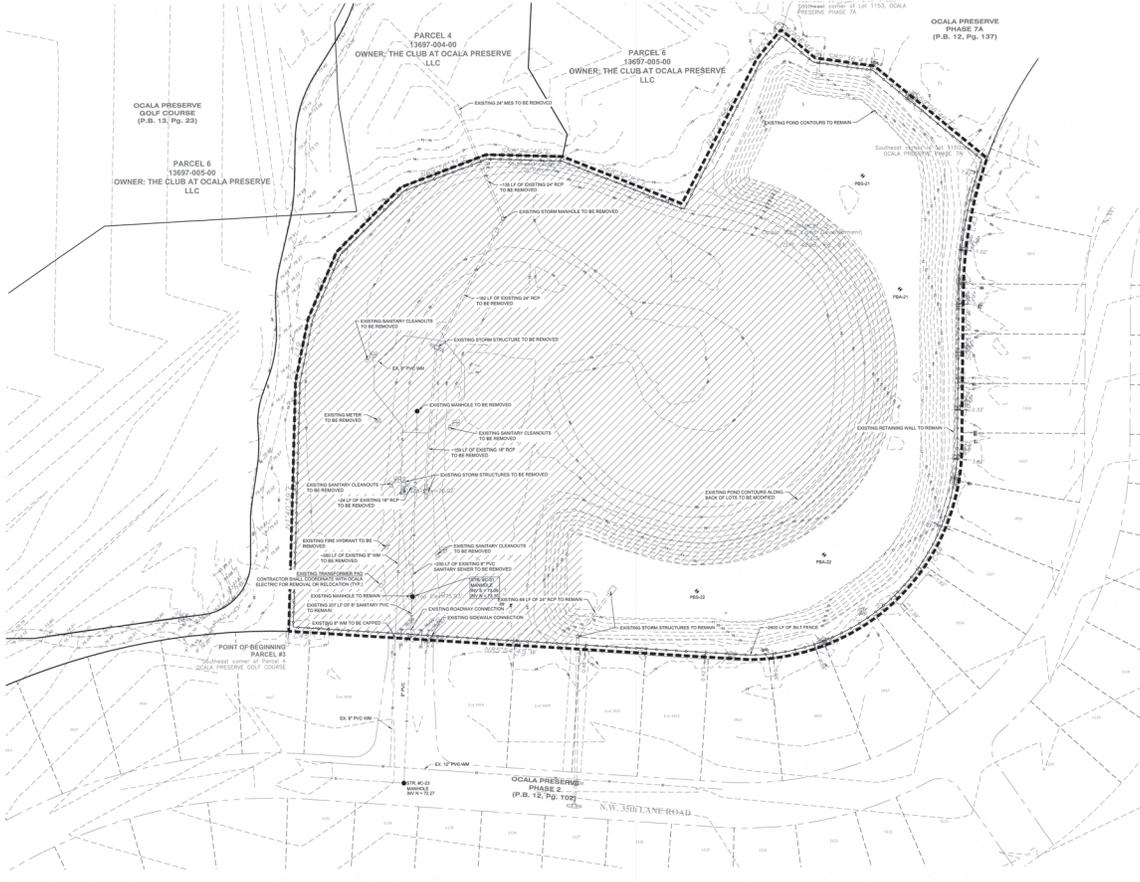
Developer:

Developer: Forestar USA Real Estate Group, Inc. Contact Name: John Garrity
Mailing Address: 4042 Park Oaks Blvd, Ste 200 City: Tampa State: FL Zip Code: 33610
Phone # 813-392-3385 Alternate Phone # _____
Email address: johngarrity@forestar.com

Revised 7/2017

COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 26463
 EXPIRATION DATE: 06/30/2021

The approval of these plans by Marion County is based on the information provided and does not constitute a warranty of any kind. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules and regulations.



LEGEND

| | |
|--------------------|--|
| [Hatched Box] | LIMITS OF DISTURBANCE |
| [Dashed Line] | UTILITY FENCE (48" x 12") |
| [Thick Solid Line] | PHASE LINE |
| [Star Symbol] | SURVEY POINTS (PROVIDED BY FEDERAL SURVEY) |

IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 40'

DATE: 06/18/2021

PROJECT: Ocala Preserve Phase 14

NO. 7316

DATE: 06/18/2021

SET NUMBER: 1443-204-02

SHEET: 201

RECEIVED
 JUN 18 2021
 Marion County
 Engineering Department



COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 26431
 EXPIRATION DATE: 09/30/26

The approval of these plans by Marion County does not constitute an endorsement or approval of any product, material, or equipment used in the construction of the project. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies.

NOTICE
 All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the high-way right-of-way shown on this plan shall be reserved for future use. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies.

NOTICE
 The approval of these plans by Marion County does not constitute an endorsement or approval of any product, material, or equipment used in the construction of the project. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies.



IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 MASTER DEVELOPMENT PLAN

| | |
|--------------|----------|
| PLANNING | APPROVED |
| ENGINEERING | APPROVED |
| CONSTRUCTION | APPROVED |
| INSPECTION | APPROVED |
| MAINTENANCE | APPROVED |
| OPERATION | APPROVED |



SHEET NUMBER: 1142-204-02
 SHEET: 301

DATE: JUN 18 2021
 MARION COUNTY
 OFFICE OF COUNTY ENGINEER

| LINE TABLE | LINE TABLE | LINE TABLE | LINE TABLE | | | | | | | | |
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| LINE # | LENGTH | DIRECTION | LINE # | LENGTH | DIRECTION | LINE # | LENGTH | DIRECTION | LINE # | LENGTH | DIRECTION |
| L1 | 1.00 | N00°00'00"W | L1 | 1.00 | S00°00'00"E | L1 | 1.00 | E00°00'00"W | L1 | 1.00 | W00°00'00"E |
| L2 | 1.00 | N45°00'00"E | L2 | 1.00 | S45°00'00"W | L2 | 1.00 | E45°00'00"W | L2 | 1.00 | W45°00'00"E |
| L3 | 1.00 | N90°00'00"E | L3 | 1.00 | S90°00'00"W | L3 | 1.00 | E90°00'00"W | L3 | 1.00 | W90°00'00"E |
| L4 | 1.00 | N135°00'00"E | L4 | 1.00 | S135°00'00"W | L4 | 1.00 | E135°00'00"W | L4 | 1.00 | W135°00'00"E |
| L5 | 1.00 | N180°00'00"E | L5 | 1.00 | S180°00'00"W | L5 | 1.00 | E180°00'00"W | L5 | 1.00 | W180°00'00"E |
| L6 | 1.00 | N225°00'00"E | L6 | 1.00 | S225°00'00"W | L6 | 1.00 | E225°00'00"W | L6 | 1.00 | W225°00'00"E |
| L7 | 1.00 | N270°00'00"E | L7 | 1.00 | S270°00'00"W | L7 | 1.00 | E270°00'00"W | L7 | 1.00 | W270°00'00"E |
| L8 | 1.00 | N315°00'00"E | L8 | 1.00 | S315°00'00"W | L8 | 1.00 | E315°00'00"W | L8 | 1.00 | W315°00'00"E |
| L9 | 1.00 | N360°00'00"E | L9 | 1.00 | S360°00'00"W | L9 | 1.00 | E360°00'00"W | L9 | 1.00 | W360°00'00"E |

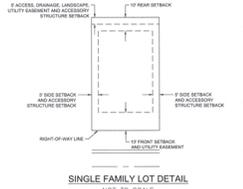
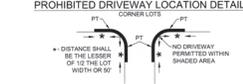
| CURVE TABLE | | | | CURVE TABLE | | | | | | | |
|-------------|--------|--------|-------|-------------|---------------|---------|--------|--------|-------|--------|---------------|
| CURVE # | LENGTH | RADIUS | DELTA | CHORD | CHORD BEARING | CURVE # | LENGTH | RADIUS | DELTA | CHORD | CHORD BEARING |
| C1 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C2 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C3 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C4 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C5 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C6 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C7 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C8 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C9 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C10 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C11 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C12 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C13 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C14 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C15 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C16 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C17 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C18 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C19 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C20 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C21 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C22 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C23 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C24 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C25 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C26 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C27 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C28 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C29 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C30 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C31 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C32 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C33 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C34 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C35 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C36 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C37 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C38 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C39 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C40 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C41 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C42 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C43 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C44 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C45 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C46 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C47 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C48 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C49 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C50 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C51 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C52 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C53 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C54 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C55 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C56 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C57 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C58 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C59 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C60 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C61 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C62 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C63 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C64 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C65 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C66 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C67 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C68 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C69 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C70 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C71 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C72 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C73 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C74 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C75 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C76 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C77 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C78 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C79 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C80 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C81 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C82 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C83 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C84 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C85 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C86 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C87 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C88 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C89 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C90 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C91 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C92 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C93 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C94 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C95 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C96 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |
| C97 | 1.00 | 100.00 | 90.00 | 141.42 | N45°00'00"E | C98 | 1.00 | 100.00 | 90.00 | 141.42 | S45°00'00"W |
| C99 | 1.00 | 100.00 | 90.00 | 141.42 | E45°00'00"W | C100 | 1.00 | 100.00 | 90.00 | 141.42 | W45°00'00"E |

| PARCEL TABLE | | |
|--------------|-------------------------|---------|
| NAME | LINE | AREA |
| TRACT A | RIGHT-OF-WAY | 4201 SF |
| TRACT B | FRONTAGE AND OPEN SPACE | 1200 SF |

MARION FRIENDLY LANDSCAPE AREA CALCULATION:
 LANDSCAPE AREA REQUIRED = 15% OF TOTAL ACREAGE = 15% x 0.66 AC = 1.178 ACRES

COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 25423
 EXPIRATION DATE: 09/30/26
 The approval of these plans by Marion County Engineer is based on the information provided and does not constitute a warranty of any kind. The contractor shall conform to the construction standards contained in the Marion County Land Development Code, latest version. Areas of the right-of-way shall be clearly marked and shall be protected and enclosed. Care shall be taken to use of approved by the County Engineer or his/her designee.

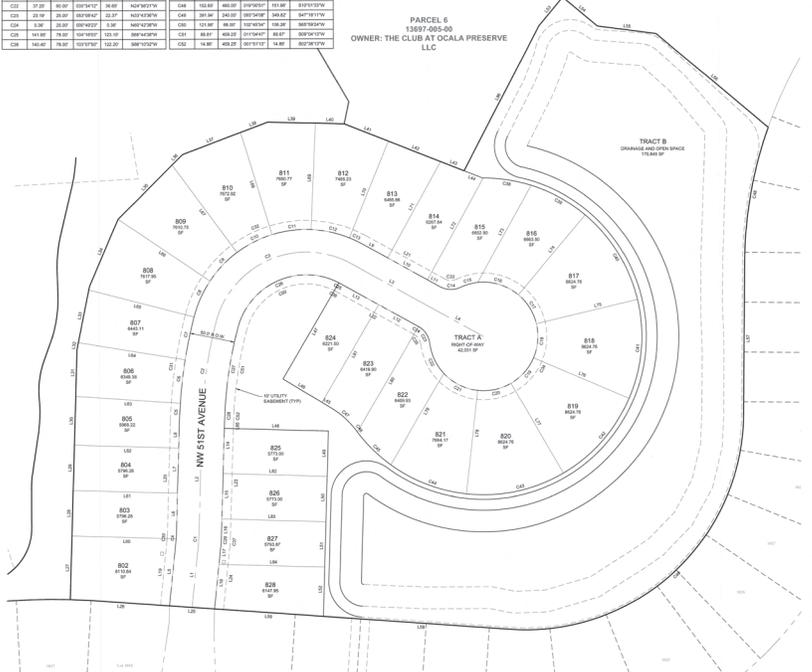
WALDRUP ENGINEERING
 2500 BULLOCK CENTER DRIVE, SUITE 202, MARIANA, FL 32714
 P: 407-253-0800, F: 407-253-0801, WWW.WALDRUP-ENG.COM



LOT DIMENSIONS, AREA AND SETBACKS

LOT AREA
 FRONT SETBACK
 SIDE SETBACK - INTERIOR
 SIDE SETBACK
 REAR SETBACK
 REAR POOL & ENCLOSURE SETBACK
 ACCESSORY STRUCTURE SETBACK

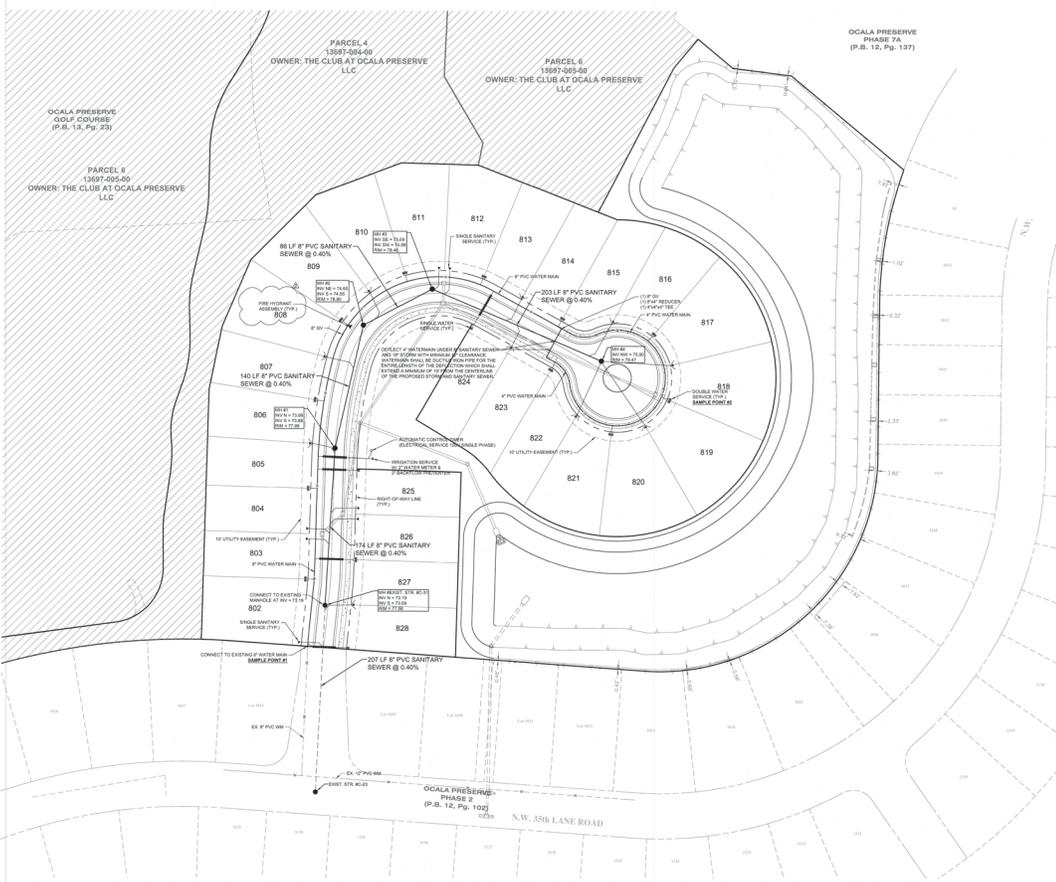
• REAR POOL AND ENCLOSURE SETBACK SHALL BE 1' (MIN.) FOR LOTS ADJACENT TO RECREATION/OPEN SPACE OR GOLF USE.



COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION #: 25463
 APPROVAL DATE: 6/9/2021
 EXPIRATION DATE: 6/9/2023

The approval of these plans by Marion County does not constitute an endorsement or approval of the design, construction, or maintenance of the project. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies and for obtaining all necessary easements and rights-of-way. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies and for obtaining all necessary easements and rights-of-way.

NOTICE
 The approval of these plans by Marion County does not constitute an endorsement or approval of the design, construction, or maintenance of the project. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies and for obtaining all necessary easements and rights-of-way.



UTILITY LEGEND

| WATER | SANITARY SEWER |
|-------------------------|------------------|
| — WATER VALVE | — MANHOLE |
| — FIRE CONTROL ASSEMBLY | — DOUBLE SERVICE |
| — DOUBLE SERVICE | — DOUBLE SERVICE |
| — SINGLE SERVICE | — SANITARY SEWER |
| — WATER MAIN | — MAN |

- GENERAL NOTES**
1. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>
 - 2. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>
 - 3. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>
 - 4. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>
 - 5. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>
 - 6. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>
 - 7. ALL DIMENSIONS SHALL BE NOTIFIED WITH A MINIMUM HORIZONTAL SEPARATION OF 18\"/>

IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 UTILITY PLAN

PLAN SYSTEMS
 11000 W. UNIVERSITY BLVD., SUITE 1000, GAITHERSBURG, MD 20878
 TEL: 301-251-1000 FAX: 301-251-1001
 WWW.PLANSYSTEMS.COM

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1 | 6/9/2021 | ISSUED FOR PERMIT |

SCALE: AS SHOWN

PROJECT NUMBER: 1143-204-02

RECEIVED
 JUN 18 2021
 MARION COUNTY
 COUNTY ENGINEER

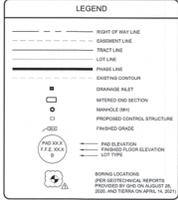
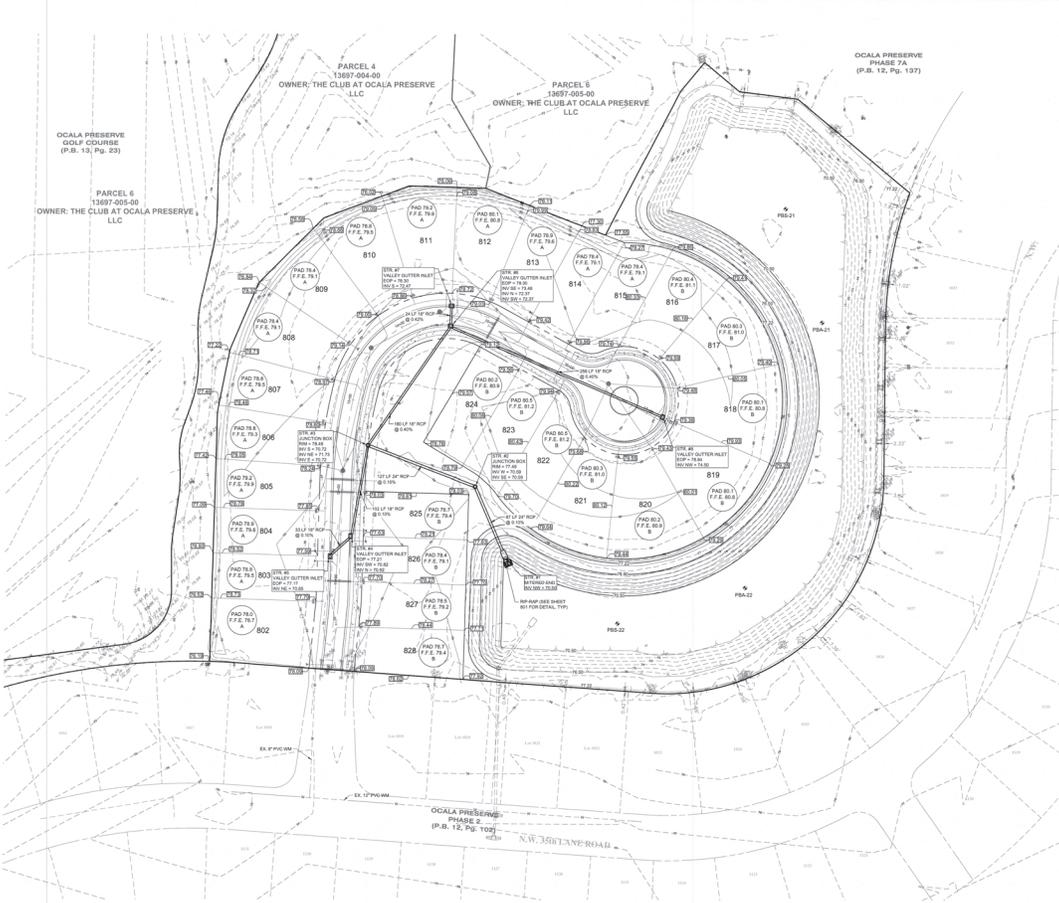
COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 20463
 APPROVAL DATE: 6/9/2021
 EXPIRATION DATE: 6/9/2026

The approval of these plans by Marion County Engineer is based on the information provided and does not constitute a warranty of any kind. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The County Engineer is not responsible for the design or construction of the project.

NOTICE
 The approval of these plans is based on the information provided and does not constitute a warranty of any kind. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The County Engineer is not responsible for the design or construction of the project.



IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 GRADING & DRAINAGE PLAN



- GENERAL NOTES**
1. LOT GRADE PRIOR TO BUILDING CONSTRUCTION IS FINISHED FLOOR GRADE.
 2. LOT GRADE PRIOR TO BUILDING CONSTRUCTION SHALL EXTEND 8' BEYOND BOUNDARIES/DESKAL PROPERTY.
 3. MINIMUM SLOPE FOR OVERHEAD/UNDER LINES SHALL BE 1% SLOPE IS INDICATED IN REAS WHERE MIN. SLOPE IS NOT STATED.
 4. ALL GRADES ARE TO TOP OF SOIL.
 5. ALL EXISTING AND NEW JOINTS AND BOX INLETS TO BE WRAPPED WITH FOOT APPROVED FILTER FABRIC PER FOOT INLET.
 6. ELEVATIONS SHOWN HEREIN ARE PER NORTH AMERICAN VERTICAL DATUM 1988.
 7. ALL SOIL BENEATH EXISTING SURFACE INVESTIGATION AND ALL OTHER GEOTECHNICAL ACTIVITY SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 8. THE FOLLOWING DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT DESIGN STANDARD:
 - 1) BOX INLETS (FDOT AREA 301 AND 302)
 - 2) WEIR BOX STRUCTURE (AREA 301)
 9. VALLEY GUTTER INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL ON SHEET 811.

PLAN REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

SCALE: 1" = 40'

DATE: 6/9/2021

PROJECT: Ocala Preserve Phase 14

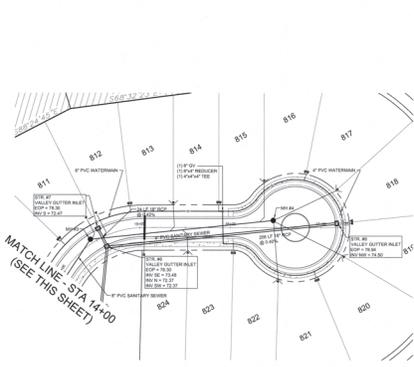
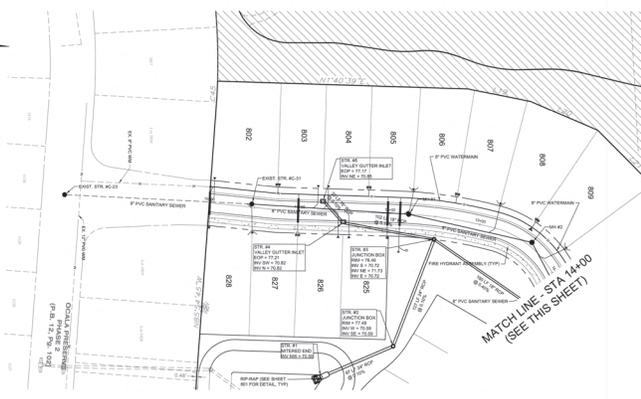
CLIENT: The Club at Ocala Preserve LLC

ENGINEER: Waldrop Engineering, Inc.

REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 72545
 DATE: 11/11/2014

SET NUMBER: 1145-204-02
 SHEET: 801

RECEIVED
 JUN 18 2021
 MARION COUNTY
 ENGINEER



STREET A

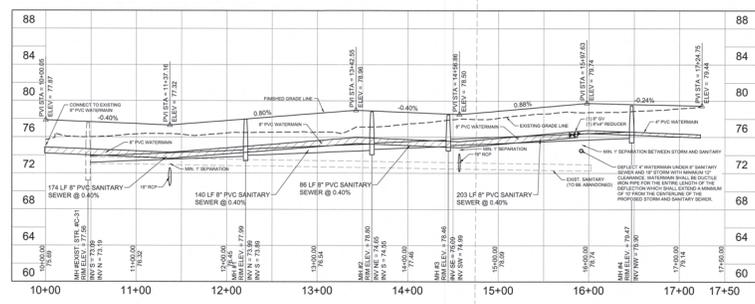
COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 26463
 APPROVAL DATE: 6/9/2021
 EXPIRATION DATE: 6/9/2026

The approval of these plans by Marion County, Florida, signifies that the project complies with applicable County regulations, codes, and standards. It does not constitute an endorsement or approval of the project or the contractor. The contractor is responsible for obtaining all necessary permits and for ensuring that the project complies with all applicable laws and regulations. The contractor shall maintain a current and valid Professional Engineer's License in the State of Florida. The contractor shall maintain a current and valid Professional Engineer's License in the State of Florida. The contractor shall maintain a current and valid Professional Engineer's License in the State of Florida.

NOTICE
 The approval of these plans by Marion County, Florida, signifies that the project complies with applicable County regulations, codes, and standards. It does not constitute an endorsement or approval of the project or the contractor. The contractor is responsible for obtaining all necessary permits and for ensuring that the project complies with all applicable laws and regulations. The contractor shall maintain a current and valid Professional Engineer's License in the State of Florida. The contractor shall maintain a current and valid Professional Engineer's License in the State of Florida. The contractor shall maintain a current and valid Professional Engineer's License in the State of Florida.



PROFILE SCALE
 HORIZ: 1"=50'
 VERT: 1"=5'



IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 PLAN & PROFILE - STREET A



DATE: 6/9/2021
 TIME: 10:10 AM
 PROJECT: Ocala Preserve Phase 14
 SHEET: 143-204-02

COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION #: 26463
 APPROVAL DATE: 6/9/2021
 EXPIRATION DATE: 6/9/2025

The approval of these plans by Marion County denotes approved compliance with applicable County Ordinance, code, rules, and specifications. Approval does not indicate verification or endorsement of technical aspects, materials, equipment or methods, construction and does not, in any way, constitute an Engineering Certification or a professional opinion by the County nor any of the professionals herein.

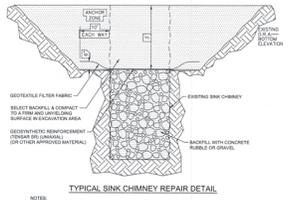
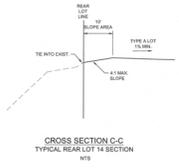
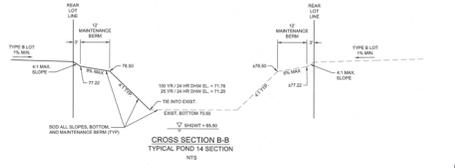
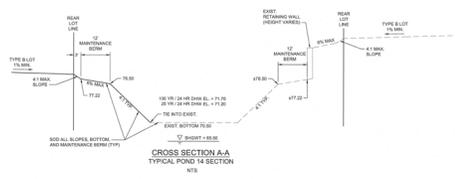
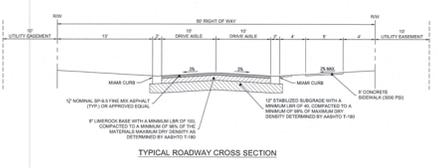
All construction shall conform to the construction methods specified in the Marion County Land Development Code, latest revision. Areas of the right-of-way adjacent to any construction shall be dressed and seeded. Seed and mow may be used if approved by the County Engineer or designee.

NOTICE
 The approval of these plans is limited to construction within the jurisdiction of Marion County and does not constitute an approval for the requirements of other applicable laws, rules, codes, or regulations, or for any other federal laws.

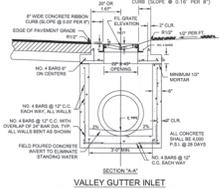
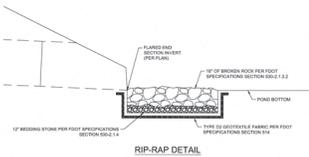
WALDROP ENGINEERING

1000 W. UNIVERSITY BLVD., SUITE 1000, GAITHERSBURG, MD 20878
 1-800-775-5500 | 410-775-5500 | FAX 410-775-5501 | WWW.WALDROPENGINEERING.COM

IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 POND DETAILS & CROSS-SECTIONS



NOTES:
 1. CHIMNEY IS UNCONCRETE OR BRICK OR VOLCANIC ROCK FORMS DURING CONSTRUCTION. CONSTRUCTION OF THE MAIN PART OF THE CHIMNEY AND THE RELATED DOWNPIPE ENGINEER MUST BE NOTIFIED IMMEDIATELY.
 2. THE REPAIR SHALL BE DONE BY THE CONTRACTOR AND THE REPAIR SHALL BE APPROVED BY THE COUNTY ENGINEER.
 3. THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURRENCE OF BRICKS OF VOLCANIC ROCK OR OTHER MATERIALS ON THE SURFACE OF THE CHIMNEY OR ON THE SURFACE OF ANY UNDERLIE BEDROCK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY.

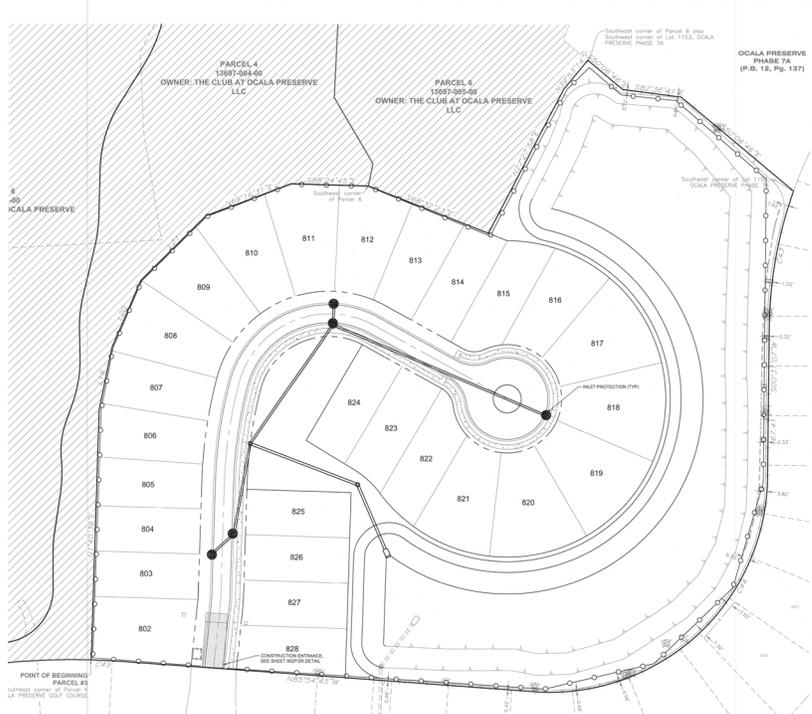


PLAN DIVISIONS

1143-204-02

1143-204-02

1143-204-02



PERMANENT EROSION CONTROL:
 ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL AT A MINIMUM BE FERTILIZED AND SEED.
 SLOPES FROM 4:1 TO 3:1, INCLUSIVE, WILL BE MULCHED WITH A UNIFORM THICKNESS OF APPROXIMATELY TWO INCHES. LOOSE MEASURE OF MULCH MATERIAL, INCORPORATED INTO THE SOIL, BY MIXING TO A DEPTH OF FOUR INCHES.
 ALL INTENTIONAL DRAINAGE BASIN SIDE SLOPES SHALL BE SOODED. ALL EXPOSED AREAS INCLUDING PUBLIC RIGHTS-OF-WAY AND SIDEWALKS SHALL BE SOODED.
 STEPS 300-000 FOOT SIDE OF GRASS SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT IN AREAS WITH SIDEWALKS. THE ENTIRE AREA BETWEEN THE SIDEWALK AND THE BACK OF CURB AND/OR EDGE OF PAVEMENT SHALL BE SOODED.
 ALL GRASSED AREAS WILL BE MAINTAINED TO ASSURE A GOOD STAND AND SUFFICIENT SOIL COVER TO MANAGE EROSION. IF AFTER 30 DAYS AN ADEQUATE SOIL COVER HAS NOT BEEN ESTABLISHED, THE AREA WILL BE RESEED.

DESCRIPTION:
 PROJECT NAME: Ocala Preserve Phase 14
 PROPERTY OWNER NAME AND ADDRESS:
 FOREVERLANDS AND FOREVERLANDS BOULEVARD, SUITE 200
 TAMPA, FL 33610

DESCRIPTION: PROJECT OBJECTS: A SECONDARY STORM WATER SYSTEM UTILITIES, STORMWATER POND, AND RESIDENTIAL LOTS. THE GOAL IS TO BUILD THE STREETS AND UTILITIES TO SERVE THE RESIDENTS, AND REDUCE STORM WATER RUNOFF FROM THE OVERALL SITE.

THE TYPES OF SOIL DISTURBANCE ACTIVITIES INCLUDE:
 • EXCAVATION
 • PERMITS AND OTHER EROSION AND SEDIMENT CONTROLS
 • EROSION CONTROL
 • STORM WATER FACILITIES AND GRADING
 • MULCHES
 • SEEDING
 • ROADWAYS
 • PREPARATION FOR FINAL PLANTING AND SOILING

SEQUENCE OF MAJOR SOIL DISTURBANCES:
 1. INITIAL EXCAVATION CONSTRUCTION ENTRANCE
 2. INITIAL AREA EROSION AND SEDIMENTATION CONTROL
 3. CLEARING AND GRADING STORM WATER FACILITIES
 4. UTILITY CONSTRUCTION
 5. INITIAL UTILITIES AND STORM SEWER SYSTEM
 6. CONSTRUCT BUILDING FOUNDATIONS
 7. COMPLETE PAVING
 8. INITIAL RESEEDING AND PLANTING
 9. REMOVE EXCESSIVE SEDIMENTS
 10. REMOVE EROSION AND SEDIMENTATION CONTROLS AND STABILIZE ANY AREA DISTURBED BY THEIR REMOVAL

AREA ESTIMATES:
 OVERALL PHASE 14 AREA = 8.18 AC
 DISTURBED AREA = 8.18 AC
 UNDISTURBED AREA = 0 AC

CONSTRUCTION SITE WILL BE MARKED FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.1". A RAIN GAUGE WILL BE ON-SITE TO MEASURE RAINFALL AMOUNTS.
 DEMONSTRATING IS NOT ANTICIPATED FOR THE INSTALLATION OF THE UTILITIES.

FOR ADDITIONAL INFORMATION, REFER TO THE SWPPP EROSION AND SEDIMENTATION CONTROL DETAILS.
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE SWPPP GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THE SWPPP GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, AND ALL OTHER STATE AND LOCAL REQUIREMENTS.

A SWPPP CONSISTS OF SITE DESIGN, SITE ASSESSMENT, CONTROL SELECTION, CERTIFICATION AND NOTIFICATION, CONSTRUCTION, DEMONSTRATION AND MAINTENANCE, FINAL STABILIZATION AND TERMINATION.
 THE SWPPP OUTLINES THE MINIMUM REQUIREMENTS FOR INSTALLATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL AND IMPLEMENTATION CONTROL MEASURES NOT SHOWN ON THE SITE MAP OR IN THE SPECIFICATIONS.

CONTRACTOR CERTIFICATE:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND I AM THE REGISTERED PROFESSIONAL ENGINEER FOR THIS PROJECT. I AM THE CONTRACTOR RESPONSIBLE FOR DOCUMENTING FIELD CHANGES AND IMPLEMENTATION CONTROL MEASURES NOT SHOWN ON THE SITE MAP OR IN THE SPECIFICATIONS.

NAME: _____ **TITLE:** _____
CONTRACTING FIRM: _____ **ADDRESS:** _____
PHONE #: _____ **DATE:** _____

COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 26463
 APPROVAL DATE: 6/9/2021
 APPROVAL DATE: 6/9/2021

The approval of these plans by Marion County Engineer is based on the information provided and does not constitute a warranty of any kind. The contractor is responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The contractor is also responsible for obtaining all necessary insurance and bonding. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies.

NOTICE:
 The approval of these plans by Marion County Engineer is based on the information provided and does not constitute a warranty of any kind. The contractor is responsible for obtaining all necessary permits and for compliance with all applicable laws, rules, and regulations. The contractor is also responsible for obtaining all necessary insurance and bonding. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies. The contractor is also responsible for obtaining all necessary approvals from the appropriate agencies.



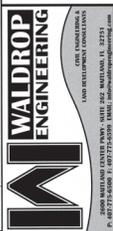
IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
MARION COUNTY, FLORIDA
SWPPP EROSION CONTROL PLAN

| | |
|---------------------------|--------------|
| PLAN BY: [Name] | DATE: [Date] |
| CHECKED BY: [Name] | DATE: [Date] |
| APPROVED BY: [Name] | DATE: [Date] |
| SCALE: [Scale] | |
| SHEET NUMBER: 1143-204-02 | |

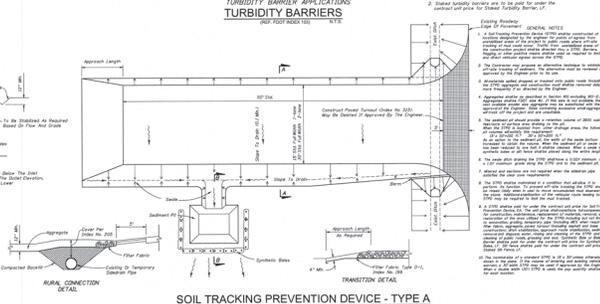
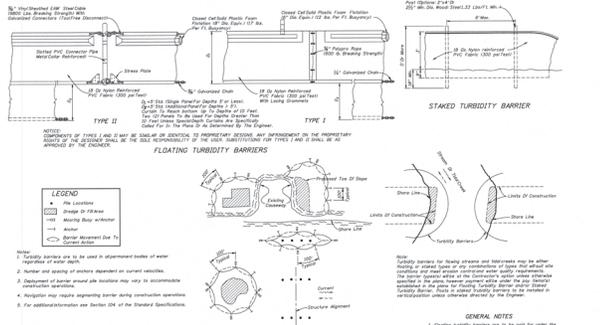
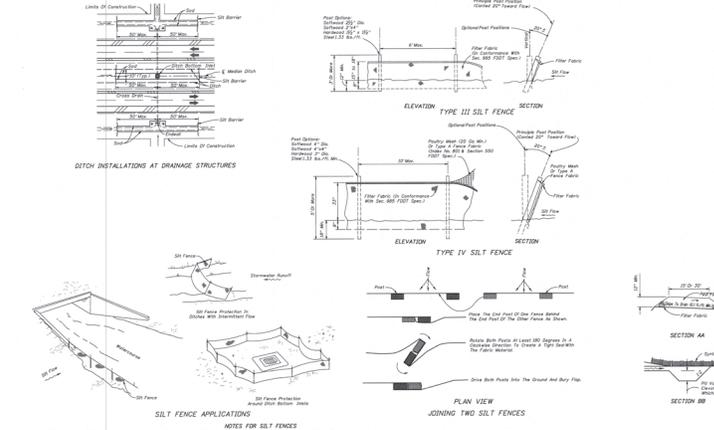
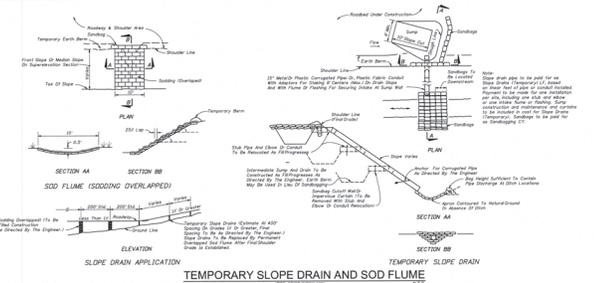
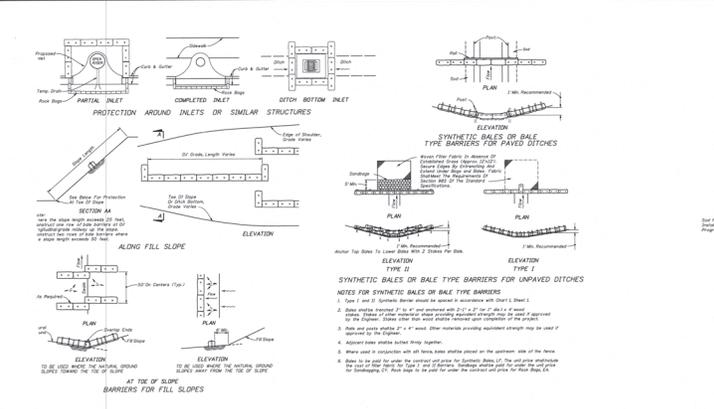
RECEIVED
 JUN 18 2021
 Marion County
 Engineering Department

COUNTY ENGINEER
MARION COUNTY, FLORIDA
 APPLICATION # 25603
 EXPIRATION DATE: 05/30/2021

The approval of these plans by Marion County Engineer is not intended to constitute an endorsement of any materials, methods, or procedures, or a warranty of any kind. The contractor shall be responsible for the selection and use of any materials, methods, or procedures. The contractor shall be responsible for the selection and use of any materials, methods, or procedures. The contractor shall be responsible for the selection and use of any materials, methods, or procedures.



IMPROVEMENT PLANS FOR
OCALA PRESERVE PHASE 14
 MARION COUNTY, FLORIDA
 SWPPP EROSION CONTROL DETAILS



NOTES FOR SILT FENCES

1. Type III Silt Fence is to be used on most locations. When used in ditches, the spacing between Type III Silt Fences should be consistent with Table 1.1.
2. Type IV Silt Fence is to be used where large sediment loads are anticipated. Spacing between Type IV Silt Fences should be consistent with Table 1.1.
3. Silt Fence is to be used for the control and prevention of Silted Soil Fences, S.I.F.
4. In any situation where Silt Fences are used in conjunction with other erosion control measures, the Silt Fence shall be used in conjunction with the other measures.

GENERAL NOTES

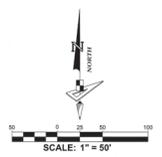
1. Floating turbidity barriers are to be used for the control and prevention of Silted Soil Fences, S.I.F.
2. Staked turbidity barriers are to be used for the control and prevention of Silted Soil Fences, S.I.F.

RECEIVED

DATE: 1/18/2021

1143-204-03

802

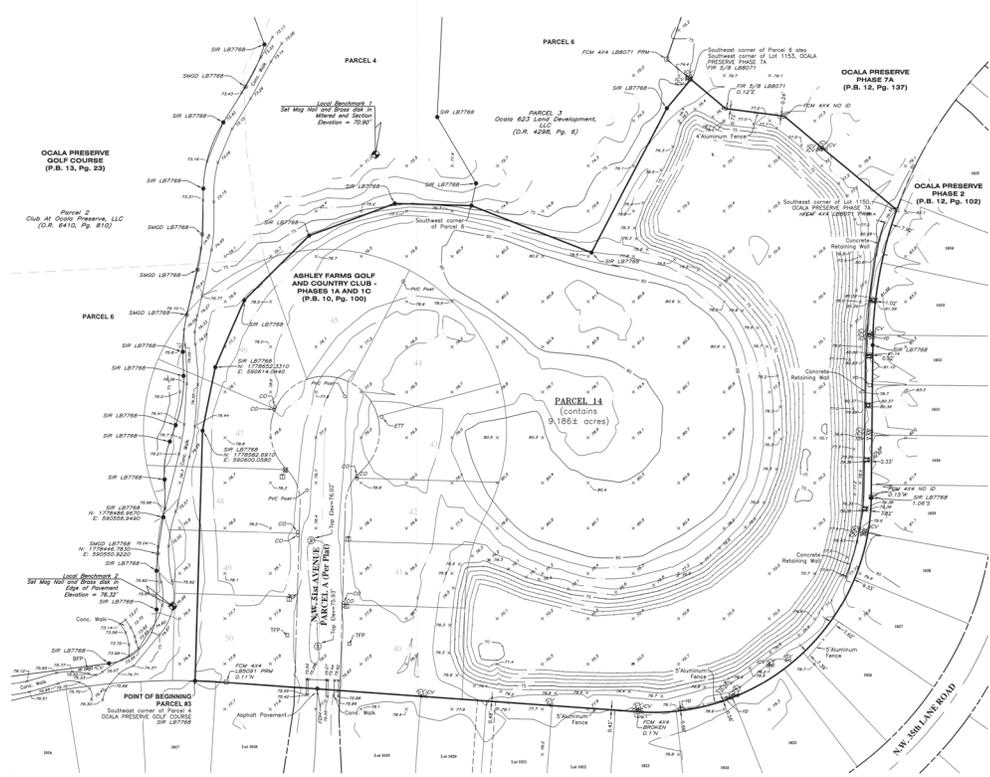


DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 26462
APPROVAL DATE: 6/7/2021
EXPIRATION DATE: 6/7/2025

All construction shall conform to the construction standards contained in the Marion County zoning right-of-way detached during construction shall be placed and located, placed and located, per design.

NOTES:
The approval of this plan is limited to conditions stated in the Marion County zoning and does not constitute or waive the requirements of other agencies for additional permits, as applicable, by state and/or Federal laws.



- LEGEND**
- DR ----- Official Records Book
 - P.B. ----- Plat Book
 - PK(L) ----- Pipe(L)
 - PC ----- Polyethylene Chloride Pipe
 - YO ----- Yard Drain
 - CONC ----- Concrete
 - SM ----- Sanitary Sewer Manhole
 - TR ----- Transformer Pole
 - WATER ----- Water Meter
 - IR ----- Irrigation Control Valve
 - WPS ----- Water Shut-off Pressure
 - SCS ----- Sanitary Sewer Clean Out
 - FW ----- Fire Hydrant
 - CTV ----- Electric Trench, Trench
 - Location of existing
 - Spot Elevation

VERTICAL DATUM: NAVD88
Conversion from NAD83 to NAVD88: +0.84

| | |
|---|---|
| PROJECT: TRL020 | DATE OF LAST FIELD SURVEY: April 22, 2021 |
| PARCEL: PARCEL 14 | |
| OWNER: FLY, JOHN, SUCCESSOR (THRU) BY MHC | |
| FORM: CG FIELD BOOK 34-2021 Pages 1 - 5 | |
| DATA FILE: TRL020\A\A\CG-34-2021\04 | |
| DATE: 06/07/2021 | DATE: 06/07/2021 |

SEE SHEET 1 of 2 FOR SURVEYORS CERTIFICATE

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL REPRODUCED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Boundary & Topographic Survey

PREPARED FOR:
Forestar (USA) Real Estate Group, Inc
LOCATED IN:
Section 33 & 34, Township 14 S., Range 21 E.
Marion County, Florida

GeoPoint
Surveying, Inc.

213 Hobbs Street
Tampa, Florida 33619
www.geopointsurvey.com

Phone: 813-248-6550
Fax: 813-248-2366
License Number: 18-758

SHEET NUMBER: 02 of 02



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21788

Agenda Date: 1/12/2026

Agenda No.: 6.3.

SUBJECT:

Dave & Anne Quanbeck Division - Ag Lot Split - Waiver to County MSBU

PID#: 05949-001-00 #33595

Clymer Farner Barley, Inc.

LDC 2.16.1B(8)(g) Applicability

CODE states A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC.

APPLICANT request - MSBU waiver for maintenance of newly created improvements.



SUBMITTAL SUMMARY REPORT 33595

PLAN NAME: DAVE & ANNE QUANBECK DIVISION (FOR MSBU) **LOCATION:** 13430 NW HWY 225
REDDICK,
APPLICATION DATE: 11/06/2025 **PARCEL:** 05949-001-00

DESCRIPTION:

| CONTACTS | NAME | COMPANY |
|--------------------|------------|----------------------------|
| Applicant | Lee Clymer | Clymer Farney Barley, Inc. |
| Applicant | Lee Clymer | Clymer Farney Barley, Inc. |
| Engineer of Record | Lee Clymer | Clymer Farney Barley, Inc. |
| Engineer of Record | Lee Clymer | Clymer Farney Barley, Inc. |

| SUBMITTAL | STARTED | DUE | COMPLETE | STATUS |
|-------------------------------|------------|------------|------------|--------------------|
| OCE: Waiver Request Review v. | 11/06/2025 | 11/13/2025 | 12/09/2025 | Requires Re-submit |
| OCE: Waiver Request Review v. | 12/10/2025 | 12/19/2025 | 12/29/2025 | Requires Re-submit |
| OCE: Waiver Request Review v. | 12/29/2025 | 01/08/2026 | 01/08/2026 | Requires Re-submit |
| OCE: Waiver Request Review v. | 01/08/2026 | 01/20/2026 | | Approved |

SUBMITTAL DETAILS

OCE: Waiver Request Review v.1

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--|--|------------|------------|--------------------|
| Environmental Health (Plans) (Environmental Health) | | 11/13/2025 | 12/09/2025 | Requires Re-submit |
| Fire Marshal (Plans) (Fire) | Jonathan Kenning | 11/13/2025 | 12/05/2025 | Deny |
| <i>Comments</i> | No documents carried over from E-Plans. Rejecting per email. | | | |
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Kathleen Brugnoli | 11/13/2025 | 12/08/2025 | Requires Re-submit |
| <i>Comments</i> | Please upload documents | | | |
| Landscape (Plans) (Parks and Recreation) | Susan Heyen | 11/13/2025 | 11/19/2025 | Informational |
| <i>Comments</i> | n/a | | | |
| OCE Design (Plans) (Office of the County Engineer) | | 11/13/2025 | 12/09/2025 | Requires Re-submit |
| OCE Property Management (Plans) (Office of the County Engineer) | Elizabeth Woods | 11/13/2025 | 11/26/2025 | Not Required |
| <i>Comments</i> | ROW does not review this type of plan | | | |
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | Alexander Turnipseed | 11/13/2025 | 11/20/2025 | Requires Re-submit |
| <i>Corrections</i> | 2.16.1.(8)(a) thru (g) - Agricultural Lot Split (Not Resolved) - 2.16.1.(8)(a) thru (g) - Agricultural Lot Split: An Easement Agreement that include provisions for the construction and maintenance of the common area improvements (i.e. the roads and stormwater controls) is required for this waiver in addition to a signed assessment mitigation credit application | | | |
| OCE Survey (Plans) (Office of the County Engineer) | Theresa Smail | 11/13/2025 | 11/26/2025 | Approved |
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | | 11/13/2025 | 11/12/2025 | Approved |
| <i>Comments</i> | INFO LDC 2.16.1B(8)(g) Applicability DENIED - There is no backup information for this waiver. | | | |
| OCE Utilities (Plans) (Utilities) | Heather Proctor | 11/13/2025 | 11/26/2025 | Approved |
| <i>Comments</i> | Parcel 05949-001-00 is within the Marion County Utilities (MCU) service area but is currently outside of the connection distance to public water and sewer. The nearest existing water and wastewater infrastructure is approximately 9+ miles from the site. Marion County Utilities has no comment on the Waiver for an MSBU. Additional comments for Utility Easement have been made on AR# 33594 The parcel is located outside both the Springs Protection Zone and the Urban Growth Boundary. | | | |

OCE: Waiver Request Review v.2

SUBMITTAL SUMMARY REPORT (33595)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|--|--|------------|------------|--------------------|
| Environmental Health (Plans) (Environmental Health) | Evan Searcy | 12/19/2025 | 12/23/2025 | Approved |
| Fire Marshal (Plans) (Fire) | Jonathan Kenning | 12/19/2025 | 12/11/2025 | Approved |
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Kathleen Brugnoli | 12/19/2025 | 12/12/2025 | Approved |
| <i>Comments</i> | DEFER TO MSBU | | | |
| Landscape (Plans) (Parks and Recreation) | Susan Heyen | 12/19/2025 | 12/11/2025 | Not Required |
| OCE Design (Plans) (Office of the County Engineer) | Gerald Koch | 12/19/2025 | 12/11/2025 | Not Required |
| OCE Property Management (Plans) (Office of the County Engineer) | | 12/19/2025 | 12/12/2025 | Informational |
| <i>Comments</i> | ROW is not a reviewer on waivers -EMW 12.12.25 | | | |
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | Alexander Turnipseed | 12/19/2025 | 12/11/2025 | Requires Re-submit |
| <i>Corrections</i> | 2.16.1.(8)(a) thru (g) - Agricultural Lot Split (Not Resolved) - 2.16.1.(8)(a) thru (g) - Agricultural Lot Split: A signed assessment mitigation credit application is required | | | |
| OCE Survey (Plans) (Office of the County Engineer) | | 12/19/2025 | 12/17/2025 | Not Required |
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 12/19/2025 | 12/11/2025 | Requires Re-submit |
| <i>Corrections</i> | 2.16.1.B(8)(f)5 - Maintenance (Not Resolved) - 2.16.1.B(8)(f)5 - Maintenance: A note must be provided stating that the he Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets or easements. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(e) - Access onto public road (Not Resolved) - 2.16.1.B(8)(e) - Access onto public road: Each lot within the Ag-Lot Split must front on a paved private road or access easement. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)3 - Connection to public road (Not Resolved) - 2.16.1.B(8)(f)3 - Connection to public road: The roadway or easement must connect to a publicly maintained roadway. The connection must meet driveway spacing requirements and must be paved for a width of 20 feet and for a length of 20 feet beyond the public right-of-way. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)6 - Traffic signs (Not Resolved) - 2.16.1.B(8)(f)6 - Traffic signs: Street name signs and a stop sign must be installed at the connection to the publicly maintained road. The signs must be installed in accordance with the standard details found in Section 7.3.1. The sign details or notes must be included on the plan and the signs must be installed prior to recording of the easement. A driveway permit is required for the driveway construction and sign installation. | | | |
| OCE Utilities (Plans) (Utilities) | Heather Proctor | 12/19/2025 | 12/11/2025 | Approved |
| <i>Comments</i> | Parcel 05949-001-00 is within the Marion County Utilities (MCU) service area but is currently outside of the connection distance to public water and sewer. The nearest existing water and wastewater infrastructure is approximately 9+ miles from the site. Marion County Utilities has no comment on the Waiver for an MSBU. Additional comments for Utility Easement have been made on AR# 33594. | | | |
| | The parcel is located outside both the Springs Protection Zone and the Urban Growth Boundary. | | | |

| OCE: Waiver Request Review v.3 | | | | |
|--|---|------------|------------|--------------------|
| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
| Environmental Health (Plans) (Environmental Health) | | 01/08/2026 | 01/07/2026 | Approved |
| <i>Comments</i> | Per Land Development Mgr | | | |
| Fire Marshal (Plans) (Fire) | Roxanna Coleman | 01/08/2026 | 12/29/2025 | Approved |
| Growth Services Planning & Zoning (DR) (GS Planning and Zoning) | Kathleen Brugnoli | 01/08/2026 | 12/30/2025 | Approved |
| <i>Comments</i> | Defer to MSBU for waiver. | | | |
| Landscape (Plans) (Parks and Recreation) | Susan Heyen | 01/08/2026 | 12/30/2025 | Informational |
| <i>Comments</i> | no comments | | | |
| OCE Design (Plans) (Office of the County Engineer) | Gerald Koch | 01/08/2026 | 01/07/2026 | Approved |
| OCE Property Management (Plans) (Office of the County Engineer) | | 01/08/2026 | 01/07/2026 | Approved |
| <i>Comments</i> | Per Land Development Mgr | | | |
| OCE Stormwater (Permits & Plans) (Office of the County Engineer) | Alexander Turnipseed | 01/08/2026 | 12/31/2025 | Informational |
| <i>Comments</i> | A signed assessment mitigation credit application as well as POA documents have been provided | | | |
| OCE Survey (Plans) (Office of the County Engineer) | Theresa Smail | 01/08/2026 | 01/06/2026 | Not Required |
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 01/08/2026 | 12/29/2025 | Requires Re-submit |
| <i>Comments</i> | Please address all previous comments | | | |

SUBMITTAL SUMMARY REPORT (33595)

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|--|------------|------------|--------------------|
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 01/08/2026 | 12/29/2025 | Requires Re-submit |
| <i>Corrections</i> | 2.16.1.B(8)(e) - Access onto public road (Not Resolved) - 2.16.1.B(8)(e) - Access onto public road: Each lot within the Ag-Lot Split must front on a paved private road or access easement. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)5 - Maintenance (Not Resolved) - 2.16.1.B(8)(f)5 - Maintenance: A note must be provided stating that the he Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets or easements. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)3 - Connection to public road (Not Resolved) - 2.16.1.B(8)(f)3 - Connection to public road: The roadway or easement must connect to a publicly maintained roadway. The connection must meet driveway spacing requirements and must be paved for a width of 20 feet and for a length of 20 feet beyond the public right-of-way. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)6 - Traffic signs (Not Resolved) - 2.16.1.B(8)(f)6 - Traffic signs: Street name signs and a stop sign must be installed at the connection to the publicly maintained road. The signs must be installed in accordance with the standard details found in Section 7.3.1. The sign details or notes must be included on the plan and the signs must be installed prior to recording of the easement. A driveway permit is required for the driveway construction and sign installation. | | | |
| OCE Utilities (Plans) (Utilities) | | 01/08/2026 | 01/07/2026 | Approved |
| <i>Comments</i> | Per Land Development Mgr | | | |

OCE: Waiver Request Review v.4

| ITEM REVIEW NAME (DEPARTMENT) | ASSIGNED TO | DUE | COMPLETE | STATUS |
|---|--|------------|------------|----------|
| OCE Traffic (Permits & Plans) (Office of the County Engineer) | Chris Zeigler | 01/20/2026 | 01/09/2026 | Approved |
| <i>Corrections</i> | 2.16.1.B(8)(f)6 - Traffic signs (Resolved) - 2.16.1.B(8)(f)6 - Traffic signs: Street name signs and a stop sign must be installed at the connection to the publicly maintained road. The signs must be installed in accordance with the standard details found in Section 7.3.1. The sign details or notes must be included on the plan and the signs must be installed prior to recording of the easement. A driveway permit is required for the driveway construction and sign installation. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)3 - Connection to public road (Resolved) - 2.16.1.B(8)(f)3 - Connection to public road: The roadway or easement must connect to a publicly maintained roadway. The connection must meet driveway spacing requirements and must be paved for a width of 20 feet and for a length of 20 feet beyond the public right-of-way. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(e) - Access onto public road (Resolved) - 2.16.1.B(8)(e) - Access onto public road: Each lot within the Ag-Lot Split must front on a paved private road or access easement. | | | |
| <i>Corrections</i> | 2.16.1.B(8)(f)5 - Maintenance (Resolved) - 2.16.1.B(8)(f)5 - Maintenance: A note must be provided stating that the he Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets or easements. | | | |



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Submit the following items for various types of waiver requests to the Office of County Engineer, Development Review, located at 412 SE 25th Avenue Ocala, FL 34471. Waiver requests will not be processed without the required attachments and fees as indicated. If paying by credit card, there is a 2.65% service fee for all credit card transactions bring the fee total to \$307.95. Waivers and required documentation may be submitted on paper or via email to DevelopmentReview@marionfl.org.

A. LAND DEVELOPMENT CODE WAIVERS:

1. Waiver request form filled out completely.
2. Waiver fee of \$300.00 for one or more waivers submitted at the same time (cash, credit card, or check made payable to Marion County BCC).
3. One site plan:
 - a. Clearly indicate the locations of existing and proposed improvement(s) on the site.
 - b. Include the dimensions and/or square footage of the proposed improvement(s).
 - c. Clearly identify adjacent streets.
 - d. Clearly identify existing and/or proposed driveways.
 - e. Indicate which direction is north.
4. If economics is a reason for the waiver request, then provide a cost analysis or industry quote from contractors or professionals licensed to perform such services indicating the cost to comply with the Land Development Code versus the cost saved by obtaining a waiver request.

B. FAMILY DIVISION WAIVERS:

1. Zoning Department review and sign off are required prior to submittal to the Office of the County Engineer.
2. Waiver request form filled out completely.
3. In Section D, include how many acres is being divided from parcel and to which family member(s) (relationship to the property owner).
4. Waiver fee of \$300.00 (cash, credit card, or check made payable to Marion County BCC).
5. Copy of the deed to verify property ownership. The deed may be obtained from the Clerk of the Court's website at www.marioncountyclerk.org.
6. One site plan or aerial photo showing the proposed division(s), the acreage of the parent (remaining) parcel, and the acreage of each proposed division. Indicate all existing and proposed driveways and easements from County road(s) along with the road name(s). An aerial photo may be obtained from <https://marioncountyfl.maps.arcgis.com/apps/webappviewer/index.html?id=83214c006f4247cea3f68867496a0e4e>



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 11/05/2025 Parcel Number(s): 05949-001-00 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: DAVE & ANNE QUANBECK DIVISION Commercial Residential
Subdivision Name (if applicable): OLYMPIC HILL, AN AGRICULTURAL LOT SPLIT
Unit _____ Block _____ Lot _____ Tract 3

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): DAVE & ANNE QUANBECK
Signature: _____
Mailing Address: 13440 NW HWY 225 City: REDDICK
State: FL Zip Code: 32686 Phone # 540-454-3247
Email address: ANNA@THEQUANBECKS.COM

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): CLYMER FARNER BARLEY SURVEY Contact Name: GARY MILAM
Mailing Address: 2100 S.E. 17TH STREET, SUITE 202 City: OCALA
State: FL Zip Code: 34471 Phone # 352-812-8812
Email address: GMILAM@CFB-INC.COM

D. WAIVER INFORMATION:

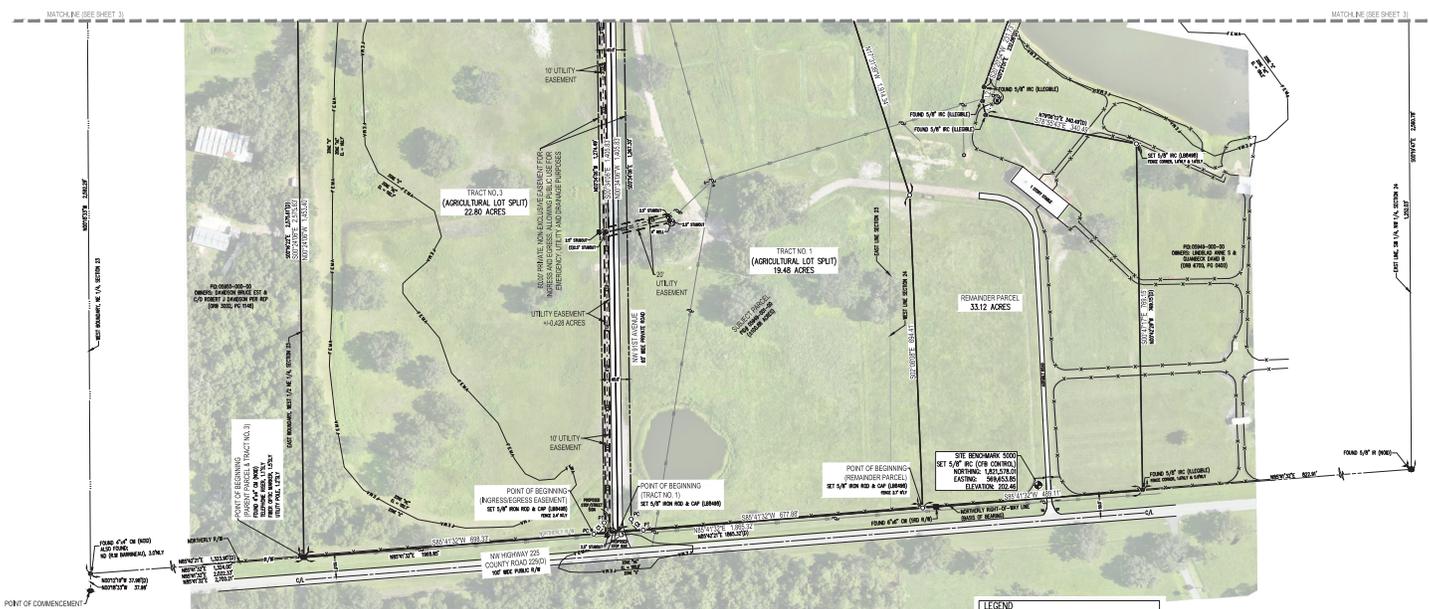
Section & Title of Code (be specific): _____ 2.16.1B8G
Reason/Justification for Request (be specific): MSBU WAIVER FOR MAINTENANCE OF NEWLY
CREATED IMPROVEMENTS

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

BOUNDARY SURVEY
 +FOR
OLYMPIC HILL, AN AGRICULTURE LOT SPLIT
 PID# 05849-001-00
 SECTION 23 & 24, TOWNSHIP 13 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA



| CURVE TABLE | | | | | | LINE TABLE | | |
|-------------|--------|--------|--------|---------------|--------------|------------|---------------|----------|
| STATION | ARC | ANGLE | CHORD | CHORD BEARING | CHORD LENGTH | LINE | BEARING | DISTANCE |
| 1+00.00 | 30.00' | 90.00° | 30.00' | N 00°00'00" W | 30.00' | 1 | N 00°00'00" W | 30.00' |
| 1+30.00 | 30.00' | 90.00° | 30.00' | N 00°00'00" W | 30.00' | 2 | N 00°00'00" W | 30.00' |
| 1+60.00 | 30.00' | 90.00° | 30.00' | N 00°00'00" W | 30.00' | 3 | N 00°00'00" W | 30.00' |

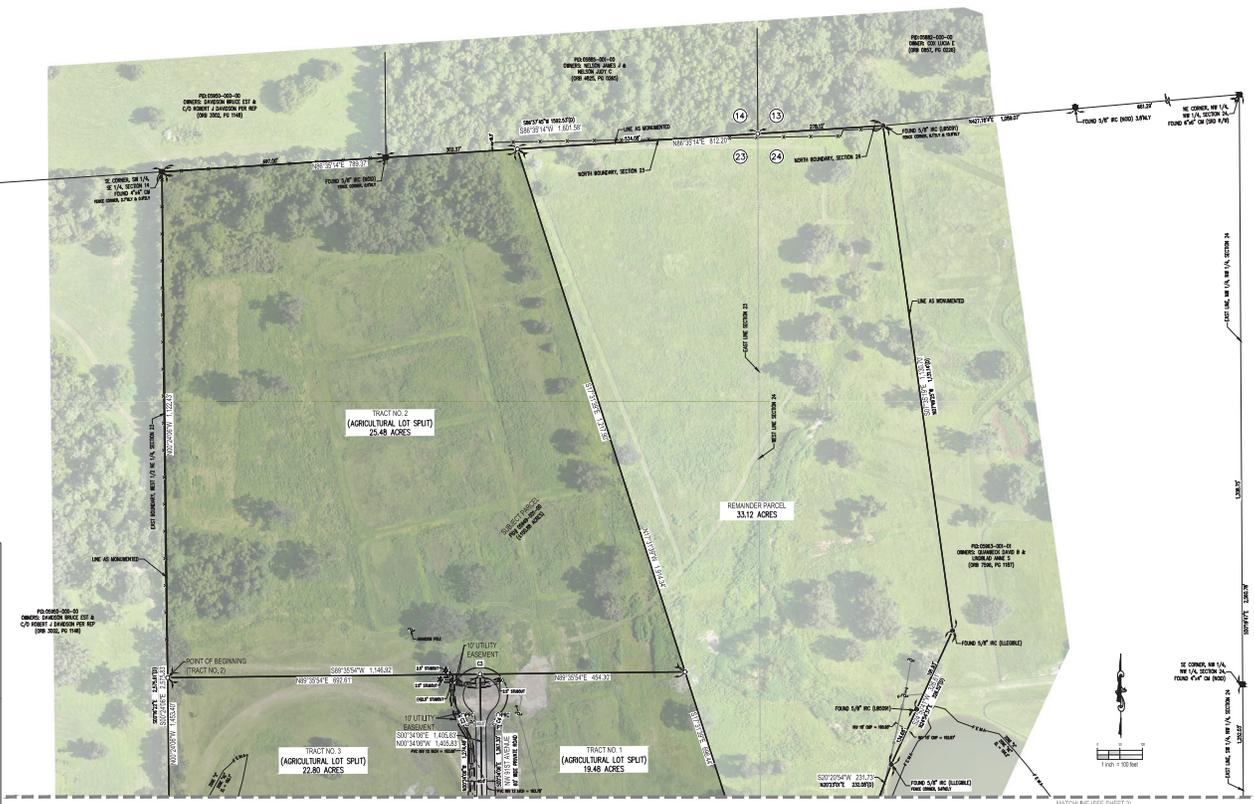
LEGEND

- MARK OR LESS
- CONCRETE
- IRON
- LOCKED BUSINESS
- OFFICIAL RECORD BOOK
- PFD# TAX PARCEL IDENTIFICATION NUMBER
- FENCE
- TREE MEASUREMENT
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- OVERHEAD UTILITIES
- C/A CENTERLINE
- R/W RIGHT-OF-WAY
- CONCRETE MONUMENT
- NAIL & DISK
- IRON ROD
- IRON ROD AND CAP
- NO IDENTIFICATION
- GENERAL CARDINAL DIRECTION (NORTHLY, ETC)
- S&L & N&L
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVATURE
- POC POINT OF CURVATURE
- PNT POINT OF NON-TANGENCY
- FOUND CONCRETE MONUMENT (SEE NOTES)
- FOUND NAIL & DISK (AS NOTED)
- FOUND 5/8" IRON ROD & CAP (AS NOTED)
- FOUND IRON ROD (AS NOTED)
- WELL (SEE NOTES)
- SET 5/8" IRON ROD AND CAP (LB 8486)
- WOOD UTILITY POLE
- GUY AND/OR
- LIGHT POLE
- SIGN
- TELEPHONE RISER
- UNDERGROUND FIBER OPTIC CABLE MARKER
- GATE POLE
- ELECTRIC LINE
- FENCE
- OVERHEAD UTILITY LINE
- LINE BREAK

BOUNDARY SURVEY
 FOR
OLYMPIC HILL, AN AGRICULTURE LOT SPLIT

SHEET 02 OF 04

BOUNDARY SURVEY
 +FOR
OLYMPIC HILL, AN AGRICULTURE LOT SPLIT
 PID# 05849-001-00
 SECTION 23 & 24, TOWNSHIP 13 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA



- LEGEND**
- NOTE OR LESS
 - CONC CONCRETE
 - FORM FOUNDATION
 - LB LICENSED BUSINESS
 - OFFICIAL RECORDS BOOK
 - PD# TAX PARCEL IDENTIFICATION NUMBER
 - PC# PLAT
 - DEED MEASUREMENT
 - FEDERAL BUREAU OF SURVEY MANAGEMENT AGENCY
 - OH OVERHEAD UTILITIES
 - CONC CONCRETE
 - R/W RIGHT-OF-WAY
 - CM CONCRETE MONUMENT
 - IR IRON ROD
 - IRW IRON ROD AND CAP
 - NO NO IDENTIFICATION
 - N/E, S/E, N/W, S/W GENERAL CARDINAL DIRECTION (NORTHERLY, ETC)
 - S/E, S/W, N/E, N/W FOUND CONCRETE MONUMENT (AS NOTED)
 - FOUND WALL & DISK (AS NOTED)
 - FOUND 5/8" IRON ROD & CAP (AS NOTED)
 - FOUND IRON ROD (AS NOTED)
 - SET 5/8" IRON ROD AND CAP (LB 8498)
 - WELL (SIZE NOTED)
 - WOOD UTILITY POLE
 - GYL GUY AND/OR
 - SOIL SOIL
 - TELEPHONE WIRE
 - UNDERGROUND FIBER OPTIC CABLE MARKER
 - SALE POB
 - POINT OF CURVATURE
 - PT POINT OF TANGENCY
 - POC POINT OF CURVATURE
 - POC POINT OF COMPOUND CURVATURE
 - PT POINT OF TANGENCY
 - FOUND FOUND
 - OVERHEAD UTILITY LINE
 - LINE BREAK

CURVE TABLE

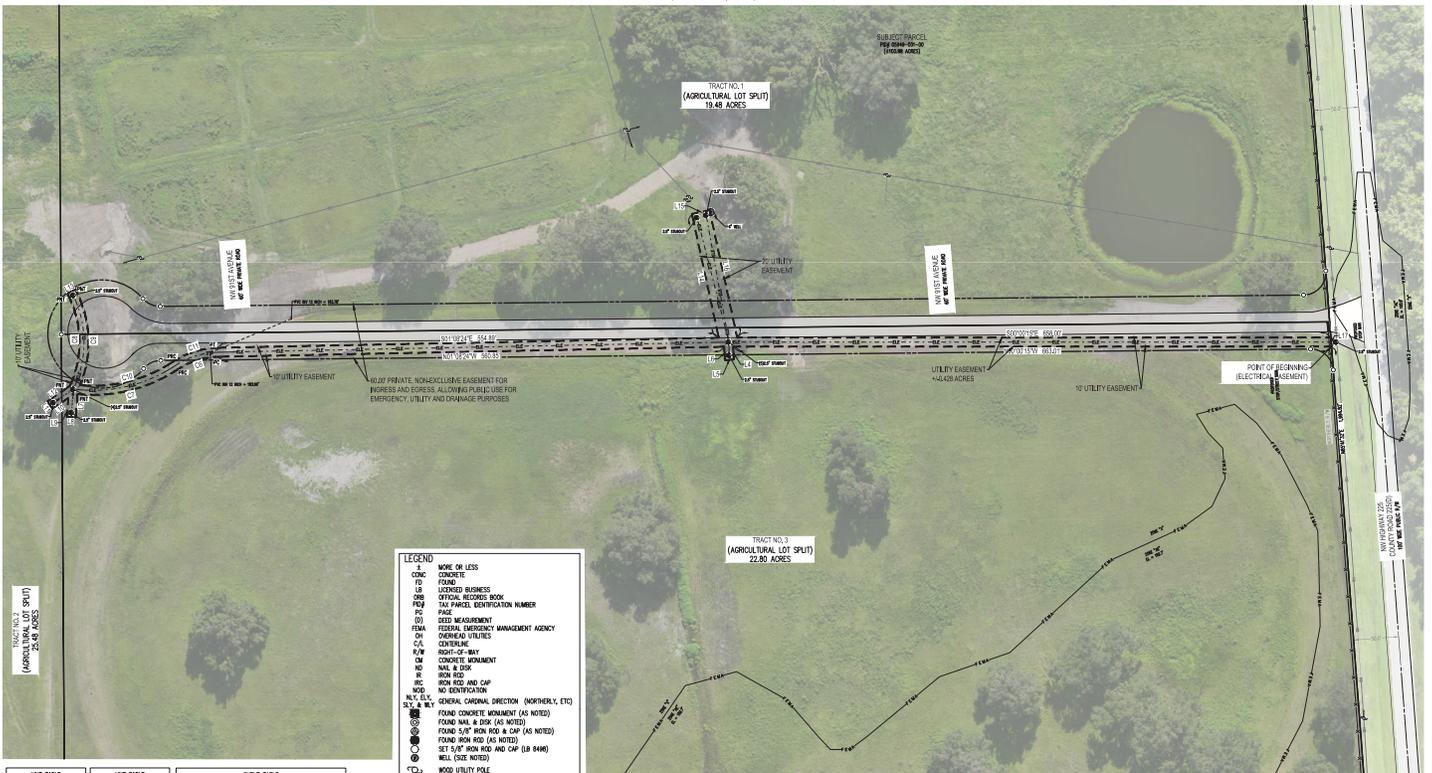
| CURVE NO. | ANGLE | CHORD | ARC | CHORD | CHORD |
|-----------|--------|---------|--------|---------|--------|
| 1 | 2 | 3 | 4 | 5 | 6 |
| C1 | 25.00° | 489.27' | 25.00' | 250.00' | 25.00' |
| C2 | 25.00° | 489.27' | 25.00' | 250.00' | 25.00' |
| C3 | 25.00° | 489.27' | 25.00' | 250.00' | 25.00' |
| C4 | 25.00° | 489.27' | 25.00' | 250.00' | 25.00' |

BOUNDARY SURVEY FOR OLYMPIC HILL AN AGRICULTURE LOT SPLIT

SHEET 03 OF 04

SKETCH OF DESCRIPTION
FOR
OLYMPIC HILL ELECTRIC EASEMENT

PID# 05849-001-00
SECTION 23, TOWNSHIP 13 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA



| LINE | BEARING | DISTANCE | LINE | BEARING | DISTANCE | CURVE | BEARING | LENGTH | CHORD | CHORD |
|------|-------------|----------|------|-------------|----------|-------|-------------|--------|--------|--------|
| L1 | S89°10'21"W | 144.87 | L11 | N89°10'21"E | 144.87 | C1 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L2 | S89°10'21"W | 144.87 | L12 | N89°10'21"E | 144.87 | C2 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L3 | S89°10'21"W | 144.87 | L13 | N89°10'21"E | 144.87 | C3 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L4 | S89°10'21"W | 144.87 | L14 | N89°10'21"E | 144.87 | C4 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L5 | S89°10'21"W | 144.87 | L15 | N89°10'21"E | 144.87 | C5 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L6 | S89°10'21"W | 144.87 | L16 | N89°10'21"E | 144.87 | C6 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L7 | S89°10'21"W | 144.87 | L17 | N89°10'21"E | 144.87 | C7 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L8 | S89°10'21"W | 144.87 | L18 | N89°10'21"E | 144.87 | C8 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L9 | S89°10'21"W | 144.87 | L19 | N89°10'21"E | 144.87 | C9 | S89°10'21"E | 144.87 | 144.87 | 144.87 |
| L10 | S89°10'21"W | 144.87 | L20 | N89°10'21"E | 144.87 | C10 | S89°10'21"E | 144.87 | 144.87 | 144.87 |

- LEGEND**
- CONC = CONCRETE
 - LI = LICENSED BUSINESS
 - OTM = OFFICIAL RECORDS BOOK
 - QID = QUAD IDENTIFICATION NUMBER
 - PAID = DEED MEASUREMENT
 - FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
 - OH = OVERHEAD UTILITIES
 - C/L = CENTERLINE
 - R/W = RIGHT-OF-WAY
 - CONC MON = CONCRETE MONUMENT
 - ND = NAIL & DISK
 - IR = IRON ROD
 - IRC = IRON ROD AND CAP
 - IRCD = IRON ROD
 - NO IDENTIFICATION
 - GEN. DIR. = GENERAL DIRECTION (NORTHERLY, ETC)
 - S/L & W/L = FOUND CONCRETE MONUMENT (AS NOTED)
 - FOUND NAIL & DISK (AS NOTED)
 - FOUND 5/8" IRON ROD & CAP (AS NOTED)
 - FOUND IRON ROD (AS NOTED)
 - SET 5/8" IRON ROD AND CAP (LB 8480)
 - IRCD (SIZE NOTED)
 - WOOD UTILITY POLE
 - CITY ANCHOR
 - LEAD FILE
 - SOIL
 - TELEPHONE ROD
 - UNDERGROUND FIBER OPTIC CABLE MARKER
 - CASE POST
 - POINT OF CURVATURE
 - POINT OF TANGENCY
 - POINT OF REVERSE CURVATURE
 - POINT OF COMPOUND CURVATURE
 - POINT OF NON-TANGENCY
 - FOUR
 - OVERHEAD UTILITY LINE
 - LINE BREAK



BOUNDARY SURVEY FOR OLYMPIC HILL AGRICULTURE LOT SPLIT

SHEET 04 OF 04

DRAWN BY: [Name] DATE: [Date]

CHECKED BY: [Name] DATE: [Date]

APPROVED BY: [Name] DATE: [Date]

**ARTICLES OF INCORPORATION
OF
OLYMPIC HILL PROPERTY OWNERS' ASSOCIATION, INC.**

In compliance with the requirements of the laws of the State of Florida, the undersigned hereby associate themselves together for the purpose of forming a corporation not for profit under Chapter 617, Florida Statutes, and does hereby certify:

**ARTICLE 1.
Name and Address**

The name of the Corporation is **OLYMPIC HILL PROPERTY OWNERS' ASSOCIATION, INC.**, hereinafter called the "Association". Its street address is 13440 NW HWY 225, Reddick, FL 32686-3519 and its mailing address is 13440 NW HWY 225, Reddick, FL 32686-3519

**ARTICLE 2.
Registered Agent**

The name of the Registered Agent is **ANNE S. LINDBALD**, whose street address is 13440 NW HWY 225, Reddick, FL 32686-3519.

**ARTICLE 3.
Definitions**

All definitions in the Declaration of Easements and Covenants for **OLYMPIC HILL, AN AGRICULTURAL LOT SPLIT** (the "Declaration"), to which a copy of these Articles is attached as Exhibit "D", are incorporated herein by reference and made a part hereof.

**ARTICLE 4.
Purpose and Definitions**

Section 4.1 **Purpose.** The primary purpose of this Association is to create an entity to provide a forum for discussion and communication among the Owners of property in OLYMPIC HILL and to facilitate and assure the maintenance and operation of such property as may be subjected to the terms of the Declaration pursuant to its terms, including but not limited to the Access Easement and drainage facilities.

Section 4.2 **Nonprofit Character of Association.** The Association does not contemplate pecuniary gain or profit, direct or indirect, to its Members. The Association shall make no distributions of income to its Members, Directors or Officers.

ARTICLE 5.
Powers

The Association shall have all the powers and duties set forth in Chapters 617 and 720, Florida Statutes, and those reasonably necessary to operate and maintain the Association including the following:

Section 5.1 To exercise all the powers and privileges and to perform all of the duties and obligations of the Association as set forth in the Declaration as recorded in the Public Records of Marion County, Florida, and as the same may be amended from time to time as therein provided, said Declaration being incorporated herein as if set forth at length.

Section 5.2 To establish, levy, collect, and disburse adequate assessments against Members of the Association for the cost of maintenance, operation and upkeep of the Access Easement, including roadways and the Surface Water Management System Facilities located within OLYMPIC HILL.

Section 5.3 To manage, operate, maintain, repair and improve the Access Easement and any Surface Water Management System Facilities, including all inlets, ditches, swales, culverts, water control structures, retention and detention areas, ponds, lakes, flood plain compensation areas, wetlands and any associated buffer areas and wetland mitigation areas located within OLYMPIC HILL or any property owned by another third party for which the Association by rule, regulation, Declaration or contract has a right or duty to provide such services. The Association shall operate, maintain, and manage the Surface Water Management System Facilities in a manner consistent with the Southwest Florida Water Management District requirements and applicable district rules, and shall assist in the enforcement of the Declaration which relate to the Surface Water Management System Facilities.

ARTICLE 6.
Membership

The Declarant and every Owner of a Tract as defined in the Declaration shall be a member of the Association. Except for the Declarant, membership shall be appurtenant to and may not be separated from ownership of any Tract. All members agree to be bound by the terms and provisions of these Articles of Incorporation and such Bylaws and operating procedures as may be promulgated by the Association from time to time.

ARTICLE 7.
Voting Rights

Section 7.1 The Declarant, until three (3) of the Tracts within the Subject Property have been sold, shall be entitled to three (3) votes for each Tract owned.

Section 7.2 Each Owner of a Tract shall be entitled to one (1) vote for each Tract owned. When one or more persons hold an interest in any Tract, all such persons shall be members of the Association, but in no event shall more than one vote be cast with respect to any single Tract. In the event all of the Owners of a Tract cannot agree on any vote, no vote shall be cast for such Tract; provided, however, that the Association may conclusively rely on the vote cast by any of the Owners of a Tract as being authorized by all such Owners unless the Association has been notified in writing to the contrary by one or more such Owners.

ARTICLE 8.
Board of Directors

The affairs of the Association shall be managed by a Board of Directors consisting of not less than three (3) nor more than five (5) persons who need not be members of the Association. The first Board shall consist of four (4) Directors. Thereafter, the number of Directors may be increased to a maximum of five (5) by a majority vote of the Board of Directors.

The first election of Directors shall be held between twelve (12) months and fifteen (15) months after the filing of the Articles of Incorporation with the Secretary of State. Three (3) Directors shall be elected at this first election, each for a term of one (1) year. At each annual meeting thereafter a number of Directors equal to that of those whose terms have expired shall be elected for a one (1) year term. At the expiration of any term, any Director may be re-elected. The Directors shall be elected by the vote of a majority of the votes to be cast thereon at a meeting at which a quorum of the Members is present.

The Directors named in these Articles shall serve until the first election of Directors, and any vacancies in their number occurring before the first election shall be filled by the remaining Directors. The names and addresses of the member of the first Board of Directors who shall hold office until their successors are elected and have qualified, or until removed, are as follows:

| <u>Name</u> | <u>Address</u> |
|-----------------------------|---|
| ANNE S. LINDBLAD | 13440 NW HWY 225, Reddick, FL 32686-3519 |
| DAVID B. QUANBECK | 13440 NW HWY 225, Reddick, FL 32686-3519 |
| CAROLINE A. QUANBECK | 520 SPRUCE STREET BOULDER, CO. 80302 |

At any time a Tract in the Subject Property is owned by Declarant (or his specific assignee of the right granted herein) the Declarant shall be entitled to appoint one (1) member of the Board of Directors, the balance of the Board of Directors to be elected as noted above.

ARTICLE 9.
Assessments

The Directors are required to establish a Maintenance Assessment to be levied against each Tract sufficient to maintain, extend or improve any areas which are to be maintained by the Association, any Surface Water Management System Facilities located within the Subject Property, or otherwise necessary to pay maintenance expenses. The Directors shall notify any Owner of the amount of the then Maintenance Assessment upon written request, along with an explanation for the determination of the Maintenance Assessment in such detail as the Directors determine. The amount of the Maintenance Assessment may be changed by the Directors as frequently as deemed necessary by them to assure that the amount of the Maintenance Assessment is sufficient to pay all Maintenance Expenses or otherwise satisfy all obligations of the Association. The Assessment so established may be levied and collected annually, quarterly or monthly, either in arrears or in advance, at the sole discretion of the Directors.

The Directors may, in their complete and sole discretion, propose a Special Assessment against the Tracts for one time and/or extraordinary expenses associated with the maintenance, extension or improvement of the areas to be maintained by the Association or as provided for in the Declaration. The Directors shall give each member notification of the proposed Special Assessment, and the time and location for the meeting of the Directors and members for consideration of the special assessment (which shall be in Marion County, Florida) not less than fourteen (14) or greater than sixty (60) days prior to the scheduled special meeting of the members. At the special meeting the special assessment (or any revised special assessment provided that the total amount is not greater than the proposed special assessment sent with the notice of the meeting) may be adopted by an affirmative vote of at least sixty percent (60%) of the votes then entitled to be cast.

The Directors shall establish a separate account for the deposit of all funds collected pursuant to this Article, and shall not place any other funds, regardless of source, in said account. All funds so deposited shall be disbursed only for improvements to, and extensions or maintenance of, the Access Easement and Surface Water Management System Facilities, within OLYMPIC HILL costs and expenses of operating and maintaining the Association, or for purposes otherwise authorized by the Declarations, or the Board of Directors. The Directors shall keep separate records of all assessments made and collected pursuant to this Article, and all the monies deposited into, and disbursed from the account referred to above, and shall make said records available, at reasonable hours and in a reasonable manner, to any Member of the Association requesting access to same.

The assessments collected by the Association in accordance with the provisions of this Article shall also be used, to the extent required, for the maintenance and repair of the Surface Water

Management System Facilities, including but not limited to work within retention areas, drainage structures and drainage easements.

ARTICLE 10.
Duration

Existence of the Association shall commence with the filing of these Articles of Incorporation with the Secretary of State, Tallahassee, Florida. The Association shall exist in perpetuity.

ARTICLE 11.
Dissolution

In the event of the dissolution of the Association, the assets of the Association shall be dedicated to an appropriate public agency to be used for purposes similar to those for which this Association was created. In the event that acceptance of such dedication is refused, such assets shall be granted, conveyed and assigned to any nonprofit corporation, association, trust, or other organization to be used for such similar purposes. Notwithstanding any other provisions contained within this Article, the Association may be dissolved only as provided in the Declaration, the Bylaws of the Association, and the laws of the State of Florida. If the Association is dissolved, the control or right of access to the property containing the Surface Water Management System Facilities shall be conveyed or dedicated to an appropriate governmental unit or public utility and if that is not accepted, then the Surface Water Management System Facilities shall be conveyed to a not for profit corporation which would comply with any requirements of the Southwest Florida Water Management District, including requirements of 40C-42.027, F.A.C. and be approved by the Southwest Florida Water Management District, prior to such termination, dissolution or liquidation.

ARTICLE 12.
Amendments

Amendments to the Articles of Incorporation shall be proposed and adopted in the following manner:

Section 12.1 Notice of Amendment. Notice of the subject matter of a proposed amendment shall be included in the written notice of any meeting at which a proposed amendment is considered.

Section 12.2 Adoption of Resolution. A resolution for the adoption of a proposed amendment may be proposed either by the Board of Directors or by one third (1/3rd) of the Members of the Association entitled to vote thereon.

Section 12.3 Adoption of Amendment. Adoption of the amendment will require the affirmative vote of two thirds (2/3rds) of the votes entitled to be cast at that time.

NOTWITHSTANDING THE FOREGOING, THESE ARTICLES OF INCORPORATION MAY NOT BE TERMINATED OR AMENDED WITHOUT THE WRITTEN CONSENT OF DAVID B. QUANBECK AND ANNE S. LINDBLAD, OR THE SURVIVOR OF THEM, WHICH SHALL NOT BE UNREASONABLY WITHHELD, WHILE EITHER OF BOTH OF THEM OWN PROPERTY CONTIGUOUS TO ANY OF THE TRACTS IN OLYMPIC HILL.

Section 12.4 Restrictions on Amendment. No amendment to these Articles of Incorporation affecting in any way the ownership, maintenance or operation of any Surface Water Management System Facilities in OLYMPIC HILL shall be effective without the written consent of the Southwest Florida Water Management District.

ARTICLE 13.
Subscribers

The name and street address of the subscriber and incorporator to these Articles of Incorporation is **DAVID B. QUANBECK, 13440 NW HWY 225, REDDICK FL 32686-3519.**

ARTICLE 14.
Officers

The names and addresses of the officers who shall serve until their successors are designated by the Board of Directors are as follows:

| <u>Name</u> | <u>Address</u> | <u>Office</u> |
|-----------------------------|---|----------------------|
| ANNE S. LINDBLAD | 13440 NW HWY 225, Reddick, FL 32686-3519 | P |
| DAVID B. QUANBECK | 13440 NW HWY 225, Reddick, FL 32686-3519 | S/T |
| CAROLINE A. QUANBECK | 520 SPRUCE STREET BOULDER, CO. 80302 | VP |

ARTICLE 15.
Bylaws

The original Bylaws of the Association shall be adopted by a majority vote of the Directors. Thereafter, the Bylaws of the Association may be amended, altered or rescinded as provided therein. Any amendments to Bylaws shall be binding on all Members of the Association.

ARTICLE 16.
Indemnification of Officers and Directors

The Association shall and does hereby indemnify and hold harmless Declarant and every Director and every Officer, their heirs, executors and administrators, against all loss, cost and expenses reasonably incurred in connection with any action, suit or proceeding to which he may be made a part by reason of his being or having been a Director or Officer of the Association, including reasonable counsel fees, except as to matters wherein he shall be finally adjudged in such action, suit or proceeding to be liable for or guilty of gross negligence or willful misconduct.

The foregoing rights shall be in addition to, and not exclusive of, all other rights to which such Director or Officer may be entitled.

ARTICLE 17.
Transaction in Which Directors or Officers are Interested

No contract or transaction between the Association and one or more of the Directors or Officers, or between the Association and any other corporation, partnership, association, or other organization including without limitation, the Declarant, or an affiliate of the Declarant, or a corporation in which one or more of its Officers or Directors are Officers or Directors of this Association shall be invalid, void or voidable solely for this reason, or solely because the Officer or Director is present at, or participates in, meetings of the Board or committee thereof which authorized the contract or transaction, or solely because said Officers' or Directors' votes are counted for such purposes. No Director or Officer may be interested in any such contract or transaction.

Interested Directors may be counted in determining the presence of a quorum at a meeting of the Board of Directors or of a committee which authorized the contract or transaction.

IN WITNESS WHEREOF, for the purpose of forming this Corporation under the laws of the State of Florida, I, the undersigned, constituting the subscriber and incorporator of this Association, have executed these Articles of Incorporation this _____ day of _____, 2025

DAVID B. QUANBECK

STATE OF FLORIDA
COUNTY OF MARION

The foregoing was acknowledged before me by means of physical presence by **DAVID B. QUANBECK**, () who is personally known to me or () who provided a valid driver's license as identification, this _____ day of _____, 2025..

Notary Public, State of Florida
My Commission Expires:

CERTIFICATE OF ACCEPTANCE BY REGISTERED AGENT

ANNE S. LINDBLAD, whose street address is 13440 NW HWY 225, REDDICK, FL 32686-3519, the initial registered agent named in these Articles of Incorporation to accept service of process of Olympic Hill Property Owner's Association, Inc. organized under the laws of the State of Florida, hereby accepts such appointment as registered agent at the place designated in this certificate.

Dated this _____ day of _____, 2025.

ANNE S. LINDBLAD

**BYLAWS
OLYMPIC HILL PROPERTY OWNERS' ASSOCIATION, INC.**

**ARTICLE 1.
Name and Location**

The name of the corporation is **OLYMPIC HILL PROPERTY OWNERS' ASSOCIATION, INC.**, hereinafter referred to as the "Association". The principal office of the corporation shall be located at 13449 NW HWY 225, Reddick, FL 32686, but meetings of Members and Directors may be held at such places within the State of Florida, County of Marion, or via Zoom or other electronic means, as may be designated by the Board of Directors.

**ARTICLE 2.
Definitions**

The "Definitions" contained in the Declaration of Covenants and Restrictions for **OLYMPIC HILL, AN AGRICULTURAL LOT SPLIT ("OLYMPIC HILL")** to which these Bylaws are attached as Exhibit "E" and recorded in the Public Records of Marion County, Florida, are incorporated herein by reference and made a part hereof.

**ARTICLE 3.
Meetings of Members**

Section 3.1 **Annual Meeting.** The annual meeting of the Members shall be held at least once each calendar year in January on a date and at a time during normal business hours to be determined by the Board of Directors, for the purpose of electing the Board of Directors and transacting any other business as may be authorized by the Members.

Section 3.2 **Special Meetings.** Special meetings of the Members may be called at any time by: (a) the President; (b) the Board of Directors; or (c) upon written request of the Members who are entitled to vote fifty-one percent (51%) of all the votes of the Association.

Section 3.3 **Notice of Meetings.** Written notice of each meeting of the Members shall be given by, or at the direction of, the Secretary, or person authorized to call the meeting, by mailing a copy of such notice, postage prepaid, at least fifteen (15) days before such meeting (provide, however, in the case of an emergency, four (4) days' notice will be deemed sufficient) to each Member entitled to vote thereat, addressed to the Member's address last appearing on the books for the Association, or supplied by such Member to the Association for the purpose of notice, or by posting on recreational facilities' bulletin boards and by either publishing notice in a monthly newsletter or announcing the meeting over closed circuit television. Unless otherwise notified in writing of a different address, each Member's address shall be deemed to be the address appearing on the Deed to the Member of a Tract in **OLYMPIC HILL**.

- Section 3.4** **Quorum.** The presence at the meeting of Members entitled to cast, or proxies entitled to cast, thirty percent (30%) of the votes of the Association shall constitute a quorum for any action, except as otherwise provided in the Articles of Incorporation, the Declaration, or these Bylaws. If, however, such quorum shall not be present or represented at any meeting, the Members entitled to vote thereat shall have power to adjourn the meeting, and reschedule the meeting without notice other than announcement at the meeting, until a quorum as aforesaid shall be present or be represented.
- Section 3.5** **Proxies.** At all meetings of Members, each Member entitled to vote may vote in person or by proxy. All proxies shall be in writing and filed with the Secretary. Every proxy shall be revocable and shall automatically cease upon conveyance by the Member of his Tract. Proxy votes must be tendered to the Secretary two (2) days before the meeting. No individual who is not a Member of the Board of Directors may collect more than five (5) proxies.
- Section 3.6** **Location.** Meetings shall be held at such place convenient to the Members on the Property as may be designated by the Board of Directors.
- Section 3.7** **Minutes.** The Association shall maintain minutes of each meeting of the membership and the Board of Directors, and the minutes shall be kept available for inspection by any Member during normal business hours.
- Section 3.8** **Decorum.** No Officer, Director or Owner attending any of said meetings will be permitted to use profanity at or during said meetings. No Owner will be permitted to abuse, discipline, reprimand, or harass any of the Officers, Directors, or employees of the Association verbally or otherwise. Complaints in writing will receive the immediate attention of the Board. Fines and assessments as published by the Declarant may be levied for a violation.

ARTICLE 4.

Board of Directors; Selection; Term of Office

- Section 4.1** **Number.** The affairs of this Association shall be managed by a Board of Directors consisting of not less than three (3) nor more than five (5) persons who need not be Members of the Association. The first Board shall consist of three (3) Directors. Thereafter, the number of Directors may be increased to a maximum of five (5) by a majority vote of the Board of Directors.
- Section 4.2** **Term of Office.** The first election of Directors shall be held between twelve (12) months and fifteen (15) months from filing the Articles of Incorporation with the Secretary of State, at a meeting of the Members called for that purpose. Three (3) Directors shall be elected at this first election, each for a term of one (1) year. Any Director may serve consecutive terms. In addition, at and after the Declarant has assigned to the other Members the right to vote on any matters pertaining to the Association, the Developer as Declarant, and whether or not Declarant has any

other vote by virtue of owning a Tract, shall have the right to name, appoint and remove one (1) Member of the Board of Directors and, from time to time, the successor of such Member.

Section 4.3 **Removal.** A Director, other than a Director named by Declarant pursuant to Section 4.2, may be removed from the Board with or without cause, by a majority vote of the Members of the Association entitled to vote or by the Declarant until such time as Declarant transfers the right to vote to other Members. In the event of death, resignation or removal of a Director, his successor shall be selected by the remaining Members of the Board and shall serve for the unexpired term of his predecessor. Directors who resign may not be reinstated.

Section 4.4 **Compensation.** No Director shall receive compensation for any service he may render to the Association. However, any Director may be reimbursed for his actual expenses incurred in the performance of his duties.

ARTICLE 5.

Nomination and Election of Directors

Section 5.1 **Nomination.** Nomination for election to the Board of Directors may be made from the floor prior to the annual meeting, or by a nominating committee established by the Board of Directors in advance of the annual meeting. Any Member may nominate himself for a position on the Board of Directors.

Section 5.2 **Election.** Election to the Board of Directors shall be by secret written ballott. At such election the Member or their proxies may cast, in respect to each vacancy, as many votes as they are entitled to exercise under the provisions of the Declaration. The persons receiving the largest number of votes shall be elected. Cumulative voting is not permitted.

Section 5.3 **Current Account Status.** All Directors and those Homeowners exercising a vote must maintain at all times a current account status with Declarant concerning all assessments and charges.

ARTICLE 6.

Meeting of Directors

Section 6.1 **Regular Meetings.** Regular meetings of the Board of Directors shall be held at least annually at such place and hour during normal business hours as may be fixed, from time to time, by resolution of the Board.

Section 6.2 **Special Meetings.** Special meetings of the Board of Directors shall be held when called by the President of the Association, or by any two (2) Directors after not less than three (3) days' notice to each Director or by Declarant.

Section 6.3 **Quorum.** A majority of the number of Directors shall constitute a quorum for the transaction of business. Every act or decision done or made by a majority of the Directors present at a duly held meeting at which a quorum is present shall be regarded as the act of the Board.

Section 6.4 **Vacancies.** Except as to vacancies occurring by removal of a Director by the Member or removal of a Director by the Declarant under Section 4.2 of Article 4, vacancies on the Board of Directors occurring between annual meetings shall be filled by the remaining Directors. Any such appointed Director shall hold office until his successor is elected by the Members. A vacancy caused by resignation or removal of a Director appointed by the Declarant shall be filled by the Declarant appointing a replacement.

Section 6.5 **First Meeting.** The first meeting of the newly elected Board of Directors shall be held at such place as shall be fixed by the Members at the meeting at which the Directors were elected, and no further notice of the first meeting shall be necessary.

Section 6.6 **Executive Meetings.** Executive meetings of the Board of Directors may be held when called by the President of the Association at any time, with or without notice, at such place and time during normal business hours as may be fixed, from time to time, by resolution of the Board.

ARTICLE 7.

Powers and Duties of the Board of Directors.

Section 7.1 **Powers.** The Board of Directors shall have the powers reasonably necessary to operate and maintain the Association including, but not limited to, the following:

7.1.1 Adopt and publish rules and regulations governing the personal conduct of the Members and their guests at meetings and to establish penalties and/or fines for the infraction thereof;

7.1.2 Exercise for the Association all powers, duties and authority vest in or delegated to this Association and not reserved to the membership by other provisions of these Bylaws, the Articles of Incorporation or the Declaration;

7.1.3 Declare the office of a Member of the Board of Directors to be vacant in the event such Member shall be absent from three (3) consecutive regular meetings of the Board of Directors.

Section 7.2 **Duties.** It shall be the duty of the Board of Directors to cause the Association to perform the purposes for which it was formed including, but not limited to the following:

- 7.2.1 Cause to be kept a complete record of all its acts and corporate affairs and to present a statement thereof to the Members at the annual meeting of the Members;
- 7.2.2 Supervise all officers, and agents of this Association, and to see that their duties are property performed;
- 7.2.3 Cause all officers or employees having fiscal responsibilities to be bonded, as it may deem appropriate.

ARTICLE 8.
Officers and Their Duties

- Section 8.1** **Enumeration of Officers.** The Officers of this Association shall be a President who shall at all times be a Member of the Board of Directors, a Secretary, and a Treasurer, and such other Officers as the Board may from time to time by resolution create.
- Section 8.2** **Election of Officers.** The election of officers shall take place at the first meeting of the Board of Directors following each annum meeting of the Members.
- Section 8.3** **Term.** The Officers of this Association shall be elected annually by the Board and each shall hold office for one (1) year unless he shall sooner resign, or shall be removed, or be otherwise disqualified to serve. An individual may serve consecutive terms without limit.
- Section 8.4** **Special Appointments.** The Board may elect such other officers as the affairs of the Association may require, each of whom shall hold office for such period, have such authority, and perform such duties as the Board may, from time to time, determine.
- Section 8.5** **Resignation and Removal.** Any Officer may be removed from office, with or without cause, by the Board or by the Declarant. Any Officer may resign at any time by giving written notice to the Board, the President or the Secretary. Such resignation shall take effect on the date of receipt of such notice or at any later time specified therein and, unless otherwise specified therein, the acceptance of such resignation shall be necessary to make it effective.
- Section 8.6** **Vacancies.** A vacancy in any office may be filled by appointment by the Board or by the Declarant. The Officer appointed to such vacancy shall serve for the remainder of the term of the Officer he replaces.
- Section 8.7** **Multiple Offices.** The offices of Secretary and Treasurer may be held by the same person. No person shall simultaneously hold more than one (1) of the other offices except in the case of special offices created pursuant to Section 8.4 of this Article.

Section 8.8 Duties. The duties of the Officers are as follows:

8.8.1 President. The President shall preside at all meetings of the Members and Board of Directors; shall see that orders and resolutions of the Board are carried out; shall sign all written instruments and shall co-sign checks and promissory notes.

8.8.2 Secretary. The Secretary shall record the votes and keep the minutes of all meetings and proceedings of the Board and of the Member; keep the corporate seal of the Association and affix it on all papers requiring said seal; serve notice of meetings of the Board and of the Members; keep appropriate current records showing the Members of the Association together with their addresses; and shall perform such other duties as required by the Board.

8.8.3 Treasurer. The Treasurer shall receive and deposit in appropriate bank accounts all monies of the Association and shall disburse such funds as directed by resolution of the Board of Directors; shall co-sign all checks and promissory notes of the Association; keep proper books of account; cause an annual audit of the Association books to be made by a public accountant at the completion of each fiscal year if required by the Board of Directors or Declarant; and shall prepare an annual budget and a statement of income and expenditures to be presented to the membership at its regular annual meeting, and deliver a copy of each to the Members (upon request). The Board of Directors may charge a reasonable fee for copies, unless prohibited by Florida Law.

ARTICLE 9.
Committees

The Board of Directors shall appoint committees as deemed appropriate in carrying out its purpose.

ARTICLE 10.
Books and Records

The books, records and papers of the Association shall at all times, during reasonable business hours, be subject to inspection by any Member. The Declaration, the Articles of Incorporation and the Bylaws of the Association shall be available for inspection by any Member at the principal office of the Association during normal business hours, where copies may be purchased at reasonable cost.

ARTICLE 11.
Corporate Seal

The Association shall have a seal in circular form having within its circumference the words:

OLYMPIC HILL PROPERTY OWNERS' ASSOCIATION, INC.

ARTICLE 12.
Amendments

Section 12.1 Requirement. These Bylaws may be amended at a regular or special meeting of the Members by a two thirds (2/3rds) majority vote of the votes then entitled to be cast or by the Declarant. Said amendments may be voted on at a meeting at which two thirds (2/3rds) of the votes entitled to then be cast are present or represented. NOTWITHSTANDING THE FOREGOING, THESE BYLAWS MAY NOT BE TERMINATED OR AMENDED WITHOUT THE WRITTEN CONSENT OF DAVID B. QUANBECK AND ANNE S. LINDBLAD, OR THE SURVIVOR OF THEM, WHICH SHALL NOT BE UNREASONABLY WITHHELD, WHILE EITHER OF BOTH OF THEM OWN PROPERTY CONTIGUOUS TO ANY OF THE TRACTS IN OLYMPIC HILL.

Section 12.2 Conflict. In case of any conflict between the Articles of Incorporation and these Bylaws, the Articles shall control; and in the case of any conflict between the Declaration and these Bylaws, the Declaration shall control.

ARTICLE 13.
Miscellaneous

The fiscal year of the Association shall begin on the first day of January and end on the 31st day of December of every year, except that the first fiscal year shall begin on the date of incorporation.

IN WITNESS WHEREOF, the undersigned Secretary of the Association certifies that these Bylaws have been duly adopted by the Directors of the Association.

**OLYMPIC HILL PROPERTY OWNERS'
ASSOCIATION, INC.**

BY: _____
DAVID B. QUANBECK, Secretary

Record \$ _____
This instrument prepared by,
Record and Return to:
H. Randolph Klein, Esq.
40 Southeast 11th Avenue
Ocala, FL 34471

**DECLARATION OF EASEMENTS AND COVENANTS FOR
OLYMPIC HILL, AN AGRICULTURAL LOT SPLIT RECORDED
IN MARION COUNTY BOARD OF COUNTY COMMISSIONERS
EASEMENTS OFFICIAL RECORDS BOOK _____, PAGE _____**

DAVID BATISTE QUANBECK, AS TRUSTEE OF THE DAVID BATISTE QUANBECK IRREVOCABLE TRUST DATED 8/26/17 hereinafter referred to as (the "Declarant"), the owner of all real property in **OLYMPIC HILL, AN AGRICULTURAL LOT SPLIT** ("Olympic Hill"), located in Marion County, Florida, (joined **DAVID BATISTE QUANBECK, Individually, and his wife, ANNE S. LINDBLAD** for the purposes of Article X, Section 4 of the Florida Constitution only) does hereby declare these Easements and Covenants for Olympic Hill

WITNESSETH:

WHEREAS, the Declarant owns the land described on Exhibit "A" attached hereto which has been divided into the three (3) tracts described on Composite Exhibit "B" attached hereto, pursuant to an agricultural Tract split in accordance with the Land Development Regulations of Marion County, Florida:

WHEREAS, the Declarant desires to provide for the preservation and enhancement of the property values and the improvements thereon, and, for this reason, desires to subject the subject property to the easements and covenants, charges and liens in this Declaration, each and all of which is and are for the benefit of such property and each Owner thereof.

NOW, THEREFORE, the Declarant declares the real property described as the subject property in Article II, is and shall be held, transferred, sold, conveyed and occupied subject to the covenants, easements, charges and liens set forth in this Declaration which shall run with real property and be binding on all parties having any right, title or interest in the subject property; their heirs, personal representatives, successors and assigns.

ARTICLE I
Definitions

The following words when used in the Declaration shall have the following meanings:

- (a) "Access Easement" shall mean and refer to the entrance area, private road and drainage area as described on Exhibit "C" attached, serving Tracts 1 through 3.
- (b) "Association" shall mean and refer to **OLYMPIC HILL PROPERTY OWNERS'**

ASSOCIATION, INC., its successors and assigns (the "Association"). The Articles of Amendment and Articles of Incorporation (collectively the "Articles") and Bylaws of the Association are attached hereto as Exhibits "D" and "E" respectively.

(c) "Declarant" shall mean and refer to **DAVID BATISTE QUANBECK, AS TRUSTEE OF THE DAVID BATISTE QUANBECK IRREVOCABLE TRUST DATED 8/26/17**, who may also be referred to as Developer. The rights and status of the Declarant are assignable to any other person or entity and continue until the Declarant (or Declarant's Assignee), no longer owns any Tract within the subject property.

(d) "Declaration" means this Declaration of Easements and Covenants for OLYMPIC HILL an Agricultural Tract Split.

(e) "Member" of the Association shall mean and refer to all Owners of a Tract in the subject property.

(f) "Owner" shall mean and refer to the record Owner, whether one or more persons or entities, of the fee or undivided fee interest in any Tract located within the property, but shall not mean or refer to any mortgagee unless and until such mortgagee has acquired title pursuant to foreclosure or any proceeding in lieu of foreclosure.

(g) "The Property" or "OLYMPIC HILL" shall mean and refer to the property which is subject to this Declaration under the provisions of Article II.

(h) "Tract" or "Tracts" shall mean and refer to any one (1) of the three (3) Tracts of real property subsequently conveyed by the Declarant. The word Tract shall also include any improvements located thereon when such has been constructed on the Tract.

ARTICLE II

Property Subject to this Declaration and Additions

Section 1. The Property. The property, as heretofore defined and any improvements now or hereafter constructed thereon shall be held, transferred, sold, conveyed, and occupied subject to this Declaration.

Section 2. Additions. The Declarant may declare additional real property to be subject to this Declaration.

ARTICLE III

Easements

Section 1. Access Easement. Every Owner, Owner's guests, and tenants of Tract 1 through Tract 3, emergency vehicles and their personnel and utility vehicles and their personnel shall have a right and perpetual non-exclusive easement of enjoyment and use in and to all of the Access Easement for access and drainage to and from each Tract, and such easement shall be appurtenant to and shall pass with title to every Tract. Such easements of enjoyment and use shall include the Owner's right

of ingress, egress and drainage over the Access Easement. The Declarant reserves the right to promulgate and enforce written or posted rules and regulations regarding the use of the Access Easement, which right the Declarant may assign to the Association; and which right the Declarant automatically assigns to the Association upon the sale of the Declarant's last Tract within the Property unless the Declarant has previously or contemporaneously assigned such right. The failure of any guest, tenant or other invitee of an Owner or the Owner to abide by the written or posted rules and regulations may result in the imposition of a Special Assessment against the Owner's Tract enforceable in accordance with the provisions of this Declaration. No fencing shall be erected within the Access Easement without the prior written consent of Declarant.

Section 2. Easement for Maintenance. The Association shall have a right and perpetual non-exclusive easement to maintain, repair or replace the Access Easement, including all pavement, landscaping, irrigation systems (including the well and pump), entrance way and fencing within the Access Easement. Such easements shall include the Association's right of ingress and egress over and across the easement areas to perform required maintenance and repairs.

Section 3. Utility Easement. The Owners of Tract 1 through Tract 3 are given a utility easement in their favor assignable to the providers of all utility service for the installation and maintenance of electric, telephone, cable, fiber optic and other utilities servicing their Tract which easement is under and across the Access Easement described in Article I (a). All utilities running through the Access Easement shall be underground. The utility provider shall restore the Access Easement to its original condition after each installation, failing which the Owners contracting with the utility shall be assessed the cost thereof as a special assessment against the Owner's Tract enforceable in accordance with the provisions of this Declaration. The installation of new utilities over, under or across the Access Easement is prohibited while the Declarant owns any Tract within the subdivision unless they consent to same in writing which consent shall not be unreasonably withheld.

Section 4. Additional Utility Easements. Declarant reserves a utility easement along the front Tract lines of each Tract, ten feet (10') in width adjacent to and parallel with the Access Easement and ten feet (10') in width along the sides and rear Tract lines of each Tract, ten feet (10') in width for the installation and maintenance by providers of utility service of electric, telephone, cable, fiber optic and other utilities servicing the Tracts. All utilities servicing the Tract shall be underground.

ARTICLE IV **Maintenance**

Section 1. Maintenance by the Owner. Each Owner is responsible for maintenance in good order, condition and repair of the interiors and exteriors of residences, other structures, and of all mechanical equipment, plumbing and electrical facilities located on a Tract servicing the residence or other structures thereon, and any pool, hot tub, spa or similar facility located on a Tract and any equipment and appurtenances. The Owner shall promptly perform such maintenance so as to keep the residence, other structures, and Tract in a good state of repair. No Owner shall in any way maintain, modify or improve any areas for which the Association has the responsibility for maintenance without the prior written consent of the Association. Each Tract Owner grants the

Association an easement to enter onto a Tract to maintain and repair it if the Owner fails to perform required maintenance within ninety (90) days of the Association's written demand that the Owner perform maintenance. Each Owner agrees to hold the Association, its employees and agents harmless for any maintenance actions taken. Each Owner agrees to reimburse the Association for its costs associated with Tract maintenance. Each Owner agrees that, if not paid within thirty (30) days, the cost of Tract maintenance shall be evidenced by a Special Assessment against the Owner's Tract enforceable in accordance with the provisions this Declaration. The Association may grant Owners extensions of the forgoing deadlines in the event of natural disasters or other events beyond the control of the Owners which prevent timely compliance.

Section 2. Maintenance by the Association. The Association shall be responsible for maintenance and repair as follows:

(a) Entrance Area. The Association shall maintain and care for the entrance area within the Property which is part of the Access Easement. The Association in its sole discretion shall determine the need for replacement and/or improvement of the landscaping and maintenance of the gate and its key pad. In the event the Entrance Area is damaged as a result of the negligence of an Owner, or his family, guest, licensee, invitee, employee or tenant, the Association may repair or replace such damage and demand reimbursement from such Owner by delivery of written notice thereof. Each Owner agrees that, if not paid within ten (10) days, the cost of maintenance shall be evidenced by a Special Assessment against the Owner's Tract enforceable in accordance with the provisions of this Declaration.

(b) Access Easement. The Association shall maintain and repair the Access Easement. In the event such is damaged as a result of the negligence of an Owner, or his family, guest, licensee, invitee, employee or tenant, the Association may repair or replace such damage and demand reimbursement from such Owner by delivery of written notice thereof. Each Owner agrees that, if not paid within ten (10) days, the cost of maintenance shall be evidenced by a Special Assessment against the Owner's Tract enforceable in accordance with the provisions of this Declaration.

Section 3. The Association May Contracting for Services. The Association may contract for the management of all or part of the Property for purposes of carrying out any portion of the Association's responsibilities in this Declaration.

ARTICLE V

Covenant for Maintenance Assessments

Section 1. Purpose of Maintenance Assessments. Any maintenance assessments levied by the Association shall be used for the payment of taxes and insurance, if any, on the Access Easement; for constructing, maintaining, operating, repairing and replacing improvements on the Access Easement including the entrance area; for maintaining the Surface Water Management System Facilities; for enforcing the Covenants; and for any lawful purpose of the Association.

Section 2. Special Assessments. Special assessments may also be enacted at any regular or special meeting of the Association for the purposes set forth herein, collected and enforced in the

same manner as the maintenance assessments described in Section 1 above.

Section 3. Liability for Maintenance Assessments. Each Owner of a Tract by acceptance of a deed therefore, whether or not it shall be so expressed in any such deed or other conveyance, hereby covenants and agrees to pay to the Association an annual assessment (payable in equal monthly installments if the Association so chooses) for any costs and expenses relating in any way to any of the items described in Section 1 above. All such assessments, together with interest, and costs of collection, including, without limitation, reasonable attorneys' fees incurred by the Association incident to the collection of such assessments whether or not judicial proceedings are involved, and appeals; if any, shall constitute a continuing lien upon the Tract against which such assessment is made. Said lien shall be effective from and after the time of recording a claim of lien in the Public Records of Marion County, Florida, and the lien shall continue in effect until all sums secured by the lien shall have been fully paid. Upon full payment, the party making payment shall be entitled to a recordable satisfaction of lien. Each such assessment shall also be the personal obligation of the Owner of such Tract at the time the assessment is due and payable. No assessments may be offset by any claims by any Owner against the Association for any reason. While the Declarant is in control of the Association it shall be excused from the payment of assessments related to Tract it owns provided it pays any operating expenses incurred that exceed the assessments receivable from other members and other income of the Association.

Section 4. Delinquent Assessments. If any assessment or installment thereon is not paid within thirty days after the due date, a late fee may be charged by the Association up to twenty-five percent (25%) of the delinquent assessment. Interest shall accrue on any unpaid assessment including the late fee whether or not accelerated, at the highest rate allowed by law.

Section 5. Rights of Association to Collect Delinquent Assessments. Liens for assessments may be foreclosed by suit brought in the name of the Association in like manner as a foreclosure of a mortgage on real property. The Association may also sue to recover a money judgment for unpaid assessments against the Owner personally obligated to pay same without waiving the lien securing same.

Section 6. Method of Setting Assessments. Assessments may be initiated, increased and decreased and their method of payment established all as determined by the Association at any meeting called for that purpose all in accordance with Chapter 720, Florida Statutes.

Section 7. Certification of Assessment Liability. Upon demand, the Association shall furnish a certificate in writing signed by an officer of the Association to any Owner liable for an assessment. The certificate shall state whether said assessment has been paid and shall be conclusive evidence of payment of any assessment therein stated to have been paid. The Association shall have the right to charge a reasonable fee for the Certificate of Assessment Liability.

Section 8. Allocation of Assessments Among Tracts. All Assessments pertaining to the Access Easement shall be allocated among the Tract1 through 3 equally. Any assessment pertaining to matters other than the Access Easement, and other than Special Assessments, shall be allocated among Tract1 through 3 equally.

ARTICLE VI
Membership and Voting Rights

Section 1. Membership in the Association. Every Owner of a Tract which is subject to assessments shall be a member of the Association. Membership shall be appurtenant to and may not be separated from ownership of any Tract which is subject to assessment.

Section 2. Voting Rights in Association. Voting rights in the Association shall be as set forth in the Articles of Incorporation, a copy of which is attached hereto.

ARTICLE VII
Use Restrictions

Section 1. Use Restrictions. The use restrictions contained in this Article shall apply uniformly to all Tracts and Dwelling Units on the Property.

Section 2. Residential and Agricultural Use Only. No Tract shall be used for any purpose except for residential or agricultural purposes. No owner shall house horses in excess of good agriculture practices. All commercial uses are prohibited other than commercial agricultural uses which will be restricted to commercial equine activities and the breeding and raising of beef cattle.

Section 3. Restrictions on Dwelling Units. All Dwelling Units on the Tract must be of conventional construction and built on site. Mobile homes, modular homes, or homes moved from any other location are prohibited. No Dwelling Unit shall exceed two (2) stories in height. Any two-story Dwelling Unit shall have a minimum first-floor living area of 1,500 sq. feet.

Section 4. Roofs. Flat roofs shall not be permitted unless approved by the DECLARANT. Such areas where flat roofs may be permitted are Florida rooms, porches and patios. The DECLARANT shall have discretion to approve such roofs on part of the main body of a house, particularly if modern or contemporary in design. No built-up roofs shall be permitted, except on approved flat surfaces.

Section 5. Subdivision - Multi Units. Only one Dwelling Unit may be erected on each Tract, although an additional garage apartment or detached guest house shall be permitted. Any guest house must contain at least 1,000 sq. feet of living space and may not exceed 2,000 sq. feet of living space. No Tract may be subdivided, except to increase the size of an Owner's property upon which no more than one (1) Dwelling Unit is constructed. Barns must be color matched to Dwelling Unit. Each Tract may have up to two RV hookups.

Section 6. Temporary or Accessory Structures. Portable, storage, temporary or accessory buildings, sheds or structures, or tents, may be erected, constructed or located upon any Tract for storage or otherwise. A covered arena and a covered walker are permitted and an Owner may occupy an RV while a residence or barn apartment is being constructed.

Section 7. Access Easement. The Access Easement of Olympic Hill shall be maintained by the Association and shall be only for vehicular, pedestrian and equestrian ingress and egress. No, all-terrain vehicles or other recreational vehicles shall speed or be used on the Access Easement, other than as access to and from Tracts. Golf carts are allowed. No structure may be constructed within fifty (50) feet of the Access Easement. The Access Easement shall be kept free of debris, litter and refuse during construction of improvements on the Owner's Tract and if the Access Easement is damaged during the construction of such improvements, it shall be repaired at the Owner's expense.

Section 8. Pets. No exotics, pigs or hogs, shall be permitted for any purpose except for bona fide 4-H or similar program and then for no more than six (6) months. Chickens for personal eggs are permitted only if penned. All pets shall be kept with the boundary of the Owner's Tract, unless accompanied by the Owner. No commercial dog kennels are permitted.

Section 9. Restriction on Activity. No noxious or offensive activity shall be conducted or permitted to exist upon any Tract or in any Dwelling Unit, nor shall anything be done or permitted to exist on any Tract or in any Dwelling Unit that may be or may become an annoyance or private or public nuisance to the neighborhood, the neighbors or their animals. No fireworks may be discharged on any Tract at any time. No more than five (5) rounds of ammunition may be discharged from firearms on any Tract during any twenty four (24) hour period.

Section 10. Tract Maintenance. Each Owner shall maintain his or her Tract and all improvements thereon in a clean, neat and attractive condition, and shall keep his or her Tract free of any accumulation of junk, trash, abandoned vehicles, used construction materials, equipment or any other unsightly objects and shall not permit any natural or artificial feature on his or her Tract to become obnoxious, overgrown, or unsightly.

Section 11. Restrictions on Fences. All fences shall be three or four wood board fences with a minimum of 4" posts and 1' x 6" boards with or without no climb wire. No metal or chain link fences are permitted. Gates may be made of wood, aluminum or steel. No cattle or farm gates are permitted at the entrance to a Tract.

Section 12. Parking. All motor vehicles, whether belonging to the Tract Owner, his or her guests or invitees, shall be parked on that Owner's Tract. No on-street parking is permitted.

Section 13. Signs. Property identification and like signs identifying the Owner of a Tract and/or a farm name may be erected or affixed to the Dwelling Unit, so long as the same do not exceed a total of sixteen (16) square feet. Campaign or political signs are permitted so long as the same do not exceed 18 inches by 30 inches. No homesite may display, however, more than one sign for any individual political candidate and campaign or political signs may not be displayed more than three weeks prior to the election to which the signs are related and must be removed within one week after said election. These restrictions shall not apply to restrict the Declarant from erecting such signs as the Declarant deems in its sole discretion to be necessary to assist the Declarant in selling any Tract or Dwelling Unit.

Section 14. Tree Removal Restrictions. No living tree larger than eight inches (8") in diameter at twelve feet (12') above ground level, shall be cut down, destroyed or removed from the Property without the prior approval of the DECLARANT.

Section 15. Timely Completion of Dwelling Unit. All exterior construction and landscaping of any Dwelling Unit shall be completed before any person may occupy the same. All construction on any Dwelling Unit shall be completed within twenty-four (24) months from the issuance of the building permit for that Dwelling Unit.

Section 16. Set-back Requirements and Building Location. All Dwelling Units and accessory structures shall be set back at least fifty (50) feet from the front, side and rear Tract lines. The Tract line setbacks contained in this Section may never be less than those set back requirements contained in the Marion County Land Development Regulations for development areas of A-1; Agricultural, which are twenty-five feet (25') for front, side and rear Tract line setbacks. All other structures, including barns and detached garages, shall be located behind the main residence.

Section 17. Garbage and Yard Trash. No Tract or any other part of the Property shall be used or maintained as a dumping ground for rubbish of any kind except as set forth herein. Trash, garbage, wrecked or junk vehicles, appliances, furniture, building materials, debris, weeds, scrap metal, or other unsightly objects may not be maintained outside an approved structure on any Tract. Manure may be stockpiled on the property in a manure ben no larger than 100 yards located behind the residence in accordance with the Marion County Code and shall be removed every thirty (30) days. Used stall shavings must be removed from the property or composted in a manner which has been approved by the University of Florida, College of Agriculture, and screened from view from any other residence in the subdivision.

Section 18. Access. No Tract shall be used as a means of access to property other than property in OLYMPIC HILL, or adjacent property owned solely by the Owner of the Tract and used and occupied by the Owner of the Tract for non-commercial agricultural purposes or as residential property in conjunction with the Tract.

Section 19. Driveways. All driveways which connect to the Access Easement of OLYMPIC HILL, said Access Easement being maintained by the Association, must be constructed in the following manner as may reasonably be determined by the DECLARANT:

- (a) All driveways must connect from the Access Easement to the Tract. The entire driveway must of stable and permanent construction and paved with concrete, brick, stone, asphalt or pebble stone over limestone or asphalt base from the Access Easement to the Dwelling.
- (b) No driveway may be less than eighteen (18') feet nor more than forty feet (40') wide where the same connects to the Access Easement. No driveway may be less than ten feet (10') wide. If a culvert is required it must installed in the right of way ditch or swale in conjunction with the driveway construction and conform to all County specifications. It shall be finished with formed concrete and of adequate length so that it functions properly and does not restrict the normal low of water in the drainage ditch or swell.

(d) All construction of driveways and culverts, set forth above, must be in accordance with accepted building and engineering standards. Each Owner shall be responsible for the maintenance of the driveways and culverts serving his or her Tract in good condition so that they do not become unsightly or cause damage to the Access Easement, swales, drainage areas, or Common Areas of OLYMPIC HILL.

Section 20. Water and Sewer. All potable water, septic and sewer systems shall meet all State, County, and other regulatory agency requirements.

Section 21. Utility Connections. All house connections for all utilities including, but not limited to, water, sewage, electricity, gas, telephone and television shall be run underground from the proper connecting points to the house in such manner to be acceptable to the governing utility authority.

All pumps, compressors, tanks and like exterior mechanical equipment shall be enclosed within a structure or otherwise screened from view from any Access Easement within the subdivision.

Section 22. Recreational Equipment. All permanent recreational equipment, including, but not limited to, swing sets, swings, sandboxes and trampolines, shall be located in the rear yard behind the residence. Any other recreational equipment shall be kept within the Dwelling Unit except when in use, except for a single basketball pole and hoop which may be erected adjacent to the driveway serving the Dwelling Unit.

Section 23. Grassed Areas and Yards. All designated areas on each Tract shall, upon completion of the Dwelling Unit and prior to any person occupying the Dwelling Unit, be fully landscaped and grassed. The owner shall maintain all shrubbery, grass, trees and other landscaping installed on their Tract in a neat, clean, orderly and healthy condition. Grassed areas will be regularly mowed, and will be appropriately watered, fertilized, and treated for grass destroying pests, including insects, fungus, weeds and disease in a manner designed to insure healthy growth, color and appearance.

ARTICLE VIII **Amendment**

Section 1. Amendment by the Declarant. The Declarant (or the Declarant's assignee) shall have the right to amend this Declaration in any manner the Declarant (or the Declarant's assignee) deems necessary provided the amendment does not unreasonably lower standards of the Covenants contained herein. The conveyance of a Tract to an Owner shall not be deemed an assignment of any of the Declarant's rights reserved under this Declaration. The Declarant shall also have the right to release any Tract from any part of the Covenants which has been violated if the Association, in its sole judgment determines such violation to be a minor or insubstantial violation.

Section 2. Amendments by Association. After the Declarant (or the Declarant's Assignee) no longer owns any Tracts, the Association shall have the right and power of amendment of this Declaration, and such amendment shall not require the joinder of mortgagees or any person other than the members of the Association having an interest in the Properties. Such right to amend shall include without limitation the right (a) to amend these Covenants for the purpose of curing any ambiguity in or to any inconsistency between the provisions contained herein; (b) to include in any contracting or deed or other instrument hereafter made any additional covenants applicable to the Property which do not unreasonably lower standards of the Covenants herein contained; (c) to release any Tract from any part of the Covenants which have been violated if the Association, in its sole judgment determines such violation to be a minor or insubstantial violation; (d) such other amendment or other action as may be decided by the Association. Any amendment by the Association shall be approved by the then Owners of a majority of the Tract in the subdivision. NOTWITHSTANDING THE FOREGOING, THIS DECLARATION MAY NOT BE TERMINATED OR AMENDED WITHOUT THE WRITTEN CONSENT OF DAVID B. QUANBECK AND ANNE S. LINDBLAD, OR THE SURVIVOR OF THEM, WHICH SHALL NOT BE UNREASONABLY WITHHELD, WHILE EITHER OF BOTH OF THEM OWN PROPERTY CONTIGUOUS TO ANY OF THE TRACTS.

Section 3. Notice of Amendment. Recording of an amendment shall be deemed notice to all Owners of the terms thereof, and all Owners shall be bound by its terms.

Section 4. Amendment of Articles and By-Laws. The Articles of Incorporation and By-Laws of the Association shall be amended in the manner provided in such documents.

Section 5. Additional Requirements for Amendments. Any amendment to this Declaration which alters the Surface Water Management System Facilities beyond maintenance in its original condition, must have the prior written approval of Marion County and the Southwest Florida Water Management District notwithstanding any other provisions contained herein, if a permit is ever required.

ARTICLE IX

Enforceability and Notice

Section 1. Parties Who May Seek Enforcement. If any person, firm or corporation, or other entity shall violate or attempt to violate any of the provisions of the Declaration, it shall be lawful for the Declarant, any Owner or the Association, (a) to initiate proceedings for the recovery of damages against those so violating or attempting to violate any such provisions; or (b) to maintain a proceeding in any court of competent jurisdiction against those so violating or attempting to violate any such provisions for the purpose of preventing or enjoining all or any such violations or attempted violations, or seeking any other legal or equitable relief available. Should the Declarant, any Owner or the Association take action to enforce or defend the provisions hereof, its reasonable attorneys' fees and costs incurred, whether or not judicial proceedings are involved, including the attorneys' fees and costs incurred on appeal of such judicial proceedings, shall be collectible from the party against whom enforcement is sought. In any proceedings by the Declarant, any Owner or the Association against an Owner, collection of such attorneys' fees may be enforced by any method in this Declaration providing for the collection of an annual assessment or special assessment including, but not limited

to, a foreclosure proceeding against the Owner's Tract. The remedies contained in this provision shall be construed as cumulative of all other remedies now or hereafter provided by law. The failure of the Declarant, any Owner or the Association to enforce any covenant or restriction or any obligation, right, power, privilege, authority or reservation herein contained, however long continued, shall in no event be deemed a waiver of the right to enforce the same thereafter as to the same breach or violation, or as to any other breach or violation thereof occurring prior to or subsequent thereof.

Section 2. Enforcement by Southwest Florida Water Management District. The District has the right to take enforcement measures, including a civil action for injunction and/or penalties, against the Association to compel it to correct any outstanding problems with the Surface Water Management System Facilities, if a permit is ever required.

Section 3. Notice. Any notice required to be sent to any member or Owner under the provisions of this Declaration shall be deemed to have been properly sent when mailed, postpaid, to the last known address of the person who appears as member or Owner on the record of the Association or in the absence of such or in the alternative to the last known address of the Owner as maintained by the office of the Marion County Property Appraiser at the time of such mailing.

ARTICLE X **Duration and Validity**

Section 1. Duration. These easements and covenants shall run with the title to all of the land contained in OLYMPIC HILL, and will be binding on the Owners of all Tracts, their successors and assigns in title until December 31, 2035 and for successive ten (10) year periods thereafter unless amended or released at that time by written instrument executed by the then Owners of a majority of Owners of Tract in OLYMPIC HILL. Failure of the Association or the Tract Owners, to enforce any of these protective deed covenants and restrictions as set forth herein, shall not nullify any of the covenants and/or restrictions, or in any way be interpreted as a waiver by the Association, Tract or Owners, of the right to object to and enforce by proceeding at law or in equity against any person or persons violating or attempting to violate any of the protective deed covenants and restrictions contained herein.

Section 2. Validity. If any portion of this Declaration is declared enforceable or if the applicability of this Declaration against any person or in any circumstances is held invalid, the validity of the remainder and the applicability shall not be affected thereby. If any word, sentence, phrase, clause, section, article or portion of the protective deed restrictions and covenants shall be held invalid or enforceable by a court of competent jurisdiction, such portion or word shall be deemed a separate and independent provision and such holding shall not affect the validity of the remaining portions hereof.

SIGNATURES FOLLOWS

IN WITNESS WHEREOF, the Declarant, has caused this instrument to be executed as of the ____ day of _____, 2025.

Signed, sealed and delivered in our presence as witnesses:

Witness #1 Signature

**DAVID BATISTE QUANBECK,
INDIVIDUALLY AND AS TRUSTEE OF
THE DAVID BATISTE QUANBECK
IRREVOCABLE TRUST DATED 8/26/17**

Witness #1 Printed Name

Witness #2 Signature

ANNE S. LINDBLAD

Witness #2 Printed Name

STATE OF FLORIDA
COUNTY OF MARION

BEFORE ME, the undersigned authority, this day appeared, by means of physical presence or online notarization, **DAVID BATISTE QUANBECK, INDIVIDUALLY AND AS TRUSTEE OF THE DAVID BATISTE QUANBECK IRREVOCABLE TRUST DATED 8/26/17 and ANNE S. LINDBLAD**, who executed the foregoing instrument, and acknowledged to me and before me that they executed said instrument for the uses and purposes therein expressed, who are personally known to me or who produced a valid driver's license as identification.

WITNESS my hand and official seal this ____ day of _____, 2025.

Notary Public
My Commission Expires:

EXHIBIT "A"
OLYMPIC HILL AG LOT SPLIT
PAREL PARENT PARCEL
LEGAL DESCRIPTION

A PORTION OF SECTIONS 23 AND 24, TOWNSHIP 13 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTER OF SAID SECTION 23; THENCE RUN NORTH 00°12'19" WEST, ALONG THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 23, A DISTANCE OF 37.98 FEET TO A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN NORTH 85°41'32" EAST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1324.00 FEET TO A POINT LYING ON THE EAST BOUNDARY OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 23 AND THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN NORTH 00°24'06" WEST, ALONG SAID EAST BOUNDARY, A DISTANCE OF 2575.83 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 23; THENCE DEPARTING SAID EAST BOUNDARY, RUN NORTH 86°35'14" EAST, ALONG THE NORTHERLY BOUNDARY OF THE NORTHEAST 1/4 OF SECTION 23, A DISTANCE OF 789.37 FEET; THENCE DEPARTING SAID NORTHERLY BOUNDARY, RUN SOUTH 17°31'39" EAST, A DISTANCE OF 1914.34 FEET; THENCE RUN SOUTH 2°08'08" EAST, A DISTANCE OF 694.41 FEET TO A POINT LYING ON THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN SOUTH 85°41'32" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1376.21 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAINING 2,951,500 SQUARE FEET, (67.76 ACRES), MORE OR LESS.

COMPOSITE EXHIBIT "B"

**OLYMPIC HILL AGRICULTURAL LOT SPLIT
TRACT LEGAL DESCRIPTIONS**

LEGAL DESCRIPTION FOR TRACT NO. 1:

A PORTION OF SECTIONS 23 AND 24, TOWNSHIP 13 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE CENTER OF SAID SECTION 23; THENCE RUN NORTH 00°12'19" WEST, ALONG THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 23, A DISTANCE OF 37.98 FEET TO A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN NORTH 85°41'32" EAST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2022.33 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN NORTH 00°34'06" WEST, A DISTANCE OF 1405.83 FEET; THENCE RUN NORTH 89°35'54" EAST, A DISTANCE OF 454.30 FEET; THENCE RUN SOUTH 17°31'39" EAST, A DISTANCE OF 696.44 FEET; THENCE RUN SOUTH 02°08'08" EAST, A DISTANCE OF 694.41 FEET TO A POINT LYING ON THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN SOUTH 85°41'32" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 677.88 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 19.48 ACRES, MORE OR LESS.

LEGAL DESCRIPTION FOR TRACT NO. 2:

A PORTION OF SECTION 23, TOWNSHIP 13 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE CENTER OF SAID SECTION 23; THENCE RUN NORTH 00°12'19" WEST, ALONG THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 23, A DISTANCE OF 37.98 FEET TO A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE DEPARTING SAID WEST BOUNDARY, RUN NORTH 85°41'32" EAST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1,324.00 FEET TO A POINT LYING ON THE EAST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 23; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN NORTH 00°24'06" WEST, ALONG SAID EAST BOUNDARY, A DISTANCE OF 1,453.40 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°24'06" WEST, ALONG SAID EAST BOUNDARY, A DISTANCE OF 1,122.43 FEET; THENCE RUN NORTH 86°35'14" EAST, A DISTANCE OF 789.37 FEET; THENCE RUN SOUTH 17°31'39" EAST, A DISTANCE OF 1,217.90 FEET; THENCE RUN SOUTH 89°35'54" WEST, A DISTANCE OF 1,146.92 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 25.48 ACRES, MORE OR LESS.

LEGAL DESCRIPTION FOR TRACT NO. 3:

A PORTION OF SECTION 23, TOWNSHIP 13 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE CENTER OF SAID SECTION 23; THENCE RUN NORTH 00°12'19" WEST, ALONG THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 23, A DISTANCE OF 37.98 FEET TO A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN NORTH 85°41'32" EAST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1324.00 FEET TO A POINT LYING ON THE EAST BOUNDARY OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 23 AND THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN NORTH 00°24'06" WEST, ALONG SAID EAST BOUNDARY, A DISTANCE OF 1453.40 FEET; THENCE DEPARTING SAID EAST BOUNDARY, RUN NORTH 89°35'54" EAST, A DISTANCE OF 692.61 FEET; THENCE RUN SOUTH 00°34'06" EAST, A DISTANCE OF 1405.83 FEET TO A POINT LYING ON THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN SOUTH 85°41'32" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 698.33 FEET TO THE POINT OF BEGINNING.
SAID LANDS CONTAINING 22.80 ACRES, MORE OR LESS.

EXHIBIT "C"

ACCESS EASEMENT LEGAL DESCRIPTION

A PORTION OF SECTION 23, TOWNSHIP 13 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTER OF SAID SECTION 23; THENCE RUN NORTH 00°12'19" WEST, ALONG THE WEST BOUNDARY OF THE NORTHEAST 1/4 OF SAID SECTION 23, A DISTANCE OF 37.98 FEET TO A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN NORTH 85°41'32" EAST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1968.85 FEET TO THE POINT OF BEGINNING, SAID POINT BEING A POINT OF CURVATURE OF A 25.00 FOOT RADIUS CURVE, CONCAVE TO THE NORTHWEST, BEING SUBTENDED BY A CHORD BEARING OF NORTH 42°33'43" EAST AND A CHORD LENGTH OF 34.18 FEET; THENCE RUN NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 86°15'38", AN ARC DISTANCE OF 37.64 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 00°34'06" WEST, A DISTANCE OF 1274.49 FEET TO A POINT OF CURVATURE OF A 25.00 FOOT RADIUS CURVE, CONCAVE TO THE SOUTHWEST, BEING SUBTENDED BY A CHORD BEARING OF NORTH 25°24'29" WEST AND A CHORD LENGTH OF 21.00 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 49°40'47", AN ARC DISTANCE OF 21.68 FEET TO A POINT OF REVERSE CURVATURE OF A 60.00 FOOT RADIUS CURVE, CONCAVE TO THE SOUTH, BEING SUBTENDED BY A CHORD BEARING OF NORTH 89°25'54" EAST AND A CHORD LENGTH OF 77.65 FEET; THENCE RUN NORTHERLY, EASTERLY, AND SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 279°21'34", AN ARC DISTANCE OF 292.54 FEET TO A POINT OF REVERSE CURVATURE OF A 25.00 FOOT RADIUS CURVE, CONCAVE TO THE SOUTHEAST, BEING SUBTENDED BY A CHORD BEARING OF SOUTH 24°16'18" WEST AND A CHORD LENGTH OF 21.00 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 49°40'47", AN ARC DISTANCE OF 21.68 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 00°34'06" EAST, A DISTANCE OF 1267.30 FEET TO A POINT OF CURVATURE OF A 25.00 FOOT RADIUS CURVE, CONCAVE TO THE NORTHEAST, BEING SUBTENDED BY A CHORD BEARING OF SOUTH 47°26'17" EAST AND A CHORD LENGTH OF 36.49 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 93°44'22", AN ARC DISTANCE OF 40.90 FEET TO A POINT OF TANGENCY LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 225; THENCE RUN SOUTH 85°41'32" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 110.23 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAINING 2.06 ACRES, MORE OR LESS.

MARION COUNTY STORMWATER PROGRAM MITIGATION CREDIT POLICY

INTRODUCTION

Some properties in the Marion County Stormwater Management Service Area may be entitled to a mitigation credit for a portion of the Marion County Stormwater Assessment as provided in the County's Stormwater Management Program Ordinance (02-13), Rate Resolution, and this policy.

QUALIFYING PARCELS

Parcels may qualify for a mitigation credit of no more than 88.6% of the current \$5.00 Maintenance Element of the Marion County Stormwater Assessment. There are three types of mitigation credits, up to and including 88.6% that may be applied to the Maintenance Element, described as follows:

- **Type I - \$2.25**

Type I mitigation credits apply to unimproved Residential/Agricultural and unimproved Commercial/Industrial parcels located on public roads that are required to be publicly maintained. A Type I mitigation credit has a value of \$2.25, which is 50.8% of 88.6% of the \$5.00 Maintenance Element.

- **Type II - \$3.50**

Type II mitigation credits apply to unimproved Residential/Agricultural and unimproved Commercial/Industrial parcels located on public roads that are not required to be publicly maintained. A Type II mitigation credit has a value of \$3.50, which is 79.0% of 88.6% of the \$5.00 Maintenance Element.

- **Type III - \$4.43**

Type III mitigation credits apply as follows:

Residential/Agricultural parcels which fully and completely maintain their stormwater management facilities may be eligible for a Type III mitigation credit. Home Owner Associations (HOAs) may apply for parcels within subdivisions. HOAs must demonstrate that maintenance includes the stormwater facilities associated with the subdivision's roads. HOAs must also provide satisfactory evidence of authority to act on behalf of the property owners. Individual parcels or HOAs must demonstrate 100% maintenance by providing copies of permits, signed and sealed as-built drawings, signed and sealed calculations, etc.

Commercial/Industrial parcels which fully and completely maintain their stormwater management facilities may be eligible for a Type III mitigation credit. Parcels must demonstrate 100% maintenance by providing copies of permits, signed and sealed as-built drawings, signed and sealed calculations, etc. This credit will be applied to the total number of Equivalent Stormwater Units (ESUs) contained on the parcel.

A Type III mitigation credit has a value of \$4.43, which is 88.6% of the \$5.00 Maintenance Element. It must also meet the following applicable conditions:

- The County performs no maintenance of any kind within an HOA or an individual parcel; and
- The County is not called on to answer drainage complaints, respond to flooding concerns, provide sinkhole investigation or remediation, or any like services; and
- Applicant is willing to hold the County harmless based on these conditions.



**MARION COUNTY STORMWATER ASSESSMENT
MITIGATION CREDIT APPLICATION**

Return application to:
Marion County Office of the County Engineer
Stormwater Program
412 SE 25th Ave
Ocala, FL 34471
(352) 671-8686
Email: stormwater@marionfl.org

Tax Parcel ID Number: 05949-001-00 Date: 12/19/2025
Property Owner: DAVID BATISTE QUANBECK This parcel is:
Telephone Number: 540-454-3247 Residential/Agricultural
Property Address: 13430 NW HWY 225 Commercial/Industrial
REDDICK, FL. 32686 - and -
Mailing Address: SAME Unimproved - has no
structures, pavement, etc.
Improved - has structures,
pavement, etc.

Mitigation Credit applied for:

Type I - \$2.25: An unimproved parcel located on public road(s) required to be publicly maintained.

Type II - \$3.50: An unimproved parcel located on public road(s) not required to be publicly maintained.

Type III - \$4.43: 100% of the stormwater facilities associated with the parcel are maintained by a non-County entity (provide copies of permits, signed and sealed as-built drawings, signed and sealed calculations, etc.); County is not responsible for the stormwater facility and is held harmless.

Entity responsible for maintenance: OLYMPIC HILL P.O.A.

Note: No parcel may qualify for more than one type of mitigation credit.

Applicant or Authorized Agent's Signature: David Batiste Quanbeck
Print name: DAVID BATISTE QUANBECK
Title, if Agent: OWNER

Staff use only - Do not write below this line

REVIEW

Date Reviewed: _____ Reviewed by: _____

Comments: _____

Approved Denied

PROCESS

The form attached to this policy shall be used to apply for a Marion County Stormwater Assessment Mitigation Credit. All necessary information is to be provided on the form. Applications submitted on behalf of properties owned by individuals but not applied for by an HOA shall include the signature of one owner of record. Applications submitted on behalf of parcels included within an HOA shall include a list of each parcel's identification number with the property owner's name. Applications submitted on behalf of parcels within an HOA, businesses, corporations, etc. shall include appropriate documentation that the person signing the application has the legal authority to do so. Applications for a mitigation credit must be received no later than 5:00pm, March 1st of any given year in order to receive a mitigation credit for the following tax year. Applications are to be sent by mail or email to:

Marion County Office of the County Engineer
Stormwater Program
412 SE 25th Ave
Ocala, FL 34471
stormwater@marionfl.org

LIMITS

Parcels may qualify for a mitigation credit of no more than 88.6% of the Maintenance Element of the Marion County Stormwater Assessment. Parcels cannot qualify for more than one type of mitigation credit.

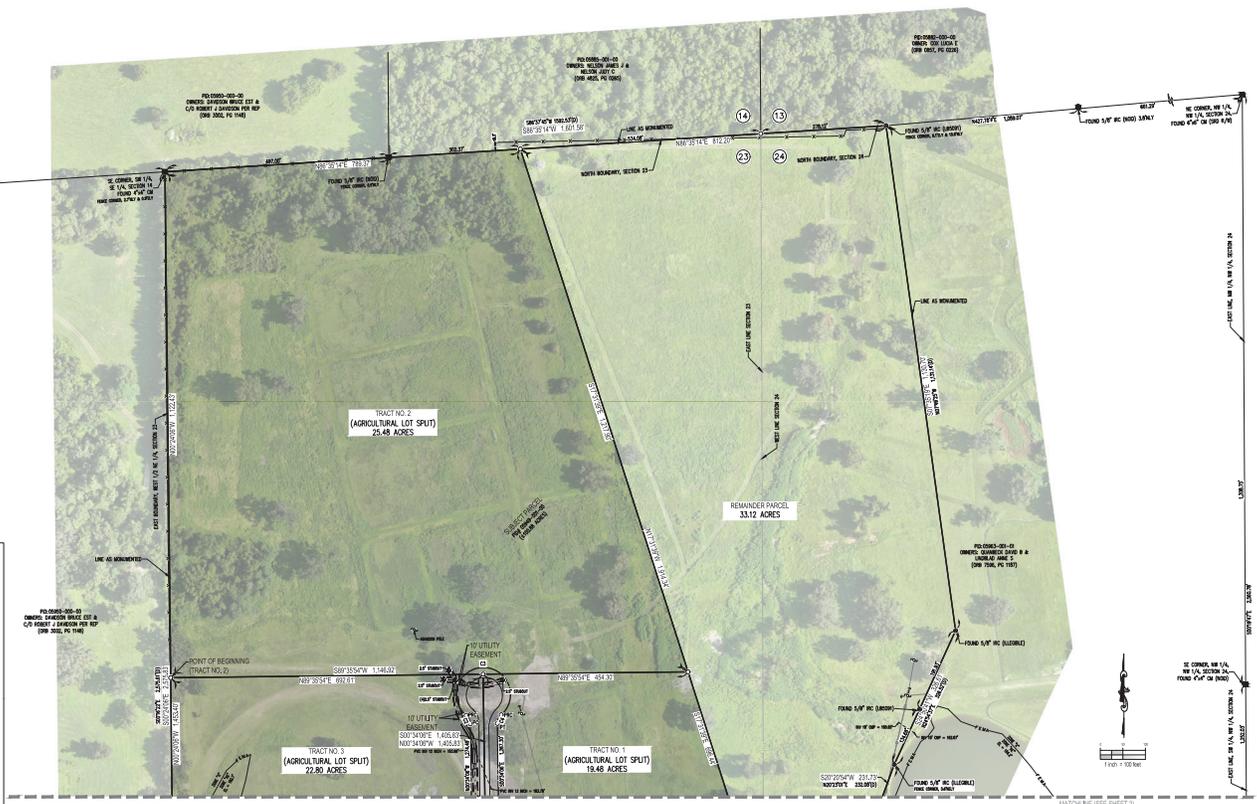
Mitigation credits are subject to review and adjustment, and are based on the current status of the property. Should the status of the property or road change, the mitigation credit may be affected.

The status for eligibility for all types of mitigation credits is dependent upon annual approval by the Marion County Board of County Commissioners. Annual approval is typically done during the County's budget adoption process.

Mitigation credits are not available for the Program Element of the Assessment.

Marion County is not responsible for applications sent to the wrong address or received after the deadline.

BOUNDARY SURVEY
 +FOR
OLYMPIC HILL, AN AGRICULTURE LOT SPLIT
 PID# 05849-001-00
 SECTION 23 & 24, TOWNSHIP 13 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA



- LEGEND**
- NOTE OR LESS
 - CONC CONCRETE
 - FORM FOUNDATION
 - LB LICENSED BUSINESS
 - OFFICIAL RECORDS BOOK
 - PD# PARCEL IDENTIFICATION NUMBER
 - PCZ PLANNED COMMUNITY ZONING
 - DEED MEASUREMENT
 - FEDERAL EMERGENCY MANAGEMENT AGENCY
 - OVERHEAD UTILITIES
 - CONDUIT
 - R/W RIGHT-OF-WAY
 - CONCRETE MONUMENT
 - WALL & DSK
 - IRON ROD
 - IRON ROD AND CAP
 - NO IDENTIFICATION
 - N/E, S/E, N/W, S/W GENERAL CARDINAL DIRECTION (NORTHERLY, ETC)
 - FC FOUND CONCRETE MONUMENT (AS NOTED)
 - FW FOUND WALL & DSK (AS NOTED)
 - FR FOUND 5/8" IRON ROD & CAP (AS NOTED)
 - FI FOUND IRON ROD (AS NOTED)
 - FS FOUND 5/8" IRON ROD AND CAP (LB 8498)
 - NU (SEE NOTES)
 - NUD IRON UTILITY POLE
 - CU CITY AND/OR
 - UP UNDERGROUND FIBER OPTIC CABLE MARKER
 - SAE SURVEY
- LEGEND**
- PT POINT OF CURVATURE
 - PI POINT OF TANGENCY
 - PC POINT OF BEGINNING CURVATURE
 - PCO POINT OF COMPOUND CURVATURE
 - PIE POINT OF END-TANGENCY
 - FO FENCE
 - OU OVERHEAD UTILITY LINE
 - LB LINE BREAK

CURVE TABLE

| CURVE | ARC | CENTRAL ANGLE | INT. ANG. | CHORD | CHORD BEARING |
|-------|--------|---------------|-----------|-----------------------|---------------|
| C1 | 25.00' | 48°02'34" | 216° | 20.0000' S 13.0000' W | 21.6000' |
| C2 | 25.00' | 48°02'34" | 216° | 20.0000' S 13.0000' W | 21.6000' |
| C3 | 25.00' | 48°02'34" | 216° | 20.0000' S 13.0000' W | 21.6000' |
| C4 | 25.00' | 48°02'34" | 216° | 20.0000' S 13.0000' W | 21.6000' |

BOUNDARY SURVEY FOR OLYMPIC HILL AN AGRICULTURE LOT SPLIT

SHEET 03 OF 04



Marion County

Development Review Committee

Agenda Item

File No.: 2026-21789

Agenda Date: 1/12/2026

Agenda No.: 9.1.

SUBJECT:

Notation: 2026 Thursday Staff Coverage

2025 Development Review Staff Meeting Schedule and Deadlines

| Development Review Staff Meetings Thursdays at 9:00 am | Dept Leading Meeting | |
|---|------------------------------|---------------------------|
| January 1, 2026 | No DRC Staff Meeting Holiday | |
| January 8, 2026 | Fire | |
| January 15, 2026 | Building | |
| January 22, 2026 | Growth | |
| January 29, 2026 | OCE | |
| February 5, 2026 | Utilities | |
| February 12, 2026 | Fire | |
| February 19, 2026 | Building | |
| February 26, 2026 | Growth | |
| March 5, 2026 | OCE | |
| March 12, 2026 | Utilities | |
| March 19, 2026 | Fire | |
| March 26, 2026 | Building | |
| April 2, 2026 | Growth | |
| April 9, 2026 | OCE | Meet at Green Clover Hall |
| April 16, 2026 | Utilities | |
| April 23, 2026 | Fire | |
| April 30, 2026 | Building | |
| May 7, 2026 | Growth | |
| May 14, 2026 | OCE | |
| May 21, 2026 | Utilities | |
| May 28, 2026 | Fire | |
| June 4, 2026 | Building | |
| June 11, 2026 | Growth | |
| June 18, 2026 | OCE | |
| June 25, 2026 | Utilities | |
| July 2, 2026 | Fire | |
| July 9, 2026 | Building | |
| July 16, 2026 | Growth | |
| July 23, 2026 | OCE | |
| July 30, 2026 | Utilities | |
| August 6, 2026 | Fire | |
| August 13, 2026 | Building | |
| August 20, 2026 | Growth | |
| August 27, 2026 | OCE | |
| September 3, 2026 | Utilities | |
| September 10, 2026 | Building | |
| September 17, 2026 | Fire | |
| September 24, 2026 | Growth | |
| October 1, 2026 | OCE | |
| October 8, 2026 | Utilities | |
| October 15, 2026 | Fire | |
| October 22, 2026 | Building | |
| October 29, 2026 | Growth | |
| November 5, 2026 | OCE | |
| November 12, 2026 | Utilities | |
| November 19, 2026 | Fire | |
| November 26, 2026 | No DRC Staff Meeting Holiday | |
| December 3, 2026 | Building | |
| December 10, 2026 | Growth | |
| December 17, 2026 | OCE | |
| December 24, 2026 | No DRC Staff Meeting Holiday | |
| December 31, 2026 | Utilities | |