

From: [Fr. Raphael](#)
To: [Development Review](#)
Cc: [Geronda Polykarp](#); bobc@lisengineering.us
Subject: RE: 29195 PANAGIA VLAHERNON GREEK ORTHODOX MONASTERY - Extension Request
Date: Thursday, October 9, 2025 2:57:37 PM
Attachments: [image001.png](#)

You don't often get email from fraphael@pvmail.org. [Learn why this is important](#)

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Dear Development Review Coordinator,

We are writing to request an extension on the permit for our project, Master Site Plan - Panagia Vlahernon Greek Orthodox Monastery (#29195). The reason for our request is delays we have endured from two sources.

The first source is monetary constraints. We were required by the county to construct two large stormwater basins, which came at a great cost to us. The original quoted price for this project, from Osteen Brothers of Micanopy, FL, for \$280,421.64. After all was completed, the construction costs had increased to just over \$400,000.00! A large portion of that money used for the basins was originally intended to be used for the construction of the foundation system for the New Guesthouse shown in Phase One of the Master Plan. Because we rely on donations, which we cannot control, the unexpected cost of the basins has delayed the project significantly.

The second source is delays in the construction itself. When funds were available, the construction of the footing began in earnest at the beginning Florida's wet / hurricane season. Construction has been delayed consistently and frequently. Now that we are ready to pour the concrete slab atop those footers, the almost daily rains coming from the current season are making that nearly impossible. We will complete the concrete pour as soon as the weather permits, but we anticipate needing most of 2026 to complete the project.

For these reasons and more, we kindly ask that you honor our request for an extension.

Thank you,

Fr. Raphael Vlahernitis

Panagia Vlahernon Greek Orthodox Monastery
12600 West Highway 318
Williston, FL 32696-4405

(352) 209-8235. Mobile
(352) 591-1716. Monastery
(352) 591-1719. Fax

From: Sapp, Sandra <Sandra.Sapp@marionfl.org> **On Behalf Of** Development Review
Sent: Tuesday, October 7, 2025 9:30 AM
To: Fr. Raphael <fraphael@pvmail.org>
Cc: Development Review <DevelopmentReview@marionfl.org>; Pool, Aaron
<Aaron.Pool@marionfl.org>
Subject: 29195 PANAGIA VLAHERNON GREEK ORTHODOX MONASTERY - Extension Request

Good morning,

Per your request for instructions on requesting an extension on the above project.

The request is required to be provided in writing, response to this email is sufficient.

There is a \$50 non-refundable fee, your project will then be placed on a Monday DRC meeting agenda. It will be up to the DRC Committee to decide the outcome of the extension request.

Thank you,



Sandra Sapp

Development Review Coordinator

Office of the County Engineer

Marion County Board of County Commissioners

412 SE 25th Ave

Ocala, FL 34471

Main: 352-671-8686

[Empowering Marion for Success!](#)

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Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 9/18/2022

A. PROJECT INFORMATION:

Project Name: Panagia Vlahernon Greek Orthodox Monastery
Parcel Number(s): 01974-000-00
Section 32 Township 12 Range 20 Land Use Monastery Zoning Classification A1
Commercial ☐ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☒ Other Religious Facility
Type of Plan: MAJOR SITE PLAN
Property Acreage 140.19 Number of Lots _____ Miles of Roads _____
Location of Property with Crossroads South Side of W. Hwy 318 between 133rd Ct. and 120th Ave.
Additional information regarding this submittal: Submittal prepared pursuant to pre-application meeting conducted June 13, 2019.
Submittal prepared pursuant to pre-application meeting conducted June 13, 2019.

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

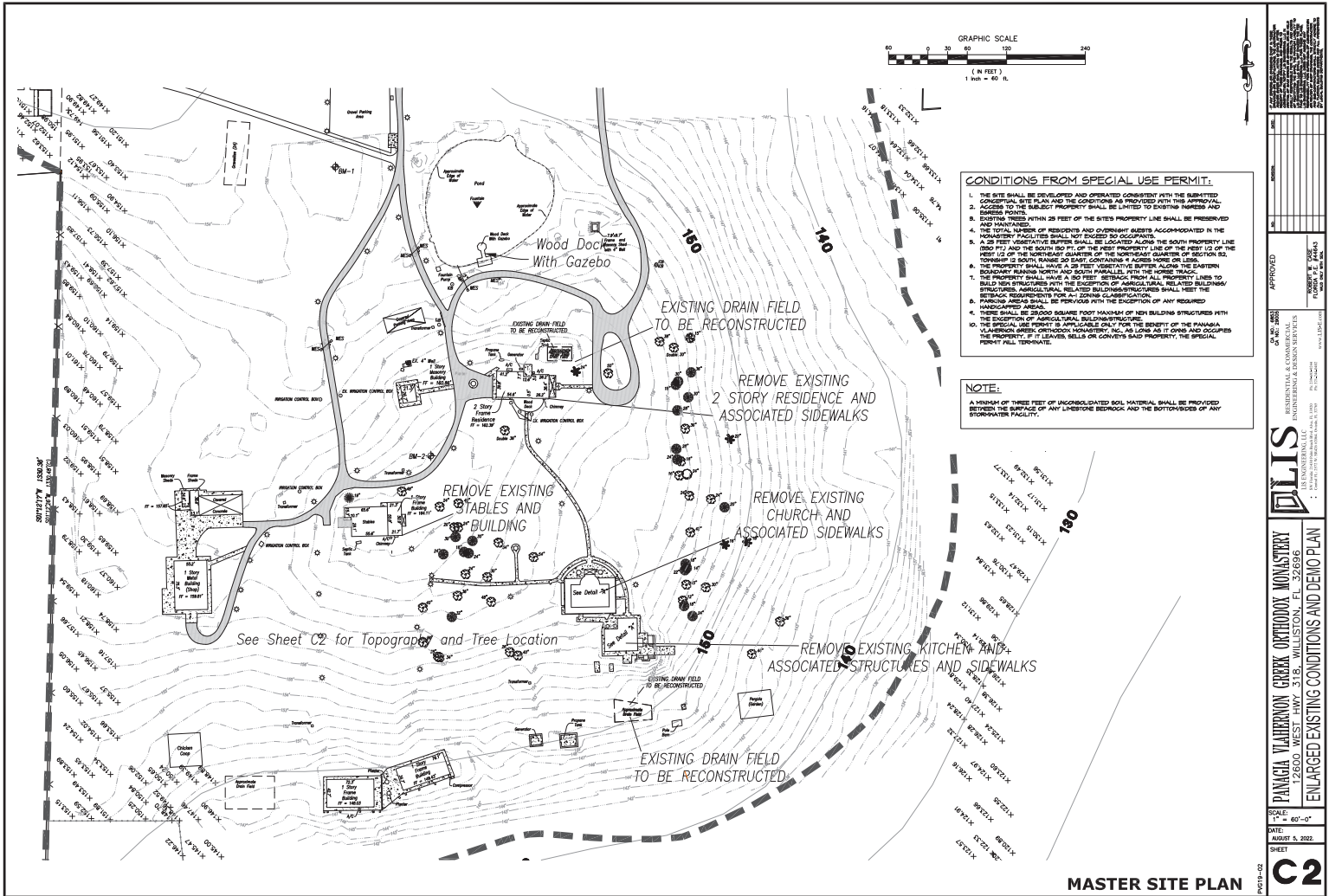
☒ **Engineer:**
Firm Name: LIS Engineering, LLC Contact Name: Bob Case, P.E.
Mailing Address: 21430 Palm Beach Blvd. City: Alva State: FL Zip Code: 33920
Phone # 239-693-9244 Alternate Phone # _____
Email(s) for contact via ePlans: Bobc@lis-e.com

☐ **Surveyor:**
Firm Name: Mills Engineering Company Contact Name: _____
Mailing Address: P.O Box 778 City: Bronson State: FL Zip Code: 32621
Phone # 352-486-2872 Alternate Phone # _____
Email(s) for contact via ePlans: millseng@bellsouth.net

Property Owner:
Owner: Panagia Vlahernon Greek Orthodox Monastery Contact Name: Fr. Raphael
Mailing Address: 12600 W Hwy 318 City: Williston State: FL Zip Code: 32696-4405
Phone # 352-209-8235 Alternate Phone # _____
Email address: fraphael@pvmail.org

Developer:
Developer: Owner Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 6/2021



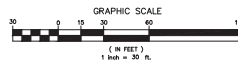
- CONDITIONS FROM SPECIAL USE PERMIT:**
1. THE SITE SHALL BE DEVELOPED AND OPERATED CONSISTENT WITH THE SUBMITTED CONCEPT SITE PLAN AND THE CONDITIONS AS PROVIDED WITH THE APPROVAL.
 2. ACCESS TO THE SUBJECT PROPERTY SHALL BE LIMITED TO EXISTING HIGHWAY AND EXISTING DRIVEWAYS.
 3. EXISTING TREES WITHIN 25 FEET OF THE SITE'S PROPERTY LINE SHALL BE PRESERVED AND MAINTAINED.
 4. THE TOTAL NUMBER OF RESIDENTS AND OVERNIGHT GUESTS ACCOMMODATED IN THE MONASTERY FACILITIES SHALL NOT EXCEED 30 OCCUPANTS.
 5. A 25 FEET VEGETATIVE BUFFER SHALL BE LOCATED ALONG THE SOUTH PROPERTY LINE (880 FT) AND THE SOUTH 80 FT OF THE WEST PROPERTY LINE OF THE WEST 1/3 OF THE WEST 1/3 OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 12 SOUTH, RANGE 30 EAST, CONTAINING A CROSSLAND OR LESS.
 6. THE PROPERTY SHALL HAVE A 25 FEET VEGETATIVE BUFFER ALONG THE EASTERN BOUNDARY RUNNING NORTH AND SOUTH PARALLEL WITH THE HORSE TRACK.
 7. THE PROPERTY SHALL HAVE A 50 FEET SETBACK FROM ALL PROPERTY LINES TO BUILD NEW STRUCTURES, WITH THE EXCEPTION OF AGRICULTURAL RELATED BUILDINGS, STRUCTURES, AGRICULTURAL RELATED BUILDINGS, STRUCTURES SHALL MEET THE SETBACK REQUIREMENTS FOR AN AGRICULTURAL ZONING CLASSIFICATION.
 8. PARKING AREAS SHALL BE PROVIDED WITH THE EXCEPTION OF ANY REQUIRED HANDICAPPED AREAS.
 9. THE PROPERTY SHALL BE 25,000 SQUARE FOOT MAXIMUM OF NEW BUILDING STRUCTURES WITH THE EXCEPTION OF AGRICULTURAL BUILDINGS, STRUCTURES.
 10. THE SPECIAL USE PERMIT IS APPLICABLE ONLY FOR THE BENEFIT OF THE PANAGIA VLAHERON GREEK ORTHODOX MONASTERY, INC. AS LONG AS IT OWNS AND OCCUPIES THE PROPERTY. IF IT LEAVES, SELLS OR CONVEYS SAID PROPERTY, THE SPECIAL PERMIT WILL TERMINATE.

NOTE:
A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY Limestone BEDROCK AND THE BOTTOMS OF ANY STORMWATER FACILITY.

APPROVED: _____
DATE: 04-01-2023
PROJECT: PANAGIA VLAHERON GREEK ORTHODOX MONASTERY
ENGINEERING & DESIGN SERVICES
12500 WEST HWY 318, WILLISTON, FL 32696
ENLARGED EXISTING CONDITIONS AND DEMO PLAN
SHEET: C2
DATE: AUGUST 5, 2023
SHEET: C2

MONASTERY
ONLY 1 CAR IS AVAILABLE TO ALL RESIDENTS (MONKS)
GUEST PARKING
TOTAL SPACES PROVIDED = 37 SPACES

Description	Square Feet
Proposed Church	4,125 SF



Description	Square Feet	Acres	% of Project
Total Area	5,991,627 SF	137.55 AC	100%
Existing Church to be Removed	4,541 SF	0.10 AC	.07%
Existing Kitchen/Dining Hall to be Removed	2,211 SF	0.05 AC	.03%
Existing Monastery Guest House to be Removed	3,719 SF	0.08 AC	.06%
Existing Residence to be Removed	2,364 SF	0.08 AC	.06%
Total Existing Building Area to be Removed	13,835 SF	0.31 AC	.22%
Existing Concrete Area to Removed	6,387 SF	0.14 AC	.11%
Existing Asphalt Area to Remain	48,254 SF	1.10 AC	.80%
Existing Concrete Area to Remain	97,654 SF	2.23 AC	6.2%
Proposed Church	4,125 SF	0.09 AC	.06%
Proposed Kitchen/Dining Hall	4,555 SF	0.10 AC	.07%
Proposed Monastery Guest House and Library	5,460 SF	0.13 AC	.09%
Proposed Monastery Residence	7,820 SF	0.18 AC	.13%
Proposed Auxiliary Structure	3,000 SF	0.07 AC	.05%
Proposed Caretaker's Quater's	900 SF	0.02 AC	.02%
Total Proposed Building Area	25,901 SF	0.59 AC	.43%
Net Increase in Proposed Building Footprint Area	12,066 SF	0.27 AC	.20%
Proposed Gravel Area	13,676 SF	0.32 AC	.23%
Proposed Concrete Area	15,500 SF	0.35 AC	.25%
Total Pervious Area	127,289 SF	2.92 AC	2.13%
Total Pervious Area	5,864,338 SF	134.45 AC	97.87%

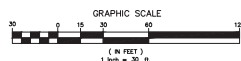
[illegible]

1. PROPOSED MONASTERY GUESTHOUSE HAS 10 (TEN) BEDROOMS, AT 2 (TWO) OCCUPANTS PER BEDROOM, THE PROPOSED OCCUPANCY IS 20 (TWENTY) PEOPLE.
2. PROPOSED MONKS RESIDENCE SHALL NOT EXCEED 30 (THIRTY) OCCUPANTS.
3. THE TOTAL NUMBER OF RESIDENTS AND OVERNIGHT GUESTS SHALL NOT EXCEED 50 (FIFTY) OCCUPANTS.

[illegible]

MONASTERY
ONLY 1 CAR IS AVAILABLE TO ALL RESIDENTS (MONKS)
GUEST PARKING
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Existing Church to be Removed	4,541 SF	0.10 Ac	.07%
Existing Kitchen/Dining Hall to be Removed	2,211 SF	0.05 Ac	.03%
Existing Monks/Dining Guest House to be Removed	5,719 SF	0.13 Ac	.09%
Existing Residence to be Removed	3,264 SF	0.08 Ac	.06%
Total Existing Building Area to be Removed	13,835 SF	0.31 Ac	.22%
Existing Concrete Area to be Removed	6,387 SF	0.14 Ac	.10%
Existing Asphalt Area to Remain	48,254 SF	1.10 Ac	.80%
Existing Concrete Area to Remain	37,634 SF	0.86 Ac	.62%
Proposed Church	4,125 SF	0.09 Ac	.06%
Proposed Kitchen/Dining Hall	4,455 SF	0.10 Ac	.07%
Proposed Monks/Dining Guest House and Library	5,601 SF	0.13 Ac	.09%
Proposed Monks' Residence	7,820 SF	0.18 Ac	.13%
Proposed Auxiliary Structure	3,000 SF	0.07 Ac	.05%
Proposed Caretaker's Quater's	900 SF	0.02 Ac	.02%
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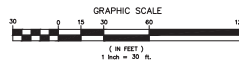
1. PROPOSED MONASTERY GUESTHOUSE HAS 10 (TEN) BEDROOMS, AT 2 (TWO) OCCUPANTS PER BEDROOM, THE PROPOSED OCCUPANCY IS 20 (TWENTY) PEOPLE.
2. PROPOSED MONKS RESIDENCE SHALL NOT EXCEED 30 (THIRTY) OCCUPANTS
3. THE TOTAL NUMBER OF RESIDENTS AND OVERNIGHT GUESTS SHALL NOT EXCEED 50 (FIFTY) OCCUPANTS.

PARKING CALCULATIONS

MONASTERY
ONLY 1 CAR IS AVAILABLE TO ALL RESIDENTS (MONKS)
GUEST PARKING
TOTAL SPACES PROVIDED = 37 SPACES

PROPOSED USE TABLE

Description	Square Feet
Proposed Church	4,125 SF



PHASE DESCRIPTION

PHASE #1 INCLUDES PROPOSED MONASTERY GUEST HOUSE/LIBRARY, SIDEWALKS, PARKING SPACES, ACCESS DRIVE AND ALL STORM WATER SYSTEM IMPROVEMENTS & LANDSCAPING (AREA WITHIN THE SIFT FENCE). ALSO INCLUDES ALL PROPOSED UTILITY AND FIRE IMPROVEMENTS FOR THE MONASTERY.

PHASE #2 INCLUDES PROPOSED CHURCH, AND SIDEWALKS. ALSO INCLUDES ALL PROPOSED UTILITY AND FIRE IMPROVEMENTS FOR THE CHURCH. PLEASE, SEE SHEET C3A.

PHASE #3 INCLUDES PROPOSED MONK RESIDENCE, SIDEWALKS AND PARKING SPACES. ALSO INCLUDES ALL PROPOSED UTILITY AND FIRE IMPROVEMENTS FOR THE MONK RESIDENCE. PLEASE, SEE SHEET C3A.

PHASE #4 INCLUDES PROPOSED AUXILIARY STRUCTURE, SIDEWALKS AND GRAVEL AREA. ALSO INCLUDES ALL PROPOSED UTILITY AND FIRE IMPROVEMENTS FOR THE AUXILIARY STRUCTURE. PLEASE, SEE SHEET C3A.

PHASE #5 INCLUDES PROPOSED KITCHEN, DINING HALL AND SIDEWALKS. ALSO INCLUDES ALL PROPOSED UTILITY AND FIRE IMPROVEMENTS FOR THE KITCHEN. PLEASE, SEE SHEET C3A.

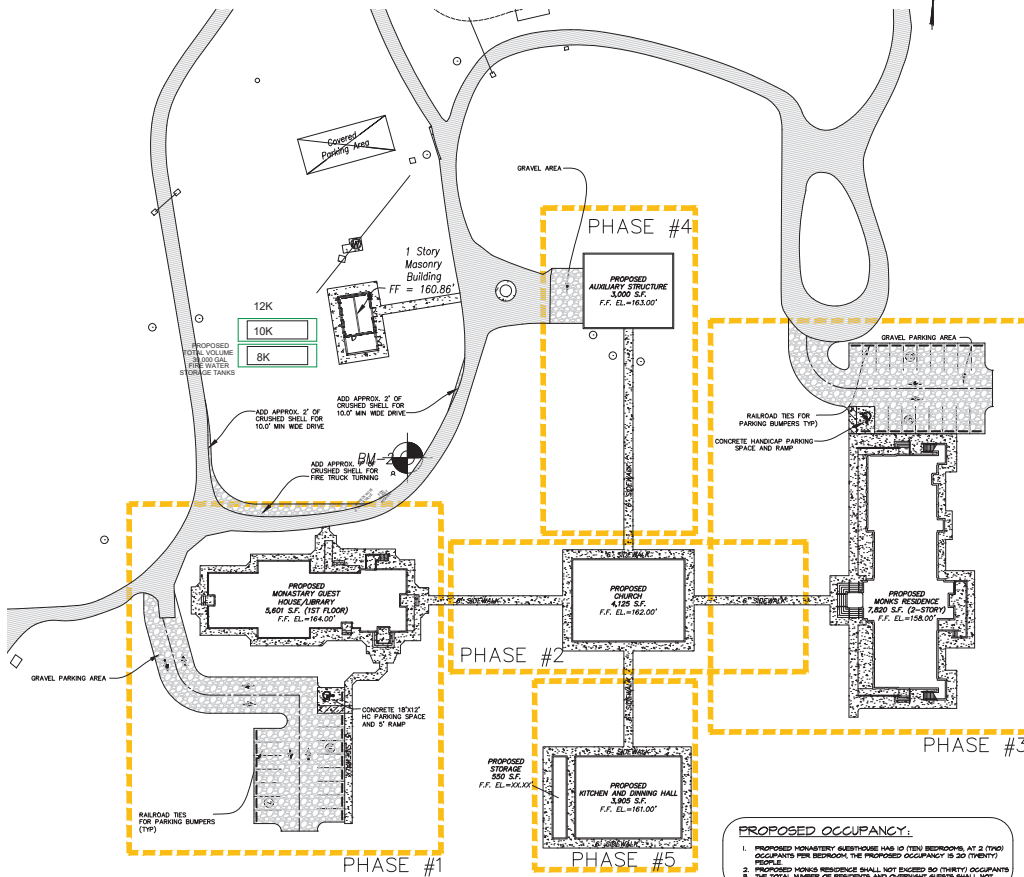
NOTE:

CONDITION #4 IF THE SITES SUB LIMITS
NUMBER OF RESIDENTS AND OVERNIGHT
GUEST TO A MAX OF 30 PERSONS

FACILITY	OCCUPANCY OF RESIDENCE OR OVERNIGHT GUESTS
----------	---

MONASTERY GUEST HOUSE
MONKS RESIDENCE
CHAIRN
AUXILIARY STRUCTURE

0
0



PROPOSED OCCUPANCY

1. PROPOSED MONASTERY RESIDENCE HAS 10 (TEN) BEDROOMS, AT 2 (TWO) OCCUPANTS PER BEDROOM, THE PROPOSED OCCUPANCY IS 20 (TWENTY) PEOPLE.
2. PROPOSED MONKS RESIDENCE SHALL NOT EXCEED 30 (THIRTY) OCCUPANTS.
3. THE TOTAL NUMBER OF RESIDENTS AND OVERNIGHT GUESTS SHALL NOT EXCEED 50 (FIFTY) OCCUPANTS.

MASTER SITE PLAN

APPROVED: [Signature] DATE: 02/20/2023
PROJECT: PANAGIA VALHARON CHURCH ORTHODOX MONASTERY
12500 WEST HWY 318, WILLISTON, FL 32696
SHEET: C3A
DATE: FEBRUARY 20, 2023
SHEET: C3A



MASTER SITE PLAN

PROJECT
C3B

DATE:
 AUGUST 5, 2022

SCALE:
 1" = 200'

SHEET:
 1 OF 1

APPROVED

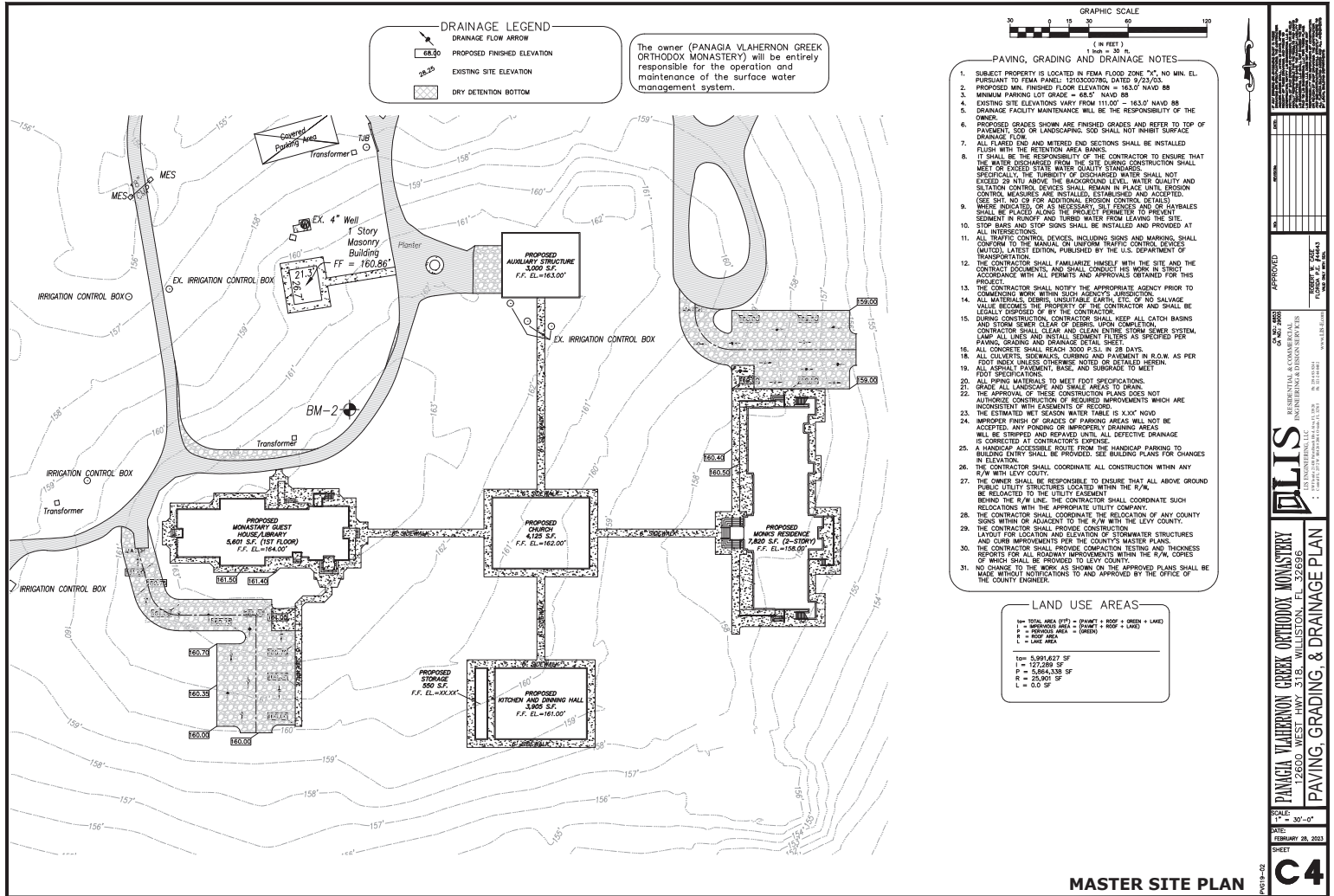

DESIGNED BY
 R. E. WOOTEN

CHECKED BY
 R. E. WOOTEN

DATE
 8/5/22

ALIS
 RESIDENTIAL & COMMERCIAL
 ENGINEERING & DESIGN SERVICES

12600 WEST HWY 318, WILLISTON, FL 32696
 TEL: 352.326.1111 FAX: 352.326.1112
 WWW.ALIS-FL.COM



DRAINAGE LEGEND

- DRAINAGE FLOW ARROW
- PROPOSED FINISHED ELEVATION
- EXISTING SITE ELEVATION
- DRY DETENTION BOTTOM

The owner (PANAGIA VLAHERNON CREEK ORTHODOX MONASTERY) will be entirely responsible for the operation and maintenance of the surface water management system.

GRAPHIC SCALE

0 10 20 30 40 50 60 70 80 90 100

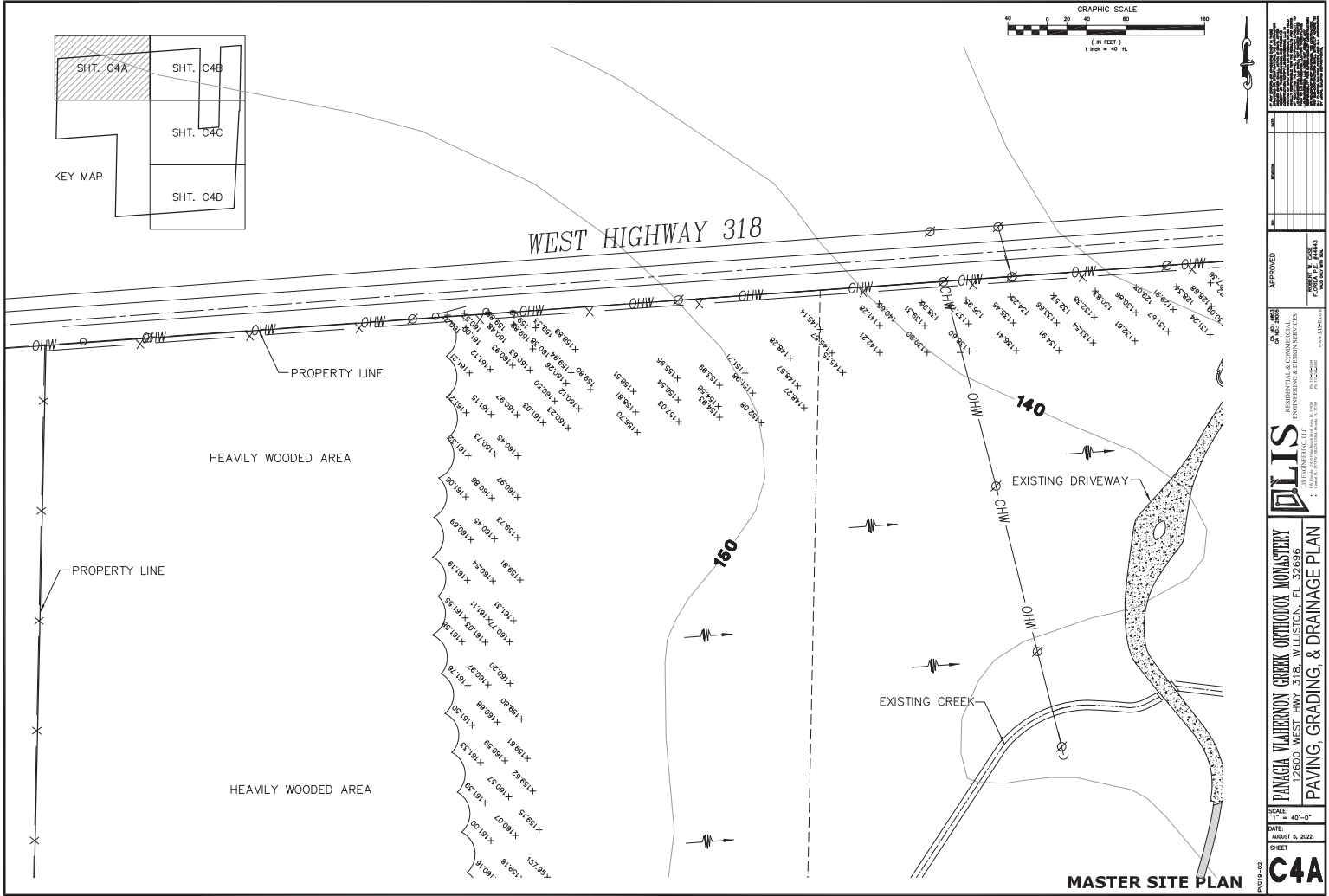
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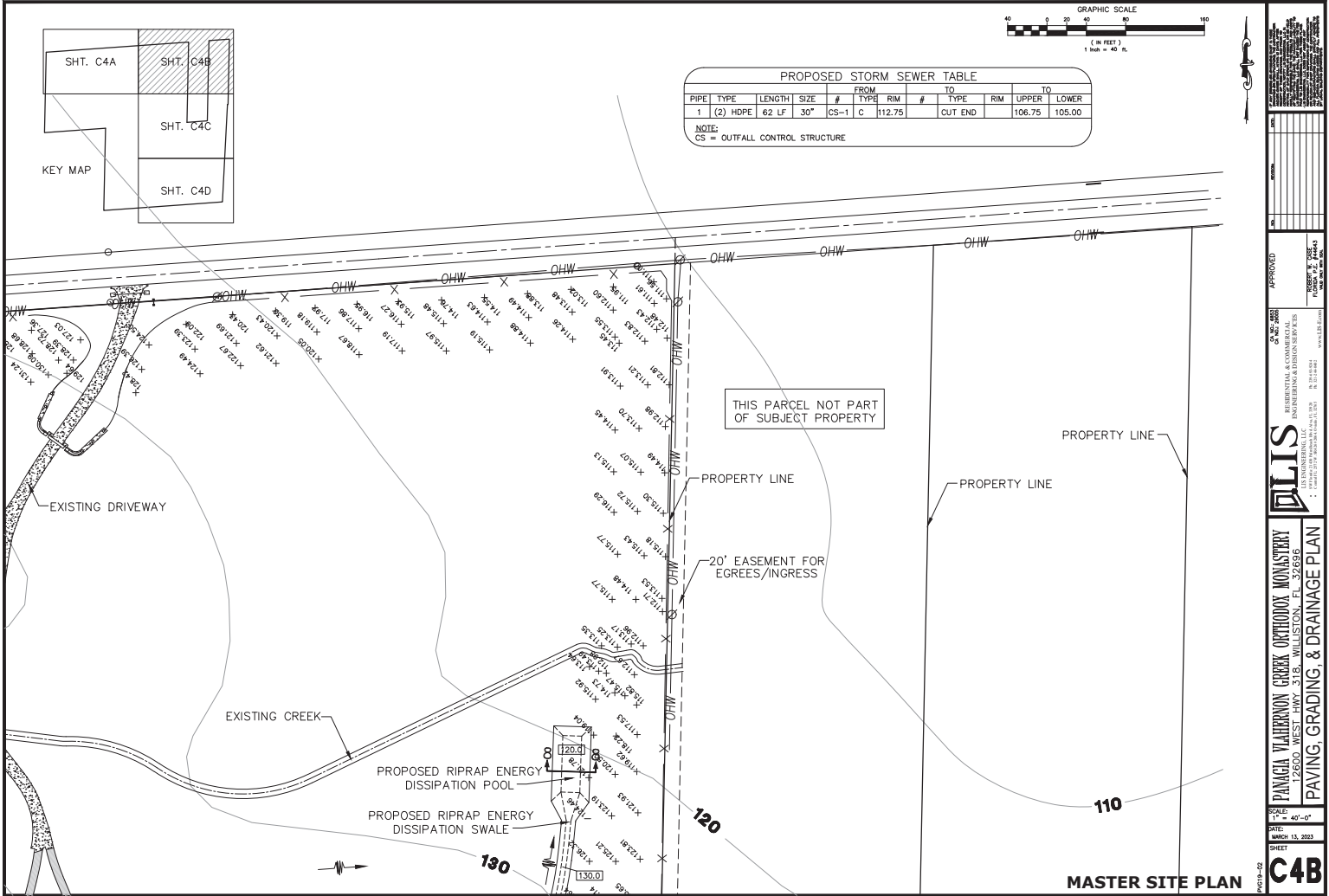
APPROVED

PANAGIA VLAHERNON CREEK ORTHODOX MONASTERY

PAVING, GRADING, & DRAINAGE PLAN

C4





APPROVED

ALIS

PANAGIA VALERON CREEK ORTHODOX MONASTERY
12600 WEST HWY 318, WILLISTON, FL 32696

PAVING, GRADING, & DRAINAGE PLAN

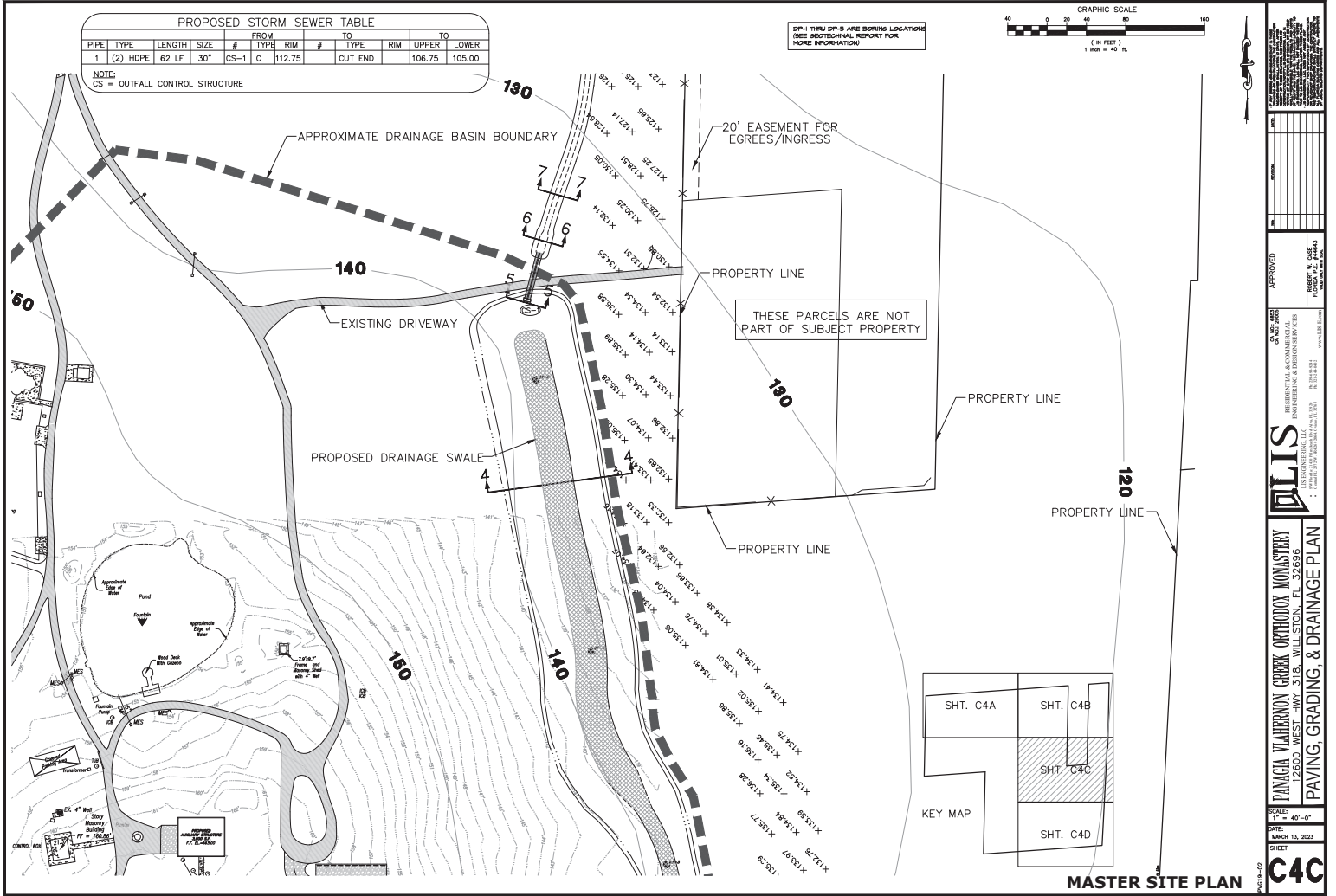
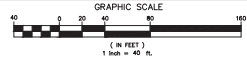
C4B

DATE: 08/01/2023
SCALE: 1/8" = 1'-0"
SHEET: 13 OF 13

PROPOSED STORM SEWER TABLE									
PIPE	TYPE	LENGTH	SIZE	#	FROM	TO	TYPE	RIM	TO
1	(2) HDPE	62 LF	30"	CS-1	C	112.75	CUT END	106.75	105.00

NOTE:
CS = OUTFALL CONTROL STRUCTURE

DP-1 THRU DP-9 ARE BORING LOCATIONS
(SEE GEOTECHNICAL REPORT FOR
MORE INFORMATION)

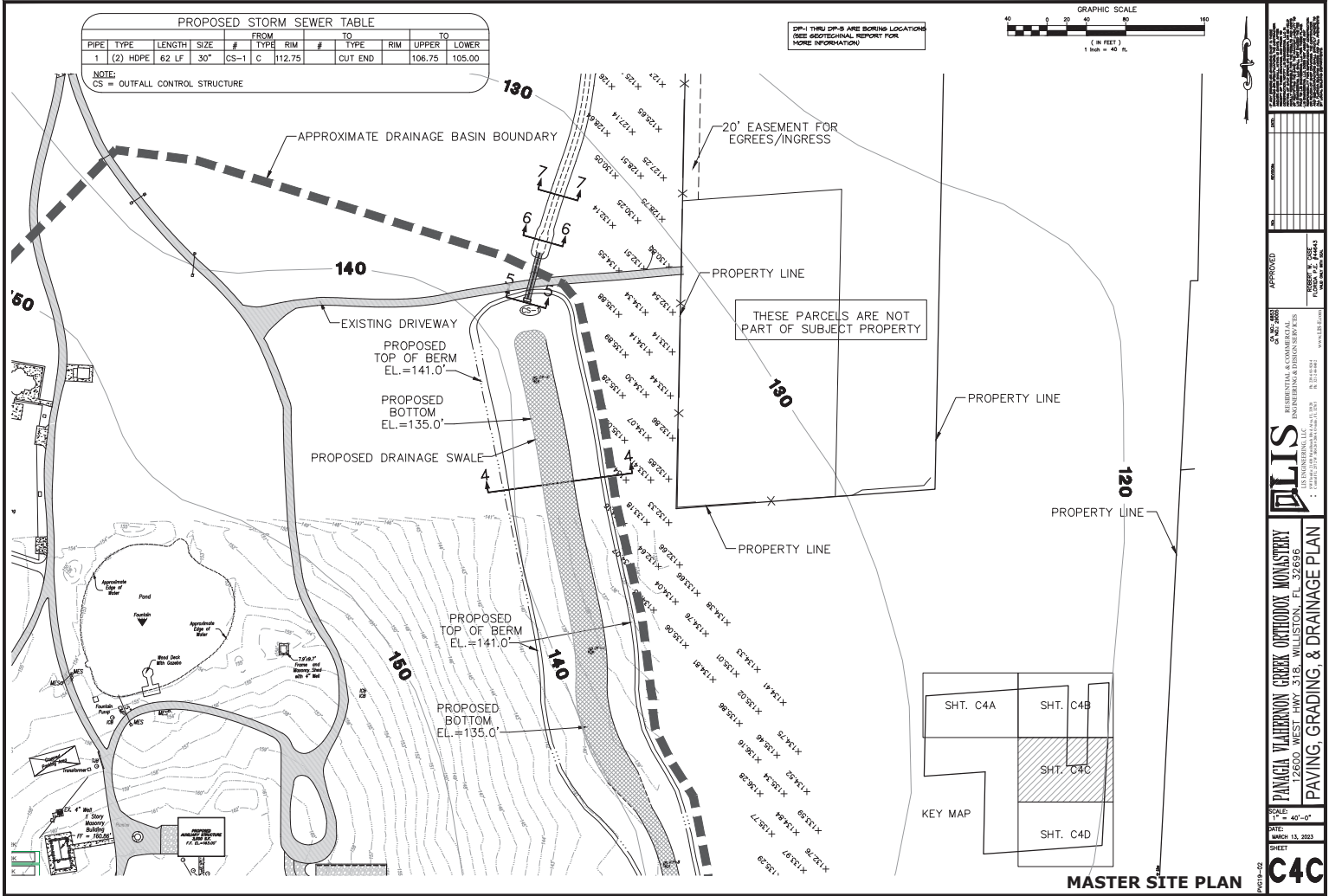
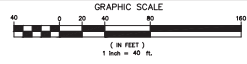


APPROVED
 ENGINEER
 STS
 PANACIA VALERON CREEK ORTHODOX MONASTERY
 12600 WEST HWY 318, WILLISTON, FL 32696
 PAVING, GRADING, & DRAINAGE PLAN
 SHEET
 C4C

PROPOSED STORM SEWER TABLE									
PIPE	TYPE	LENGTH	SIZE	#	FROM	TO	TO	TO	
1	(2)	HDPE	62 LF	30"	CS-1	C	112.75	CUT END	106.75 105.00

NOTE:
CS = OUTFALL CONTROL STRUCTURE

DP-1 THRU DP-9 ARE BORING LOCATIONS
(SEE GEOTECHNICAL REPORT FOR
MORE INFORMATION)



MASTER SITE PLAN

STIS

PANAGIA VALERON CREEK ORTHODOX MONASTERY

12600 WEST HWY 318, WILLISTON, FL 32696

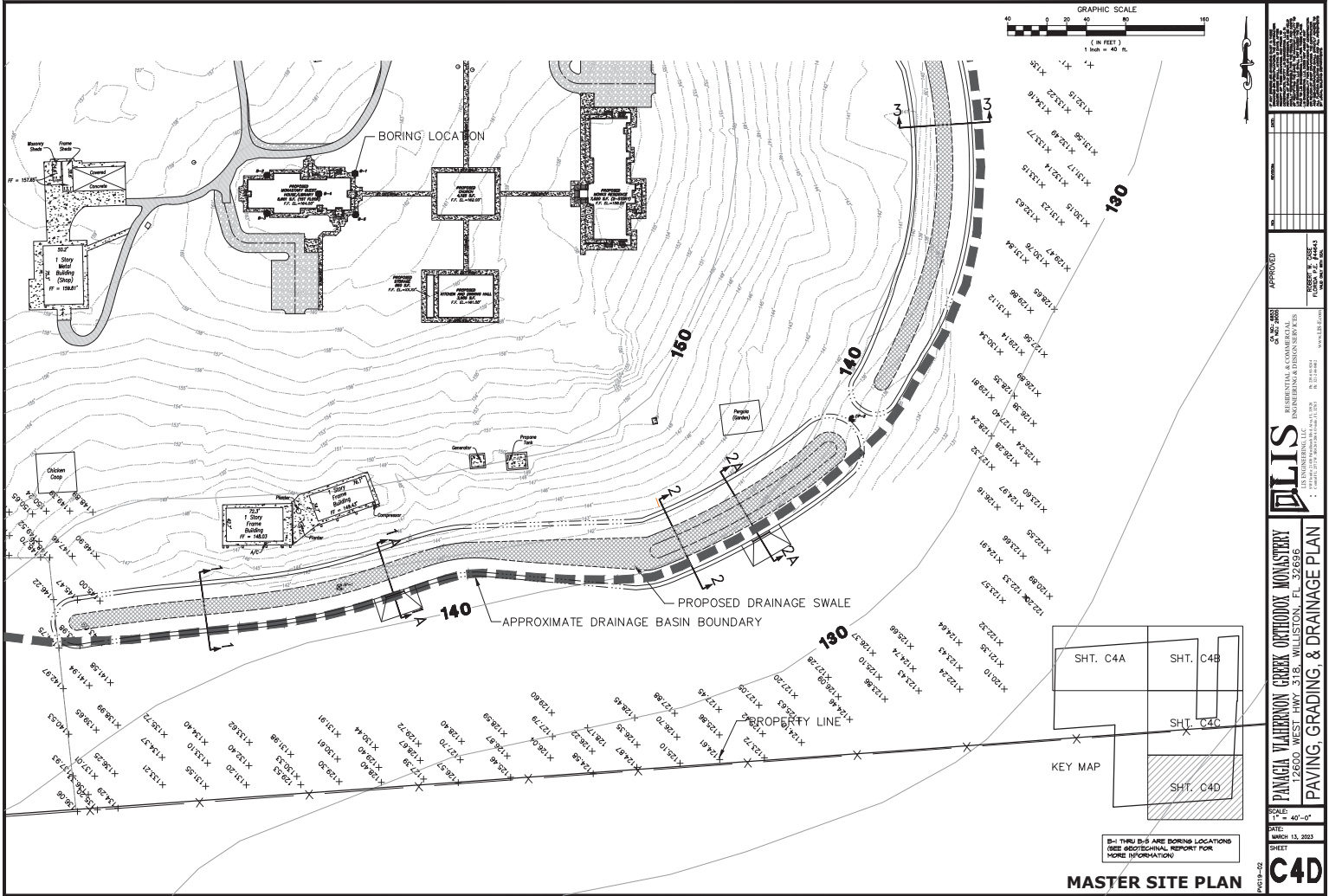
PAVING, GRADING, & DRAINAGE PLAN

DATE: 04-20-2020

SCALE: 1"=40'-0"

SHEET: 13 OF 13

C4C



APPROVED

CHARTERED

RESIDENTIAL & COMMERCIAL

ENGINEERING & DESIGN SERVICES

FLS

PANACIA VALERON CREEK ORTHODOX MONASTERY

12600 WEST HWY 318, WILISTON, FL 32696

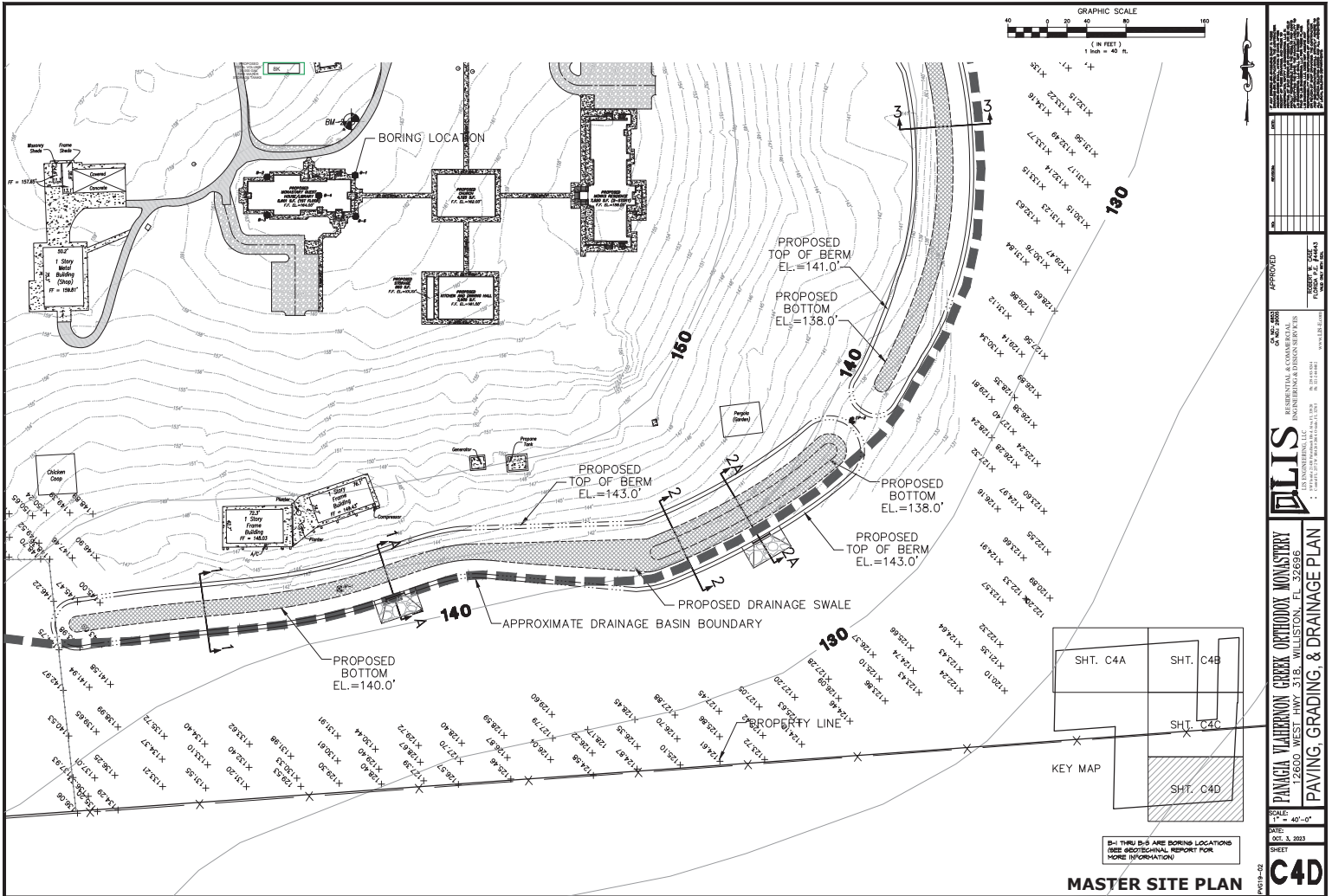
PAVING, GRADING, & DRAINAGE PLAN

DATE: 08/08/13

SCALE: 1" = 40'

SHEET

C4D



APPROVED

CHARTERED
 04-07-2003
 RESIDENTIAL & COMMERCIAL
 ENGINEERING & DESIGN SERVICES

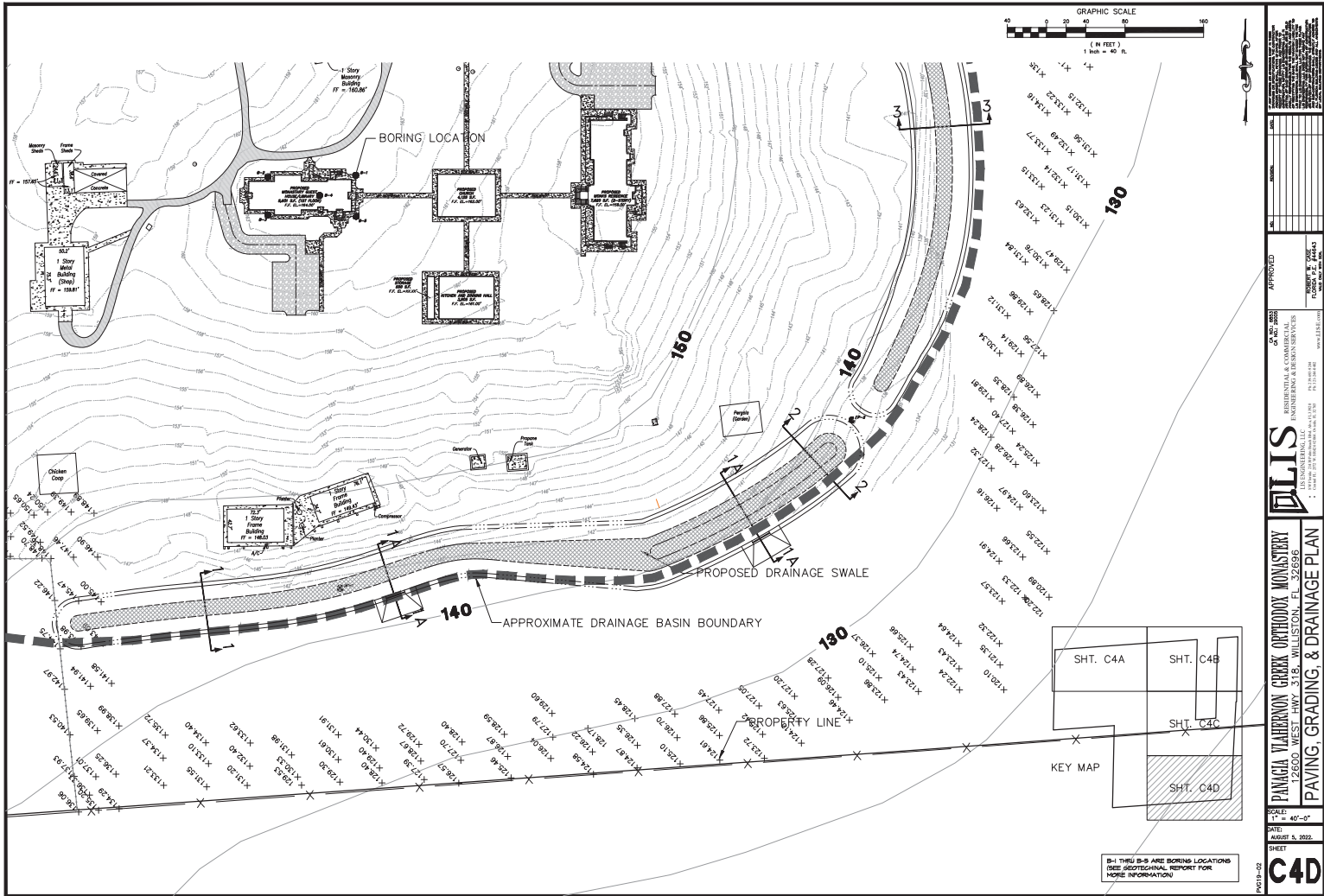
ALIS

PANACIA VALERON CREEK ORTHODOX MONASTERY
 12600 WEST HWY 318, WILUSTON, FL 32696

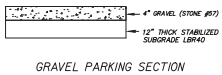
PAVING, GRADING, & DRAINAGE PLAN

DATE: 05.14.2003
SHEET: 01 OF 02

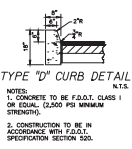
C4D



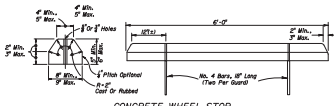
APPROVED	
PROJECT: PANAGIA VALHRONON CREEK ORTHODOX MONASTERY	
LOCATION: 12000 WEST HWY 318, WILKINSON, LA 70696	
DATE: 08/08/2015	
SHEET: 01	
PROJECT: PAVING, GRADING, & DRAINAGE PLAN	
C4D	



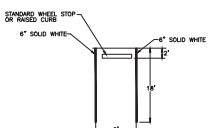
GRAVEL PARKING SECTION



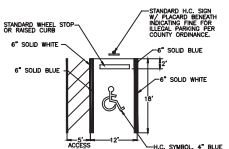
TYPE "D" CURB DETAIL
NOTES:
1. CONCRETE TO BE F.O.D.T. CLASS 1 OR EQUAL (2,500 PSI MINIMUM STRENGTH).
2. CONSTRUCTION TO BE IN ACCORDANCE WITH F.O.D.T. SPECIFICATION SECTION 520.



CONCRETE WHEEL STOP

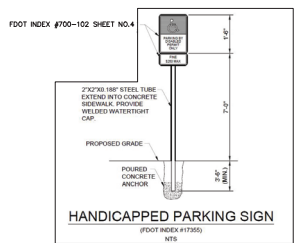


STANDARD PARKING SPACE MARKING DETAIL
N.T.S.



HANDICAP PARKING SPACE MARKING DETAIL
N.T.S.

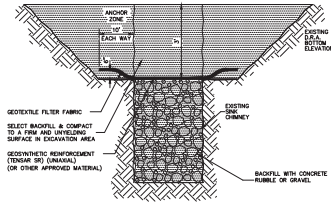
THERMOPLASTIC STRIPING OR ALL-WEATHER PAINTED LINES



HANDICAPPED PARKING SIGN
(FOOT INDEX #1755)
N.T.S.

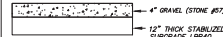
FOOT INDEX #700-102 SHEET NO.4

APPROVED RESIDENTIAL & COMMERCIAL ALIS PANAGIA VALERON CREEK ORTHODOX MONASTERY 12600 WEST HWY 318, WILLISTON, FL 32696 PAVING, GRADING, & DRAINAGE DETAILS		DATE: 11/17/2022 SHEET: 17 SCALE: 1" = 40'-0" C4E
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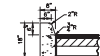


- NOTES:
- IF LIMESTONE IS ENCOUNTERED ON A SINKHOLE OR SOLUTION PIPE FORMING DURING CONSTRUCTION, CONSTRUCTION OF THE BURN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
 - THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
 - THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURRENCE OF SINKHOLES OR SOLUTION PIPES.

TYPICAL SINK CHIMNEY REPAIR DETAIL
N.T.S.

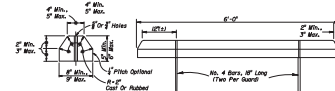


GRAVEL PARKING SECTION

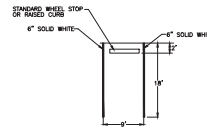


TYPE "D" CURB DETAIL
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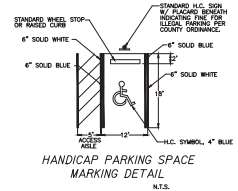
- NOTES:
- CONCRETE TO BE F.D.O.T. CLASS 1 OR EQUAL (2,500 PSI MINIMUM STRENGTH).
 - CONSTRUCTION TO BE IN ACCORDANCE WITH F.D.O.T. SPECIFICATION SECTION 502.



CONCRETE WHEEL STOP

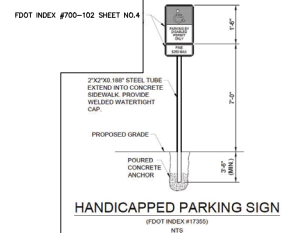


STANDARD PARKING SPACE MARKING DETAIL
N.T.S.



HANDICAP PARKING SPACE MARKING DETAIL
N.T.S.

THERMOPLASTIC STRIPING OR ALL-WEATHER PAINTED LINES



HANDICAPPED PARKING SIGN
N.T.S.

FOOT INDEX #700-102 SHEET NO.4

APPROVED

CH. 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

RESIDENTIAL & COMMERCIAL PAVING

ENGINEER: J. J. JENSEN, P.E.

DATE: 12/15/2011

PROJECT: PANACIA VALERON CREEK ORTHODOX MONASTERY

LOCATION: 12600 WEST HWY 318, WILLISTON, FL 32696

SCALE: 1" = 40'-0"

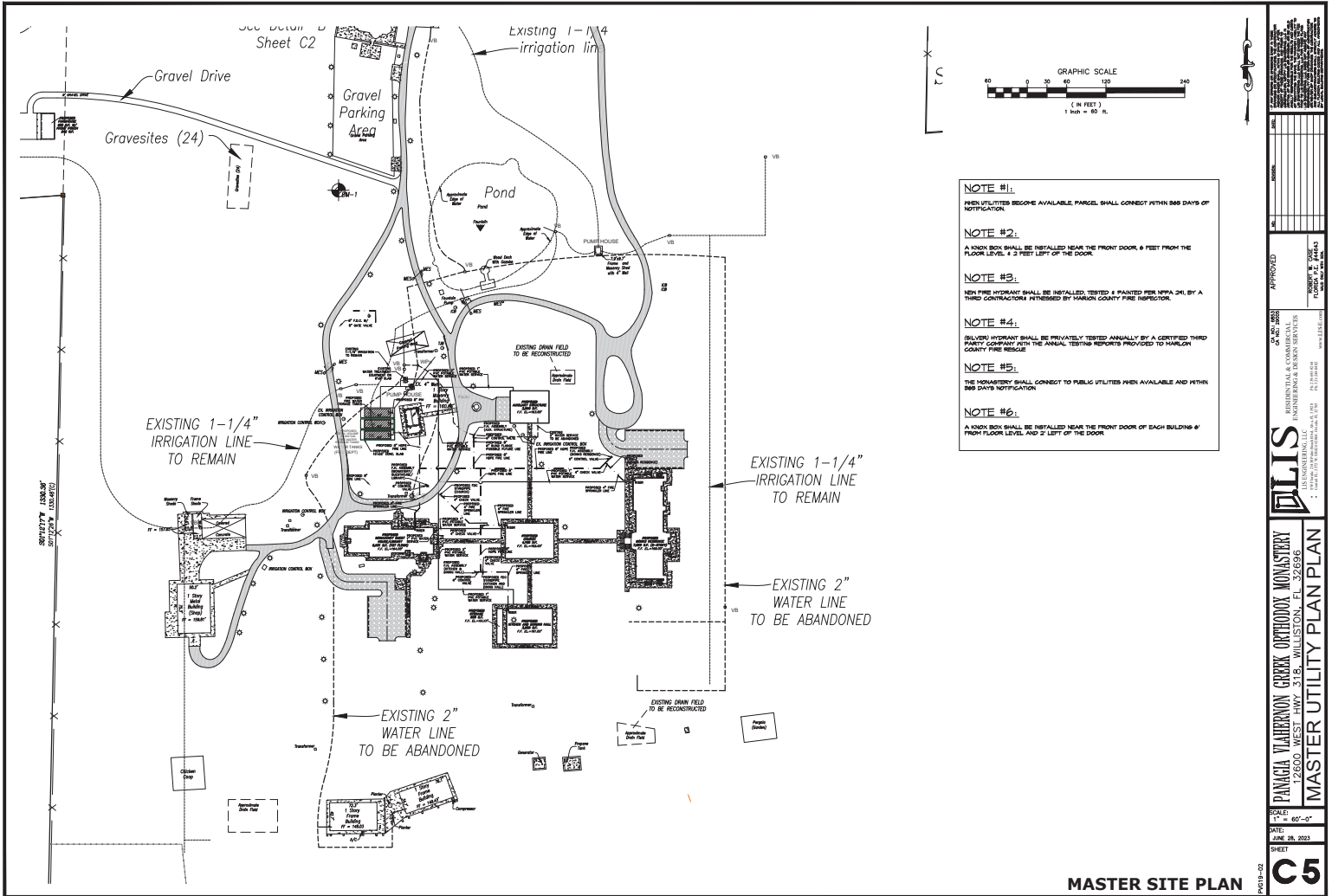
SHEET: 13 OF 20

FOOT INDEX #700-102 SHEET NO.4

ENCLOSURE

C4E

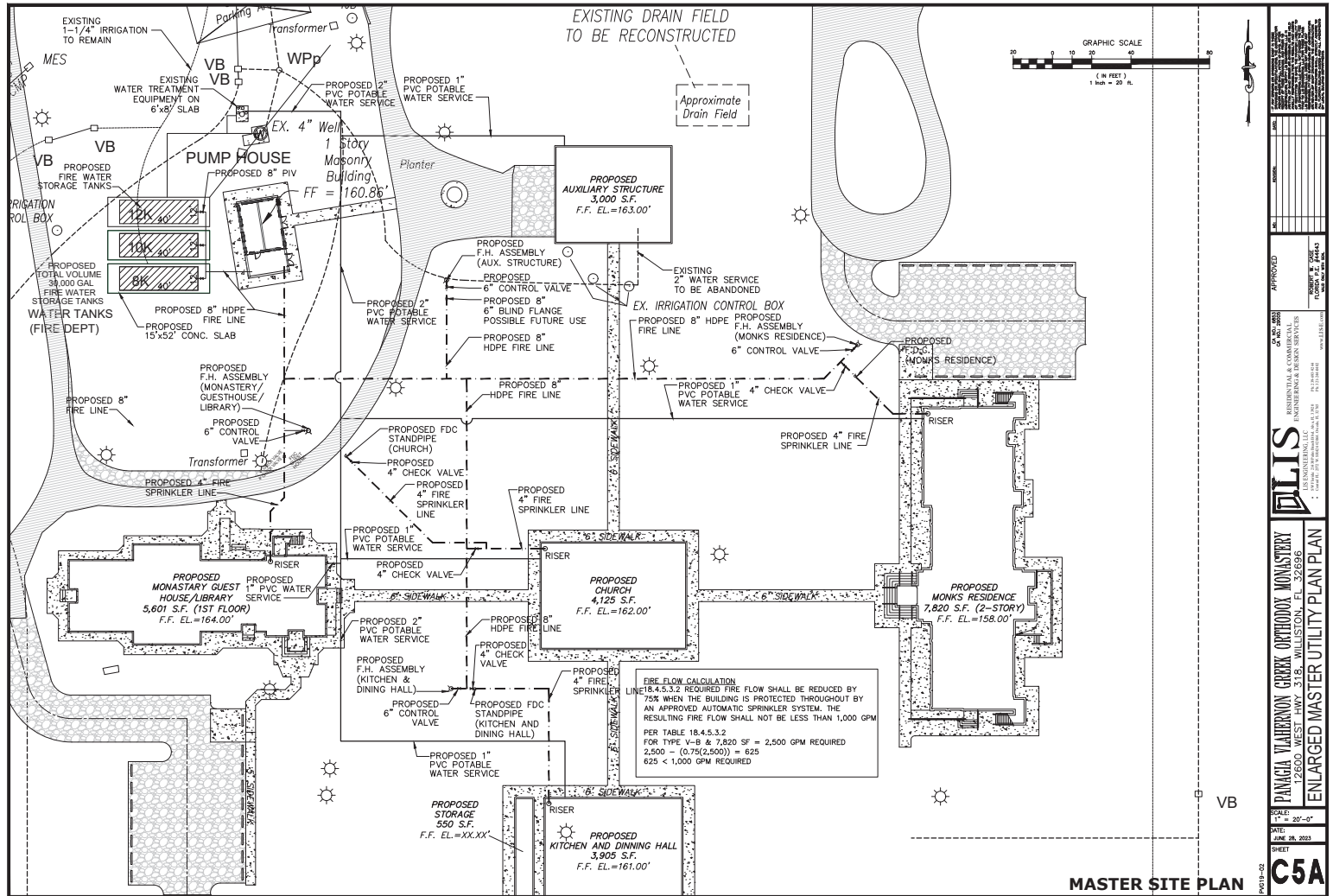


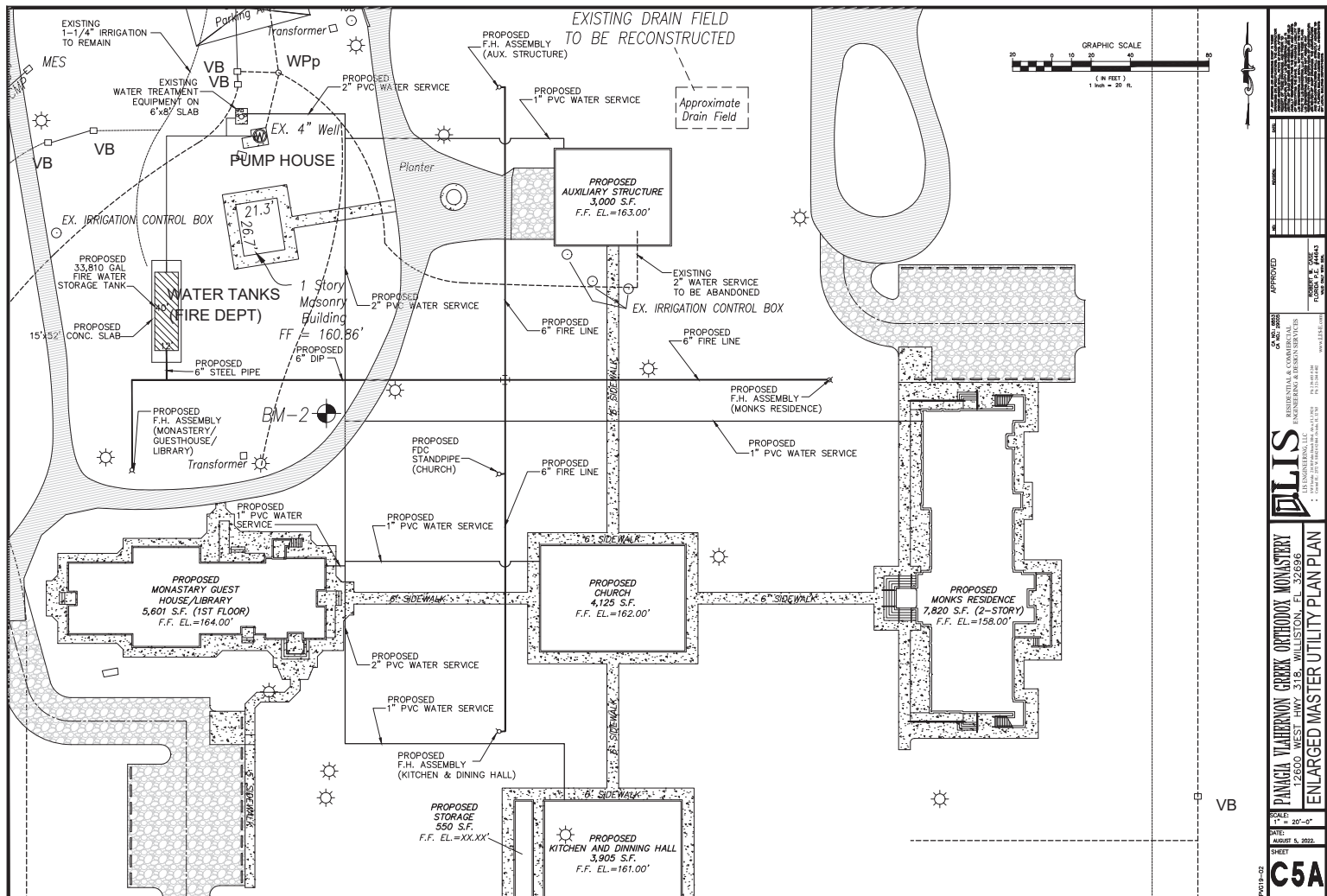


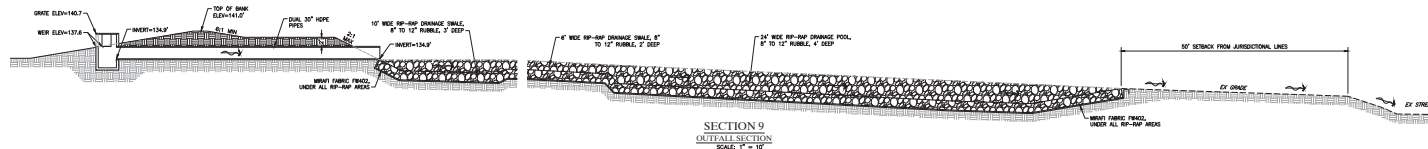
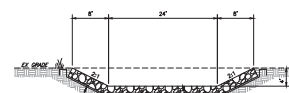
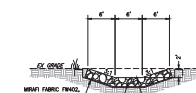
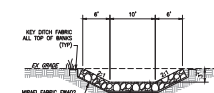
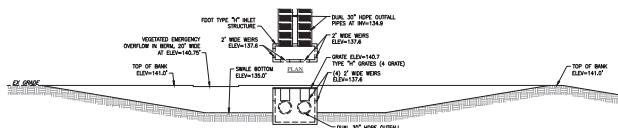
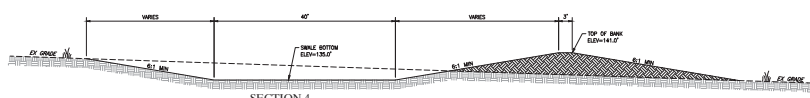
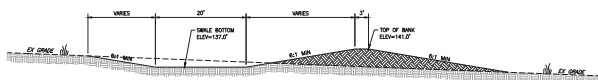
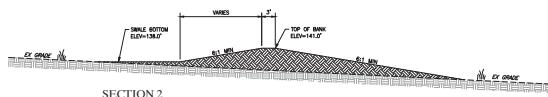
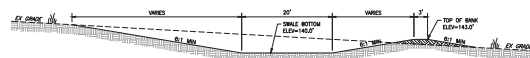
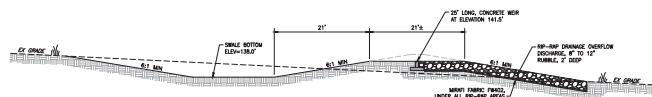
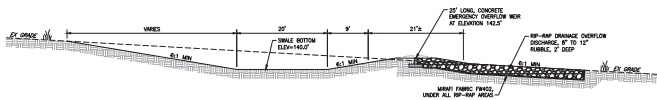
- NOTE #1:**
PUMP UTILITIES BECOME AVAILABLE, PARCEL SHALL CONNECT WITHIN 900 DAYS OF NOTIFICATION.
- NOTE #2:**
A KNOX BOX SHALL BE INSTALLED NEAR THE FRONT DOOR, 6 FEET FROM THE FLOOR LEVEL, & 3 FEET LEFT OF THE DOOR.
- NOTE #3:**
KNOX FIRE HYDRANT SHALL BE INSTALLED, TESTED & PAINTED PER NFPA 241, BY A THIRD CONTRACTOR, ATTESTED BY MARION COUNTY FIRE INSPECTOR.
- NOTE #4:**
SILVER HYDRANT SHALL BE PRIVATELY TESTED ANNUALLY BY A CERTIFIED THIRD PARTY COMPANY WITH THE ANNUAL TESTING REPORTS PROVIDED TO MARION COUNTY FIRE RESCUE.
- NOTE #5:**
THE MONASTERY SHALL CONNECT TO PUBLIC UTILITIES WHEN AVAILABLE AND WITHIN 900 DAYS NOTIFICATION.
- NOTE #6:**
A KNOX BOX SHALL BE INSTALLED NEAR THE FRONT DOOR OF EACH BUILDING 6' FROM FLOOR LEVEL AND 3' LEFT OF THE DOOR.

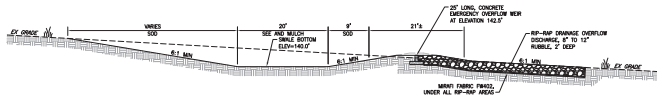
MASTER SITE PLAN

APPROVED	
DATE: 06-20-2023	PROJECT: PANAGIA VLAHERON GREEK ORTHODOX MONASTERY
ENGINEER: JASON BARNES	
12600 WEST HWY 318, WILMISTON, FL 32696	
1-352-2701 / 352-2702	
J. BARNES@JLBENGINEERING.COM	
JLB ENGINEERING, LLC	
1200 N. W. 10TH AVE., SUITE 100, FORT LAUDERDALE, FL 33304	
954-576-1111	
JLB ENGINEERING, LLC IS AN EQUAL OPPORTUNITY FIRM.	
DATE: 06-20-2023	
TIME: 09:00 AM	
SHEET: C5	
PROJECT: MASTER UTILITY PLAN	

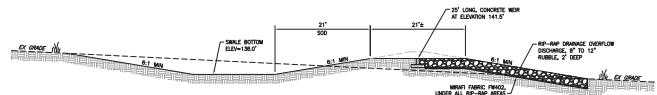








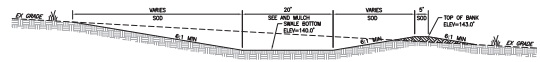
SECTION 1A
SOUTH DRA OVERFLOW SECTION
SCALE 1" = 10'



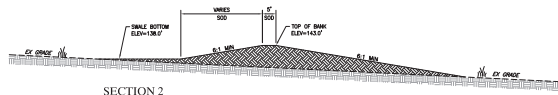
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SOUTH DRA OVERFLOW SECTION
SCALE 1" = 10'

NOTE:

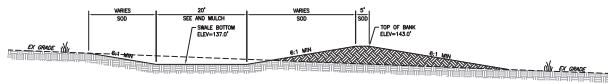
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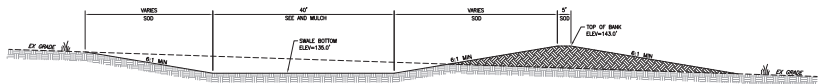
SECTION 1
SWALE SECTION
SCALE 1" = 10'



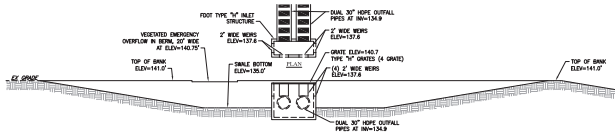
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SWALE SECTION
SCALE 1" = 10'



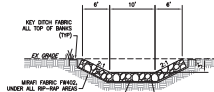
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SWALE SECTION
SCALE 1" = 10'



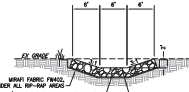
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SWALE SECTION
SCALE 1" = 10'



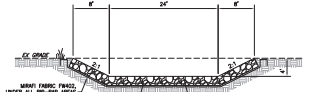
SECTION 5
CONTROL STRUCTURE
SCALE 1" = 10'



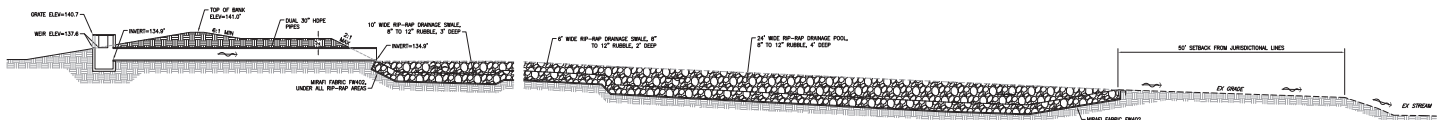
SECTION 6
RIP-RAP SWALE
SCALE 1" = 10'



SECTION 7
RIP-RAP SWALE
SCALE 1" = 10'



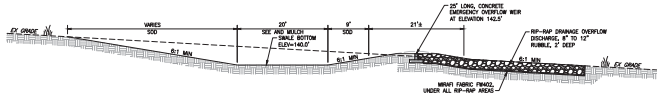
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RIP-RAP SWALE
SCALE 1" = 10'



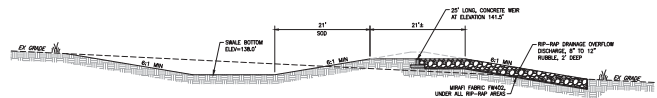
SECTION 9
OUTFALL SECTION
SCALE 1" = 10'

MASTER SITE PLAN

DATE: 12/15/2011	PROJECT: 12500 WEST HWY 318, WILMINGTON, FL 32696	CLIENT: PANACIA VALHARON CHURCH, ORTHODOX MONASTERY
DESIGNED BY: J. L. BROWN	CHECKED BY: J. L. BROWN	APPROVED BY: J. L. BROWN
CROSS SECTIONS AND CONSTRUCTION DETAILS		
SHEET: 1 OF 1		



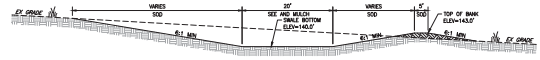
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SOUTH DRA OVERFLOW SECTION
SCALE 1" = 10'



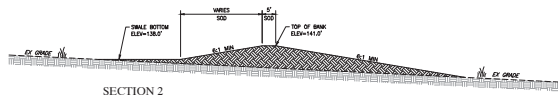
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SOUTH DRA OVERFLOW SECTION
SCALE 1" = 10'

NOTE:

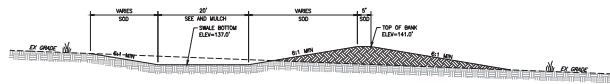
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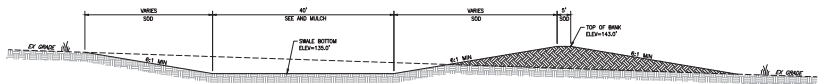
SECTION 1
SWALE SECTION
SCALE 1" = 10'



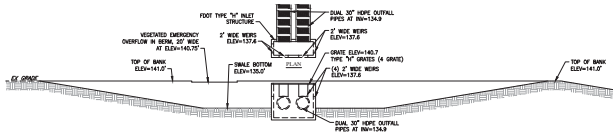
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SWALE SECTION
SCALE 1" = 10'



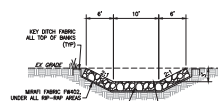
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SWALE SECTION
SCALE 1" = 10'



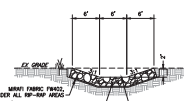
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SWALE SECTION
SCALE 1" = 10'



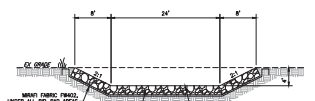
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CONTROL STRUCTURE
SCALE 1" = 10'



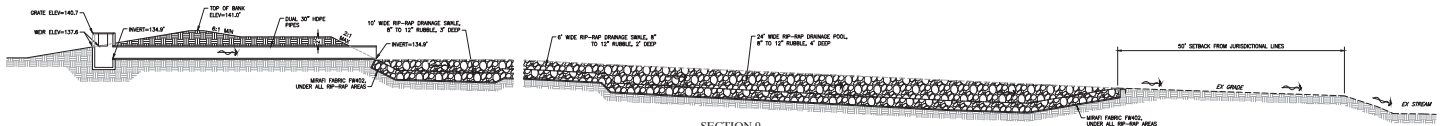
SECTION 6
RIP-RAP SWALE
SCALE 1" = 10'



SECTION 7
RIP-RAP SWALE
SCALE 1" = 10'



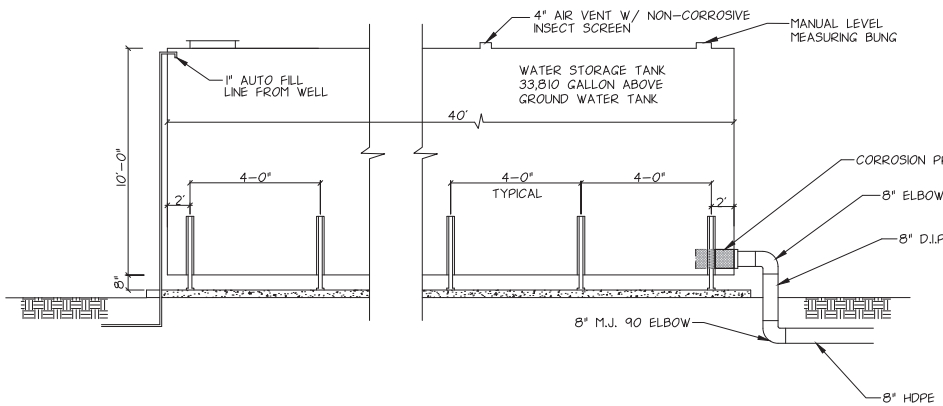
SECTION 8
RIP-RAP SWALE
SCALE 1" = 10'



SECTION 9
OUTFALL SECTION
SCALE 1" = 10'

MASTER SITE PLAN

APPROVED	DATE: 08/01/2008	PROJECT: PANACIA VALHARON CREEK ORTHODOX MONASTERY
DESIGNED BY: ROBERT E. JAMES	ENGINEER: ROBERT E. JAMES	12600 WEST HWY 318, WILLISTON, FL 32696
CHECKED BY: ROBERT E. JAMES	DATE: 08/01/2008	SCALE: 1" = 20'-0"
DATE: 08/01/2008	PROJECT: PANACIA VALHARON CREEK ORTHODOX MONASTERY	SHEET: 02
DATE: 08/01/2008	PROJECT: PANACIA VALHARON CREEK ORTHODOX MONASTERY	CROSS SECTIONS AND CONSTRUCTION DETAILS
DATE: 08/01/2008	PROJECT: PANACIA VALHARON CREEK ORTHODOX MONASTERY	C6



FIRE FLOW CALCULATIONS

7,820 SQ. FT. OF ENCLOSED BUILDING
HEIGHT = 10 FEET
7,820 x 10 = 78,200 CUBIC FEET
OCCUPANCY HAZARD CLASSIFICATION NUMBER 5 (OFFICE)
CONSTRUCTION CLASSIFICATION NO. V = 0.8
SINGLE STRUCTURE WITHOUT EXPOSURE HAZARD

TOTAL C.F.
OCCUPANCY HAZARD CLASSIFICATION NO. x CONSTRUCTION CLASSIFICATION NO. =

$\frac{78,200}{5} \times 0.8 = 12,512$ GALLONS

(A MIN. 30,000 GALLON STORAGE TANK TO BE PROVIDED ON SITE BASED ON TABLE A.7.1.5)

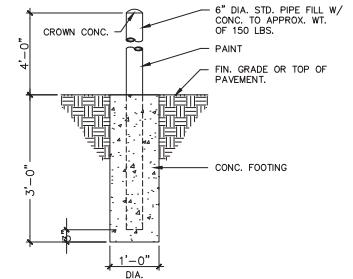
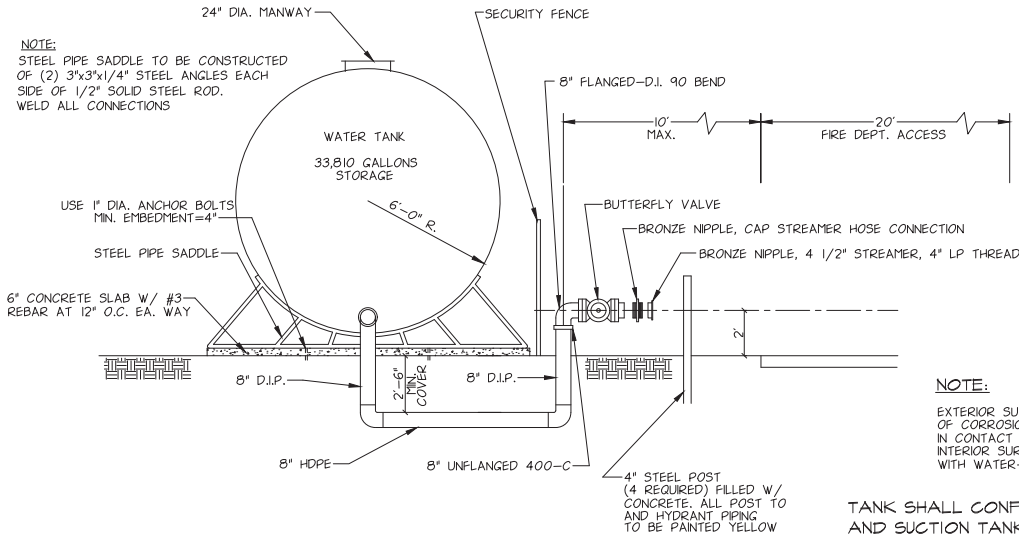
TABLE 1B.4.5.2.1 MINIMUM REQUIRED FIRE FLOW AND DURATION FOR BUILDINGS REQUIRED A FIRE FLOW OF 2,500 GPM

TABLE 1B.4.5.3.2 REQUIRED FIRE FLOW SHALL BE REDUCED BY 75 PERCENT WHEN THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. THE RESULTING FIRE FLOW SHALL NOT BE LESS THAN 1,000 GPM.

$2,500 \times (2,500 \times 0.75) = 625 < 1,000$ GPM

TABLE 7.1.5 TO BE ACCEPTABLE, WATER SUPPLY SOURCES SHALL MAINTAIN THE MINIMUM CAPACITY AND DELIVERY REQUIREMENTS ON A YEAR-ROUND BASIS, BASED ON THE 50-YEAR DROUGHT FOR THE WATER SOURCE.

TABLE A.7.1.5 FOR AN IMPOUNDED SUPPLY, TANK, OR STORAGE FACILITY, THE QUANTITY TO BE CONSIDERED AVAILABLE IS THE MINIMUM AVAILABLE DURING A DROUGHT HAVING AN AVERAGE 50-YEAR REOCCURRENCE INTERVAL. A MINIMUM OF 30,000 GAL. OF PUMPABLE IMPOUNDED WATER OR A MINIMUM RATE OF 250 GPM.



BOLLARD DETAIL
SCALE: N.T.S.

NOTE:

EXTERIOR SURFACE OF TANK TO BE COATED FOR PROTECTION OF CORROSION. MINIMUM TANK THICKNESS 3/16" FOR PARTS NOT IN CONTACT AND 1/4" FOR PARTS IN CONTACT WITH WATER. THE INTERIOR SURFACE OF THE TANK SHALL BE PAINTED AND SEALED WITH WATER-RESISTANT EPOXY PAINT.

TANK SHALL CONFORM WITH CHAPTER 2 (STEEL GRAVITY AND SUCTION TANKS) N.F.P.A. 22 LATEST ADDITION

NOTE: Spacing shown in this chart are based on generalized conditions and should be adjusted based on actual site performance or hydraulic calculations.

FLOW RATES (FPS)

Very Light	< 5
Light	> 5 < 10
Moderate	> 10 < 15
Heavy	> 15 < 25
Very heavy	> 25 < 40

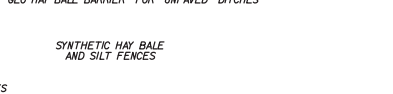
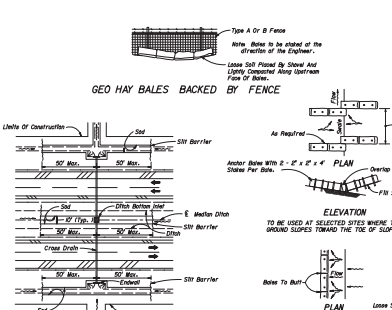
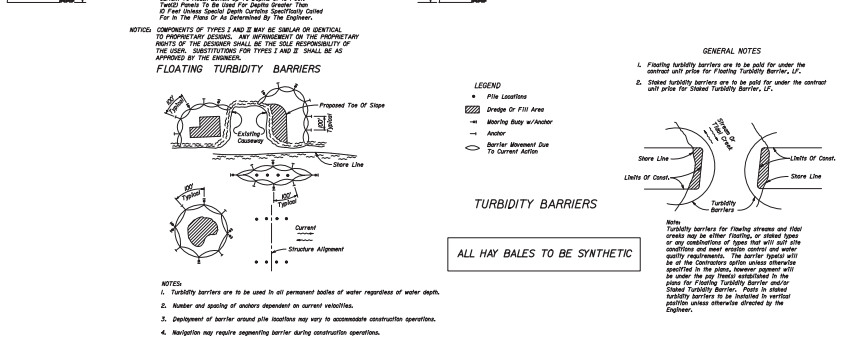
LEGEND

Flow
Soils

SOILS

Cohesive	Non - Cohesive
Firm Loam	Fine Sand
Clay Sandy	Coarse Sand
Clays	Gravels
Heavy-sands	Sandy Loam
	Silt Loam

The chart shows that for a given flow rate, the required spacing increases with the flow rate and decreases with the soil permeability (from Firm Loam to Silt Loam). The spacing for Firm Loam is the highest for any given flow rate, while the spacing for Silt Loam is the lowest.



PANAGIA VLAHERNON GREEK ORTHODOX MONASTERY

MAJOR SITE PLAN
PARCEL# 01974-000-00



OPERATION AND MAINTENANCE OF THE STORMWATER FACILITY
I HEREBY CERTIFY THAT I, MY SUCCESSOR, AND ASSIGNED SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

NOTES:
NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLAN SHALL BE MADE WITHOUT NOTIFICATION TO & APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

NOTES:
THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENTLY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENTLY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENTLY REVIEW AND/OR APPROVAL AS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

MOISTO ALEKPOPOLOS
PRESIDENT
PANAGIA VLAHERNON GREEK ORTHODOX MONASTERY, INC

DATE

COUNTY APPROVED STAMP

GENERAL NOTES:

1. PROVIDE PROTECTIVE DEVICES TO PROTECT THE PUBLIC IN ADJACENT AREAS FROM INJURY DURING CONSTRUCTION. COORDINATE ALL ACTIVITIES WITH BUILDING OWNER. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. CLEAN UP DEBRIS AT THE END OF EACH DAY'S ACTIVITIES.
3. BEFORE ANY WORK COMMENCES, THE GENERAL CONTRACTOR SHALL PRESENT TO THE OWNER, INSURANCE CERTIFICATES FOR HIMSELF AND HIS SUBCONTRACTORS IN A FORMAT AND FOR COVERAGES THAT ARE SATISFACTORY TO THE OWNER.
4. WHEREVER THERE IS A QUESTION AS TO THE NEW MATERIALS OR METHODS OF CONSTRUCTION THE CONTRACTOR SHALL CLARIFY SAME WITH THE ARCHITECT OR ENGINEER.
5. CUT AND PATCH CAREFULLY AND BLEND NEW SITE FINISHES SMOOTHLY WITH THE EXISTING. ALL WORK SHALL BE CARRIED OUT IN FULL CONFORMANCE WITH THE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES INCLUDING ADA COMPLIANCE.

WORK INCLUDED:

1. ALL SITE IMPROVEMENTS AS SHOWN ON SITE DEVELOPMENT DRAWINGS PREPARED BY SITE ENGINEER UNDER SEPARATE SITE DEVELOPMENT ORDER.
2. TEMPORARY FACILITIES AND UTILITIES AS REQUIRED BY THE CONSTRUCTION.
3. BUILDING PERMIT FEE, PLAN REVIEW FEE, AND ANY SUBCONTRACTOR PERMIT FEES REQUIRED.
4. ALL CONSTRUCTION SHOWN ON THE APPROVED BUILDING PERMIT PLANS.

TERMSITE PROTECTION:

1. ENTIRE CONCRETE SLAB AND FOUNDATION AREA SHALL BE TREATED WITH SOIL POISON AND TERMITES PROTECTION.

Table A
Net New Trips Generated
(Proposed Trips Less Existing Trips)

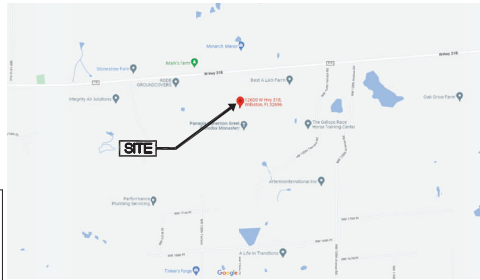
	Daily (ADT)	AM Peak Hour (vph)	PM Peak Hour (vph)
Existing Trips	802	4	9
Proposed Trips	170	8	13
Net New Trips	18	4 3 enter/ 1 exit	4 2 enter/ 2 exit

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

ROBERT K. CASE, P.E.

DATE

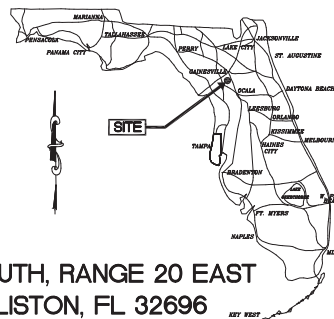
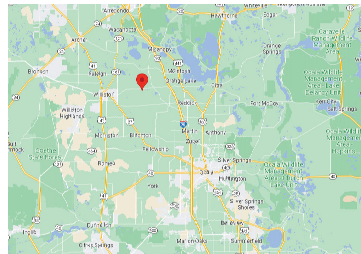
LOCATION MAP



LAND USE AREAS

1. TOTAL AREA (71) = TRACT + DEEP + DEEP + LAND
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MARION COUNTY AND FLORIDA STATE MAPS



SECTION 32, TOWNSHIP 12 SOUTH, RANGE 20 EAST
12600 WEST HWY 318, WILLISTON, FL 32696

Site Design & Engineering:

- C1 Existing Conditions Plan
- C2 Enlarged Existing Conditions Plan
- C3 Site Dimensioning Plan
- C3A Phasing Plan
- C3B Aerial View
- C4 Paving, Grading, & Drainage Plan
- C4A Paving, Grading, & Drainage Plan
- C4B Paving, Grading, & Drainage Plan
- C4C Paving, Grading, & Drainage Plan
- C4D Paving, Grading, & Drainage Plan
- C4E Paving, Grading, & Drainage Details
- C5 Master Utility Plan
- C5A Enlarged Master Utility Plan
- C6 Cross Sections and Construction Details
- C7 Fire Water Storage Tank
- C8 Erosion Control Details

Landscape Architecture:

- L1 Landscape Plan
- L2 Landscape Plan
- L3 Landscape Plan
- L4 Landscape Plan
- Boundary Survey

OWNER/APPLICANT INFORMATION

MOISTO ALEKPOPOLOS (PRESIDENT)
PHONE: (850) 541-1716
PANAGIA VLAHERNON GREEK ORTHODOX MONASTERY, INC.
12600 WEST HWY 318, WILLISTON, FL 32696

Design Team

Civil / Structural / Plumbing Engineering:
LIS Engineering, LLC
Robert A. Case P.E.
21430 Palm Beach Blvd
Alva, FL 33420 Tel: 234-643-4244
www.LIS-Eng.com

Landscape Architect:
David M. Jones, Jr. & Associates
Gregory Desario, R.L.A.
2221 McGregor Blvd.
Fort Myers, FL 33901 Tel: 234-337-5525

Project Planner:
LIS Engineering, LLC
Amie S. Reynolds
21430 Palm Beach Blvd
Alva, FL 33420 Tel: 234-643-4244

PV619-02 AUGUST 15, 2022

SCALE:
1" = 60'-0"

DATE:
MARCH 13, 2023

SHEET
C0

APPROVED

APPROVED

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APPROVED

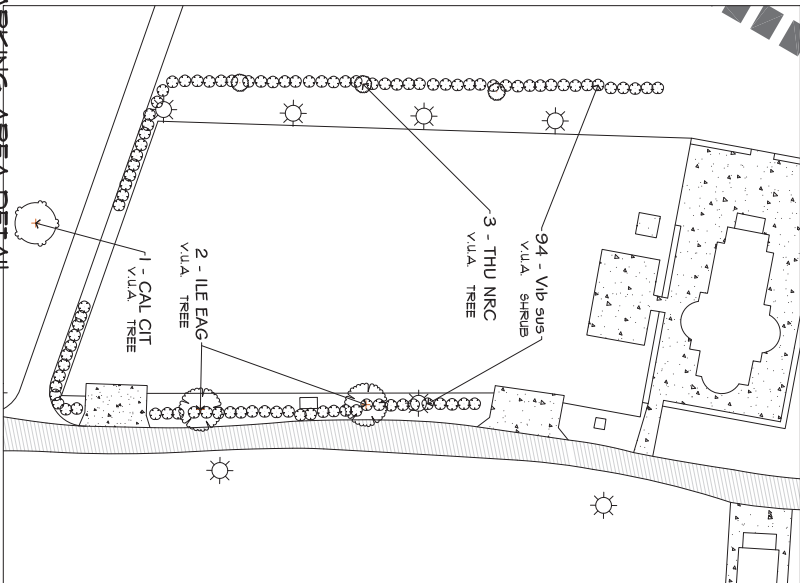
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LANDSCAPE PLANTING PLAN



90 - Myr cer
ALLOW TO DEVELOP
TO NATURAL HEIGHT

S.W. PROPERTY LINE DETAIL

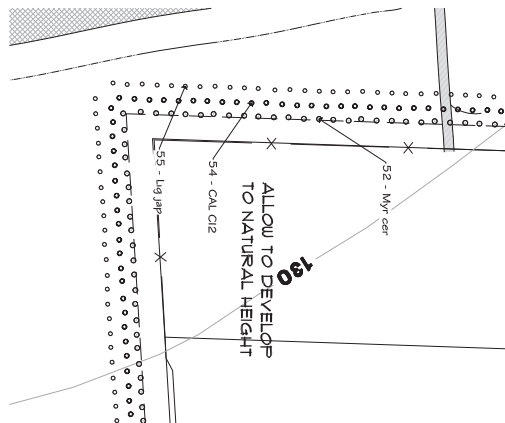
SCALE 1" = 20'

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
+	ACE 1981	6	Acer rubrum	Red Maple	14 ft. 3.5" cal. 6" sp	
+	CAI CIT	1	Callierum affinis	Lemon Bottlebrush	6'-10' HTS	
+	ILE EAO	4	Ilex x attenuata 'Engelston'	Engelston Holly	6' - 8' Ht.	
+	LAG MUL	23	Lagerströmia x 'Mascopter'	Lavender Crape Myrtle Multi-Trunk	6' - 8' Ht.	
+	MNS 194	3	Myrsine fragnans	Shopper's Shopper	6'-8' ht. multi stem	NATIVE
+	MNS 022	2	Myrica verticillata	Wax Myrtle	4' Ht.	
+	THU NRC	24	Thuja occidentalis 'Nancton Pillar'	American Pillar Arborvitae	6' - 8' Ht.	
+	ULM ALA	8	Ulmus albus	Winged Elm	14' Ht. 3.5" cal. 6" sp	
+	ACE gra	70	Asclepias x grandiflora	Glossy Asclepi	3 gal., 18"x24" ht	
+	CAI CIT	54	Callierum affinis	Lemon Bottlebrush	3 gal., 18"x24" ht	
+	Lig jip	55	Ligularia japonicum	Japanese Primel	3 gal., 18"x24" ht	
+	Myr cer	142	Myrica verticillata	Wax Myrtle	3 gal., 18"x24" ht	NATIVE
+	THI lak	201	Thibaudia discolorata	Fraserian Privet	3 gal., 18"x24" ht	NATIVE
+	Yb. ado	44	Yb. ado	Steel Yb. ado	3 gal., 18"x24" ht	
+	Yb. sus	157	Yb. sus	Spreading Yb. ado	3 gal., 24" ht	

NOTES:

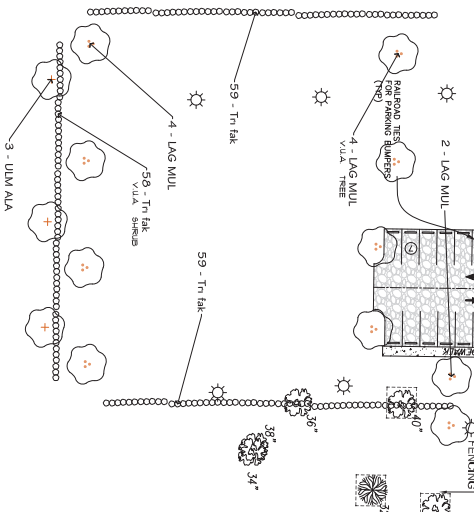
- * ALL PLANTINGS SHALL BE HAND WATERED BY THE OWNER TO PROVIDE FOR ESTABLISHMENT.
- * PLANTINGS SHALL BE MAINTAINED IN PERPETUITY
- * DISTURBED AREAS OF THE SITE SHALL BE SEEDED OR SOEDED WITH BAHIA SOD.
- * CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES INCLUDING MULCH AND SOD

EXISTING TREE LEGEND	
	LIVE OAK
	SLASH PINE
	SABAL PALM
	UNKNOWN



EAST BUFFER PLAN

SCALE 1" = 60'



S.W. DETAIL

SCALE 1" = 30'



DAVID M. JONES, JR.
AND ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
AND PLANNERS

2231 McGee Blvd.
Kearney, NE 68134
PHONE: (402) 333-3333
FAX: (402) 333-3333
BRIAN M. JONES, JR.
Principal, Landscape Architect
PHONE: (402) 333-3333

PROJECT INFORMATION
PANAGIA
VLAMERON
GREEK
ORTHODOX
MONASTERY
12600 WEST HWY
316, WYOMING
82086

PREPARED BY
Architect - Engineering
LIS-
Landscape Architecture
21400 West Hwy 316, Wyoming 82086
TEL: (307) 693-2424 FAX: (307) 693-2424

CONSULTANT
JESICA P. PERSHALL

THESESE & ASSOCIATES, P.A.
21400 West Hwy 316, Wyoming 82086
TEL: (307) 693-2424 FAX: (307) 693-2424

PROJECT NO. 219075
DATE: 10/10/2019
DESIGNED BY: GREG GREGORY
CHECKED BY: GREG GREGORY
DATE: 10/10/2019
SITE PERMIT

APPROVED BY: APRIL 2, 2020
DATE: 10/10/2019
DATE: 10/10/2019

SHEET TITLE
LANDSCAPE
PLAN &
PLANT LIST

SHEET NUMBER
L-3

