



SUBMITTAL SUMMARY REPORT 33171

PLAN NAME: SW HWY 484 SUPER CENTER

LOCATION:

APPLICATION DATE: 08/06/2025

PARCEL: 41200-056-03

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.3	03/27/2026	04/06/2026	04/16/2026	Approved
OCE: Plan Review (DR) v.2	03/03/2026	03/10/2026	03/16/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	11/04/2025	11/12/2025	01/15/2026	Requires Re-submit

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	04/06/2026	03/31/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/06/2026	04/01/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	04/06/2026	03/27/2026	Approved
Comments	Previously Approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/06/2026	04/15/2026	Informational

Comments For Final Plat submittal, please note that all proposed parcel boundaries will need to be delineated in such a way that all vertical improvements (superstore, retail center) within this site plan meet setback requirements from respective parcels. Please see comments for informational comments. If you have any questions/issues related to this Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.

Corrections 2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [3/9/26; INFO] Staff notes utilities easement in the same place as proposed buffers. Please note that buffers were a condition for PUD approval. In the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk. Waiver to allow shared Type A buffer was approved by DRC on 12/2026. Easement agreement submitted by applicant. [INITIAL] This shall remain a NO until shared Type A buffer is approved through waiver, consistent with Table 7A in 191107Z approval letter. Staff will not support waiver until the following is provided: (1) landscaping plan that provides at least a 6-foot tall visual obstruction (e.g., a berm, opaque shrubs, vinyl fencing, etc.); and (2) legal documentation/agreement that indicates maintenance responsibility of the shared buffer, as settled between the commercial developer for the SW Hwy 484 major site plan, MGL Development LLC, the HOA for McGinley Landing, and DR Horton (since their lots will be affected by any deviation in buffer requirements).
Otherwise, please update the site plan accordingly.

Corrections 2.12/4.2 - Lot setback (Resolved) - [4/13/26] Required setbacks indicated on cover sheet. For future submittals, please note that all proposed parcel boundaries will need to be delineated in such a way that all improvements within this site plan meet setback requirements. See markings on site plans. No action required for this major site plan; however, additional documentation will need to be provided at Final Plat stage to demonstrate setbacks are met. [INITIAL] Cover sheet indicates setbacks are N/A? Please include required/proposed B-4 setbacks

Corrections Additional Growth Services Comments (Resolved) - [4/13/26] Final Plat approval not required prior to Major Site Plan Approval. Pursuant to LDC Sec. 2.1.3.E., a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application.[INITIAL] Staff notes that Out of Order waiver (see attachments) was approved to allow final plat approval prior to pre-plat/improvement plan approval, conditioned on providing as needed information for review. Staff notes that this waiver may need to be re-considered to allow major site plans and permits in review to be approved without final plat approval. Staff would not object to this waiver subject to submittal of final plat prior to permit issuance and approval/recording of final plat prior to issuance of COs.

Corrections 2.12.22 - Tracts (Resolved) - [4/10/26] See indicated changes to site plan. Such changes should be reflected in submitted Final Plat. Please include number of tracts to be proposed at time of Final Plat. [INITIAL] As substitute for improvement plan, please show all tracts (including those for shared signs). Please include total number of lots proposed (6 outparcels + 1 supermarket/gas station/retail center parcel) on cover sheet.

SUBMITTAL SUMMARY REPORT (33171)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/06/2026	04/15/2026	Informational
<i>Corrections</i>	<p>4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [4/7/26] Following Staff discussion and subsequent applicant update/clarification to submittals, proposed plan is consistent with sign code.</p> <p>[3/11/26] Per condition 5 of PUD 191107Z, all project signs shall comply with LDC Division 5.4 Advertising Signs; further, a final PUD-wide Master Sign Plan shall be included as a component for review in the final PUD Master Plan, or equivalent, submittal. All signs shall be permitted separately. Please see the following rejection comments: (1) Is the intention for the multi-tenant signs to include the businesses in the outparcels, or just the businesses within the supermarket/separate retail center in the supermarket + gas station parcel? Please note that the former would not be permitted without "transferring" sign entitlements on each outparcel to multi-tenant sign, not to exceed LDC dimensional standards for signs (height, sign area, etc.). (2) Please indicate total sign area (including all tenants, not just main tenant) for each sign shown in Site Signage Exhibit document. (3) Including single-tenant sign for gas station, Sign Matrix document indicates total of 3 signs (2 monuments 350 SF in size and single-tenant sign 130 SF in size) for supermarket + gas station parcel. At most, LDC permits 2 monument signs (350 SF both) for this corner lot, one along SW Hwy 484 and one along SW 57th Avenue Road. If deviation is required for more than 2 signs, "entitlements" from 2 monument signs must be partially transferred to additional sign (ex: 350 SF reduced to 180 SF to allow one 70 SF single-tenant sign). Update Site Signage Exhibit, Sign Site Plan, and Sign Matrix documents accordingly and provide updated calculations showing "transferring" of sign entitlements. (4) Please indicate separate tracts to be created for multi-tenant sign(s) not located within supermarket parcel. Sign tracts/respective easements will also be required at time of final plat.</p> <p>[INITIAL] Staff notes single-tenant sign located along SW 57th Avenue Road. This sign does not seem to be located on Master Plan (AR 27373). Please clarify.</p>			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [INFO] 762 total parking spaces, as provided for both retail areas combined, meets LDC standards			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - [INFO] EALS submitted and transmitted to FWC. Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/06/2026	04/02/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	04/06/2026	04/06/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	04/06/2026	04/09/2026	Informational
<i>Comments</i>	<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.1 - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	04/06/2026	03/31/2026	Approved
<i>Corrections</i>	Final signed and sealed hard copy signature page (Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	04/06/2026	03/31/2026	Approved
<i>Corrections</i>	2.12.8 - Topographical Contours (Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Recommendations</i>	Copy of District Permit (County Interest) - Please provide a copy of the District permit prior to construction.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Proposed Drainage Right-of-Way/Easements - Appropriate drainage easements/ROW shall be included on the final plat.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
<i>Recommendations</i>	2.12.22 - Stormwater Tract/Right-of-Way - Appropriate drainage tracts/ROW shall be included on the final plat.			
<i>Recommendations</i>	7.1.3 <input type="checkbox"/> Drainage Construction Specifications - A pipe material deviation request has been submitted to County Engineer for consideration. You will receive a letter in response to the request.			
<i>Recommendations</i>	Additional Stormwater comments - If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/06/2026	03/31/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/06/2026	03/27/2026	Approved
Utilities (OCE Plans) (Utilities)	Carrie Hyde	04/06/2026	04/10/2026	Approved
<i>Recommendations</i>	Optional - Adding Bollards around services above ground.			

REVIEW SESSION FILES:

- 20260205 - Ocala Walmart_LA_IR.pdf
- 2026-02-27 SIGN SITE PLAN.pdf
- 2026-03-02 SW HWY 484 - Marion County.pdf
- 7219 Ocala (Marion Oaks), FL - Site Signage Exhibit.pdf
- Drainage Report - SW Hwy 484 Development_SS.pdf
- Easement Agreement - Marion Oaks (Recorded) - Bk 8730 Pg 25.pdf
- Email Correspondance.pdf
- File Category Placeholder.pdf
- Photometric Plan 1.pdf
- Photometric Plan 2 of 2.pdf
- Photometric Plan 2.pdf
- SW Hwy 484 - Sign Matrix.pdf
- SW Hwy 484 Development - SWFWMD Permit.pdf
- SW Hwy 484 Super Center - Waiver 000269 - DRC Status Letter.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
jriversa	Total: 9 lots	04/08/2026 3:48	PMFile Category Placeholder.pdf	1
jriversa	At the time of final plat, the applicant shall confirm that the proposed lot boundaries are configured such that the retail building meets minimum setback requirements.	04/08/2026 3:51	PMFile Category Placeholder.pdf	12

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	03/10/2026	03/06/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	03/10/2026	03/09/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	03/10/2026	03/03/2026	Approved
<i>Comments</i>	Previously Approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	03/10/2026	03/12/2026	Requires Re-submit
<i>Comments</i>	For any questions related to this Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [INFO] 762 total parking spaces, as provided for both retail areas combined, meets LDC standards			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - [INFO] EALS submitted and transmitted to FWC. Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits			
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - [3/11/26] Required setbacks indicated on cover sheet, in future submittals, please indicate provided setbacks for improvements shown on site plan. Please note that, as substitute for improvement plan, improvements within this site plan need to meet setback requirements based on proposed subdivision lot layout. Staff recognizes that improvements likely meet setback requirements. [INITIAL] Cover sheet indicates setbacks are N/A? Please include required/proposed B-4 setbacks			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - [INFO] Loading areas shall be screened to at least 3' in height			

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	03/10/2026	03/12/2026	Requires Re-submit
<i>Corrections</i>	<p>4.4 - Show proposed signs to meet LDC Sec 4.4 (Not Resolved) - [3/11/26; NO] Per condition 5 of PUD 191107Z, all project signs shall comply with LDC Division 5.4 Advertising Signs; further, a final PUD-wide Master Sign Plan shall be included as a component for review in the final PUD Master Plan, or equivalent, submittal. All signs shall be permitted separately. Please see the following rejection comments: (1) Is the intention for the multi-tenant signs to include the businesses in the outparcels, or just the businesses within the supermarket/separate retail center in the supermarket + gas station parcel? Please note that the former would not be permitted without "transferring" sign entitlements on each outparcel to multi-tenant sign, not to exceed LDC dimensional standards for signs (height, sign area, etc.). (2) Please indicate total sign area (including all tenants, not just main tenant) for each sign shown in Site Signage Exhibit document. (3) Including single-tenant sign for gas station, Sign Matrix document indicates total of 3 signs (2 monuments 350 SF in size and single-tenant sign 130 SF in size) for supermarket + gas station parcel. At most, LDC permits 2 monument signs (350 SF both) for this corner lot, one along SW Hwy 484 and one along SW 57th Avenue Road. If deviation is required for more than 2 signs, "entitlements" from 2 monument signs must be partially transferred to additional sign (ex: 350 SF reduced to 180 SF to allow one 70 SF single-tenant sign). Update Site Signage Exhibit, Sign Site Plan, and Sign Matrix documents accordingly and provide updated calculations showing "transferring" of sign entitlements. (4) As substitute for improvement plans at this point, please indicate separate tracts to be created for multi-tenant sign(s) not located within supermarket parcel. Sign tracts/respective easements will also be required at time of final plat.</p> <p>[INITIAL] Staff notes single-tenant sign located along SW 57th Avenue Road. This sign does not seem to be located on Master Plan (AR 27373). Please clarify.</p>			
<i>Corrections</i>	<p>2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [3/9/26; INFO] Staff notes utilities easement in the same place as proposed buffers. Please note that buffers were a condition for PUD approval. In the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk. Waiver to allow shared Type A buffer was approved by DRC on 12/2026. Easement agreement submitted by applicant. [INITIAL] This shall remain a NO until shared Type A buffer is approved through waiver, consistent with Table 7A in 191107Z approval letter. Staff will not support waiver until the following is provided: (1) landscaping plan that provides at least a 6-foot tall visual obstruction (e.g., a berm, opaque shrubs, vinyl fencing, etc.); and (2) legal documentation/agreement that indicates maintenance responsibility of the shared buffer, as settled between the commercial developer for the SW Hwy 484 major site plan, MGL Development LLC, the HOA for McGinley Landing, and DR Horton (since their lots will be affected by any deviation in buffer requirements). Otherwise, please update the site plan accordingly.</p>			
<i>Corrections</i>	2.12 - Rezoning (Resolved) - [INFO] PUD Case No. 191107Z			
<i>Corrections</i>	2.12.22 - Tracts (Not Resolved) - As substitute for improvement plan, please show all tracts (including those for shared signs). Please include total number of lots proposed (6 outparcels + 1 supermarket/gas station/retail center parcel) on cover sheet.			
<i>Corrections</i>	Additional Growth Services Comments (Not Resolved) - Staff notes that Out of Order waiver (see attachments) was approved to allow final plat approval prior to pre-plat/improvement plan approval, conditioned on providing as needed information for review. Staff notes that this waiver may need to be re-considered to allow major site plans and permits in review to be approved without final plat approval. Staff would not object to this waiver subject to submittal of final plat prior to permit issuance and approval/recording of final plat prior to issuance of COs.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding improvements as shown on traffic impact analysis.			
<i>Corrections</i>	2.12.23 - Building lot typicals (Not Resolved) - As substitute for subdivision plans, please provide lot typicals, including minimum setbacks, lot dimensions, etc., for commercial outparcels.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	03/10/2026	03/10/2026	Requires Re-submit
<i>Comments</i>	1. West buffer wall comment on plans 2. Photometric comment on plans			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	03/10/2026	03/04/2026	Approved

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	03/10/2026	03/09/2026	Informational
<i>Comments</i>	All Comment Addressed -EMW 03.09.2026			
<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	03/10/2026	03/10/2026	Approved
<i>Corrections</i>	2.12.8 - Topographical Contours (Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.			
<i>Recommendations</i>	2.12.22 - Stormwater Tract/Right-of-Way - Appropriate drainage tracts/ROW shall be included on the final plat.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Proposed Drainage Right of Way/Easements - Appropriate drainage easements/ROW shall be included on the final plat.			
<i>Recommendations</i>	Additional Stormwater comments - If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
<i>Recommendations</i>	7.1.3 <input type="checkbox"/> Drainage Construction Specifications - A pipe material deviation request has been submitted to County Engineer for consideration. You will receive a letter in response to the request.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
<i>Recommendations</i>	Copy of District Permit (County Interest) - Please provide a copy of the District permit prior to construction.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	03/10/2026	03/05/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	03/10/2026	03/11/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	03/10/2026	03/06/2026	Requires Re-submit
<i>Comments</i>	Please see the corrective comments.			
<i>Recommendations</i>	Optional - Adding Bollards around services above ground.			

SUBMITTAL SUMMARY REPORT (33171)

eREVIEW SESSION FILES:

20260205 - Ocala Walmart_LA_IR.pdf
 2026-02-27 SIGN SITE PLAN.pdf
 2026-03-02 SW HWY 484 - Marion County.pdf
 7219 Ocala (Marion Oaks), FL - Site Signage Exhibit.pdf
 Drainage Report - SW Hwy 484 Development_SS.pdf
 Easement Agreement - Marion Oaks (Recorded) - Bk 8730 Pg 25.pdf
 File Category Placeholder.pdf
 Photometric Plan 1.pdf
 Photometric Plan 2.pdf
 SW Hwy 484 - Sign Matrix.pdf
 SW Hwy 484 Development - SWFWMD Permit.pdf
 SW Hwy 484 Super Center - Waiver 000269 - DRC Status Letter.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Gary.Levengood	45	02/17/2026 5:50	PMPhotometric Plan 1.pdf	1
Gary.Levengood	90	02/17/2026 5:52	PMPhotometric Plan 1.pdf	1
Gary.Levengood	180	02/17/2026 5:52	PMPhotometric Plan 1.pdf	1
Susan Heyen	Max ht. per code 6.19.6.E is 30'. Please revise or request waiver	03/04/2026 8:00	PMPhotometric Plan 1.pdf	1
Heather Proctor	UT202 - Change to a meter bank with a size appropriate tap. All meters to be labeled individually by the contractor.	03/06/2026 8:24	PMFile Category Placeholder.pdf	22
Susan Heyen	Buffer plantings to be on the public view side of wall - please show on plans	03/09/2026 1:56	PM20260205 - Ocala Walmart_LA_IR.pdf	5
Susan Heyen	Buffer plantings to be on the public view side of wall - please show on plans	03/09/2026 1:59	PM20260205 - Ocala Walmart_LA_IR.pdf	2
jrivers	Please provide total sign area SF including all tenants	03/11/2026 10:43	PM7219 Ocala (Marion Oaks), FL - Site Signage Exhibit.pdf	2
jrivers	See correction comment. Update all sign documentation accordingly	03/11/2026 10:44	PMSW Hwy 484 - Sign Matrix.pdf	1

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
A																
B																
C																
D	GENERAL NOTES															
E	<p>A. PRODUCT DRINKING WATER PERMITS: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
F	<p>B. PERMITTED PROJECT AREA: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
G	<p>C. SPECIAL PROJECT AREA: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
H	<p>D.1 NON-FORMER DISCHARGES: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
I	<p>D.2 POWER WARNING: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
J	<p>E. DISCHARGE POINTS: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
K	<p>F. EROSION AND SEDIMENT CONTROL NOTES: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
L	<p>G. HAZARDOUS MATERIAL MANAGEMENT / SPILL REPORTING: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
M	<p>H. USGS QUADRANGLE MAP: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															
	<p>I. SITE LOCATION MAP: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITY.</p>															

DATE	
REVISION	
NO.	

Kimley-Horn
 CONSULTING ENGINEERS, INC.
 1700 N. 10th Street, Suite 200
 Lincoln, NE 68502
 PHONE: 402.478.2400 FAX: 402.478.2401
 WWW.KIMLEY-HORN.COM

LICENSING INFORMATION	DATE	BY
STATE OF NEBRASKA	01/15/2010	DAVID L. HORN
STATE OF IOWA	01/15/2010	DAVID L. HORN
STATE OF MISSOURI	01/15/2010	DAVID L. HORN
STATE OF KANSAS	01/15/2010	DAVID L. HORN
STATE OF NEBRASKA	01/15/2010	DAVID L. HORN

DATE	BY
01/15/2010	DAVID L. HORN
01/15/2010	DAVID L. HORN
01/15/2010	DAVID L. HORN
01/15/2010	DAVID L. HORN
01/15/2010	DAVID L. HORN

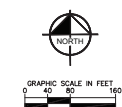
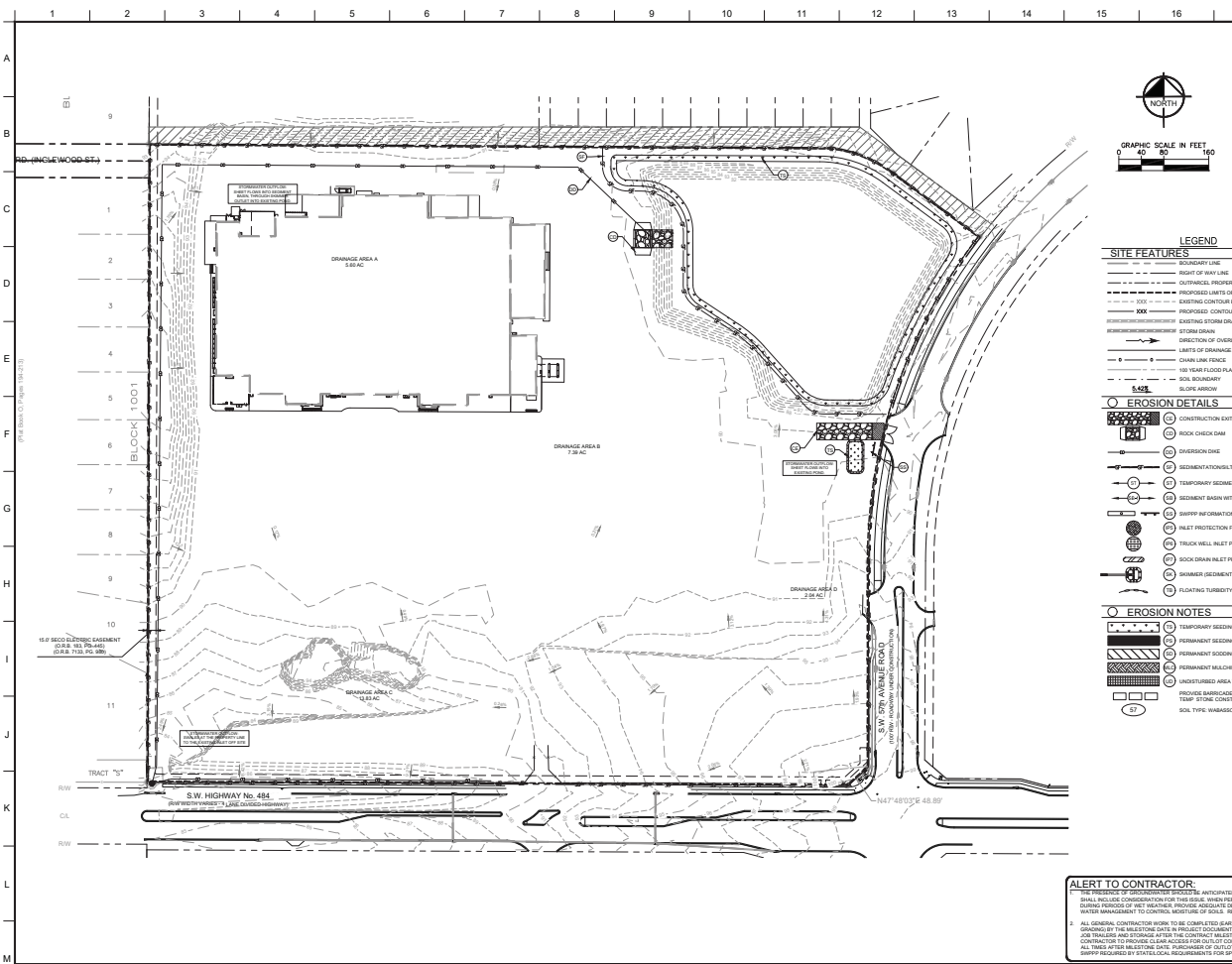
SWPPP NOTES

SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC

MARKET COUNTY NEBRASKA

SHEET NUMBER **6010**

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- LEGEND**
- SITE FEATURES**
- BOUNDARY LINE
 - POINT OF BENCH LINE
 - OUTLINE PROPERTY LINE
 - - - - - PROPOSED LIMITS OF DISTURBANCE
 - EXISTING CONTOUR ELEVATIONS
 - PROPOSED CONTOUR ELEVATIONS
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - DIRECTION OF OVERLAND FLOW
 - LIMITS OF DRAINAGE SUB-BASIN
 - CHAIN LINK FENCE
 - 100 YEAR FLOOD PLAIN
 - SOIL BOUNDARY
 - SLOPE ARROW

- EROSION DETAILS**
- CONSTRUCTION EXIT
 - ROCK CHECK DAM
 - DIVERSION DIRT
 - SEDIMENTATION SILT FENCE WITH WIRE BACKING
 - TEMPORARY SEDIMENT TRAP
 - SEDIMENT BASIN WITH PIPE OUTLET
 - SLOTTED INFORMATION SIGN
 - INLET PROTECTION FILTER BACK
 - TRUCK WHEEL INLET PROTECTION
 - ROCK DRAIN INLET PROTECTION
 - SUMMER SEDIMENT BASIN
 - FLOATING TURBIDITY BARRIER

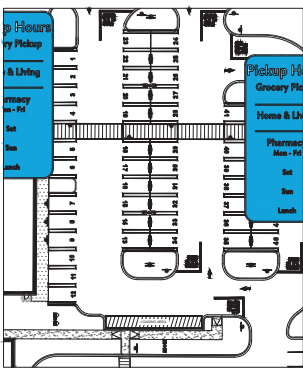
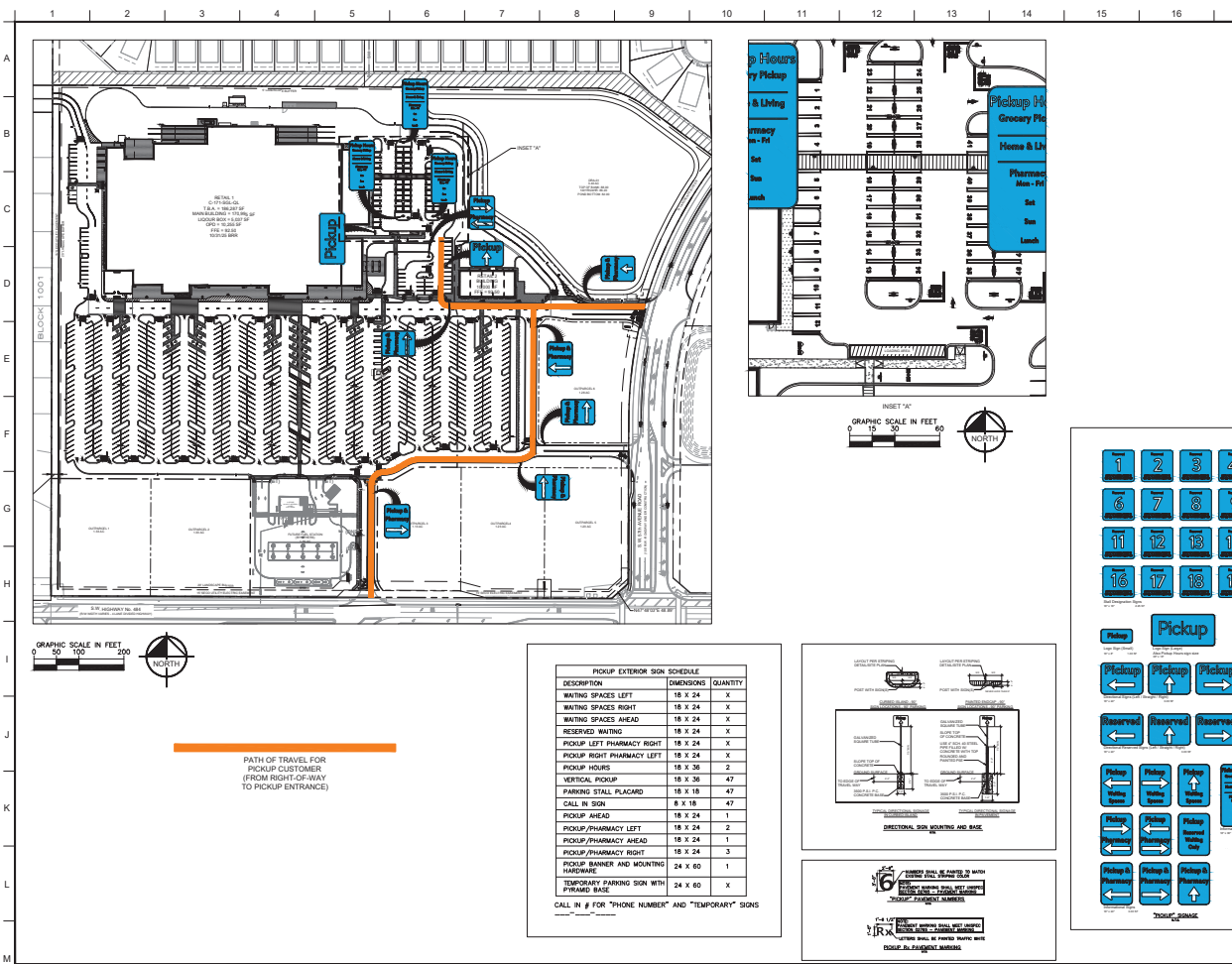
- EROSION NOTES**
- TEMPORARY SEEDING STABILIZATION
 - PERMANENT SEEDING STABILIZATION
 - PERMANENT SOILING STABILIZATION
 - PERMANENT MULCHING AND LANDSCAPING STABILIZATION
 - UNDISTURBED AREA TO SEMIN
 - PROVIDE BARRICADE AT ALL ENTRANCE LOCATIONS W/O TRAP TO STOP CONSTRUCTION DIRT
 - SOIL TYPE: MANASSAS FINE SAND

ALERT TO CONTRACTOR:

THE PRESENCE OF UNDESIRABLE SPECIES ANTICIPATED ON THIS PROJECT. CONTRACTORS SHOULD AVOID OR MINIMIZE THE PRESENCE OF THESE SPECIES. SOILS ARE BEING MONITORED FOR CONTAMINATION. CONTRACTORS SHOULD AVOID OR MINIMIZE THE PRESENCE OF THESE SPECIES. CONTRACTORS SHOULD AVOID OR MINIMIZE THE PRESENCE OF THESE SPECIES. CONTRACTORS SHOULD AVOID OR MINIMIZE THE PRESENCE OF THESE SPECIES.

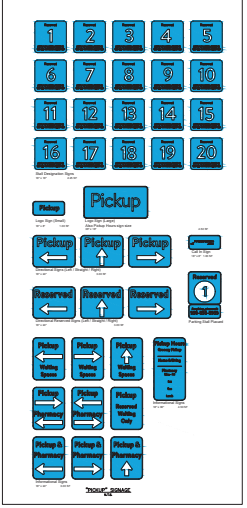
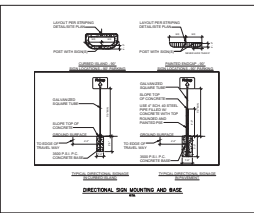
		LICENSED PROFESSIONAL CIVIL ENGINEER LICENSE NUMBER: 54150	
		LICENSED PROFESSIONAL CIVIL ENGINEER LICENSE NUMBER: 54150	
SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC		PROJECT NO. 22-00000000 SHEET NO. 6030	
SWPPP PHASE I SITE MAP		DATE: 08/20/2022 DRAWN BY: JMT CHECKED BY: JMT	
SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC		PROJECT NO. 22-00000000 SHEET NO. 6030	

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PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
PICKUP HOURS	18 X 36	2
VERTICAL PICKUP	18 X 36	47
PARKING STALL PLACARD	18 X 18	47
CALL IN SIGN	8 X 18	47
PICKUP AHEAD	18 X 24	1
PICKUP/PHARMACY LEFT	18 X 24	2
PICKUP/PHARMACY AHEAD	18 X 24	1
PICKUP/PHARMACY RIGHT	18 X 24	3
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	1
TEMPORARY PARKING SIGN WITH FRAMED BASE	24 X 60	X

CALL IN # FOR "PHONE NUMBER" AND "TEMPORARY" SIGNS



NO.	DATE	REVISION

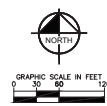
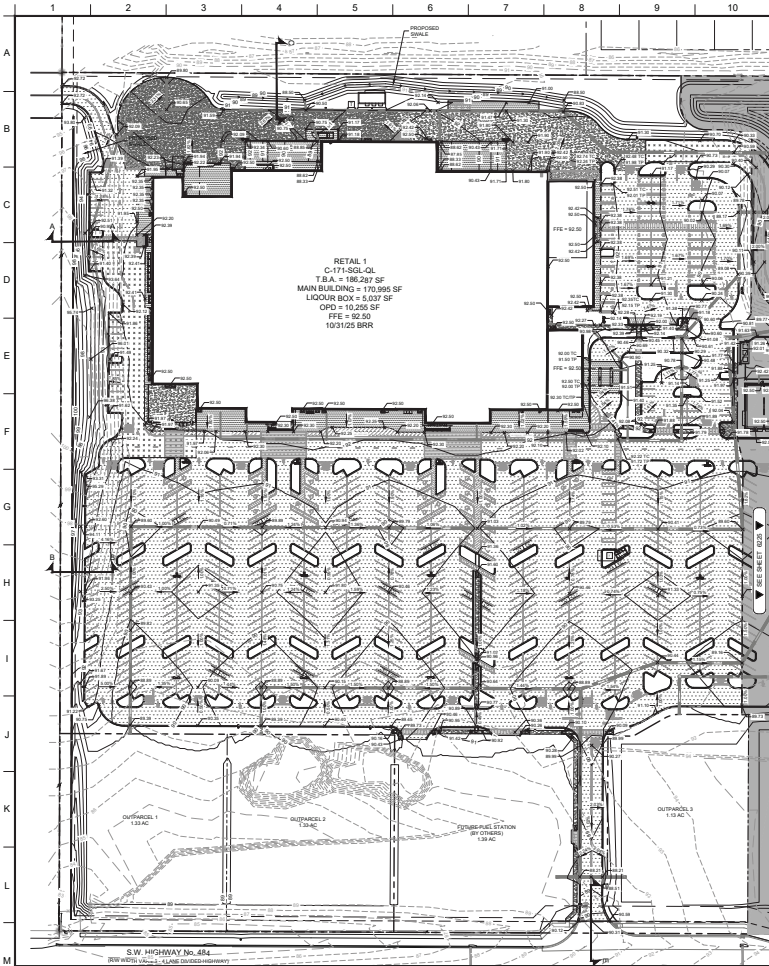
Kimley-Horn
 1000 W. UNIVERSITY BLVD., SUITE 100
 COLUMBIA, SC 29201
 TEL: 803.762.1234 FAX: 803.762.1235
 WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL
 CIVIL ENGINEER
 LICENSE NUMBER: 54180
 EXPIRES: 12/31/2024

WAYFINDING SIGNAGE PLAN

SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC
 MAPLE COUNTY, NC
 SHEET NUMBER: 6270

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LEGEND:

---	PROPERTY LINE
---	RIGHT OF WAY
---	PROPOSED BUILDING
---	ARCHITECTURAL CONCRETE PERIMETER (SEE ARCH. PLANS BY BUILDING CONTRACTOR)
---	STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT (SEE SHEET 640 FOR DETAIL)
---	HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT (SEE SHEET 640 FOR DETAIL)
---	STANDARD DUTY CONCRETE FOR SIDEWALKS (SEE SHEET 640 FOR DETAIL)
---	STANDARD DUTY CONCRETE FOR RETAIL BUILDING (SEE ARCHITECTURAL PLANS FOR DETAIL)
---	HEAVY DUTY CONCRETE PAVEMENT (SEE SHEET 640 FOR DETAIL)
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	PROPOSED STORM STRUCTURES
---	PROPOSED STORM PIPES
---	PROPOSED DRAINAGE LINE

- GRADING & DRAINAGE NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES ACCORDING TO THE INFORMATION PROVIDED TO THE CONTRACTOR AT THE TIME THE CHANGES WERE PREPARED AND SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF ANY UNRECORDED UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 2. IF AS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES NECESSARY TO VERIFY THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 3. ALL CUT OR FILL BEHIND SHALL BE 4" OR FLATTER UNLESS OTHERWISE NOTED.
 4. PROPOSED STRUCTURES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS AND SHALL BE CONSTRUCTED TO MEET THE DESIGN CONDITIONS OF THE AREA.
 5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED OR DESTROYED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING THE SAME TO ORIGINAL CONDITIONS OR BETTER.
 6. ALL EXISTING AND PROPOSED STRUCTURES SHALL BE CONSTRUCTED TO MEET THE DESIGN CONDITIONS OF THE AREA.
 7. ALL EXISTING AND PROPOSED STRUCTURES SHALL BE CONSTRUCTED TO MEET THE DESIGN CONDITIONS OF THE AREA.
 8. THE CONTRACTOR SHALL VERIFY TO ALL TERMS & CONDITIONS AS OUTLINED IN THE BIDDING DOCUMENTS AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 9. THE CONTRACTOR SHALL VERIFY TO ALL TERMS & CONDITIONS AS OUTLINED IN THE BIDDING DOCUMENTS AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 10. THE CONTRACTOR SHALL VERIFY TO ALL TERMS & CONDITIONS AS OUTLINED IN THE BIDDING DOCUMENTS AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 11. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SURVEY, THE CONTRACTOR SHALL CONTACT THE SURVEYOR AT THE ADDRESS LISTED ON THE SURVEY REPORT.
 12. ALL UNRECORDED AREAS DISCOVERED BY GRADING OPERATIONS SHALL BE RECORDED & RECORDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 13. DEVELOPMENT SHALL COMPLY WITH THE MARICOPA COUNTY LAND DEVELOPMENT CODE.
 14. A DEVELOPMENT PLAN IS REQUIRED FOR ALL DEVELOPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 15. THE CONTRACTOR SHALL VERIFY TO ALL TERMS & CONDITIONS AS OUTLINED IN THE BIDDING DOCUMENTS AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.
 16. ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD83).
 17. SIDE DRAIN INTERIOR END SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH FOOT CURE AREA SPECIFICATIONS.
 18. INTERIOR END SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH FOOT CURE AREA SPECIFICATIONS.

NOTE:

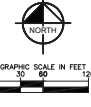
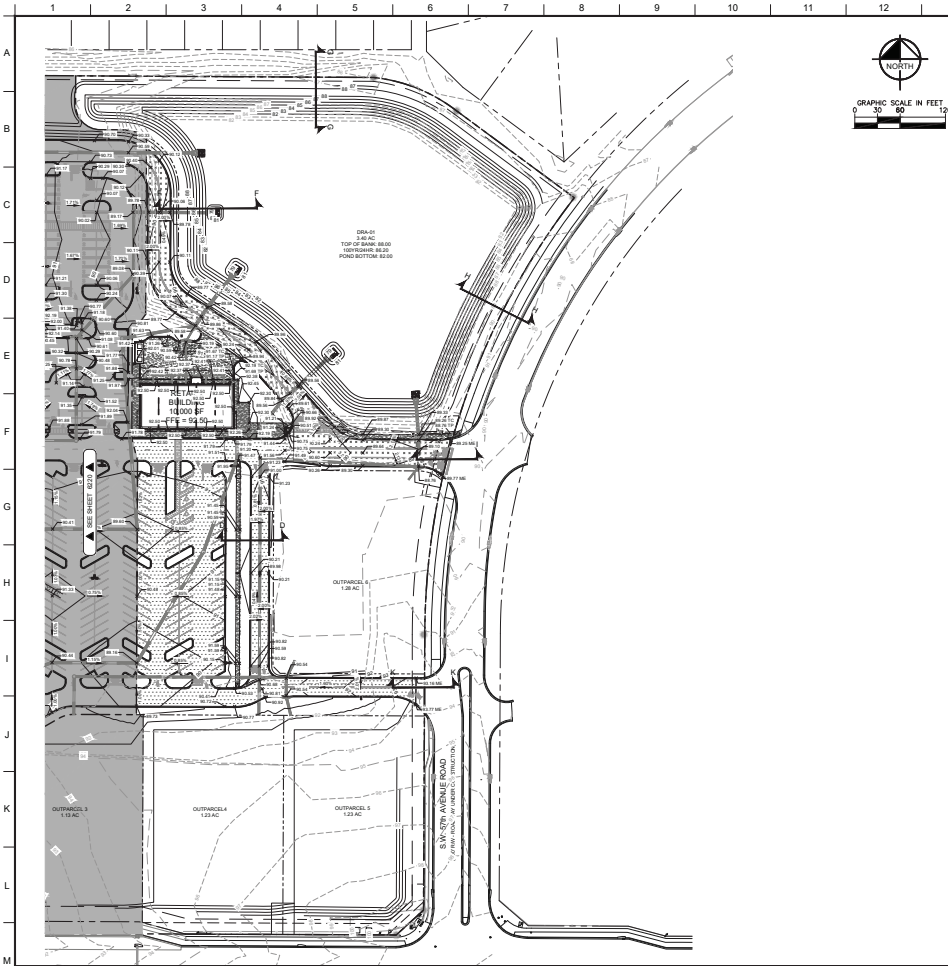
CONTRACTOR TO INSTALL A 4" SAND LAYER IN THE BOTTOM OF THE POWER SWINE SLIP.

ALERT TO CONTRACTOR:

THE PRESENCE OF OBSTRUCTIONS OR UTILITIES NOT ANTICIPATED ON THIS PROJECT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE LOCATION OF UTILITIES.

LICENSED PROFESSIONAL CIVIL ENGINEER LICENSE NUMBER: 15150 EXPIRES: 12/31/25	DATE: _____ REVISION: _____
GRADING PLAN	
SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC MARICOPA COUNTY, AZ	
SHEET NUMBER: 6300	

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LEGEND:

---	PROPERTY LINE
---	RIGHT OF WAY
---	PROPOSED BUILDING
---	ARCHITECTURAL CONCRETE ASPHALT (SEE ARCH. PLANS BY BUILDING CONTRACTOR)
---	STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT (SEE SHEET 640 FOR DETAIL)
---	HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT (SEE SHEET 640 FOR DETAIL)
---	STANDARD DUTY CONCRETE FOR SIDEWALKS (SEE SHEET 640 FOR DETAIL)
---	STANDARD DUTY CONCRETE FOR RETAIL BUILDINGS (SEE ARCHITECTURAL PLANS FOR DETAIL)
---	HEAVY DUTY CONCRETE PAVEMENT (SEE SHEET 640 FOR DETAIL)
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	PROPOSED STORM STRUCTURES
---	PROPOSED STORM PIPE
---	PROPOSED DRAINAGE FLOW LINE

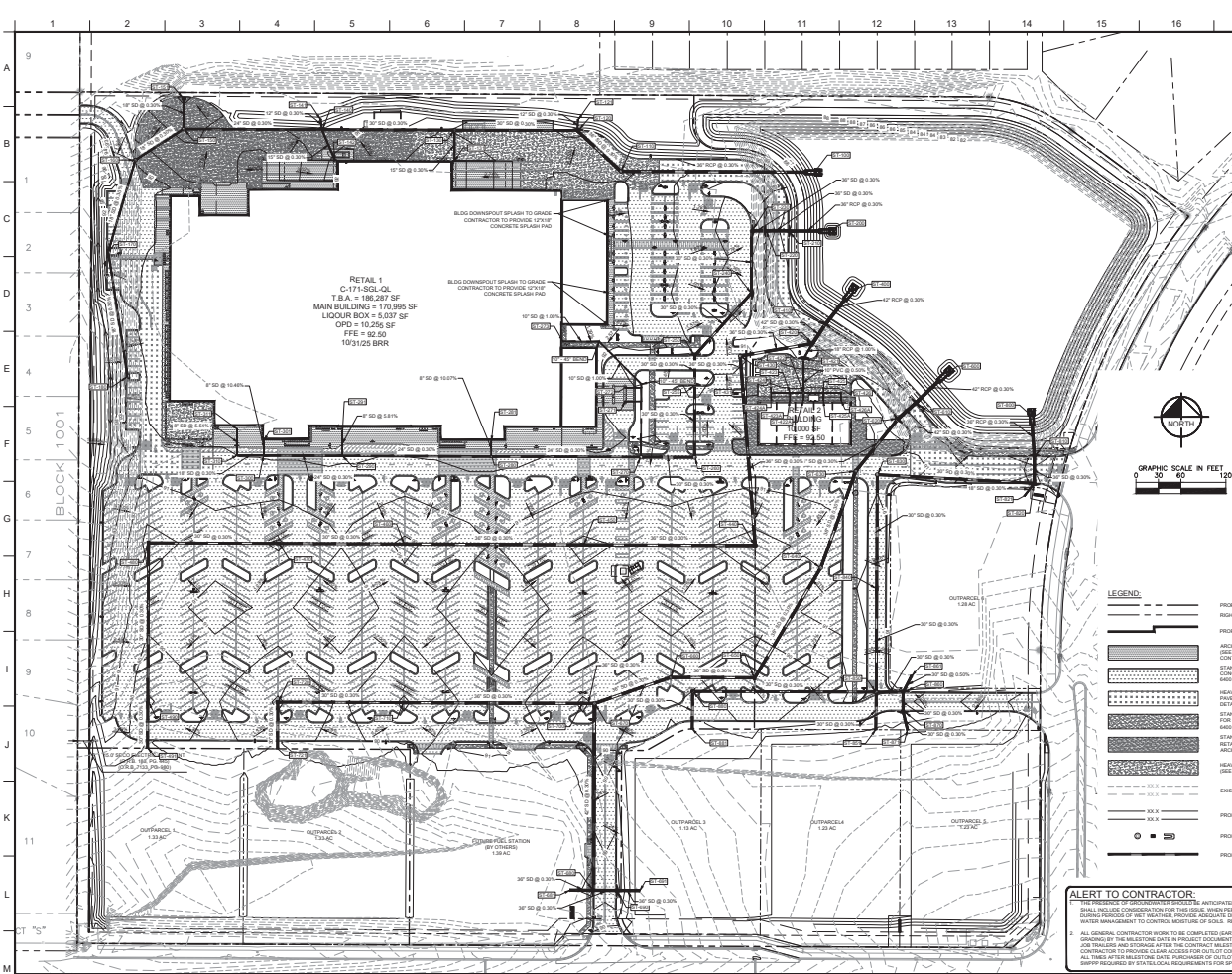
- GRADING & DRAINAGE NOTES:**
1. ALL PROPOSED GRADING SHALL BE ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE GRADING WAS PREPARED AND SHALL BE SUBJECT TO THE REQUIREMENTS OF THE LOCAL AND STATE ENGINEERING REGULATIONS AND ACTUALLY ACCURATE. THE LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED STRUCTURES SHALL BE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES.
 2. IF AT THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL UTILITY COMPANIES, BEFORE ANY CONSTRUCTION SHALL BE COMMENCED TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES.
 3. ALL CUT OR FILL SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
 4. PRECAST STRUCTURES SHALL BE USED AS CONTRACTOR OPTION.
 5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND REPLACE THE EXISTING STRUCTURES AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 6. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AND MAINTAINED IN PLACE TO REMAIN EXISTING UNLESS OTHERWISE NOTED.
 7. ALL EXISTING TREES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE APPROPRIATE REGULATIONS AND ACTUALLY ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES.
 8. THE CONTRACTOR SHALL ADVISE ALL TRADES & CONTRACTORS INVOLVED IN THE GRADE WORK OF ANY EXISTING UTILITIES AND STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES.
 9. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL PERVIOUS AND IMPERVIOUS AREAS.
 10. TOPOGRAPHICAL INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYOR. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE ACCURACY OF THE SURVEY, WITHOUT DELAY, THEY SHALL CONTACT THE SURVEYOR AT THE ADDRESS PROVIDED IN THE SURVEY REPORT OR AT A PHONE NUMBER LISTED THEREON OR TO THE SURVEYOR'S OFFICE.
 11. ALL UNPAVED AREAS DESTROYED BY REMOVAL OF EXISTING STRUCTURES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES.
 12. DEVELOPMENT SHALL COMPLY WITH THE MARICOPA COUNTY LAND DEVELOPMENT CODE.
 13. IF DEVELOPMENT IS TO BE OCCURRING DURING CONSTRUCTION, AS DETERMINED BY THE ENGINEER, CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL PERVIOUS AND IMPERVIOUS AREAS.
 14. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL PERVIOUS AND IMPERVIOUS AREAS.
 15. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL PERVIOUS AND IMPERVIOUS AREAS.
 16. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL PERVIOUS AND IMPERVIOUS AREAS.
 17. ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988.
 18. SLOPE DIMENSIONED END SECTIONS WILL BE DIMENSIONED IN ACCORDANCE WITH FOOT PAIR END SECTIONS.
 19. MITERED END SECTIONS WILL BE DIMENSIONED IN ACCORDANCE WITH FOOT PAIR END SECTIONS.

NOTE:
CONTRACTOR TO MAINTAIN A 1:1 SLOPE IN THE BOTTOM OF THE POWER BRIDGE CANYON AS SHOWN HEREON.

ALERT TO CONTRACTOR:
THE PRESENCE OF UNDERGROUND UTILITIES ANTICIPATED ON THIS PROJECT. CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL PERVIOUS AND IMPERVIOUS AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING STRUCTURES.

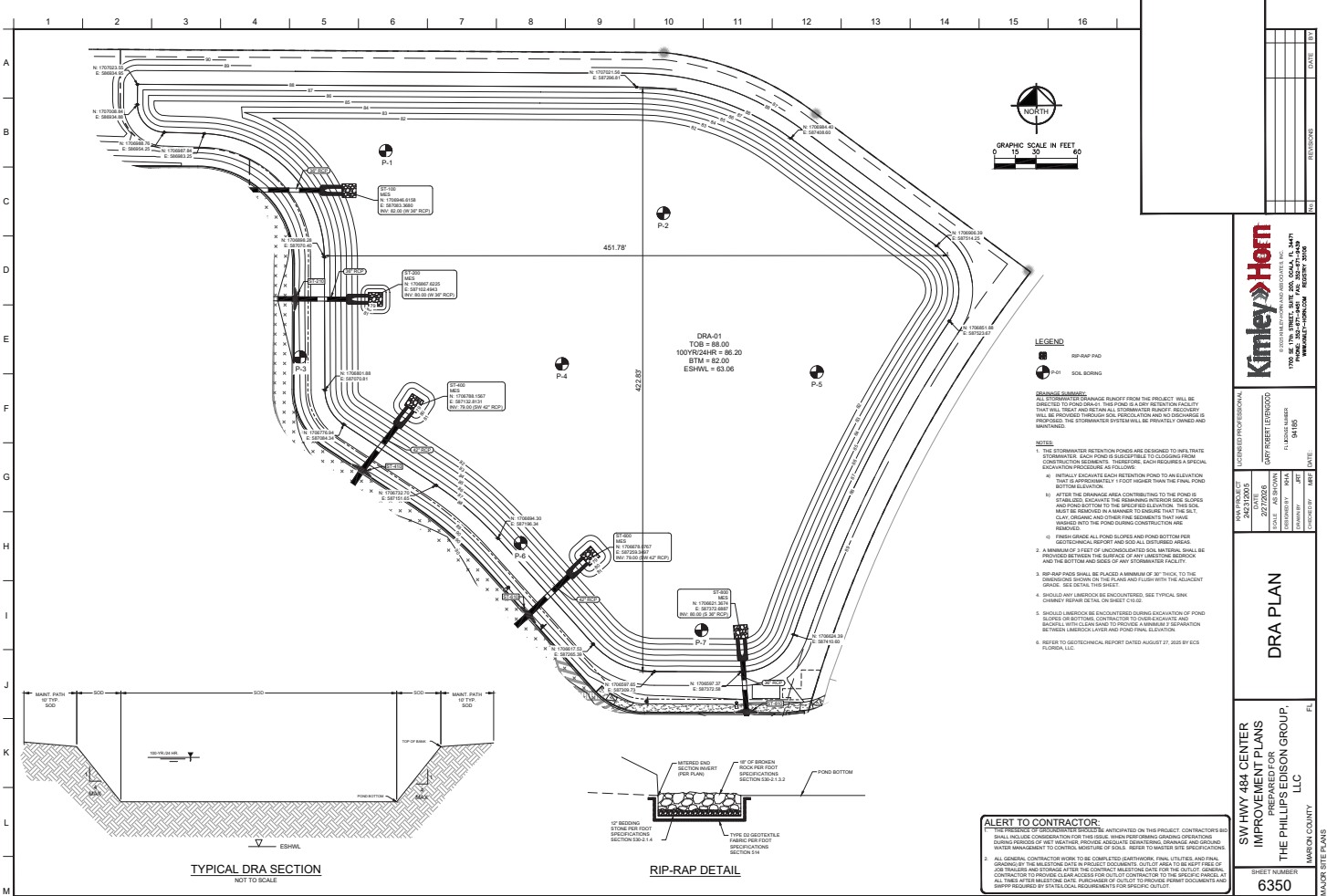
LICENSED PROFESSIONAL CIVIL ENGINEER LICENSE NUMBER: 51850	DATE: 11/15/2023 DRAWN BY: J. HORN CHECKED BY: J. HORN PROJECT NO: 23-001
GRADING PLAN	
SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC	MARICOPA COUNTY SHEET NUMBER 6305

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LICENSED PROFESSIONAL CIVIL ENGINEER LICENSE NUMBER: 54150 EXPIRES: 12/31/2025	DATE: 11/11/25 REVISION: 01
DRAINAGE PLAN	
SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC MISSOURI COUNTY, MO	
SHEET NUMBER 6330	

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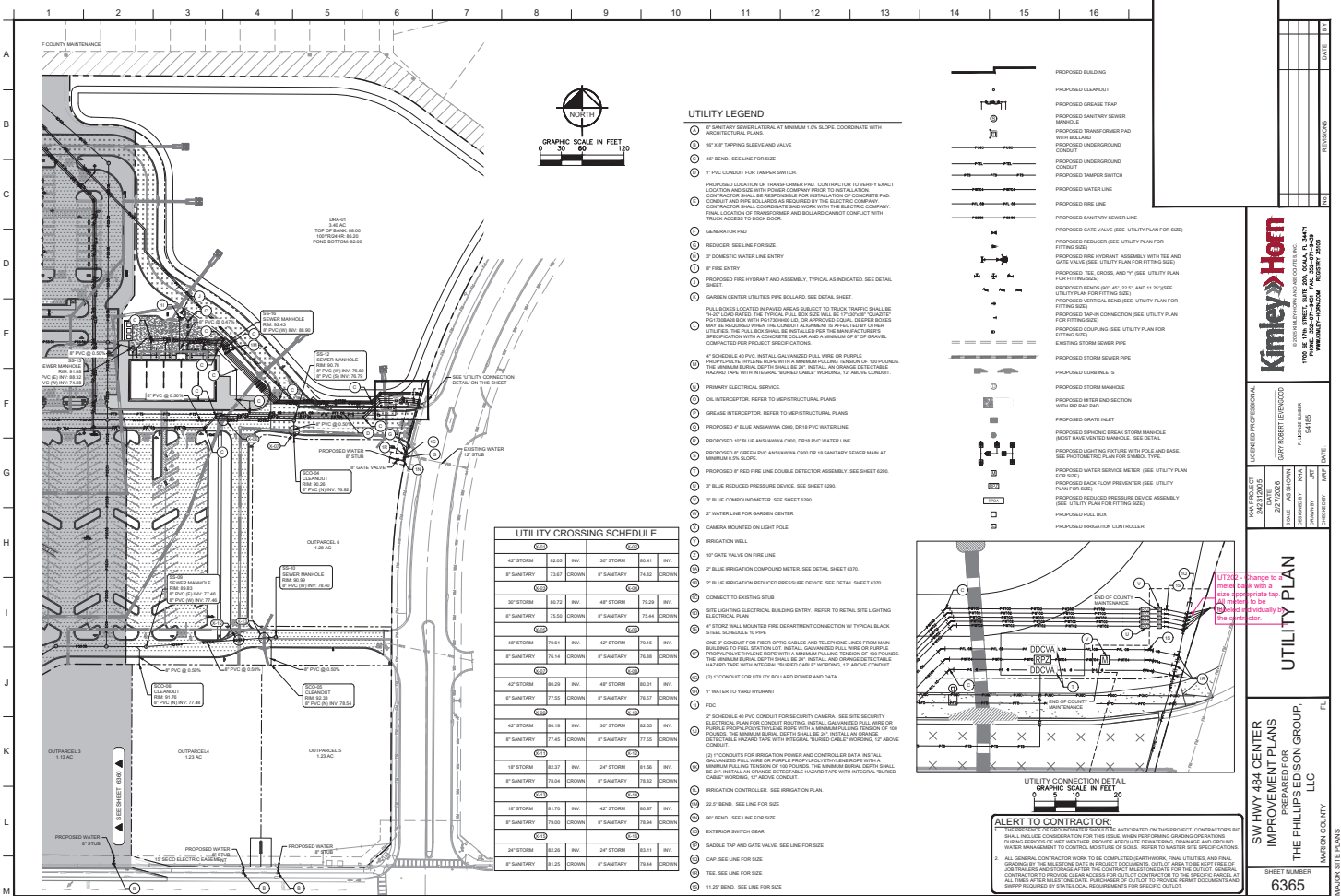


LICENSED PROFESSIONAL
 CIVIL ENGINEER
 LICENSE NUMBER: 54185
 STATE: MISSOURI
 PROJECT NUMBER: 2020-001
 DATE: 11/11/2020

DRA PLAN

SW HWY 484 CENTER
 IMPROVEMENT PLANS
 PREPARED FOR
 THE PHILLIPS EDISON GROUP, LLC
 MISSOURI COUNTY, MO
 SHEET NUMBER: 6350

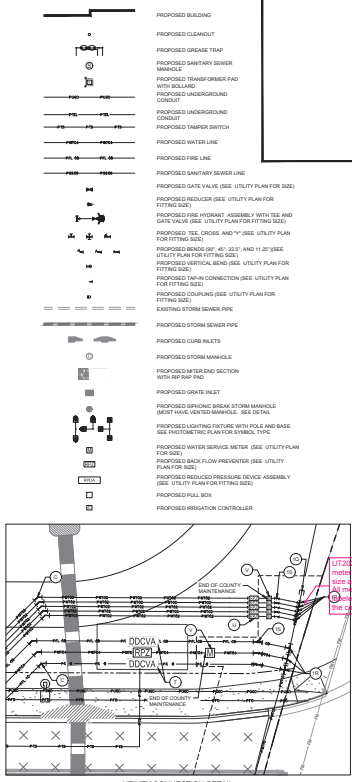
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UTILITY CROSSING SCHEDULE

UTILITY 1	UTILITY 2	UTILITY 1	UTILITY 2
42" STORM	30.05 INV.	32" STORM	30.41 INV.
8" SANITARY	33.07 OD/24	8" SANITARY	34.82 OD/24
36" STORM	30.72 INV.	48" STORM	32.28 INV.
8" SANITARY	35.05 OD/24	8" SANITARY	35.44 OD/24
48" STORM	30.81 INV.	42" STORM	30.15 INV.
8" SANITARY	37.45 OD/24	8" SANITARY	37.55 OD/24
42" STORM	30.29 INV.	48" STORM	30.01 INV.
8" SANITARY	37.55 OD/24	8" SANITARY	37.67 OD/24
42" STORM	30.19 INV.	36" STORM	30.06 INV.
8" SANITARY	37.45 OD/24	8" SANITARY	37.55 OD/24
18" STORM	30.37 INV.	32" STORM	30.16 INV.
8" SANITARY	37.54 OD/24	8" SANITARY	37.62 OD/24
18" STORM	30.70 INV.	42" STORM	30.97 INV.
8" SANITARY	37.60 OD/24	8" SANITARY	37.64 OD/24
34" STORM	31.25 OD/24	8" SANITARY	33.11 INV.
8" SANITARY	31.25 OD/24	8" SANITARY	33.44 OD/24

- UTILITY LEGEND**
- 1 SANITARY RISING LATERAL, AT MINIMUM 1/8" SLOPE, COORDINATE WITH ARCHITECTURAL PLANS
 - 2 1/4" 8" TAPPING SLEEVE AND VALVE
 - 3 4" 8" BEND, SEE LINE FOR SIZE
 - 4 1" PVC CONDUIT FOR TAMPER SWITCH
 - 5 PROPOSED LOCATION OF TRANSFORMER PAD, CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH POWER COMPANY FIRST, IF NOT IN EXISTING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONDUIT AND PIP BOLLARDS AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAME WITH THE ELECTRIC COMPANY. FINAL LOCATION OF TRANSFORMER AND BOLLARD CANNOT CONFLICT WITH TRUCK ACCESS TO DOOR CURB.
 - 6 GENERATOR PAD
 - 7 REDUCER, SEE LINE FOR SIZE
 - 8 2" DOMESTIC WATER LINE ENTRY
 - 9 PROPOSED FIRE HYDRANT AND ASSEMBLY, TYPICAL AS INDICATED, SEE DETAIL SHEET
 - 10 GARDEN CENTER UTILITIES (PVC BOLLARD), SEE DETAIL SHEET
 - 11 FALL BOLDS LOCATED IN PAVED AREAS SHALL BE SUBJECT TO TRUCK TRAFFIC SHALL BE "TOP LOAD" BOLD. THE TYPICAL FALL BOLD SHALL BE "TOP LOAD" QUALITY POLYPROPYLENE TYPING BOLD WITH A MINIMUM FALLING TENSION OF 100 POUNDS. THE MINIMUM BOLD SHALL BE 3/4" METAL AND ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORKING, 1/2" ABOVE CONDUIT.
 - 12 SCHEDULE 40 PVC METAL GARDENERS FALL BOLD OR METAL POLYPROPYLENE TYPING BOLD WITH A MINIMUM FALLING TENSION OF 100 POUNDS. THE MINIMUM BOLD SHALL BE 3/4" METAL AND ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORKING, 1/2" ABOVE CONDUIT.
 - 13 PRIMARY ELECTRICAL SERVICE
 - 14 0/4 INTERCEPTOR REFER TO ARCHITECTURAL PLANS
 - 15 GROUND INTERCEPTOR REFER TO ARCHITECTURAL PLANS
 - 16 PROPOSED 1/2" BLUE ANSIRAWA CDSL DR18 PVC WATER LINE
 - 17 PROPOSED 1/2" BLUE ANSIRAWA CDSL DR18 SANITARY SEWER MAIN AT MINIMUM 1/8" SLOPE
 - 18 PROPOSED 1" RED FIRE LINE DOUBLE DETECTOR ASSEMBLY, SEE SHEET 1006
 - 19 2" BLUE REDUCED PRESSURE DEVICE, SEE SHEET 1006
 - 20 2" WATER COMPACT CENTER, SEE SHEET 1006
 - 21 2" WATER LINE FOR GARDEN CENTER
 - 22 CAMERA MOUNTED ON LIGHT POLE
 - 23 IRRIGATION WELL
 - 24 1/2" GATE VALVE ON FIRE LINE
 - 25 2" BLUE IRRIGATION COMPACT METER, SEE DETAIL SHEET 1007
 - 26 2" BLUE IRRIGATION REDUCED PRESSURE DEVICE, SEE DETAIL SHEET 1007
 - 27 CONNECT TO EXISTING STUB
 - 28 SITE LIGHTING ELECTRICAL DELINEATION REFER TO RETAIL SITE LIGHTING ELECTRICAL PLAN
 - 29 8" STORM WALL MOUNTED FIRE DEPARTMENT CONNECTION W/ TYPICAL BLACK STEEL SCHEDULE 40 PIPE
 - 30 ONE 2" CONDUIT FOR FIBER OPTIC CABLES AND TELEPHONE LINES FROM MAIN BUILDING TO THIS STATION. METAL GARDENERS FALL BOLD OR METAL POLYPROPYLENE TYPING BOLD WITH A MINIMUM FALLING TENSION OF 100 POUNDS. THE MINIMUM BOLD SHALL BE 3/4" METAL AND ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORKING, 1/2" ABOVE CONDUIT.
 - 31 1" CONDUIT FOR UTILITY BOLLARD POWER AND DATA
 - 32 1" WATER TO YARD HYDRANT
 - 33 FDC
 - 34 SCHEDULE 40 PVC CONDUIT FOR SECURITY CAMERA, SEE SITE SECURITY ELECTRICAL PLAN FOR CONDUIT ROUTING. METAL GARDENERS FALL BOLD OR METAL POLYPROPYLENE TYPING BOLD WITH A MINIMUM FALLING TENSION OF 100 POUNDS. THE MINIMUM BOLD SHALL BE 3/4" METAL AND ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORKING, 1/2" ABOVE CONDUIT.
 - 35 1" CONDUIT FOR IRRIGATION FLOWMETER AND CONTROLLER DATA, METAL GARDENERS FALL BOLD OR METAL POLYPROPYLENE TYPING BOLD WITH A MINIMUM FALLING TENSION OF 100 POUNDS. THE MINIMUM BOLD SHALL BE 3/4" METAL AND ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORKING, 1/2" ABOVE CONDUIT.
 - 36 IRRIGATION CONTROLLER, SEE IRRIGATION PLAN
 - 37 22 1/2" BEND, SEE LINE FOR SIZE
 - 38 90° BEND, SEE LINE FOR SIZE
 - 39 EXTERIOR SWITCH GEAR
 - 40 SADDLE TAP AND GATE VALVE, SEE LINE FOR SIZE
 - 41 CMF SEE LINE FOR SIZE
 - 42 1/2" SEE LINE FOR SIZE
 - 43 1/2" BEND, SEE LINE FOR SIZE



ALERT TO CONTRACTOR:
 THE PRESENCE OF UNIDENTIFIED UTILITIES, UNANTICIPATED IN THIS PROJECT, CONTRACTORS SHOULD CONDUCT A PRELIMINARY INVESTIGATION FOR THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND WATER MANAGEMENT TO CONTROL, MAPPING OF SOILS. REFER TO MASTER SITE SPECIFICATIONS FOR FURTHER INFORMATION.
 ALL ORIGINAL CONTRACTOR SHALL BE TO BE COMPLETED, FINAL, UTILITIES AND FINAL, GRADING BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLET AREA TO BE REPLY FREE OF ALL TRASH AND DEBRIS AFTER THE CONTRACTOR HAS COMPLETED THE OUTLET. ORIGINAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLET CONTRACTOR TO THE SPECIFIC PANELS AT ALL TIMES AT THE REQUESTED DATE. RESPONSIBILITY OF OUTLET TO PROVIDE PERMIT DOCUMENTS AND ALL NECESSARY PERMITS, REQUIREMENTS FOR SPECIFIC OUTLET.

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UTILITY PLAN

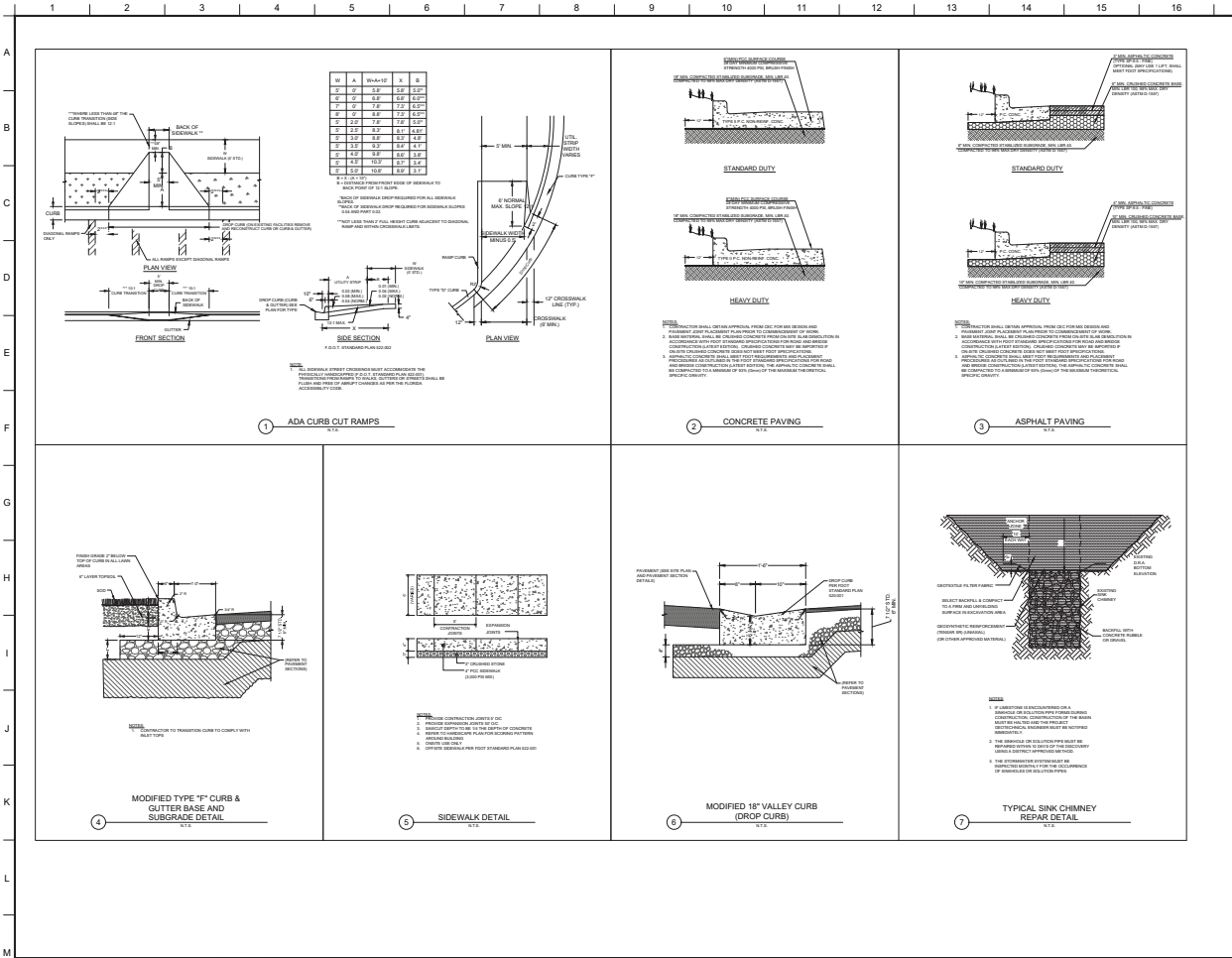
SW HWY 484 CENTER
 IMPROVEMENT PLANS
 PREPARED FOR
 THE PHILLIPS EDISON GROUP, LLC
 MAPER COUNTY, MO

SHEET NUMBER
6365

DATE: 11/15/2011

REVISION:

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W	A	WALK-12	X	B
12	0	1.0	0.0	1.0
12	0	1.0	0.2	0.8
12	0	1.0	0.4	0.6
12	0	1.0	0.6	0.4
12	0	1.0	0.8	0.2
12	0	1.0	1.0	0.0
12	1	0.8	0.0	1.2
12	1	0.8	0.2	1.0
12	1	0.8	0.4	0.8
12	1	0.8	0.6	0.6
12	1	0.8	0.8	0.4
12	1	0.8	1.0	0.2
12	2	0.6	0.0	1.4
12	2	0.6	0.2	1.2
12	2	0.6	0.4	1.0
12	2	0.6	0.6	0.8
12	2	0.6	0.8	0.6
12	2	0.6	1.0	0.4

NO.	DATE	REVISION

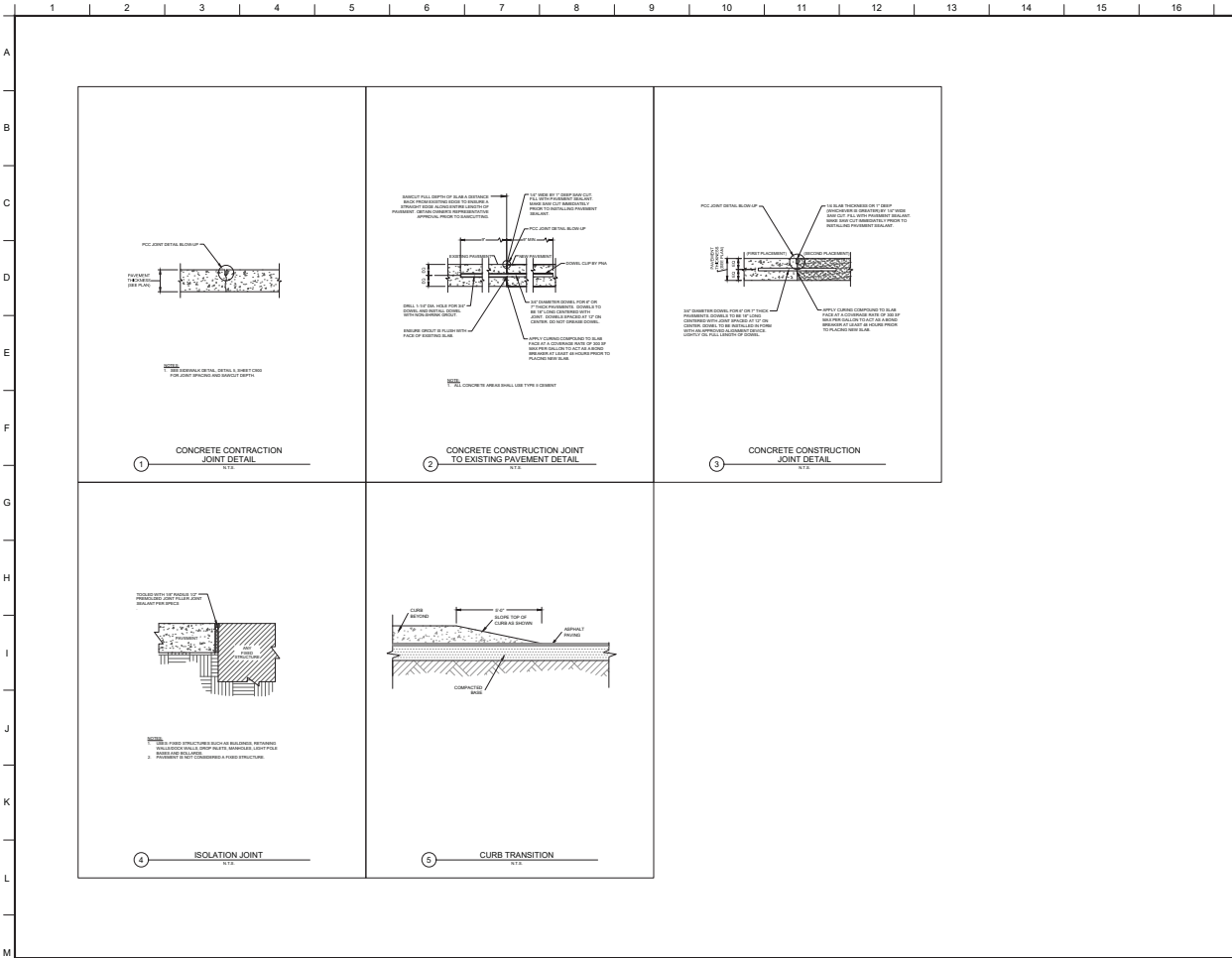
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LICENSED PROFESSIONAL
 CIVIL ENGINEER
 LICENSE NO. 54185
 STATE OF FLORIDA

MISCELLANEOUS
 DETAILS

SW HWY 484 CENTER
 IMPROVEMENT PLANS
 PREPARED FOR
 THE PHILLIPS EDISON GROUP, LLC
 MADISON COUNTY, FL
 SHEET NUMBER
6400

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NO.	REVISION	DATE	BY



LICENSED PROFESSIONAL
 CIVIL ENGINEER
 LICENSE NUMBER 54185
 STATE OF FLORIDA
 EXPIRES 12/31/2024

MISCELLANEOUS DETAILS

SW HWY 484 CENTER
 IMPROVEMENT PLANS
 PREPARED FOR
 THE PHILLIPS EDISON GROUP, LLC
 MADISON COUNTY, FL
 SHEET NUMBER
6401

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	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	
A	<p>DELIVERY TRAFFIC ONLY R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
B	<p>STOP FOR PEDESTRIANS R3-2 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
C	<p>NO TRUCKS R3-2 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
D	<p>NO PARKING FIRE LANE R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
E	<p>TRUCK ENTRANCE/EXIT R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
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I	<p>TYPICAL ACCESSIBLE STALL STRIPING R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
J	<p>ACCESSIBLE PARKING SYMBOL R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
K	<p>PAINT STRIPING LEGEND R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
L	<p>CROSSWALK MARKING w/ LONGITUDINAL STRIPES R3-1 THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																
M	<p>"RIGHT TURN ONLY" SIGN R3-5R THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p> <p>NOTES: 1. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 2. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP. 3. THIS SIGN SHALL BE USED TO RESTRICT TRAFFIC TO DELIVERY TRUCKS ONLY AT BUS STOP, TRUCK STOP, AND TRUCK RAMP.</p>																

LICENSED PROFESSIONAL ENGINEER

DARYL ROBERT LEONARDSON

ILLINOIS LICENSE NUMBER: 041850

EXPIRES: 12/31/2024

SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC

MADISON COUNTY

DATE: 04/27/2023

REVISION:

PAVEMENT MARKING AND SIGNAGE DETAILS

SHEET NUMBER

6402

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