

November 14, 2024

PROJECT NAME: FAMILY LIFE ASSEMBLY OF GOD SANCTUARY ADDITION

PROJECT NUMBER: 2024060054

APPLICATION: MAJOR SITE PLAN #31699

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)
STATUS OF REVIEW: INFO
REMARKS: Please provide data block on the cover sheet detailing the existing impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This item will be reviewed upon resubmittal
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 9/10/24-add waivers if requested in future
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate
STATUS OF REVIEW: INFO
REMARKS: Capital charges for domestic water & sewer will be calculated for the new building at the time of permitting. Fees will be due to MCU before the permit will be cleared to be issued.
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)
STATUS OF REVIEW: INFO
REMARKS:
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: service connections shall be required to be conveyed to MCU through Bill of Sale prior to meter installation and final permit release.
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR - will be served by MCU's public water
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: \$225 - to pay by phone, call 352-671-8686 & refer to Utility Review fee for AR 31699. Fee will not change regardless of number of reviews/resubmittals.
- 13 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Septic abandonment permit needed for removal of septic system. Please apply for permit through the Department of Health in Marion County
- 14 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)
STATUS OF REVIEW: INFO
REMARKS: Make sure you contact the FWC to address the listed species on site. Relocation is preferred.
- 15 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are

hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.8.B(7) - Minimum Pipe Size"

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.8.B(7) - Minimum Pipe Size"

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size

STATUS OF REVIEW: NO

REMARKS: Minimum pipe size is 18" diameter. Staff would support a waiver provided supporting calculations. This is in reference to the pipe connected to structure S-2

- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas
STATUS OF REVIEW: NO
REMARKS: Please provide a karst analysis for the site
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 7.1.3 - Drainage Construction Specifications
STATUS OF REVIEW: NO
REMARKS: LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback. This is in reference to the pipe connected to structure S-2
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.12 - Operation and Maintenance
STATUS OF REVIEW: NO
REMARKS: An operation and maintenance manual is required for all projects. This is a standalone document from the plans and calculations. If you need an example of O&M documents that have been approved in the past, contact the stormwater department. The O&M manual will need to have the following certification on the cover: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management system and associated elements in accordance with the specifications shown herein and on the approved plans." This certification must be signed by the current property owner or their authorized representative. We used the State of Florida Sunbiz website to verify agents/member/officers of business entities. If the owner is an out of state organization we will need to see articles of incorporation/organization to verify the authority of the individual signing the certifications. For property ownership, we use the Marion County Property Appraiser's website. If you need an example contact the stormwater department.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.
- 23 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.3 - Traffic Impact Analysis
STATUS OF REVIEW: NO
REMARKS: 9/12/24 - Clarify whether new classrooms being developed are exclusively used on Sunday or may be utilized for formerly approved Special Use Permit daycare activities during the week. Update traffic impact analysis to include reasonably anticipated expanded enrollment as appropriate.
- 24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: NO
REMARKS: 9/12/24 - Use existing driveway until a new driveway could be added to roadway planned for development along eastern property line joining the intersection of SW 95th St and SW 42nd Ave. The new driveway would need to be positioned with a minimum spacing of 245' north of SW 95th St.

- 25 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage)
STATUS OF REVIEW: NO
REMARKS: 9/10/24-fee due with resubmittal
- 26 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale
STATUS OF REVIEW: NO
REMARKS: 9/10/24-missing graphic drawing and written scale
- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system
STATUS OF REVIEW: NO
REMARKS: Sheet C006 - install 316SS plug valve at property line (line of demarcation/end of county maintenance)
- 28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version
STATUS OF REVIEW: NO
REMARKS: Sheet C007 - missing water main installation details
- 29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts
STATUS OF REVIEW: NO
REMARKS: Sheet C007 - as-builts for water & sanitary sewer connections shall be supplied to Marion County Utilities & shall include all items referenced under this section of Code for CAD & .pdf versions. Allow 5 working day review time
- 30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.5 - Water Service and Connection
STATUS OF REVIEW: NO
REMARKS: Sheet C006 - install 2" manual blow off out of 12" cap
- 31 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention
STATUS OF REVIEW: NO
REMARKS: Sheet C006 need easement over DDC for meter maintenance
- 32 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: NO
REMARKS: For Adobe plans, turn off Layer info and turn off Save Text as Comments.
- 33 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: NO
REMARKS: Cloud all revisions
- 34 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: NO
REMARKS: Sheet C006 - SS Note #8 - lining is not necessary; note can be removed

- 35 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.12.28 - Correct road names supplied
STATUS OF REVIEW: NO
REMARKS: Sheets C004, C005, and C006 have duplicate labels on SW 42nd Ave. Please remove one of the labels so the road name is legible.
- 36 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 2.12.11 - Provide an aerial map of the site with a layout of the development
STATUS OF REVIEW: NO
REMARKS: Please overlay sheet C004 onto an aerial.
- 37 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.4 - Shade tree requirements
STATUS OF REVIEW: NO
REMARKS: Is 40 a final number? Need final number of existing trees for calculation
- 38 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)
STATUS OF REVIEW: NO
REMARKS: Landscape plans to be signed and sealed by design professional (6.2.1)
- 39 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Please label existing shrubs to remain 2. Hamelia patens may be susceptible to cold, suggest more cold tolerant plant to avoid replacement 2. Some buffer trees along SW 95th are missing labels 3. Staff discussion regarding adjacent uses and buffers 4.
- 40 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: NO
REMARKS: 1. A minimum five-foot wide landscape area consisting of shrubs and groundcovers, excluding turfgrass, shall be provided around the perimeter of parking areas to form a landscape screen with a minimum height of three feet achieved within one year of planting. 2. A landscaped parking lot island shall be located every ten parking spaces and shall be a minimum of 200 square feet in size with properly drained soils
- 41 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.9 - Service and equipment areas
STATUS OF REVIEW: NO
REMARKS: Will there be a dumpster? Please show screening
- 42 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: Irrigation plan to be signed and sealed by the design professional
- 43 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: Will there be outdoor lighting? If so, please submit a photometric plan



**Marion County
Board of County Commissioners**

AR #31699

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 11-13-2024 Parcel Number(s): 35699-008-01 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

AR#31699

Project Name: FAMILY LIFE ASSEMBLY OF GOD SANCTUARY ADDITION Commercial Residential

Subdivision Name (if applicable): _____

Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): David Hill

Signature: David Hill

Mailing Address: 3535 S.E. 19TH AVE City: Ocala

State: Florida Zip Code: 34471 Phone # 352-299-5235

Email address: DAVID@OCALAFLC.COM

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): ROGERS ENGINEERING, LLC Contact Name: RODNEY ROGERS

Mailing Address: 1105 S.E. 3RD AVENUE City: Ocala

State: Florida Zip Code: 34471 Phone # 352-622-9214

Email address: MCLEMONS@ROGERSENG.COM

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.13.8.B(7) - Minimum Pipe Size

Reason/Justification for Request (be specific): Request to allow 15" pipe pursuant to hydraulic calculations provided.

DEVELOPMENT REVIEW USE:

Received By: Email 11/13/24 Date Processed: 11/14/24 CF Project # 2024060054 AR # 31699

ZONING USE: Parcel of record: Yes No

Eligible to apply for Family Division: Yes No

Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No

Date Reviewed: _____ Verified by (print & initial): _____



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.8.7 - Parking areas and vehicular use areas

Reason/Justification for Request (be specific): Request from interior island landscape and perimeter parking lot buffer due to grass parking lot is only used for one hour on Sundays.

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

A MAJOR SITE PLAN FOR FAMILY ASSEMBLY OF GOD - NEW SANCTUARY S.W. 95th STREET MARION COUNTY, FL

TRAFFIC STATEMENT:

PROPOSED USE - CHURCH
LUC-560 ITE TRIP GENERATION MANUAL 11th EDITION

FLOOR AREA = 10,400 S.F.

WEEKDAY PEAK HOUR
RATE- 0.49 x (10,400/1000) = 5.1 TRIPS
44% ENTER/56% EXIT = 2.2/2.9

SUNDAY PEAK HOUR
10.36 VPH x (10,400/1000) = 107.7 VPH
48% ENTER/52% EXIT = 51.7/56.0

NOTE: SUNDAY PEAK HOUR IS THE LOWEST TRAFFIC VOLUME OF THE ADJOINING ROADWAY

PARKING CALCULATIONS

REQUIRED:
1 SPACE/3 SEATS IN SANCTUARY
368 SEATS= 123 SPACES

PROVIDED= 128 SPACES

H/C PARKING REQUIRED:
101-150 SPACES= 5 SPACES

H/C SPACES PROVIDED= 6 SPACES

PAVED SURFACE SPACES REQUIRED:
ALL H/C SPACES + DAILY ADMIN. PERSONNEL
6 H/C + 3 DAILY ADMIN= 9 SPACES

PAVED SURFACE SPACES PROVIDED= 9 SPACES

OPEN SPACE CALCULATIONS:

PARCEL AREA: 413,238 S.F. (9.48 Ac) AFTER R.O.W. DEDICATION

IMPERVIOUS AREA 25,518 S.F.
DRA 15,339 S.F.
TOTAL NON-OPEN SPACE AREAS = 40,857 S.F. (9.89%)

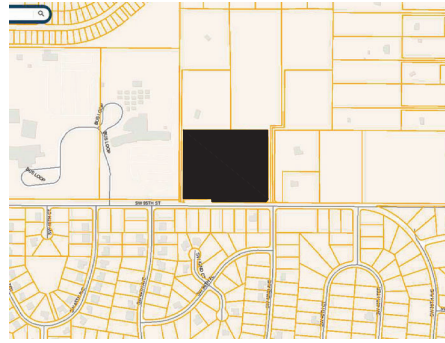
OPEN SPACE AREA = 372,381 S.F. (90.11%)

INTERIOR OPEN SPACE CALCULATIONS:

VEHICLE USE AREA (VUA)= DRIVEWAY, DRIVE AISLES & PARKING SPACES

VUA = 53,584 S.F.

INTERIOR OPEN SPACE = 6,795 S.F. (12.7%)



SECTION 22, TOWNSHIP 16 S., RANGE 21 E.
LOCATION MAP

SHEET INDEX

SHEET NO.	CONTENTS
CO01	TITLE SHEET
CO02	S.W.P.F.P.
CO03	TREE REMOVAL PLAN
CO04	SITE PLAN
CO05	GRADING & DRAINAGE PLAN
CO06	UTILITY PLAN
CO07	UTILITY DETAILS
CO08	LIFT STATION DETAIL
LO01	LANDSCAPE PLAN
LO02	IRRIGATION PLAN
LO03	LANDSCAPE & IRRIGATION DETAILS
SO01	BOUNDARY SURVEY
SO02	TOPOGRAPHIC SURVEY

CONCURRENCY NOTE:

THIS PROPOSED PLAN HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND A FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO BUILDING PERMIT REVIEW.

GENERAL NOTES:

1. ALL AREAS WITHIN THE COUNTY ROAD RIGHT-OF-WAY THAT WERE DISTURBED BY CONSTRUCTION SHALL BE SODEDDED WITH ARGENTINA BAHIA.
2. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
3. THE STOP SIGNS MUST BE INSTALLED ON 2'x2" SQUARE POSTS, 14 FT. IN LENGTH, 1 1/4 GAUGE, 4lbs/FT. ALL SIGNS MUST MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS.
4. THE STOP BARS SHALL BE WHITE 24" WIDE LEAD FREE THERMOPLASTIC.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ANY UNDERGROUND UTILITIES WITHIN THE WORK AREA PRIOR TO CONSTRUCTION.
6. LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
7. SITE LIGHTING SHALL BE SECURITY LIGHTS MOUNTED TO THE BUILDINGS AND SHALL BE DIRECTED TO PREVENT GLARE ON TO THE ADJOINING PROPERTIES AND ROADWAY.
8. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
9. THE PAVEMENT, DRA AND DRAINAGE FACILITIES ARE PRIVATELY OWNED AND MAINTAINED BY THE DEVELOPER.

SITE DATA:

PROJECT NAME: FAMILY LIFE ASSEMBLY OF GOD - NEW SANCTUARY
OWNER: FAMILY LIFE ASSEMBLY OF GOD, INC.
3535 SE 19th AVE.
OCALA, FL 34471

CONTACT: DAVID HILL, EXECUTIVE PASTOR

PHONE: (352) 299-5235

PARCEL NO.: 35699-008-01

PARCEL AREA
EXISTING= 9.75 ACRES
AFTER PROPOSED R.O.W. DEDICATION= 9.48 ACRES

LAND USE/ZONING: LR/RE

PROPOSED USE: NEW SANCTUARY FOR CHURCH SERVICES

BUILDING SIZES: EXISTING BUILDING= 6,000 S.F.
PROPOSED SANCTUARY= 10,400 S.F.
TOTAL= 16,400 S.F.

FLOOR AREA RATIO: 0.039

PROPERTY LIES TOTALLY WITHIN FLOOD ZONE X AND IS NOT WITHIN A PRIMARY SPRINGS PROTECTION ZONE

MARION COUNTY OWNER'S CERTIFICATE:

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY ADD THE IMPROVEMENTS SHOWN ON THIS PLAN, OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS, IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

DAVID HILL DATE
EXECUTIVE PASTOR

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.



Infinite Engineering

480 SW 8th Street, Suite A
OCALA, FLORIDA 34701
(352) 247-1898
WWW.INFINITEENGR.COM
LDC# 06-00000-0000

BARRY E. GINN DATE
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595

LEGEND & ABBREVIATIONS

- R/W RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- C/L CENTERLINE
- R' RADIUS
- CONC. CONCRETE
- SEC. SECTION
- TWP. TOWNSHIP
- ROE. RANGE
- T.B.M. TEMPORARY BENCHMARK
- F.F. FINISH FLOOR
- ELEV. ELEVATION
- INV. INVERT
- S-1 STORM STRUCTURE
- CMP CORRUGATED METAL PIPE
- RCR REINFORCED CONCRETE PIPE
- C.O. CLEAN-OUT
- PVC POLYVINYL CHLORIDE
- EXISTING DRAINAGE FLOW DIRECTION
- DESIGN DRAINAGE FLOW DIRECTION
- UTILITY POLE AND GUY ANCHOR
- OVERHEAD WIRES
- FEN. FENCE
- TREE (SEE TREE SCHEDULE)
- GROUND CONTOUR

75

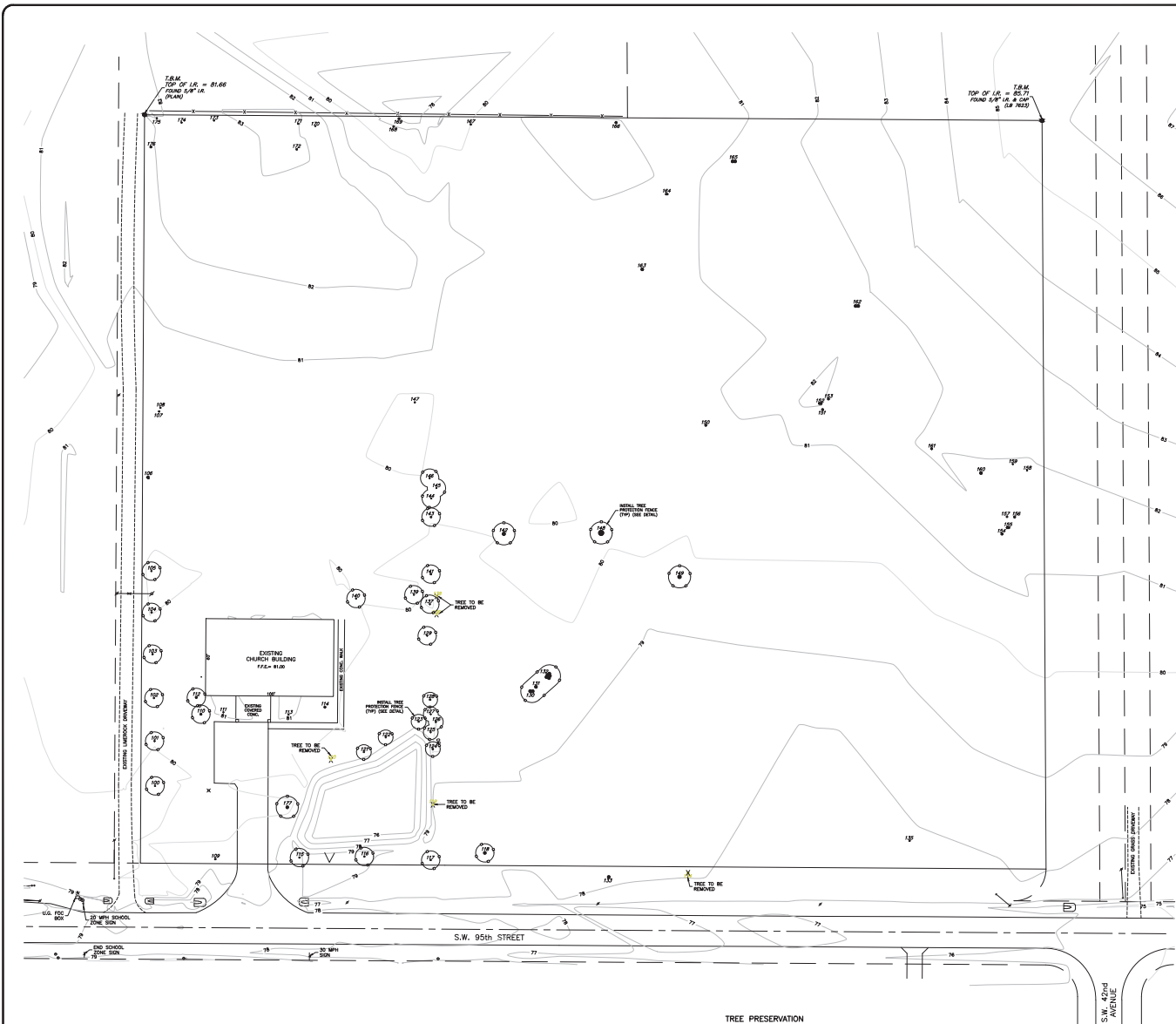
REVISION	DATE

Robert L. O'Quinn, P.E.
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kboyer@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bui. #4074

A MARION COUNTY MAJOR SITE PLAN
FOR
FAMILY ASSEMBLY OF GOD
NEW SANCTUARY
The Street

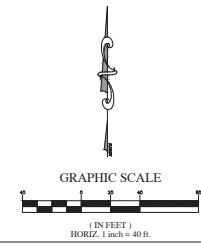
JOB No. 35699-008-01
DATE 8-08-2024
SCALE N.T.S.
SHEET 0001



TREE PRESERVATION
 REQUIRED: 100 INCHES PER ACRE
 9.48 ACRES = 948 INCHES

PROVIDED = 1096 INCHES (NOT INCLUDING PALMS)

NOTE: THE TWO TREES AND THE ACREAGE THAT WILL BE WITHIN THE S.W. 95th STREET RIGHT-OF-WAY AFTER THE RIGHT-OF-WAY DEDICATION WERE NOT CONSIDERED



THE PROTECTION DETAIL

NOTES:

1. TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES.
2. THE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES.
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8. THE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES.

DATE	7.3.4
REVISION	03/09

TREE SCHEDULE

TREE NO	SIZE	TYPE	TREE NO	SIZE	TYPE
100	8"	OAK	139	8"	MAGNOLIA
101	8"	OAK	140	8"	MAGNOLIA
102	8"	OAK	141	12"	OAK
103	10"	OAK	142	28"	OAK
104	10"	OAK	143	12"	OAK
105	6"	OAK	144	6"	PINE
106	(3)12"	OAKS	145	6"	PINE
107	10"	OAK	146	6"	PINE
108	8"	OAK	147	8"	OAK
109	12"	OAK	148	48"	OAK
110	15"	PALM	149	32"	OAK
111	6"	MAPLE	150	15"	OAK
112	15"	PALM	151	15"	OAK
113	6"	MAPLE	152	(2)18"	OAKS
114	15"	PALM	153	15"	OAK
115	8"	OAK	154	18"	OAK
116	8"	OAK	155	(2)18"	OAKS
117	8"	OAK	156	15"	OAK
118	28"	OAK	157	12"	OAK
119	48"	OAK	158	6"	PINE
120	6"	SWEETGUM	159	8"	PINE
121	8"	SWEETGUM	160	28"	OAK
122	8"	SWEETGUM	161	18"	OAK
123	6"	MAGNOLIA	162	(2)22"	OAKS
124	10"	OAK	163	24"	OAK
125	6"	PINE	164	(2)12"	OAKS
126	8"	PINE	165	(2)22"	OAKS
127	6"	PINE	166	18"	PINE
128	12"	OAK	167	10"	OAK
129	6"	OAK	168	8"	OAK
130	(2)22"	OAKS	169	14"	PINE
131	24"	OAK	170	6"	OAK
132	(5)22"	OAKS	171	10"	OAK
133	24"	OAK	172	10"	OAK
134	48"	OAK	173	10"	OAK
135	10"	PINE	174	8"	OAK
136	6"	PINE	175	10"	OAK
137	6"	PINE	176	15"	OAK
138	6"	PINE	177	28"	OAK

INDICATES TREE TO BE REMOVED

N.O.P. = NOT ON PROPERTY AFTER RIGHT-OF-WAY DEDICATION

DATE	
REVISION	

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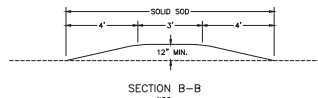
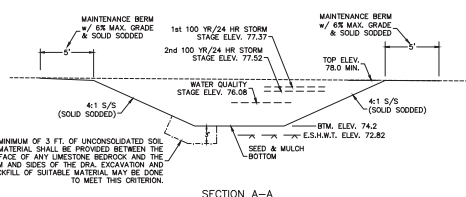
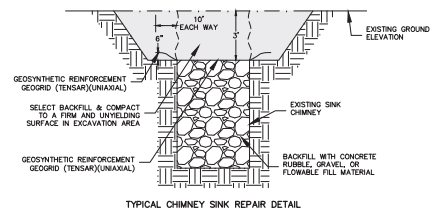
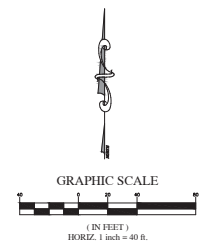
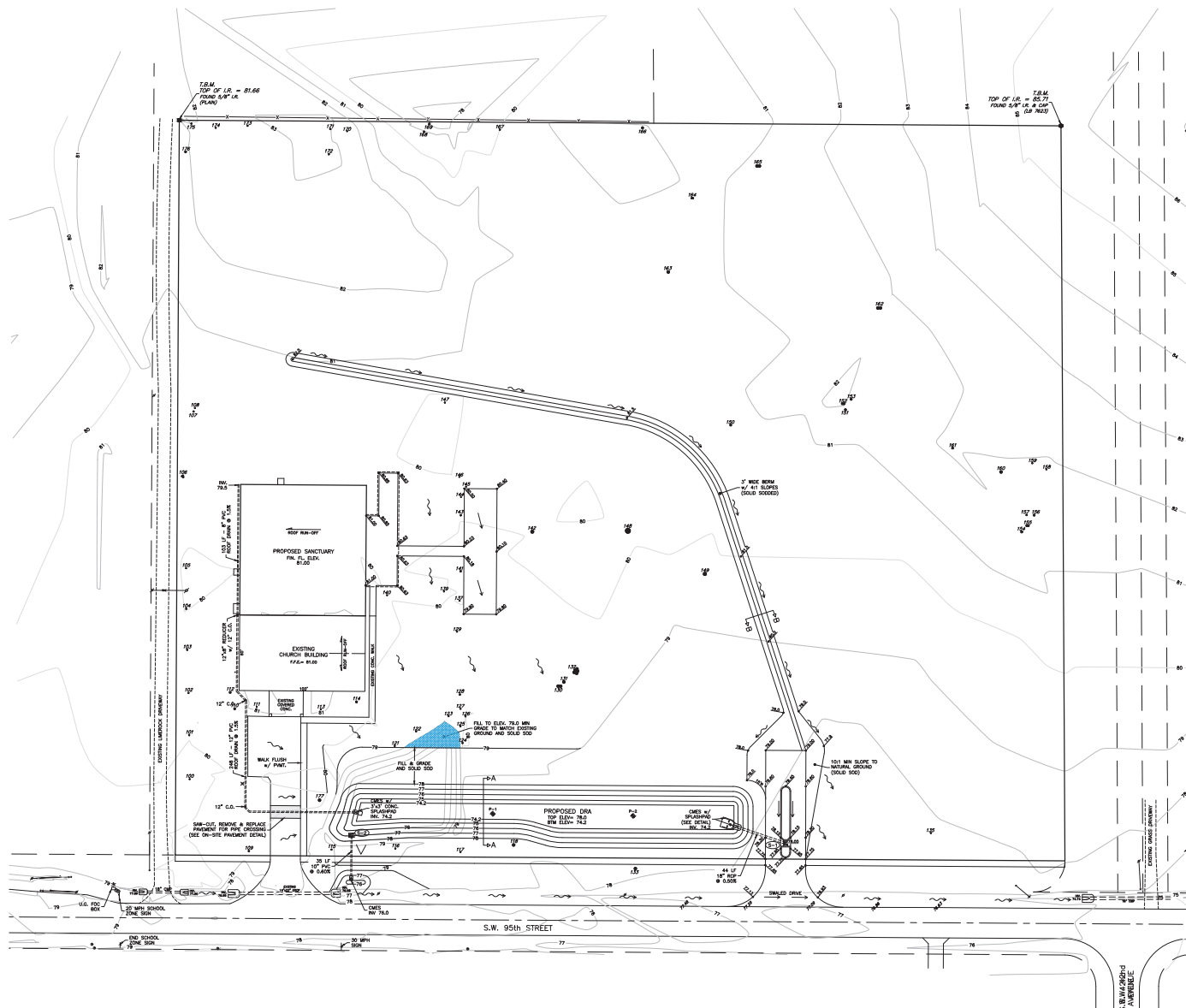
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 Civil Engineering & Land Surveying
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A MARION COUNTY MAJOR SITE PLAN
 FOR
 FAMILY LIFE ASSEMBLY OF GOD
 NEW SANCTUARY
 Tree Removal Plan

JOB No.	35699-058-01
DATE	8-18-2024
SCALE	1" = 40'
SHEET	0003

Infinite Engineering
 BARRY E. GINN
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 54595

DATE
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 54595



STORM STRUCTURE SCHEDULE

S-1	TYPE C GRATE INLET
	GRATE EL = 78.00
	SE INV EL = 74.42
S-2	(OVERFLOW STRUCTURE)
	TYPE C GRATE INLET
	GRATE EL = 77.20
	S INV EL = 76.21



BARRY E. GINN DATE
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 54595

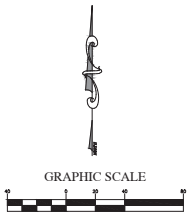
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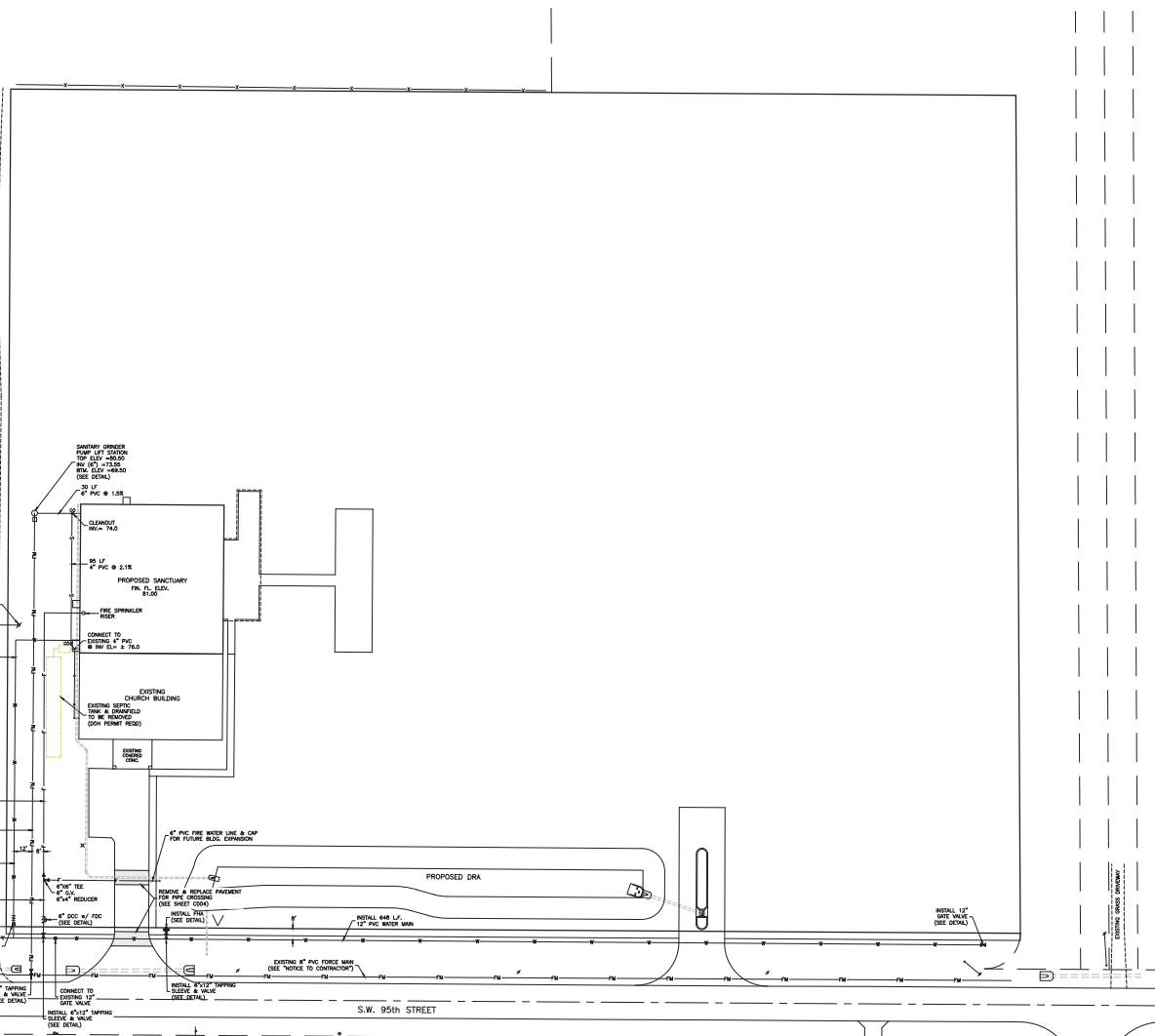
A MARION COUNTY MAJOR SITE PLAN
 FOR
FAMILY LIFE ASSEMBLY OF GOD
DAYCARE CENTER
Grading & Drainage Plan

JOB No.	35699-208-01
DATE	8-18-2024
SCALE	1" = 40'
SHEET	0002



- WATER NOTES:**
1. ALL WATER LINES 4" THROUGH 12" SHALL MEET THE REQUIREMENTS OF ANMA STANDARD C900 AND HAVE A DR OF 1% AND YELLOW COLOR WATER LINES 3" AND SMALLER SHALL BE DR 2% OR SCHEDULE 40 PVC.
 2. THE WATER LINES SHALL HAVE 30" MINIMUM COVERAGE.
 3. ALL WATER VALVES WITHIN PAVED AREAS SHALL HAVE TRAFFIC BEARING LIDS AND VALVES IN NON-PAVED AREAS SHALL HAVE A 2 FT DIAMETER X 4" THICK CONCRETE COLLAR.
 4. ALL FIRE HYDRANTS SHALL BE FACTORY PAINTED YELLOW.
 5. ALL FIRE HYDRANTS SHALL BE FLOW TESTED AND THE CAPS AND BONNETS PAINTED ACCORDING TO NFPA 251 BY A PRIVATE CONTRACTOR.
 6. MCO PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCO INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCO'S CONSTRUCTION OFFICER AT (352) 307-9143.
 7. AS-BUILT SURVEY MEETING MCO REQUIREMENTS SHALL BE SUBMITTED TO THE OFFICE OF THE COUNTY ENGINEER AND APPROVED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

- SANITARY SEWER NOTES:**
1. ALL GRAVITY SEWER LINES SHALL MEET THE REQUIREMENTS OF ASTM D3034 WITH A DR OF 2% AND GREEN IN COLOR.
 2. THE FORCE MAIN SHALL MEET THE REQUIREMENTS OF ANMA STANDARD WITH A DR OF 1% AND GREEN IN COLOR.
 3. THE FORCE MAIN SHALL HAVE 48" MINIMUM COVERAGE.
 4. ALL 6" PVC SHALL HAVE A MINIMUM OF 1.0% SLOPE AND ALL 4" PVC SHALL HAVE A MINIMUM OF 0.5% SLOPE.
 5. THE SANITARY SEWER LINES SHALL CROSS BELOW ALL WATER LINES.
 6. ALL CATCH-BASINS WITHIN PAVED AREAS SHALL HAVE TRAFFIC BEARING LIDS.
 7. AS-BUILT SURVEY MEETING MCO REQUIREMENTS SHALL BE SUBMITTED TO THE OFFICE OF THE COUNTY ENGINEER AND APPROVED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 8. A MCO APPROVED LINDING SHALL BE REQUIRED FOR THE PROPOSED MANHOLE RELOCATING THE PROPOSED FORCE MAIN IN THE S.W. 95th STREET RIGHT-OF-WAY.
 9. MCO PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCO INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCO'S CONSTRUCTION OFFICER AT (352) 307-9143.



UTILITY SEPARATION NOTES:

THE SEPARATION NOTES SHALL INCLUDE THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS TO COMPLY WITH RULES 62-604.400(2)(g) - (i), F.A.C. AND 62-604.400 (3), F.A.C. AS NOTED BELOW:

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

SEE UTILITY DETAILS SHEET FOR ALL DETAILS REFERENCED HEREON

NOTICE TO CONTRACTOR

PRIOR TO ORDERING/PURCHASING THE SANITARY LIFT STATION, THE CONTRACTOR SHALL EXCAVATE THE POINT OF CONNECTION TO THE EXISTING FORCE MAIN AND VERIFY ITS HORIZONTAL & VERTICAL LOCATION. ALSO PRESSURE DATA FOR THE EXISTING FORCE MAIN SHALL BE OBTAINED AT A LOCATION DETERMINED BY THE PROJECT ENGINEER AND MARION COUNTY UTILITIES, AND PROVIDED TO THE PROJECT ENGINEER FOR CONIRMATION THAT THE LIFT STATION SPECIFIED IN THESE PLANS IS SUFFICIENT.

REVISION	DATE

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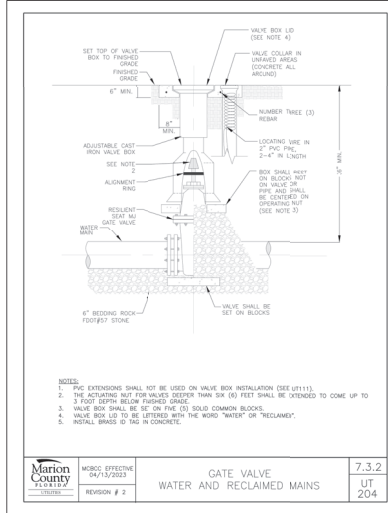
A MARION COUNTY MAJOR SITE PLAN
 FOR
 FAMILY LIFE ASSEMBLY OF GOD
 NEW SANCTUARY
 Utility Plan



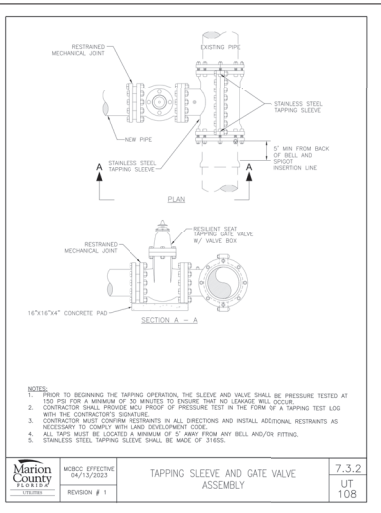
Infinite Engineering

BARRY E. GINN DATE
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 54595

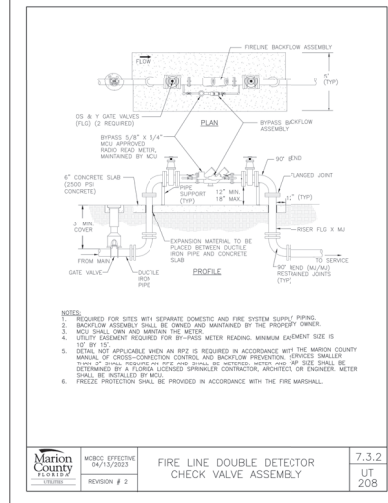
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 34689-2024-01
 DATE
 8-06-2024
 SCALE
 1" = 40'
 SHEET
 006



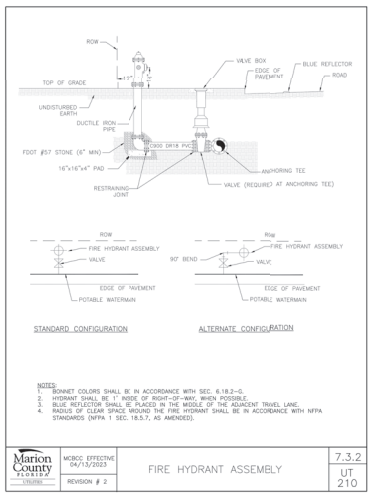
Marion County
 MSBC EFFECTIVE 04/15/2023
 REVISION # 2
 GATE VALVE WATER AND RECLAIMED MAINS
 7.3.2
 UT 204



Marion County
 MSBC EFFECTIVE 04/15/2023
 REVISION # 1
 TAPPING SLEEVE AND GATE VALVE ASSEMBLY
 7.3.2
 UT 108



Marion County
 MSBC EFFECTIVE 04/15/2023
 REVISION # 2
 FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY
 7.3.2
 UT 208



Marion County
 MSBC EFFECTIVE 04/15/2023
 REVISION # 2
 FIRE HYDRANT ASSEMBLY
 7.3.2
 UT 210

REVISION	DATE

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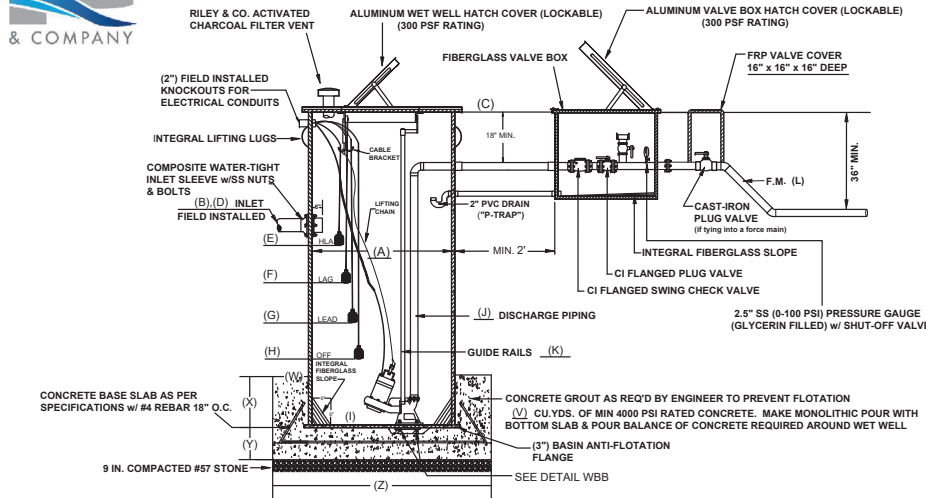
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 Civil Engineering & Land Surveying
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A MARION COUNTY MAJOR SITE PLAN
 FOR
 FAMILY LIFE ASSEMBLY OF GOD
 NEW SANCTUARY
utility details

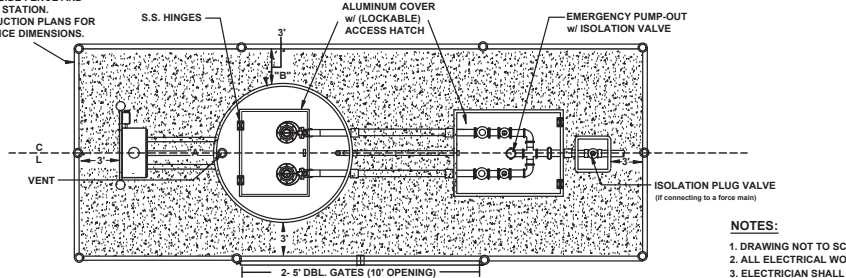
JOB No. 38499-2024-01
DATE 8-06-2024
SCALE
SHEET 0007

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 www.infiniteeng.com
 CERT. OF AUTH. # 20000

BARRY E. GINN DATE
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 54595



CONTRACTOR TO INSTALL 6' TALL COMMERCIAL GRADE - CHAINLINK FENCING, WEED BARRIER, AND 6\"/>



NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WET WELL PERIMETER AT POINT "A" OR "B"

STATION DESIGN CONDITION	
PRIMARY PUMP CAPACITY	25.2 GPM
PRIMARY TDH	61.8 'TDH
RUN-OUT PUMP CAPACITY	48.4 GPM
RUN-OUT TDH	35.3 'TDH
PUMP MODEL #	HOMA RC10049
R.P.M.	3450
HORSEPOWER	1.9
ELECTRICAL VOLTS / PHASE	230V/3
PUMP DISCHARGE SIZE	2"

STATION ELEVATIONS AND DIMENSIONS	
WET WELL DIAMETER (A)	48"
INVERT DIAMETER (B)	PER EOR
TOP OF WET WELL (C)	80.50'
INLET / INVERT (D)	73.55'
HIGH LEVEL ALARM (HLA) (E)	73.00'
2nd PUMP ON (LAG) (F)	72.50'
1st PUMP ON (LEAD) (G)	72.00'
PUMPS OFF (OFF) (H)	71.50'
BOTTOM OF WET WELL (I)	69.50'
DISCHARGE PIPE DIAMETER (J)	2"
GUIDE RAIL DIAMETER (K)	1"
F.M. PIPE DIAMETER (L)	2"

STATION MANUFACTURING MATERIALS	
DISCHARGE PIPE	HDPE
INLET PIPE	PER EOR
GUIDE RAIL	304 SS
WET WELL	FRP ASTM D-3753
WET WELL HATCH COVER	300 LBS PSF ALUM
CABLE BRACKET	304 SS
LIFTING CHAIN	304 SS
PLUG VALVE	CAST IRON
SWING CHECK VALVE	CAST IRON
VALVE BOX	FRP
VALVE BOX HATCH COVER	300 LBS PSF ALUM

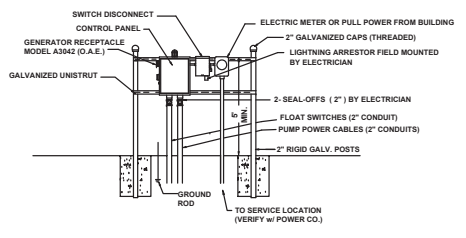
STATION VALVE BOX SIZES	
36" x 36" x 36" DEEP	FOR 2" DISCHARGE
36" x 36" x 36" DEEP	FOR 3" DISCHARGE

STATION HATCH OPENINGS	
WET WELL DIA.	36" 42" 48"
	27" x 20" 36" x 24" 40" x 30"

CONCRETE BALLAST REQUIREMENTS	
CUBIC YARDS OF CONCRETE REQUIRED (V)	3.63 yds ³
CIRCUMFERENCE DIMENSION - WIDTH (W)	12.0'
CIRCUMFERENCE DIMENSION - HEIGHT (X)	36.0"
BASE SLAB DIMENSION - HEIGHT (Y)	18.0"
BASE SLAB DIMENSION - LENGTH & WIDTH (Z)	72.0"

NOTES:

- 1. DRAWING NOT TO SCALE
- 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
- 3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
- 4. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT
- 5. NEUTRAL TO BE SUPPLIED FOR 230V-3 PHASE OR 230V-SINGLE PHASE POWER



ELECTRICAL RISER FOR ILLUSTRATION PURPOSES ONLY

RILEY & Company, Inc. (H-20 GP) w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

PUMPS: **SPECIFICATION**
Submersible grinder pumps shall be installed in the FRP wet well utilizing a dual rail slide system. The grinder system shall be capable of grinding the waste materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and discharge piping. Stator winding shall be open type with Class H insulation and shall be heat shrink fitted into the stator housing. Shall withstand a continuous operating temperature of 155° C. A heat sensor (2) thermal switches shall be attached to the motor windings. The pump motor grinder shaft shall be EN 1.4301 / AISI 304SS construction to take the pump impeller and the grinder assembly. Semi Axial Centrifugal Impeller shall be Cast Iron EN-GJL-200 / ASTM A48 30B. Cutter/Grinder Assembly shall be Stainless Steel EN 1.4301 / AISI 304. Double mechanical cartridge shaft seals shall be provided. The seal springs located inside the oil housing should be fully protected from the pumped liquid. The mechanical seals should be able to withstand rotation on either side. Moisture sensor (2) shall be included in the motor housing assembly. Power and Control cables shall be clamped against tensile loads and have a serviceable inlet to the motor, with hermetically sealed polyurethane filled, stainless steel cable plug connection. The pump and electric cables shall be capable of continuance submergence, without loss of waterproof integrity to a depth of 65 ft.

CONTROL PANEL: **SPECIFICATION**
The enclosure shall be NEMA 4X, minimum 30" high x 20" wide x 10" deep with 3 point latching system. The enclosure shall have external mounting feet to allow for wall mounting. The following components shall be mounted through the enclosure:
1- ea. Red Alarm Beacon (Light) LED 360 Degree viewable range
1- ea. Alarm Horn (minimum 95 DCB)
1- ea. Generator Receptacle w/ waterproof cover 60A Minimum. Shall meet UL 1682 and UL 1686 Configuration.
The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws. The following components shall be mounted to back panel:
2- ea. IEC style Motor Connectors
1- ea. Volt Monitor (1 Ph) Phase Monitor (3 Ph) w/ 2 N/O & 1 N/C Contacts
1- ea. Alternator
1- ea. Control Transformer (480 Volt Only) (Min. 500VA)
1- ea. Model RB55A-H Battery Back-Up w/ Smart Charging (UPS)
20- ea. Terminals For Field Connections
6- ea. Terminals For Motor Connections (Single Phase Only)
7- ea. Grounding Lugs
1- ea. Lightning and Surge Protection shall meet the UL 1449 2nd Edition

The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano hinge. The following components shall be mounted through the inner door:
1- ea. Main Circuit Breaker
1- ea. Emergency Circuit Breaker
1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)
2- ea. Short Circuit Protectors w/ Auxiliary Contacts
1- ea. Control Circuit Breaker
1- ea. GFI Duplex Convenience Outlet
2- ea. Elapsed Time Meter
MISCELLANEOUS: All wiring on the back panel shall be contained within the wiring duct. All wiring between the inner door and the back panel shall be contained with a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting. The control panel must be manufactured in-house by lift station supplier and be a TÜV (UL508A Certified) facility.
INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system. Megger the motors. The pump motors shall be megged out prior to the start-up to ensure that the insulation of the pump motor/cable is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

WET WELL: **SPECIFICATION**
Wet Well FRP Wall Laminate must be designed to withstand wall collapse or buckling based on these assumptions and third party specifications.
Hydrostatic Pressure 62.4 lbs. Per SQ Ft.
Saturated soil weight 120 lbs. Per Cubic Ft.
Soil Modulus of 700 lbs Per SQ Ft.
Pipe Stiffness as specified in ASTM D 3753
The wet well FRP laminate must be constructed to withstand or exceed two times the assumed loading for the complete depth of the structure.
The cover shall be constructed of 1/4 inch thick finished aluminum, diamond plate pattern with 300 series stainless steel hardware. The hatch shall have a positive means of holding door open in the vertical position (locking hold open arm) made of a non-corrosive material. The cover shall be mounted with minimum of six 300 series stainless steel fasteners. The access hatch cover shall have a lift handle and a means of locking.
The prefabricated FRP lift station manufacture shall guarantee the prefabricated lift station per approved drawings for a period of one year from the date of delivery.

EXECUTION:
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the engineered drawings.

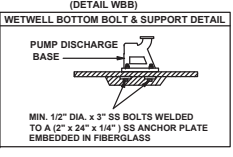
09/04/24 SR

RILEY & COMPANY, INC.
5491 BENCHMARK LANE
SANFORD, FL 32773
PH. 407-265-9963

FAMILY LIFE ASSEMBLY OF GOD

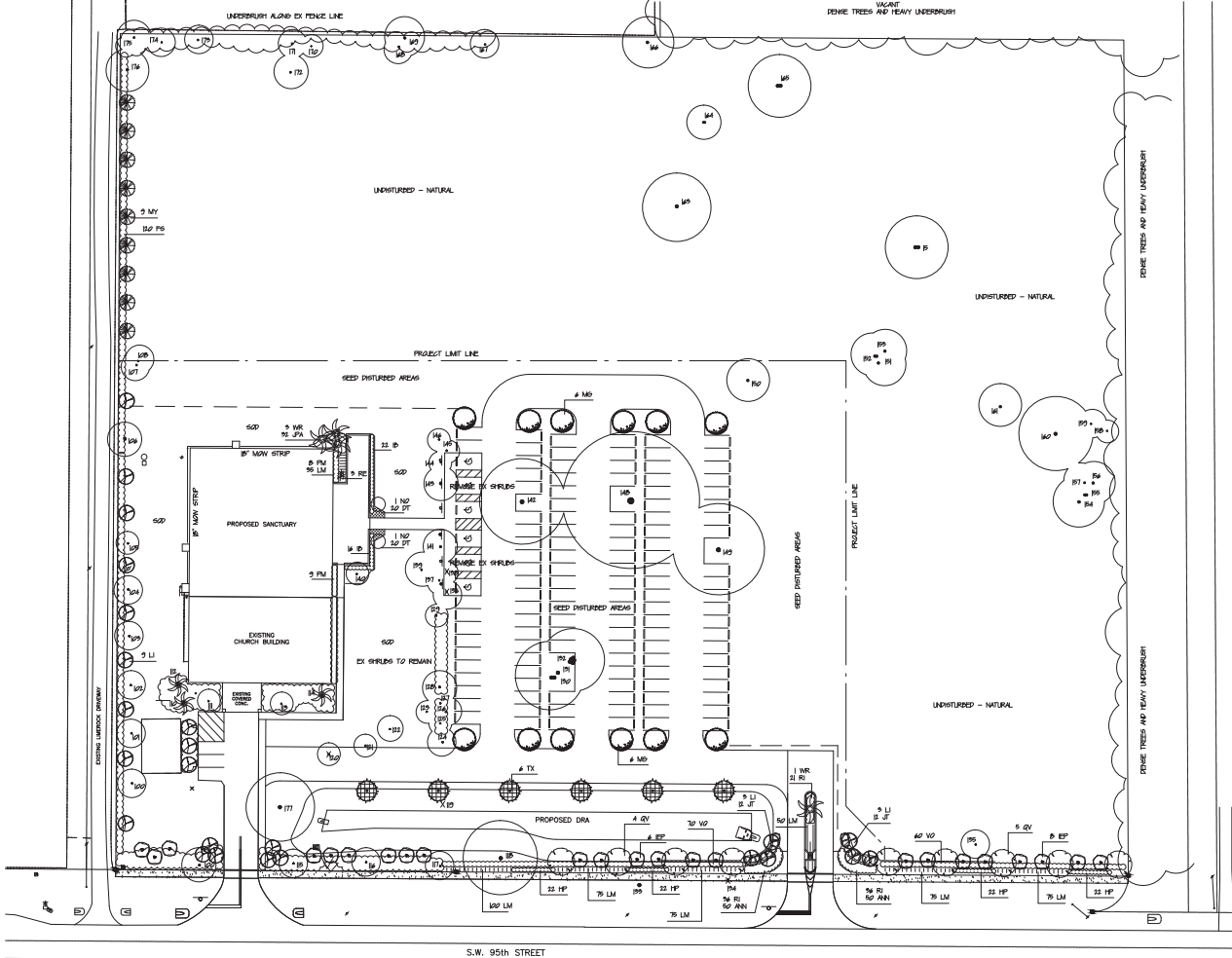
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LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.



- LANDSCAPE NOTES
- ALL MATERIAL SHALL BE FLORIDA # GRADE OR BETTER
 - ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 2" - 3" OF PINE BARK MULCH
 - MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHrub OR ORNAMENTAL TREES
 - ALL MATERIAL INSTALLED SHALL MEET THE SOB GRADES AND STANDARDS FOR LANDSCAPE INSTALLATION
 - CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRADES AND STANDARDS
 - ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
 - ALL NEW TREES MUST BE GUYED OR STAKED AS DETAIL
 - EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
 - THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY THE LIMITS OF WORK
 - PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
 - ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NITROGEN FEED AND SLURRY-RELEASE NITROGEN FERTILIZER
 - ALL PALMS SHALL HAVE STRAIGHT UNBARBED TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT
 - ALL MATERIAL SHALL BE GUARANTEED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES & PALMS AND PROVIDING AIR-PROTECTANTS
 - DURING THE ESTABLISHMENT PERIOD (FIRST 90 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60 - 80 GPD TO ALL NEW TREES AND PALMS
 - LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
 - NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 3' VERTICAL OVERHANG AREA
 - NO NEW SOB SHALL BE ARGENTINE-BANJA INSTALLED WITH NO GAPS OR OVERLAPS
 - ALL OTHER DISTURBED AREAS OUTSIDE THE LANDSCAPE AREA SHALL BE SEEDS WITH ARGENTINE-BANJA SEED MIX
 - ALL SOB / SEED AREAS SHALL BE CLEARED AND ALL STUBS, BRUSH, AND OTHER DEBRIS REMOVED
 - SEED AREAS SHALL BE OVER-ALLOTTED WITH STRAW OR OTHER ACCEPTABLE MATERIAL
 - PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL SHALL BE VENT-FREE, CONTAIN NO FERTILIZERS OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE
 - THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS
 - THE CONTRACTOR SHALL KEEP THE SITE CLEAR OF ALL DEBRIS, REMOVED PART, ETC., AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED
 - ALL EXISTING LANDSCAPING SHALL REMAIN EXCEPT WHERE THE DRA IS EXPANDED
 - THE LANDSCAPE CONTRACTOR SHALL REPAIR ANY IRRIGATION DAMAGED DURING THE WORK SHOWN AND INSURE THAT THE EXISTING SYSTEM IS OPERATIONAL
 - DO NOT PLANT NEW TREES TOO CLOSE UNLESS THE TRUNK FLARE AND SET THEM AT OR ABOVE THE SURROUNDING SOIL LEVEL
 - REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
 - ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z602)
 - LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SMALL DRAINAGE LEAVES ESTABLISHED OR GUTTERS BRANCHED REMOVED
 - PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
 - HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE
 - ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRADES AND STANDARDS

- MARION COUNTY NOTES
- TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 415 C SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE
 - ALL REQUIREMENTS OUTLINED IN SECTION 415 SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON THIS SITE BY THIS CONSTRUCTION
 - THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 415B SHALL BE COMPLETED WITH NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED
 - NOTES HAVE BEEN SHOWN REGARDING LICENSEING (415B, 415C). TREE PROTECTION (415E) MAINTENANCE (415F, 415G) FERTILIZER USE (415H) AND WATERING (415I)
 - ALL REQUIREMENTS OUTLINED IN SECTION 415B REGARDING FERTILIZERS AND OTHER LANDSCAPE CREDENTIALS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS
 - UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND PROTECTION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY
 - ALL REQUIREMENTS OUTLINED IN SECTION 415B REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS
 - ALL REQUIREMENTS OUTLINED IN SECTION 415B REGARDING LANDSCAPE MAINTENANCE AND MAINTENANCE LICENSEING AND CERTIFICATION SHALL BE COMPLIED WITH
 - ANY PERSON PROVIDING LANDSCAPE MAINTENANCE SERVICES FOR HIRE SHALL MEET THE LICENSEING AND CERTIFICATION REQUIREMENTS UNDER SECTION 415B
 - ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES
 - TREES AND PALMS SHALL BE PROPERLY PLANTED AND GUYED OR STAKED
 - ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR REALITY
 - INSTALLATION SHALL MEAN SURVIVAL IN PROPERITY AND REPLACEMENT IF NECESSARY OF ALL MATERIALS. DEAD AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 90 DAYS OF NOTIFICATION OF THE COUNTY

LANDSCAPE MATERIAL LIST			
15	MD	MANGONIA GRANDIFLORA	GOUTIER MANGONIA
16	OV	OLEANDER	LEAFY OLEANDER
17	TX	TRINIDAD	TRINIDAD
18	SP	LEAFY FLORIDA HOLLY	FLORIDA HOLLY
19	LM	LAGERSTRONGIA ROSEA	GRAPE HORTENSIA
20	NO	NEROLI OLIVACEA	WAX HORTENSIA
21	NO	NEROLI OLIVACEA	LAGERSTRONGIA PALM
22	PS	FORESTIERA REVERBENTIA	FLORIDA PINEAPPLE
23	B	LEAFY BURFORDI	BURFORDI HOLLY
24	FP	PAVONIA PATENS	PAVONIA
25	FP	PAVONIA PATENS	FLORIDA PINEAPPLE
26	FP	PAVONIA PATENS	FLORIDA PINEAPPLE
27	FP	PAVONIA PATENS	FLORIDA PINEAPPLE
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98	FP	PAVONIA PATENS	FLORIDA PINEAPPLE
99	FP	PAVONIA PATENS	FLORIDA PINEAPPLE
100	FP	PAVONIA PATENS	FLORIDA PINEAPPLE

LANDSCAPE / OPEN SPACE		SHRUB TREE CALCULATIONS		TOTAL PROJECT LIMITS	
TOTAL SITE AREA	= 49,278 SF (1,140 AC)	TOTAL PROJECT LIMITS	= 10,000 SF	TOTAL PROJECT LIMITS	= 10,000 SF
LANDSCAPE SPACE REQUIRED	= 25,448 SF (582 AC)	SHRUB TREES REQUIRED	= 17 (1 / 100 LF)	SHRUB TREES PROVIDED	= 17 (1 / 100 LF)
LANDSCAPE SPACE PROVIDED	= 99,000 SF	LANDSCAPE TREES REQUIRED	= 17 (1 / 100 LF)	LANDSCAPE TREES PROVIDED	= 17 (1 / 100 LF)
		LANDSCAPE AREA REQUIRED	= 1,000 SF	LANDSCAPE AREA PROVIDED	= 1,000 SF
		SHRUB TREE CALCULATIONS		SHRUB TREE CALCULATIONS	
		TOTAL PROJECT LIMITS	= 10,000 SF	TOTAL PROJECT LIMITS	= 10,000 SF
		SHRUB TREES REQUIRED	= 17 (1 / 100 LF)	SHRUB TREES PROVIDED	= 17 (1 / 100 LF)
		LANDSCAPE TREES REQUIRED	= 17 (1 / 100 LF)	LANDSCAPE TREES PROVIDED	= 17 (1 / 100 LF)
		LANDSCAPE AREA REQUIRED	= 1,000 SF	LANDSCAPE AREA PROVIDED	= 1,000 SF
		SHRUB TREE CALCULATIONS		SHRUB TREE CALCULATIONS	
		TOTAL PROJECT LIMITS	= 10,000 SF	TOTAL PROJECT LIMITS	= 10,000 SF
		SHRUB TREES REQUIRED	= 17 (1 / 100 LF)	SHRUB TREES PROVIDED	= 17 (1 / 100 LF)
		LANDSCAPE TREES REQUIRED	= 17 (1 / 100 LF)	LANDSCAPE TREES PROVIDED	= 17 (1 / 100 LF)
		LANDSCAPE AREA REQUIRED	= 1,000 SF	LANDSCAPE AREA PROVIDED	= 1,000 SF

TOTAL PROJECT LIMITS		TOTAL PROJECT LIMITS	
TOTAL PROJECT LIMITS	= 10,000 SF	TOTAL PROJECT LIMITS	= 10,000 SF
SHRUB TREES REQUIRED	= 17 (1 / 100 LF)	SHRUB TREES PROVIDED	= 17 (1 / 100 LF)
LANDSCAPE TREES REQUIRED	= 17 (1 / 100 LF)	LANDSCAPE TREES PROVIDED	= 17 (1 / 100 LF)
LANDSCAPE AREA REQUIRED	= 1,000 SF	LANDSCAPE AREA PROVIDED	= 1,000 SF
SHRUB TREE CALCULATIONS		SHRUB TREE CALCULATIONS	
TOTAL PROJECT LIMITS	= 10,000 SF	TOTAL PROJECT LIMITS	= 10,000 SF
SHRUB TREES REQUIRED	= 17 (1 / 100 LF)	SHRUB TREES PROVIDED	= 17 (1 / 100 LF)
LANDSCAPE TREES REQUIRED	= 17 (1 / 100 LF)	LANDSCAPE TREES PROVIDED	= 17 (1 / 100 LF)
LANDSCAPE AREA REQUIRED	= 1,000 SF	LANDSCAPE AREA PROVIDED	= 1,000 SF

28,000 SF - ARGENTINE-BANJA SEED MIX
 100 SF - ARGENTINE-BANJA SEED MIX

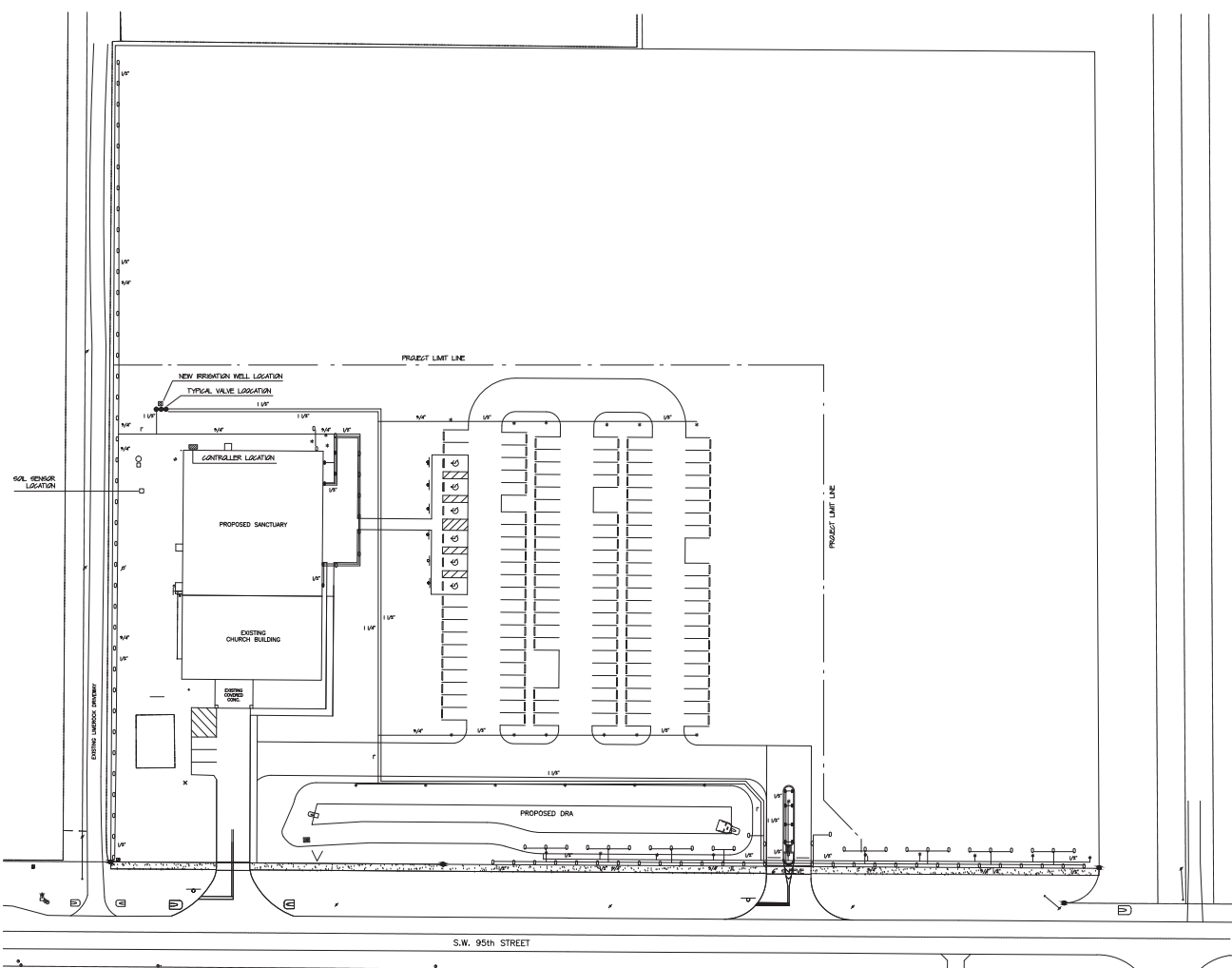
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ENVIRONMENTAL DESIGN LANDSCAPE ARCHITECT
 1900 SE 8th STREET
 COVINGTON, FLORIDA 34429
 (352) 632-8899
 600 SOUTH COUNTY ROAD 100, SUITE 1000, COVINGTON, FLORIDA 34429

EDK

LANDSCAPE PLAN
 FAMILY LIFE ASSEMBLY OF GOD
 MARION COUNTY
 FLORIDA

SHEET 1 of 1



- IRRIGATION LEGEND**
- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
 - HUNTER MP 1000 SERIES POP-UP SIDE-SPRAY HEADS
 - ✱ HUNTER PVD SERIES BUBBLER HEADS FOR TREES
 - SOL SENSOR LOCATION
 - EXISTING IRRIGATION WELL
 - EXISTING CONTROLLER
 - 1" NELSON VALVES IN WATER-RESISTANT BOXES
 - == SLEEVING - 50# 40 PVC

- IRRIGATION LEGEND**
- TREE ZONE 1 = 350 GPM
 - SPRINK ZONE 1 = 240 GPM
 - SPRINK ZONE 2 = 200 GPM

IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4" V.A. OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPRAY PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE FOR THE IRRIGATION SYSTEM SHALL BE A NEW 4" WELL 1/4" 5 HP PUMP
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PROPOSED SITE AND LAYOUT, AND PROVIDE WRITTEN VERIFICATION TO THE LANDSCAPE ARCHITECT THAT THE EXISTING COMPONENTS ARE SUFFICIENT FOR THE SYSTEM AS DESIGNED. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
7. THE OWNER WILL PROVIDE ELECTRICAL SERVICE TO THE WELL SITE
8. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET
9. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
10. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
11. ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LAMSKOONING OF THE PAVED AREAS
12. ALL SLEEVING SHALL BE 50# 40 PVC AND INSTALLED A MINIMUM OF 6" DEEP
13. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP
14. RAINFALL TRANSDUCER DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (5SD SERIES). IN ADDITION, AN AGL-100A TDT SENSOR WITH 50# CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTS
15. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
16. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 90 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
17. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
18. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
19. CONTRACTOR SHALL INSURE THAT THERE IS A BACKFLOW PREVENTION DEVICE INSTALLED AT THE WELL
20. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
21. ZONES ARE DESIGNED TO FUNCTION AT 90 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO MAINTAIN PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
22. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE CONTROL BASED ON CURRENT WATER RESTRICTIONS
23. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER THE NEW TREES AND SHRUBS AS DIRECTED BY THE LANDSCAPE ARCHITECT
24. ALL LINE LOCATIONS MUST BE RELATED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
25. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
26. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY EPA @ EDIS/PAS/ULEX/RES/SP
27. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INFLATE CHECK VALVES ARE INSTALLED AT THE HEAD
28. EXISTING IRRIGATION SHALL REMAIN EXCEPT WHERE THE IRIA IS EXPANDED
29. POP-UP HEADS WITHIN 500 AREAS SHALL BE SET AT 4"
30. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SCREEN AND VERIFIED BY CONTRACTOR
31. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
32. ALL IRRIGATION INSTALLATION SHALL MEET 50# GREENS AND STANDARDS
33. NO IRRIGATION HEADS SHALL BE INSTALLED ON ROOFS UNLESS SPECIFICALLY NOTED AND DETAILED
34. ALL AS-BUILTS, MODIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
35. DUBBERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS

MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE ISSUED AND SIGNED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OBTAINED IN SECTION 439 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
2. ALL REQUIREMENTS IN SECTION 439 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INITIATIVES OF THE FLORIDA WATERS AND WETLANDS PROGRAM
3. ALL REQUIREMENTS OBTAINED IN SECTION 439 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
4. ALL REQUIREMENTS OBTAINED IN SECTION 439 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
5. NOTES HAVE BEEN SHOWN REGARDING GLOBE-LIT REQUIREMENTS (436 WATERING INSTALLATION (435) AND INSTALLATION LICENSING REQUIREMENTS (438)



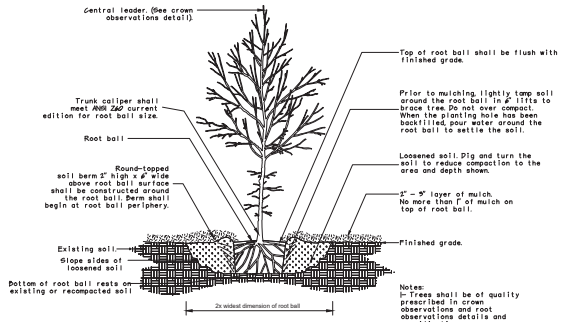
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1	8/24	NEW LAYOUT
RAK		BY

DATE	10 / 23
DESIGNER	RAK
CHECKER	
SCALE	1" = 40'
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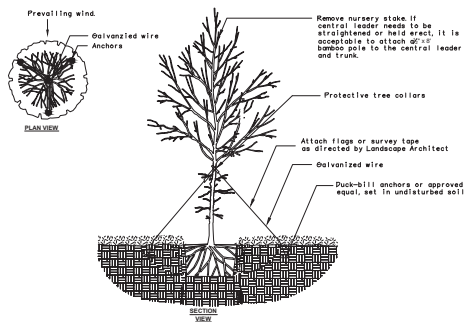
ENVIRONMENTAL DESIGN ARCHITECT
 1930 SE 8th STREET
 COVINGTON, FLORIDA 32035
 P.O. BOX 9121
 (352) 625-8899
 WWW.EDKARCHITECT.COM



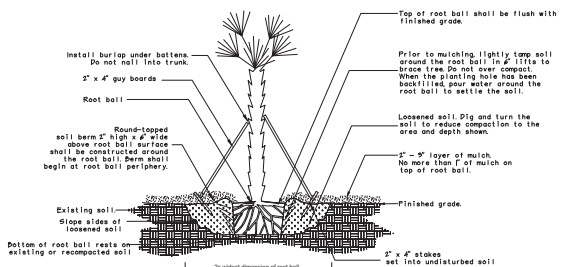
IRRIGATION PLAN
 FAMILY LIFE ASSEMBLY OF GOD
 MARION COUNTY FLORIDA



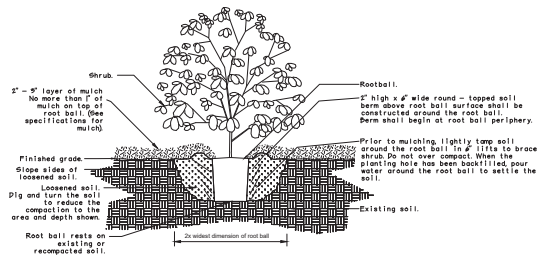
TREE INSTALLATION



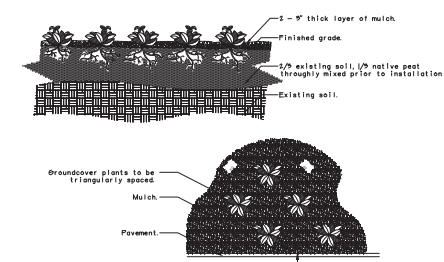
TREE STAKING - TREES < 2" CALIPER



PALM INSTALLATION

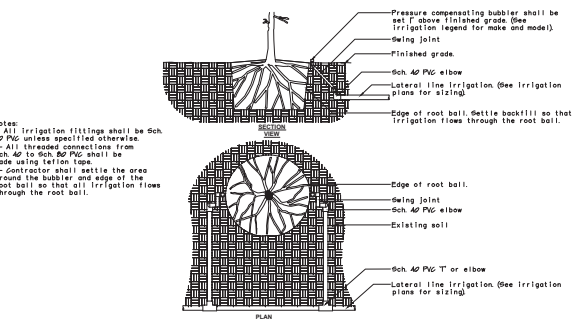


SHRUB INSTALLATION

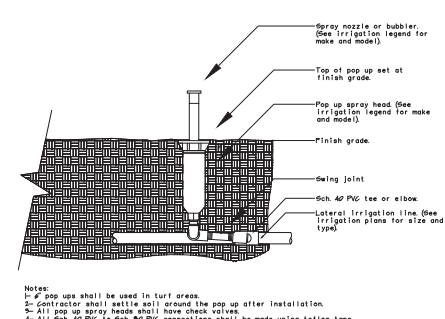


Notes:
1- See planting legend for groundcover species, size, and spacing dimension.

GROUNDCOVER INSTALLATION



TREE BUBBLER LAYOUT



POP UP-SPRAY HEAD

NO.	DATE	DESCRIPTION	BY
1	8/24	NEW LAYOUT	RAK

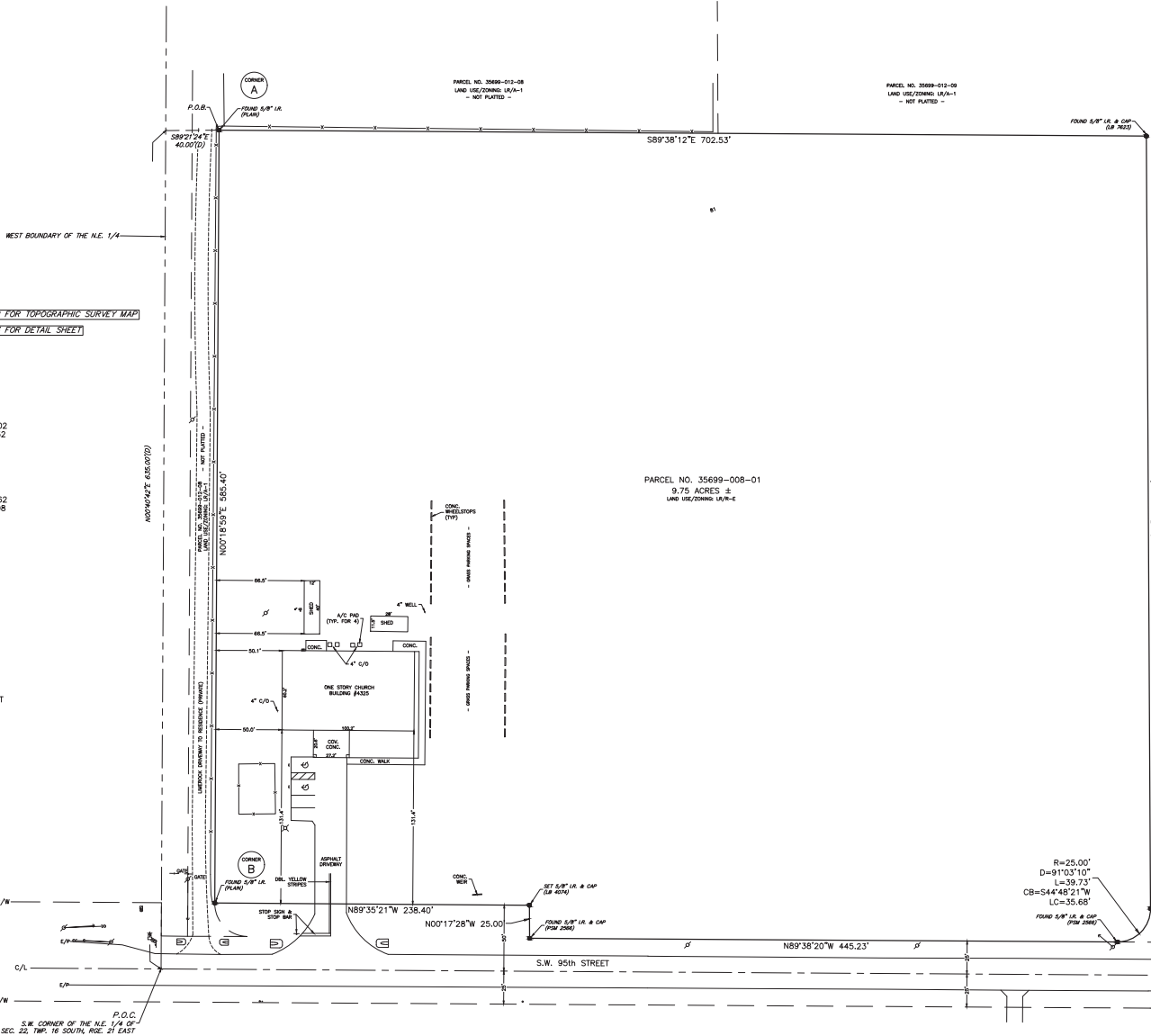
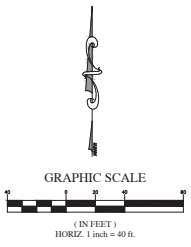
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SCALE	1" = 40'	
JOB NO.		
DR.		
CHK.		

DATE	10 / 23	PG.
DRAWING NO.		
SCALE	1" = 40'	
JOB NO.		
DR.		
CHK.		

ENVIRONMENTAL DESIGN
ANDY KESSELLING, LANDSCAPE ARCHITECT
P.O. BOX 5178
1800 SE 3RD STREET
COVINGTON, FLORIDA 32035
TEL: 904-328-8889
WWW.RAK.COM
OUR COURSE DESIGN, COMMERCIAL-RESIDENTIAL, DESIGN



LANDSCAPE & IRRIGATION DETAILS
FAMILY LIFE ASSEMBLY OF GOD
MARION COUNTY FLORIDA



SEE SHEET 2 FOR TOPOGRAPHIC SURVEY MAP
SEE SHEET 3 FOR DETAIL SHEET

STATE PLANE COORDINATES
 CORNER A
 5/8" I.R. (PLAIN)
 NORTHING Y = 1727739.02
 EASTING X = 594298.32
 CORNER B
 5/8" I.R. & CAP (SMASHED)
 NORTHING Y = 1727153.62
 EASTING X = 594295.08

PARCEL NO. 35699-008-01
 9.75 ACRES ±
 LAND USE/ZONING: LU/A-E

- LEGEND
- P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - P.C.P. PERMANENT CONTROL POINT
 - P.P.M. PERMANENT REFERENCE MONUMENT
 - C.M. CONCRETE MONUMENT
 - I.R. IRON ROD
 - N&D NAIL & DISC
 - R/W RIGHT OF WAY
 - E/P EDGE OF PAVEMENT
 - C/L CENTERLINE
 - SEC. SECTION
 - TWP. TOWNSHIP
 - RGE. RANGE
 - (P) PLAT MEASUREMENT
 - (D) DESCRIPTION MEASUREMENT
 - (F) FIELD MEASUREMENT
 - R RADIUS
 - D of Δ CENTRAL ANGLE
 - ARC LENGTH
 - CB CHORD BEARING
 - LC LENGTH OF CHORD
 - O.R.B. OFFICIAL RECORDS BOOK
 - PG. PAGE
 - CONC. CONCRETE
 - D.E. DRAINAGE EASEMENT
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR ELEVATION
 - INV. INVERT
 - UTILITY POLE AND GUY ANCHOR
 - OVERHEAD WIRES
 - FENCE
 - CONCRETE
 - ASPHALT
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - TRAFFIC SIGNAL BOX
 - SANITARY MANHOLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGN
 - STREET SIGN
 - CAS. MARKER
 - FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - LIGHT POLE
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - ELECTRIC METER

LEGAL DESCRIPTION:
 A PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 22; THENCE N00°40'42"E, ALONG THE WEST BOUNDARY LINE OF SAID NORTHEAST 1/4, 635.00 FEET; THENCE S89°21'24"E, 40.00 FEET TO THE POINT OF BEGINNING; THENCE S89°38'12"E, 702.53 FEET; THENCE S00°18'25"E, 585.15 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 91°03'10"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 39.73 FEET (CHORD BEARING AND DISTANCE OF S44°48'21"W, 35.68 FEET) TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF S.W. 95th STREET (WIDTH VARIES), SAID POINT ALSO BEING THE POINT OF TANGENCY OF SAID CURVE; THENCE N89°38'20"W, ALONG SAID NORTH RIGHT OF WAY LINE, 445.23 FEET; THENCE N00°17'28"W, ALONG A DEVIATION IN SAID RIGHT-OF-WAY LINE, 25.00 FEET; THENCE N89°35'21"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 238.40 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, PROCEED N00°18'59"E, 585.40 FEET TO THE POINT OF BEGINNING.

- SURVEY REPORT:
- FIELD MEASURED BEARINGS AND STATE PLANE COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
 - FIELD SURVEY DATE: 7-12-2024.
 - THE LEGAL DESCRIPTION SHOWN HEREON WAS WRITTEN BY THE SURVEYOR TO DESCRIBE THE PERIMETER OF THE LEGAL DESCRIPTIONS SHOWN ON THE DEEDS RECORDED O.R. BOOK 5808, PAGE 1164, O.R. BOOK 5961, PAGE 719 AND O.R. BOOK 6908, PAGE 576.
 - ALL RIGHTS OF WAY SHOWN HEREON ARE PHYSICALLY OPEN UNLESS OTHERWISE STATED.
 - UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
 - THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0704, SUFFIX E, WITH AN EFFECTIVE DATE OF 4/19/2017.
 - THIS PROPERTY THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 5J-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR SUBURBAN USE.
 - UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

SURVEYORS CERTIFICATION:
 I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1, SECTION 472.027, FLORIDA STATUTES.
 RODNEY K. ROGERS DATE
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 5274
 STATE OF FLORIDA

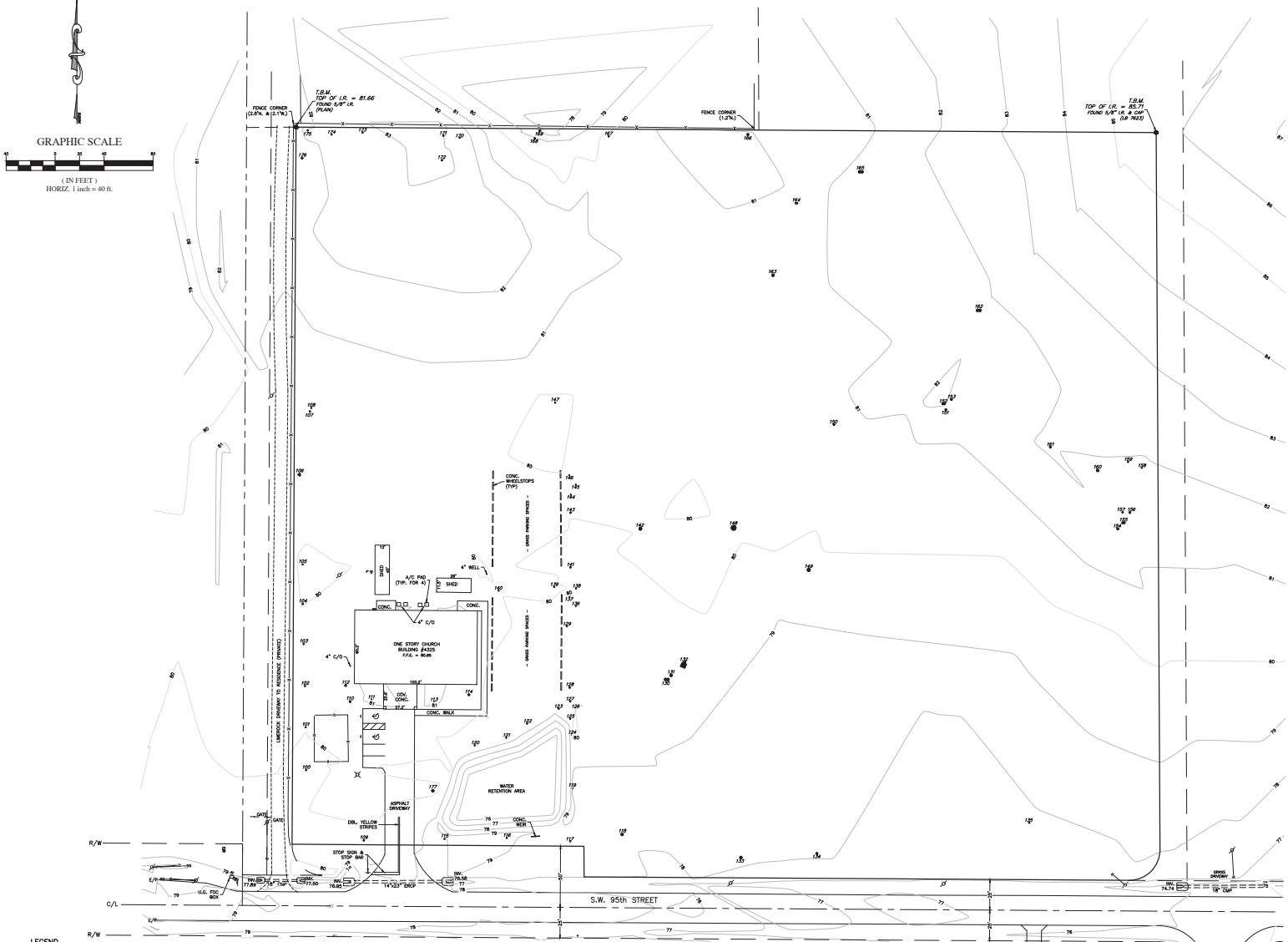
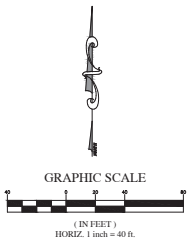
REVISION	DATE

RODNEY K. ROGERS, P.E.
 REGISTRATION NO. 5274
 RODNEY K. ROGERS, P.S.M.
 REGISTRATION NO. 6274
 MARISSA M. BOYD, P.S.M.
 REGISTRATION NO. 7256
 ROYCE@ROGERS-ENG.COM

ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying
 1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A MARION COUNTY MAJOR SITE PLAN
 FOR
 FAMILY LIFE ASSEMBLY OF GOD
 DAYCARE CENTER
 Boundary Survey Map

JOB No.
 35699-008-01
 DATE
 8-16-2024
 SCALE
 1" = 40'
 SHEET
 5001



LEGEND

R/W	RIGHT OF WAY
E/P	EDGE OF PAVEMENT
C/L	CENTERLINE
CONC.	CONCRETE
T.B.M.	TEMPORARY BENCHMARK
F.F.	FINISH FLOOR
ELEV.	ELEVATION
INV.	INVERT
—•—•—	UTILITY POLE AND GUY ANCHOR
—•—	OVERHEAD WIRES
—•—	FENCE
—•—	TREE & TREE NUMBER (SEE TREE SCHEDULE)
—•—	GROUND CONTOUR

SURVEY REPORT:

- VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "49AV-6", PUBLISHED ELEVATION = 82.860, NAVD-88.
- FIELD SURVEY DATE: 7-12-2024.
- UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

RODNEY K. ROGERS DATE
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 6274
 STATE OF FLORIDA

TREE SCHEDULE

TREE NO	SIZE	TYPE	TREE NO	SIZE	TYPE
100	8"	OAK	135	6"	MAGNOLIA
101	8"	OAK	140	6"	MAGNOLIA
102	8"	OAK	141	12"	OAK
103	10"	OAK	142	28"	OAK
104	10"	OAK	143	12"	OAK
105	6"	OAK	144	6"	PINE
106	(3)12"	OAKS	145	6"	PINE
107	10"	OAK	146	6"	PINE
108	8"	OAK	147	8"	OAK
109	12"	OAK	148	48"	OAK
110	15"	PALM	149	32"	OAK
111	6"	MAPLE	150	15"	OAK
114	15"	PALM	153	18"	OAK
113	6"	MAPLE	152	(2)18"	OAKS
115	8"	OAK	154	18"	OAK
116	8"	OAK	155	(2)15"	OAKS
117	8"	OAK	156	18"	OAK
118	26"	OAK	157	12"	OAK
119	10"	OAK	158	6"	PINE
120	8"	SWEETGUM	159	8"	PINE
121	8"	SWEETGUM	160	28"	OAK
122	8"	SWEETGUM	161	16"	OAK
123	6"	MAGNOLIA	162	(2)22"	OAKS
124	10"	OAK	163	24"	OAK
125	6"	PINE	164	(2)12"	OAKS
126	8"	PINE	165	(2)22"	OAKS
127	6"	PINE	166	18"	PINE
128	12"	OAK	167	10"	OAK
129	6"	OAK	168	8"	OAK
130	(2)22"	OAKS	169	14"	PINE
131	24"	OAK	170	6"	OAK
132	(5)22"	OAKS	171	10"	OAK
133	24"	OAK	172	10"	OAK
134	16"	OAK	173	10"	OAK
135	10"	PINE	174	6"	OAK
136	6"	PINE	175	10"	OAK
137	6"	PINE	176	15"	OAK
138	6"	PINE	177	20"	OAK

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A MARION COUNTY MAJOR SITE PLAN
 FOR
 FAMILY LIFE ASSEMBLY OF GOD
 NEW SANCTUARY

(Topographic Survey Map)

JOB No. 3569-208-01	DATE 8-16-2024
PROFESSIONAL SURVEYOR & MAPPER REGISTRATION NO. 6274	SCALE 1" = 40'
SHEET 502	