



SUBMITTAL SUMMARY REPORT 33354

PLAN NAME: HEARTLAND DENTAL OCALA FREEDOM

LOCATION:

APPLICATION DATE: 09/08/2025

PARCEL: 35699-006-04

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Jeremy Anderson	Common Oak Engineering, LLC
Engineer of Record	Jeremy Anderson	Common Oak Engineering, LLC

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Conditional Comment(s)		Alexander Turnipseed	11/14/2025	Please provide a copy of the NPDES permit or NOI as well as the District permit prior to construction.	No

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.	11/05/2025	11/12/2025	12/01/2025	Requires Re-submit
OCE: Plan Review (DR) v.	12/30/2025	01/07/2026	01/15/2026	Requires Re-submit
OCE: Plan Review (DR) v.	01/22/2026	01/29/2026		In Review

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1					
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS	
911 Management (DR) (911 Management)	Jamie Waldron	11/12/2025	11/21/2025	Approved	
Environmental Health (Plans) (Environmental Health)		11/12/2025	11/26/2025	Approved	
<i>Comments</i>	YES Central Sewer Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval Central Water N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments Central Sewer/Central Water				
Fire Marshal (Plans) (Fire)	Roxanna Coleman	11/12/2025	11/26/2025	Requires Re-submit	
<i>Comments</i>	YES 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area N/A 6.18.5 - Access Control Box N/A 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength YES 6.18.2.G - Painting and Marking of Fire Hydrants NO NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads Fire Review has been disapproved for the site modification of access from Aspen Dental to Firestone. The approved site plans for Firestone "32039" does not include a shared internal driveway connection. Further discussion and documentation will be need to ensure the Firestone will modify their plans to accommodate the connection. At this time the access road is greater than 150 feet and a turn around will need to be provided to meet the minimum requirements of the Florida Fire Prevention Code Chapter 18. N/A Additional Fire comments				
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	11/12/2025	11/19/2025	Requires Re-submit	
<i>Comments</i>	Please include zoning case information Case 190701Z Ordinance 19-15				
<i>Corrections</i>	2.12 - Rezoning (Not Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.				
Landscape (Plans) (Parks and Recreation)	Susan Heyen	11/12/2025	11/19/2025	Approved	

SUBMITTAL SUMMARY REPORT (33354)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)		11/12/2025	11/26/2025	Approved
<i>Comments</i>	<p>YES 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage) 11/5/25-fee due with resubmittal 9/22/25-fee due with resubmittal</p> <p>N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department</p> <p>N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.</p> <p>N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC</p> <p>N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC</p> <p>N/A 2.1.3 - Order of plan approval</p> <p>YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions</p> <p>YES 2.12.4.A - Type of application on front page</p> <p>YES 2.12.4.B - Project name centered at top of front page</p> <p>YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet</p> <p>YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan</p> <p>YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet</p> <p>YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet</p> <p>YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval</p> <p>YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.</p> <p>YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township</p> <p>YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp</p> <p>YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering</p> <p>INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 9/22/25-add waivers if requested in future</p> <p>YES 2.12.4.L(1) - Parcel number</p> <p>YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer</p> <p>YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application</p> <p>YES 6.2.1.B - Plans shall be legible and meet typical industry standards</p> <p>YES 6.2.1.C - Standardized sheet size shall be 24" x 36"</p> <p>YES 6.2.1.F - North arrow and graphic drawing and written scale</p> <p>N/A Legal Documents</p> <p>INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.</p>			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	11/12/2025	11/20/2025	Informational
<p><i>Comments</i></p> <p>IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	11/12/2025	11/14/2025	Requires Re-submit
<p><i>Corrections</i></p> <p>6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - This item will be reviewed upon resubmittal</p> <p><i>Corrections</i></p> <p>Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.</p> <p><i>Corrections</i></p> <p>6.13.8.B(7) - Minimum Pipe Size (Not Resolved) - 6.13.8.B(7) - Minimum Pipe Size: Stormwater conveyance pipes and cross culverts shall be a minimum of 15 inches diameter or equivalent.</p> <p><i>Corrections</i></p> <p>2.12.13/14/15 - General Exhibits (Not Resolved) - 2.12.13/14/15 - General Exhibits : Please provide a USGS Quad Map</p> <p><i>Corrections</i></p> <p>Additional Stormwater comments (Not Resolved) - If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.</p>				
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	11/12/2025	11/26/2025	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	11/12/2025	11/21/2025	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	11/12/2025	11/18/2025	Requires Re-submit
<p><i>Corrections</i></p> <p>6.14.7 - Construction Inspection - PLAN NOTE: (Not Resolved) - 6.14.7 - Construction Inspection - PLAN NOTE: ADD TO 09-C6.0</p> <p><i>Corrections</i></p> <p>6.14.2 - Connection Requirements (Resolved) - 6.14.2 - Connection Requirements:</p> <p><i>Corrections</i></p> <p>6.15.6.B - Irrigation Water Metering - size (Resolved) - 6.15.6.B - Irrigation Water Metering - size:</p> <p><i>Corrections</i></p> <p>6.14.4 - Capacity charges - irrigation (Resolved) - 6.14.4 - Capacity charges - irrigation: Projects using MCU irrigation shall must show the irrigation tap, meter placement, size, and backflow. Indicate total SF of irrigated area in anticipation of the irrigation meter request through Customer Service.</p> <p><i>Corrections</i></p> <p>Review Fee as applicable (per Resolution) (Not Resolved) - Review Fee as applicable (per Resolution): MCU review fee for this submittal</p> <p><i>Corrections</i></p> <p>6.14.2.C(2) - Industrial Pretreatment/FOG (Not Resolved) - 6.14.2.C(2) - Industrial Pretreatment/FOG:</p> <p><i>Recommendations</i></p> <p>Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting.</p> <p><i>Recommendations</i></p> <p>Capital charges and flow rates will be calculated during the permitting stage, before approval.</p>				

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	01/07/2026	01/05/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	01/07/2026	01/12/2026	Approved
Fire Marshal (Plans) (Fire)	Roxanna Coleman	01/07/2026	12/30/2025	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	01/07/2026	12/30/2025	Requires Re-submit
<p><i>Corrections</i> 2.1.3 - Order of plan approval and consistency (Not Resolved) - CONDITIONAL APPROVAL - Subject to LDC waiver to allow plan approval out of order. A final plat is in review (AR 33011) but has not been approved. Additionally, if permit issuance is desired, this will also require a waiver for approval out of order and should be subject to no final inspection/CO until final plat is completed and recorded. The final plat has been through an initial review and a resubmittal review with the most recent comments issued on 10/9/2025.</p>				
Landscape (Plans) (Parks and Recreation)	Susan Heyen	01/07/2026	12/31/2025	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	01/07/2026	01/07/2026	Approved

SUBMITTAL SUMMARY REPORT (33354)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	01/07/2026	01/14/2026	Informational

Comments DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
 REVIEW ITEM: Major Site Plan
 STATUS OF REVIEW: INFO
 REMARKS: Project Map Checked -EMW 9.12.25

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or

federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	01/07/2026	12/30/2025	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	01/07/2026	01/06/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	01/07/2026	12/30/2025	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	01/07/2026	01/07/2026	Approved

Comments The project will be served by Marion County Utilities for water and wastewater service. MCU staff has reviewed and approved the utility plans. This project's utility connections are contingent upon the utility main extensions proposed under Project 32039 – Firestone Ocala Freedom. If Project 32039 does not complete the approved utility main extensions as approved by the DRC, Project 33354 will be responsible for completing the required utility main extensions and connections.

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	01/07/2026	01/07/2026	Approved
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Resolved) - 6.14.7 - Construction Inspection - PLAN NOTE: ADD TO 09-C6.0			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Resolved) - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.4 - Capacity charges - irrigation (Resolved) - 6.14.4 - Capacity charges - irrigation: Projects using MCU irrigation shall must show the irrigation tap, meter placement, size, and backflow. Indicate total SF of irrigated area in anticipation of the irrigation meter request through Customer Service.			
<i>Corrections</i>	6.14.2 - Connection Requirements (Resolved) - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	6.14.2.C(2) - Industrial Pretreatment/FOG (Resolved) - 6.14.2.C(2) - Industrial Pretreatment/FOG:			
<i>Corrections</i>	6.15.6.B - Irrigation Water Metering - size (Resolved) - 6.15.6.B - Irrigation Water Metering - size:			
<i>Recommendations</i>	Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting.			
<i>Recommendations</i>	Capital charges and flow rates will be calculated during the permitting stage, before approval.			
<i>Recommendations</i>	Add not to cover sheet - Portion of 35699-006-04.			

OCE: Plan Review (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	01/29/2026	01/27/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	01/29/2026	01/29/2026	Approved
Fire Marshal (Plans) (Fire)	Roxanna Coleman	01/29/2026	01/22/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	01/29/2026	01/23/2026	Approved
<i>Corrections</i>	2.1.3 - Order of plan approval and consistency (Resolved) - CONDITIONAL APPROVAL - Subject to LDC waiver to allow plan approval out of order. A final plat is in review (AR 33011) but has not been approved. Additionally, if permit issuance is desired, this will also require a waiver for approval out of order and should be subject to no final inspection/CO until final plat is completed and recorded. The final plat has been through an initial review and a resubmittal review with the most recent comments issued on 10/9/2025. **Final Plat approved 01/12/2026**			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	01/29/2026	01/26/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	01/29/2026	02/02/2026	Approved

SUBMITTAL SUMMARY REPORT (33354)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	01/29/2026	01/30/2026	Informational

Comments REMARKS: Project Map Checked -EMW 9.12.25

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or

federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	01/29/2026	01/22/2026	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	01/29/2026	01/26/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	01/29/2026	01/25/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	01/29/2026	01/27/2026	Approved

Comments Previously approved by staff. The project will connect to Marion County Utilities public water and sanitary sewer.

Corrections 6.14.2 - Connection Requirements (Resolved) - 6.14.2 - Connection Requirements:

Corrections 6.14.2.C(2) - Industrial Pretreatment/FOG (Resolved) - 6.14.2.C(2) - Industrial Pretreatment/FOG:

Corrections 6.14.4 - Capacity charges - irrigation (Resolved) - 6.14.4 - Capacity charges - irrigation: Projects using MCU irrigation shall must show the irrigation tap, meter placement, size, and backflow. Indicate total SF of irrigated area in anticipation of the irrigation meter request through Customer Service.



**Marion County
Board of County Commissioners**

33354

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 08/06/2025

A. PROJECT INFORMATION:

Project Name: Heartland Dental Ocala Freedom
Parcel Number(s): 35699-006-04
Section 21 Township 16 Range 21 Land Use Commercial Zoning Classification B2
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: Master Site Plan
Property Acreage +/- 1.46 Acres Number of Lots 1 Miles of Roads _____
Location of Property with Crossroads NWC of SW 95th St and 57th Ave in Ocala Fl
Additional information regarding this submittal: _____

B. CONTACT INFORMATION (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

Engineer:
Firm Name: Common Oak Engineering Contact Name: Raven Lowry, Permit Coordinator
Jeremy Anderson, P.E.
Mailing Address: 4020 Edgewater Drive City: Orlando State: FL Zip Code: 32804
Phone # 407-951-5915 Alternate Phone # _____
Email(s) for contact via ePlans: permits@commonoakengineering.com

Surveyor:
Firm Name: R.M. Barrineau and Associates Contact Name: Travis Barrineau, P.S.M.
Mailing Address: 1309 SE 25th Loop, Ste 103 City: Ocala State: FL Zip Code: _____
Phone # (352) 622-3133 Alternate Phone # _____
Email(s) for contact via ePlans: travis@rmbarrineau.com

Property Owner:
Owner: NATION NOEL TR ET AL. Contact Name: _____
Mailing Address: 2441 NE 3RD ST STE 201 City: Ocala State: FL Zip Code: 34470
Phone # _____ Alternate Phone # _____
Email address: _____

Developer:
Developer: Palmetto Capital Group Contact Name: Jeff Lazenby
Mailing Address: 632 E. Main St., Ste 301 City: Lakeland State: FL Zip Code: 33801
Phone # (863) 808-1320 Alternate Phone # _____
Email address: jeff@palmettocg.com

Revised 6/2021

SUBMITTAL SUMMARY REPORT (33354)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	01/29/2026	01/27/2026	Approved
<i>Corrections</i>	6.15.6.B - Irrigation Water Metering - size (Resolved) - 6.15.6.B - Irrigation Water Metering - size:			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Resolved) - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Resolved) - 6.14.7 - Construction Inspection - PLAN NOTE: ADD TO 09-C6.0			
<i>Recommendations</i>	Capital charges and flow rates will be calculated during the permitting stage, before approval.			
<i>Recommendations</i>	Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting.			
<i>Recommendations</i>	Add not to cover sheet - Portion of 35699-006-04.			

PLAN SHEET INDEX

C1.0	COVER SHEET	D1.0	DETAILS (SITE)
C2.0	GENERAL NOTES	D1.1	DETAILS (NOT)
C2.1	GENERAL NOTES	D1.2	DETAILS (FOOT)
C2.2	GENERAL NOTES	D1.3	DETAILS (EGOT)
C3.0	DEMO PLAN	D2.0	DETAILS (GRADING)
C4.0	OVERALL SITE PLAN	D2.1	DETAILS (PROFILES)
C4.1	SITE PLAN	D3.0	DETAILS (UTILTY)
C5.0	GRADING PLAN	D3.1	DETAILS (UTILTY)
C6.0	UTILITY PLAN		
C7.0	LANDSCAPE PLAN		
C8.0	EROSION CONTROL PLAN		
C8.1	EROSION CONTROL DETAILS		

TOTAL SHEETS: 27

LEGEND:

- NO. OF PARKING SPACES
- #/CLX DETAIL NO. / SHEET
- HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SURFACE
- W WATER LINE
- E ELECTRIC LINE
- SS WASTEWATER LINE
- FM BURIED FORCE MAIN
- TELE TELEPHONE LINE
- FIRE HYDRANT
- VALVE
- WATER METER
- BACKFLOW PREVENTER WITH CONCRETE PAD
- 7.40 TOP OF ADMAL CONCRETE SPOT ELEVATION
- 7.40 TOP OF CURBSIDEWALK (ON TOP) / BOTTOM OF CURB (ON BOTTOM)
- FLOW ARROW
- △ REVISION NUMBER
- PC FIRE DEPARTMENT CONNECTION

AREAS	SITE DATA TABLE			
	EXISTING CONDITION	PROPOSED CONDITION		
LOT 1 (REAR)	45.30	25.14	20.14	25.14
TOTAL IMPERVIOUS (85% MAX)	45.30	25.14	20.14	25.14
TOTAL PERVIOUS AREA	45.30	25.14	20.14	25.14

GENERAL REVISION LOG

NO.	DATE	REVISION / ISSUE	SHEETS REVISED	BY
1	02/20/2025	MARKING COUNTY COMMENTS	15A, 15B, 15C	JR
2	02/20/2025	MARKING COUNTY COMMENTS	15A, 15B, 15C	JR

NOTES:

1. THIS PARCEL IS IN THE SECONDARY SPRINGS PROTECTION OVERLAY ZONE (SPOD).
2. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

CONCURRENCY DEFERRAL STATEMENT:

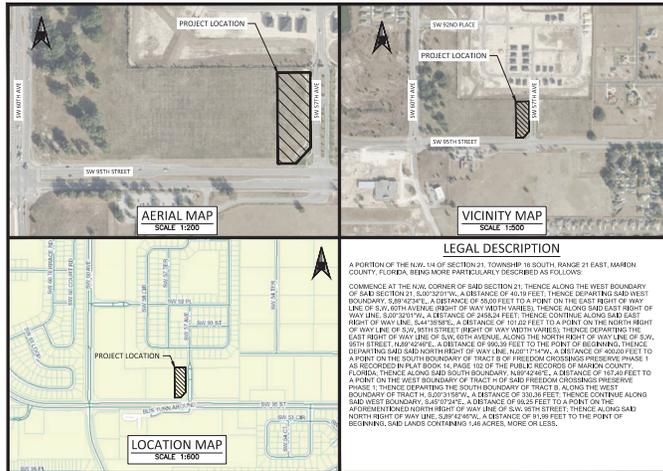
THE PROPOSED PROJECT HAS BEEN GRANTED CONCURRENCY APPROVAL AND GRANTEES RECEIVED ANY PUBLIC HEALTH CAPACITIES, FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO DEFERRED CONCURRENCY OF TERMINAL AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE SCHEDULE OF THE CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT OR NEW STAGES (SUCH AS, BUT NOT LIMITED TO BUILDING PERMIT AND FINAL PLAT REVIEW).

LIST OF WAIVERS

SECTION & TITLE OF CODE	DATE APPROVED
LOC. SEC. 16.17 (2) - CHADDER TREE LIMITED FROM TERMINAL PARKING ISLAND APPROVED REMAINING THE CANOPY TREE AND REPLACING WITH 40% DIMENSIONAL TREE	1/15/2025

APPROVED REZONING CASE 190701Z

**MAJOR SITE PLAN
HEARTLAND DENTAL
STORE #TBD
AT
NWC OF SW 95TH ST & SW 57TH AVE
OCALA, FL 34476
MARION COUNTY PARCEL #: 35699-006-04**



LEGAL DESCRIPTION

A PORTION OF THE NW 1/4 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NW CORNER OF SAID SECTION 21, THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 21, 630.00 FEET, A DISTANCE OF 45.19 FEET, THENCE DEPARTING SAID WEST BOUNDARY, 348.74 FEET, A DISTANCE OF 34.84 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF SW 57TH AVENUE, RIGHT OF WAY BIRTH VARIED, THENCE ALONG SAID EAST RIGHT OF WAY LINE, 320.22 FEET, A DISTANCE OF 348.44 FEET, THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE, 348.00 FEET, A DISTANCE OF 10.22 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF SW 95TH STREET (RIGHT OF WAY WITH VARIED), THENCE DEPARTING THE EAST RIGHT OF WAY LINE OF SW 95TH AVENUE, ALONG THE NORTH RIGHT OF WAY LINE OF SW 95TH STREET, 149.42 FEET, A DISTANCE OF 90.94 FEET TO THE POINT OF BEGINNING, THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE, 149.42 FEET, A DISTANCE OF 80.00 FEET TO A POINT ON THE SOUTH BOUNDARY OF TRACT B OF THE BORN CROSSINGS PRESERVE, PHASE 1 AS RECORDED IN PLAT BOOK 14, PAGE 102 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE ALONG SAID SOUTH BOUNDARY, 149.42 FEET, A DISTANCE OF 67.41 FEET TO A POINT ON THE WEST BOUNDARY OF TRACT H OF SAID BORN CROSSINGS PRESERVE, PHASE 1, THENCE DEPARTING THE SOUTH BOUNDARY OF TRACT B, ALONG THE WEST BOUNDARY OF TRACT H, 320.22 FEET, A DISTANCE OF 330.38 FEET, THENCE CONTINUE ALONG SAID WEST BOUNDARY, 348.00 FEET, A DISTANCE OF 90.94 FEET TO A POINT ON THE APPOINTED NORTH RIGHT OF WAY LINE OF SW 95TH STREET, THENCE ALONG SAID NORTH RIGHT OF WAY LINE, 348.00 FEET, A DISTANCE OF 10.22 FEET TO THE POINT OF BEGINNING, SAID LANDS CONTAINING 1.46 ACRES, MORE OR LESS.

PROJECT DIRECTORY

OWNER / DEVELOPER:	PALMETTO CAPITAL GROUP 1545 WILLIAMSBURG SQUARE LAKE AND, FL 32803 PHONE: (888) 806-1330
CIVIL ENGINEER:	COMBINE ONE ENGINEERING, LLC 400 EDgewater DRIVE ORLANDO, FL 32835 PHONE: (407) 851-5815
GEOTECH ENGINEER:	PROFESSIONAL SERVICE INDUSTRIES, INC. 1740 30th STREET ORLANDO, FL 32835 PHONE: (407) 266-5999 FAX: (407) 266-5999
SURVEYOR:	R.L. BARBEREAU AND ASSOCIATES 1309 SE 28TH LOOP SUITE 103 OCALA, FL 34471 PHONE: (352) 622-1133
ARCHITECT:	QNO GROUP 520 SOUTH MAIN STREET, SUITE 2531 ANDOR, OR 97131 PHONE: (330) 573-2100

CONSENT CERTIFICATION

I HEREBY CERTIFY THAT THE PROPOSED PROJECT AND ALLASERS SHALL PERFECTLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN

DATE: _____

LICENSED DESIGN PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED

DATE: _____

UTILITY PROVIDERS

WATER & SEWER:	MARION COUNTY UTILITY 1100 SE U.S. HIGHWAY 441 BELLEVILLE, FL 34420 CUSTOMER SERVICE PHONE: (352) 307-6000 CALL 352-7790
ELECTRIC:	FLORIDA ELECTRIC COOPERATIVE INC. 330 SOUTH US HIGHWAY 301 BARTERVILLE, FL 32808 HILLARY BREWER PHONE: (352) 790-8001 35968
STORM:	MARION COUNTY OFFICE OF THE COUNTY ENGINEER 415 SE 26TH AVENUE OCALA, FL 34471 JAMES HULSEY PHONE: (352) 671-4666 JAMES.HULSEY@MARIONCOUNTYFL.GOV
COMMUNICATIONS:	CENTURION CABLE PROTECTION CENTER PHONE: (877) 366-4344 43

This item has been digitally signed and sealed by Jeremy R. Anderson, PE, on the date adjacent to the seal.
Signature must be verified on any electronic copies.

PALMETTO CAPITAL GROUP
1545 WILLIAMSBURG SQUARE
LAKE AND, FL 32803
PHONE: (888) 806-1330



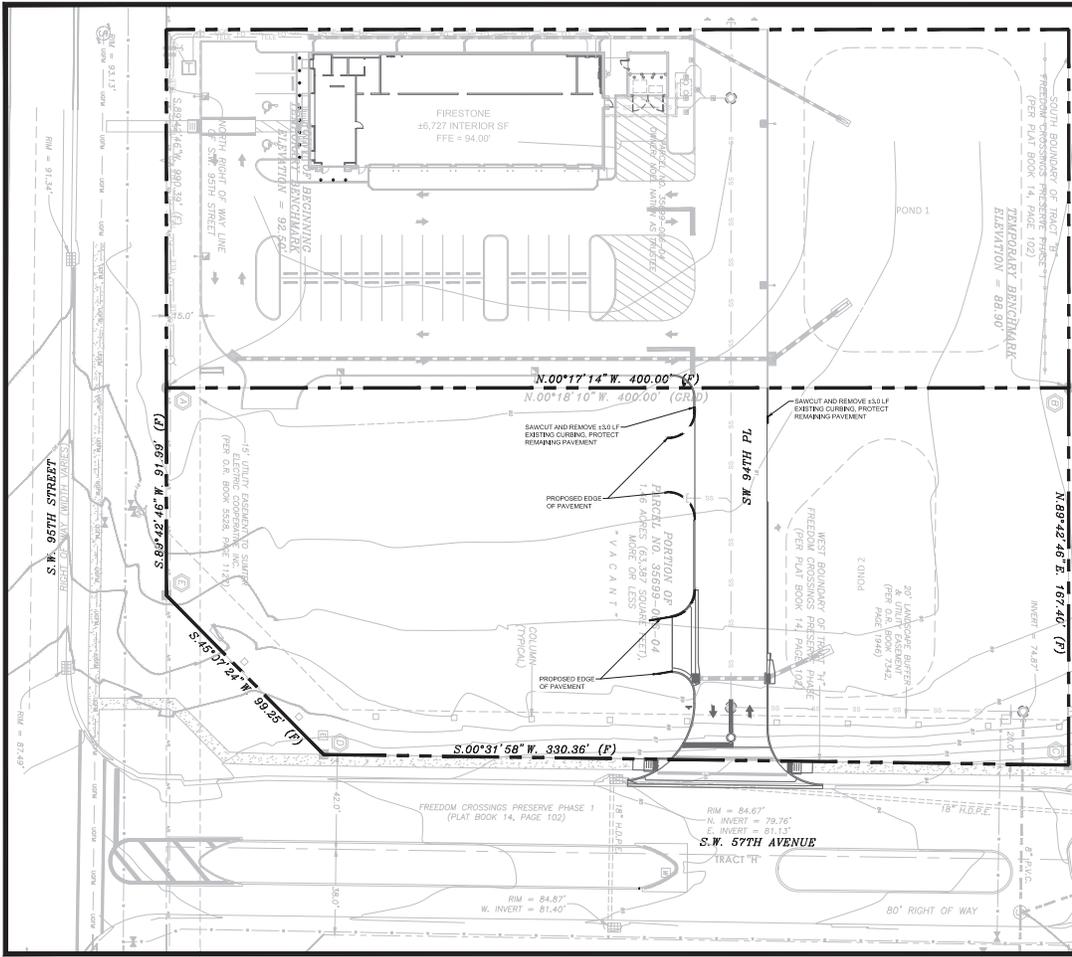
HEARTLAND DENTAL
1545 WILLIAMSBURG SQUARE
LAKE AND, FL 32803
MARION COUNTY PARCEL #: 35699-006-04

DATE: _____

DATE: _____



225,085
12/23/2025
N.T.S.
C1.0
COVER SHEET



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.
ELEVATIONS BASED ON
NAVD85 VERTICAL DATUM
CONVERSION:
NGVD29-NAVD85 = 1.00 FT

SECTION 10, 2005-01-01
PROPOSED
FREEDOM CROSSINGS PRESERVE
PHASE 1
TRACT B
(PLAT BOOK 14, PAGE 102)
OWN: NAVIGATIONAL
TY OWNERS ASSOCIATION
CONTRACTOR:
SOUTH BAY AREA PLANNING
AND ENGINEERING, INC.
10000 S. 10TH AVENUE
SUITE 100
MCKINNEY, TEXAS 75069
PHONE: (972) 441-1177
WWW.SBAPE.COM

PROPOSED
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BURIED UTILITIES NOTE
ALL UTILITIES SHOWN ON THIS PLAN ARE ASSUMED TO BE BURIED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG.
CALL 800-4-A-SHIELD (4773) OR 1-800-4-A-SHIELD (4773) FOR MORE INFORMATION.
IF YOU ARE NOT SURE, CALL 811.

NOTE: ALL DISTURBED AREAS TO BE SOILED AND RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITION.

NOTE TO GENERAL CONTRACTORS:
CONTRACTOR TO REFER TO REMAINING SHEETS OF THIS SET FOR THE WORK SHOWN HEREIN WITH THE WORK SHOWN ON THE REMAINDER OF THESE CONSTRUCTION DOCUMENTS. IF ANY DISCREPANCIES BETWEEN THE WORK SHOWN ON THIS AND OTHER PAGES IS FOUND, OR IF THE CONTRACTOR HAS ANY QUESTIONS OF ANY KIND, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING PRIOR TO THE PERFORMANCE OF ANY WORK.

NOTE: THE PAGES TITLED "GENERAL NOTES" AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL BIDDERS AND SUBCONTRACTORS.

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WWW.SBAPE.COM

PALMETTO CAPITAL GROUP
1000 W. WALKER STREET
SUITE 100
MCKINNEY, TEXAS 75069
PHONE: (972) 808-1320



NO.	DATE	DESCRIPTION
1	12/23/2025	ISSUED FOR BIDDING
2	1/15/2027	REVISION

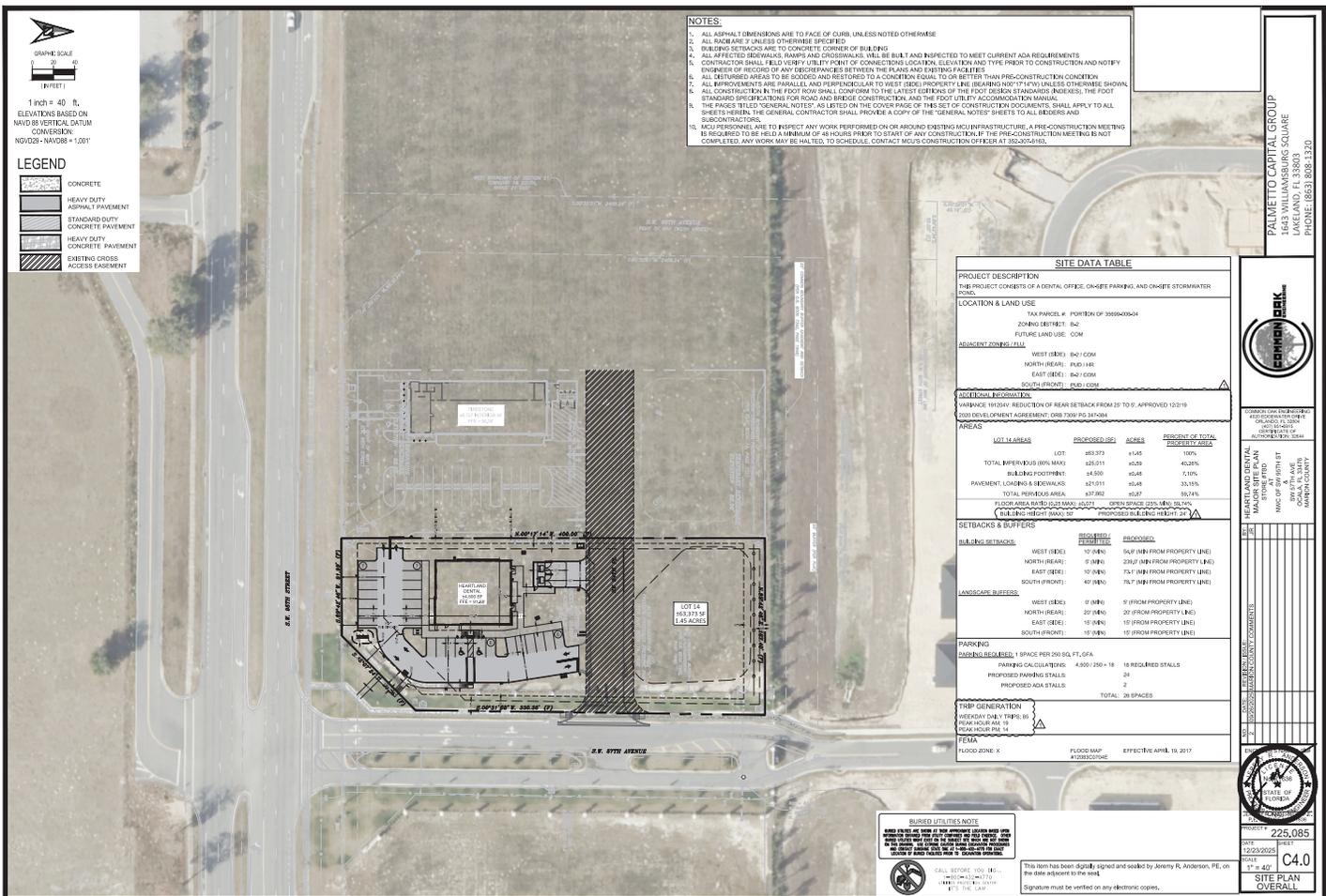


225,085
12/23/2025
1/15/2027
C3.0
DEMO PLAN

GRAPHIC SCALE
 0 20 40
 (IN FEET)
 1 inch = 40 ft.
 ELEVATIONS BASED ON
 NAVD83 VERTICAL DATUM
 CONVERSION
 NAVD83 - NAVD98 = 1.001'

- LEGEND**
- CONCRETE
 - HEAVY DUTY ASPHALT PAVEMENT
 - STANDARD DUTY CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - SHIFTING CROSS ACCESS EASEMENT

- NOTES**
1. ALL ASPHALT DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE
 2. ALL RAMP ARE 7 UNLESS OTHERWISE SPECIFIED
 3. BUILDING SETBACKS ARE TO CONCRETE CORNER OF BUILDING
 4. ALL AFFECTED SIDEWALKS, RAMP AND CROSSLINGS SHALL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS
 5. CONTRACTOR SHALL FIELD VERIFY UTILITY DEPTH OF EXISTING UTILITIES AND TYPE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING FACILITIES
 6. ALL SETBACK AREAS TO BE SOGGED AND RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITION
 7. ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO WEST (SIDE) PROPERTY LINE (BEARING N00°17'10"W UNLESS OTHERWISE SHOWN)
 8. ALL CONSTRUCTION IN THE FOOT ROW SHALL CONFORM TO THE LATEST EDITION OF THE FOOT ROW DESIGN STANDARDS (BOOKS); THE FOOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FOOT UTILITY ACCOMMODATION MANUAL
 9. THE PAGES TITLED "GENERAL NOTES" AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL BIDDERS AND SUBCONTRACTORS
 10. MCI PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING AC/INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCI'S CONSTRUCTION OFFICER AT 853-347-8882.



SITE DATA TABLE

PROJECT DESCRIPTION
 THE PROJECT CONSISTS OF A DENTAL OFFICE, ON-STREET PARKING, AND ON-SITE STORMWATER POND.

LOCATION & LAND USE
 TAX PARCEL # PORTION OF 35594-0054
 ZONING DISTRICT: S-2
 FUTURE LAND USE: COM

ADJACENT ZONINGS/USE
 WEST (SIDE): R-2/COM
 NORTH (SIDE): R-2/COM
 EAST (SIDE): R-2/COM
 SOUTH (FRONT): R-2/COM

ADDITIONAL REGULATIONS
 2000 DEVELOPMENT AGREEMENT: OEB 7300 PD 347-04

AREAS

MT. SQUARES	SQ. FEET	ACRES	PERCENT OF TOTAL PROPERTY AREA
LOT	223,372	4.48	100%
TOTAL IMPERVIOUS (80% MAX)	225,511	4.53	45.25%
BUILDING FOOTPRINT	14,500	0.28	7.10%
PAVEMENT (CONCRETE & ASPHALT)	212,011	4.24	38.15%
TOTAL PERVIOUS AREA	237,862	4.67	54.75%

FLOOR AREA RATIO (FAR) (2000 MCI) 0.071 **OPEN SPACE (25% MIN.) (2014)** 2.22%
MINIMUM HEIGHT (MIN.) (2014) 10' **PROPOSED BUILDING HEIGHT (2014)** 12'

SETBACKS & BUFFERS

BUILDING SETBACKS

DIRECTION	PROPOSED	REQUIRED
WEST (SIDE)	15' (0%)	5.0' (MIN FROM PROPERTY LINE)
NORTH (SIDE)	5' (0%)	23.0' (MIN FROM PROPERTY LINE)
EAST (SIDE)	10' (0%)	7.5' (MIN FROM PROPERTY LINE)
SOUTH (FRONT)	47' (0%)	7.5' (MIN FROM PROPERTY LINE)

LANDSCAPE BUFFERS

DIRECTION	PROPOSED	REQUIRED
WEST (SIDE)	0' (0%)	0' (FROM PROPERTY LINE)
NORTH (SIDE)	20' (0%)	20' (FROM PROPERTY LINE)
EAST (SIDE)	15' (0%)	15' (FROM PROPERTY LINE)
SOUTH (FRONT)	15' (0%)	15' (FROM PROPERTY LINE)

PARKING
PARKING REQUIRED: 1 SPACE PER 250 SQ. FT. GFA
 PARKING CALCULATIONS: 4,950 / 250 = 19.8 REQUIRED STALLS
 PROPOSED PARKING STALLS: 24
 PROPOSED ADA STALLS: 2
 TOTAL: 26 SPACES

TEMPORARY GENERATION
 WEEKDAY ONLY TIMES: 08:00 AM - 05:00 PM
 SEAM-HOUR: PUL 14

FEMA
 FLOOD ZONE: X FLOOD MAP #1308200202E EFFECTIVE APRIL 18, 2017

PALMETTO CAPITAL GROUP
 1000 W. WINDYBROOK SQUARE
 SUITE 200
 WINDYBROOK, FL 32091
 PHONE: (853) 808-1320

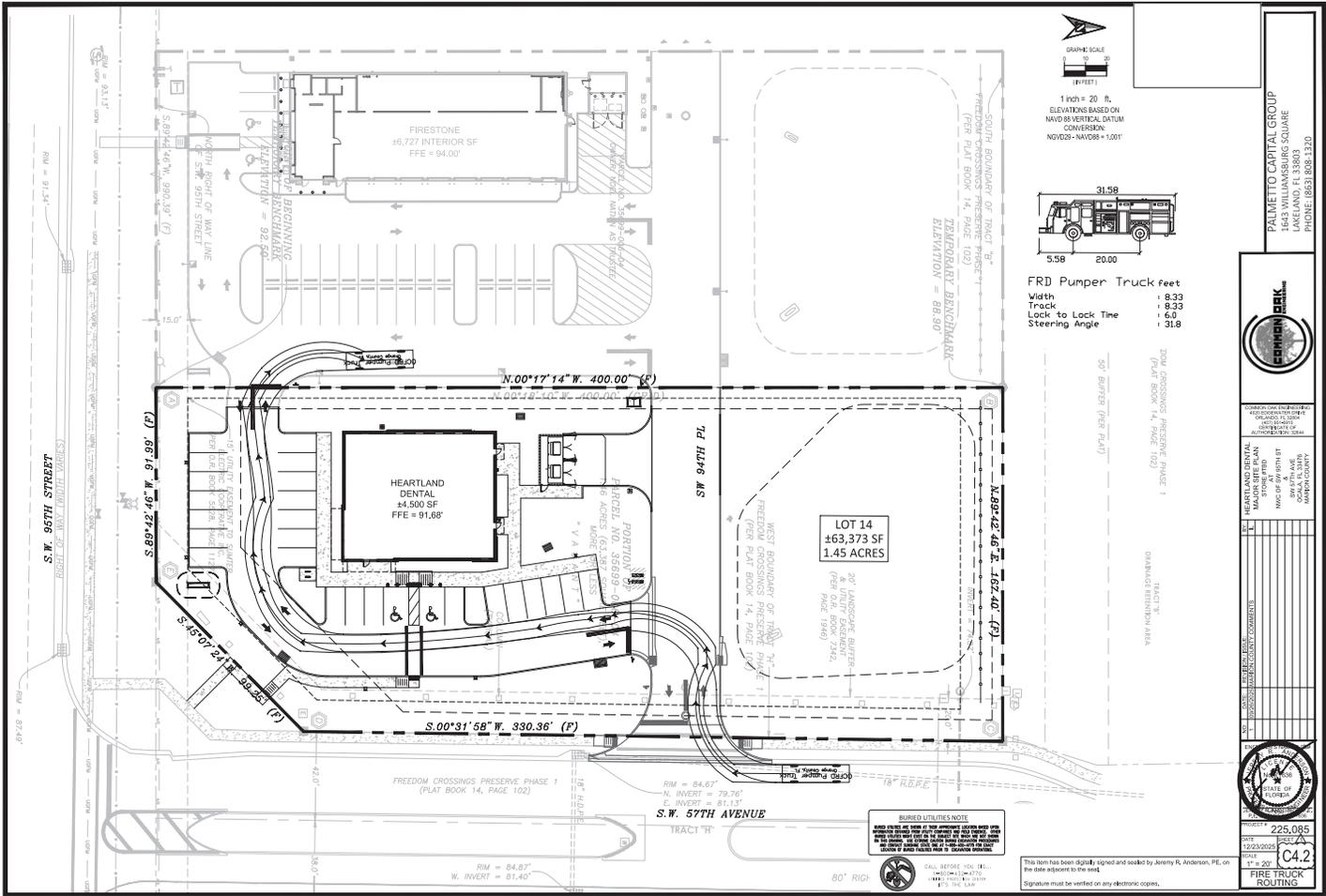


RECORD DRAWING

DATE: 12/23/2025
 TIME: 4:47
 SHEET: 1 OF 4
 PROJECT: 225,085
 DRAWING: C4.0
 SITE PLAN OVERALL

BURIED UTILITIES NOTE
 CALL BEFORE YOU DIG
 1-800-4-A-DIG
 1-800-473-6847
 WWW.CALLBEFOREYODIG.COM

This item has been digitally signed and sealed by Jeremy R. Anderson, PE, on the date adjacent to the seal.
 Signature must be verified on any electronic copies.



ELEVATIONS BASED ON NAVD83 VERTICAL DATUM
CONVERSION: NGVD23-NAVD83 = 1.001'



Width : 8.33
Track : 8.33
Lock to Lock Time : 6.8
Steering Angle : 31.8

BURIED UTILITIES NOTE
ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF UTILITIES ARE NOT GUARANTEED. CALL BEFORE YOU DIG.

This item has been digitally signed and sealed by Jeremy R. Anderson, PE, on the date adjacent to the seal.
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PALMETTO CAPITAL GROUP
JAMES W. ANDERSON, PE
1000 W. WASHINGTON SQUARE
TALLAHASSEE, FL 32304
PHONE: (850) 808-1330

EDMUND BERK

HEARTLAND DENTAL
#4,500 SF
1.45 ACRES
S.W. 94TH PL
S.W. 57TH AVE
MORNING STAR
MORNING STAR
MORNING STAR

225,085
12/23/2025
1:20
C4.2
FIRE TRUCK ROUTING

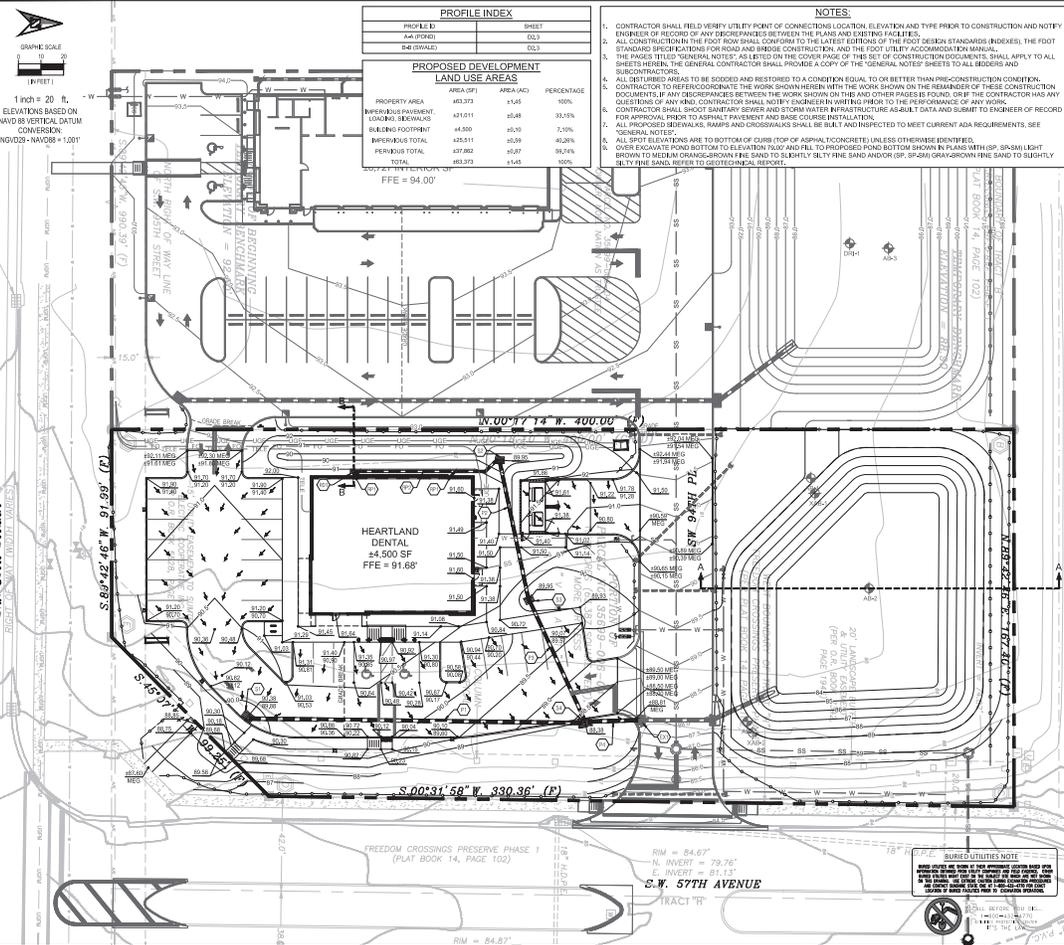


1 inch = 20 ft.
ELEVATIONS BASED ON
NAVD8 VERTICAL DATUM
CONVERSION
NGVD28 - NAVD88 = 1.001'

PROFILE INDEX		
PROFILE #	DESCRIPTION	SHEET
AA (GRADE)		05.3
BB (GRADE)		05.3

PROPOSED DEVELOPMENT LAND USE AREAS			
PROPERTY AREA	AREA AC	PERCENTAGE	
463.373	1.68	100%	
IMPERVIOUS PAVEMENT (INCLUDING DRIVEWAYS)	421.011	91.0%	
BUILDING FOOTPRINT	44.500	9.6%	
PERVIOUS TOTAL	42.511	9.2%	
PERVIOUS TOTAL	437.962	93.4%	
TOTAL	463.373	100%	

- NOTES:**
- CONTRACTOR SHALL FIELD VERIFY UTILITY POINT OF CONNECTION LOCATION, ELEVATION AND TYPE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RECORD IF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING FACILITIES.
 - ALL CONSTRUCTION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOOT UTILITY ACCOMMODATION MANUAL.
 - THE PROJECT'S GENERAL NOTES AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL BIDDERS AND SUBCONTRACTORS.
 - ALL DISTURBED AREAS TO BE SOILED AND RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITION.
 - CONTRACTOR TO RE-VEGETATE THE WORK SHOWN HEREIN WITH THE WORK SHOWN ON THE REMAINDER OF THESE CONSTRUCTION DOCUMENTS, IF ANY DISCREPANCIES BETWEEN THE WORK SHOWN ON THE AND OTHER PAGES IS FOUND, OR IF THE CONTRACTOR HAS ANY QUESTIONS OF ANY KIND, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING PRIOR TO THE PERFORMANCE OF ANY WORK.
 - CONTRACTOR SHALL SUBMIT SANITARY SEWER AND STORM WATER INFRASTRUCTURE AS-BUILT DATA AND SUBMIT TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO ASPHALT PAVEMENT AND BASE COURSE INSTALLATION.
 - ALL IMPROVED DRIVEWAYS, RAMPS AND CROSSWALKS SHALL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS. SEE "GENERAL NOTES".
 - ALL SPOT LEVELS ARE TO BOTTOM OF CURB TOP OR ASPHALT COVER TO UNLESS OTHERWISE SPECIFIED.
 - OVER EXCAVATE POND BOTTOM TO ELEVATION 74.00' AND FILL TO PROPOSED POND BOTTOM SHOWN IN PLANS WITH (SP. SP.3M) LIGHT BROWN TO MEDIUM ORANGE-BROWN FINE SAND TO SLEIGHTLY SILTY FINE SAND AND/OR (SP. SP.25M) GRAY-BROWN FINE SAND TO SLEIGHTLY SILTY FINE SAND. REFER TO GEOTECHNICAL REPORT.



- GRADING PLAN KEYNOTES**
- S1 STRUCTURE NO. 1
TYPE "B" PALET WITH SUMPED 60.2' TYPE "B" ALTERNATE "A"
ROUND STRUCTURE BOTTOM 1003 - 88.00' - 80.2'
DETAIL 1 (D2) (FOOT INDEX 454-574 & 454-562) (D2.1)
S1 TO S4
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) U7103, U7104 (D2.0)
 - R01 ROOF DRAIN NO. 1
DRAINAGE CLEAN OUT WITH TRAFFIC RATED COVER
RECEIVER (PROPOSED 12" ADS&H PIPE) = 87.87
DETAIL 2 (D2)
 - R01 ROOF DRAIN FIVE
DOWNSPROUT TO R02
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) U7103, U7104 (D2.0)
CONTRACTOR TO COORDINATE ROOF DRAIN LOCATIONS WITH
ARCHITECTURAL PLANS AND NOTIFY ENGINEER OF ANY
CONFLICTS
 - R02 ROOF DRAIN FIVE
R01 TO S3
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) U7103, U7104 (D2.0)
CONTRACTOR TO COORDINATE ROOF DRAIN LOCATIONS WITH
ARCHITECTURAL PLANS AND NOTIFY ENGINEER OF ANY
CONFLICTS
 - S2 STRUCTURE NO. 2
TYPE "C" PALET WITH SUMPED 60.2' TYPE "B" ALTERNATE "A"
ROUND STRUCTURE BOTTOM 1003 - 88.00' - 80.2'
DETAIL 1 (D2) (FOOT INDEX 454-574 & 454-562) (D2.1)
S2 TO S3
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) U7103, U7104 (D2.0)
 - S3 STRUCTURE NO. 3
TYPE "C" PALET WITH SUMPED 60.2' TYPE "B" ALTERNATE "A"
ROUND STRUCTURE BOTTOM 1003 - 88.00' - 80.2'
DETAIL 1 (D2) (FOOT INDEX 454-574 & 454-562) (D2.1)
S3 TO S4
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) U7103, U7104 (D2.0)
 - S4 STRUCTURE NO. 4
TYPE "B" PALET 1003 - 88.38' - 80.1' - 83.20'
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) (FOOT INDEX 454-574 & 454-562) (D2.1)
S4 TO S5
0.5% SLOPE OF 18" ADS&H PIPE AT 0.33% SLOPE
DETAIL 1 (D2) U7103, U7104 (D2.0)
 - E01 EXISTING STRUCTURE NO. 1
TYPE "C" CUTTER INLET
0.5% STRUCTURE BOTTOM 1003 - 88.10' - 80.1' - 83.21'
INVERT (EXISTING 18" ADS&H PIPE) = 84.21'

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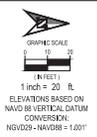
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1000 W. WASHINGTON SQUARE
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225,085
12/23/2025
1" = 20'
C5.0
GRADING PLAN

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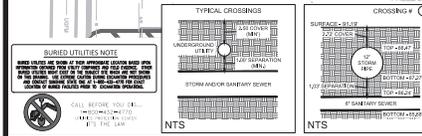
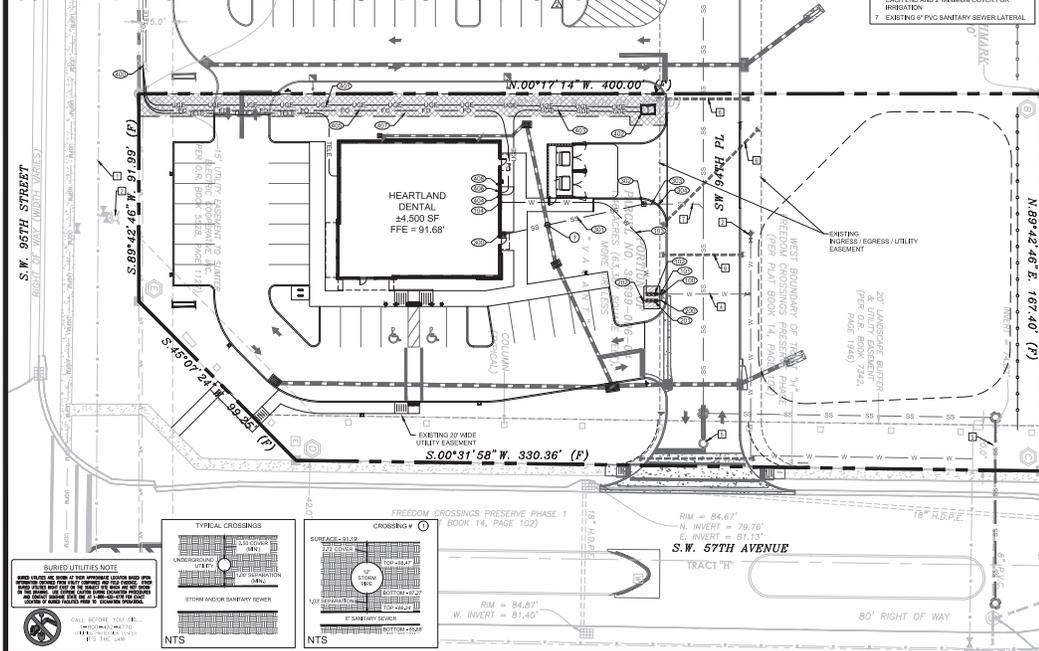
NOTES:

1. CONTRACTOR SHALL FIELD VERIFY UTILITY POINTS OF CONNECTION LOCATION, ELEVATION AND TYPE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING FACILITIES.
2. ALL CONSTRUCTION IN THE FOOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FOOT DESIGN STANDARDS (INDEXES), THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FOOT UTILITY ACCOMMODATION MANUAL.
3. ALL PROFILES SHOWING EXISTING UTILITIES, LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE PROVIDED BASED ON UTILITY LOCATION SERVICE FIELD MARKINGS WHICH WERE LOCATED BY THE SURVEYOR/CONTRACTOR TO CORRELATE DEPTH OF EXISTING UTILITIES AND NOTIFY ENGINEER IF ANY CONFLICTS ARE ANTICIPATED.
4. THE PAGES TITLED "GENERAL NOTES" AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS, SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL RECORDS AND SUBCONTRACTORS.
5. ALL DISTURBED AREAS TO BE SOGGED AND RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITION.
6. CONTRACTOR TO REFER/COORDINATE THE WORK SHOWN HEREIN WITH THE WORK SHOWN ON THE REMAINING SETS OF THESE CONSTRUCTION DOCUMENTS, IF ANY DISCREPANCIES BETWEEN THE WORK SHOWN ON THIS AND OTHER PAGES IS FOUND, OR IF THE CONTRACTOR HAS ANY QUESTIONS OF ANY KIND, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING PRIOR TO THE PERFORMANCE OF ANY WORK.
7. CONTRACTOR SHALL SHOOT SANITARY SEWER AND STORM WATER INFRASTRUCTURE AS ADULT DATA AND SUBMIT TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO ASPHALT PAVEMENT AND BASE COURSE INSTALLATION.
8. ALL PIPE BENDS ARE 45° UNLESS NOTED OTHERWISE.
9. ANY CONSTRUCTION ACTIVITIES NOT LOCATED ON THE ACTUAL PROJECT SITE SHALL BE CONSTRUCTED ENTIRELY WITHIN THE PUBLIC RIGHT OF WAY IN ACCORDANCE WITH THE AHP PERMITS AND REQUIREMENTS.
10. FOR UTILITY CROSSINGS SEE SHEET C&U UTILITY PLAN AND MARION COUNTY DETAIL UT113 ON SHEET C&U.
11. UTILITY EASEMENTS SHOWN FOR SANITARY SEWER AND WATER SUPPLY TO PUBLIC FIRE HYDRANT ARE DEDICATED TO THE PUBLIC FOR MAINTENANCE AND OPERATION BY THE UTILITY AGENCY.
12. ANIMAL WASTE TREATMENT FACILITY:
 - 12.1. INSTALL AN ISO 1153 OR ANEQA ADA STANDARD NO. 106 CERTIFIED ANIMAL GAIN SEPARATOR DEVICE CAPABLE OF REMOVING A MINIMUM OF NINETY-FIVE (95) PERCENT OF ANIMAL GAIN. THE ANIMAL GAIN SEPARATOR DEVICE SHALL BE CERTIFIED AT FLOW RATES COMPARABLE TO THE FLOW RATE OF THE ACTUAL VACUUM SUCTION SYSTEM OPERATION. NEITHER THE SEPARATOR DEVICE NOR THE RELATED PLUMBING SHALL INCLUDE AN AUTOMATIC FLOW BYPASS FOR FACILITIES THAT REQUIRE AN ANIMAL GAIN SEPARATOR THAT EXCEEDS THE PRACTICAL CAPACITY OF ISO 1153 TEST METHODOLOGY. A NON-CERTIFIED SEPARATOR MAY BE ACCEPTED, PROVIDED THAT SMALLER UNIT FROM THE SAME MANUFACTURER AND OF THE SAME TECHNOLOGY ARE INSTALLED.
 - 12.2. PROOF OF CERTIFICATION AND INSTALLATION RECORDS SHALL BE SUBMITTED TO THE DIRECTOR WITHIN THIRTY (30) DAYS OF INSTALLATION.
 - 12.3. ANIMAL SEPARATORS SHALL BE MAINTAINED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. INSTALLATION, CERTIFICATION, AND MAINTENANCE RECORDS SHALL BE AVAILABLE FOR INSPECTOR'S INSPECTION UPON REQUEST. THEREFORE, BY THE DIRECTOR OR SCHEDULED DURING NORMAL BUSINESS HOURS. RECORDS SHALL BE MAINTAINED FOR A MINIMUM OF THREE (3) YEARS.
13. MCH PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCH INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED, TO SCHEDULE CONTACT MCH'S CONSTRUCTION DIVISION, 300 S. HOOPER, EXT. 400 FOR CONSTRUCTION MANAGEMENT SERVICES - CONSTRUCTION INSPECTION.



- LEGEND**
- PROPOSED 10" WIDE PRIVATE UTILITY EASEMENT - ELECTRIC
 - PROPOSED 10" WIDE UTILITY EASEMENT - WATER
- SPECIAL NOTES**
1. EXISTING 12" WATER MAIN
 2. EXISTING PUBLIC FIRE HYDRANT
 3. EXISTING UTILITY POLE
 4. EXISTING 8" PE WATER LINE
 5. EXISTING SANITARY SEWER MANHOLE
 6. EXISTING 8" PVC SLEEVE WITH 1" CAP ON EACH END AND 2" MINIMUM COVER FOR PERISCOPE
 7. EXISTING 8" PVC SANITARY SEWER LATERAL

- NOTES:**
1. IRRIGATED AREA = 24,778 SF (65.67 AC)
- UTILITY PLAN KEYNOTES**
- WATER SERVICE CONNECTION**
100. REMOVE EXISTING 8" CPVC INSTALL 8" x 8" SPPS STEEL AND POLY TO PROPOSED WATER METER AND BRASS ASSEMBLY. CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF EXISTING WATER MAIN BEFORE START OF CONSTRUCTION. REPORT TO ENGINEER IF ANY CONFLICT EXISTS. DETAIL: UT102, UT104, UT104 (C&U)
 101. 8" SLEEVE OF PVC WATER SERVICE LINE. DETAIL: UT102, UT104, UT104 (C&U)
 102. 1" CUBES STOP WATER METER, FIRE ASSEMBLY. DETAIL: UT209, D&U1 "END OF MARION COUNTY MAINTENANCE AT METER
 103. 8" SLEEVE OF PVC WATER SERVICE LINE. DETAIL: UT102, UT104, UT104 (C&U)
 104. CONNECT WATER LINE TO STRUCTURE LOCATION FROM BUILDING. CONTRACTOR SHALL COORDINATE CONNECTION WITH ARCHITECTURAL PLANS FOR LOCATION AND DEPTH OF PROPOSED CONNECTION. REPORT TO ENGINEER IF ANY CONFLICT EXISTS.
- PERMITS/CONNECTIONS**
200. 8" x 4" x 1/2" PE PERISCOPE. DETAIL: UT102, UT103, UT104, D&U1
 201. 1" CUBES STOP AND BRASS METER AND 1" PEZ ASSEMBLY. DETAIL: UT102 (C&U)
 202. "END OF MARION COUNTY MAINTENANCE AT METER"
 203. SEE SHEET C&U FOR RAINWATER HARVESTING SYSTEM
- SANITARY SEWER**
300. CONNECT TO STUB OUT AT 8" END WITH 1" MIDWAY CLEANOUT (N) - 45° STOP CONTRACTOR SHALL COORDINATE CONNECTION WITH ARCHITECTURAL PLANS FOR LOCATION AND DEPTH OF PROPOSED CONNECTION. REPORT TO ENGINEER IF ANY CONFLICT EXISTS. DETAIL: 2 (C&U)
 301. 8" x 4" x 1/2" OF PVC SANITARY SEWER SLOPED AT 2% DETAIL: UT102, UT104, D&U1
 302. PUBLIC (MCH) IF DROP CLEANOUT, HIGH RISE (R) LOW RISE (R) DETAIL: UT102
 303. 8" x 4" x 1/2" OF PVC SANITARY SEWER SLOPED AT 2% DETAIL: UT102, UT104, D&U1
 304. REMOVE EXISTING CAP AND CONNECT TO EXISTING STUB OUT AT 8" x 4" x 1/2" CONTRACTOR SHALL COORDINATE CONNECTION WITH ARCHITECTURAL PLANS FOR LOCATION AND DEPTH OF PROPOSED CONNECTION. REPORT TO ENGINEER IF ANY CONFLICT EXISTS.
- ELECTRIC AND COMMUNICATIONS**
400. COORDINATE ELECTRIC AND TELEPHONE SERVICE CONNECTIONS WITH APPROPRIATE SERVICE PROVIDERS. REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFIC CONNECTION LOCATION AND REQUIREMENTS.
 401. PROPOSED APPROPRIATE ELECTRIC, TELEPHONE, AND DATA SERVICE CONNECTION POINTS. ELECTRIC TO CONNECT TO GROUND MOUNTED TRANSFORMER. CONTRACTOR TO VERIFY LOCATION OF SERVICE CONNECTION POINTS BEFORE CONSTRUCTION.
 402. 8" x 4" x 1/2" OF UNDERGROUND CONDUIT FROM SERVICE CONNECTION POINT TO BUILDING
 403. GROUND MOUNTED TRANSFORMER
 404. 8" x 4" x 1/2" OF UNDERGROUND ELECTRIC FROM GROUND MOUNTED TRANSFORMER TO BUILDING
 405. APPROXIMATE ELECTRIC SERVICE CONNECTION TO BUILDING. CONTRACTOR SHALL COORDINATE CONNECTION WITH ARCHITECTURAL PLANS FOR LOCATION AND DEPTH OF PROPOSED CONNECTION. REPORT TO ENGINEER IF ANY CONFLICT EXISTS.
 406. 8" x 4" x 1/2" OF UNDERGROUND CONDUIT FROM DATA SERVICE CONNECTION POINT TO BUILDING
 407. 8" x 4" x 1/2" OF UNDERGROUND CONDUIT FROM TELEPHONE SERVICE CONNECTION POINT TO BUILDING
 408. APPROXIMATE TELEPHONE AND DATA SERVICE CONNECTION TO BUILDING. CONTRACTOR SHALL COORDINATE CONNECTION WITH ARCHITECTURAL PLANS FOR LOCATION AND DEPTH OF PROPOSED CONNECTION. REPORT TO ENGINEER IF ANY CONFLICT EXISTS.



PALMETTO CAPITAL GROUP
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EDMUND BARK
 1000 W. WASHINGTON SQUARE
 SUITE 1000
 COLUMBIA, SC 29201
 PHONE: (803) 808-1320

HEARTLAND DENTAL
 24,500 SF
 FFE = 91.68

STATE OF SOUTH CAROLINA
 DEPARTMENT OF REVENUE
 1100 MARKET STREET
 COLUMBIA, SC 29201
 PHONE: (803) 732-2000

225,085
 SHEET #
 12/23/2025
 DATE
 15 x 20
 SCALE
C6.0
 UTILITY PLAN

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PALMETTO CAPITAL GROUP
 1005 W. WASHINGTON SQUARE
 ANDERSON, SC 29625
 PHONE: (853) 808-1330

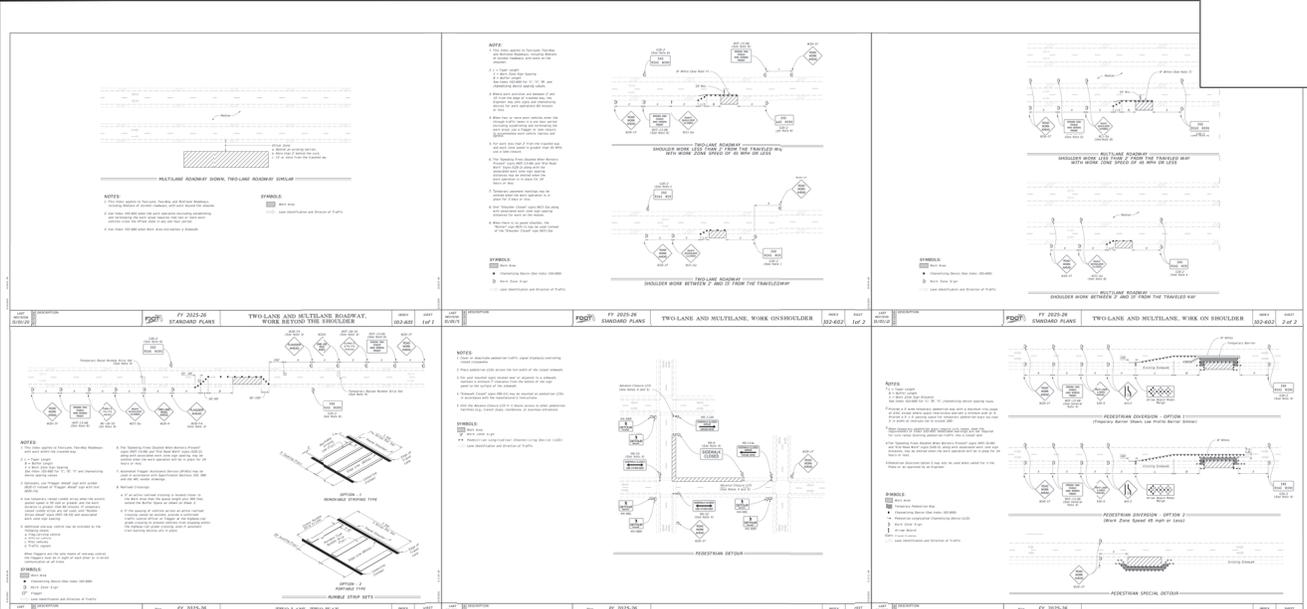


HEARLAND DENTAL
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 ANDERSON, SC 29625
 PHONE: (853) 808-1330

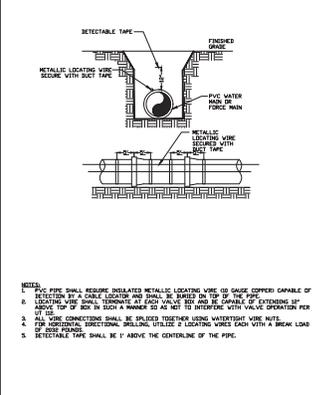
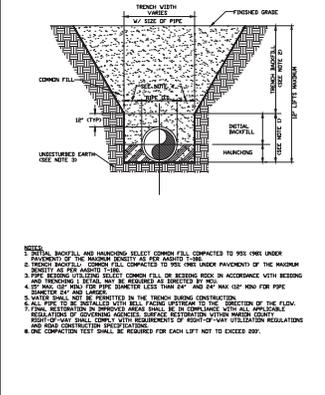
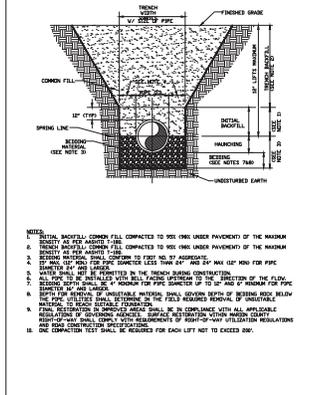
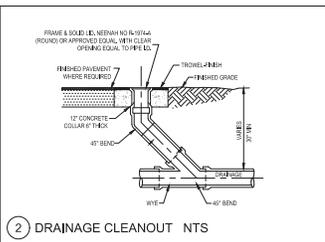
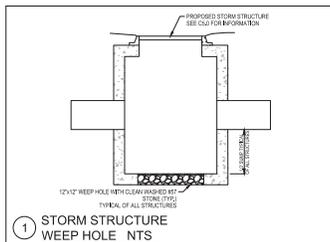


225,085
 12/23/2025
 N.T.S.
 D1.1
 FOOT DETAILS

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SCALE	DESCRIPTION	PROJECT	DATE	REVISION	SCALE	DESCRIPTION	PROJECT	DATE	REVISION
AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	1 of 2	AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	1 of 2
AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	2 of 2	AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	2 of 2
AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	1 of 2	AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	1 of 2
AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	2 of 2	AS SHOWN	STANDARD PLANS	FF 2023-26	10/24/25	2 of 2



7.3.2 UT 102

7.3.2 UT 103

7.3.2 UT 104

REVISION # 2

REVISION # 2

REVISION # 2

PALMETTO CAPITAL GROUP
1000 WILSON SQUARE
JACKSONVILLE, FLORIDA 32202
PHONE: (853) 828-1320



CONCRETE MARK
REGISTERED TRADEMARK
OF CONCRETE MARK, INC.
1000 WILSON SQUARE
JACKSONVILLE, FLORIDA 32202
PHONE: (853) 828-1320

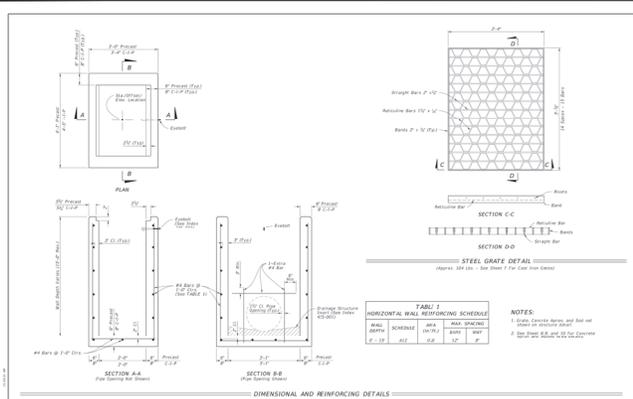
HEARLAND DENTAL
MANUFACTURING, INC.
1000 WILSON SQUARE
JACKSONVILLE, FLORIDA 32202
PHONE: (853) 828-1320

NO.	DATE	BY	DESCRIPTION	APPROVED

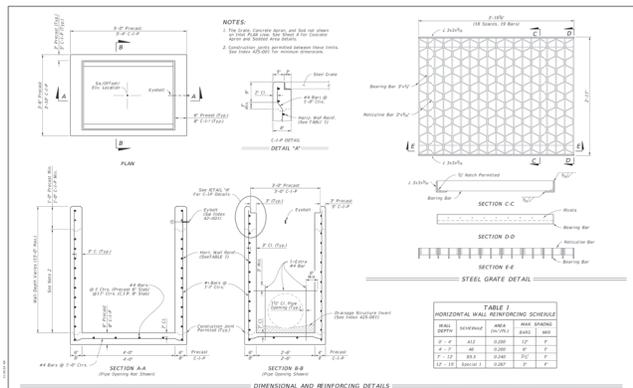


PROJECT # 225,085
DATE 12/23/2025
DRAWN BY N.T.S.
CHECKED BY
SCALE
SHEET D2.0
GRADING DETAILS

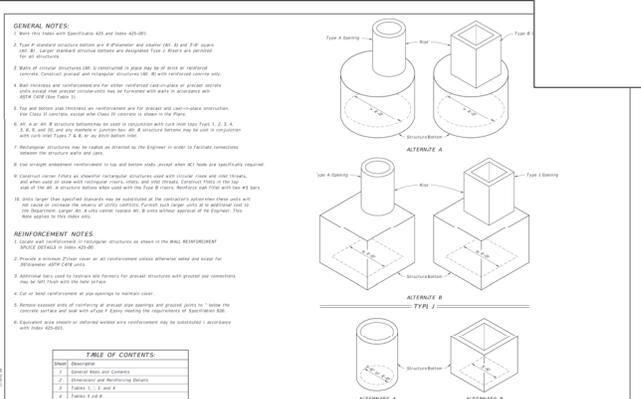
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TYPE C - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS
 LAST REVISION: 01/10/20
 DESCRIPTION: STANDARD PLANS
 PROJECT: FY 2025-26
 SHEET: 425-052
 INDEX: 2 of 4



TYPE F - DIMENSIONAL, REINFORCING, AND GRATE DETAILS
 LAST REVISION: 01/10/20
 DESCRIPTION: STANDARD PLANS
 PROJECT: FY 2025-26
 SHEET: 425-053
 INDEX: 2 of 4



STRUCTURE BOTTOMS TYPE J AND P
 LAST REVISION: 01/10/20
 DESCRIPTION: STANDARD PLANS
 PROJECT: FY 2025-26
 SHEET: 425-010
 INDEX: 1 of 4

TABLE 1 - ALTERNATE A - STRUCTURES

TYPE	VERTICAL REINFORCING	HORIZONTAL REINFORCING	REINFORCING SCHEDULE
J-1	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-2	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-3	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-4	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-5	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-6	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-7	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-8	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-9	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-10	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-11	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-12	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-13	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-14	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-15	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-16	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-17	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-18	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-19	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
J-20	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.

TABLE 2 - ALTERNATE B - STRUCTURES

TYPE	VERTICAL REINFORCING	HORIZONTAL REINFORCING	REINFORCING SCHEDULE
B-1	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-2	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-3	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-4	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-5	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-6	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-7	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-8	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-9	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-10	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-11	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-12	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-13	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-14	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-15	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-16	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-17	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-18	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-19	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
B-20	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.

TABLE 3 - REINFORCING SCHEDULE

SCHEDULE	BAR SIZE	SPACING	START	STOP
1	#4	12"	0'	12'
2	#4	12"	0'	12'
3	#4	12"	0'	12'
4	#4	12"	0'	12'
5	#4	12"	0'	12'
6	#4	12"	0'	12'
7	#4	12"	0'	12'
8	#4	12"	0'	12'
9	#4	12"	0'	12'
10	#4	12"	0'	12'
11	#4	12"	0'	12'
12	#4	12"	0'	12'
13	#4	12"	0'	12'
14	#4	12"	0'	12'
15	#4	12"	0'	12'
16	#4	12"	0'	12'
17	#4	12"	0'	12'
18	#4	12"	0'	12'
19	#4	12"	0'	12'
20	#4	12"	0'	12'

TABLE 4 - WALL DESIGNS - RECTANGULAR STRUCTURES

TYPE	VERTICAL REINFORCING	HORIZONTAL REINFORCING	REINFORCING SCHEDULE
4-1	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-2	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-3	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-4	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-5	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-6	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-7	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-8	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-9	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-10	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-11	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-12	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-13	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-14	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-15	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-16	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-17	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-18	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-19	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.
4-20	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.

STRUCTURE BOTTOMS TYPE J AND P
 LAST REVISION: 01/10/20
 DESCRIPTION: STANDARD PLANS
 PROJECT: FY 2025-26
 SHEET: 425-010
 INDEX: 3 of 4

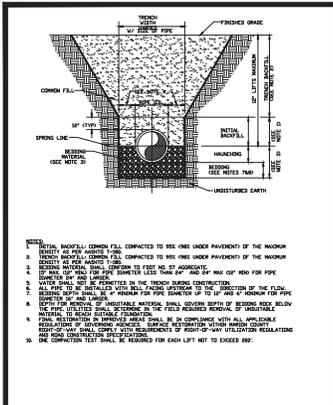
This item has been digitally signed and sealed by Jeremy F. Anderson, PE on the date adjacent to the seal.
 Signature must be verified on any electronic copies.

PALMETTO CAPITAL GROUP
 JAMES WALL, PRESIDENT & CEO
 1000 W. PALMETTO AVENUE
 ANDERSON COUNTY, GA 30511
 PHONE: (863) 808-1320

COMDEX BANK
 MEMBER FDIC
 EQUAL OPPORTUNITY LENDER

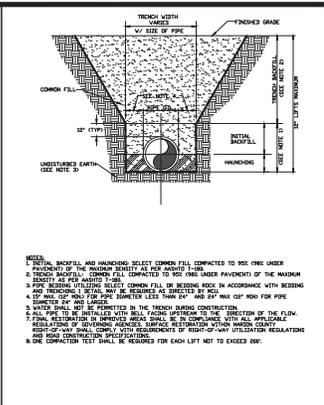
HEARLAND DENTAL
 MAJOR DENTAL SUPPLIER
 1000 W. PALMETTO AVENUE
 ANDERSON COUNTY, GA 30511
 PHONE: (863) 808-1320

STATE OF GEORGIA
 REGISTERED PROFESSIONAL ENGINEER
 JEREMY F. ANDERSON
 LICENSE NO. 225,085
 EXPIRES 12/31/2025
 N.T.S.
D2.1
 GRADING DETAILS



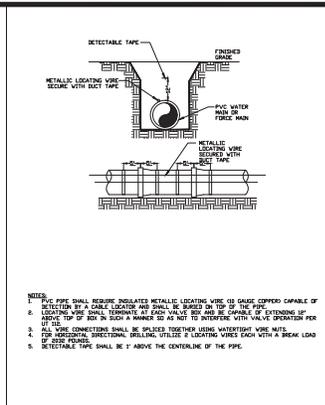
NOTES:

1. INITIAL, BACKFILL, COMMON FILL, COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
2. FINISHED GRADE SHALL BE COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
3. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
4. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
5. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
6. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
7. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
8. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
9. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
10. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.



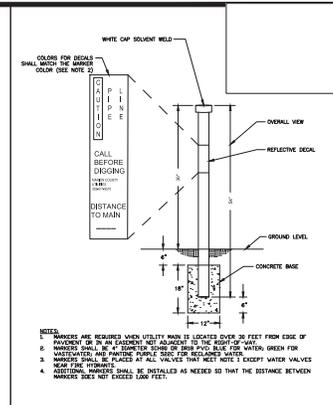
NOTES:

1. INITIAL, BACKFILL, AND HANGINGS SELECT COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
2. FINISHED GRADE SHALL BE COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
3. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.
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10. BEDDING SHALL BE COMMON FILL COMPACTED TO 95% DENSITY UNDER PAVEMENT OF THE MAINLINE DUCTILE IRON PIPE.



NOTES:

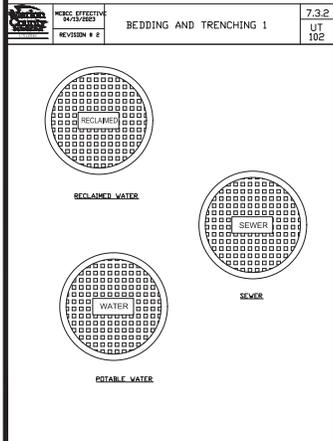
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (36 GAUGE COPPER) CAPABLE OF WITHSTANDING 1000 PSI.
2. LOCATING WIRE SHALL BE SECURED TO EACH VALVE BOX AND BE CAPABLE OF EXTENDING TO THE TOP OF THE BOX IN SUCH A MANNER AS TO NOT INTERFERE WITH VALVE OPERATION FOR THE VALVE.
3. THE WIRE CONNECTORS SHALL BE SPUN TOGETHER USING WATERPROOF WIRE NETS.
4. FOR LOCATING, DIRECTIONAL DRILLING TRAILER LOCATING WIRE EACH WITH A BUCK LOAD OF STEEL PIPES.
5. DETECTABLE TAPE SHALL BE 1\"/>



NOTES:

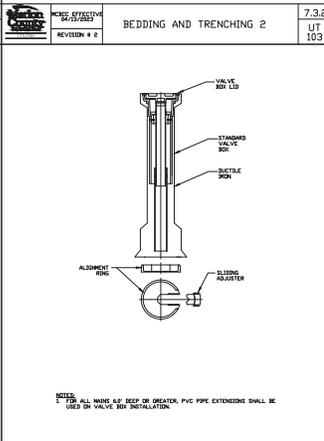
1. MARKERS ARE REQUIRED WHEN UTILITY MAIN IS LOCATED DEEPER THAN FEET FROM EDGE OF PAVEMENT OR IN AN EXISTING NEUTRALIZED TO THE RIGHT-OF-WAY.
2. MARKERS SHALL BE 4\"/>

PALMETTO CAPITAL GROUP
 1000 W. PALMETTO AVENUE
 SUITE 100
 PALMETTO, FLORIDA 34107
 PHONE: (863) 802-1320



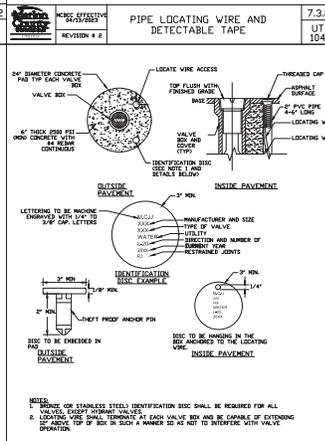
NOTES:

1. ALL MAINS 4\"/>



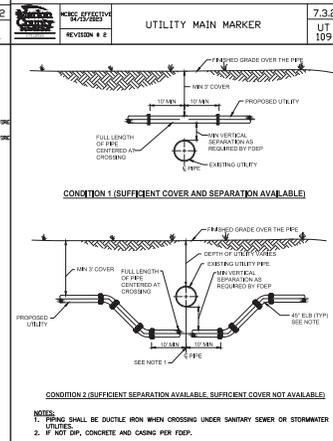
NOTES:

1. ALL MAINS 4\"/>



NOTES:

1. BOXING OF STAINLESS STEEL IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL 4\"/>



NOTES:

1. PIPING SHALL BE DUCTILE IRON WHEN CROSSING UNDER SANITARY SEWER OR STORMWATER DUCTILES.
2. IF NOT DIP, CONCRETE AND CASING PER DDEP.

HEARLAND DENTAL
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 SUITE 100
 PALMETTO, FLORIDA 34107
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PANELBOARD NOTES

- A. PROVIDE ARC-FAULT LABELING AS REQUIRED BY DRAWINGS AND PER SPECIFICATIONS.
- B. PROVIDE LAMINATE SHEET-PILES BE REQUIRED BY DRAWINGS AND/OR SPECIFICATIONS.
- C. ALL PANELBOARDS SHALL BE PROVIDED WITH A/C RATINGS AS NOTED ON PANEL SCHEDULE.

PANELBOARD LEGEND

- GF 1-40 GROUND FAULT INTERRUPTER TYPE BREAKER
- LD LOCK ON LUP
- TC CIRCUIT RYOTED THROUGH THE CLOCK



145 E. 1ST AVENUE
 33408 Palm Beach Gardens, FL 33418
 561-972-2288 Fax: 561-972-2210



PALMETTO CAPITAL GROUP
 10000 W. UNIVERSITY BLVD
 SUITE 1000
 PALM BEACH GARDENS, FL 33411

HEARTLAND DENTAL -
 OCALA FL
 HEARTLAND DENTAL OF FLORIDA
 10000 W. UNIVERSITY BLVD SUITE 1000
 PALM BEACH GARDENS, FL 33411

NEW BRANCH PANEL: A													
LOCATION: TEMP				VOLTS: 120/208 V/3Ø				A/C RATING: 20KVA					
SUPPLY FROM: UTILITY				PHASES: 3				BANK TYPE: 3Ø/0					
MOUNTING: RECESSED				WIRES: 4				MAIN RATING: 800 A					
ENCLOSURE: NEMA 1													
NOTES	CKT	CIRCUIT DESCRIPTION	TRIP	POLES	A	B	C	POLES	TRIP	CIRCUIT DESCRIPTION	CKT	NOTES	
	1	SPACE FOR FUTURE PANEL B	150 A	3	0	0	0	3	40 A	SPACE FOR BWH-1	2		
	3				0	0	0	0	0		4		
	5	SPACE FOR FUTURE PANEL B		3				3	30 A	SFD	6		
	11				0	0	0	0	0		10		
	13				0	0	0	0	0		12		
	15	SPACE FOR FUTURE PANEL L	150 A	3	0	0	0	3	40 A	SPACE FOR AIR COMPRESSOR	14		
	17				0	0	0	0	0		16		
	19				0	0	0	0	0		18		
	21	SPACE FOR FUTURE PANEL L		3				3	30 A	SPACE FOR DRIVER	20		
	23				0	0	0	0	0		22		
	25				2276	2276		2	30 A	SPACE FOR AHU-1 & HP-1	24		
	27	RTU-1	50 A	3	2276	2276		3	50 A	RTU-2	26		
	29				2744	0	2976	2	20 A	SPACE FOR VACUUM PUMP	28		
	31	RTU-3	50 A	3	2744	0	2976	2	20 A	SPACE FOR VACUUM PUMP	30		
	33				3744	0	3744	2	20 A	SPACE FOR VACUUM PUMP	32		
	35				1141	0	180	1	20 A	SPACE FOR VACUUM PUMP	34		
	37	EXTERIOR LIGHTING	20 A	1	1141	0	180	1	20 A	TIME CLOCK	36		
	39	WORKSHOP	20 A	1	300	276	540	277	1	20 A	EXTERIOR WALL LIGHTING	42	TC
	41	WIPSHOP	20 A	1	300	276	540	277	1	20 A	EXTERIOR WALL LIGHTING	44	TC
	43	WIPSHOP	20 A	1	300	276	540	277	1	20 A	EXTERIOR WALL LIGHTING	46	TC
	45	SPACE FOR FUTURE EXCHANGE	20 A	1	0	249	0	0	1	20 A	EXTERIOR LIGHTING	48	
	47	SPACE FOR FUTURE EXCHANGE	20 A	1	0	249	0	0	1	20 A	EXCHANGE	50	
	49	EXCHANGE	20 A	1	0	249	0	0	1	20 A	EXCHANGE	52	
	51	EXCHANGE	20 A	1	0	249	0	0	1	20 A	EXCHANGE	54	
	53	EXCHANGE	20 A	1	0	249	0	0	1	20 A	EXCHANGE	56	
		TOTAL LOAD:			1141 VA	1025 VA	88 A			1307 VA			
		TOTAL AMP:			98 A	88 A	88 A						
LOAD CLASSIFICATION		CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS								
THD		2088 VA	100.00%	2088 VA	TOTAL CONN. LOAD 1307 VA								
EXCHANGE		2137 VA	100.00%	2137 VA	TOTAL DEMAND LOAD 1307 VA								
MECHANICAL		500 VA	100.00%	500 VA	TOTAL CONN. CURRENT 89 A								
					TOTAL DEMAND CURRENT 89 A								

LIGHTING FIXTURE SCHEDULE									
Count	FIXTURE TAG	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	WATTS	LAMP	MOUNTING	NOTES	
6	C1	LITELINE	BL88-16-84R-6R	EXTERIOR SURFACE DOWNLIGHT	40 VA	LED	POLE MOUNT	BATHING MOUNT UNDER CANOPY	
	EX	COOPER	APCHRL	CONTROL LED PANEL 4'x8' 100W FORWARDED ON THE EMERGENCY OPTION FOR BATHING MOUNT	5 VA	LED	SURFACE		
2	P1	PROGRESS LIGHTING	PS44-15-30K	EXTERIOR WALL SIGNAGE	30 VA	LED	WALL		
2	PL1	CREE LIGHTING	OS20C-16-04T-46C-16M-8R	EXTERIOR POLE	16 VA	LED	POLE MOUNT 25'		
2	PL4	CREE LIGHTING	OS20C-16-04T-46C-16M-8R-SP	EXTERIOR POLE	16 VA	LED	POLE MOUNT 25'		
2	S	COOPER LIGHTING	4575A-03C3-400W-4C	LED STRIP LIGHT CHANGING FROM STRUCTURE	30 VA	LED	CHANGING FROM STRUCTURE		
2	WPI	LITHONIA LIGHTING	LED-P4-4K-600W-100-500LM-6A-10-C-8-0	EXTERIOR LED WALL PACK	27 VA	LED	WALL		

MECHANICAL EQUIPMENT SCHEDULE									
EQUIPMENT TAG	POWER REQUIREMENTS	VOLTAGE	PHASE	PANEL	CIRCUIT NUMBER	DISCONNECT	CONDUIT & WIRING INFORMATION	CONTROLS (REFER TO MECHANICAL SHEETS FOR FULL DETAILS)	REMARKS
ROOF TOP UNIT									
RTU-1	1 HP, 20 MCA	208 V	3	A	25,278	BACKUP/SPARE	NL 1/2"Ø, 1 1/2"	THERMOSTAT	DISCONNECT TO BE FUSED DOWN TO 6A
RTU-2	1 HP, 20 MCA	208 V	3	A	26,260	BACKUP/SPARE	NL 1/2"Ø, 1 1/2"	THERMOSTAT	DISCONNECT TO BE FUSED DOWN TO 6A
RTU-3	1 HP, 20 MCA	208 V	3	A	21,030	BACKUP/SPARE	NL 1/2"Ø, 1 1/2"	THERMOSTAT	

ELECTRICAL SCHEDULES

E500

DRAWN BY: CMU
 CHECKED BY: BRM
 2025064.20