



SUBMITTAL SUMMARY REPORT 33205

PLAN NAME: CYPRESS RD INDUSTRIAL PARK

LOCATION: 475 OAK RD
OCALA,

APPLICATION DATE: 08/15/2025

PARCEL: 9029-0722-34

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	DUSTIN CULVER	CULVER ENGINEERING, LLC
Engineer of Record	DUSTIN CULVER	CULVER ENGINEERING, LLC

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Conditional Comment(s)		Alexander Turnipseed	12/08/2025	Please provide a copy of the NPDES permit or NOI as well as a copy of the District permit prior to construction.	No

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.6	04/23/2026	04/30/2026	05/04/2026	Approved
OCE: Plan Review (DR) v.5	04/22/2026	04/29/2026	04/23/2026	Requires Re-submit
OCE: Plan Review (DR) v.4	03/26/2026	04/02/2026	04/09/2026	Requires Re-submit
OCE: Plan Review (DR) v.3	02/09/2026	02/16/2026	02/25/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	12/04/2025	12/11/2025	12/30/2025	Requires Re-submit
OCE: Plan Review (DR) v.1	09/02/2025	09/16/2025	11/13/2025	Requires Re-submit

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.6

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	04/30/2026	04/28/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/30/2026	05/01/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	04/30/2026	04/23/2026	Approved
<i>Comments</i>	Previously Approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/30/2026	04/23/2026	Approved
<i>Comments</i>	For any questions related to this Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-4382-687.			
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Resolved) - [4/23/26] Resolved. [4/1/26] See markings on MASP-1 sheet. [INITIAL] Please include adjacent zoning in corrected MASP-1, including residential project to west/across Cyrus Rd			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding improvements based on required traffic impact analysis.			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - [2/12/26; INFO] Included. [INITIAL] Please indicate proposed FAR for entire site on cover sheet/dimension sheet			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - [4/23/26] Resolved. [4/1/26] See proposed markings in MASP-1 sheet. [INITIAL] FLU designation for NE parcel (Public) are missing on sheet MASP-1. FLU for SW parcel is not High Residential (HR). Please correct.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [4/22/26] Applicant has confirmed 15' Type C buffer along Oak Rd. [4/2/26] Waiver approved and required landscaping shown on separate landscaping plans. Please confirm intention of new space between removed driveway along Oak Rd (parking?). Confirm width of 15'. [2/10/26] Waiver for buffer set to be heard in March by BCC. This will remain a NO unless required buffers per LDC Sec. 6.8.6 (with req. walls) are provided. Reminder that buffer will need to be placed where Oak Rd driveway is to be removed. This will need to be shown in plans. [INITIAL] This shall remain a NO unless waiver for buffers are approved. Staff notes driveway along Oak Rd will be removed according to landscaping sheet. Please indicate the required buffer type that will be provided along this removed driveway area and show on dimension plan sheet (C-2.0). Please indicate required buffer types along railroad and future MFR/residential development to west/across Cypress Rd (PID 9029-0723-00, PUD 220508Z).			

SUBMITTAL SUMMARY REPORT (33205)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	04/30/2026	04/23/2026	Approved
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [4/23/26] Updated cover sheet. [4/1/26] Upon additional discussions with Staff, if initial tenant is known, please provide analysis of groundwater quality impacts at this stage. Otherwise, please update PSPOZ note in cover sheet confirming that LDC Section 5.4 provides standards for specific industrial/commercial uses and any new tenant will be required to show compliance with such standards, including any required State/Federal permits and analysis of groundwater quality impacts of any new/expanding heavy commercial/industrial use. Furthermore, pursuant to LDC Sec. 5.4.4.B(6), any new/expanding heavy industrial and commercial uses must (a) Conduct any manufacturing and repair operations under a roofed structure and (b) Provide cover over any non-serviceable machinery, non-serviceable equipment, or used parts which are potential sources of pollutants or substances of any kind which may be detrimental to water quality. [INITIAL] Primary Springs Protection Zone: Pursuant to LDC Sec. 5.4.4, heavy industrial and commercial uses, including new and expanding permitted and special uses allowed exclusively in B-5, I-C, or M-2 zoning categories, are prohibited unless the owner demonstrates to the Planning/Zoning Manager, based on credible scientific data and information, that the proposed use will not pose a potential threat to groundwater quality. Please see Article 4, Division 2 for exclusive uses. Depending on proposed tenant, please note additional analysis may be required at time of permitting.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [INFO] No signage is proposed; however, in the case a sign is proposed, a separate sign permit will be required.			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - [INFO] No outdoor storage area proposed.			
<i>Corrections</i>	2.12 - Site coverage (Resolved) - [INFO] If applicable, please clarify any office, non-warehousing space, etc.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - [4/23/26] EALS submitted and transmitted to FWC. [INITIAL] Gopher tortoise permit has expired. As requirement in Marion County Comprehensive Plan, this item may not be deferred and will remain NO until the Applicant completes one of two options: (1) Submit an explicit environmental assessment for listed species (EALS) consistent with Marion County Land Development Code Sec. 6.5.4; or (2) Submit an EALS exemption request by licensed professional indicating consistency with criteria in Sec. 6.5.3.C. Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [INFO] Staff notes less automobile parking was provided compared to first review from 236 to 234 (including handicap spaces)? Please clarify. For the record, LDC Sec. 6.11.8., the required parking for warehouses is 1 space/3,000 SF. Any office will require 2.5 spaces/1,000 SF. Parking as proposed seems to meet County parking requirements. Update calculations accordingly.			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - [4/23/26] Included waiver table. [4/6/26] Please update waiver table with approval date/conditions. [2/11/26] If approved, please indicate waivers for buffers (including any conditions) in cover sheet. [INITIAL] Please include all currently requested/approved waivers on cover sheet.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/30/2026	04/27/2026	Approved
<i>Comments</i>	per approved waivers			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	04/30/2026	04/28/2026	Approved
<i>Corrections</i>	2.12.4 - Front page of the plan (Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	2.12.3 - Title block (Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			

SUBMITTAL SUMMARY REPORT (33205)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	04/30/2026	04/27/2026	Informational
<i>Comments</i>	No further comments -EMW 04.27.2026			
	IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." OCE Stormwater (Permits & Plans) (Office of the County Engineer) Alexander Turnipseed 04/30/2026 04/23/2026 Approved OCE Survey (Plans) (Office of the County Engineer) Theresa Smail 04/30/2026 04/27/2026 Approved <i>Corrections</i> 2.12.8. - Current boundary and topographic survey (Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor. <i>Corrections</i> Additional Survey Comments (Resolved) - Please add Florida State Plane Coordinates to horizontal control points. OCE Traffic (Permits & Plans) (Office of the County Engineer) Chris Zeigler 04/30/2026 04/23/2026 Approved Utilities (OCE Plans) (Utilities) Heather Proctor 04/30/2026 04/27/2026 Approved <i>Comments</i> Previously approved by Utilities Staff. Project will be served by Marion County Utilities for water and wastewater. A pre-construction meeting with Marion County Utilities is required at least 48 hours before any utility work can begin. Please contact the Utilities Development review Officer at Heather.Proctor@Marionfl.org or (352) 438-2846. to schedule. <i>Corrections</i> 6.14.5.A(6) - MH locations, rim & invert elevation (Resolved) - 6.14.5.A(6) - MH locations, rim & invert elevation: OCE: Plan Review (DR) v.5 ITEM REVIEW NAME (DEPARTMENT) ASSIGNED TO DUE COMPLETE STATUS 911 Management (DR) (911 Management) Kristie Wright 04/29/2026 04/23/2026 Approved Environmental Health (Plans) (Environmental Health) 04/29/2026 04/23/2026 Approved Fire Marshal (Plans) (Fire) Jonathan Kenning 04/29/2026 04/22/2026 Approved <i>Comments</i> Previously Approved			

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OCE Property Management (Plans) (Office of the County Engineer)		04/29/2026	04/23/2026	Informational
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/29/2026	04/23/2026	Approved
<i>Comments</i>	Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction.			
OCE Survey (Plans) (Office of the County Engineer)		04/29/2026	04/23/2026	Approved
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	Additional Survey Comments (Resolved) - Please add Florida State Plane Coordinates to horizontal control points.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)		04/29/2026	04/23/2026	Approved

SUBMITTAL SUMMARY REPORT (33205)

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Utilities (OCE Plans) (Utilities)	Heather Proctor	04/29/2026	04/23/2026	Approved

Corrections 6.14.5.A(6) - MH locations, rim & invert elevation (Resolved) - 6.14.5.A(6) - MH locations, rim & invert elevation:

eREVIEW SESSION FILES:		Survey.pdf			
REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #	
Theresa S.	Please add Florida State Plane Coordinates to horizontal control points.	02/10/2026 8:34	AMSurvey.pdf	1	

CYPRESS ROAD INDUSTRIAL PARK

MAJOR SITE PLAN

SITE CONSTRUCTION PLANS

LEGAL DESCRIPTION

(PARENT TRACT)
LOT 21 THROUGH 31, INCLUSIVE, BLOCK TWO, SILVER SHORES UNIT 20, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGES 20 THROUGH UNIT 20; ACCORDING INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

(TRACT 1)
LOT 21 THROUGH 31, INCLUSIVE, BLOCK TWO, SILVER SHORES UNIT 20, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGES 20 THROUGH UNIT 20; ACCORDING INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

(TRACT 2)
LOT 21 THROUGH 31, INCLUSIVE, BLOCK TWO, SILVER SHORES UNIT 20, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGES 20 THROUGH UNIT 20; ACCORDING INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SUBJECT TO ALL EASEMENTS, RIGHT OF WAY AND RESTRICTIONS OF RECORD.

PLAN CHANGE STATEMENT

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

CONCURRENCY STATEMENT

"THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITY. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW."

STORMWATER FACILITY STATEMENT

MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE STORMWATER FACILITY IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEN THE DECLARATION INCLUDES THIS PROPERTY OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

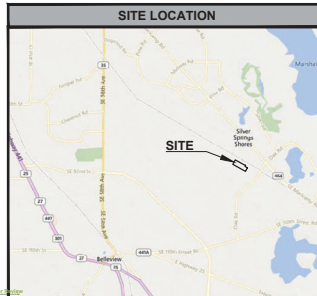
WAVERS

WAVERS FOR LDCS B, BK(C) ARE IN PROCESS WITH MARION COUNTY. CASE #19WAV01A0006-0026

OWNER'S CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

STEPHANIE VAN ROOYEN - A3CM, LLC



SITE DATA TABLE

OWNER: A3CM, LLC
SILVER SPRINGS ST
OCALA, FL 32767

PARCEL NO: 9029-0722-34
ZONING DISTRICT: I-10/20
COUNTY: MARION COUNTY
CLASSIFIED USE: WAREHOUSE
PROPOSED USE: WAREHOUSE
TOTAL ACRES: 12.50
PROPERTY AREA: 12.50 AC
PROPOSED WAREHOUSE AREA: 12.50 AC
TOTAL FLOORPLAN: NONE
WETLANDS: NONE

PROPOSED BUILDING AREA

Building: 12,500 SF
Lot A: 12,500 SF
Lot B: 12,500 SF
TOTAL: 12,500 SF

PARKING SUMMARY

Parking Required (Standard): 126
ADA Required Parking: 126
Additional Required Parking: 126
Total Required: 378
Total Available: 378

SITE UTILITIES

Utilities to be installed:
Water: 0.75
Sewer: 0.18
Gas: 0.00

SETBACKS (IN FT)

FRONT: 40'
REAR: 20'
SIDE: 0'

DRAINAGE AREA DATA

DRAINAGE BASIN AREA: 17.08 AC
EXISTING IMPERVIOUS AREA: 0.44 AC
EXISTING PERVIOUS AREA TO STORM: 1.69 AC
PROPOSED IMPERVIOUS AREA: 7.88 AC
TOTAL DRAINAGE AREA: 9.91 AC
TOTAL IMPERVIOUS: 8.32 AC

LOCATED WITHIN THE PRIMARY WETLANDS PROTECTION ZONE
VERTICAL DATUM NAVD 83
SEE SURVEYOR FOR ADDITIONAL INFORMATION

PARCEL ID # 9029-0722-34
SECTIONS 21 & 22, TOWNSHIP 16, RANGE 23
475 OAK ROAD
OCALA, FLORIDA 34472
(MARION COUNTY)

PREPARED FOR:

A3CM, LLC

PREPARED BY:



INDEX OF DRAWINGS

COVER SHEET	C-1.0
GENERAL NOTES	GN-1.0 - GN-1.1
BOUNDARY SURVEY	1 OF 1
EROSION CONTROL PLAN	EC-1.0
SMS OPERATION & MAINTENANCE PLAN	SM-1.0
MASTER AERIAL SITE PLAN	MASP-1
DIMENSION PLAN	C-2.0
PAVING, GRADING & DRAINAGE PLAN	C-3.0
UTILITY PLAN	C-4.0
SITE DETAILS	C-5.0
UTILITY DETAILS	C-6.0 - C-6.3
SITE LIGHTING PHOTOMETRIC PLAN	C-7.0
FIRE TRUCK PLAN	TR-1.0
TRUCK TURN PLAN	TR-1.1
LANDSCAPE PLANS	L001 - L005

PROJECT TEAM

OWNER
A3CM, LLC
1000 EASTSIDE ST
OCALA, FL 32767
PHONE: (352) 236-0506

DEVELOPER / APPLICANT
A3CM, LLC
1000 EASTSIDE ST
OCALA, FL 32767
PHONE: (352) 236-0506
EMAIL: JOHN@TEELVORUSA.COM

CIVIL ENGINEER
CULVER ENGINEERING, LLC
206 FARMHARD DRIVE
OCALA, FL 32767
PHONE: (352) 236-0506
EMAIL: DUSTIN@CULVERENGINEERING.COM

SURVEYOR
KCOE TECH
P.O. BOX 1614
MIRACOLA, FL 34755
PHONE: (352) 298-9551
EMAIL: KT.GEOMATICS@KCOETECH.COM

LANDSCAPE ARCHITECT
SEA LANDSCAPE ARCHITECT
407 LINDA LANE, SUITE 100
MIRACOLA, FL 34755
PHONE: (352) 298-9551
EMAIL: KLAN@SEALANDSCAPEARCHITECT.COM

AGENCIES

PERMITTING AGENCY
MARION COUNTY
100 S.W. 21ST AVENUE
MELBOURNE, FL 32951
PHONE: (352) 471-8888

STORMWATER
ST. JAMES RIVER WATER MANAGEMENT DISTRICT
800 S.W. LAKE CRESTWAY
MELBOURNE, FL 32951
PHONE: (352) 659-4800

UTILITY PROVIDERS

WATER / RECLAIM / WASTEWATER
MARION COUNTY UTILITIES
1000 S.W. 21ST AVENUE #11
MELBOURNE, FL 32951
PHONE: (352) 307-6000

ELECTRIC
OCALA ELECTRIC UTILITY
110 S.W. BUTLERA AVENUE
OCALA, FL 32767
PHONE: (352) 629-3569

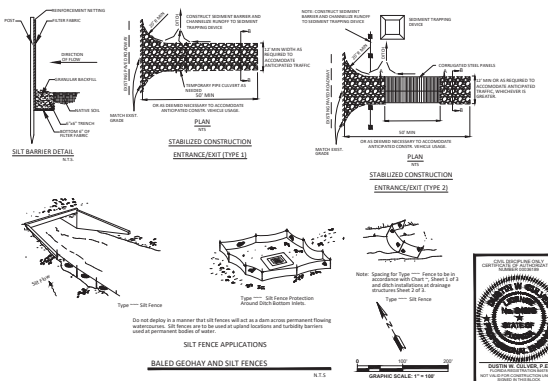
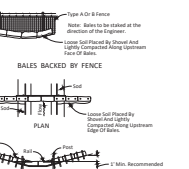
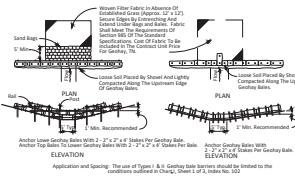
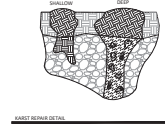
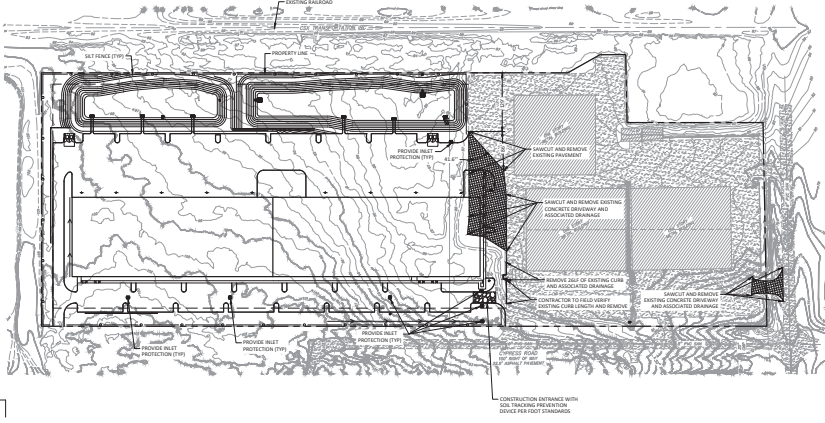
CYPRESS ROAD INDUSTRIAL PARK, MARION COUNTY, FL

SHEET:
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EROSION CONTROL:

1. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO MEET THE LOCAL AND STATE STANDARDS.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION COLLECTION SYSTEMS FROM DAMAGE BY SOILMOBIL OR OTHER CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL CONSIDER ALL UTILITY LOCATIONS AND ADDRESS PROTECTION PRIOR TO BEGINNING WORK IN A GIVEN AREA.
4. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND ARE QUICKLY RESTORED TO ORIGINAL CONDITION TO PREVENT THE RELEASE OF POLLUTANTS. THE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL CONDITION AS SOON AS PRACTICABLE.
5. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL CONDITION AS SOON AS PRACTICABLE.
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20. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL CONDITION AS SOON AS PRACTICABLE.

- NOTES:**
1. SILT FENCE SHOWN FOR SCHEMATIC PURPOSES ONLY. SILT FENCE SHOULD BE INSTALLED AT THE LIMITS OF CONSTRUCTION AS DEFINED THROUGHOUT THIS PLAN SET.
 2. FOR TREE REMOVAL REFER TO LANDSCAPE PLANS.
 3. CONSTRUCTION ACCESS SHALL BE FROM OAK ROAD.



DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES FROM DAMAGE BY DEMOLITION ACTIVITIES.
3. THE CONTRACTOR SHALL CONSIDER ALL UTILITY LOCATIONS AND ADDRESS PROTECTION PRIOR TO BEGINNING WORK IN A GIVEN AREA.
4. DEMOLITION ACTIVITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND ARE QUICKLY RESTORED TO ORIGINAL CONDITION TO PREVENT THE RELEASE OF POLLUTANTS.
5. DEMOLITION ACTIVITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL CONDITION AS SOON AS PRACTICABLE.
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20. DEMOLITION ACTIVITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL CONDITION AS SOON AS PRACTICABLE.

CONTRACTOR CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION POLLUTION PLAN THEREUNDER.

NAME: _____ TITLE: _____

CONTRACTING FIRM: _____ ADDRESS: _____

TELEPHONE #: _____ DATE: _____



THIS SOIL EROSION/SEDIMENT CONTROL & DUST ABATEMENT PLAN IS FOR THE PURPOSE OF SHOWING INTENTION OF METHOD TO CONTROL STORM WATER RUNOFF & DUST DISTURBANCE CAUSED BY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL ADJUST AND/OR AMP-BASED ON SPECIFIC SITE CONDITIONS & CONSTRUCTION ACTIVITY SITES APPLICABLE REQUIREMENTS. CONTRACTOR TO OBTAIN GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (RULE 62-311.300(4), F.A.C.)

EQUIVER ENGINEERING
 10000 W. US HWY 90, SUITE 100, DUNEDIN, FL 33426
 TEL: 813.291.1111 FAX: 813.291.1112
 WWW.EQUIVERENGINEERING.COM

PREPARED FOR:
A3CM, LLC
 10000 W. US HWY 90, SUITE 100, DUNEDIN, FL 33426
 TEL: 813.291.1111 FAX: 813.291.1112
 WWW.EQUIVERENGINEERING.COM

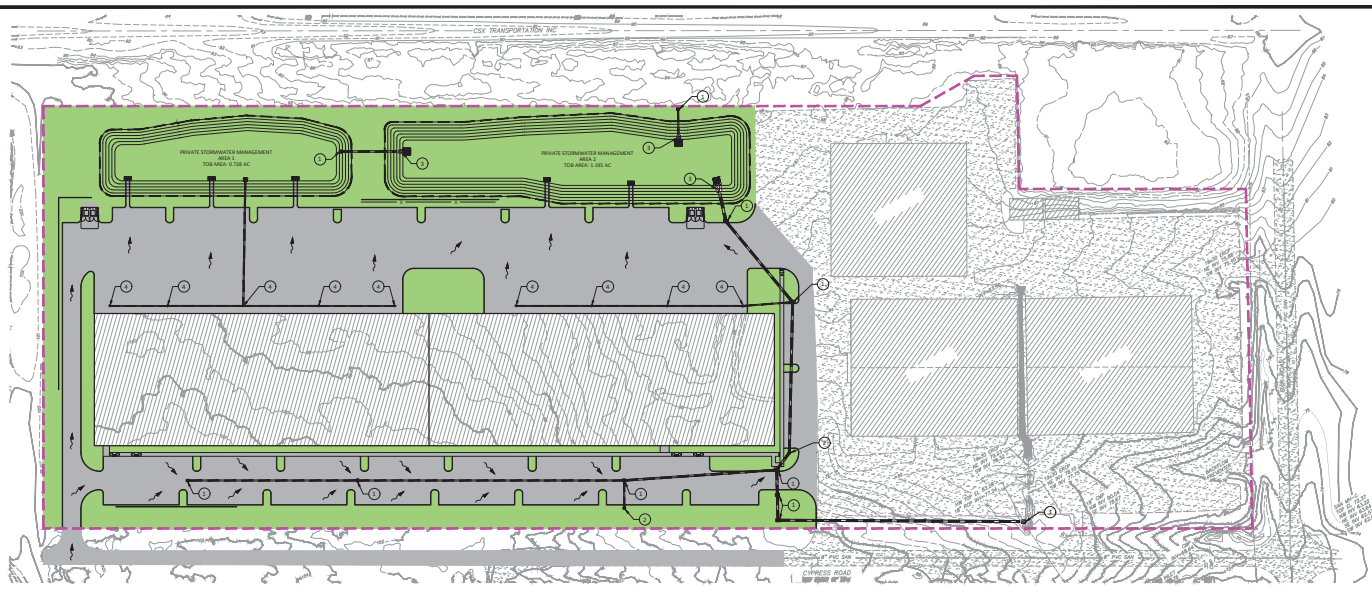
DATE: 01/15/2024
 DRAWN BY: J. GARCIA
 CHECKED BY: J. GARCIA
 PROJECT NO.: 24-001

**MAJOR SITE PLAN
 EROSION CONTROL &
 DEMOLITION PLAN**

**CYPRESS ROAD
 INDUSTRIAL PARK
 MARION COUNTY, FL**

SHEET:
EC-1.0

DATE: 01/15/2024
 DRAWN BY: J. GARCIA
 CHECKED BY: J. GARCIA
 PROJECT NO.: 24-001



INSPECTION REQUIREMENTS

THE OPERATION AND MAINTENANCE ENTITY MUST ENSURE THAT INSPECTIONS ARE BEING CONDUCTED SO AS TO ENSURE THAT STORMWATER MANAGEMENT SYSTEMS ARE BEING MAINTAINED AS DESIGNED AND PERMITTED. THE OPERATION AND MAINTENANCE ENTITY MUST ALSO PERFORM PERIODIC INSPECTIONS TO IDENTIFY WHETHER THERE ARE ANY DEFICIENCIES IN STRUCTURAL INTEGRITY DEGRADATION DUE TO INSUFFICIENT MAINTENANCE, OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR WATER RESOURCES.

1. SPECIAL ATTENTION SHALL BE MADE DURING INSPECTIONS TO ENSURE THAT:

- A. ALL EROSION IS CONTROLLED, AND SOIL IS APPROPRIATELY STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;
- B. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, FLATRAVES, AND OTHER RESIDUE;
- C. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SWIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL OR BY THE OTHER LAWFUL MEANS;
- D. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR COVERED WITH VEGETATIVE OR ADJUTANT GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE;
- E. SYSTEM COMPONENTS HAVE BEEN MAINTAINED TO REMOVE SEDIMENTS, DEBRIS, AND OTHER SILETTRIOUS MATERIALS TO INSURE THAT THE SYSTEMS CONTINUE TO PERFORM AS DESIGNED AND PERMITTED, AND THAT THEIR ORIGINAL PERMITTED DIMENSIONS HAVE NOT BEEN ALTERED;
- F. ALL SYSTEM COMPONENTS ASSOCIATED WITH NUTRIENT OR OTHER POLLUTANT REMOVAL ARE IN GOOD WORKING ORDER. MAINTENANCE LOGS AND RECORDS ARE REVIEWED TO ENSURE DEVICES ARE FUNCTIONING PROPERLY AND ARE BEING REPLACED AT THE INTERVALS RECOMMENDED IN THE OPERATION AND MAINTENANCE PLAN.

2. FORM 330-331(3) "INSPECTION CHECKLIST" SHALL BE USED FOR REPORTING AND SUPPLEMENTED WITH ADDITIONAL INFORMATION AS SPECIFIED WITHIN THE FORM. A PERMITTEE MAY SUBMIT THE INFORMATION REQUIRED ON THE CHECKLIST IN ANOTHER FORMAT, AS LONG AS ALL REQUIRED INFORMATION IS PRESENT.

3. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN RECORDS OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE WATER MANAGEMENT DISTRICT, IN ACCORDANCE WITH THE FOLLOWING REPORTING SECTION.

4. INSPECTION/REPORTING OF THE SMS SHALL BE PERFORMED AT 1 YEAR INTERVAL (MAX).

STORMWATER MANAGEMENT SYSTEM DESCRIPTION

THE PROJECT STORMWATER MANAGEMENT SYSTEM (SMS) IS COMPOSED OF CONVEYANCE/COLLECTION FACILITIES DESIGNED TO DIRECT STORMWATER RUNOFF TO DRY POND FACILITIES FOR WATER QUALITY TREATMENT AND ATTENUATION OF THE 25-YEAR/24-HOUR STORM EVENT. MORE SPECIFICALLY, THE SMS IS DIVIDED INTO TWO DRAINAGE BASINS WHICH COLLECT RUNOFF INTO THE DRY POND FACILITIES. THE SITE DRAINAGE BASIN ENCOMPASSES THE ENTIRE PROJECT AREA AND THE OFF-SITE RUN-ON AREAS THAT FLOW TO PROHIBIT SURFACES FLOW TO A SERIES OF INLET/PIPE CONNECTIONS THAT ARE DIRECTLY CONNECTED TO THE DRY POND TRENCHES.

REPORTING

1. ALL FORMS REQUIRED FOR REPORTING CAN BE SUBMITTED TO THE WATER MANAGEMENT DISTRICT INTERNET SITE.

2. THE OPERATION AND MAINTENANCE ENTITY, RESPONSIBLE FOR A STORMWATER MANAGEMENT SYSTEM, SHALL SUBMIT AN INSPECTION REPORT TO THE WATER MANAGEMENT DISTRICT DESCRIBING AND CERTIFYING THE RESULTS OF THE INSPECTION WITHIN 30 DAYS OF THE DATE OF THE INSPECTION. A QUALIFIED INSPECTOR SHALL CERTIFY THE RESULTS OF ALL SUCH INSPECTIONS. THE PERMITTEE SHALL SUBMIT INSPECTION REPORTS WITH THE WATER MANAGEMENT DISTRICT USING THE FORM, "OPERATION AND MAINTENANCE INSPECTION CERTIFICATION". REPORTS SHALL ALSO INCLUDE, AS APPLICABLE:

- A. WATER MANAGEMENT DISTRICT "INSPECTION CHECKLIST" FORM;
- B. ANY UPDATED OPERATION AND MAINTENANCE COST ESTIMATES AS DESCRIBED IN APPLICANTS HANDBOOK VOLUME 1;
- C. A SUMMARY OF UPDATES TO THE OPERATION AND MAINTENANCE PLAN DESCRIBED IN THE APPLICANTS HANDBOOK VOLUME 1; AND
- D. ANY MONITORING REPORTS AS MAY BE REQUIRED BY A SPECIFIC PERMIT CONDITION.

3. WITHIN 30 DAYS OF ANY FAILURE OF A STORMWATER MANAGEMENT SYSTEM OR DEVIATION FROM THE PERMIT, A REPORT SHALL SUBMITTED ELECTRONICALLY OR IN WRITING TO THE WATER MANAGEMENT DISTRICT USING THE "OPERATION AND MAINTENANCE INSPECTION CERTIFICATION" FORM DESCRIBING THE REMEDIAL ACTIONS TAKEN TO RESOLVE THE FAILURE OR DEVIATION.

4. RECORDS OF OPERATION AND MAINTENANCE DOCUMENTS AND NOTICE OF PERMIT

1. OPERATION AND MAINTENANCE DOCUMENTS REQUIRED BY THE ABOVE SECTIONS, MUST BE SUBMITTED TO THE WATER MANAGEMENT DISTRICT FOR APPROVAL PRIOR TO RECORDING. SUCH DOCUMENTS MUST BE RECORDED IN LOCAL PUBLIC RECORDS UPON COMPLETION OF CONSTRUCTION OF THE SYSTEM. FINAL OPERATION AND MAINTENANCE DOCUMENTS MUST BE RECEIVED BY THE WATER MANAGEMENT DISTRICT WHEN MAINTENANCE AND OPERATION OF THE SYSTEM IS ACCEPTED BY THE OPERATION AND MAINTENANCE ENTITY.

2. PERMITTEES ARE ADVISED THAT THE WATER MANAGEMENT DISTRICT SHALL CAUSE A "RECORDED NOTICE OF ENVIRONMENTAL RESOURCE LIABILITY" FORM TO BE RECORDED IN THE LOCAL PUBLIC RECORDS IN ACCORDANCE WITH THE APPROPRIATE SECTIONS UPON ISSUANCE OF A PERMIT, EXCEPT FOR CERTAIN TYPES OF ACTIVITIES IDENTIFIED IN THAT SUBSECTION.

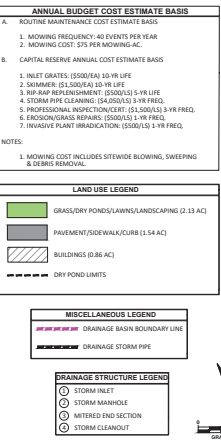
STORMWATER MANAGEMENT SYSTEM AND APPLICANT WORKS OPERATION AND MAINTENANCE RESPONSIBILITY

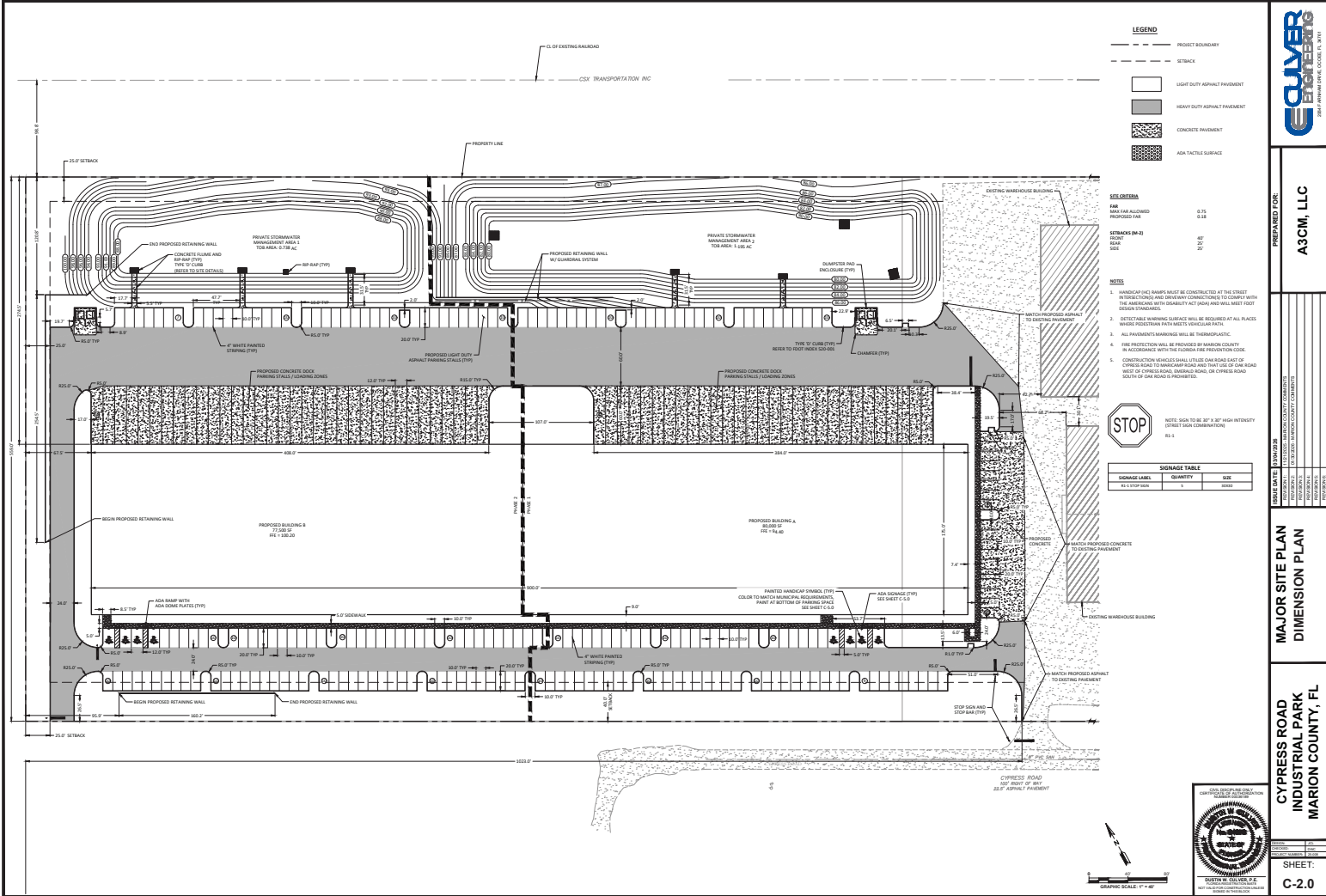
A. A3CM, LLC (ADDRESS: 14330 EASTSIDE STREET, GROVELAND, FL 34718)
IS THE RESPONSIBLE ENTITY FOR THE STORMWATER MANAGEMENT SYSTEM OPERATION AND MAINTENANCE.

DRY POND 1 SYSTEM DATA TABLE		DRY POND 2 SYSTEM DATA TABLE	
DRY RETENTION POND		DRY RETENTION POND	
POND BOTTOM EL.	88.00	POND BOTTOM EL.	86.00
W/OI EL.	83.50	W/OI EL.	81.25
CONTROL STRUCTURE TOP EL.	90.60	OUTFALL STRUCTURE TOP EL.	88.25
POND TOP EL.	83.00	POND TOP EL.	88.00

SMS MAINTENANCE REQUIREMENTS AND ANNUAL BUDGET COST ESTIMATE

ROUTINE MAINTENANCE ITEM DESCRIPTIONS	AMOUNT (\$)
A. GRASS/LANDSCAPE AREAS	
1. GRASS MAINTENANCE & BERMS	
A. MOWING (1.58 AC)	\$4,770
B. EROSION/RUTTING REPAIR	
C. GRASS RESEEDING/REPLANTING	
D. LAWN/LANDSCAPE CLIPPINGS REMOVAL	
B. CONVEYANCE/COLLECTION FACILITIES	
1. PAVED VEHICULAR USE AREAS	
A. SWEEP/BLOWN CLEAN OF DEBRIS/POOLS SEDIMENT BUILDUP	
B. DEBRIS REMOVAL FROM GRATES	
C. DEBRIS REMOVAL FROM INLET BOTTLENECK	
D. EROSION REPAIR AT INLET PERIMETER	
C. POND FACILITIES	
1. GRASSED MAINTENANCE (CARPENTER BERMS & EMBANKMENT SLOPES)	\$7,440
A. MOWING (2.48 AC)	
B. EROSION AND/OR RUTTING REPAIR	
C. DEBRIS, SEDIMENTATION REMOVAL	
D. OUTFALL CONTROL STRUCTURE	
A. DEBRIS REMOVAL FROM GRATE AND STRUCTURE BOTTOM	
B. SUMMER REPAIR	
C. VEGETATION REMOVAL FROM SKIMMER, WEIR AND BLEED-DOWN DEVICES	
D. EROSION AND/OR RUTTING REPAIR	
E. OUTFALL DISCHARGE PIPE/END TREATMENT	
A. MAINTAIN FREE OF DEBRIS, VEGETATION, EROSION AND SEDIMENTATION	
B. END TREATMENT STRUCTURAL REPAIR	
ROUTINE MAINTENANCE ITEMS SUBTOTAL	\$12,210
II. CAPITAL RESERVE ITEMS	
A. REPLACEMENT ITEMS	
1. INLET STEEL GRATES	\$3,000
2. CONTROL STRUCTURE SUMMER	\$1,500
3. RIP-RAP REPLACEMENT	\$500
B. MISCELLANEOUS MAINTENANCE	
1. STORM PIPE CLEANING	\$1,500
2. INSPECTION/CERTIFICATION	\$500
3. EROSION/GRASS REPAIR	\$500
CAPITAL RESERVE ITEMS SUBTOTAL	\$2,500
TOTAL	\$14,710





EQUIVER ENGINEERING
1000 W. GULF BLVD. SUITE 100
DADE CITY, FL 34724
TEL: 813-830-0000
WWW.EQUIVERENGINEERING.COM

**MAJOR SITE PLAN
DIMENSION PLAN**

**CYPRESS ROAD
INDUSTRIAL PARK
MARION COUNTY, FL**

SHEET:
C-2.0

DATE: 11/15/2023

PROJECT: CYPRESS ROAD INDUSTRIAL PARK MARION COUNTY, FL

PREPARED FOR: A3CM, LLC

ENGINEER: EQUIVER ENGINEERING

DESIGNED BY: [Name]

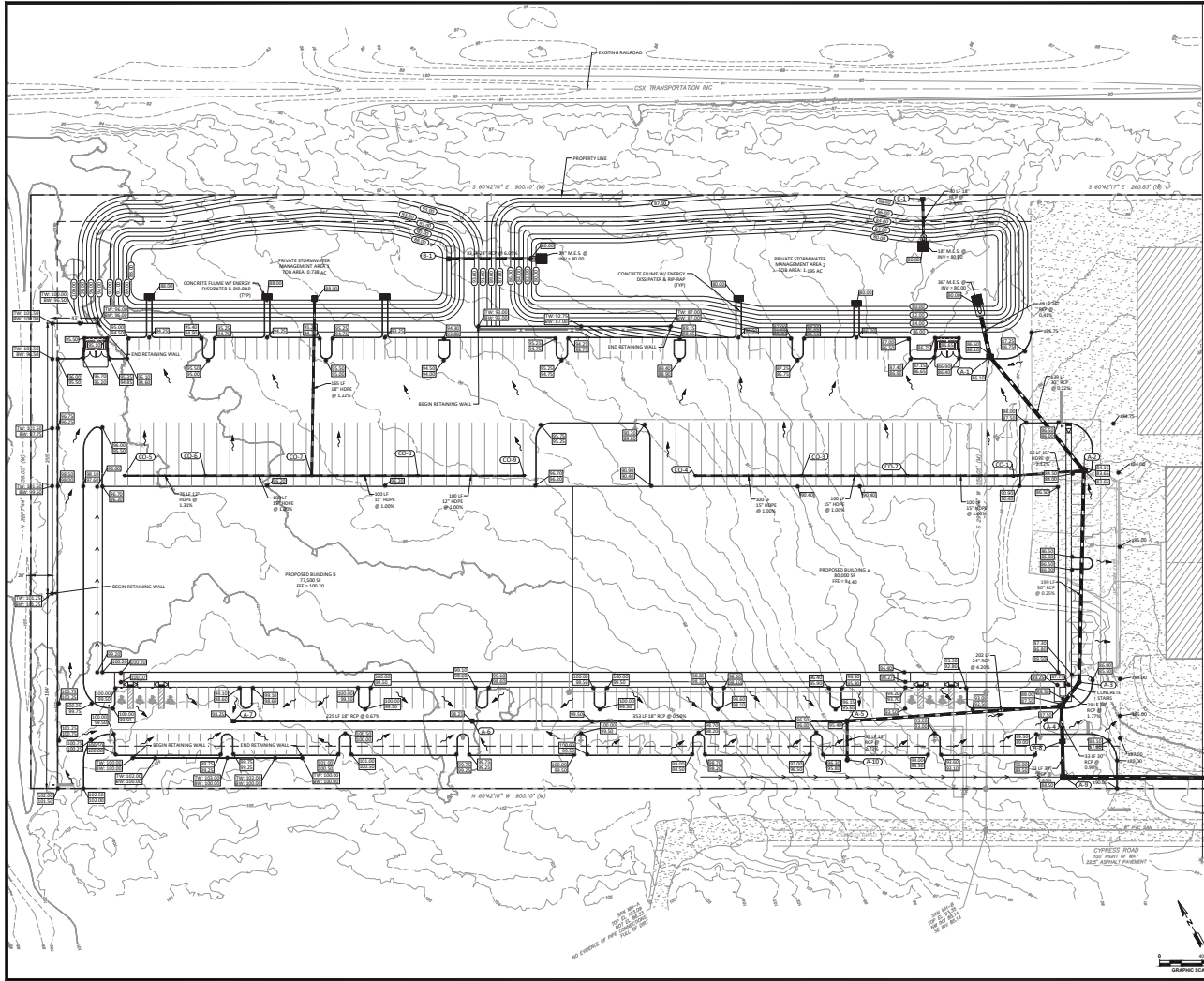
CHECKED BY: [Name]

DATE: 11/15/2023

SCALE: 1" = 40'

PROJECT: CYPRESS ROAD INDUSTRIAL PARK MARION COUNTY, FL

SHEET: C-2.0



LEGEND

- PROJECT BOUNDARY
- STORM PIPES
- STORM MANHOLE
- TYPE 'C' INLET
- PROPOSED CONTOUR
- 73 CASTING CONTOUR
- CASTING STORM PIPE

STORM PIPE MATERIAL NOTE
 ALL STORM PIPES TO BE A20-HF OR CLASS B RCP UNLESS OTHERWISE SPECIFIED ON THE PLANS.

STORM SEWER SCHEDULE
 ALL STRUCTURES SHOWN WITHIN PAVED AREA SHALL HAVE TRAFFIC BEARING STRUCTURE TOPS ELEVATIONS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY STRUCTURE TOPS TO PROPOSED GRADE.

NO.	DESCRIPTION	TOP ELEVATION	NO.	DESCRIPTION	TOP ELEVATION
A.1	STORM PIPE 'C' INLET	TOP: 84.25	C.4	STORM MANHOLE	TOP: 84.25
A.2	STORM PIPE 'C' INLET	TOP: 84.25	C.5	STORM MANHOLE	TOP: 84.25
A.3	STORM PIPE 'C' INLET	TOP: 84.25	C.6	STORM MANHOLE	TOP: 84.25
A.4	STORM PIPE 'C' INLET	TOP: 84.25	C.7	STORM MANHOLE	TOP: 84.25
A.5	STORM PIPE 'C' INLET	TOP: 84.25	C.8	STORM MANHOLE	TOP: 84.25
A.6	STORM PIPE 'C' INLET	TOP: 84.25	C.9	STORM MANHOLE	TOP: 84.25
A.7	STORM PIPE 'C' INLET	TOP: 84.25	C.10	STORM MANHOLE	TOP: 84.25
A.8	STORM PIPE 'C' INLET	TOP: 84.25	C.11	STORM MANHOLE	TOP: 84.25
A.9	STORM PIPE 'C' INLET	TOP: 84.25	C.12	STORM MANHOLE	TOP: 84.25
A.10	STORM PIPE 'C' INLET	TOP: 84.25	C.13	STORM MANHOLE	TOP: 84.25
A.11	STORM PIPE 'C' INLET	TOP: 84.25	C.14	STORM MANHOLE	TOP: 84.25
A.12	STORM PIPE 'C' INLET	TOP: 84.25	C.15	STORM MANHOLE	TOP: 84.25
A.13	STORM PIPE 'C' INLET	TOP: 84.25	C.16	STORM MANHOLE	TOP: 84.25
A.14	STORM PIPE 'C' INLET	TOP: 84.25	C.17	STORM MANHOLE	TOP: 84.25
A.15	STORM PIPE 'C' INLET	TOP: 84.25	C.18	STORM MANHOLE	TOP: 84.25
A.16	STORM PIPE 'C' INLET	TOP: 84.25	C.19	STORM MANHOLE	TOP: 84.25
A.17	STORM PIPE 'C' INLET	TOP: 84.25	C.20	STORM MANHOLE	TOP: 84.25
A.18	STORM PIPE 'C' INLET	TOP: 84.25	C.21	STORM MANHOLE	TOP: 84.25
A.19	STORM PIPE 'C' INLET	TOP: 84.25	C.22	STORM MANHOLE	TOP: 84.25
A.20	STORM PIPE 'C' INLET	TOP: 84.25	C.23	STORM MANHOLE	TOP: 84.25

MAJOR SITE PLAN PAVING GRADING & DRAINAGE PLAN

CYPRUS ROAD INDUSTRIAL PARK MARION COUNTY, FL

SHEET: C-3.0

OSIN W. OLIVER, P.E.

EQUIVER ENGINEERING

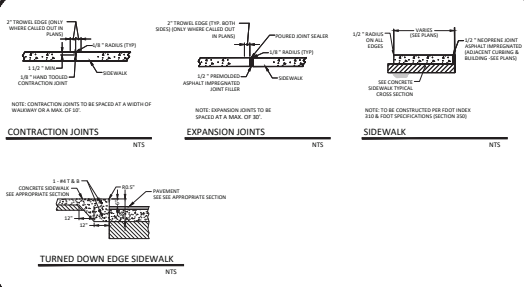
PREPARED FOR: **A3CM, LLC**

PROJECT: **MAJOR SITE PLAN PAVING GRADING & DRAINAGE PLAN**

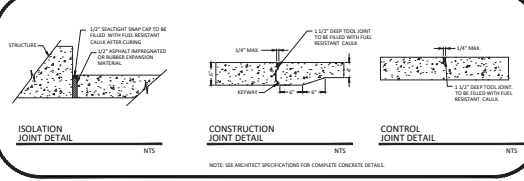
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SHEET: C-3.0

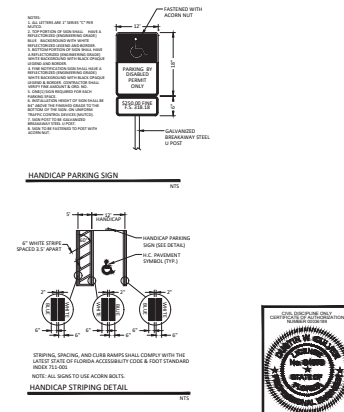
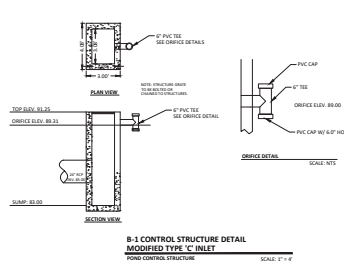
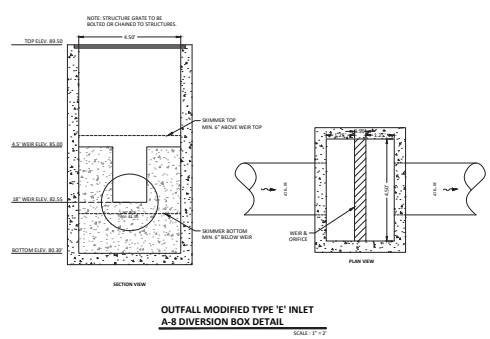
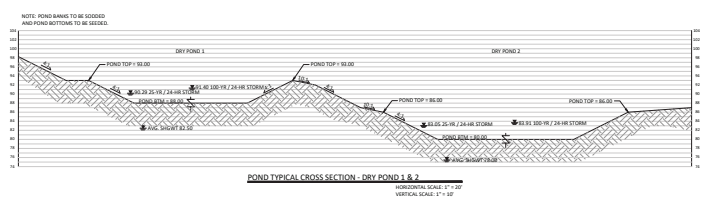
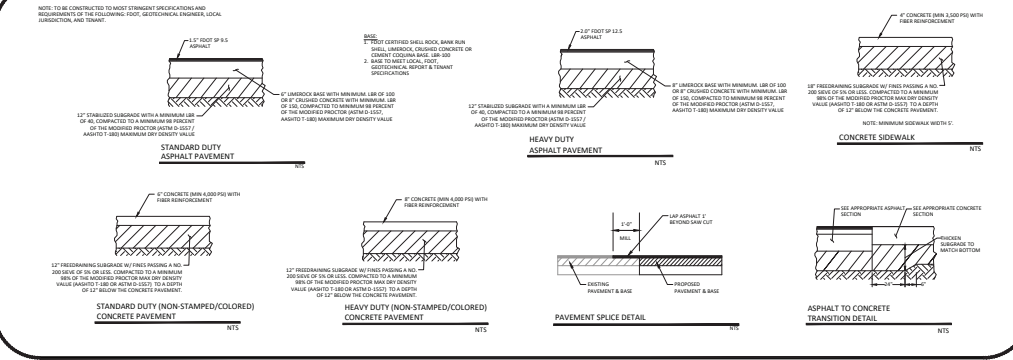
SIDEWALK DETAILS

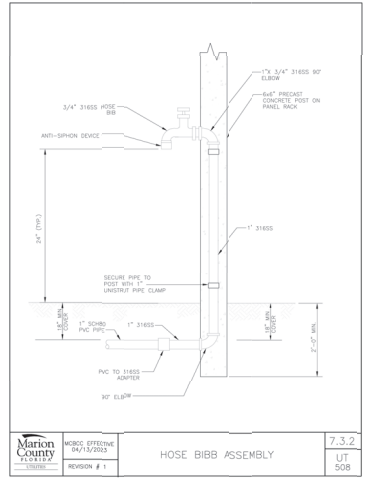
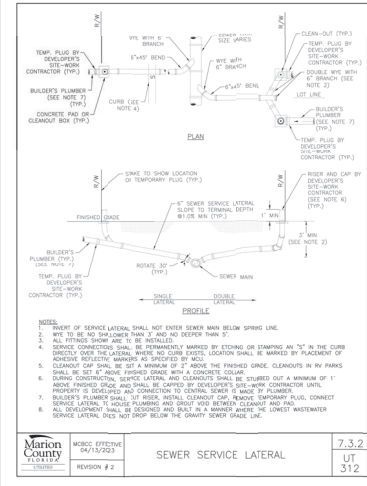
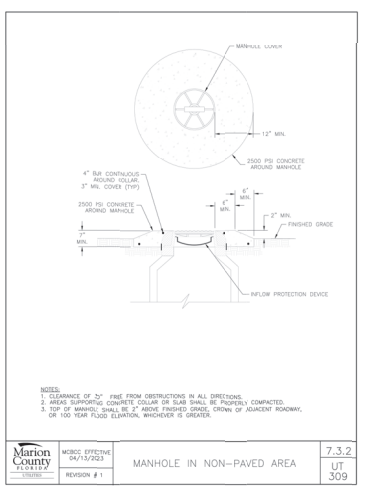
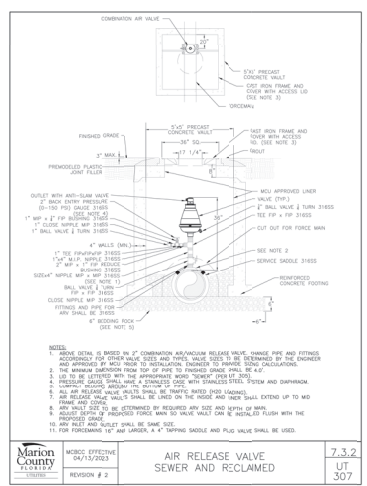
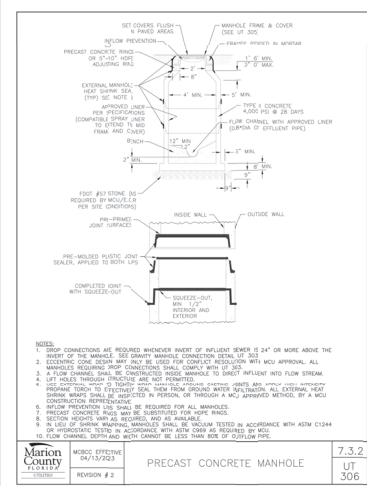


CONCRETE JOINT DETAILS



PAVEMENT DETAILS





EQUIVER ENGINEERING
 1200 UNIVERSITY BLVD, SUITE 100
 GAITHERSBURG, MD 20878
 TEL: 301-281-1100
 FAX: 301-281-1101
 WWW.EQUIVERENGINEERING.COM

PREPARED FOR:
A3CM, LLC

PROJECT: CYPRESS ROAD INDUSTRIAL PARK MARION COUNTY, FL

DATE: 04/15/2023

DESIGNED BY: [Name]

CHECKED BY: [Name]

DATE: 04/15/2023

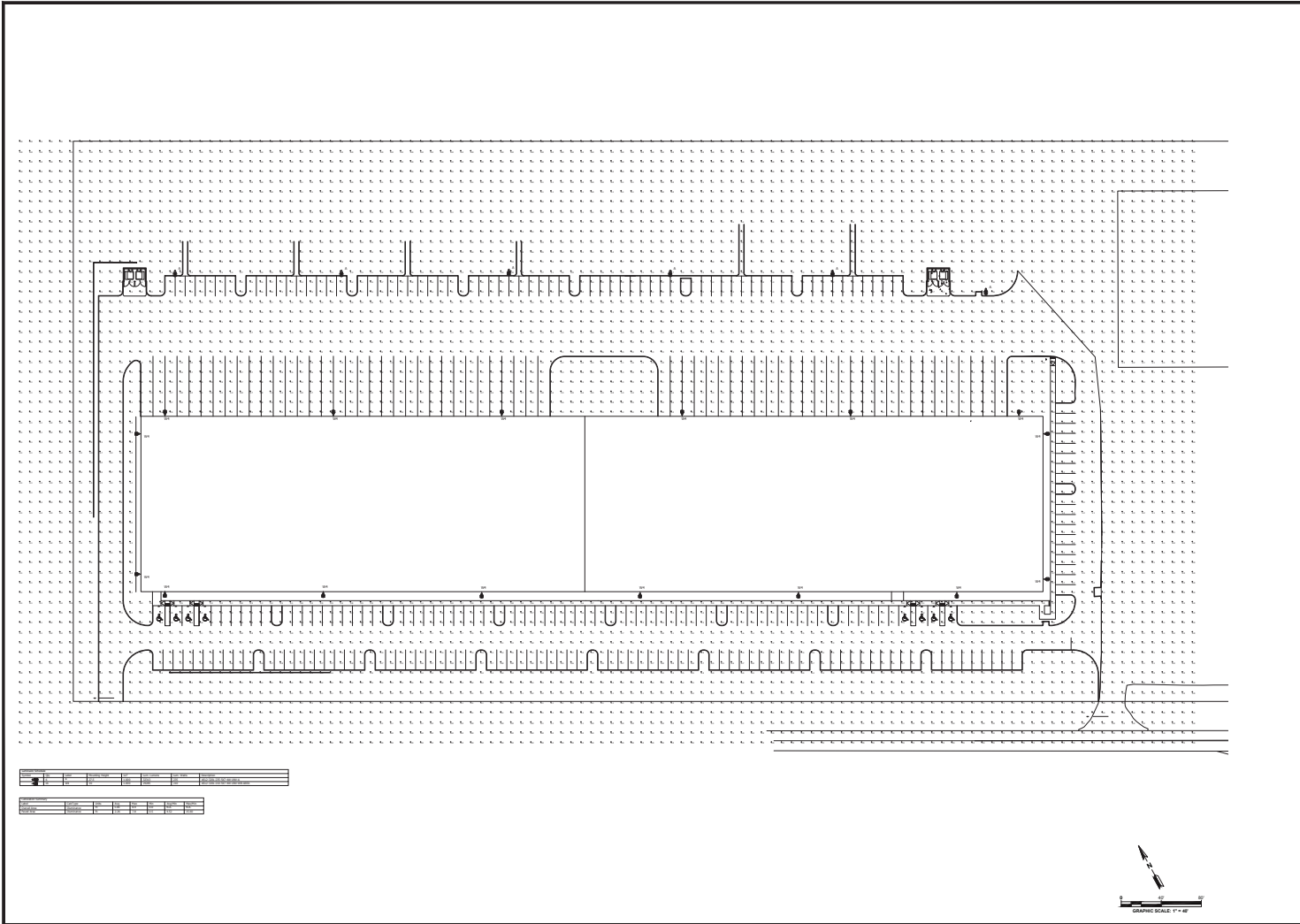
SCALE: AS SHOWN

CYPRESS ROAD INDUSTRIAL PARK MARION COUNTY, FL

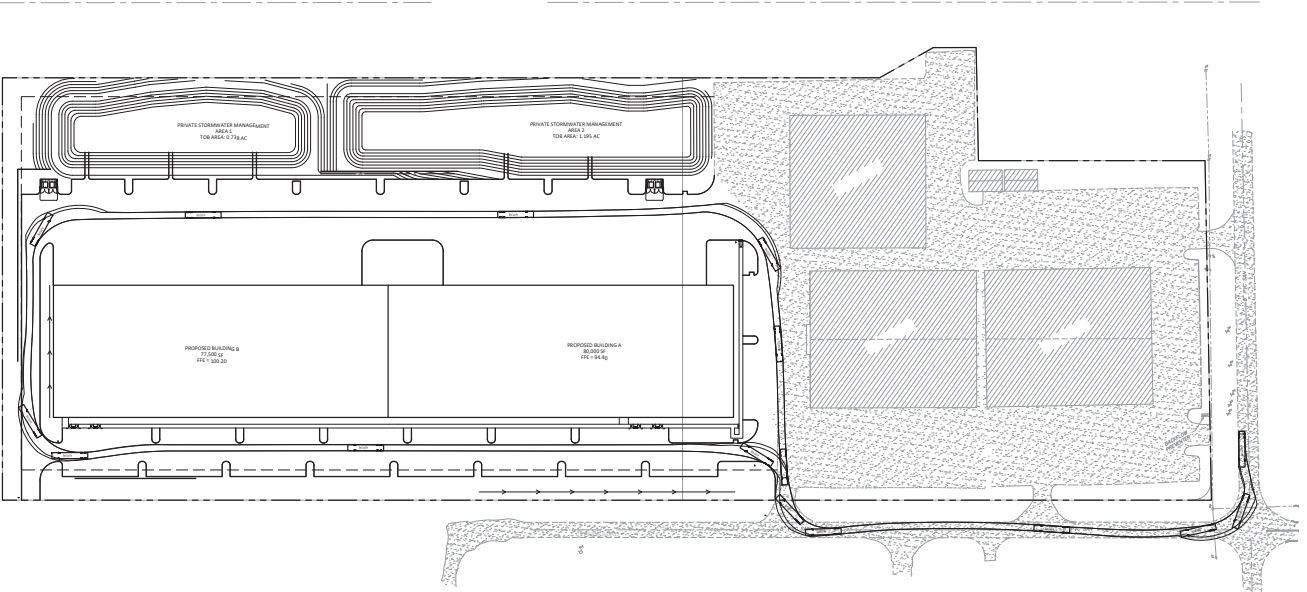
MAJOR SITE PLAN UTILITY DETAILS

SHEET: C-6.3

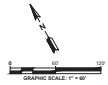
DUSTIN W. COLLIER, P.E.
 LICENSE NO. 12500
 STATE OF FLORIDA



	PREPARED FOR:	A3CM, LLC
	SHEET NO. 12 PROJECT NO. 123456789 DATE: 12/31/2023	
MAJOR SITE PLAN SITE LIGHTING PHOTOMETRIC PLAN		
CYPRESS ROAD INDUSTRIAL PARK MARION COUNTY, FL		
SHEET: C-7.0		



ITEM	DESCRIPTION	QUANTITY	UNIT
1	Proposed Building A	1	sq ft
2	Proposed Building B	1	sq ft
3	Private Stormwater Management Area 1	1	ac
4	Private Stormwater Management Area 2	1	ac
5	Fire Truck Plan	1	plan



PREPARED FOR:
A3CM, LLC

DATE	DESCRIPTION
10/15/2024	ISSUED FOR PERMIT REVIEW
08/15/2024	ISSUED FOR PERMIT REVIEW
07/15/2024	ISSUED FOR PERMIT REVIEW
06/15/2024	ISSUED FOR PERMIT REVIEW

**MAJOR SITE PLAN
FIRE TRUCK PLAN**

**CYPRESS ROAD
INDUSTRIAL PARK
MARION COUNTY, FL**

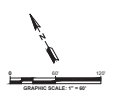
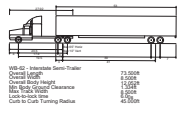
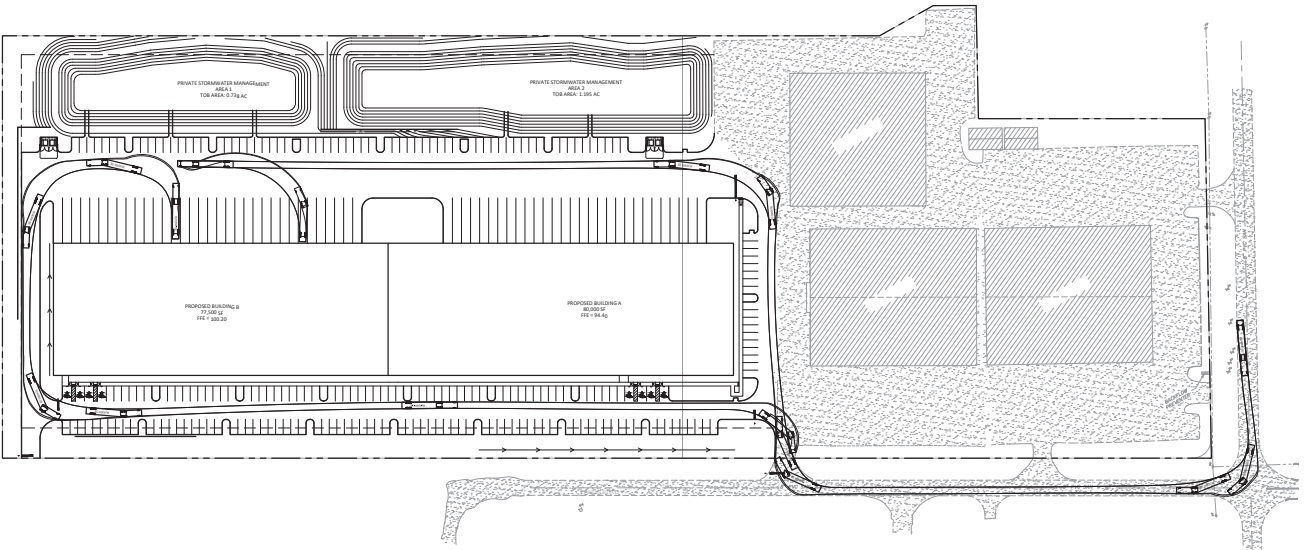
SHEET:
TR-1.0

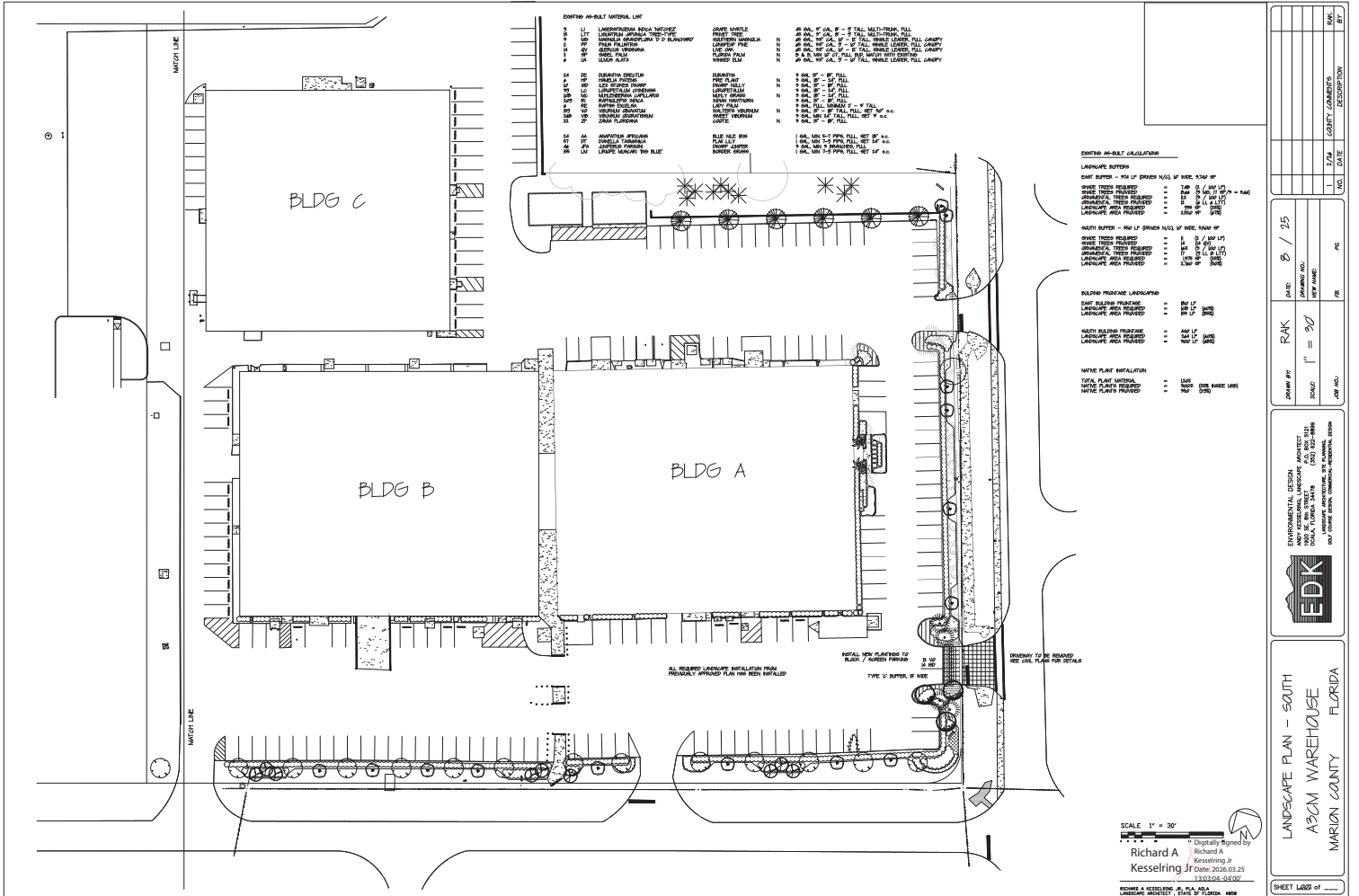
SHEET NO. & DIVISION	
TR-1.1	TRUCK TURN PLAN

**MAJOR SITE PLAN
TRUCK TURN PLAN**

**CYPRESS ROAD
INDUSTRIAL PARK
MARION COUNTY, FL**

SHEET:
TR-1.1





EXISTING AS-BUILT MATERIAL LIST

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
01	LANDSCAPE PLANT MATERIAL				
02	GRASS				
03	FLORAL MULCH				
04	WOOD MULCH				
05	WOOD MULCH				
06	WOOD MULCH				
07	WOOD MULCH				
08	WOOD MULCH				
09	WOOD MULCH				
10	WOOD MULCH				
11	WOOD MULCH				
12	WOOD MULCH				
13	WOOD MULCH				
14	WOOD MULCH				
15	WOOD MULCH				
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39	WOOD MULCH				
40	WOOD MULCH				
41	WOOD MULCH				
42	WOOD MULCH				
43	WOOD MULCH				
44	WOOD MULCH				
45	WOOD MULCH				
46	WOOD MULCH				
47	WOOD MULCH				
48	WOOD MULCH				
49	WOOD MULCH				
50	WOOD MULCH				

EXISTING AS-BUILT CALCULATIONS

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	LANDSCAPE BUTTER				
2	LANDSCAPE BUTTER				
3	LANDSCAPE BUTTER				
4	LANDSCAPE BUTTER				
5	LANDSCAPE BUTTER				
6	LANDSCAPE BUTTER				
7	LANDSCAPE BUTTER				
8	LANDSCAPE BUTTER				
9	LANDSCAPE BUTTER				
10	LANDSCAPE BUTTER				
11	LANDSCAPE BUTTER				
12	LANDSCAPE BUTTER				
13	LANDSCAPE BUTTER				
14	LANDSCAPE BUTTER				
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41	LANDSCAPE BUTTER				
42	LANDSCAPE BUTTER				
43	LANDSCAPE BUTTER				
44	LANDSCAPE BUTTER				
45	LANDSCAPE BUTTER				
46	LANDSCAPE BUTTER				
47	LANDSCAPE BUTTER				
48	LANDSCAPE BUTTER				
49	LANDSCAPE BUTTER				
50	LANDSCAPE BUTTER				

LANDSCAPE PLAN - SOUTH
A3CM WAREHOUSE
MARION COUNTY FLORIDA

ENVIRONMENTAL DESIGN ARCHITECTS
AND ASSOCIATES, LANDSCAPE ARCHITECTS
2024 N. W. 10TH AVENUE, SUITE 100
GAINESVILLE, FLORIDA 32609
(352) 333-1888
www.eda-landscape.com

EDK

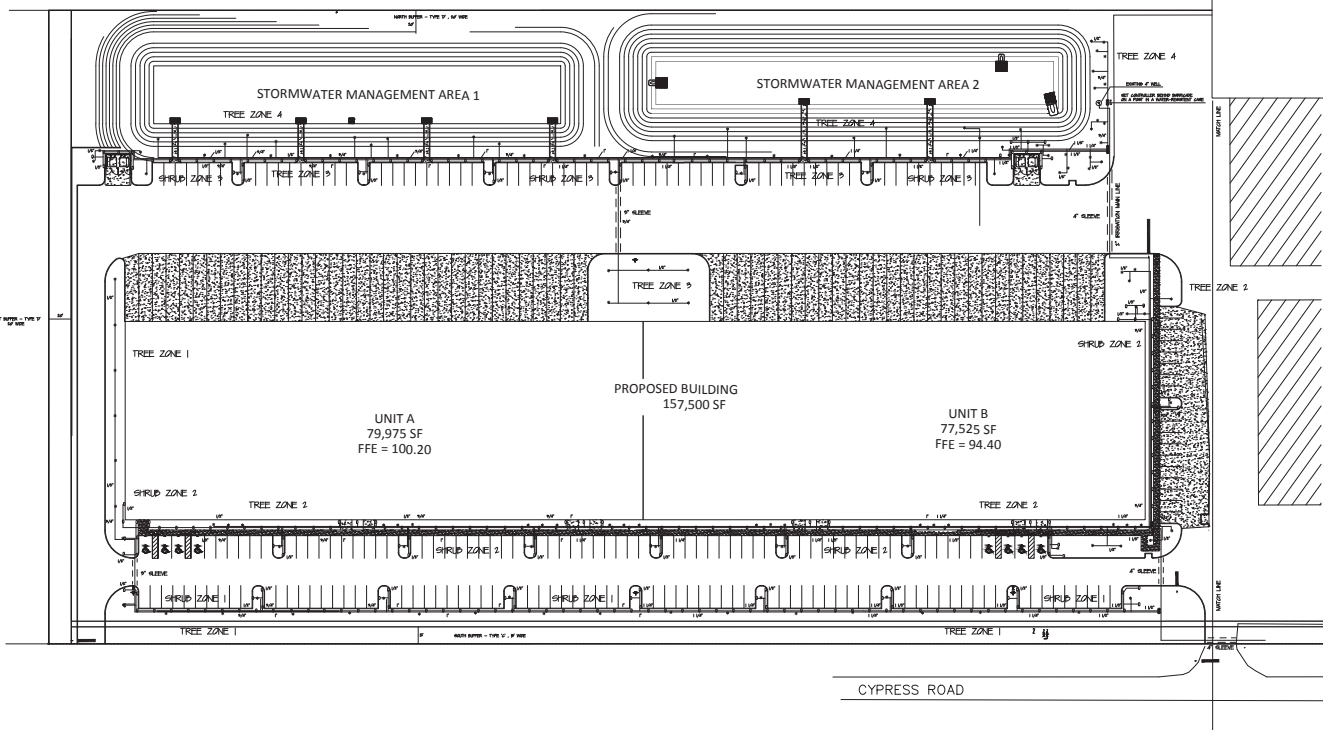
SCALE: 1" = 30'

DATE: 2026.03.25

DRAWN BY: RAK
CHECKED BY: RAK
SCALE: 1" = 30'

DATE: 8 / 25
DRAWING NO.:
SHEET NO.:
DATE: 1 2/24

NO. DESCRIPTION



- IRRIGATION LEGEND**
- HANTER MP 3000 REMOTE SPRAY HEADS
 - ⊙ HANTER MP 3000 REMOTE SPRAY HEADS
 - ⊙ HANTER P30 REMOTE RAINBOW HEADS FOR TREES
 - ⊙ SPRINKLER IRRIGATION WELL
 - ⊙ SOIL MOISTURE SENSOR
 - ⊙ HANTER IN-GRADE 8-WAY VALVES
 - ⊙ 1" NELSON VALVES IN WATER-RESISTANT BORDERS
 - == BOUNDARY - 80% AS P.L.C.

IRRIGATION DATA TABLE

TREE ZONE 1	= 100 GPM
TREE ZONE 2	= 110 GPM
TREE ZONE 3	= 100 GPM
TREE ZONE 4	= 100 GPM
SHRUB ZONE 1	= 100 GPM
SHRUB ZONE 2	= 100 GPM
SHRUB ZONE 3	= 100 GPM
SHRUB ZONE 4	= 100 GPM

100 GPM = 1.5 GALLONS PER MINUTE
 1" = 1.31 GPM
 1" = 1.31 GPM

SCALE: 1" = 40'

Richard A Kesselring Jr
 Digitally signed by
 Richard A Kesselring Jr
 Date: 2026.03.25
 13:03:47 -04'00'

RICHARD A. KESSELRING, JR., P.L.A., A.S.L.A.
 LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

DATE: 8 / 25	PROJECT NO: 2026-03-25	SCALE: 1" = 40'	DATE: 8 / 25
DRAWN BY: RAK	CHECKED BY: JAK	DATE: 8 / 25	DATE: 8 / 25
ENVIRONMENTAL DESIGN ARCHITECT	ARCHITECT	NO. 13131	NO. 13131
1000 W. UNIVERSITY BLVD.	1000 W. UNIVERSITY BLVD.	ORLANDO, FL 32819	ORLANDO, FL 32819
EDK	EDK	EDK	EDK
IRRIGATION PLAN - NORTH	ASCOM WAREHOUSE	MARION COUNTY	FLORIDA
SHEET 1222 OF 1222			

