

August 19, 2024

PROJECT NAME: MA BARKER HOUSE RESTORATION ASSISTANCE

PROJECT NUMBER: 2023070011

APPLICATION: MAJOR SITE PLAN #30367

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 8/8/23 - add waivers if requested in the future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.12.36 - Location of water & septic systems
STATUS OF REVIEW: INFO
REMARKS: Septic system must be at least 75' from high water line
- 7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Septic permit will be required through the Department of Health in Marion County

- 8 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: INFO
REMARKS: To be worked out with FWC.
- 9 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.11 - Landscape installation
STATUS OF REVIEW: INFO
REMARKS: installation shall mean survival in perpetuity
- 10 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Will there be any signs?
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: Will there be any outside storage?
- 12 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 6/28/23

A. PROJECT INFORMATION:

Project Name: Ma Barker House Restoration Assitance
Parcel Number(s): Part of 45798-000-00
Section 12 Township 17 S Range 23 East Land Use P Zoning Classification GU
Commercial Residential Industrial Institutional Mixed Use Other Carney Island Park
Type of Plan: MAJOR SITE PLAN
Property Acreage ±10.36 ac. of 600 Number of Lots N/A Miles of Roads N/A
Location of Property with Crossroads 600 ft S of intersection of SE 115th Ave & SE 132nd Pl
Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:
Firm Name: CHW Contact Name: Walker Owen
Mailing Address: 11801 Research Drive City: Alachua State: FL Zip Code: 32615
Phone # (352) 331 - 1976 Alternate Phone # _____
Email(s) for contact via ePlans: permiteng@chw-inc.com

Surveyor:
Firm Name: CHW Contact Name: Aaron Hickman
Mailing Address: 11801 Resarch Drive City: Alachua State: FL Zip Code: 32615
Phone # (352) 331 - 1976 Alternate Phone # _____
Email(s) for contact via ePlans: permiteng@chw-inc.com

Property Owner:
Owner: Marion County Parks and Recreation Department Contact Name: _____
Mailing Address: 111 SE 25th Avenue City: Ocala State: FL Zip Code: 34471
Phone # Contact Agent Alternate Phone # _____
Email address: Contact Agent

Developer:
Developer: Marion County Parks and Recreation Development Contact Name: Joey Amodo
Mailing Address: 111 SE 25th Avenue City: Ocala State: FL Zip Code: 34471
Phone # (352) 671-8560 Alternate Phone # _____
Email address: joey.amodo@marionfl.org

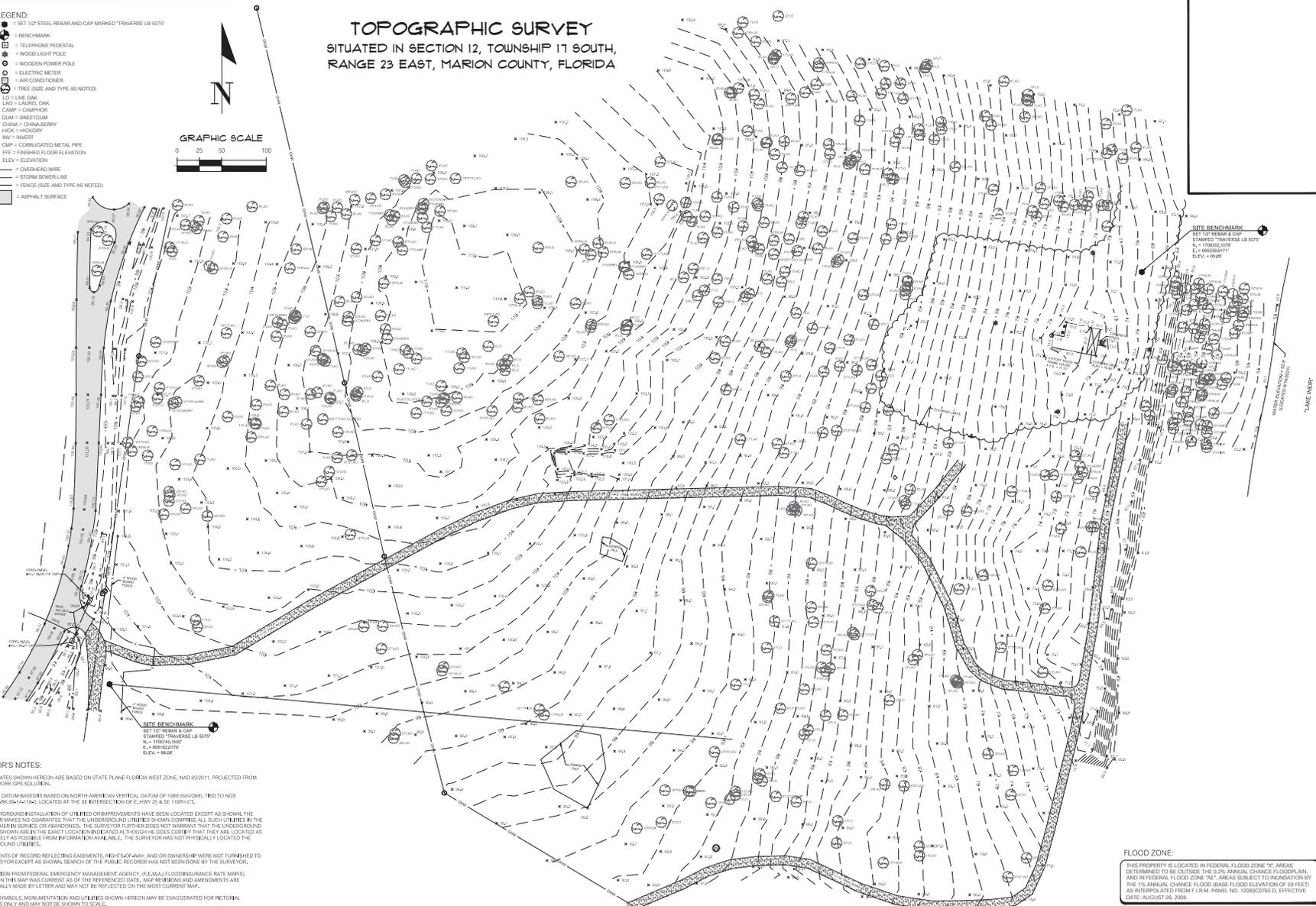
Revised 6/2021

- LEGEND:**
- = SET 10" STEEL REBAR AND CAP MARKED "TRAVERSE LB 5075"
 - ⊙ = BENCHMARK
 - ⊕ = TELEPHONE PEDESTAL
 - ⊙ = WOOD LIGHT POLE
 - ⊕ = WOODEN POWER POLE
 - ⊙ = ELECTRIC METER
 - ⊕ = AIR-CONDITIONER
 - ⊙ = TREE (SIZE AND TYPE AS NOTED)
 - LD = LIVE OAK
 - LAD = LAUREL OAK
 - CAMP = CAMPHOR
 - QUM = SWEETGUM
 - CHNA = CHINA BERRY
 - MOCK = HICKORY
 - INV = INVERT
 - CMP = CORRUGATED METAL PIPE
 - FFE = FINISHED FLOOR ELEVATION
 - ELEV = ELEVATION
 - DHW = DOWNHEAD WIRE
 - ST = STORM SEWER LINE
 - F = FENCE (SIZE AND TYPE AS NOTED)
 - ASPH = ASPHALT SURFACE



TOPOGRAPHIC SURVEY

SITUATED IN SECTION 12, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA



- SURVEYOR'S NOTES:**
1. COORDINATES SHOWN HEREON ARE BASED ON STATE PLANE FLORIDA WEST ZONE, NAD 83(2011), PROJECTED FROM RTK NETWORK GPS SOLUTION.
 2. VERTICAL DATUM BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), TIED TO NGS BENCHMARK 94-14154, LOCATED AT THE SE INTERSECTION OF E. HWY 25 & SE 119TH CT.
 3. NO UNDERGROUND INSTALLATIONS OF UTILITIES OR PROHIBITIONS WERE BEING LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER BY LETTER OR ABBREVIATION, THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 4. INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY AND OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SPECIAL SEARCH OF THE PUBLIC RECORDS HAD NOT BEEN DONE BY THE SURVEYOR.
 5. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS, SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
 6. FENCES, DIMENSIONS, HEIGHTS/DEPTH AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
 7. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SHADED LAYERS IN THE SUPPLIED DIGITAL FILE.

FLOOD ZONE:
 THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "C" AREAS DETERMINED TO BE OUTSIDE THE 50% ANNUAL CHANCE FLOODPLAIN, AND IN FEDERAL FLOOD ZONE "AE" AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD-BASE FLOOD ELEVATION OF 59 FEET AS INTERPOLATED FROM F.I.R.M. PANEL NO. 12083C026 D, EFFECTIVE DATE: AUGUST 28, 2008.

CHW
 CHERRY HILL SURVEYING & ENGINEERING, INC.
 10000 N.W. 11TH AVENUE, SUITE 100
 MIAMI, FLORIDA 33150
 TEL: 305.444.1111 FAX: 305.444.1112
 WWW.CHERRYHILLSURVEYING.COM

MARION COUNTY

| | |
|--------------|------------------|
| DATE | 21-03-20 |
| PROJECT NO. | 21-0030 |
| DRAWN BY | AARON H. HICKMAN |
| CHECKED BY | AARON H. HICKMAN |
| DATE PLOTTED | 03/21/21 |
| SCALE | AS SHOWN |

This map prepared by:
 Aaron H. Hickman
 Certified of Registration No. LB 5075
 NOT VALID WITHOUT THE ORIGINAL
 LICENSED SURVEYOR AND MAPPER

Professional Stamp & Major Fla. License No. 6791

MAJOR SITE PLAN FOR MA BARKER HOUSE RESTORATION ASSISTANCE

MARION COUNTY, FLORIDA SECTION 12, TOWNSHIP 17 SOUTH, RANGE 23 EAST

SUBMITTED TO ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FLORIDA DEPARTMENT ENVIRONMENTAL PROTECTION MARION COUNTY

DEVELOPER

MARION COUNTY
BOARD OF COMMISSIONERS
2631 SE THIRD ST.
OCALA, FL 34471
(352) 671-8444
EMAIL: ProcurementInvoices@marioncountyfl.org

OWNER

MARION COUNTY
BOARD OF COMMISSIONERS
2631 SE THIRD ST.
OCALA, FL 34471
(352) 671-8444
EMAIL: ProcurementInvoices@marioncountyfl.org

COUNTY PROJECT MANAGER

MARION COUNTY
PARKS AND RECREATION DEPARTMENT
JIM COUILLARD, P.L.A., A.S.L.A.
111 SE 25TH AVENUE
OCALA, FL 34471
(352) 671-8560
EMAIL: James.couillard@marioncountyfl.org

SURVEYOR OF RECORD

AARON H. HICKMAN, P.S.M.
CHW
101 NE 1ST AVE
OCALA, FL 34470
(352) 414-4621
EMAIL: AaronH@chw-inc.com

ENGINEER OF RECORD

WALKER FAIN OWEN, P.E.
CHW
101 NE 1ST AVE
OCALA, FL 34470
(352) 414-4621
EMAIL: DanielY@chw-inc.com

LANDSCAPE ARCHITECT

JOHN MICHAEL SIMPSON, P.L.A.
CHW
11801 RESEARCH DRIVE
ALACHUA, FLORIDA 32615
(352) 331-1976

GENERAL NOTES

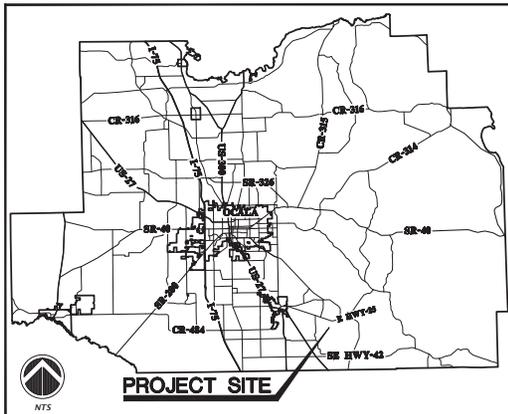
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
- THIS PROJECT IS LOCATED IN THE COUNTY SECONDARY SPRINGS ZONE.
- NOTE: THE SITE DESIGN COMPLIES WITH THE COUNTY SECONDARY SPRINGS ZONE DESIGN REQUIREMENTS.
- MARION COUNTY IS RESPONSIBLE FOR MAINTENANCE AND MANAGEMENT OF COMMON AREA AND IMPROVEMENTS.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
- THIS PROJECT IS LOCATED IN THE COUNTY ES07 - ENVIRONMENTALLY SENSITIVE OVERLAY ZONE.

APPROVED DRC WAIVERS

- 2.12.8 - RECERTIFICATION OF SURVEY TO BE WAIVED DUE TO NO CHANGES TO PROJECT SITE, 9/11/2023 DRC.
- 6.1.1.7826-D - GEOTECHNICAL CRITERIA REQUIRING ADDITIONAL BORINGS TO BE WAIVED, 9/11/2023 DRC.

DEVELOPMENT DATA

| LAND USE: PUBLIC | | | |
|--|-------------------|----------|---------|
| ZONING: G-U | | | |
| | ON-SITE | | |
| DEVELOPMENT AREA: | 451,252 S.F. | 10.36 AC | 100.00% |
| BUILDING AREA (PROPOSED IMPERVIOUS): | 3,774 S.F. | 0.09 AC | 0.87% |
| ROADS/CURB/CONCRETE (PROPOSED IMPERVIOUS): | 71,001 S.F. | 1.63 AC | 15.73% |
| TOTAL IMPERVIOUS AREA: | 24,775 S.F. | 1.72 AC | 16.60% |
| STORMWATER MANAGEMENT FACILITY | 61,878 S.F. | 1.42 AC | 13.71% |
| OPEN SPACE | 376,477 S.F. | 8.64 AC | 83.40% |
| EXISTING IMPERVIOUS AREA: | 1,341 S.F. | 0.03 AC | 0.29% |
| TOTAL IRRIGATED AREA: | 0 S.F. | 0.0 AC | 0.00% |
| PARKING SPACES | 13 | | |
| MAX BUILDING HEIGHT: | LESS THAN 20 FEET | | |
| TAX PARCELS: 45798-000-00 (A PORTION OF) | | | |



MARION COUNTY VICINITY MAP



LOCATION MAP

SHEET INDEX

| SHEET NUMBER | DESCRIPTION |
|--------------|--|
| C001 | COVER SHEET AND INDEX |
| 1 OF 1 | TOPOGRAPHIC SURVEY |
| C002 | GENERAL NOTES |
| C003 | LEGEND |
| C004 | STORMWATER POLLUTION PREVENTION NOTES |
| C005 | STORMWATER POLLUTION PREVENTION PLAN AND DETAILS |
| C006 | DEMOLITION AND TREE PROTECTION PLAN |
| C007 | MASTER SITE PLAN |
| C008 | ACCESSIBILITY SITE PLAN |
| C009 | MASTER GRADING PLAN |
| C010-C014 | DETAILED GRADING AND DRAINAGE PLAN |
| C015 | STORMWATER MANAGEMENT FACILITY #1 PLAN AND SECTION |
| C016 | STORMWATER MANAGEMENT FACILITY #2 PLAN AND SECTION |
| C017 | STORMWATER MANAGEMENT FACILITY #3 PLAN AND SECTION |
| C018 | STORMWATER MANAGEMENT FACILITY #4 PLAN AND SECTION |
| C019 | MASTER UTILITY PLAN |
| C020 | AERIAL SITE PLAN |
| LS-1 - LS-3 | LANDSCAPE PLANS |
| IR-1 - IR-3 | IRRIGATION PLANS |

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED:

WALKER FAIN OWEN
FL PE NO. 94201

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS:

AARON H. HICKMAN, P.S.M.
FL PLS NO. 6791

LEGAL DESCRIPTION:
SEE SURVEY
REFER TO SURVEY FOR DATUM AND BENCHMARK DATA.

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH

Know what's below.
Call before you dig.

1-800-432-4770



GENERAL NOTES

1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY CHW, AND DATED JUNE 14, 2021.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITIES COMPANIES DURING THE LOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-422-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND FEMING THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. THE CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE REMOVAL OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TIE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. ALL TREE BARICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY MARION COUNTY PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIAL AND COMPACTED AS SHOWN ON THESE PLANS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFERE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL WORKING DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE COVERING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2022-23) ROAD CONSTRUCTION, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JANUARY 2023, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FOOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FOOT APPROVED SOURCE.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FOOT STANDARDS.
22. ALL STRIPING WITHIN THE FOOT RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTOR'S EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
25. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE MARION COUNTY PRIOR TO INITIATION OF SITE CONSTRUCTION.
26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
27. CONTRACTOR IS RESPONSIBLE FOR ALL Dewatering AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS, 2022 EDITION, SECTION 1.20.
28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS. IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PILING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE OR ROAD CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FOOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FOOT STANDARDS PLANS AND FOOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY MARION COUNTY.
2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
6. ALL ASPHALT AND LIMESTOCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMESTOCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OR PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMESTOCK, LIMESTOCKS, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
 - A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHALL BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOIL SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOIL SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.
 - NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
 - B. ALL INLET STRUCTURES AND PIPES SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FOOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
 - C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, THE FACILITIES BOTTOM SHALL BE OVER-EXCAVATED BY SIX INCHES, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
 - D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
 - E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED AND PEGGED SOO.
 - F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED. WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE SITUATION AND CONSTRUCTION OPERATION.
 - G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.

6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
7. CONTRACTOR IS TO SUBMIT FOOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
8. AS DETERMINED NECESSARY AND DIRECTED BY MARION COUNTY OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMESTOCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FOOT INDEX 120-901 AND 120-902.
9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL GRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
 - B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 12" OF STRAIGHT AND LEVEL CLEARANCE.
 - C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"X60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.
11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
16. SOO SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FOOT INDEX 524-001 AND FOOT INDEX 425- AND 430- BEING AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FOOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSY AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS 1 SURFACE FINISH.
19. ALL HOPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FOOT STANDARD SPECIFICATION SECTION 430.

WATER AND WASTEWATER GENERAL NOTES

1. MATERIALS AND CONSTRUCTION METHODS FOR WATER AND WASTEWATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THEREO. APPROVAL AND CONSTRUCTION OF ALL UTILITY EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY UTILITY FIELD LOCATION AND RELOCATION AS REQUIRED.
4. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
5. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
6. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
8. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN SIX FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GRAVITY OR PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN THREE FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND VACUUM WASTEWATER MAINS. A HORIZONTAL SEPARATION OF THREE FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
9. WHEN POTABLE WATER MAINS CROSS OTHER PIPES, THE TWO PIPES SHALL HAVE JOINTS A MINIMUM OF SIX FEET FROM THE CROSSING. WHEN POTABLE WATER MAINS CROSS UNDERNEATH OTHER PIPES, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE GRAVITY AND VACUUM WASTEWATER MAINS, STORM SEWERS, AND STORMWATER FORCE MAINS, THE PREFERRED VERTICAL SEPARATION IS TWELVE INCHES AND THE MINIMUM VERTICAL SEPARATION IS SIX INCHES.
10. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
11. RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH ANWA STANDARDS.
12. ALL PVC WATER SERVICE LINES SHALL BE SCH 40 PVC.
13. THE SITE WORK CONTRACTOR SHALL ENGAGE THE SERVICES OF A LICENSED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR TO INSTALL THE NEW WATER SERVICE LINE.
14. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC SDR 35 OR 6" PVC SDR 35 WITH A CLEAN-OUT LOCATED PER THE PLANS. MINIMUM SLOPE FOR 4" LATERALS SHALL BE 1:100, AND A MINIMUM CLEANOUT SPACING OF 75 FEET ON-CENTER AND MINIMUM SLOPE FOR 6" LATERALS SHALL BE 0.6% AND A MINIMUM CLEANOUT SPACING OF 100 FEET ON-CENTER.
15. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED FOR ALL UTILITIES SHOWN HEREON BY METES AND BOUND DESCRIPTION AND IN ACCORDANCE WITH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.
16. UTILITY INSTALLATION PROJECTS SHALL BE INSPECTED BY MCOU. A PRE-CONSTRUCTION MEETING IS TO BE ORGANIZED WITH THE MCOU CONSTRUCTION MANAGER, ALEJANDRO BADO, 72 HOURS PRIOR TO START OF CONSTRUCTION. MR. BADO CAN BE REACHED AT 352-307-4630 OR ALEJANDRO.BADO@MARIONCOUNTY.ORG.

ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.

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I. INTRODUCTION

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62-621, 300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGE OF STORMWATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE USING STANDARD PRACTICE AND BEST MANAGEMENT PRACTICES (BMPs) AND IS ORGANIZED TO CORRESPOND TO 62-621.300(4) GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FROM 62-621.300(4) TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT. CONTRACTORS MUST FILL IN THE ACTIVITIES SCHEDULE (SECTION II, B, BELOW) AND SIGN THIS SHEET REFER TO SIGNATURE TABLE (THIS SHEET) AND RETAIN THIS SHEET AND ALL FOLLOWING SWPPP SHEETS ON SITE. ALTERNATIVELY, CONTRACTORS MAY PREPARE AND SIGN THEIR OWN SWPPP PLAN MEETING THE REQUIREMENTS. IF THE SITE OR CONTRACTOR ACTIVITIES REQUIRE ANY BMP THAT IS NOT DESCRIBED ON THIS SHEET, THE CONTRACTOR MUST PREPARE AN ALTERNATIVE DOCUMENT CONTAINING THE NECESSARY BMPs.

II. SITE DESCRIPTION

COUNTY: MARION COUNTY, FLORIDA
SECTION, TOWNSHIP, RANGE: SECTION 12, TOWNSHIP 17 SOUTH, RANGE 23 EAST
COUNTY PARCEL NO.: 43798 000 00
STREET ADDRESS: 13275 SE 137TH AVE
PROJECT AREA: 13.89 ACRES
SITE LOCATION MAP: SEE COVER SHEET OF CONSTRUCTION DRAWINGS

A. NATURE OF CONSTRUCTION ACTIVITY

THE PROPOSED DEVELOPMENT IS THE CONSTRUCTION OF TWO NEW BUILDINGS, AN ENTRY ROAD, PARKING, ASSOCIATED WALKWAYS, UTILITIES AND STORMWATER FACILITIES.

B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES - CONTRACTOR MUST FILL IN DATES

FROM [] TO [] PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL OBTAIN AND REVIEW THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGN AND REVIEW MANUAL, DATED JULY 2011, AND THESE PLANS.
FROM [] TO [] THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF SEDIMENT.
FROM [] TO [] ONLY THE AREA COMPRISING THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHALL BE CLEARED AND GRUBBED OF UNWANTED VEGETATION.
FROM [] TO [] THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED.
FROM [] TO [] IF SATISFAE, THE EXCAVATION SOIL FROM THE FACILITY MAY BE USED AS FILL FOR ON-SITE GRADING THAT IS SPECIFIED IN THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL ON-SITE OR OFF-SITE TO A PERMITTED LOCATION.
FROM [] TO [] THE REMAINING PORTION OF THE SITE THAT IS TREATED BY THE CONSTRUCTED STORMWATER MANAGEMENT FACILITIES SHALL BE CLEARED AND GRUBBED.
FROM [] TO [] THE DRIVEWAYS/DREWSHAWS SHALL BE ROUGHLY GRADED.
FROM [] TO [] THE UNDERGROUND UTILITIES INFRASTRUCTURE AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DEWATERING (PUMPS) SHALL BE OVERTOKE TO THE ASSOCIATED STORMWATER MANAGEMENT FACILITIES.
FROM [] TO [] THE PERMANENT ROADWAY/DRIVEWAY SURGRADE SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN FOLLOWED BY AN OVERLAY OF ASPHALT.
FROM [] TO [] UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER PIPING SYSTEM SHALL BE FLEUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND OTHER CONTAMINANTS.
FROM [] TO [] UPON COMPLETION OF THE DEBRIS AND SEDIMENT REMOVAL FROM THE STORMWATER PIPING SYSTEM, THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHALL BE FINE GRADED AND SHALL BE EXCAVATED A MINIMUM OF SIX INCHES BELOW THE DESIGN BOTTOM ELEVATION AND REPLACED WITH FILL HAVING A MINIMUM PERMEABILITY RATE OF 20 FEET/DAW WITH A MAXIMUM OF 5% SOIL FINES PASSING THE NO. 100 SIEVE. THE BOTTOM SHALL BE SCARIFIED AND STABILIZED ACCORDING TO THESE PLANS. ONCE COMPLETED, NO HEAVY MACHINERY SHALL BE ALLOWED WITHIN THE STORMWATER MANAGEMENT FACILITIES.
FROM [] TO [] ALL REMAINING DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRADED AND/OR LANDSCAPED ACCORDING TO THESE PLANS. TURF ESTABLISHMENT SHALL BE PER FOOT STANDARD SPECIFICATIONS SECTION 570. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

C. SITE DEVELOPMENT DATA:

TOTAL PROJECT SITE AREA: 13.89 ACRES
TOTAL SITE AREA TO BE DISTURBED: 13.89 ACRES
TOTAL INTERVIOUS AREA (AS SHOWN IN CONSTRUCTION DRAWINGS): 1.63 ACRES
TOTAL DETENTION VOLUME: 31.2 ACRE FEET
TOTAL DRIVE AREA: 10.22 ACRES

D. SOIL CONDITIONS AND STORMWATER QUALITY

THE MFS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPOSED OF ARBODEONDO SAND AND CANDLER SAND. SEE ENGINEERING & CONSULTING, INC. CONDUCTED A GEOTECHNICAL EXPLORATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITY LOCATION IN DECEMBER 2019. THE INVESTIGATION CONDUCTED THAT THE PROJECT SITE'S SURFACE SOILS HAVE THE FOLLOWING CHARACTERISTICS:

- SMP-1: DEPTH TO EFFECTIVE OR MOBLIZED ACQUIFER: 20 FEET BLS
DEPTH OF SEASONAL HIGH WATER TABLE: 14 FEET BLS
HORIZONTAL HYDRAULIC CONDUCTIVITY: 28.1 FEET/DAW
UNSATURATED VERTICAL INFILTRATION: 15.4 FEET/DAW
SMP-2: DEPTH TO EFFECTIVE OR MOBLIZED ACQUIFER: 20 FEET BLS
DEPTH OF SEASONAL HIGH WATER TABLE: 11.5 FEET BLS
HORIZONTAL HYDRAULIC CONDUCTIVITY: 27.15 FEET/DAW
UNSATURATED VERTICAL INFILTRATION: 14.4 FEET/DAW
SMP-3: DEPTH TO EFFECTIVE OR MOBLIZED ACQUIFER: 20 FEET BLS
DEPTH OF SEASONAL HIGH WATER TABLE: 12 FEET BLS
HORIZONTAL HYDRAULIC CONDUCTIVITY: 29.2 FEET/DAW
UNSATURATED VERTICAL INFILTRATION: 15.2 FEET/DAW
SMP-4: DEPTH TO EFFECTIVE OR MOBLIZED ACQUIFER: 14 FEET BLS
DEPTH OF SEASONAL HIGH WATER TABLE: 14 FEET BLS
HORIZONTAL HYDRAULIC CONDUCTIVITY: 27 FEET/DAW
UNSATURATED VERTICAL INFILTRATION: 13 FEET/DAW

DESIGN PERCOLATION RATES FOR THE STORMWATER MANAGEMENT FACILITIES WERE DETERMINED BASED ON LABORATORY PERMEABILITY TEST RESULTS FROM BORING SAMPLES TAKEN WITHIN THE LIMITS OF THE STORMWATER MANAGEMENT FACILITIES.
THE STORMWATER MANAGEMENT FACILITIES WAS DESIGNED TO PROVIDE RATE CONTROL AND WATER QUALITY TREATMENT OF THE STORMWATER RUNOFF RESULTING FROM THE POST DEVELOPMENT SITE UNDER 100 YEAR CRITICAL STORM EVENT RAINFALL CONDITIONS. THE STORMWATER POLLUTION PREVENTION PLAN (C005) DEPICTS THE POST DEVELOPMENT WATERSHEDS LIMITS AND THE TABLE BELOW SUMMARIZES EACH WATERSHED.

Table with 6 columns: WATERSHED ID, POST DEVELOPMENT AREA (ACRES), POST DEVELOPMENT IMPERVIOUS AREA (ACRES), POST DEVELOPMENT IMPERVIOUS AREA (ACRES), STORMWATER MANAGEMENT FACILITY TYPE, FACILITY DETENTION CAPACITY (ACRE FEET), 100-YEAR FLOOD ELEVATION (FT).

E. SITE MAP

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (C005) FOR DETAILS.

F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY

THE STORMWATER MANAGEMENT FACILITIES ARE FULL RETENTION.

III. CONTROLS TO REDUCE POLLUTION

AS OUTLINED IN THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO PREVENT SEDIMENTATION. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROLS ARE REQUIRED OTHER THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES. THESE MEASURES MUST BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS. THE STORMWATER POLLUTION PREVENTION PLAN (C005) AND SECTION IV BELOW PROVIDE DETAILS ON THE SPECIFIC CONTROL MEASURES TO REDUCE STORMWATER POLLUTION.

IV. EROSION AND SEDIMENT CONTROLS

A. STABILIZATION PRACTICES

EXISTING TREES AND NATURAL VEGETATION THAT REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRIAGE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (C005). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE POLLUTION FROM CONSTRUCTION ACTIVITIES. STABILIZATION PRACTICES SHALL BE INSTALLED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS. IN PORTIONS OF THE SITE WHERE CONSTRUCTION SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION, STORMWATER MANAGEMENT FACILITIES SHALL BE SCARIFIED CLEAN OF ACCUMULATED SEDIMENT AFTER THE COMPLETION OF CONSTRUCTION. ALL TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.

B. STRUCTURE PRACTICES

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (C005), A STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED AND WILL BE COMPOSED OF A TWO (2) OR MORE STORMWATER AND STORMWATER PIPING CONSTRUCTION. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS. ALL EXISTING AND PROPOSED STORM DRAINS AND DRAINAGE SLOPES SHALL BE PROTECTED ACCORDING TO THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGN AND REVIEW MANUAL, DATED JULY 2011 OR PER DETAILS PROVIDED ON SHEET C005 UNTIL CONSTRUCTION IS COMPLETE. THE STORM PIPE CONVEYANCE SYSTEM SHALL BE FLEUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES", THE SMPs WILL BE CONSTRUCTED PRIOR TO CLEANING AND GRUBBING OUTSIDE OF THE SMPs AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE MAXIMUM TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEMS ARE APPROXIMATELY 10.44 ACRES AND WILL CONSIST OF APPROXIMATELY 13.89 ACRES OF DISTURBED CONSTRUCTION AREA. THEREFORE, NO ADDITIONAL SEDIMENT TRAP BASINS ARE NECESSARY TO PROVIDE SEDIMENT STORAGE ON-SITE DURING CONSTRUCTION. AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN (C005), THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL PREVENT OFF-SITE EROSION DURING CONSTRUCTION. SILT FENCES OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT SLOPE AND DOWN-SLOPE BOUNDARIES, INLET LOCATIONS, OUTLET LOCATIONS AND OTHER LOCATIONS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN AS REQUIRED. BY COMPLETION OF CONSTRUCTION, THE SLOPE SLOPES, SWALES AND ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS AND LANDSCAPING AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES

NOT APPLICABLE; SEE SECTION C ABOVE.

V. STORMWATER MANAGEMENT

A. BEST MANAGEMENT PRACTICES

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES AND THE INCLUDED CONSTRUCTION MANUALS AND/OR BEST MANAGEMENT PRACTICES. THE PROPOSED SMPs SHALL BE MONITORED REGULARLY IN THE SPECIFIED AREAS. STORM PIPES AND STRUCTURES WILL BE INSPECTED SEMI-ANNUALLY AND CLEANED ANNUALLY AND CLEANED ANNUALLY. SMPs SHALL BE MAINTAINED TO PREVENT EROSION AND LANDSCAPING AND GRASS THAT PREVENTS EROSION SHALL BE MAINTAINED. ADDITIONALLY, REMEDIATION ACTIONS SHALL BE TAKEN SHOULD THE SMP(S) NOT PERFORM AS DESIGNED.

B. VEGETATED SWALES

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING. SEE THE STORMWATER POLLUTION PREVENTION PLAN (C005) FOR DETAILS AND LOCATIONS, AS REQUIRED.

C. VELOCIT DISPERSION DEVICES AT DISCHARGE POINTS

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS

A. WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND OTHER TOXIC DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

B. DUST CONTROL

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (C005) FOR DETAILS AND LOCATIONS.

C. EXISTING VESSES PROPOSED POTABLE AND SANITARY SEWER SYSTEMS

ALL EXISTING SANITARY SEWER AND POTABLE WATER SYSTEMS LOCATED ON THE PROJECT SITE. EXTENSION AND UPDATES ARE PROPOSED. IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. FERTILIZER & PESTICIDES

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FOOT STANDARD SPECIFICATIONS SECTION 570, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION. APPLICATION RATES FOR THE FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO GUARD AGAINST OVER-USE, WHICH CAN LEAD TO VIOLATIONS OF STATE WATER QUALITY STANDARDS.

E. TOXIC MATERIAL

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TARP PAPER, OR OTHER IMPROVED MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

F. HAZARDOUS MATERIALS

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO THE TIME OF USE AS PRACTICAL.

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL. SUFFICIENT EQUIPMENT AND OR MATERIALS SHALL BE KEPT ON-SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPLIT CONTROLS AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CAPACITY TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES AS THE REQUIRED TIME FRAMES. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE OWNER IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL. ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND ALL APPLICABLE REGULATIONS.

VII. APPROVED STATE AND LOCAL PLANS

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:
* MARION COUNTY
* ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
* FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

VIII. CONSTRUCTION ACTIVITY DISCHARGES

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER DURING CONSTRUCTION ACTIVITIES.

IX. CHANGES TO THE POLLUTION PREVENTION PLAN

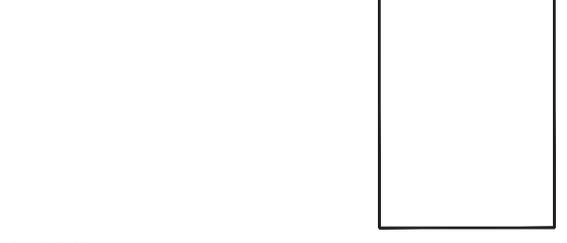
THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN, WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES. AMENDMENTS TO THIS PLAN SHALL BE PREPARED, SIGNED, DATED, AND KEPT AS ATTACHMENTS TO THE ORIGINAL PLAN.

X. ALTERNATIVE PERMIT REQUIREMENTS

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

XI. MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE TIMES MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE SMP(S) DO NOT PERFORM PROPERLY OR IF A SIGNIFCANT DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. UPON FINAL COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY BOTH THE CITY AND OWNER, THE OPERATION AND MAINTENANCE ENTITY WILL BE MARION COUNTY BOARD OF COMMISSIONERS.



XII. INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN AIN, A QUALIFIED INSPECTOR PROVIDED BY THE OPERATOR SHALL PERFORM THE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND RECORD RAINFALL EVENTS 0.50 INCHES OR GREATER. LOCATIONS WHERE THE SITE IS FINALLY STABILIZED, CONSTRUCTED AND STABILIZED, SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH. ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THE CONTRACTOR MAY USE THEIR OWN PRINTING FOR SWPPP REQUIREMENTS OR A SAMPLE FORM FROM FDEP. A SAMPLE CONSTRUCTION FORM IS AVAILABLE AT: "HTTPS://FLORIDADEP.GOV/WATER/STORMWATER/DOCUMENTS/CONSTRUCTION_SWPPP_MORE_SPECIFICALLY, THE INSPECTION SHALL ENSURE THE FOLLOWING CATEGORIES:

A. DISTURBED AREAS

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

B. MAINTENANCE PERFORMANCE

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

C. REPORTING REQUIREMENTS

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN. IF INCIDENTS OF NON-COMPLIANCE ARE OBSERVED, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE ASSOCIATED PERMIT.

XIII. NON-STORMWATER DISCHARGES

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

XIV. CONTRACTORS CERTIFICATION

THE CONTRACTORS OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO 102-23 REGULATORY RECORDS.

XV. RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED. THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE, OR AT AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

XVI. NOTICE OF TERMINATION

- NOTICE OF TERMINATION:
1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII OF DEP DOCUMENT NO. 62-621.300(6)A, WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO BE COVERED UNDER THIS PERMIT.
2. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME, OR THAT ALL STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE THAT ARE AUTHORIZED BY THIS GENERIC PERMIT HAVE OTHERWISE BEEN ELIMINATED.
3. FOR CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES, THE EXISTING OPERATOR SHALL FILE AN N.O.T. IN ACCORDANCE WITH THIS PART WITHIN 14 DAYS OF RENOUNCING CONTROL OF THE PROJECT TO A NEW OPERATOR.

THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:
NPDES STORMWATER NOTICES CENTER, MS# 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2608 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400
PROJECTS THAT DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

Contractor/Subcontractor Certification Statement Stormwater Pollution Prevention Plan

Site Name: MA BARBER HOVUS
Site Location: 13275 SE 137TH AVE
MARION COUNTY, FLORIDA

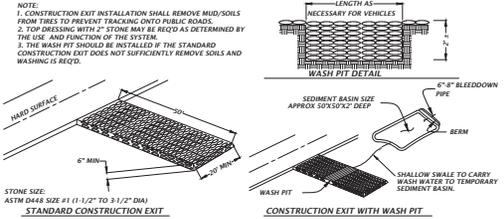
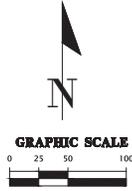
THE CONTRACTOR(S) OR SUB-CONTRACTOR(S) RESPONSIBLE FOR COMPLYING WITH THIS STORMWATER POLLUTION PREVENTION PLAN SHALL SIGN THE CERTIFICATION STATEMENT BELOW. MULTIPLE COPIES OF THIS CERTIFICATION STATEMENT MAY BE NECESSARY TO OBTAIN THE NECESSARY PERMITS FOR CONSTRUCTION OF THIS PROJECT.
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THE STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

Table with 5 columns: DATE, RESPONSIBLE INDIVIDUAL'S NAME, RESPONSIBLE INDIVIDUAL'S SIGNATURE, TITLE, COMPANY NAME, ADDRESS, AND PHONE NUMBER.

Vertical sidebar containing logos for Marion County DECC, MA BARBER HOVUS RESTORATION, and other entities. Includes a permit number 21-0030 and a date stamp 04/20/2021.

STORMWATER POLLUTION PREVENTION LEGEND

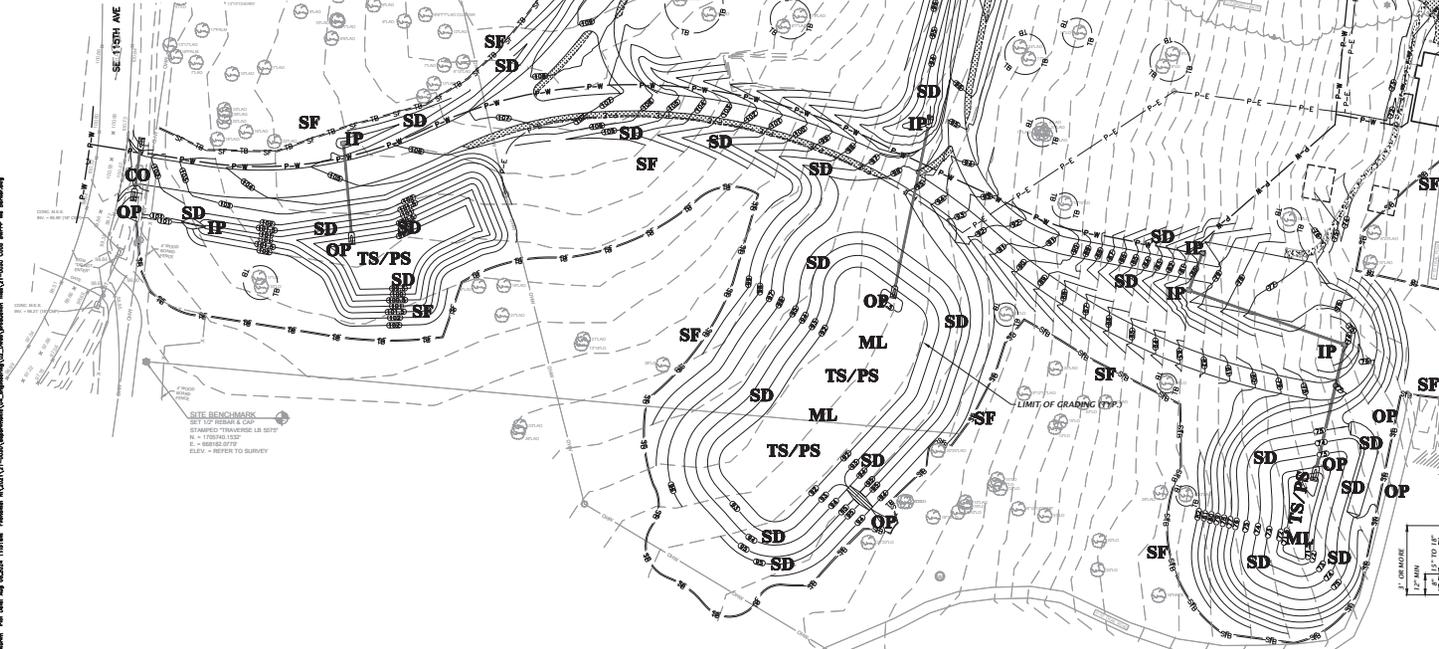
- TS** = TEMPORARY SEEDING
- PS** = PERMANENT SEEDING
- ML** = MULCHING
- SD** = SOD STABILIZATION
- SF** = SILT STABILIZER (SEE DETAIL HEREON)
- TB** = TREE BARRIER
- IP** = INLET PROTECTION
- OP** = OUTLET PROTECTION
- CO** = CONSTRUCTION ENTRANCE/EXIT (SEE DETAIL HEREON)



TEMPORARY CONSTRUCTION EXIT DETAIL

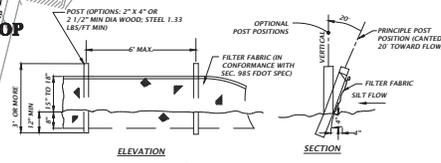
NOTE:
 1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.
 2. TOP FINISHING WITH 2" STONE MAY BE REQUIRED AS DETERMINED BY THE USER AND FUNCTION OF THE SYSTEM.
 3. THE WASH PIT SHOULD BE INSTALLED BY THE STANDARD CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE SOILS AND WASHING IS REQUIRED.

STONE SIZE:
 ASTM D448 SIZE #1 (1 1/2" TO 3 1/2" DIA)
 STANDARD CONSTRUCTION EXIT



BASIN EROSION & SEDIMENTATION CONTROL

1. SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
2. ALL STORMDRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FOOT STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL.
3. THE DRAINAGE BASINS SHALL BE ROUGH GRADED PRIOR TO CONSTRUCTING THE UNDERDRAIN BASE. THE RETENTION BASINS SHALL BE FINE GRADED AND GRASSED PRIOR TO PAVING AND SITE CLEANUP.
4. THE STORMDRAIN SYSTEM SHALL BE FLOUSED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
5. THE DRAINAGE BASIN BOTTOM SHALL BE SCRAPED CLEAN OF ALL ACCUMULATED SEDIMENT UPON COMPLETION OF CONSTRUCTION AFTER THE STORMDRAIN SYSTEM IS COMPLETELY FLOUSED OUT. THIS ACTIVITY SHALL ONLY OCCUR IN A DRY STATE.
6. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY STABILIZED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
7. REFER TO THE SWPPP PLAN FOR COMPLETE EROSION CONTROL MEASURES.
8. WHERE POND TOP OF BANK IS IN CUT TO EXISTING GRADE, CONTRACTOR SHALL SOD 5 FT BEYOND TOP OF BANK FOR EROSION PROTECTION.

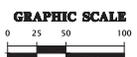
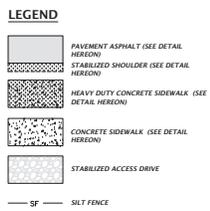
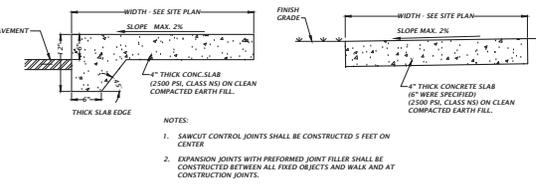
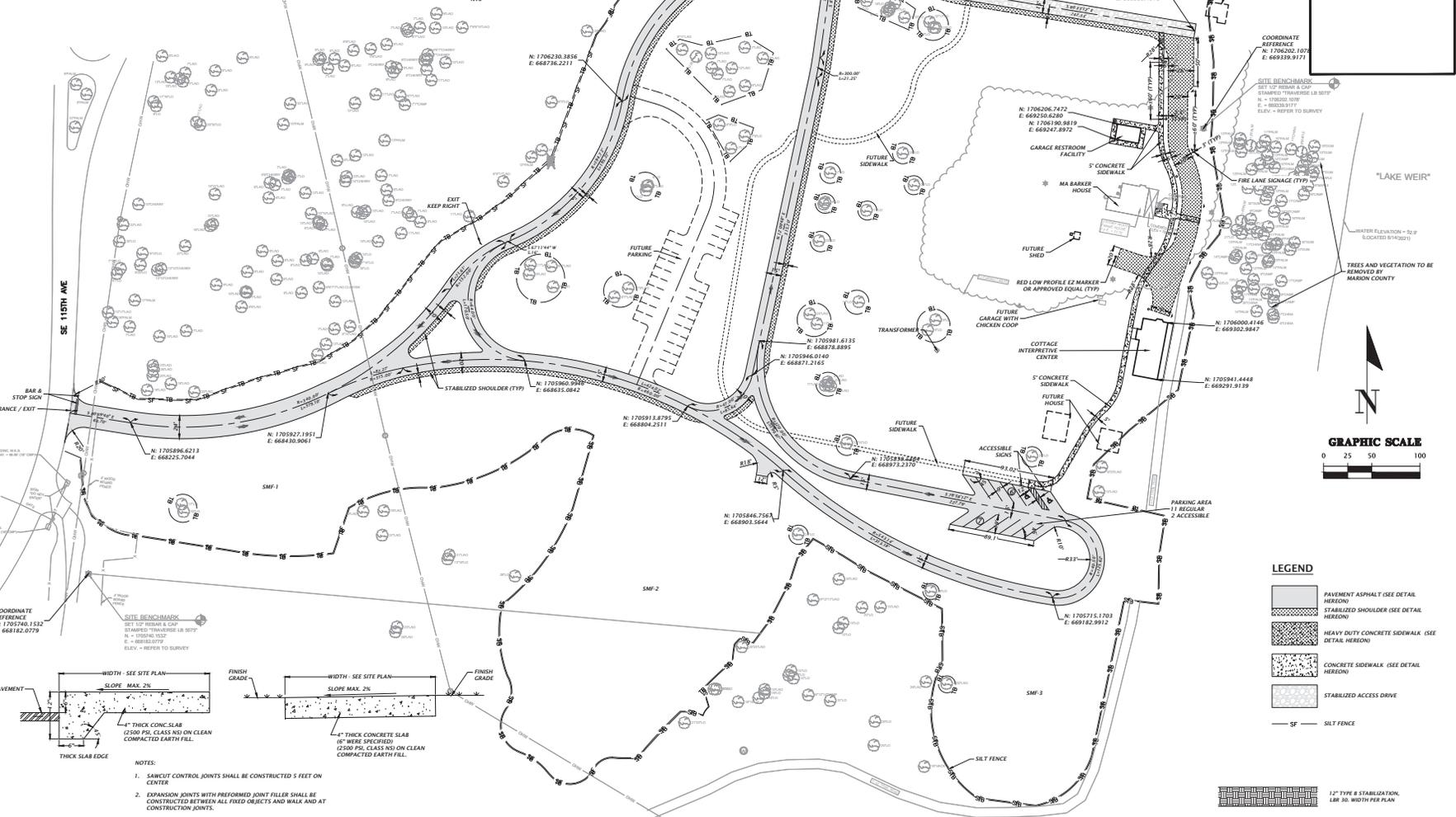
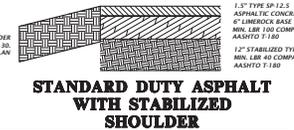
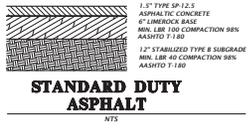


TYPE III SILT FENCE DETAIL

CHW CONSULTANTS
 1100 S. UNIVERSITY AVENUE, SUITE 100
 GAINESVILLE, FL 32609
 TEL: 352.336.1100 FAX: 352.336.1101
 WWW.CHWCONSULTANTS.COM

PROJECT: MARION COUNTY PARKLAND RESTORATION - BEDDICKS
 SHEET: MA BASKET HOUSE RESTORATION
 DRAWING TITLE: STORMWATER POLLUTION PREVENTION PLAN
 DATE: 21.00.30

DESIGNER: WALKER FAY CHEN
 CHECKED BY: WALKER FAY CHEN
 DATE: 08/20/2014
 SCALE: AS SHOWN
 THIS SHEET HAS BEEN REVIEWED BY THE MARION COUNTY ENGINEER.
 THE PROFESSIONAL ENGINEER HAS REVIEWED THE INFORMATION AND APPROVED THE DESIGN AND THE CONSTRUCTION OF THE PROJECT.
 ELEVATION: FL PE No. 94201
 C005



CHW
Civil & Highway
Engineering

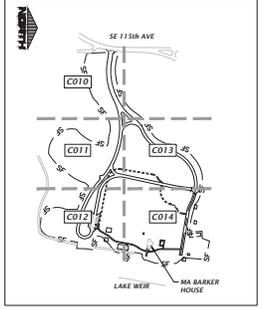
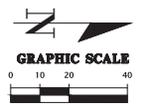
PROJECT: MA BARKER HOUSE RESTORATION - RED DOGS
7077/2123 MARION COUNTY PARKLAND RECREATION - RED DOGS
7077/2123 MARION COUNTY PARKLAND RECREATION - RED DOGS
7077/2123 MARION COUNTY PARKLAND RECREATION - RED DOGS

DATE: 07/20/23
DRAWN BY: J. OWEN
CHECKED BY: J. OWEN
SCALE: 1" = 40'

21.0030
MASTER SITE PLAN

WALKER FAY OWEN
Professional Engineer License No. 94291
This has been prepared in accordance with the requirements of the Florida Statutes.
I warrant that this drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Florida.
I warrant that this drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Florida.

FL PE No. 94291
C007



STATE OF IOWA
 DEPARTMENT OF TRANSPORTATION
 IOWA TURNPIKE AUTHORITY
 IOWA TURNPIKE PROJECT
 PROJECT NO. 21-10030

CHW
 CONSULTANTS
 1000 WEST 15TH AVENUE
 DES MOINES, IOWA 50319
 PHONE: 515-281-1100
 FAX: 515-281-1101
 WWW.CHWCONSULTANTS.COM

PROJECT NO. 21-10030
 SHEET NO. C012
 DATE: 08/20/24

IOWA TURNPIKE AUTHORITY
 IOWA TURNPIKE PROJECT
 PROJECT NO. 21-10030
 SHEET NO. C012
 DATE: 08/20/24

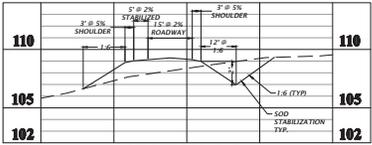
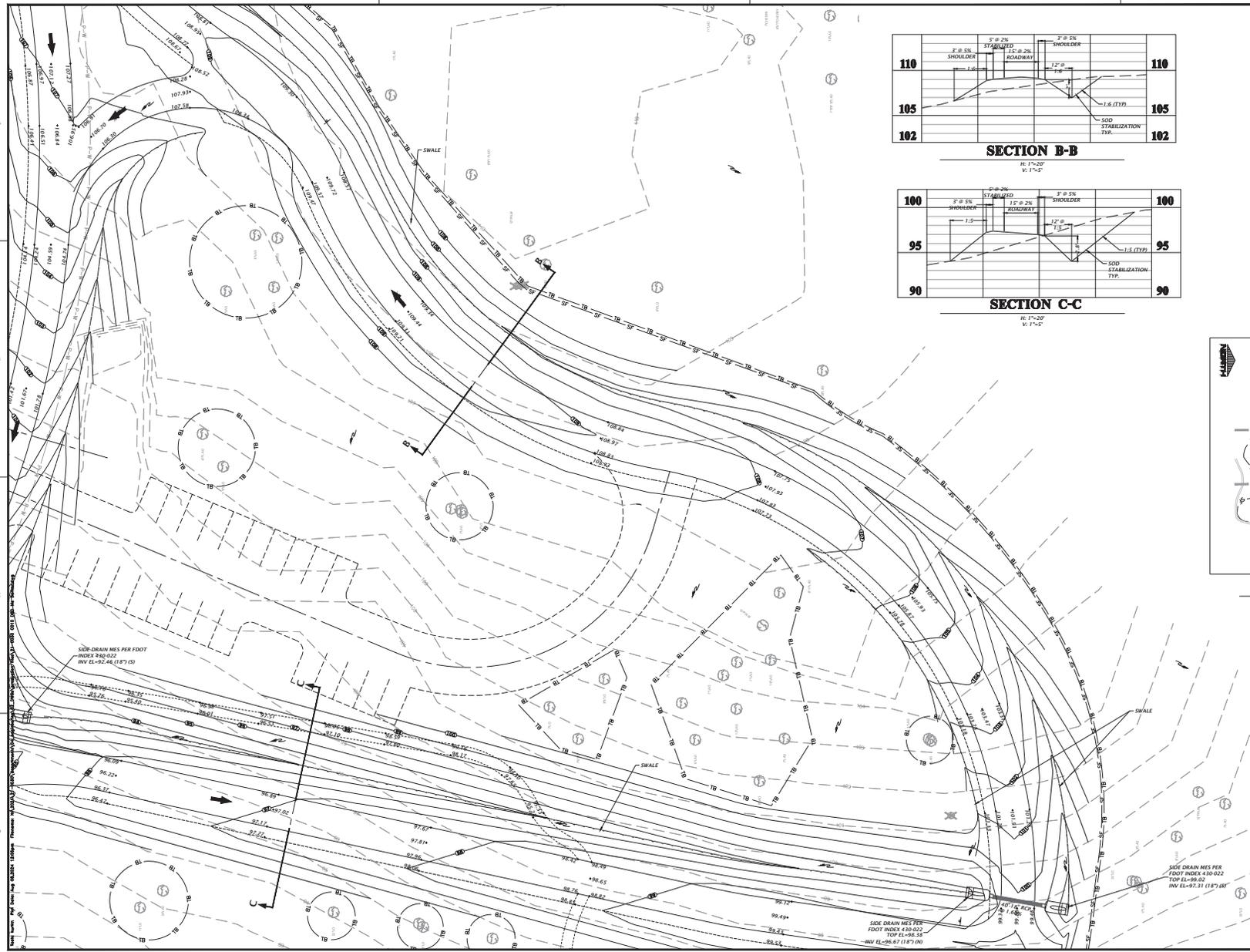
IOWA TURNPIKE AUTHORITY
 IOWA TURNPIKE PROJECT
 PROJECT NO. 21-10030
 SHEET NO. C012
 DATE: 08/20/24

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 SHEET NO. C012
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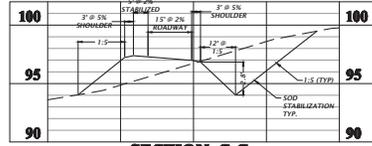
IOWA TURNPIKE AUTHORITY
 IOWA TURNPIKE PROJECT
 PROJECT NO. 21-10030
 SHEET NO. C012
 DATE: 08/20/24

IOWA TURNPIKE AUTHORITY
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 PROJECT NO. 21-10030
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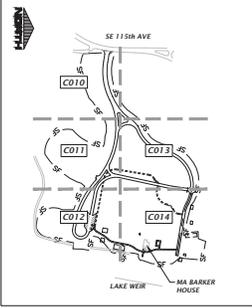
SECTION B-B

H: 1'-20"
V: 1'-5"



SECTION C-C

H: 1'-20"
V: 1'-5"



KEY MAP

NTS

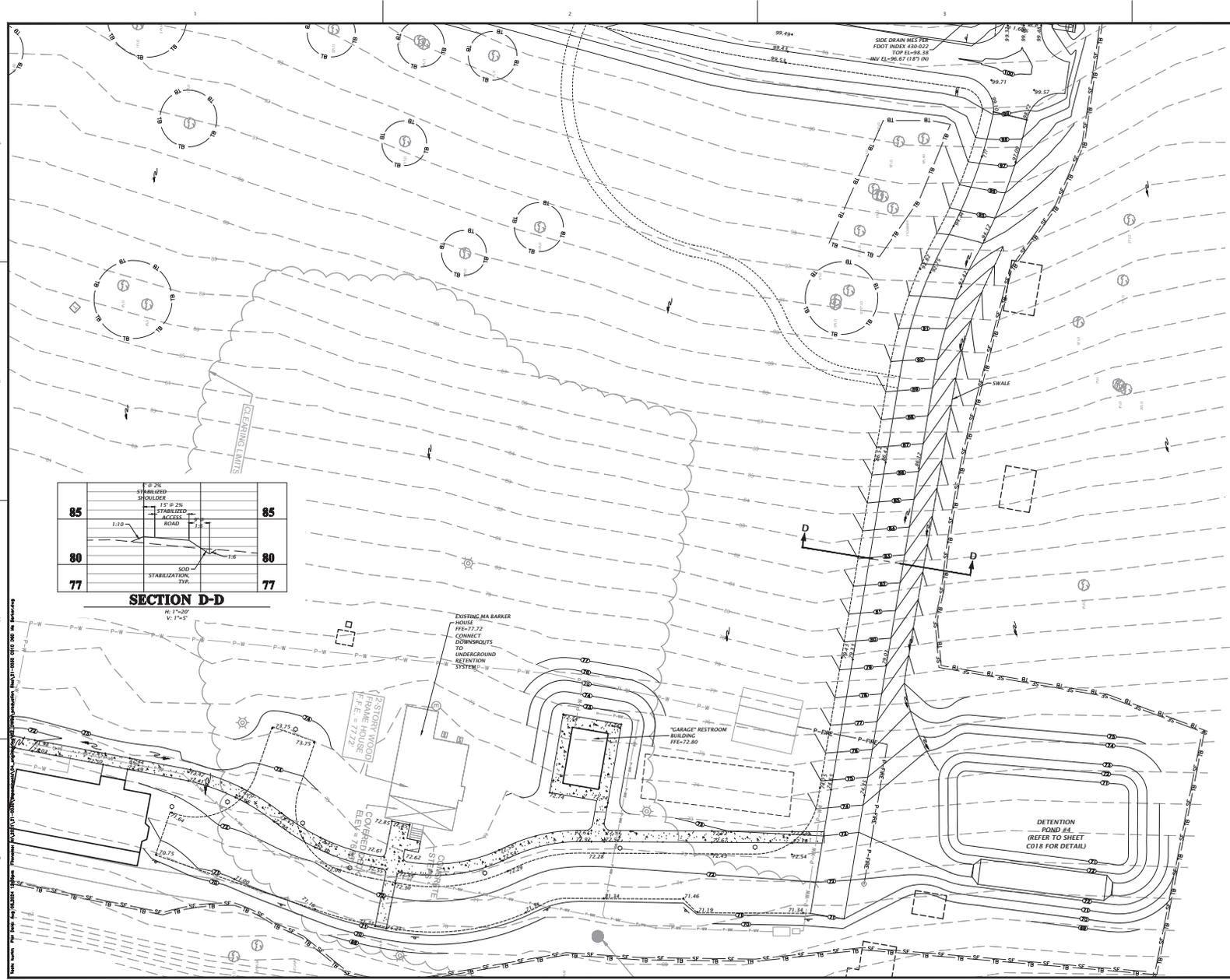
CHW
Civil & Environmental Engineers, Inc.

21.0030

Walker Fan Chen
Engineer-in-Charge
Professional Engineer License No. 9497

El. PE. No. 94201

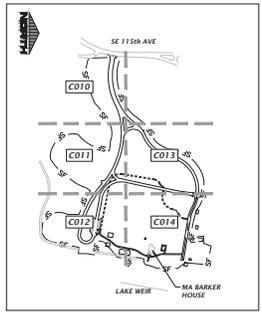
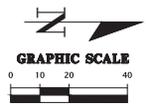
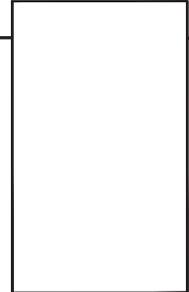
C013



| | | |
|----|------------------------------|----|
| 85 | 8" 2% STABILIZED SHOULDER | 85 |
| 80 | 1" 2% STABILIZED ACCESS ROAD | 80 |
| 77 | 500 STABILIZATION TYP. | 77 |

SECTION D-D

H: 1"=20'
V: 1"=5'



KEY MAP

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
FLORIDA TURNPIKE AUTHORITY

CHW
Civil & Environmental Engineers

DATE: 1-20-21
PROJECT: MA BARKER HOUSE RESTORATION
SHEET: 21.0030

07/07/21 - MARION COUNTY PARKLAND RECREATION - BE DOCS
07/07/21 - MARION COUNTY PARKLAND RECREATION
07/24/21 - MARION COUNTY PARKLAND RECREATION
07/24/21 - MARION COUNTY PARKLAND RECREATION

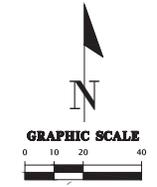
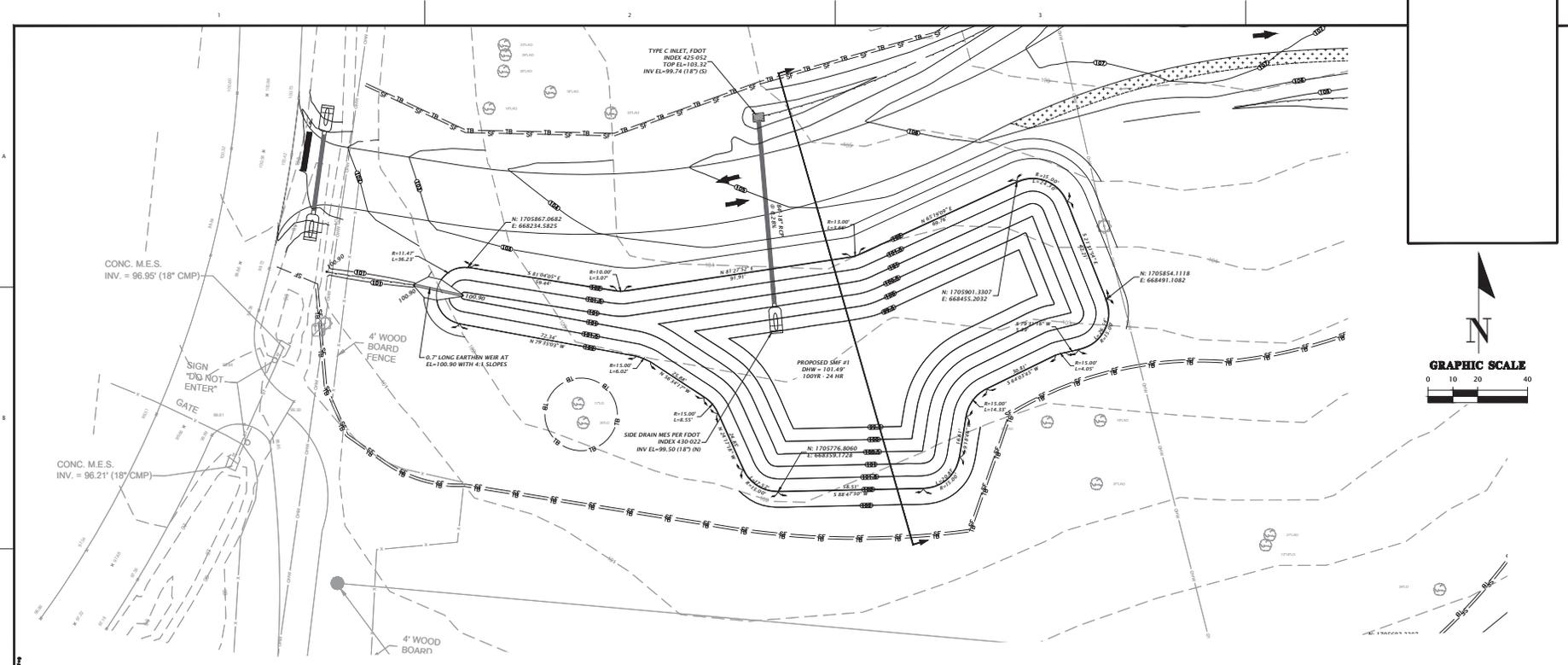
MARION COUNTY DECC
PROJECT: MA BARKER HOUSE RESTORATION
SHEET TITLE: DETAILED GRADING AND DRAINAGE PLAN

IN CHARGE: WALKER FAN CHEN
PROJECT: C. LEONARD
DATE: 1-20-21

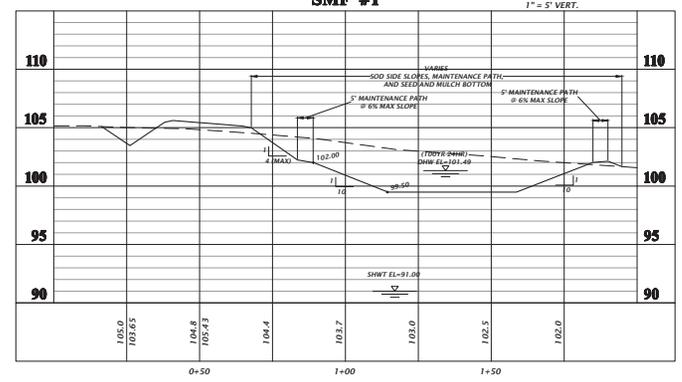
WALKER FAN CHEN
Walker Fan Chen, Inc.
10000 NW 11th Street, Suite 100
Miami, FL 33150
Phone: 305.444.1111
Fax: 305.444.1112
www.walkerfan.com

FL PE No. 94201

C014



SMF #1 SCALE: 1" = 20' HORIZ.
1" = 5' VERT.



A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY.

STATE OF MISSISSIPPI
DEPARTMENT OF TRANSPORTATION
MISSISSIPPI HIGHWAY DEPARTMENT

CHW
CONSULTING ENGINEERS

PROJECT: WALKER FAN CHEN
MA BAKER HOUSE RESTORATION FACILITY #1 PLAN AND SECTION

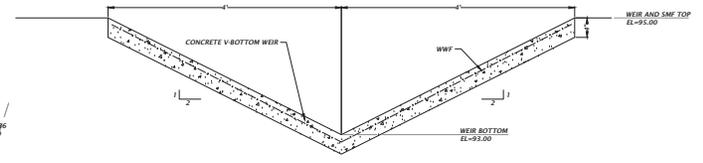
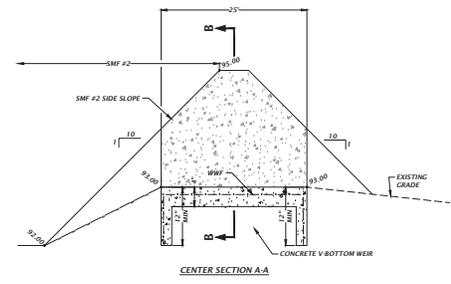
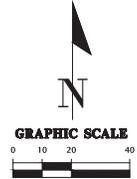
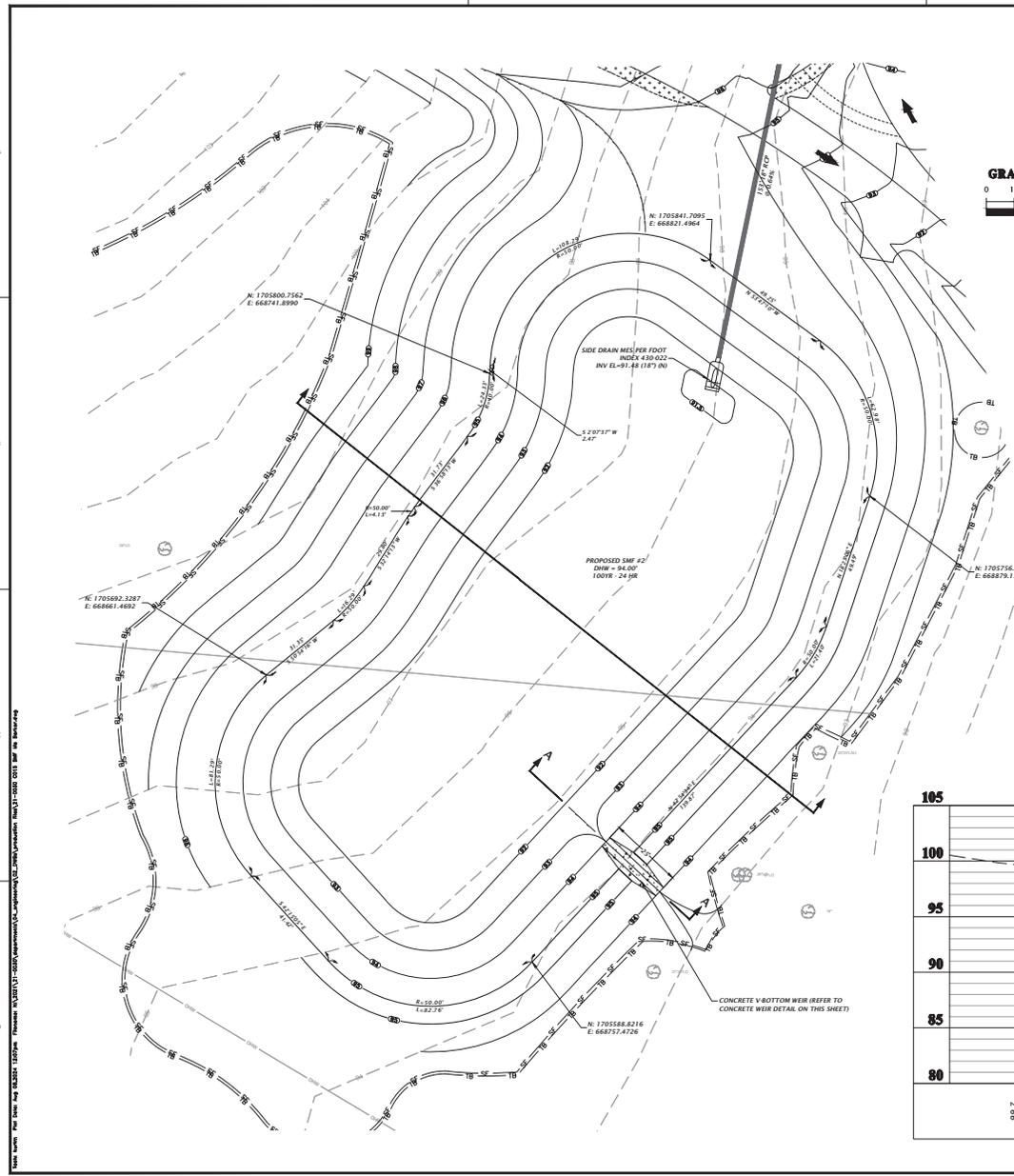
DATE: 07/20/23
DRAWN BY: C. LEONARD
CHECKED BY: M. OWEN

21.0030

WALKER FAN CHEN
Baker Fan Chen
Professional Engineer
License No. 186281
This has been
electronically signed by
Walker Fan Chen,
PE, on 07/20/23 using a
Digital Signature
Printer copies of this
document are not considered
valid for legal action and
the electronic copies.

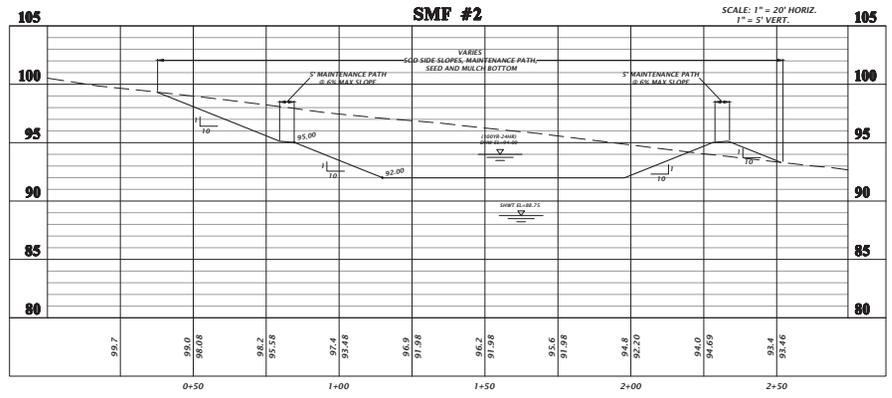
FL PE No. 94201

C015



SMF #2 CONCRETE WEIR

A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY.



CHW
Civil & Environmental Engineering

21.0030

MA BAKER HOUSE RESTORATION
FACTORY OF PLANTS SECTION

WALKER FARM CHEN

FL.PE. No. 94201

C016

BASIN OPERATION AND MAINTENANCE REQUIREMENTS

SURFACEWATER MANAGEMENT FACILITIES (SMF'S)

ALL SMF'S PERMITTED BY THE DISTRICT SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE DISTRICT, AND INCORPORATED BY REFERENCE INTO ANY PERMIT ISSUED. SMF'S SHALL BE KEPT FREE OF DEBRIS, TRASH, CARRIAGE, OILS AND GREASES, AND OTHER REFUSE THROUGH REGULAR INSPECTION AND MAINTENANCE BY THE PERMITTEE.

EROSION CONTROL

THE SYSTEM SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE PERMITTEE TO INSURE THAT ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE. ANY VEGETATION ESTABLISHED FOR EROSION CONTROL SHALL BE PROPERLY MAINTAINED FOR FUNCTION.

CULVERTS, PIPES AND STRUCTURES

ALL STRUCTURES WITHIN THE SYSTEM SHALL BE REGULARLY INSPECTED AND MAINTAINED ON A REGULAR BASIS BY THE PERMITTEE TO INSURE THAT THEY DO NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.

MAINTENANCE

THE BASIN SHALL BE REGULARLY MOWED TO AVOID EXCESSIVE VEGETATION GROWTH. THE MOWING RATE SHALL BE AT A MINIMUM OF 12 TIMES PER YEAR, WITH MORE FREQUENT MOWING IN THE SUMMER MONTHS. BASIN SIDE SLOPES SHALL INITIALLY BE SOODED AND THE SOE MAINTAINED.

FUNCTION

BASINS THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT IMPROPER RECOVERY IS NOTED.

LIMEROCK/SINKHOLE

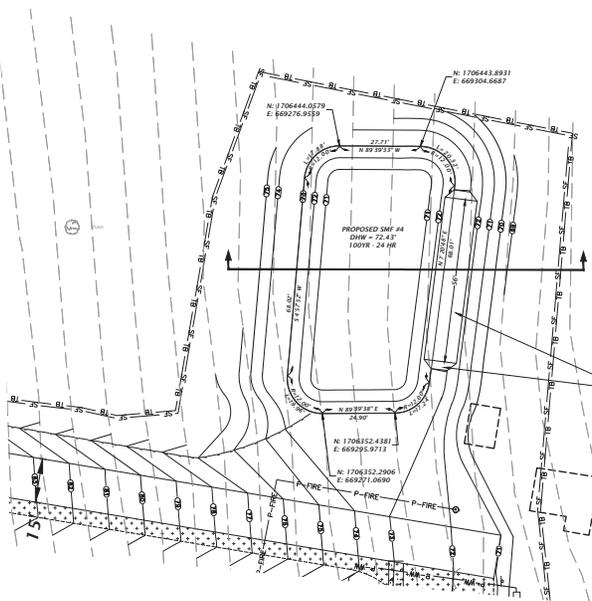
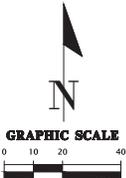
IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED DURING EXCAVATION OF THE SWALES/BASIN OR IF A SINKHOLE FORMS IN THE AREA OF A DRAINAGE SWALE/BASIN THE ENGINEER OF RECORD SHALL BE NOTIFIED BY EITHER THE CONTRACTOR OR THE ESTABLISHED OPERATION AND MAINTENANCE ENTITY. THE ENGINEER OF RECORD SHALL INSPECT THE REPAIRED AREA UPON COMPLETION OF THE REPAIR.

WHERE A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED DURING EXCAVATION OF THE SWALES/BASINS, THE LIMEROCK SHALL BE OVER EXCAVATED BY 3 FEET. AN APPROVED GEO TEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATION AND BACKFILLED WITH SANDY SOILS IN A LOOSE CONDITION.

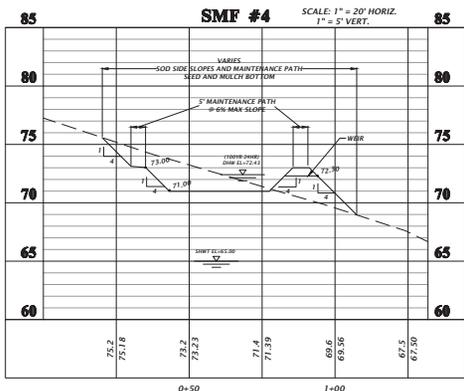
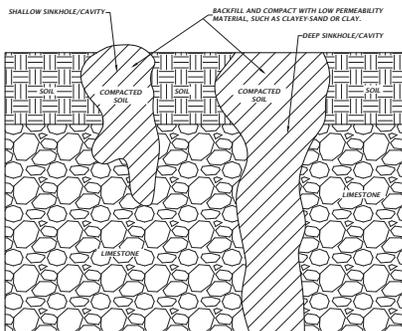
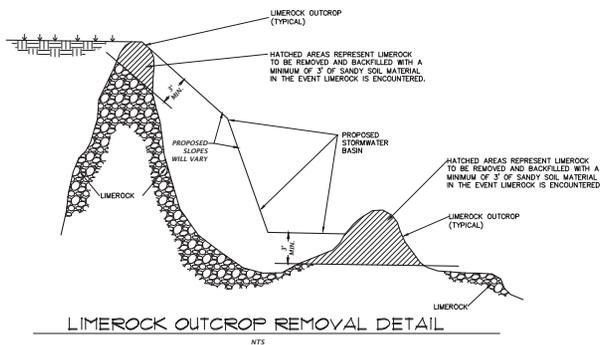
ALL SWALES/BASINS SHALL BE INSPECTED MONTHLY FOR SINKHOLE OCCURRENCE. SHOULD A SINKHOLE OCCUR, THE AREA SHALL BE REPAIRED AS SOON AS POSSIBLE. REPAIR SHALL INCLUDE FILLING (LIMEROCK SUCH AS ROAD BASE MATERIAL, CLAY/SAND MIXTURE, OR CONCRETE IF NECESSARY). A 3 FOOT DEEP CAP THAT EXTENDS 3 FEET BEYOND THE PERIMETER OF THE SINKHOLE SHALL BE CONSTRUCTED WITH CLAYEY SOILS. THE CLAYEY SOIL SHALL HAVE AT LEAST 30% PASSING THE NO. 200 SIEVE, COMPACTED TO 95% OF STANDARD PROCTOR, AND COMPLETED IN A WET CONDITION WITH MOISTURE 2% - 4% ABOVE OPTIMUM. THE CLAY SOIL CAP SHALL BE REGRADED TO PREVENT CONCENTRATION OF WATERS (PONDING) AND RE-VEGETATED.

OPERATION & MAINTENANCE ENTITY

MARION COUNTY BOARD OF COMMISSIONERS



5'-0" LONG EARTHEN WEIR AT 81+72.50 WITH 4:1 SLOPES TO POND TOP



A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY.

CHW
Civil & Highway Engineers

21.0030

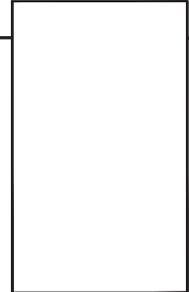
WALKER FAY OWEN

Professional Engineer License No. 9487

This has been made electronically signed and sealed by Walker Fay Owen. The seal is not required for this document. The seal is not required for this document. The seal is not required for this document.

FL PE No. 94201

C018



| | |
|--|--|
| | |
| CHW CONSULTING ENGINEERS | |
| PROJECT: MA BARBER HOUSE RESTORATION SHEET: MASTER UTILITY PLAN | |
| 21.0030 | |
| WALKER FARM OPEN 07/27/21 MARION COUNTY PARKLAND AND RECREATION - BE DOCS 07/27/21 MARION COUNTY PARKLAND AND RECREATION 07/27/21 MARION COUNTY PARKLAND AND RECREATION 07/27/21 MARION COUNTY PARKLAND AND RECREATION | |
| MARION COUNTY DOCC MA BARBER HOUSE RESTORATION MASTER UTILITY PLAN | |
| E.P. No. 94201 C019 | |



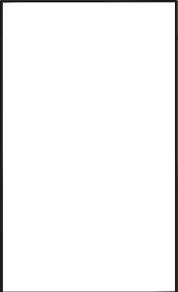
811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG. It's fast, it's free, it's the law. Call 811 two business days before digging.



| | |
|--|--|
| | |
| PROJECT: MA BANKERS HOUSE RESTORATION SHEET: IRRIGATION PLAN | |
| COUNTY: HANSON COUNTY, MASSACHUSETTS TOWN: MA BANKERS HOUSE RESTORATION PROJECT: IRRIGATION PLAN | |
| SHEET NO.: IR-2 | |



811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG. It's fast, it's free, it's the best. Call 811 two business days before digging.



| | | | |
|---|--|---|--|
|  | |  | |
| PROJECT: MA BANKERS HOUSE RESTORATION SHEET: IRRIGATION PLAN | | DRAWN BY: J. WOOD CHECKED BY: J. WOOD | |
| CLIENT: MA BANKERS HOUSE RESTORATION PROJECT: MA BANKERS HOUSE RESTORATION | | CONTRACTOR: MA BANKERS HOUSE RESTORATION | |
| LOCATION: MA BANKERS HOUSE RESTORATION PROJECT: MA BANKERS HOUSE RESTORATION | | SHEET NO.: 2110030 | |
| DATE: 07/27/23 PROJECT: MA BANKERS HOUSE RESTORATION | | SHEET NO.: IR-3 | |

