February 28, 2024
PROJECT NAME: HEAGY BURRY BOAT RAMP IMPROVEMENTS
PROJECT NUMBER: 2014030034
APPLICATION: MAJOR SITE PLAN REVISION #30905

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 1/16/24 - add waivers if requested in the future

2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application
STATUS OF REVIEW: INFO
REMARKS: 2/16/24-phasing remains unchanged from the previously approved plans - sk
1/16/24 - no phasing shown

3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24”x 36” sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: (1) Unable to review previous approved plan AR 13066; it was signed off with 'no central water or sewer available' prior to current staff in this position, but confirmed there is no public sewer manhole available for connection. Defer to DOH for wastewater compliance.
(2) changemarks on site plan but do not affect utility sign-off/for information only.

5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: DEP Water Approval
STATUS OF REVIEW: INFO
REMARKS: Well will supply restrooms. Apply for well permit through the Department of Health in Marion County

6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: OSTDS systems must be at least 75' from all surface water high level lines.
Protect existing well during all phases of demolition and construction.
OSTDS permit will be required and fees paid.

7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: This revision is solely for connection to septic and drainfield instead of connection to sewer- no other changes made from initial major site plan approval.

8 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: Landscape plan previously approved AR#13066 - no changes to landscape plan with this submittal.

9 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec.6.3.1.D(f) –
If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown

or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Marion County
Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: November 29, 2023

A. PROJECT INFORMATION:

Project Name: HEAGY BURRY BOAT RAMP IMPROVEMENTS
Parcel Number(s): 02786-005-00; 02789-001-00
Section 21 Township 12 Range 21 Land Use RURAL LANDS/PUBLIC Zoning Classification G-U
Commercial ☐ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☑ Other PUBLIC USE
Type of Plan: MAJOR SITE PLAN
Property Acreage 4.53 Number of Lots ____ Miles of Roads ____
Location of Property with Crossroads On NW 191 Place, approx. 0.65 miles east of US-441
Additional information regarding this submittal: This is a amendment to the previously approved plans under Marion County AR Number:13066.
The revisions generally consist of connecting the sanitary sewer system to a proposed a septic tank & drain field in lieu of connecting to an existing public sanitary MH.

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

☑ **Engineer:**
Firm Name: Kimley-Horn & Associates, Inc. Contact Name: Richard V. Busche
Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471
Phone # 352-438-3000 Alternate Phone # ____
Email(s) for contact via ePlans: ocala.permits@kimley-horn.com

☐ **Surveyor:**
Firm Name: ____ Contact Name: ____
Mailing Address: ____ City: ____ State: ____ Zip Code: ____
Phone # ____ Alternate Phone # ____
Email(s) for contact via ePlans: ____

Property Owner:
Owner: Marion County Board of County Commissioners Contact Name: ____
Mailing Address: 601 SE 25th Avenue City: Ocala State: FL Zip Code: 34471
Phone # 352-671-8560 Alternate Phone # ____
Email address: joey.amodo@marionfl.org

Developer:
Developer: ____ Contact Name: ____
Mailing Address: ____ City: ____ State: ____ Zip Code: ____
Phone # ____ Alternate Phone # ____
Email address: ____

Revised 6/2021

HEAGY BURRY BOAT RAMP IMPROVEMENTS, PHASE 1 AND 2

MAJOR SITE PLAN

FOR

MARION COUNTY BOARD OF COUNTY COMMISSIONERS

MARION COUNTY, FLORIDA

SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST

DECEMBER 2023

Marion County FLORIDA
PARKS AND RECREATION

GENERAL NOTES

LAND USE DEVELOPMENT DATA

PARCEL IDENTIFICATION NUMBER: 02786-005-00, 02908-001-00.

PRESENT ZONING: C-U

ABUTTING ZONING: NORTH – B-2
EAST – B-2
SOUTH – R-4
WEST – B-2/R-4

LAND USE: RURAL LANDS/PUBLIC

AREA DESCRIPTION	PHASE 1	PHASE 2	TOTALS
PROPOSED SITE AREA	2.86	1.67	4.53
PROPOSED IMPERVIOUS AREA	1.35	0.87	2.22
PROPOSED PERVIOUS AREA	1.51	0.80	2.31
PROJECT AREA IN FLOODPLAIN	0.10	0.00	0.10

WATER: POTABLE WATER WILL BE PROVIDED BY AN EXISTING WELL.

SEWER: WASTEWATER FACILITIES WILL BE BY ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS (O.S.T.D.S.) AND WILL BE MAINTAINED BY THE MARION COUNTY PARKS AND RECREATION DEPARTMENT.

GARBAGE: SOLID WASTE PICKUP WILL BE PROVIDED BY MARION COUNTY.

OWNERSHIP AND MAINTENANCE: THE PROJECT AREA AND ALL IMPROVEMENTS ARE OWNED BY THE MARION COUNTY BOARD OF COUNTY COMMISSIONERS. ALL IMPROVEMENTS AND COMMON AREAS WILL BE MAINTAINED AND MANAGED BY THE MARION COUNTY PARKS AND RECREATION DEPARTMENT.

EASEMENTS: ALL EASEMENTS ARE DESIGNATED ON THE PLANS.

FEMA DESIGNATION: THE PROJECT AREA LIES IN FLOOD HAZARD ZONE AE, WITH A BASE FLOOD ELEVATION OF 60.8', FLOOD HAZARD ZONE AE, WITH A BASE FLOOD ELEVATION OF 61' AND IN ZONE 'X', AN AREA OF 0.2% ANNUAL CHANCE OF FLOOD ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBERS 12001C0615D AND 12083C0140D, EFFECTIVE DATE AUGUST 28, 2008.

MARION COUNTY SPRINGS PROTECTION ZONE: SECONDARY ZONE

ENVIRONMENTALLY SENSITIVE OVERLAY ZONE: ORANGE LAKE (SHORELINE ONLY)

DRAINAGE: THE DRAINAGE SYSTEM WILL BE MAINTAINED BY MARION COUNTY.

LOCAL BENCHMARK: VERTICAL DATUM IS BASED ON NGVD 29, PROJECTED FROM BENCHMARK BM-1459-15, MARION COUNTY VERTICAL CONTROL STATION, ELEV. 58.965 FEET.

STATE PLANE COORDINATE: THE BASIS OF BEARING IS AN ASSUMED BEARING OF S89°44'05"E, BETWEEN FOUND MONUMENTATION, ALONG THE SOUTH LINE OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST.

ADDITIONAL NOTES

- TOPOGRAPHIC INFORMATION PROVIDED BY: GEORGE F. YOUNG, INC. AND GPI SOUTHEAST, INC.
- TOPOGRAPHY SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- A PERMIT MUST BE OBTAINED FROM MARION COUNTY ENGINEERING DEPARTMENT (RIGHT-OF-WAY DIVISION) PRIOR TO COMMENCEMENT OF ANY IN WORK IN THE COUNTY RIGHT-OF-WAY.
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTY(IES) ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, MASTER PLAN, SUBDIVISION PLAT, SITE PLAN, AND/OR BUILDING PERMIT REVIEW.

PROJECT OWNER AND CONSULTANTS

OWNER/APPLICANT:
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
601 SE 25TH AVENUE
OCALA, FLORIDA 34471

SURVEYOR:
GEORGE F. YOUNG, INC.
1905 SOUTH MAIN STREET
GAINESVILLE, FLORIDA 32601
(352) 378-1444

CIVIL ENGINEERING CONSULTANT:
KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200
OCALA, FLORIDA 34471
(352) 438-3000

SURVEYOR:
GPI SOUTHEAST, INC.
1414 SW MLK JR. AVE
OCALA, FL 34474
(352) 368-5055

DUKE ENERGY
4359 SE MARICAMP ROAD
OCALA, FLORIDA 34480
(352) 239-0970

GEOTECHNICAL ENGINEER:
UNIVERSAL ENGINEERING SCIENCES, INC.
4475 SW 35TH TERRACE
GAINESVILLE, FLORIDA 32608
(352) 372-3392

N.T.S

LOCATION MAP

APPROVED MARION COUNTY WAIVERS

1.	04/21/2014	6.13.7.B.(3)	GEOTECHNICAL CRITERIA (DRA-01A, DRA-01B)
2.	04/21/2014	6.13.3.D.(2)	STORMWATER FACILITY CRITERIA (DRA-01A, DRA-01B)
3.	04/21/2014	6.13.5.D.	FLOOD PLAIN MAP AMENDMENT
4.	04/21/2014	6.8.6	BUFFERING
5.	06/02/2014	6.10.7	KARST FEATURE CONSERVATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLANS.

_____
JAMES COUILLARD, DIRECTOR
MARION COUNTY PARKS AND RECREATION DEPARTMENT

I HEREBY CERTIFY THAT THESE PLANS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

DRAWING INDEX

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09 PAVING, GRADING AND DRAINAGE PLAN
10 CONSTRUCTION DETAILS
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S-02 SURVEY
S-03 SURVEY
S-04 SURVEY
S-01 HYDROGRAPHIC SURVEY
S-01 HYDROGRAPHIC SURVEY

PROJECT TRAFFIC STATEMENT:
THE PROPOSED MODIFICATIONS TO THE HEAGY BURRY BOAT RAMP PARK INCLUDE IMPROVEMENTS TO THE PARK'S PARKING LOT LAYOUT AND INTERNAL TRAFFIC CIRCULATION. NO ADDITIONAL BOAT RAMP'S ARE BEING PROPOSED. THE PROJECT'S APPLICABLE LAND USE CODE WITHIN THE INSTITUTE OF TRANSPORTATION ENGINEERS' (ITE) TRIP GENERATION MANUAL, 9TH EDITION, IS 'ITE 412 – COUNTY PARK', WHICH BASES TRIP GENERATION CHARACTERISTICS ON A PARK'S ACREAGE. THE PARK'S ACREAGE IS NOT CHANGING, THEREFORE ITS TRIP GENERATION CHARACTERISTICS SHOULD NOT CHANGE AS A RESULT OF THIS PROJECT.

CALL 2 WORKING DAYS BEFORE YOU DIG
IT'S THE LAW! DIAL 811
811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 3106

LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER 58568
DATE: _____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

COVER SHEET

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
01

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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GENERAL NOTES:

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
2. ELEVATIONS BASED ON SURVEY PROVIDED BY GEORGE F. YOUNG, INC. DATED JULY 29, 2010.
3. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THEIR OPERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED FOR THE PROJECT.
6. THE LOCATION OF ALL UTILITIES SHOWN ON THE DRAWINGS ARE FROM INFORMATION PROVIDED BY FIELD OBSERVATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM, IN THE FIELD, THE LOCATIONS AND ELEVATIONS SHOWN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
8. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES CONSTRUCTION.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
10. "AS-BUILT" INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER. ALL UNDERGROUND FITTINGS MUST BE REFERENCED TO AT LEAST TWO VISIBLE REFERENCE POINTS ON THE AS-BUILT DRAWINGS.
11. CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS DURING AND FOLLOWING CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS.
12. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CONSTRUCTION POLLUTION PREVENTION PLAN INCLUDED HEREIN.
13. THE CONTRACTOR SHALL PROVIDE A TEMPORARY WATER SERVICE OR WATER TRUCK FOR WASH-DOWN OF VEHICLES LEAVING THE PROJECT SITE IF NECESSARY.
14. ALL UNDERGROUND UTILITIES TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE AND THE APPROVED SITE PLANS.
15. THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, AND THE PROPERTY OWNER 48 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITIES COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.
16. THE ENGINEER OF RECORD SHALL BE GIVEN FORTY EIGHT HOURS (48-HR) NOTICE OF ALL MEETINGS AND OR TESTING MEASURES RELATED TO SAID PROJECT.
17. CONSTRUCTION WARNING SIGNS ARE TO BE MOUNTED AND ERECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE AND ALL TRAFFIC CONTROL DEVICES SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS WELL AS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX.
18. THE CONTRACTOR IS RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTION AREA. THE CONSTRUCTION AREA SHALL BE CLEARLY MARKED AT ALL TIMES.
19. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED OR SEEDED AND MULCHED ACCORDING TO LOCAL REGULATIONS.
20. THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES.
21. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATION AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY, THE ENGINEER OF RECORD, AND THE CITY/COUNTY.
22. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. THE CONTRACTOR SHALL RESTORE/REPLACE ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
24. THERE SHALL BE A MINIMUM THREE (3) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION.
25. A PERMIT MUST BE OBTAINED FROM THE MARION COUNTY PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE CITY RIGHT OF WAY.

DEMOLITION NOTES:

1. CODES
   ALL CODES REGULATING DEMOLITION WORK SHALL BE COMPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL PUT UP AND MAINTAIN SUCH BARRIERS AND WARNING LIGHTS, AS MAY BE NECESSARY OR REQUIRED BY CODE, TO PROTECT AND PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE DEMOLITION WORK AREA. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) INSOFAR AS THEY APPLY TO DEMOLITION WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. PROTECTION OF BUILDINGS & EQUIPMENT
   TEMPORARY PROTECTIVE DEVICES, AS REQUIRED SHALL BE INSTALLED ADJACENT TO THE DEMOLITION WORK FOR PROTECTION PERSONNEL, EXISTING ADJACENT BUILDINGS, STRUCTURES AND EQUIPMENT AGAINST DUST, FALLING OR FLYING DEBRIS. ANY DAMAGE TO EXISTING STRUCTURES, FACILITIES AND/OR EQUIPMENT RESULTING FROM DEMOLITION WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
3. DISPOSAL OF EXISTING EQUIPMENT & DEBRIS
   ALL DEBRIS AND EXISTING MATERIALS AND EQUIPMENT SHALL BE HAULED AWAY AND DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE HIS OWN ARRANGEMENTS FOR OBTAINING DISPOSAL AREAS. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT SPILLAGE OF MATERIALS BEING HAULED IN PUBLIC STREETS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY CLEAN UP ANY SPILLAGE WHICH MAY ACCIDENTALLY OCCUR.
4. CLEAN-UP
   THE CONTRACTOR SHALL MAINTAIN AN ORDER OF NEATNESS AND GOOD HOUSEKEEPING. TOOLS, SCAFFOLDING AND OTHER DEMOLITION EQUIPMENT MUST AT ALL TIMES BE KEPT IN A NEAT AND ORDERLY ARRANGEMENT. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION AS REQUIRED FOR SUBSEQUENT NEW WORK.

SIGNAGE AND PAVEMENT MARKING NOTES:

1. ALL SIGNS MUST MEET FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS FOR ENGINEERING GRADE SIGN FACES IN REFLECTIVITY.
2. ALL FINAL PAVEMENT MARKINGS WITHIN THE STATE AND PUBLIC RIGHT-OF-WAYS SHALL BE THERMOPLASTIC.
3. ALL STOP SIGNS (R1-1) SHALL BE FABRICATED USING 3M DIAMOND GRADE VIP REFLECTIVE SHEETING.
4. STOP AND STREET NAME SIGNS SHALL BE MOUNTED ONTO THE SAME POLE.
5. STOP LINES SHALL BE TWENTY-FOUR INCHES (24") WIDE AND LANE WIDTH.
6. STREET NAME SIGN SPECIFICATIONS WILL BE PER MARION COUNTY STANDARDS.

PAVING AND DRAINAGE NOTES:

1. ALL GRADING, PLACEMENT OF FILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH MARION COUNTY LAND DEVELOPMENT CODE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION AND ALL APPLICABLE ADA SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONSTRUCT ALL DRAINAGE STRUCTURES TO THE DESIGN ELEVATIONS SHOWN AND IN COMPLIANCE WITH TYPICAL CONSTRUCTION DETAILS.
3. ALL PIPE LENGTHS SHOWN HEREIN ARE APPROXIMATE LENGTHS FROM CENTER TO CENTER OF THE RELATED STRUCTURES.
4. ALL PIPE LENGTHS ARE SCALED AND MAY REQUIRE SLIGHT FIELD ADJUSTMENTS TO FIT CONDITIONS. ALL PIPE CROSSINGS SHALL BE COMPACTED TO 95% MAX. DENSITY AT 1" LIFTS.
5. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE PAVING AND DRAINAGE FACILITIES WITH ALL OTHER CONSTRUCTION.
6. ALL PIPE JOINTS SHALL BE PROPERLY FITTED AND SEALED PER PRODUCT MANUFACTURERS SPECIFICATIONS.
7. THE CONTRACTOR SHALL COORDINATE ALL NOTIFICATIONS AND UTILITY LOCATION EFFORTS WITH THE UTILITY OWNERS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

PAVING AND DRAINAGE NOTES CONTINUED:

8. THE CONTRACTOR SHALL SUBMIT SEVEN (7) SETS OF SHOP DRAWINGS OF ALL STRUCTURES, EQUIPMENT, MATERIAL SPECIFICATIONS TO THE CONSTRUCTION MANAGER AND ENGINEER OF RECORD FOR REVIEW PRIOR TO THE PURCHASE AND/OR INSTALLATION OF ANY STRUCTURES, EQUIPMENT, AND/OR MATERIAL.
9. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THESE CONSTRUCTION PLANS AND LOCAL REGULATIONS.
10. ALL AREAS OF DISTURBED EXISTING AND NEW PUBLIC RIGHT-OF-WAY SHALL BE SODDED.
11. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS TO WORK IN EXISTING COUNTY RIGHT-OF-WAYS
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMITTED CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE ORGANIZATION AND/OR ENTITY RESPONSIBLE FOR THE INSTALLATION TO UPDATE/REPLACE ANY DEFICIENT MATERIAL/EQUIPMENT NECESSARY TO BRING THE FINAL PRODUCT TO THE STANDARDS OF THE PERMITTED CONSTRUCTION DOCUMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN.
14. COMPACTION DENSITIES FOR ALL ROADWAY CROSSINGS ARE TO BE TAKEN IN ONE-FOOT (1') LIFTS.
15. LIMEROCK BERING RATIOS FOR SUBGRADE AT FORTY (40) AND LIMEROCK OR ALTERNATIVE BASE COURSE AT ONE HUNDRED (100). THERE WILL BE NO UNDER TOLERANCE.
16. ALL MATERIAL USED FOR BACKFILL SHALL BE A3 FREE DRAINING SAND.
17. THERE ARE TO BE NO OPEN TRENCHES AT THE DAY'S END.
18. THE CONTRACTOR SHALL ADHERE TO ALL NOTES PROVIDED IN THESE CONSTRUCTION DRAWINGS.
19. ALL CONSTRUCTION LINES & GRADES SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR.
20. CONTRACTOR WILL CLEAR, GRUB AND DISPOSE OF ALL DEBRIS AND SURFACE ORGANICS IN ALL EASEMENTS, ROAD RIGHT-OF-WAYS AND DETENTION AREAS. DISPOSAL SHALL BE INCLUDED IN THE CONTRACT.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DOWNSTREAM TURBIDITY/SILTATION THROUGH THE USE OF HAY BALES, SILTATION SCREENS, SILTATION BARRIER, AND/OR ANY OTHER SUITABLE MEANS REQUIRED TO MEET FLORIDA STREAM STANDARDS. SEED AND MULCH ALL DISTURBED AREAS, SOD AS REQUIRED TO CONTROL EROSION THROUGH FINAL INSPECTION AND TO PRODUCE A UNIFORM STAND OF GRASS THROUGHOUT.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR BRICKING UP CURB INLETS TO FINISHED GRADE AND FURNISHING AND MAINTAINING ALL HARDWARE.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING CURB TRANSITIONS TO FINISH GRADE.
24. UNDERDRAINS SHALL BE INSTALLED, BY THE CONTRACTOR, IN ALL CASES WHERE THE GROUND/WATER TABLE IS CLOSER THAN 24 INCHES BELOW THE PROPOSED CENTERLINE GRADE OF ANY ROAD. CONTACT ENGINEER IF ISSUE IS ENCOUNTERED.
25. ALL DISTURBED AREAS SHALL RECEIVE GRASS SEED, FERTILIZER, AND MULCH. AREAS SHALL HAVE BEEN FILLED AND GRADED AS NECESSARY TO PROVIDE PROPER DRAINAGE. SLOPES STEEPER THAN 4:1 SHALL BE PINNED OR PEGGED SOD.
26. FILTER WRAP SHALL BE USED ON ALL DRAINAGE JOINTS AS REQUIRED BY FDOT SPECIFICATIONS.
27. A 2' STRIP OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS.
28. ALL POND SIDE SLOPES SHALL BE STABILIZED WITH ESTABLISHED GRASS AT TIME OF FINAL INSPECTION.
29. HANDICAP RAMPS SHALL BE INSTALLED WHEREVER THE SIDEWALK MEETS THE CURB, AND SHALL COMPLY WITH ALL ADA REQUIREMENTS.

GEOTECHNICAL NOTES:

1. IF CLAYEY SOILS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER FOR RECOMMENDATIONS ON HOW TO PROCEED WITH THE PLACEMENT AND USE OF THESE SOILS.
2. BECAUSE OF THE LOCATION OF THE PROJECT, IT CAN BE EXPECTED THAT LIMESTONE WILL BE ENCOUNTERED DURING CONSTRUCTION. LIMESTONE DEPOSITS IN THIS PART OF MARION COUNTY CAN RANGE FROM SCATTERED SOFT DEPOSITS TO LARGE ROCK BOULDERS. IT IS ANTICIPATED THAT MOST OF THE LIMESTONE ENCOUNTERED DURING CONSTRUCTION CAN BE EXCAVATED USING NORMAL EARTH MOVING EQUIPMENT. HOWEVER, HARDER DEPOSITS MAY REQUIRE ROCK BREAKERS OR RIPPING EQUIPMENT. ANY LIMESTONE REMOVAL SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR EARTH MOVING ACTIVITIES.
3. SHOULD ANY SINKHOLE ACTIVITY BE OBSERVED DURING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER IMMEDIATELY FOR GUIDANCE ON REPAIRING THE SINKHOLE.

WATER/SEWER SEPARATION REQUIREMENTS (FDEP):

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS: FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE (3") INCHES OR GREATER.

(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS:

(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (3) THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (3) THREE FEET, AND PREFERABLY (10) TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

(C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (6) SIX FEET, AND PREFERABLY (10) TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610 F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO (3) THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST (6) SIX INCHES ABOVE THE TOP OF THE SEWER.

(D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (10) TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2). F.S. AND RULE 64E-6.002. F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES:

(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST (6) SIX INCHES, AND PREFERABLY 12 INCHES ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST (3) THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST (6) SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES:

(A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY MANHOLE OR A STORM SEWER MANHOLE.

WATER/SEWER SEPARATION REQUIREMENTS (FDEP) (CONT.):

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS: NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

EXCEPTIONS/MITIGATION:
WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN ITEMS (1) THROUGH (4) ABOVE, THE CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, WHO WILL DETERMINE THE APPROPRIATE SOLUTION. IF A SUBSTANTIAL DEVIATION FROM THE PERMITTED DESIGN IS REQUIRED, A REQUEST FOR PERMIT REVISION WILL BE SUBMITTED TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) FOR APPROVAL PRIOR TO CONSTRUCTION.

SANITARY SEWER SYSTEM NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES WITH THESE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY FOR RESOLUTION.
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT AND MATERIAL FOR APPROVAL BY THE ENGINEER PRIOR TO THE PURCHASE OR INSTALLATION OF ANY EQUIPMENT OR MATERIAL.
4. GRAVITY SANITARY SEWER LINE SHALL CONFORM TO ASTM D-3034, SDR-26, COLOR GREEN AND CLEARLY MARKED AND CODED.
5. SANITARY SEWER FORCE MAINS 4"-12" IN DIAMETER SHALL BE PVC, C-900, DR 25, 100 PSI PRESSURE PIPE CONFORMING TO ASTM D1784 AND D1785 SDR 18. SANITARY FORCE MAIN SHALL BE COLOR CODED GREEN AND CLEARLY MARKED. PVC FORCE MAINS SHALL HAVE LOCATING WIRES ON THE TOP AND BOTTOM OF THE FORCE MAIN IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF ALL SANITARY PIPE AND APPURTENANCES. TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER OR A DESIGNATED REPRESENTATIVE.
7. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND MARION COUNTY ALL VIDEO LOGS AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
8. CONTRACTOR SHALL INSURE THAT THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCE IS MAINTAINED TO ALL OTHER WET UTILITIES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) REQUIREMENTS.
9. ALL MANHOLE COVERS IN TRAFFIC AREAS SHALL BE HINGED AND LOCKABLE PER MARION COUNTY SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.

POTABLE WATER SYSTEM NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE. CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
2. ALL WATER AND SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR WITH A CLASS 5 LICENSE UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES.
3. ALL MATERIALS AND CONSTRUCTION PROCEDURES AND TECHNIQUES SHALL BE IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT AND MATERIAL FOR APPROVAL BY THE ENGINEER PRIOR TO THE PURCHASE OR INSTALLATION OF ANY EQUIPMENT OR MATERIAL.
5. TWO INCH (2') TO TWELVE INCH (12') WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP) BASED ON PRESSURE. WATER MAIN SIZES LARGER THAN 12' SHALL BE DUCTILE IRON PIPE (DIP). ALL PVC PIPE SHALL BE POTABLE WATER BLUE, HAVE IDENTIFYING TAPE AND LOCATING WIRE ON TOP AND BOTTOM. PVC PIPE SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C-900, DR14 AND DR18.
6. EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN SHOWN, BASED ON THE BEST INFORMATION AVAILABLE, WITHOUT EXPLORATORY EXCAVATIONS. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY AND ALL DISCREPANCIES WITH THE PLANS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
7. THE VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN AND PROFILE SHEETS HAVE BEEN ASSUMED. THE CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF THE LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
8. SHOULD ANY CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALLIMMEDIATELY NOTIFY THE ENGINEER FOR RESOLUTION PRIOR TO CONTINUING CONSTRUCTION.
9. UNSUITABLE SOIL MATERIALS UNDER WATER AND SEWER MAINS SHALL BE REMOVED AND REPLACED WITH SELECT BACKFILL IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE.
10. ALL ROCK AND UNSUITABLE SIZED STONES FOUND IN THE TRENCHES FOR NEW AND RELOCATED WATER MAIN PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE. AN APPROVED BACKFILL MATERIAL SHALL BE PROVIDED AND SHAPED TO PROVIDE A CONTINUOUS AND UNIFORM BEDDING. THE BEDDING MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE.
11. COMPACTION OF PIPE TRENCHES SHALL BE IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE. COMPACTION SHALL BE 95% OF AASHTO T-180 IN NON-TRAFFIC AREAS AND 98% OF AASHTO T-180 IN TRAFFIC AREAS.
12. WATER MAINS SHALL HAVE A MINIMUM OF 36" COVER FROM FINISHED GRADE.

No.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

GENERAL NOTES

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
02

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

LEGEND

- IMPROVEMENTS TO BE REMOVED
- TREES TO BE PRESERVED WITH TREE PROTECTION ZONE. BARRICADES PER MARION COUNTY LAND DEVELOPMENT CODE
- TREES TO BE REMOVED

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION AND/OR PRESERVATION OF EXISTING TREES AND NATURAL AREAS. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS PART OF THIS CONTRACT IF THEY CONFLICT WITH THE CONSTRUCTION OF ANY OF THE PROPOSED IMPROVEMENTS. TREE PROTECTION BARRICADES AND FENCING SHALL BE INSTALLED AND INSPECTED IN ACCORDANCE WITH THE LOCAL JURISDICATIONAL REQUIREMENTS PRIOR TO ANY DEMOLITION ACTIVITIES TAKING PLACE.

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DEMOLITION PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
03

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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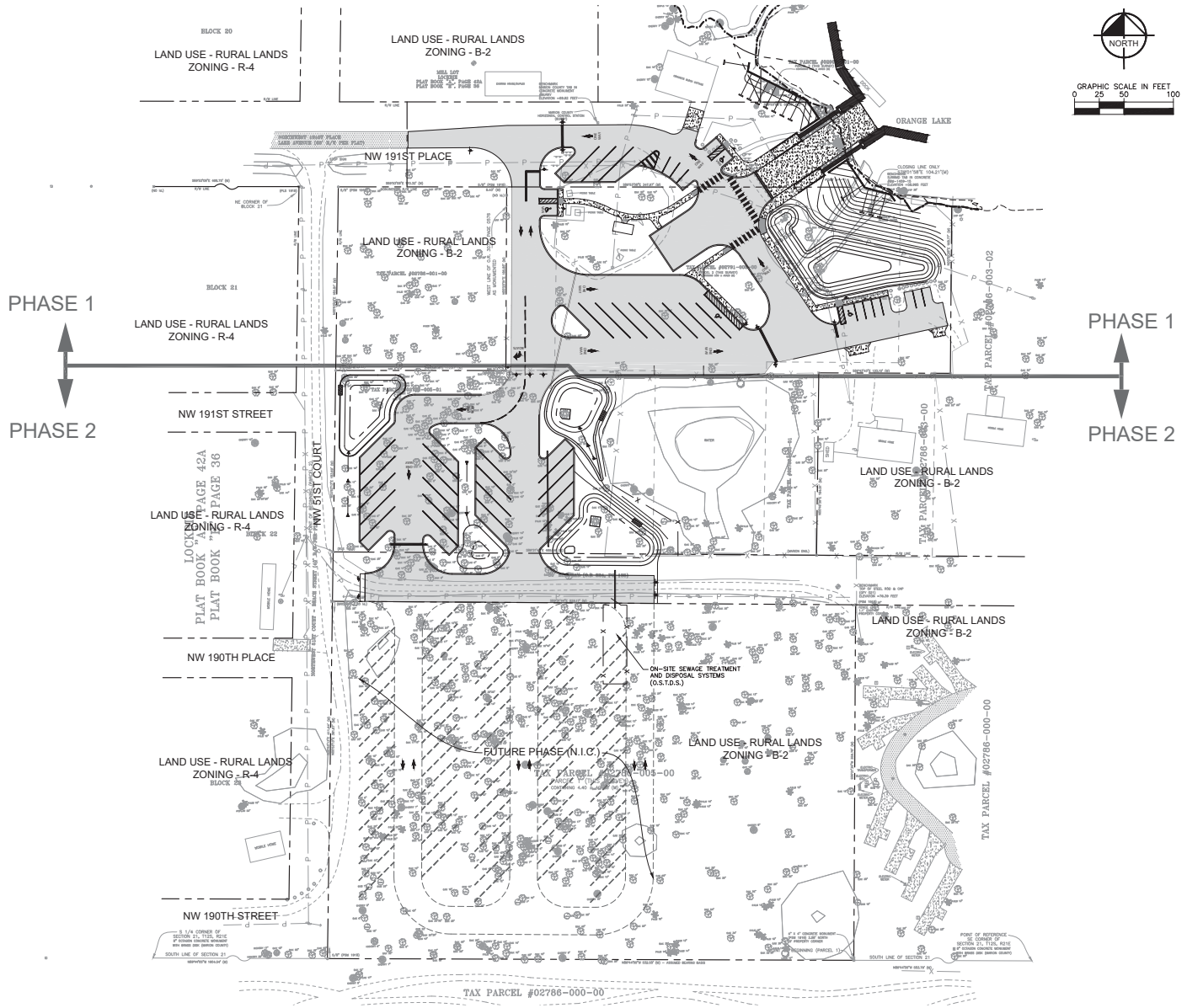

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040997022
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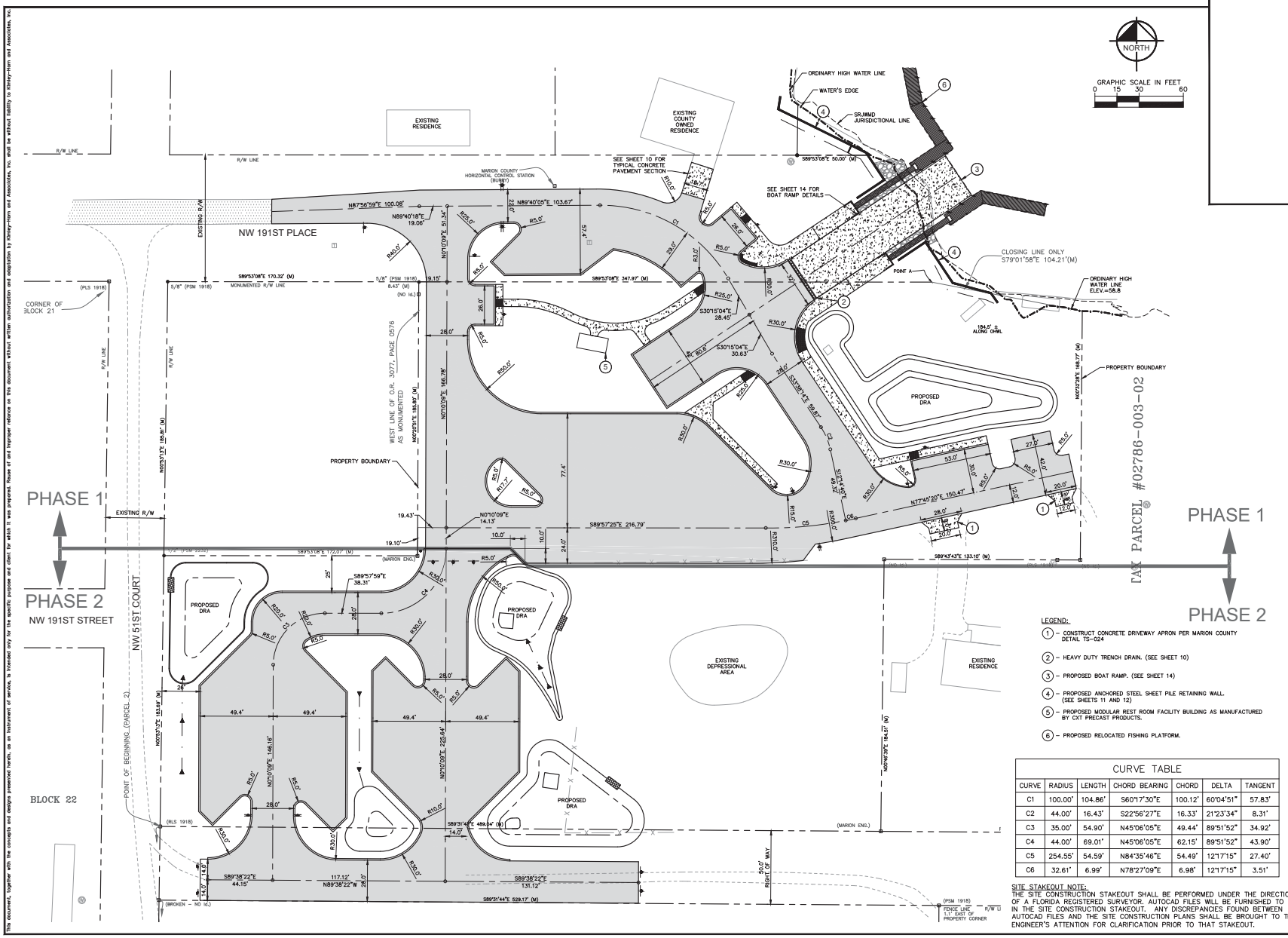
MASTER SITE PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF
COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
04

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	100.00'	104.86'	S60°17'30"E	100.12'	60°04'51"	57.83'
C2	44.00'	16.43'	S22°56'27"E	16.33'	21°23'34"	8.31'
C3	35.00'	54.90'	N45°06'05"E	49.44'	89°51'52"	34.92'
C4	44.00'	69.01'	N45°06'05"E	62.15'	89°51'52"	43.90'
C5	254.55'	54.59'	N84°35'46"E	54.49'	12°17'15"	27.40'
C6	32.61'	6.99'	N78°27'09"E	6.98'	12°17'15"	3.51'

SITE STAKEOUT NOTE:
THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND THE SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

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SITE PLAN

HEAGY BURRY BOAT RAMP
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MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
05

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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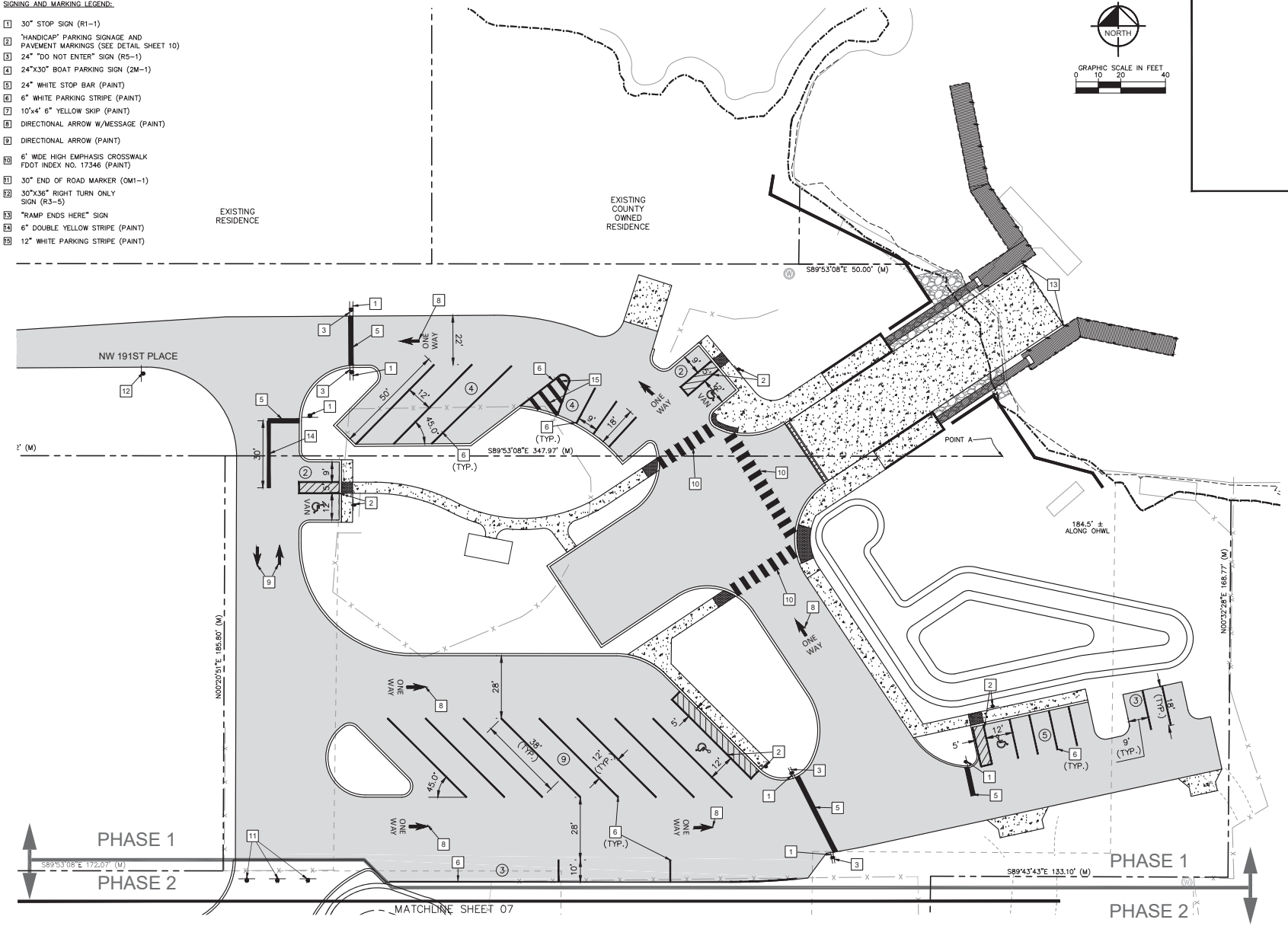
SIGNING AND MARKING LEGEND:

1. 30" STOP SIGN (R1-1)
2. "HANDICAP" PARKING SIGNAGE AND PAVEMENT MARKINGS (SEE DETAIL SHEET 10)
3. 24" "DO NOT ENTER" SIGN (R5-1)
4. 24"X30" BOAT PARKING SIGN (2M-1)
5. 24" WHITE STOP BAR (PAINT)
6. 6" WHITE PARKING STRIPE (PAINT)
7. 10'x4' 6" YELLOW SKIP (PAINT)
8. DIRECTIONAL ARROW W/MESSAGE (PAINT)
9. DIRECTIONAL ARROW (PAINT)
10. 6' WIDE HIGH EMPHASIS CROSSWALK FDOT INDEX NO. 17346 (PAINT)
11. 30" END OF ROAD MARKER (OM1-1)
12. 30"X36" RIGHT TURN ONLY SIGN (R3-5)
13. "RAMP ENDS HERE" SIGN
14. 6" DOUBLE YELLOW STRIPE (PAINT)
15. 12" WHITE PARKING STRIPE (PAINT)



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DATE DECEMBER 2023
SCALE AS SHOWN
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SIGNING AND MARKING PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER 06

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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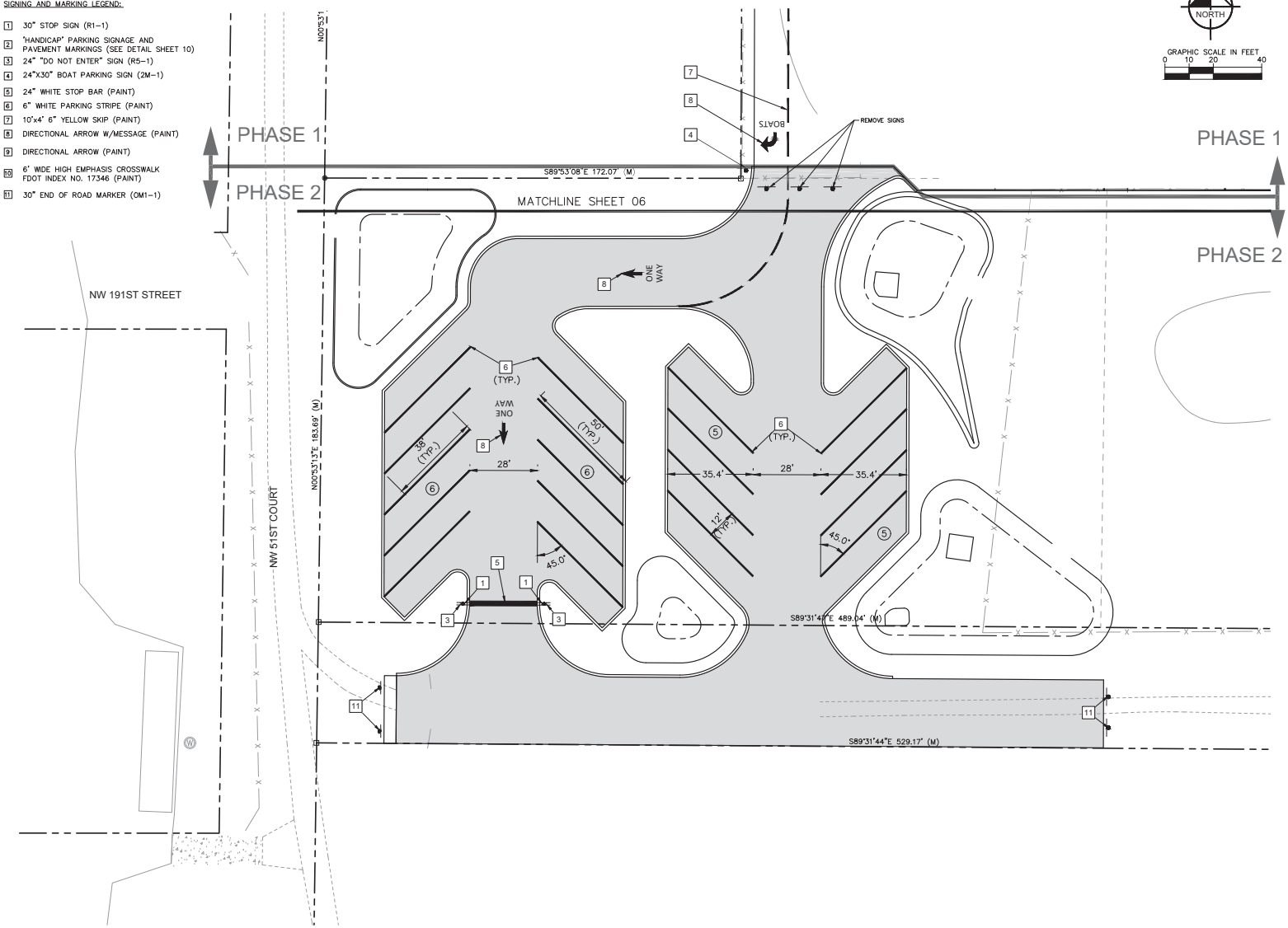
8. DIRECTIONAL ARROW W/MESSAGE (PAINT)
9. DIRECTIONAL ARROW (PAINT)
10. 6' WIDE HIGH EMPHASIS CROSSWALK FDOT INDEX NO. 17346 (PAINT)
11. 30" END OF ROAD MARKER (OM1-1)



No.	REVISIONS	DATE	BY

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 3196

LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

SIGNING AND MARKING PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
07

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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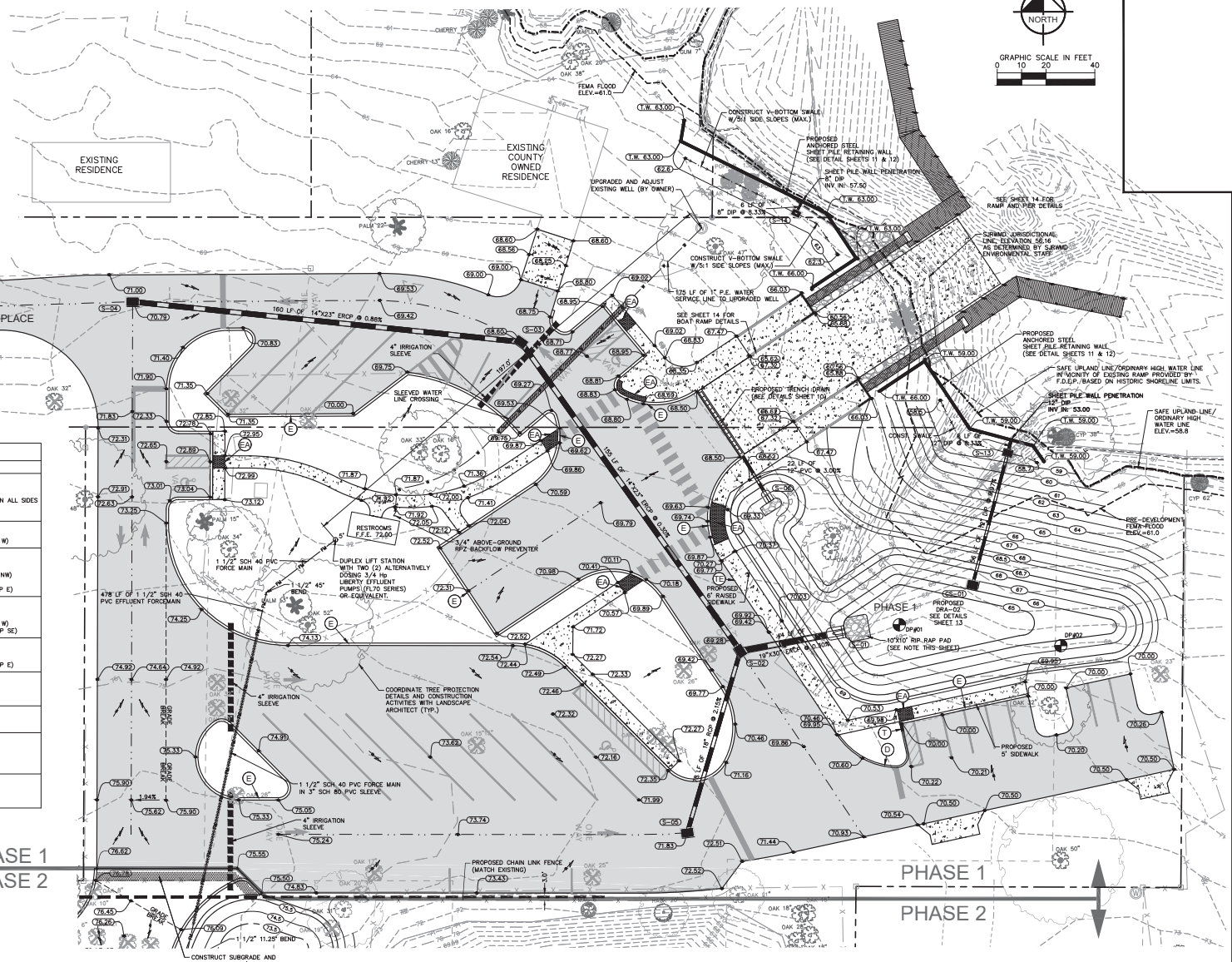
CURB LEGEND: (SEE SHEET 10 FOR DETAILS)

(D) – 'D' CURB
(E) – 12" EDGE CURB
(T) – 3' CURB TRANSITION
(TE) – THICKENED EDGE SIDEWALK
(EA) – EXPOSED AGGREGATE DETECTABLE SURFACE
DP#01 – SOIL BORING LOCATION

NOTES:

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.75%.
3. ALL HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS SHALL NOT EXCEED A 1.75% MAXIMUM CROSS SLOPE. HANDICAP ACCESSIBLE PARKING SPACES SHALL NOT EXCEED A 2.00% CROSS SLOPE IN ANY DIRECTION. IF ANY OF THESE AREAS ARE FOUND TO EXCEED THE ACCESSIBILITY LIMITS IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE AT HIS OWN EXPENSE ALL AREAS FOUND TO BE UNACCEPTABLE.
4. RIP RAP PADS SHALL BE PLACED A MINIMUM OF 24" THICK, TO THE DIMENSIONS SHOWN ON PLANS AND FLUSH WITH ADJACENT GRADE. RIP RAP SHALL BE RUBBLE (DITCH LINING) PER FDOT STANDARD SPECIFICATION 530–2.2. TYPE D–2 GEOTEXTILE FABRIC SHALL BE PLACED PER FDOT INDEX 199.
5. SPECIAL NOTE: THE VERTICAL DATUM FOR THIS PROJECT IS BASED ON NGVD–29.



STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
PHASE 1 CS–01	TYPE 'C' DBI PER FDOT INDEX NO. 232 GRATE: 68.10 W/ 12" ALUMINUM SKIMMER ON ALL SIDES TOP OF SKIMMER = 68.50 INV OUT: 60.00 (12" DIP N)
PHASE 1 S–01	MITERED END SECTION PER FDOT INDEX NO. 272 INV IN: 65.00 (19"X30" ERCP W)
PHASE 1 S–02	TYPE 'P' DBI PER FDOT INDEX NO. 233 GRATE: 69.28 INV IN: 65.13 (14"X23" ERCP NW) INV IN: 65.13 (18" RCP S) INV OUT: 65.13 (19"X30" ERCP E)
PHASE 1 S–03	TYPE 'P' DBI PER FDOT INDEX NO. 233 GRATE: 68.60 INV IN: 65.59 (14"X23" ERCP W) INV OUT: 65.59 (14"X23" ERCP SE)
PHASE 1 S–04	TYPE 'P' DBI PER FDOT INDEX NO. 233 GRATE: 70.79 INV OUT: 67.00 (14"X23" ERCP E)
PHASE 1 S–05	TYPE 'P' DBI PER FDOT INDEX NO. 233 GRATE: 71.83 INV OUT: 66.79 (18" RCP N)
PHASE 1 S–06	MITERED END SECTION PER FDOT INDEX NO. 272 INV IN: 66.00 (12" PVC NW)
PHASE 1 S–13	TYPE 'C' DBI PER FDOT INDEX NO. 232 GRATE: 58.00 INV IN: 54.42 (12" DIP S) INV OUT: 53.50 (12" DIP N)
PHASE 1 S–14	TYPE 'C' DBI PER FDOT INDEX NO. 232 GRATE: 62.00 INV OUT: 58.00 (8" DIP NE)

PHASE 1
PHASE 2

No.	REVISIONS	DATE	BY

Kimley»Horn

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PHONE: 352-438-3000
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LICENSED PROFESSIONAL
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FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

PAVING, GRADING AND DRAINAGE PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER 08

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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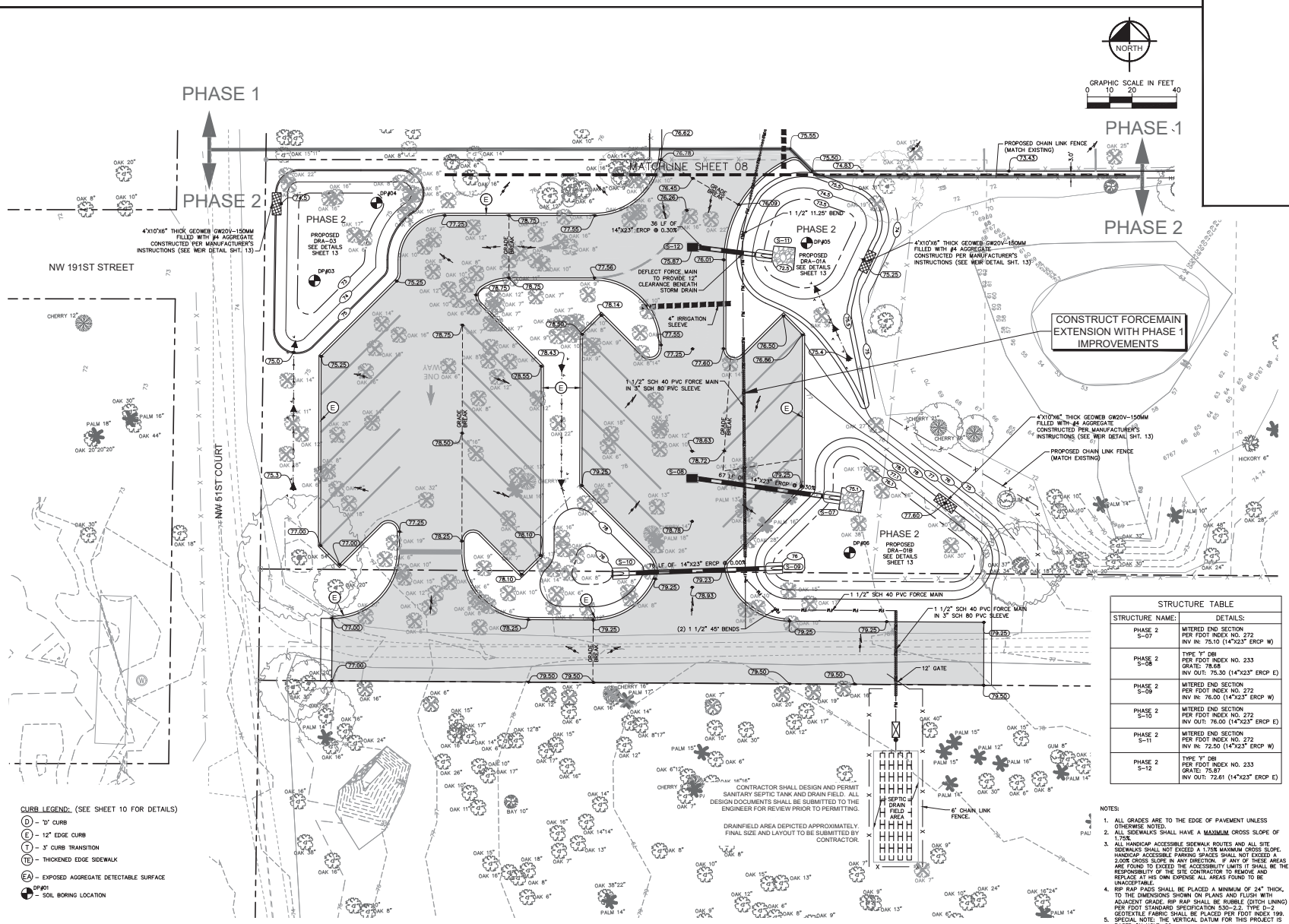

CURB LEGEND: (SEE SHEET 10 FOR DETAILS)

- (D) – "D" CURB
- (E) – 12" EDGE CURB
- (T) – 3' CURB TRANSITION
- (TE) – THICKENED EDGE SIDEWALK
- (EA) – EXPOSED AGGREGATE DETECTABLE SURFACE
- DP#01 – SOIL BORING LOCATION

STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
PHASE 2 S-07	MITERED END SECTION PER FDOT INDEX NO. 272 INV IN: 75.10 (14"X23" ERCP W)
PHASE 2 S-08	TYPE "F" DBI PER FDOT INDEX NO. 233 GRATE: 78.68 INV OUT: 75.30 (14"X23" ERCP E)
PHASE 2 S-09	MITERED END SECTION PER FDOT INDEX NO. 272 INV IN: 76.00 (14"X23" ERCP W)
PHASE 2 S-10	MITERED END SECTION PER FDOT INDEX NO. 272 INV OUT: 76.00 (14"X23" ERCP E)
PHASE 2 S-11	MITERED END SECTION PER FDOT INDEX NO. 272 INV IN: 72.50 (14"X23" ERCP W)
PHASE 2 S-12	TYPE "F" DBI PER FDOT INDEX NO. 233 GRATE: 75.87 INV OUT: 72.61 (14"X23" ERCP E)

NOTES:

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.75%.
3. ALL HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS SHALL NOT EXCEED A 1.75% MAXIMUM CROSS SLOPE. HANDICAP ACCESSIBLE PARKING SPACES SHALL NOT EXCEED A 2.00% CROSS SLOPE IN ANY DIRECTION. IF ANY OF THESE AREAS ARE FOUND TO EXCEED THE ACCESSIBILITY LIMITS IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE AT HIS OWN EXPENSE ALL AREAS FOUND TO BE UNACCEPTABLE.
4. RIP RAP PADS SHALL BE PLACED A MINIMUM OF 24" THICK, TO THE DIMENSIONS SHOWN ON PLANS AND FLUSH WITH ADJACENT GRADE. RIP RAP SHALL BE RUBBLE (DITCH LINING) PER FDOT STANDARD SPECIFICATION 530-2.2, TYPE D-2 GEOTEXTILE FABRIC SHALL BE PLACED PER FDOT INDEX 199.
5. SPECIAL NOTE: THE VERTICAL DATUM FOR THIS PROJECT IS BASED ON NGVD-29.

No.	REVISIONS	DATE	BY

Kimley»Horn

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FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
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PAVING, GRADING AND DRAINAGE PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
09

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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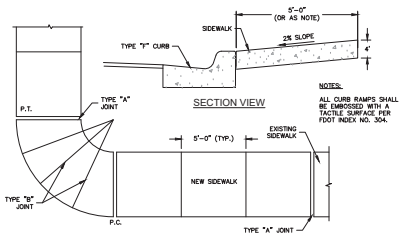
TABLE OF SIDEWALK THICKNESS - 'T'	
LOCATION	"T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

NOTE:

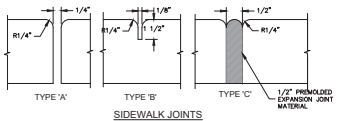
CONCRETE TO BE 3,000 P.S.I. AT 28 DAYS

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. AND P.T. OF CURVES.
'B'	5'- 0" CENTER TO CENTER ON SIDEWALKS. (NOT LESS THAN 4' AND NOT GREATER THAN 10')
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. JUNCTION OF EXISTING AND NEW SIDEWALKS AT INTERVALS NOT GREATER THAN 100'.



NOTES:

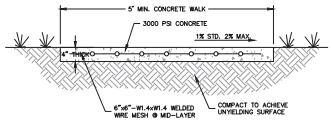
ALL CURB RAMPS SHALL BE EMBOSSED WITH A TACTILE SURFACE PER FDOT INDEX NO. 304.



SIDEWALK JOINTS

SIDEWALK CONSTRUCTION

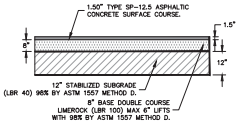
PGKH34A.DWG N.T.S.



NOTE: SEE SITE PLAN FOR SPECIFIC SIDEWALK LOCATIONS

TYPICAL SIDEWALK SECTION

PGKH39A.DWG N.T.S.

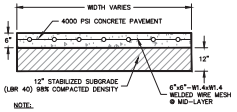


NOTE:

CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL SUCH AS CLAY AND ROOTS PER AGENCY REQUIREMENTS.

TYPICAL PAVEMENT SECTION

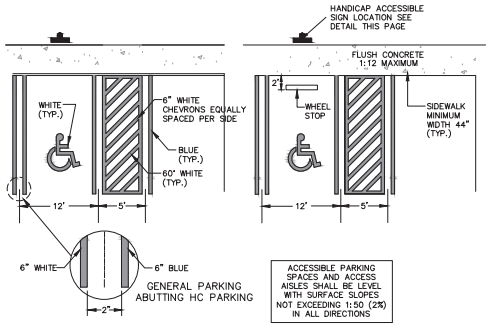
PKKH38A.DWG N.T.S.



NOTE:

1. CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL SUCH AS CLAY AND ROOTS PER AGENCY REQUIREMENTS. ALL CONCRETE JOINTING SHALL BE PER FDOT INDEX NO. 310.
2. CONCRETE JOINTS WILL BE INSTALL PER FDOT INDEX NO. 305.

TYPICAL CONCRETE PAVEMENT SECTION



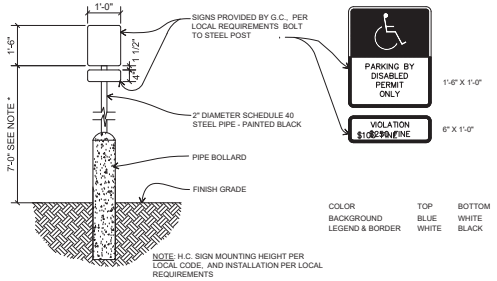
ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS

NOTES:

1. WHEN HEADER CURB IS USED IN LIEU OF WHEEL STOPS, SIDEWALK ABUTTING CURB MUST BE WIDENED BY 18" SO THAT THE TOTAL SIDEWALK WIDTH IS 62", ALLOWING FOR 44" MINIMUM CLEAR ACCESSIBLE ROUTE.
2. FOR COMPLETE DETAIL OF HANDICAPPED SIGN, REFER TO HANDICAP SIGN DETAIL.
3. NO RAMPS ARE REQUIRED WHEN SIDEWALK IS FLUSH WITH PAVEMENT. SEE GRADING PLAN.
4. ALL PARKING STRIPES SHALL BE 6" IN WIDTH.
5. SEE F.D.O.T. INDEX 17346 FOR THE MOST CURRENT DETAIL.
6. MUST COMPLY WITH ADA REQUIREMENTS.

HANDICAP SPACE STRIPING DETAIL

N.T.S.

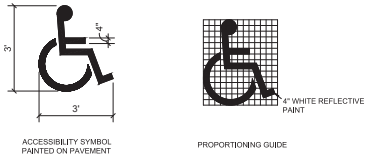


COLOR	TOP	BOTTOM
BACKGROUND	BLUE	WHITE
LEGEND & BORDER	WHITE	BLACK

NOTE: H.C. SIGN MOUNTING HEIGHT PER LOCAL CODE, AND INSTALLATION PER LOCAL REQUIREMENTS

HANDICAP SIGN DETAIL

N.T.S.



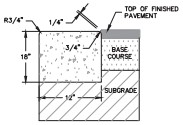
ACCESSIBILITY SYMBOL PAINTED ON PAVEMENT

PROPORTIONING GUIDE

* TO BE WHITE IN COLOR, UNLESS OTHERWISE SPECIFIED.

HANDICAP SYMBOL

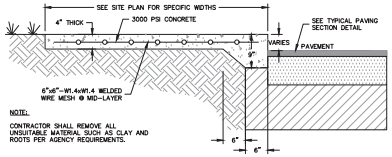
N.T.S.



ALL CONCRETE SHALL BE 3,000 PSI

12" EDGE CURB

N.T.S.

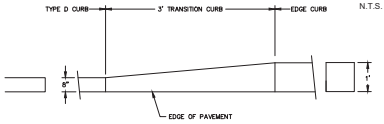


NOTE:

CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL SUCH AS CLAY AND ROOTS PER AGENCY REQUIREMENTS.

RAISED SIDEWALK AND PAVEMENT SECTION

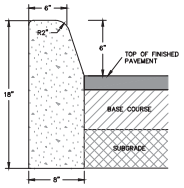
PGKH41A.DWG N.T.S.



PLAN VIEW

TRANSITION TYPE "D" CURB TO EDGE CURB

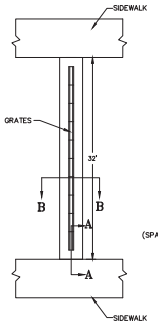
PGKH42A.DWG N.T.S.



ALL CONCRETE SHALL BE 3,000 PSI

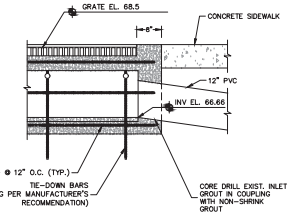
TYPE "D" CURB

PGKH22A.DWG N.T.S.



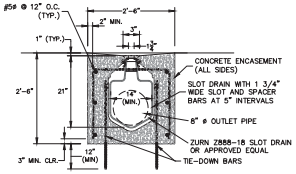
PLAN

N.T.S.



SECTION A–A

N.T.S.

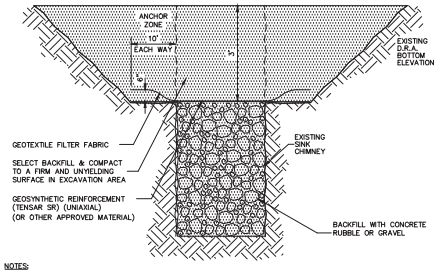


SECTION B–B

N.T.S.

TRENCH DRAIN

N.T.S.



NOTES:

1. IF LIMESTONE IS ENCOUNTERED OR A SINKHOLE OR SOLUTION PIPE FORMS DURING CONSTRUCTION, CONSTRUCTION OF THE BASIN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
2. THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
3. THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURANCE OF SINKHOLES OR SOLUTION PIPES.

TYPICAL SINK CHIMNEY REPAIR DETAIL

N.T.S.

No.	REVISIONS	DATE	BY

Kimley»Horn
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CONSTRUCTION DETAILS

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PREPARED FOR
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MARION COUNTY FLORIDA

SHEET NUMBER
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HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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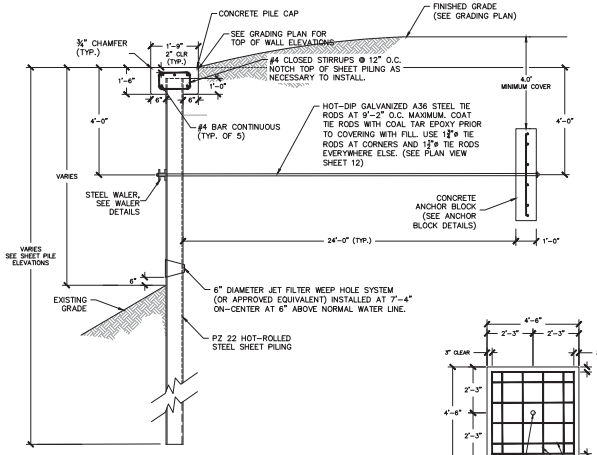
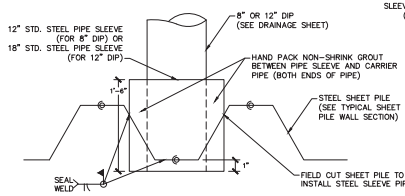


TYPICAL SHEET PILE WALL SECTION

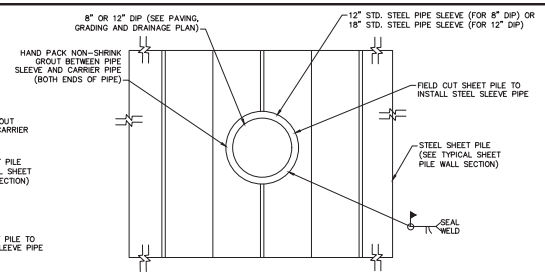
N.T.S.



TYPICAL PIPE PENETRATION

PLAN VIEW

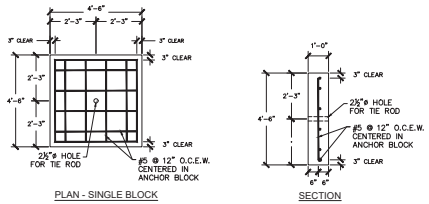
N.T.S.



TYPICAL PIPE PENETRATION

ELEVATION VIEW

N.T.S.

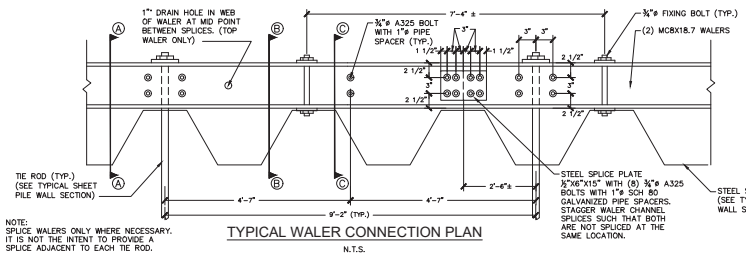


PLAN - SINGLE BLOCK

SECTION

TYPICAL ANCHOR BLOCK

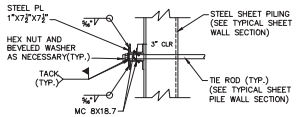
N.T.S.



NOTE:
SPLICE WALERS ONLY WHERE NECESSARY. IT IS NOT THE INTENT TO PROVIDE A SPLICE ADJACENT TO EACH TIE ROD.

TYPICAL WALER CONNECTION PLAN

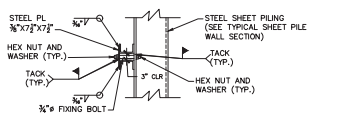
N.T.S.



NOTE:
SPACERS NOT SHOWN FOR CLARITY.

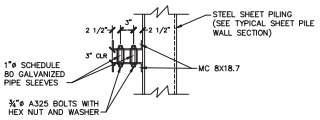
SECTION A-A
TYPICAL WALER SECTION

N.T.S.



SECTION B-B
TYPICAL FIXING BOLT SECTION

N.T.S.



SECTION C-C
TYPICAL WALER SPACER SECTION

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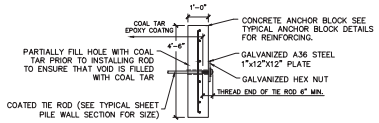

ANCHOR BLOCK TIE ROD
CONNECTION DETAIL

N.T.S.

STRUCTURAL NOTES

1. GENERAL:

(A) USE THESE NOTES IN CONJUNCTION WITH THE FDOT STANDARD SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS. THE ENGINEER OF RECORD SHALL BE CONTACTED FOR CLARIFICATION.

(B) PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC. CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.

(C) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.

(D) PRIOR TO CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS IN THE DRAWINGS AND DETAILS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.

(E) REFER TO THE ENGINEER FOR INSTRUCTION FOR ANY DIMENSION NOT GIVEN ON DRAWINGS. SCALING OF DRAWINGS SHALL NOT BE USED TO OBTAIN OR VERIFY ANY DIMENSION SHOWN ON THE DRAWINGS.

(F) THE MATERIALS, FABRICATION AND INSTALLATION USED IN THIS WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT FDOT SPECIFICATIONS UNLESS MODIFIED HEREIN.

2. STRUCTURAL STEEL:

(A) STRUCTURAL STEEL IS THAT WORK DEFINED IN THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "CODE OF STANDARD PRACTICE".

(B) ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE.

(C) ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC SPECIFICATION AND CODE OF STANDARD PRACTICE.

(D) ALL WELDING SHALL CONFORM TO THE RECOMMENDATIONS OF THE AMERICAN WELDING SOCIETY. ALL WELDING SHALL BE PERFORMED ONLY BY CERTIFIED WELDERS. USE E70XX ELECTRODES, UNLESS NOTED OTHERWISE.

(E) ALL BOLTED CONNECTIONS SHALL BE ASTM A325 WITH HARDENED WASHERS, UNLESS NOTED OTHERWISE.

(F) ALL TIE RODS, PLATES, BOLTS ETC. SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION. STEEL SUBJECTED TO EARTH CONTACT SHALL BE COAL TAR EPOXY COATED AFTER FABRICATION AND GALVANIZING, BUT BEFORE ASSEMBLY. THREADED PARTS MAY BE COATED AFTER ASSEMBLY.

(G) SUBMIT ORIGINAL SHOP DRAWINGS, INCLUDING COMPLETE DETAILS, SCHEDULES OF FABRICATION AND ASSEMBLY, PROCEDURES, AND DIAGRAMS. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLES, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS A2.1 AND A2.4 SYMBOLS, AND SHOW SIZE, LENGTH, AND TYPE OF WELD. PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTION FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGE TO BE INSTALLED AS WORK OF OTHER SECTIONS.

(H) AFTER FABRICATION, STANDARD CLEANING AND PICKLING, ALL WALER STEEL AND SPLICE PLATES SHALL BE SHOP PRIMED AND COATED WITH TWO COATS OF COAL TAR EPOXY. NON-STAINLESS STEEL BOLTS, WASHERS AND NUTS SHALL BE HOT DIPPED GALVANIZED PER ASTM A153.

(I) REPAIR FIELD DAMAGED COAL TAR EPOXY COATING WITH TWO COATS OF FIELD APPLIED COAL TAR EPOXY PER MANUFACTURER REQUIREMENTS.

3. CONCRETE:

(A) ALL CONCRETE MATERIALS, PLACING AND HANDLING SHALL BE IN ACCORDANCE WITH ACI 318 AND ACI 301, LATEST EDITION.

(B) STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. CONCRETE COVER OVER REINFORCING BARS IS NOTED ON PLANS.

(C) FORM TIES AND REINFORCING BAR SUPPORTS SHALL BE OF NON-CORROSIVE MATERIAL INCLUDING, BUT NOT LIMITED TO, FIBERGLASS, PLASTIC, AND/OR CONCRETE BLOCK.

(D) CONCRETE FINISHES: FORMED SURFACE-SMOOTH FORM FINISH PER ACI 301.

(E) ALL GROUT SHALL BE NON-SHRINK, NON-METALLIC.

(F) CONCRETE SHALL BE WET CURED IN ACCORDANCE WITH ACI 301 FOR A MINIMUM OF 5 DAYS.

(G) ALL CONCRETE SHALL BE PLACED IN THE DRY.

(H) PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS OTHERWISE NOTED.

4. REINFORCEMENT:

(A) REINFORCING STEEL SHALL BE A.S.T.M. A-615 WITH SUPPLEMENT, GRADE 60: MINIMUM WORKING STRESS – 24,000 PSI.

(B) ALL REINFORCING SHALL BE UNCOATED (BLACK).

(C) ALL DIMENSIONS PERTAINING TO LOCATION OF REINFORCING BARS ARE TO CENTERLINE OF BARS EXCEPT WHERE THE CLEAR DIMENSION IS SHOWN TO FACE OF CONCRETE.

(D) ACI STANDARD HOOKS SHALL BE USED UNLESS OTHERWISE NOTED.

(E) ALL LAP SPLICE LENGTHS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 AND CRSI STANDARD PRACTICES FOR CLASS 'B' SPLICES, EXCEPT AS OTHERWISE NOTED.

5. STEEL SHEET PILING:

(A) SHEET PILE STEEL SHALL CONFORM TO ASTM A572 GRADE 50, fy=50 ksi MIN.

(B) SHEET PILES SHALL BE DRIVEN TO DEPTHS INDICATED ON CONSTRUCTION PLANS.

(C) FOR CORNER SHEET PILE, USE RECOMMENDED BY MANUFACTURER AS REQUIRED PER WALL LAYOUT.

(D) INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 455 OF THE 2023 FDOT STANDARD SPECIFICATIONS.

(E) THE EMBEDMENT LENGTHS PROVIDED ARE MINIMUM LENGTHS. THE CONTRACTOR MAY PLACE LONGER SHEET PILING AT HIS EXPENSE.

(F) SHOP APPLY ONE COAT OF INORGANIC ZINC PRIMER (SHERWIN WILLIAMS ZINC CLAD II PLUS, OR APPROVED EQUIVALENT, 2-4 mils) AND TWO COATS OF COAL TAR EPOXY (SHERWIN WILLIAMS TARGUARD, OR APPROVED EQUIVALENT, 8-16 mils PER COAT) TO ALL SURFACES OF SHEET PILES INCLUDING EMBEDDED PORTIONS, PURSUANT TO SECTION 560-11 OF THE 2019 FDOT STANDARD SPECIFICATIONS. STRIPE COAT ALL CREVICES AND SHARP ANGLES TO PREVENT EARLY FAILURE IN THESE AREAS. STRIPE COAT EACH BALL AND SOCKET WITH ONE COAT ZINC PRIMER AND ONE COAT COAL TAR EPOXY. FOR SHEET PILE DELIVERED FROM THE MILL IN PAIRS, ORIENT SPRAYER STRIPE COAT TO MAXIMIZE COATING APPLICATION INSIDE OF THE PREASSEMBLED INTERLOCKED BALL AND SOCKET AFTER INSTALLATION OF THE ENTIRE SHEET PILING. AFTER RIP RAP INSTALLATION, PERFORM HOLIDAY TESTING. TOUCH UP COAT ANY SCRATCHED AREAS WITH 2 COATS OF TARGUARD, 8-16 mils PER COAT. COAT FROM PILING TOP TO 5 FEET BELOW THE MUCK LINE OF ALL SHEET PILES.

6. FOUNDATIONS:

(A) A GEOTECHNICAL REPORT HAS BEEN PREPARED BY UNIVERSAL ENGINEERING SCIENCES AND IS DATED APRIL 17, 2012, PROJECT #0230.1200025, REPORT #949233.

(B) NOTIFY THE ENGINEER IMMEDIATELY OF ANY EXISTING FOUNDATION CONDITIONS OR DETAILS THAT ARE IN CONFLICT WITH THOSE INDICATED AND SHOWN IN THE DRAWINGS.

(C) ADHERE TO THE RECOMMENDATIONS MADE IN THE RECOMMENDATIONS SECTION OF THE GEOTECHNICAL REPORT.

(D) THE FILL MATERIAL TO BE USED FOR BACKFILL BEHIND THE WALL SHALL CONSIST OF CLEAN SAND WITH LESS THAN 10% PASSING THE No. 200 SIEVE AND BE FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL. FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (ASTM D1557).

(E) DIFFICULT PILE DRIVING OPERATIONS MAY BE ENCOUNTERED DUE TO THE PRESENCE OF LIMESTONE.

7. INSTALLATION:

(A) AT THE CONTRACTOR'S OPTION, ANCHOR BLOCKS MAY BE SITE PRECAST OR MAY BE CAST IN PLACE, IN LIEU OF PRECAST. ALL PRECAST OR POURED IN PLACE ANCHORS SHALL BE PLACED IN COMPACTED FILL AND ALL FILL PLACED AROUND THE BLOCKS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OF AASHTO T99.

(B) AFTER INSTALLATION OF SHEET PILING, ANCHOR BLOCKS, AND TIE RODS AND BACKFILLING AROUND THE ANCHOR BLOCKS, THE TIE RODS SHALL BE TIGHTENED SO THAT THERE IS NO SLACK IN THE ROD. ANY DAMAGE TO THE TIE ROD COATING SHALL BE REPAIRED AND THE COATING PROTECTED DURING BACKFILLING.

(C) ALL WEEP HOLES SHALL BE FIELD CUT AFTER INSTALLATION OF SHEET PILES. TOUCH UP COATING AFTER CUTTING.

DESIGN

FLORIDA BUILDING CODE, EIGHTH EDITION (2023)

No.	REVISIONS	DATE	BY

Kimley»Horn
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PHONE: 352-438-3000
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LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

CONSTRUCTION DETAILS

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
11

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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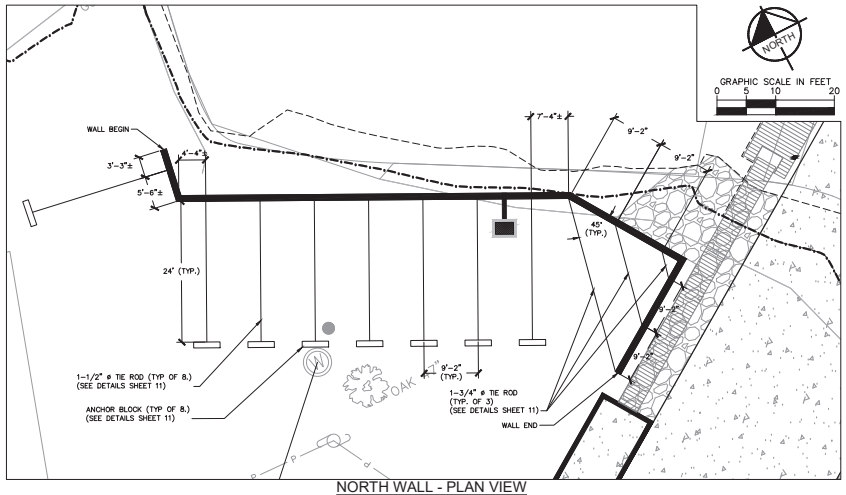
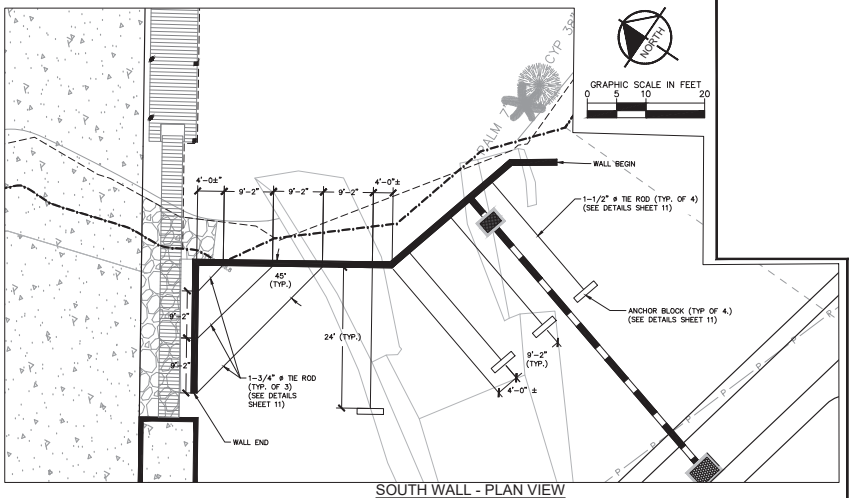


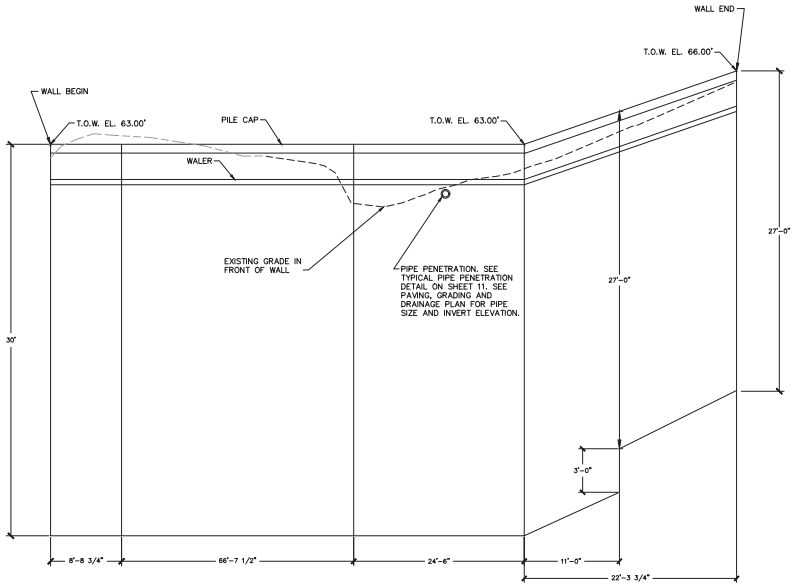
NORTH WALL - PLAN VIEW

N.T.S.



SOUTH WALL - PLAN VIEW

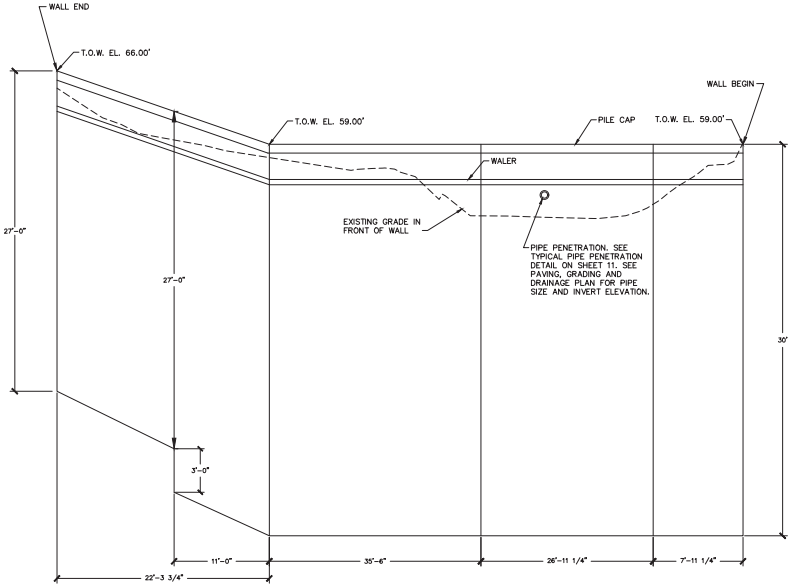
N.T.S.



NORTH WALL - ELEVATION VIEW

N.T.S.

NOTE: DIFFICULT PILE DRIVING OPERATIONS MAY BE ENCOUNTERED DUE TO THE PRESENCE OF LIMESTONE.



SOUTH WALL - ELEVATION VIEW

N.T.S.

NOTE: DIFFICULT PILE DRIVING OPERATIONS MAY BE ENCOUNTERED DUE TO THE PRESENCE OF LIMESTONE.

No.	REVISIONS	DATE	BY

Kimley»Horn
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RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

CONSTRUCTION DETAILS

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
12

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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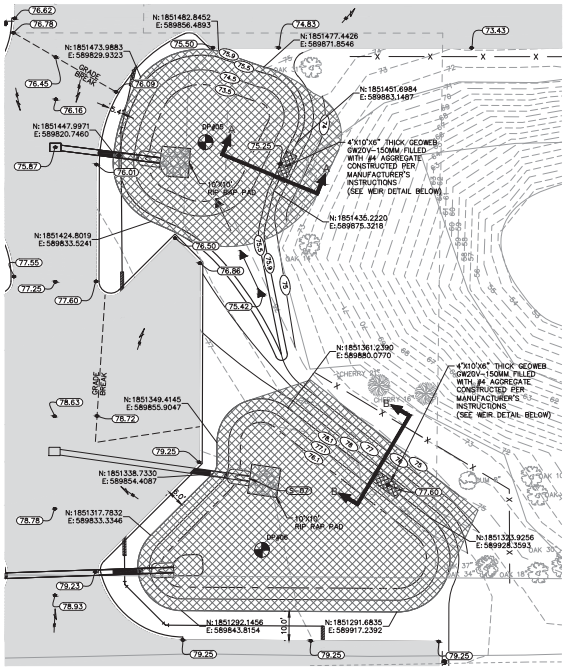
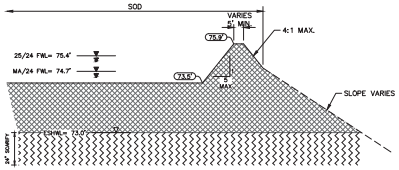
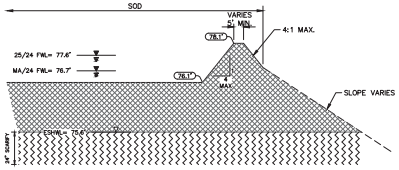


PHASE 2



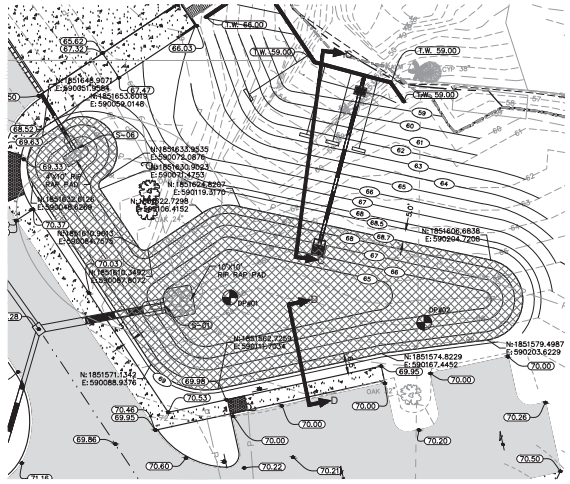
DRA-01A SECTION A-A
N.T.S.

OVER EXCAVATE POND BOTTOM TO ELEVATION 73.0± AND BACKFILL WITH CLEAN, FREE-DRAINING SAND (Kw=15 FEET/DAY MINIMUM) TO ELEVATION 73.5. EXTEND CLEAN, FREE-DRAINING SAND THROUGH POND BERM TO NATURAL GROUND.

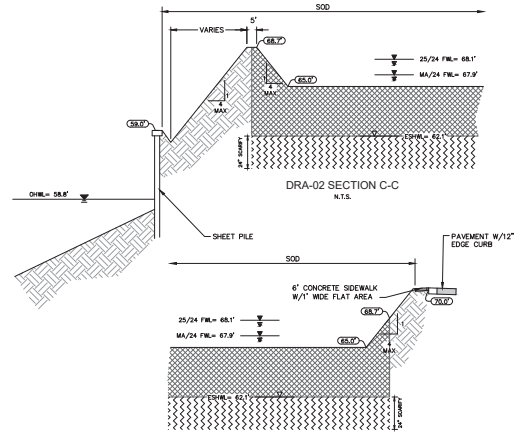


DRA-01B SECTION B-B
N.T.S.

OVER EXCAVATE POND BOTTOM TO ELEVATION 75.6± AND BACKFILL WITH CLEAN, FREE-DRAINING SAND (Kw=15 FEET/DAY MINIMUM) TO ELEVATION 76.1. EXTEND CLEAN, FREE-DRAINING SAND THROUGH POND BERM TO NATURAL GROUND.



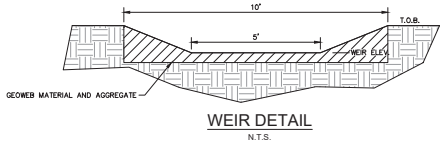
PHASE 1



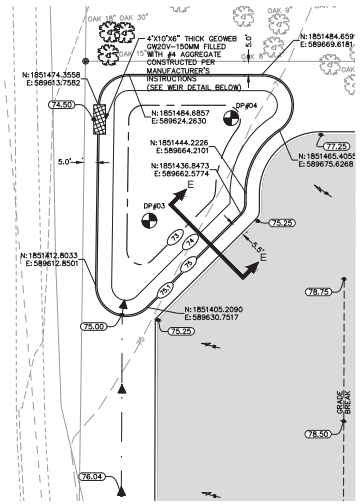
DRA-02 SECTION C-C
N.T.S.

DRA-02 SECTION D-D
N.T.S.

OVER EXCAVATE POND BOTTOM TO ELEVATION 62.1± AND BACKFILL WITH CLEAN, FREE-DRAINING SAND (Kw=15 FEET/DAY MINIMUM) TO ELEVATION 65.0. EXTEND CLEAN, FREE-DRAINING SAND THROUGH POND BERM TO NATURAL GROUND.



WEIR DETAIL
N.T.S.



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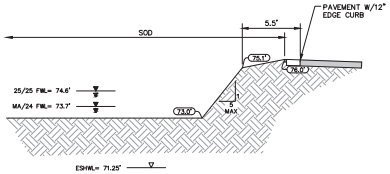

DRA-03 SECTION E-E
N.T.S.

NOTES:

1. STORMWATER RETENTION PONDS ARE DESIGNED TO INFILTRATE STORMWATER. THE PONDS ARE SUSCEPTIBLE TO CLOGGING FROM CONSTRUCTION SEDIMENTS. THEREFORE, IT REQUIRES A SPECIAL EXCAVATION PROCEDURE AS FOLLOWS:
   a) INITIALLY EXCAVATE THE RETENTION PONDS TO AN ELEVATION THAT IS APPROXIMATELY 1 FOOT HIGHER THAN THE FINAL POND BOTTOM ELEVATION.
   b) AFTER THE DRAINAGE AREA CONTRIBUTING TO THE PONDS ARE STABILIZED, EXCAVATE THE REMAINING INTERIOR SIDE SLOPES AND POND BOTTOM TO THE OVER-EXCAVATION THE ELEVATIONS SHOWN. THIS SOIL MUST BE REMOVED IN A MANNER TO ENSURE THAT THE SILT, CLAY, ORGANIC AND OTHER FINE SEDIMENTS THAT HAVE WASHED INTO THE PONDS DURING CONSTRUCTION ARE REMOVED.
   c) SCARIFY THE POND BOTTOMS AT THE ELEVATIONS SHOWN TO A MINIMUM DEPTH OF 24".
   d) BACKFILL CLEAN, FREE DRAINING SAND TO FINAL GRADE PER DETAILS THIS SHEET; DO NOT OVER COMPACT.
   e) FINISH GRADE ALL POND SLOPES AND SOD ALL DISTURBED AREAS.

2. RIP-RAP PADS SHALL BE PLACED A MINIMUM OF 24" THICK, TO THE DIMENSIONS SHOWN ON PLANS AND FLUSH WITH ADJACENT GRADE. RIP-RAP SHALL BE RUBBLE (DITCH LINING) PER FDOT STANDARD SPECIFICATION 530-2.2. TYPE D-2 GEOTEXTILE FABRIC SHALL BE PLACED PER FDOT INDEX 199.

3. SHOULD ANY LIMEROCK BE ENCOUNTERED, SEE TYPICAL SINK CHIMNEY REPAIR DETAIL ON SHEET 10.

AREA OF OVER EXCAVATION. (SEE NOTE 1 ABOVE)

CALL TWO (2) BUSINESS DAYS BEFORE YOU DIG
IT'S THE LAW! DIAL 811
Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NORTH
GRAPHIC SCALE IN FEET
0 10 20 40

No.	REVISIONS	DATE	BY

Kimley»Horn
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1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
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DATE: ____

KHA PROJECT 040997022
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CHECKED BY RVB

POND DETAILS

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
13

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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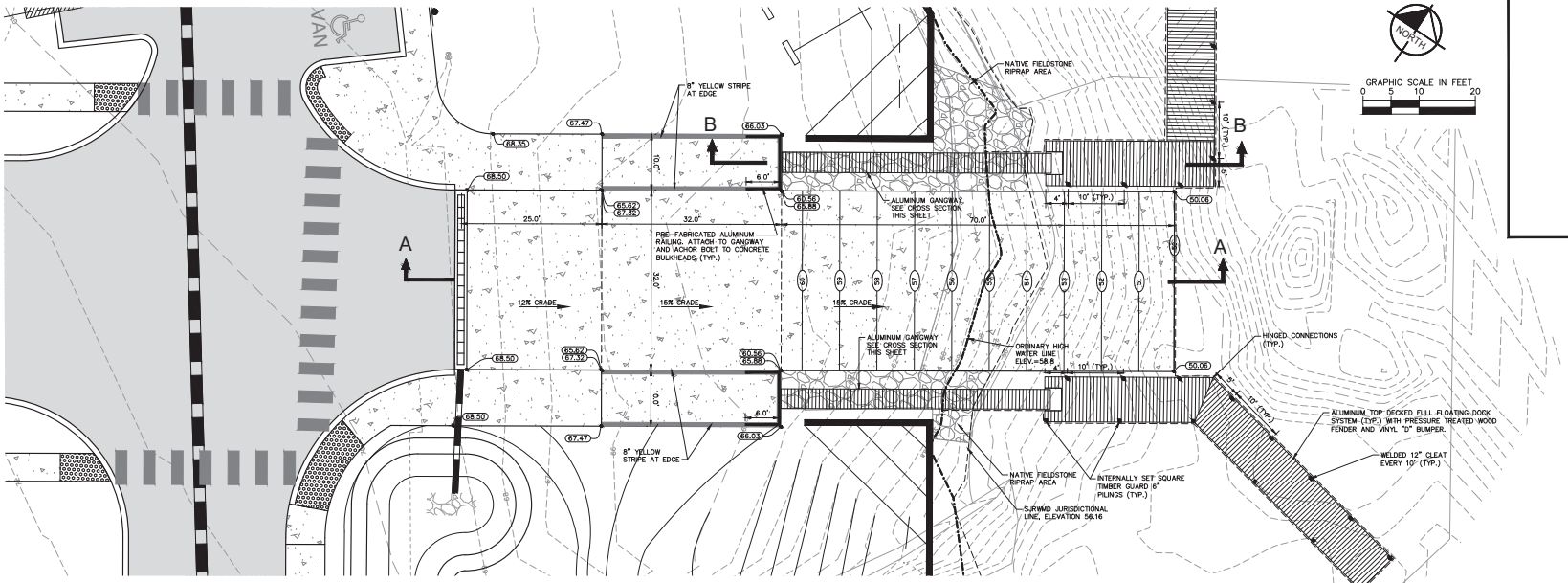
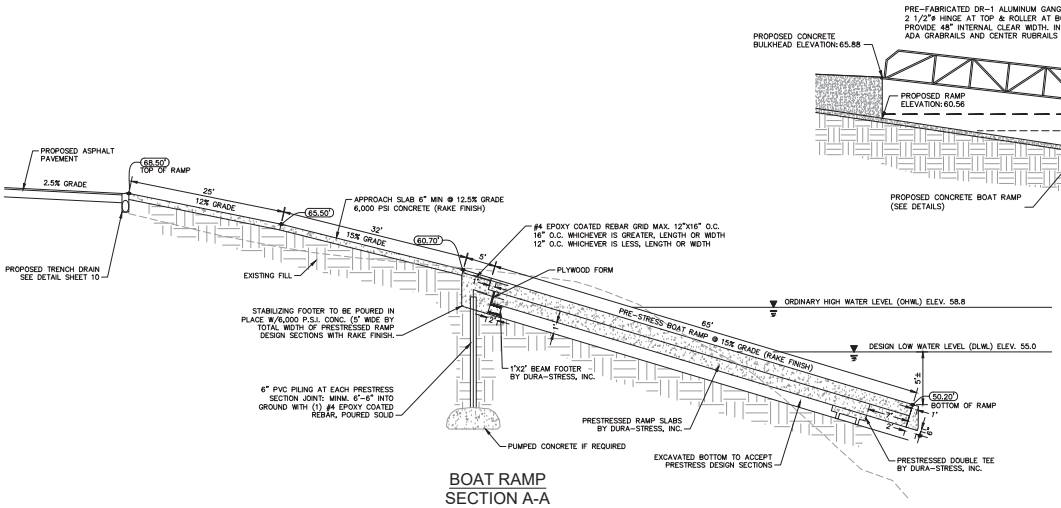
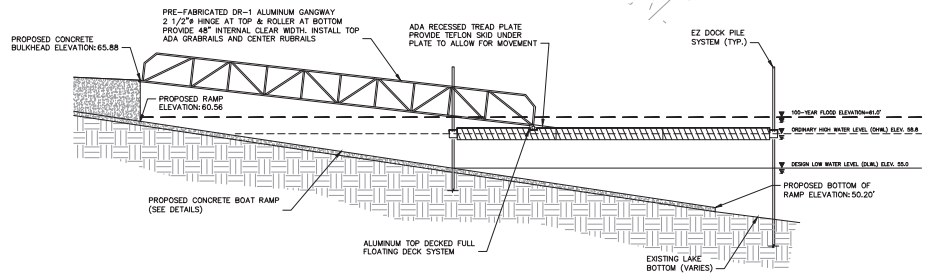




BOAT RAMP
SECTION A-A
N.T.S.



BOAT RAMP
SECTION B-B

NOTES:

1. BOAT RAMP SHALL BE BY TEDDER BOAT RAMP SYSTEMS, INC. OR APPROVED EQUAL. SUBSTITUTION OF ALTERNATE SYSTEM MUST BE APPROVED BY OWNER AT BIDDING (352) 245-8559.
2. ALUMINUM TOP DECKED FULL FLOATING DOCK AND GANGWAY AS MANUFACTURED BY GATOR DOCK & MARINE, LLC OR OWNER APPROVED EQUAL (407) 323-0190.
3. FULL SHOP DRAWING FOR ALL RAMP AND DOCK COMPONENTS MUST BE APPROVED IN WRITING BY ENGINEER AND OWNER PRIOR TO ORDERING MATERIALS.
4. ANY SUBSTITUTIONS OF PROPOSED APPROVED EQUALS MUST BE APPROVED BY OWNER AT BIDDING.

No.	REVISIONS	DATE	BY

Kimley»Horn
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1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
PHONE: 352-438-3000
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DRAWN BY DSC
CHECKED BY RVB

BOAT RAMP DETAILS

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
14

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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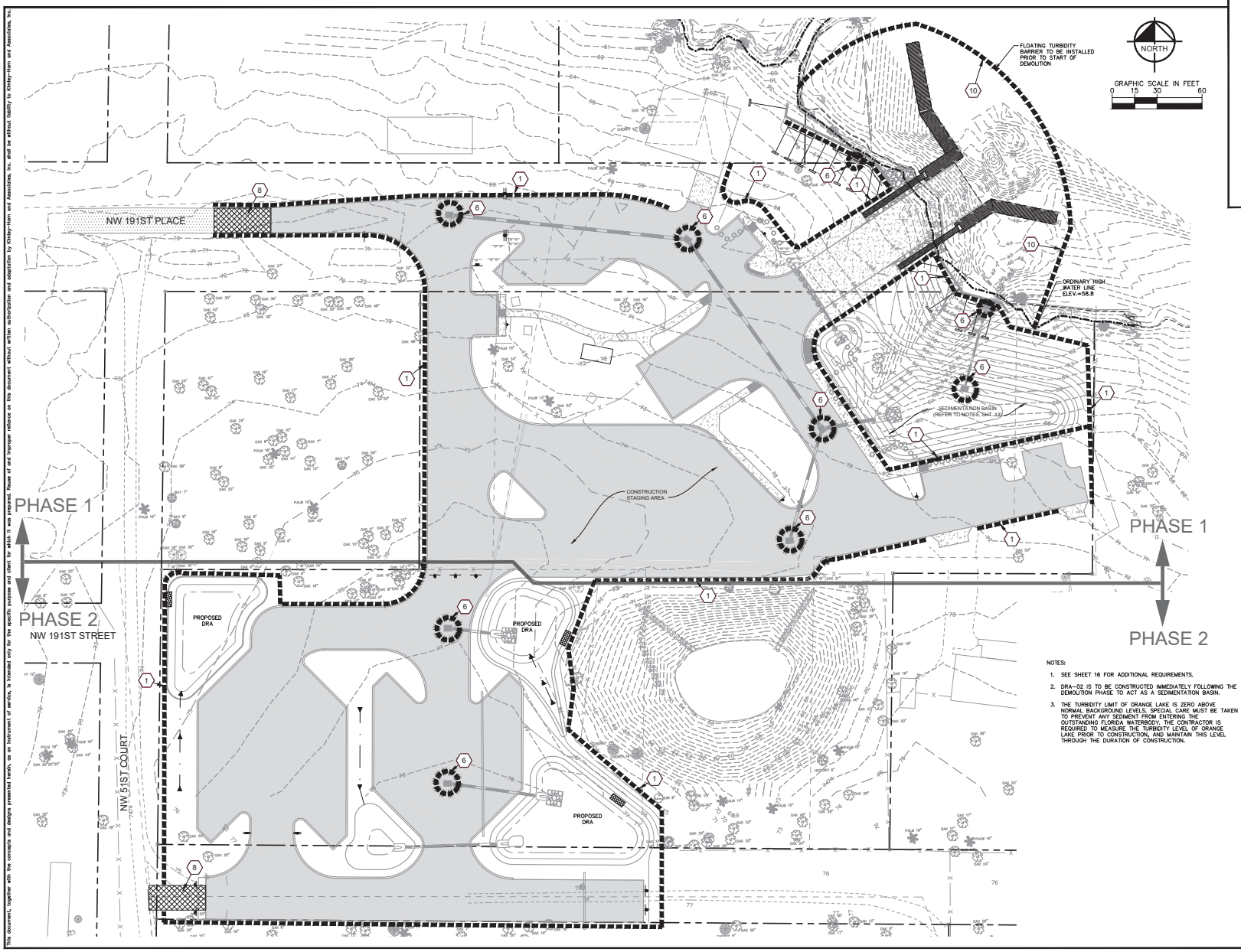

NOTES:

1. SEE SHEET 16 FOR ADDITIONAL REQUIREMENTS.
2. DRA-02 IS TO BE CONSTRUCTED IMMEDIATELY FOLLOWING THE DEMOLITION PHASE TO ACT AS A SEDIMENTATION BASIN.
3. THE TURBIDITY LIMIT OF ORANGE LAKE IS ZERO ABOVE NORMAL BACKGROUND LEVELS. SPECIAL CARE MUST BE TAKEN TO PREVENT ANY SEDIMENT FROM ENTERING THE OUTSTANDING FLORIDA WATERBODY. THE CONTRACTOR IS REQUIRED TO MEASURE THE TURBIDITY LEVEL OF ORANGE LAKE PRIOR TO CONSTRUCTION, AND MAINTAIN THIS LEVEL THROUGH THE DURATION OF CONSTRUCTION.

No.	REVISIONS	DATE	BY

Kimley»Horn

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1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 3106

LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER 58568
DATE: ____

KHA PROJECT 040997022
DATE DECEMBER 2023
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY DSC
CHECKED BY RVB

EROSION CONTROL PLAN

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
15

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

TIMING OF SEDIMENT - CONTROL PRACTICES:

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION, BUT NO LATER THAN SEVEN DAYS.

DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN FOURTEEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT FOR LONGER THAN FORTY-FIVE DAYS.

SEDIMENT BARRIERS:

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT BARRIERS.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCES OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING PONDED AND FILTERED.

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR FILTER FABRIC FENCES. THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS.

INSPECTION SCHEDULE:

1. SILT FENCE AND STRUCTURAL PROTECTION – INSPECT EVERY 7 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.
2. INLET PROTECTION – INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.
3. VEGETATIVE PLANTING – INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE; REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

CONSTRUCTION SEQUENCE:

1. INSTALL SEDIMENT CONTROL MEASURES.
2. INSTALL TREE PROTECTION.
3. PERFORM DEMOLITION ACTIVITIES.
4. STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
5. INSTALL STORMWATER MANAGEMENT MEASURES.
6. CONSTRUCT PARKING AND RECREATION IMPROVEMENTS.
7. INSTALL PERMANENT VEGETATION.
8. PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

DITCH BARRIERS:

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

THE REMAINING STEPS FOR INSTALLING A SYNTHETIC BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HERE, WITH THE FOLLOWING ADDITION. THE STRAW BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE STRAW BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

MAINTENANCE:

SYNTHETIC BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH ONE-HALF INCH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SYNTHETIC BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SEDIMENT FENCE:

1. THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
9. SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE:

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH ONE-HALF INCH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED OR SODDED AS PER PLAN.

ADDITIONAL MEASURES:

THIS PLAN AND NARRATIVE REPRESENTS THE MINIMUM AMOUNT OF EROSION AND SEDIMENT CONTROL MEASURES, IN THE OPINION OF THE ENGINEER, THAT MAY BE NECESSARY UNDER FAVORABLE WEATHER CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL MEASURES OR PRACTICES THAT MAY BE NECESSARY TO CONTROL EROSION, TURBID DISCHARGE, FUGITIVE PARTICULATES, ETC. TO FULLY COMPLY WITH ALL GOVERNMENTAL RULES AND/OR PERMIT REQUIREMENTS.

TREE PROTECTION:

FOR ALL TREES SHOWN TO REMAIN:

1. CONSTRUCT BARRICADES AROUND ALL TREES NOT SHOWN TO BE REMOVED. INSTALL BARRICADES AND OBTAIN A TREE PERMIT PRIOR TO ANY CLEARING.
2. LOCATE BARRICADES AT THE DRIP LINE OF TREES OR AS CLOSE AS PRACTICAL. BARRICADES SHALL BE APPROXIMATELY 4' IN HEIGHT.
3. BARRICADES MAY BE CONSTRUCTED OF ANY SUITABLE MATERIAL WHICH IS RIGID ENOUGH TO WITHSTAND THE ELEMENTS AND THE CONSTRUCTION PERIOD. HIGH VISIBILITY CONSTRUCTION FENCE IS ALLOWED FOR TREE PROTECTION.
4. BARRICADES FOR GROUPS OF TREES OR AREAS OF NO CLEARING MAY BE CONSTRUCTED OF 4' POLYETHYLENE BARRIER FENCE ATTACHED TO T-POSTS SPACED AT MAXIMUM 10' SPACING. ATTACH FENCE MATERIAL TO POSTS WITH A WIRE OR PLASTIC TIES.
5. NO BUILDING MATERIALS, TRASH, EQUIPMENT, WASTE OR OTHER OBJECTS SHALL BE PLACED, PARKED, DUMPED, OR STORED INSIDE TREE BARRIERS. NO VEHICULAR TRAFFIC OR PARKING IS ALLOWED WITHIN THE ROOT ZONES OF THE TREES BEFORE, DURING OR AFTER CONSTRUCTION.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PLAN DESIGNER:	KIMLEY-HORN AND ASSOCIATES INC. 1700 SE 17TH STREET, SUITE 200 OCALA, FLORIDA 34471 PHONE: 352-438-3000
OWNER/ DEVELOPER:	MARION COUNTY BOARD OF COUNTY COMMISSIONERS 601 SE 25TH AVENUE OCALA, FL 34471
ADJACENT AREAS:	THE SITE IS BORDERED ON THE NORTH AND WEST BY RESIDENTIAL, ON THE EAST BY ORANGE LAKE, AND THE SOUTH BY UNDEVELOPED COUNTY OWNED LANDS.
EROSION CONTROL MEASURE:	EROSION AND SITE RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCING, FLOATING TURBIDITY BARRIER AND STABILIZED VEGETATIVE COVER.
SITE CONTACT:	JIM COUILLARD, DIRECTOR/LANDSCAPE ARCHITECT MARION COUNTY PARKS AND RECREATION 111 SE 25TH AVENUE OCALA, FL 34471 PHONE: 352-671-8560 FAX: 352-671-8550

POLLUTION PREVENTION:

THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). IF YOUR CONSTRUCTION ACTIVITY MEETS THE FOLLOWING CRITERIA YOU WILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES:

1. CONTRIBUTES STORM WATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); AND
2. DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGE COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING, GRADING AND EXCAVATING.

No.	REVISIONS	DATE	BY

Kimley»Horn
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PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.
FLORIDA LICENSE NUMBER
58568
DATE: ____

KHA PROJECT	040997022
DATE	DECEMBER 2023
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	DSC
CHECKED BY	RVB

EROSION CONTROL NOTES

HEAGY BURRY BOAT RAMP
PREPARED FOR
MARION COUNTY BOARD OF COUNTY COMMISSIONERS
MARION COUNTY FLORIDA

SHEET NUMBER
16

HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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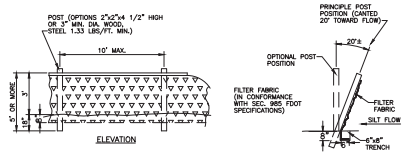
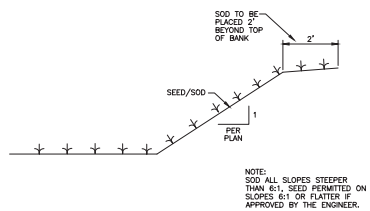


TYPICAL SILT FENCE
N.T.S.

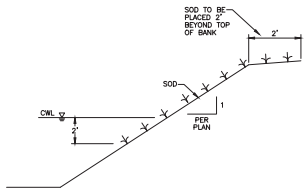
FIGURE 1



NOTE:
SOD ALL SLOPES STEEPER THAN 6:1, SEED PERMITTED ON SLOPES 6:1 OR FLATTER IF APPROVED BY THE ENGINEER.

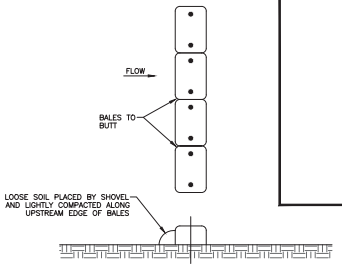
TYPICAL DRY DRAINAGE RETENTION AREA SECTION
N.T.S.

FIGURE 2



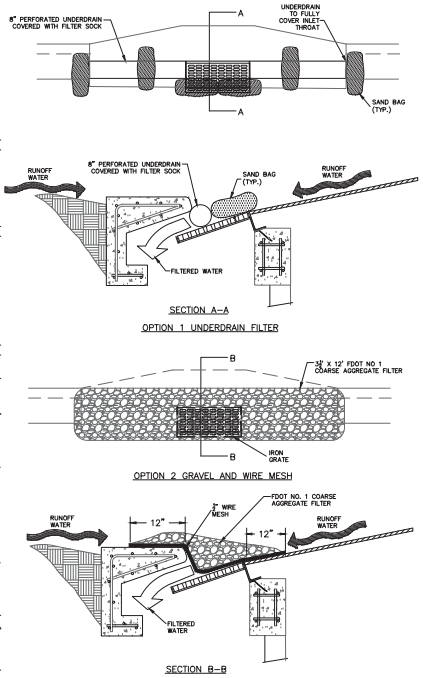
TYPICAL RETENTION/DETENTION POND SECTION
N.T.S.

FIGURE 3



TYPICAL DITCH BARRIER
N.T.S.

FIGURE 4

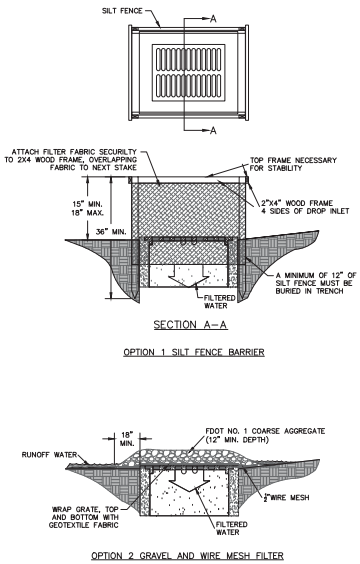


NOTES:
1. DIMENSIONS OF SEDIMENT FILTER DETAILS MAY BE ADJUSTED FOR TYPE "9" CURB INLET TOPS.
2. PRE-MANUFACTURED INLET SOCK MAY BE SUBSTITUTED IF APPROVED BY THE ENGINEER.
3. SEE EROSION CONTROL PLAN FOR LOCATION AND APPLICABILITY.

CURB INLET SEDIMENT FILTER DETAIL
N.T.S.

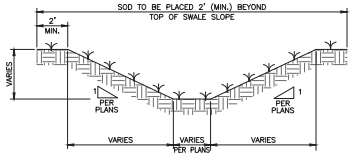
FIGURE 5

NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE ARES. (LESS THAN 5%).
2. USE 2"X4" WOOD OR EQUIVALENT METAL STAKES (3 FT. MIN. LENGTH).
3. INSTALL 2"X4" WOOD FRAME TO INSURE STABILITY.
4. SEE EROSION CONTROL PLAN FOR LOCATIONS AND APPLICABILITY.



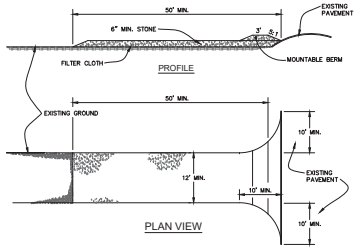
DROP INLET SEDIMENT FILTER DETAIL
N.T.S.

FIGURE 6



TYPICAL SWALE SECTION
N.T.S.

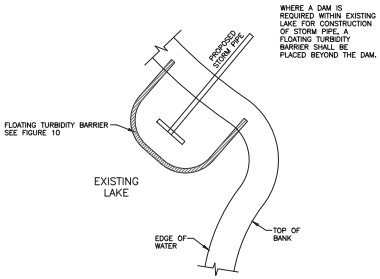
FIGURE 7



STABILIZED CONSTRUCTION ENTRANCE
1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

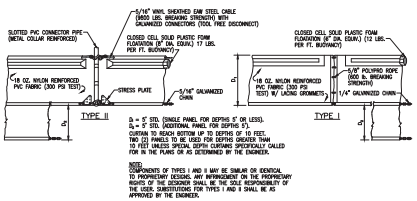
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

FIGURE 8



FLOATING TURBIDITY BARRIER AT CONNECTION OF STORM PIPE TO EXISTING LAKE
N.T.S.

FIGURE 9



d_1 = 5' STD. (SINGLE PANEL FOR DEPTHS 5' OR LESS).
d_2 = 5' STD. (ADDITIONAL PANEL FOR DEPTHS 5').
CURTAIN ON BEACH BOTTOM UP TO DEPTHS OF 10 FEET. TWO (2) PANELS TO BE USED FOR DEPTHS GREATER THAN 10 FEET UNLESS SPECIAL DEPTH CURTAINS SPECIFICALLY CALLED FOR IN THE PLANS OR AS DETERMINED BY THE ENGINEER.

NOTE:
COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS
N.T.S.

FIGURE 10

No.	REVISIONS	DATE	BY

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DATE: ____

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EROSION CONTROL DETAILS

HEAGY BURRY BOAT RAMP
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MARION COUNTY FLORIDA

SHEET NUMBER
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HEAGY BURRY BOAT RAMP – MARION COUNTY MAJOR SITE PLAN

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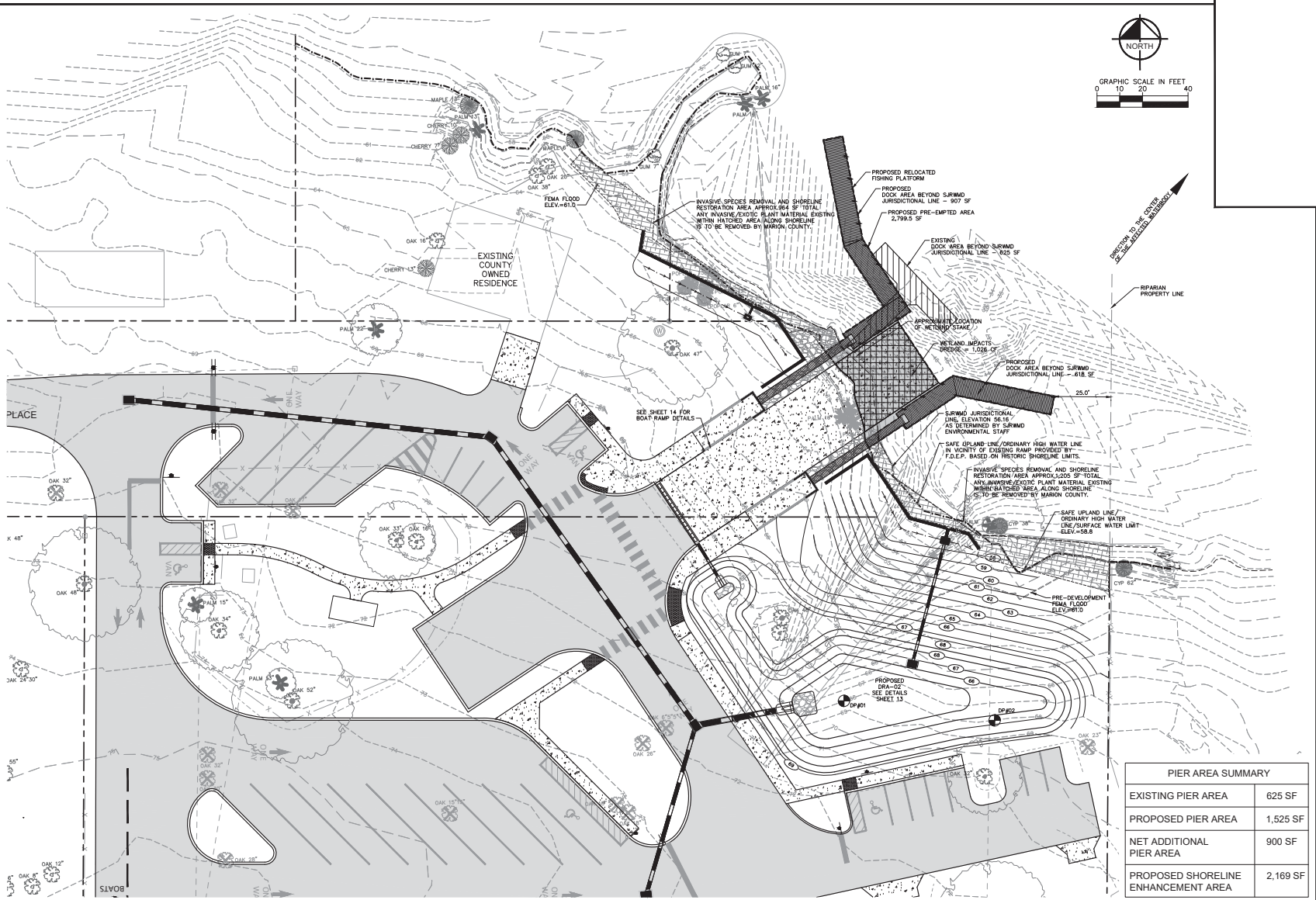

PIER AREA SUMMARY	
EXISTING PIER AREA	625 SF
PROPOSED PIER AREA	1,525 SF
NET ADDITIONAL PIER AREA	900 SF
PROPOSED SHORELINE ENHANCEMENT AREA	2,169 SF

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ENVIRONMENTAL IMPACTS

HEAGY BURRY BOAT RAMP
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HYDROGRAPHIC SURVEY OF
HEAGY BURRY BOAT RAMP
FOR
MARION COUNTY PARKS & RECREATION DEPARTMENT

IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 13066
APPROVAL DATE: 6/2/2014
EXPIRATION DATE: 6/2/2016

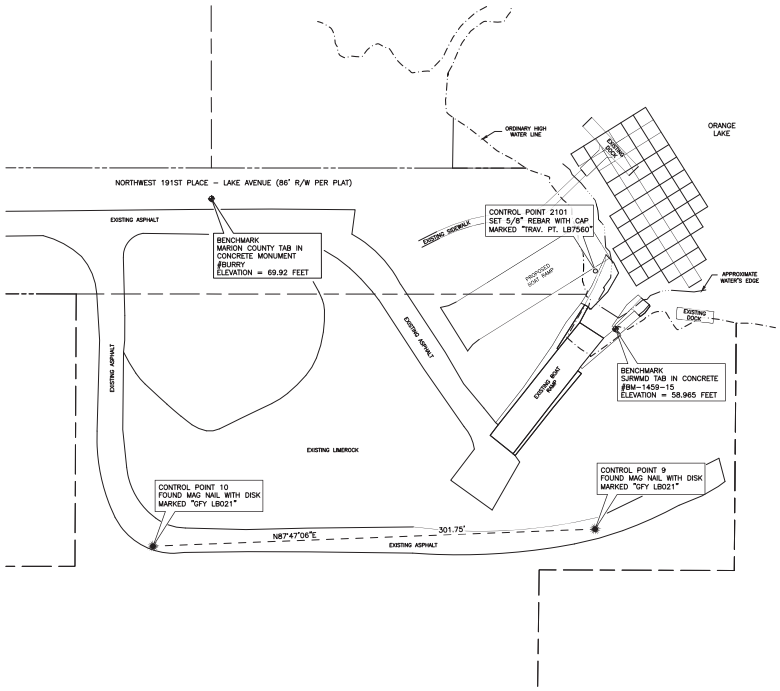
All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

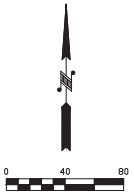
NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

Approval subject to the road abrogation and the easements to the adjacent property owners

SHEET INDEX

SHEET 1: COVER SHEET
SHEET 2: HYDROGRAPHIC SURVEY





SCALE : 1" = 40'

CONTROL POINT STATE PLANE COORDINATE TABLE			
POINT	NORTHING	EASTING	DESCRIPTION
9	1851514.5057	590136.2986	FOUND MAG NAIL WITH DISK MARKED "GFY LB021"
10	1851502.8437	589834.7706	FOUND MAG NAIL WITH DISK MARKED "GFY LB021"
2101	1851690.5540	590136.5565	SET 5/8" REBAR WITH CAP MARKED "TRAV. PT. LB7560"

LEGEND

-0.0/-0.0 = DEPTH TO TOP OF MUCK / DEPTH TO BOTTOM OF MUCK (DEPTH IS FROM ORDINARY HIGH WATER)
* = MUCK DISTURBED BY VEGETATION CHOPPING ON 4/24/2013
SJRWMD = ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
68.0 = 1.0' INTERVAL CONTOUR LINES
= RIGHT-OF-WAY LINE
= PARCEL LINES
= ORDINARY HIGH WATER LINE (ELEVATION = 58.8 FEET)
= APPROXIMATE WATER'S EDGE (ELEVATION = 52.7 FEET)

NOTES:

1. THE BEARING AND COORDINATES SHOWN HEREON ARE BASED ON THE STATE OF FLORIDA STATE PLANE COORDINATE SYSTEM, WEST FLORIDA ZONE, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT OF 1990, AS TAKEN FROM THE HEAGY-BURRY BOAT RAMP PARK BOUNDARY & TOPOGRAPHIC SURVEY BY GEORGE F. YOUNG, INC., JOB #10003800GS, DATED 07/29/2010, WITH THE BEARING BETWEEN CONTROL POINTS 9 AND 10 BEING N87°47'06"E.
2. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) DETERMINED BY TIES TO THE FOLLOWING BENCHMARK: BM-1459-15 ELEVATION = 58.965'.
3. THIS SURVEY IS OF VISIBLE SURFACE FEATURES ONLY. UNDERGROUND IMPROVEMENTS, INTERIOR IMPROVEMENTS AND/OR ENCROACHMENTS, IF ANY, WERE NOT LOCATED.
4. COPIES OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER LISTED HEREON.
5. TOPOGRAPHIC DATA AND FEATURES ABOVE THE WATER'S EDGE ARE BASED ON PREVIOUS SURVEY REFERENCED IN NOTE 1 ABOVE.
6. THE ORDINARY HIGH WATER LINE OF ORANGE LAKE HAS BEEN ESTABLISHED AT AN ELEVATION OF 58.8 FEET, NATIONAL GEODETIC VERTICAL DATUM OF 1929, AS SHOWN ON PREVIOUS SURVEY REFERENCED IN NOTE 1 ABOVE.
7. FIELD SURVEY WAS PERFORMED ON THE DATES OF 04/09/2013 THROUGH 04/25/2013.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT WE HAVE MADE A HYDROGRAPHIC SURVEY, THAT IT IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF; AND THAT THIS SURVEY AND PLAT CONFORM WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER FJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

DATE SIGNED: _____ _____

LAWRENCE E. BLAND
PROFESSIONAL SURVEYOR & MAPPER 4834
STATE OF FLORIDA

DATE OF SURVEY: APRIL 25, 2013

GPI Southeast, Inc.
1414 S.W. MARTIN LUTHER KING JR. AVE.
OCALA, FLORIDA 34471 (352) 368-5055
(LICENSED BUSINESS NO. 7560)
Engineering • Surveying • Permitting • Environmental Analysis • Construction Services

REVISION	DATE

SECTION 21-T12S-R21E | DATE OF SURVEY: 04-25-2013
JOB NUMBER: FDC-20113001.04 | FILE # 1M/622 | P.B./PG.M159MA/48
DWG. NAME: HBURRY1.DWG | DRAWN BY: J.H.B.
COGO FILE: HEAGYBURRY.CRD | CHECKED BY: L.E.B.

A HYDROGRAPHIC SURVEY FOR MARION COUNTY PARKS & RECREATION DEPARTMENT MARION COUNTY, FLORIDA

SHEET NO. 1 OF 2

Images:
XRefs:
Project: Job No: Client:
Drawing: Heavy Duty Land Projects\FDC-20113001.04 Heagy Burry\dwg\HBURRY1.dwg
Plot Date: May 20, 2013 11:07am By: Holcum Profile: CorrisonD012
LTScale=40 DimScale=40 Tab=SHEET 1
SC:

STATE PLANE COORDINATES FOR BOUNDARY CORNERS (SEE MAP TO LEFT)

CORNER NUMBER	NORTHING	EASTING	CORNER FOUND/SET
5	1851486.719	590098.0981	CMF (NO Id.)
7	1851486.277	590231.1890	CMF (NO Id.)
15	1851488.978	589781.5041	CMF (MARION ENG.)
19	1851489.214	589609.5095	RCF 1/2" (PSM 2232)
104	1851302.233	590095.8552	CMF (MARION ENG.)
1230	1851255.600	589606.0478	CMF (BROKEN – NO Id.)
1231	1850893.740	589601.0557	RCF 5/8" (PSM 1918)
1244	1851251.995	590135.2759	CMF (PSM 1918)
10010	1850892.280	590133.5254	RCS
5404	1851674.756	589782.4913	RCF 5/8" (PLS 1918)
10012	1851760.745	590039.0933	RCS

RCS – INDICATES 1/2" STEEL ROD & CAP SET (GFY LB021)
CMF – INDICATES 4" X 4" CONCRETE MONUMENT FOUND (Id. AS NOTED)
RCF – INDICATES STEEL ROD & CAP FOUND – (SIZE & Id. AS NOTED)
NOTE: THESE COORDINATES HAVE BEEN DERIVED USING MARION COUNTY HORIZONTAL CONTROL STATIONS "BURRY" AND "HEAGY".

SURVEYOR'S NOTES

1. The measured bearings hereon are based on the assumed bearing of S89°44'05"E, between found monumentation, along the South line of Section 21, Township 12 South, Range 21 East, Marion County, Florida.

2. Underground utilities, structures and/or foundations, if any, were not located and are not shown.

3. Recorded easements and/or adjacent deeds not furnished to the surveyor are not shown.

4. Jurisdictional wetlands, if any, were not located and are not shown.

5. The bearing along the East right of way line of NW 51st Court – Beach Street (40' R/W) has been established as a best fit line to the existing monumentation found along said line.

6. The bearing along the South right of way line of NW 191st Place – Lake Avenue (86' R/W) has been established as a best fit line to the existing monumentation found along said line. Said right of way line was found to 10.71' North of the distance shown on the Plat of Lockbie.

7. There is apparent 50.10' overlap in the existing monumention when compared to the deed description for Tax Parcel #02786–001–000 and the Marion County Property Appraiser's legal description for Tax Parcel #02791–000–000. Said overlap being in favor of the County.

8. The Southeast corner of Tax Parcel #02786–005–001 was found to be 5.53' West, along the South Line of Section 21, of the deed positon. However, the positon of the monumented East line agrees well with the deed from the adjoiner along that line, Tax Parcel #002786–000–000 (O.R. 3835, page 1533) and has been held as is, by this office.

9. The descriptions for Tax Parcel #02879–003–001 and it's two adjoiners, Tax Parcel #02786–003–000 and Tax Parcel 02786–002–000, are consistent, with no gaps or overlaps.

10. The aerial photograph used hereon was downloaded from the Marion County Property Appraiser's website.

11. The elevations shown hereon are based on the Nation Geodetic Vertical Datum of 1929, projected from Benchmark BM–1459–15 (Marion County Vertical Control Station) with a published elevation of 58.965 feet.

12. The Ordinary High Water Line of Orange Lake has been established as an elevation of 58.8 feet, National Geodetic Vertical Datum of 1929.

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 13066
APPROVAL DATE: 6/2/2014
EXPIRATION DATE: 6/2/2016

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

Approval subject to the road abrogation and the easements to the adjacent property owners

GRAPHIC SCALE

100 0 50 100 200 400

(IN FEET)
1 inch = 100 ft.

LEGAL DESCRIPTION (AS PER THIS SURVEY)

PARCEL 1 (TAX PARCEL #02786–005)

A PARCEL OF LAND SITUATED IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT 8" OCTAGON CONCRETE MONUMENT WITH 4" BRASS DISK (MARION COUNTY) MARKING THE SOUTHEAST CORNER OF SAID SECTION 21 FOR A POINT OF REFERENCE; THENCE RUN N89°44'05"W ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 503.79 FEET TO A 1/2" STEEL ROD AND CAP (GFY LB021) AND THE POINT OF BEGINNING; THENCE CONTINUE N89°44'05"W ALONG SAID SOUTH LINE, A DISTANCE OF 532.50 FEET TO A 5/8" STEEL ROD AND CAP (PSM 1918) LYING ON THE EAST RIGHT OF WAY LINE OF NORTHWEST 51ST COURT (40' R/W); THENCE RUN N00°53'13"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 361.69 FEET TO A 4" SQUARE CONCRETE MONUMENT (NO I.D) LYING ON THE SOUTH RIGHT OF WAY LINE OF A 50.00 FOOT ROADWAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 324, PAGE 135, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE RUN S89°31'44"E ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 529.17 FEET TO A 4" SQUARE CONCRETE MONUMENT (PSM 1918); THENCE RUN S00°21'35"W, A DISTANCE OF 359.75 FEET TO THE POINT OF BEGINNING.

PARCEL 2 (TAX PARCEL #02786–005–001, TAX PARCEL #02791–000–000, TAX PARCEL #02786–003–001)

A PARCEL OF LAND SITUATED IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT 8" OCTAGON CONCRETE MONUMENT WITH 4" BRASS DISK (MARION COUNTY) MARKING THE SOUTHEAST CORNER OF SAID SECTION 21 FOR A POINT OF REFERENCE; THENCE RUN N89°44'05"W ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1036.29 FEET TO A 5/8" STEEL ROD AND CAP (PSM 1918) LYING ON THE EAST RIGHT OF WAY LINE OF NORTHWEST 51ST COURT (40' R/W); THENCE RUN N00°53'13"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 411.64 FEET TO A 4" SQUARE CONCRETE MONUMENT (RLS 1918) LYING ON THE NORTH RIGHT OF WAY LINE OF A 50.00 FOOT ROADWAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 324, PAGE 135, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND THE POINT OF BEGINNING; THENCE CONTINUE N00°53'13"E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 183.69 FEET TO A 1/2" STEEL ROD AND CAP (PSM 2232); THENCE RUN S89°53'08"E, A DISTANCE OF 172.07 FEET TO A 4" SQUARE CONCRETE MONUMENT (MARION ENG.); THENCE RUN N00°20'51"E, A DISTANCE OF 185.80 FEET TO A 5/8" STEEL ROD & CAP LYING ON THE SOUTH RIGHT OF WAY LINE OF NORTHWEST 191ST PLACE (86' R/W); THENCE RUN S89°53'08"E ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 347.97 FEET TO AN INTERSECTION WITH THE ORDINARY HIGH WATER LINE OF ORANGE LAKE, HEREINAFTER REFERRED TO AS POINT "A"; RETURN TO THE POINT OF BEGINNING; THENCE RUN S89°31'47"E ALONG SAID NORTH RIGHT OF WAY LINE OF 50.00 FOOT ROADWAY, A DISTANCE OF 489.04 FEET TO A 4" SQUARE CONCRETE MONUMENT (MARION ENG.); THENCE RUN N00°46'39"E, A DISTANCE OF 184.51 FEET TO A 4" SQUARE CONCRETE MONUMENT (NO Id.); THENCE RUN S89°44'43"E, A DISTANCE OF 133.10 FEET TO A 4" SQUARE CONCRETE MONUMENT (NO Id.); THENCE RUN N00°32'28"E, A DISTANCE OF 168.77 FEET TO AN INTERSECTION WITH THE ORDINARY HIGH WATER LINE OF ORANGE LAKE; THENCE RUN NORTH AND WEST ALONG SAID ORDINARY HIGH WATER LINE, A DISTANCE OF 184.5 FEET, MORE OR LESS, TO POINT "A" AND THE CLOSE OF THE HEREIN DESCRIBED PARCEL OF LAND.

PARCEL 3 (TAX PARCEL #02908–001–000) O.R. 5246, PG. 1050

THE EAST 50 FEET OF MILL LOT OF ORANGE LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE(S) 42A, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

LEGAL DESCRIPTION (AS PREVIOUSLY RECORDED)

(TAX PARCEL #02908–001–000) O.R. 5246, PG. 1050
THE EAST 50 FEET OF MILL LOT OF ORANGE LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE(S) 42A, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

(TAX PARCEL #02786–005–000) O.R. 5246, PG. 943
THAT PORTION OF THE FOLLOWING DESCRIBED PARCEL LYING TO THE SOUTH OF THE EXISTING PUBLIC RIGHT OF WAY:

COMMENCE AT THE NORTHEAST CORNER OF BLOCK 21, TOWN OF LOCKBIE, (ORANGE LAKE), AS PER PLAT RECORDED IN PLAT BOOK E, PAGE 36, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE RUN 40 FEET EAST TO THE EAST BOUNDARY OF BEACH STREET; AND THENCE RUN SOUTH 177 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING, CONTINUE SOUTH ALONG THE EAST BEACH STREET TO A POINT ON THE SOUTH BOUNDARY OF SECTION 21; TOWNSHIP 12 SOUTH, RANGE 21 EAST; THENCE RUN EAST ALONG THE SOUTH BOUNDARY OF SAID SECTION 21, A DISTANCE OF 538.03 FEET; THENCE RUN NORTH 382 FEET, MORE OR LESS, TO THE NORTH BOUNDARY OF A 50 FOOT COUNTY ROAD AS RECORDED IN DEED BOOK 324, PAGE 135; THENCE WEST ALONG THE NORTH BOUNDARY OF SAID ROAD 215 FEET; THENCE NORTH 184.71 FEET; THENCE WEST 323.43 FEET TO THE POINT OF BEGINNING. EXCEPTION THEREFROM THE RIGHT OF WAY FOR COUNTY ROAD IN DEED BOOK 324, PAGE 135, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

(TAX PARCEL #02786–005–001) O.R. 5246, PG. 943
THAT PORTION OF THE FOLLOWING DESCRIBED PARCEL LYING TO THE NORTH OF THE EXISTING PUBLIC RIGHT OF WAY:

COMMENCE AT THE NORTHEAST CORNER OF BLOCK 21, TOWN OF LOCKBIE, (ORANGE LAKE), AS PER PLAT RECORDED IN PLAT BOOK E, PAGE 36, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE RUN 40 FEET EAST TO THE EAST BOUNDARY OF BEACH STREET; AND THENCE RUN SOUTH 177 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING, CONTINUE SOUTH ALONG THE EAST BEACH STREET TO A POINT ON THE SOUTH BOUNDARY OF SECTION 21; TOWNSHIP 12 SOUTH, RANGE 21 EAST; THENCE RUN EAST ALONG THE SOUTH BOUNDARY OF SAID SECTION 21, A DISTANCE OF 538.03 FEET; THENCE RUN NORTH 382 FEET, MORE OR LESS, TO THE NORTH BOUNDARY OF A 50 FOOT COUNTY ROAD AS RECORDED IN DEED BOOK 324, PAGE 135; THENCE WEST ALONG THE NORTH BOUNDARY OF SAID ROAD 215 FEET; THENCE NORTH 184.71 FEET; THENCE WEST 323.43 FEET TO THE POINT OF BEGINNING. EXCEPTION THEREFROM THE RIGHT OF WAY FOR COUNTY ROAD IN DEED BOOK 324, PAGE 135, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

(TAX PARCEL #02791–005–000) O.R. 3077, PG. 576
THE FOLLOWING DESCRIBED LAND FOUND IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST IN MARION COUNTY, FLORIDA AS DESCRIBED LOCKBIE SUBDIVISION FOUND IN THE PUBLIC RECORDS OF MARION COUNTY PLAT BOOK "E" PAGE 36 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF BLOCK #21 OF LOCKBIE SUBDIVISION AS RECORDED IN THE PUBLIC RECORDS OF MARION COUNTY PLAT BOOK "E" PAGE #36. THENCE EAST ALONG THE SOUTH RIGHT OF WAY OF LAKE AVE. (A.K.A. N.W. 191ST PLACE HAVING A TOTAL RIGHT OF WAY WIDTH OF 86.00 FEET) TO THE POINT OF BEGINNING A DISTANCE OF 210.04 FEET. THENCE S00°44'13"W A DISTANCE OF 185.86 FEET. THENCE S89°46'46"E A DISTANCE OF 101.79 FEET. THENCE S00°40'56"W TO THE NORTH RIGHT OF WAY OF AN UNNAMED ROAD (HAVING A RIGHT OF WAY OF 50.00 FEET) A DISTANCE OF 184.75 FEET. THENCE S89°40'47"E ALONG SAID NORTH RIGHT OF WAY A DISTANCE OF 215.08 FEET. THENCE N00°34'24"E A DISTANCE OF 10.29 FEET. THENCE WEST A DISTANCE OF 161.23. THENCE S00°21'15"W A DISTANCE OF 184.71 FEET. THENCE WEST A DISTANCE OF 102.00 FEET. THENCE N00°21'15"E TO SAID SOUTH RIGHT OF WAY OF LAKE AVE. A DISTANCE OF 102.00 FEET. THENCE N00°21'15"E TO THE SOUTH RIGHT OF WAY OF N.W. 191ST PLACE A DISTANCE OF 177.00 FEET. THENCE WEST ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING A DISTANCE OF 51.39 FEET. THE ABOVE DESCRIBED PROPERTY CONTAINING 0.51 ACRES MORE OR LESS.
*******SURVEYOR'S NOTE– THIS LEGAL DESCRIPTION DOES NOT FORM A CLOSED GEOMETRIC FIGURE, AND IS IMPOSSIBLE TO RECONCILE WITH THE PARCEL OF LAND IT ATTEMPTS TO DESCRIBE.*******

(TAX PARCEL #02786–003–001) O.R. 5174, PG. 1335
THE FOLLOWING DESCRIBED LAND FOUND IN SECTION 21 TOWNSHIP 12 SOUTH, RANGE 21 EAST IN MARION COUNTY, FLORIDA AS DESCRIBED LOCKBIE SUBDIVISION FOUND IN THE PUBLIC RECORDS OF MARION COUNTY PLAT BOOK "E", PAGE #36 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF BLOCK #21 OF LOCKBIE SUBDIVISION AS RECORDED IN THE PUBLIC RECORDS OF MARION COUNTY PLAT BOOK "E", PAGE #36. THENCE EAST ALONG THE SOUTH RIGHT OF WAY OF LAKE AVE (A.K.A. N.W. 191ST PLACE HAVING A TOTAL RIGHT OF WAY WIDTH OF 86.00 FEET) A DISTANCE OF 210.04 FEET. THENCE S00°44'13"W A DISTANCE OF 185.86 FEET. S89°46'46"E A DISTANCE OF 101.79 FEET. THENCE S00°40'56"W, TO THE NORTH RIGHT OF WAY OF AN UNNAMED ROAD HAVING A RIGHT OF WAY OF 50.00 FEET A DISTANCE OF 184.75 FEET. THENCE S89°40'47"E ALONG SAID NORTH RIGHT OF WAY TO THE POINT OF BEGINNING A DISTANCE OF 215.08 FEET. THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE S89°40'47"E A DISTANCE OF 53.81 FEET. THENCE N00°21'15"E A DISTANCE OF 184.71 FEET. THENCE S89°54'56"E A DISTANCE OF 133.18 FEET. THENCE N00°21'15"E TO THE MEAN HIGH WATER LINE OF ORANGE LAKE A DISTANCE OF 171.34 FEET. THENCE N82°20'01"W ALONG SAID HIGH WATERLINE A DISTANCE OF 53.06 FEET. THENCE S00°25'01"W A DISTANCE OF 167.51 FEET. THENCE WEST A DISTANCE 133.27 FEET. THENCE S00°34'24"W TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL CONTAINING 0.47 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATION

I hereby certify to Marion County Board of County Commissioners that the sketch hereon is an accurate representation of the lands described hereon, is in compliance with the Minimum Technical Standards in Chapter 5J–17 of the Florida Administrative Code as set forth by the Florida Board of Professional Surveyors and Mappers pursuant to Section 472.027 Florida Statutes, as surveyed under my direct supervision and is true and correct to the best of my knowledge and belief.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Michael L. Harbert PSM4995
DATE

THIS IS A 4 SHEET DRAWING AND IS NOT COMPLETE OR VALID WITHOUT ALL 4 SHEETS.

REVISED	NO.	BY	DATE	DESCRIPTION
	1			
	2			
	3			
	4			
	5			
	6			
	7			
	8			
	9			
	10			

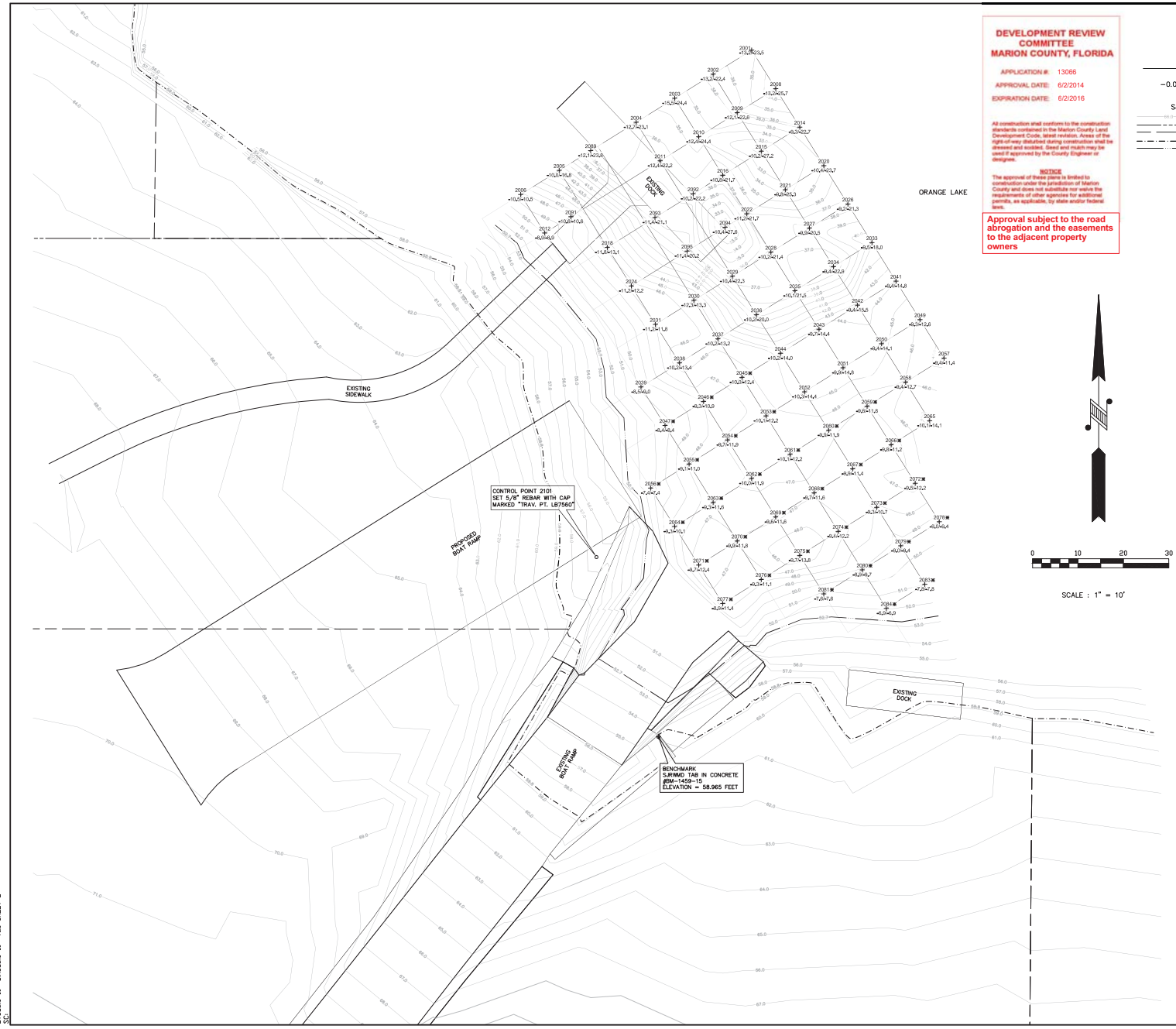
	INITIALS	DATE
CREW CHIEF	WALTPLE	07/29/10
DRAWN	CRB	07/30/10
CHECKED		
FIELD BOOK	SEE FILE FOLDER	
FIELD DATE	07/29/2010	

George F. Young, Inc.
1905 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601
PHONE (352) 378–1444 • FAX (352) 372–2502
LICENSED BUSINESS No. 021
ARCHITECTURE•ENGINEERING•ENVIRONMENTAL•LANDSCAPE•PLANNING•SURVEYING•UTILITIES
BRADENTON•GAINESVILLE•ORLANDO•PALM BEACH GARDENS•SARASOTA•ST. PETERSBURG•TAMPA
Since 1919

HEAGY–BURRY BOAT RAMP PARK
BOUNDARY & TOPOGRAPHIC SURVEY
SECTION 21, TOWNSHIP 12 S., RANGE 21 E.
MARION COUNTY, FLORIDA

JOB NO. 10003800GS
SHEET NO. 1 OF 4

Tech:harbert File:10003800GS.dwg Plot Date:Apr 23,2014 8:21am



DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 13066
APPROVAL DATE: 6/2/2014
EXPIRATION DATE: 6/2/2016

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designee.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

Approval subject to the road abrogation and the easements to the adjacent property owners

LEGEND

–0.0/–0.0	= DEPTH TO TOP OF MUCK / DEPTH TO BOTTOM OF MUCK (DEPTH IS FROM ORDINARY HIGH WATER)
✱	= MUCK DISTURBED BY VEGETATION CHOPPING ON 4/24/2013
SJRWMD	= ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
66.0	= 1.0' INTERVAL CONTOUR LINES
	= RIGHT–OF–WAY LINE
	= PARCEL LINES
	= ORDINARY HIGH WATER LINE (ELEVATION = 58.8 FEET)
	= APPROXIMATE WATER'S EDGE (ELEVATION = 52.7 FEET)

0 10 20 30

SCALE : 1" = 10'

ELEVATION TABLE (FEET)

POINT	TOP OF MUCK ELEVATION	BOTTOM OF MUCK ELEVATION	DEPTH OF MUCK	HARD OR MUD BOTTOM BELOW BOTTOM OF MUCK
2001	45.6	35.3	10.3	MUD
2002	45.6	36.4	9.2	MUD
2003	43.3	34.4	8.9	MUD
2004	46.1	35.7	10.4	MUD
2005	48.8	42.0	6.8	MUD
2006	48.3	48.3	0.0	HARD
2008	45.6	33.1	12.5	MUD
2009	46.7	36.2	10.5	MUD
2010	46.4	34.4	12.0	MUD
2011	46.4	36.6	9.8	MUD
2012	49.9	49.9	0.0	HARD
2014	49.5	36.1	13.4	MUD
2015	48.6	31.6	17.0	MUD
2016	48.0	37.1	10.9	MUD
2018	47.0	45.7	1.3	MUD
2020	48.4	35.1	13.3	MUD
2021	49.0	33.5	15.5	MUD
2022	47.6	37.1	10.5	MUD
2024	47.6	46.6	1.0	MUD
2026	49.6	37.5	12.1	MUD
2027	48.9	38.3	10.6	MUD
2028	48.6	37.4	11.2	MUD
2029	48.4	36.5	11.9	MUD
2030	46.5	45.5	1.0	MUD
2031	47.6	47.0	0.6	MUD
2033	49.3	40.8	8.5	MUD
2034	49.4	35.9	13.5	MUD
2035	48.7	37.3	11.4	MUD
2036	48.6	38.8	9.8	MUD
2037	48.6	45.6	3.0	MUD
2038	48.6	45.4	3.2	MUD
2039	50.3	49.8	0.5	HARD
2041	49.4	44.0	5.4	MUD
2042	49.4	43.3	6.1	MUD
2043	49.1	44.4	4.7	MUD
2044	48.6	44.8	3.8	MUD
2045	48.8	46.4	2.4	HARD*
2046	49.5	47.9	1.6	HARD*
2047	50.4	50.4	0.0	HARD*
2049	49.5	46.2	3.3	MUD
2050	49.4	44.7	4.7	MUD
2051	48.9	44.0	4.9	MUD
2052	48.5	44.4	4.1	MUD
2053	48.7	46.6	2.1	HARD*
2054	49.1	46.9	2.2	HARD*
2055	49.7	47.8	1.9	HARD*
2056	51.4	51.4	0.0	HARD*
2057	49.4	47.4	2.0	MUD
2058	49.4	46.1	3.3	MUD
2059	49.2	47.0	2.2	HARD*
2060	48.9	46.9	2.0	HARD*
2061	48.7	46.6	2.1	HARD*
2062	48.8	46.9	1.9	HARD*
2063	49.5	47.2	2.3	HARD*
2064	49.5	48.7	0.8	HARD*
2065	48.7	44.7	4.0	MUD
2066	49.0	47.6	1.4	HARD*
2067	48.9	47.4	1.5	HARD*
2068	49.1	47.2	1.9	HARD*
2069	49.2	47.2	2.0	HARD*
2070	48.9	47.0	1.9	HARD*
2071	49.1	46.4	2.7	CONCRETE*
2072	49.3	46.6	2.7	HARD*
2073	49.5	48.1	1.4	HARD*
2074	49.4	46.6	2.8	HARD*
2075	49.1	45.0	4.1	HARD*
2076	49.5	47.7	1.8	HARD*
2077	49.9	47.4	2.5	CONCRETE*
2078	49.8	49.4	0.4	HARD*
2079	49.8	49.4	0.4	HARD*
2080	49.9	49.1	0.8	HARD*
2081	51.2	51.2	0.0	HARD*
2083	51.0	51.0	0.0	HARD*
2084	51.9	51.9	0.0	HARD*
2089	46.7	35.0	11.7	MUD
2091	48.2	48.2	0.0	MUD
2092	48.6	36.6	12.0	MUD
2093	47.4	37.7	9.7	MUD
2094	48.4	31.2	17.2	MUD
2095	47.4	38.6	8.8	MUD

GPI Southeast, Inc.
1414 S.W. MARTIN LUTHER KING JR. AVE.
OCALA, FLORIDA 34471 (352) 369-5055
(LICENSED BUSINESS NO. 7960)
Engineering • Surveying • Permitting • Environmental Analysis • Construction Services

REVISION	DATE

SECTION 21-T.12S-R.21E
JOB NUMBER: FOC-20113001.04
DWG. NAME: HB-TOPO.DWG
COGO FILE: HEAGYBURRY.CRD

DATE OF SURVEY: 04-25-2013
FILE # 1M/622 P.B./PG.M159MA/48
DRAWN BY: J.H.B.
CHECKED BY: L.E.B.

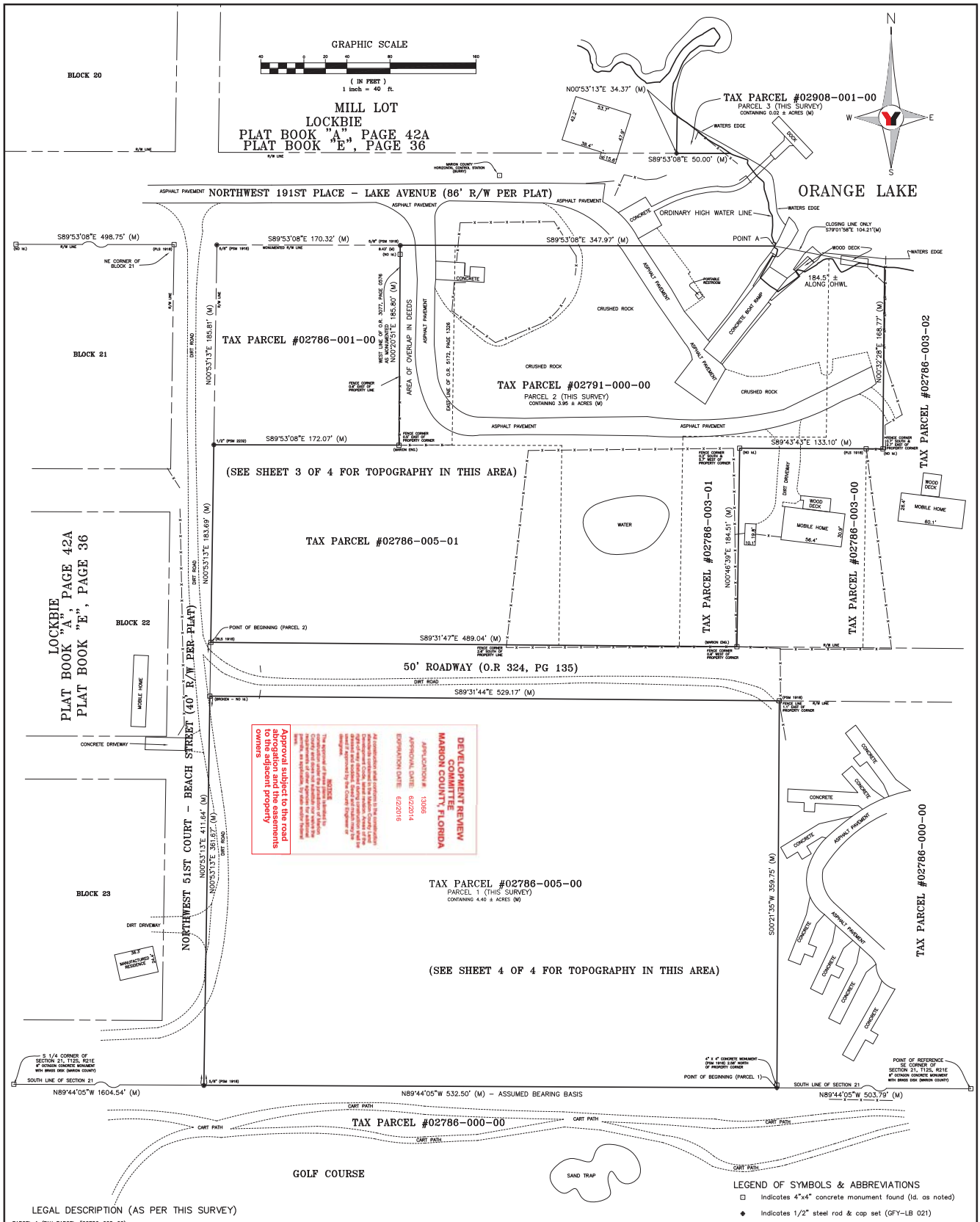
A HYDROGRAPHIC SURVEY FOR
MARION COUNTY PARKS &
RECREATION DEPARTMENT
MARION COUNTY, FLORIDA

SHEET NO.
2 OF 2

Project: Job No: Client:
Drawing: Heavy Duty Land Projects\FDC-20113001.04 Heavy Burry\dwg\HEABURRY2.dwg
Plot Date: May 20, 2013 - 11:07am By: heidar Profile: CorisonD12
LTScale=10 DwScale=10 Tab=SHEET 2
SC:

Images:

XRefs:



LEGAL DESCRIPTION (AS PER THIS SURVEY)

PARCEL 1 (TAX PARCEL #02786-005-00)

A PARCEL OF LAND SITUATED IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT 8" OCTAGON CONCRETE MONUMENT WITH 4" BRASS DISK (MARION COUNTY) MARKING THE SOUTHEAST CORNER OF SAID SECTION 21 FOR A POINT OF REFERENCE; THENCE RUN N89°44'05"W ALONG THE SOUTH LINE OF SAID SECTION 21, A DISTANCE OF 503.79 FEET TO A 1/2" STEEL ROD AND CAP (GFY LB021) AND THE POINT OF BEGINNING; THENCE CONTINUE N89°44'05"W, ALONG SAID SOUTH LINE, A DISTANCE OF 532.50 FEET TO A 5/8" STEEL ROD AND CAP (PSM 1918) LYING ON THE EAST RIGHT OF WAY LINE OF NORTHWEST 51ST COURT (40' R/W); THENCE RUN N00°53'13"E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 361.69 FEET TO A 4" SQUARE CONCRETE MONUMENT (NO I.D) LYING ON THE SOUTH RIGHT OF WAY LINE OF A 50.00 FOOT UNNAMED ROADWAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 324, PAGE 135, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE RUN S89°31'44"E, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 529.17 FEET TO A 4" SQUARE CONCRETE MONUMENT (PSM 1918); THENCE RUN S00°21'35"W, A DISTANCE OF 359.75 FEET TO THE POINT OF BEGINNING.

PARCEL 2 (TAX PARCEL #02786-005-01, TAX PARCEL #02791-000-00, TAX PARCEL #02786-003-01)

A PARCEL OF LAND SITUATED IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT 8" OCTAGON CONCRETE MONUMENT WITH 4" BRASS DISK (MARION COUNTY) MARKING THE SOUTHEAST CORNER OF SAID SECTION 21 FOR A POINT OF REFERENCE; THENCE RUN N89°44'05"W, ALONG THE SOUTH LINE OF SAID SECTION 21, A DISTANCE OF 1036.29 FEET TO A 5/8" STEEL ROD AND CAP (PSM 1918) LYING ON THE EAST RIGHT OF WAY LINE OF NORTHWEST 51ST COURT (40' R/W); THENCE RUN N00°53'13"E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 411.64 FEET TO A 4" SQUARE CONCRETE MONUMENT (RLS 1918) LYING ON THE NORTH RIGHT OF WAY LINE OF A 50.00 FOOT UNNAMED ROADWAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 324, PAGE 135, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND THE POINT OF BEGINNING; THENCE CONTINUE N00°53'13"E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 183.69 FEET TO A 1/2" STEEL ROD AND CAP (PSM 2232); THENCE RUN S89°53'08"E, A DISTANCE OF 172.07 FEET TO A 4" SQUARE CONCRETE MONUMENT (MARION ENG.); THENCE RUN N00°20'51"E, A DISTANCE OF 185.80 FEET TO A 5/8" STEEL ROD & CAP LYING ON THE SOUTH RIGHT OF WAY LINE OF NORTHWEST 191ST PLACE (86' R/W); THENCE RUN S89°53'08"E, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 347.97 FEET TO AN INTERSECTION WITH THE ORDINARY HIGH WATER LINE OF ORANGE LAKE, HEREINAFTER REFERRED TO AS POINT "A"; RETURN TO THE POINT OF BEGINNING; THENCE RUN S89°31'47"E, ALONG AFOREMENTIONED NORTH RIGHT OF WAY LINE OF 50.00 FOOT UNNAMED ROADWAY, A DISTANCE OF 489.04 FEET TO A 4" SQUARE CONCRETE MONUMENT (MARION ENG.); THENCE RUN N00°46'39"E, A DISTANCE OF 184.51 FEET TO A 4" SQUARE CONCRETE MONUMENT (NO Id.); THENCE RUN S89°43'43"E, A DISTANCE OF 133.10 FEET TO A 4" SQUARE CONCRETE MONUMENT (NO Id.); THENCE RUN N00°32'28"E, A DISTANCE OF 168.77 FEET TO AN INTERSECTION WITH THE ORDINARY HIGH WATER LINE OF ORANGE LAKE; THENCE RUN WESTERLY ALONG SAID ORDINARY HIGH WATER LINE, A DISTANCE OF 184.5 FEET, MORE OR LESS, TO POINT "A" AND THE CLOSE OF THE HEREIN DESCRIBED PARCEL OF LAND.

PARCEL 3 (TAX PARCEL #02908-001-00) O.R. 5246, PG. 1050

THE EAST 50 FEET OF MILL LOT OF ORANGE LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE(S) 42A, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

LEGEND OF SYMBOLS & ABBREVIATIONS

- □ Indicates 4"x4" concrete monument found (Id. as noted)
- ◆ Indicates 1/2" steel rod & cap set (GFY-LB 021)
- ● Indicates steel rod & cap found (SIZE & Id. as noted)
- —x— Indicates fence line
- (M) Indicates measured data
- R/W Indicates right of way
- O. R. Indicates Official Records Book
- Id. Indicates identification
- OHWL Indicates Ordinary High Water LIne
- NGVD Indicates National Geodetic Vertical Datum of 1929

THIS IS A 4 SHEET DRAWING AND IS NOT COMPLETE OR VALID WITHOUT ALL 4 SHEETS.

SEE SHEET 1 OF 4 FOR SURVEYOR NOTES & CERTIFICATION.

	INITIALS	DATE
CREW CHIEF	MULTIPLE	07/29/10
DRAWN	ORB	07/30/10
CHECKED		
FIELD BOOK	SEE FILE FOLDER	
FIELD DATE	07/29/2010	

REVISED	NO.	BY	DATE	DESCRIPTION
	1			
	2			
	3			
	4			
	5			
	6			
	7			

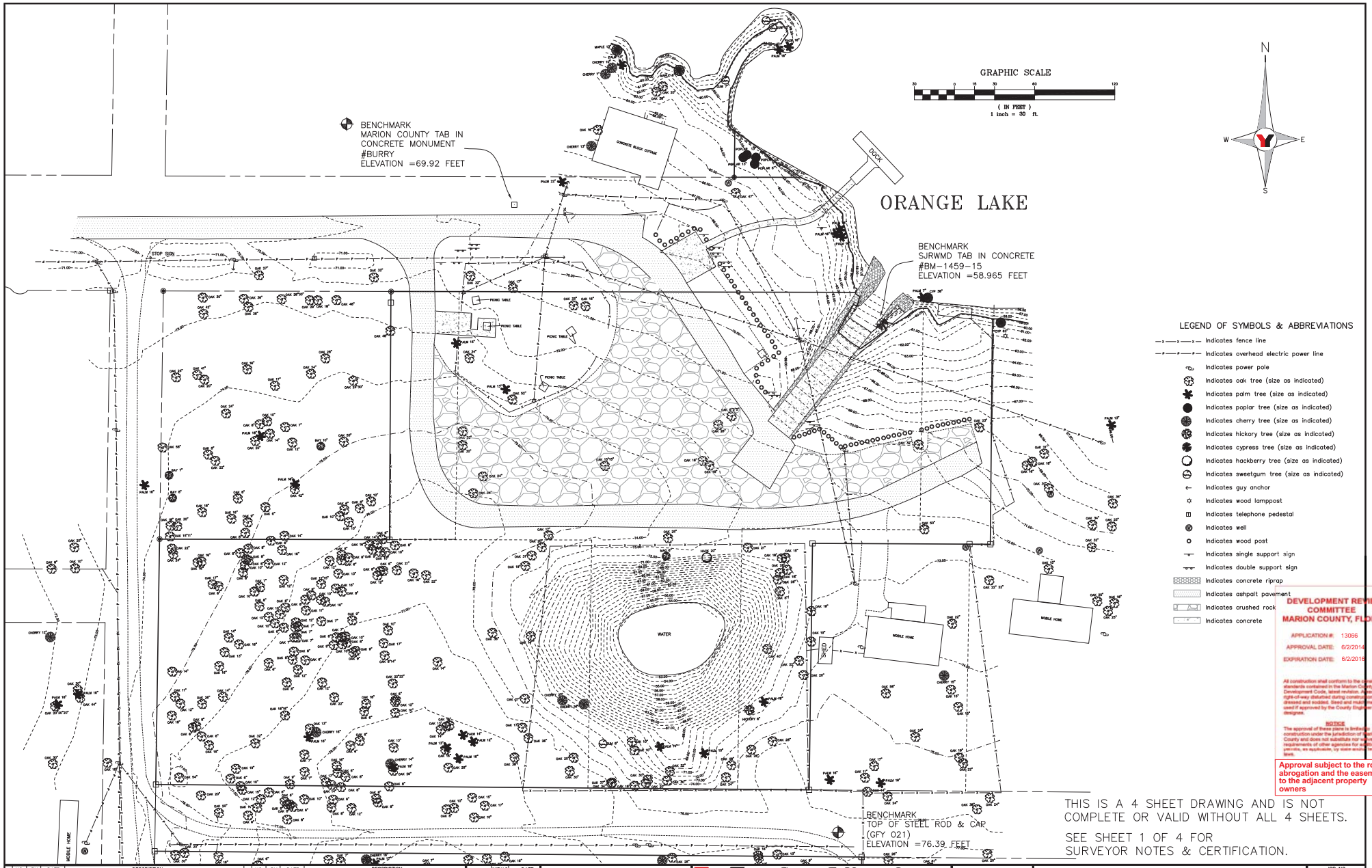
HEAGY-BURRY BOAT RAMP PARK

BOUNDARY & TOPOGRAPHIC SURVEY

SECTION 21, TOWNSHIP 12 S., RANGE 21 E.
MARION COUNTY, FLORIDA

JOB NO. 100038000S
SHEET NO. 2 OF 4

George F. Young, Inc.
1905 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601
PHONE (352) 378-1444 • FAX (352) 372-2502
LICENSED BUSINESS No. 021
ARCHITECTURE • ENGINEERING • ENVIRONMENTAL • LANDSCAPE • PLANNING • SURVEYING • UTILITIES
BRADENTON • GAINESVILLE • ORLANDO • PALM BEACH GARDENS • SARASOTA • ST. PETERSBURG • TAMPA
Since 1919



LEGEND OF SYMBOLS & ABBREVIATIONS

- Indicates fence line
- Indicates overhead electric power line
- Indicates power pole
- Indicates oak tree (size as indicated)
- Indicates palm tree (size as indicated)
- Indicates poplar tree (size as indicated)
- Indicates cherry tree (size as indicated)
- Indicates hickory tree (size as indicated)
- Indicates cypress tree (size as indicated)
- Indicates hackberry tree (size as indicated)
- Indicates sweetgum tree (size as indicated)
- Indicates guy anchor
- Indicates wood lamppost
- Indicates telephone pedestal
- Indicates well
- Indicates wood post
- Indicates single support sign
- Indicates double support sign
- Indicates concrete riprap
- Indicates ashpalt pavement
- Indicates crushed rock
- Indicates concrete

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 13066
APPROVAL DATE: 6/2/2014
EXPIRATION DATE: 6/2/2016

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Sod and mulch may be used if approved by the County Engineer or designee.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and federal laws.

Approval subject to the road abrogation and the easements to the adjacent property owners

THIS IS A 4 SHEET DRAWING AND IS NOT COMPLETE OR VALID WITHOUT ALL 4 SHEETS.

SEE SHEET 1 OF 4 FOR SURVEYOR NOTES & CERTIFICATION.

REVISED	NO.	BY	DATE	DESCRIPTION
	1			
	2			
	3			
	4			
	5			

REVISED	NO.	BY	DATE	DESCRIPTION
	6			
	7			
	8			
	9			
	10			

	INITIALS	DATE
CREW CHIEF	MULTIPLE	07/29/10
DRAWN	CRB	07/30/10
CHECKED		
FIELD BOOK	SEE FILE FOLDER	
FIELD DATE	07/29/2010	

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HEAGY-BURRY BOAT RAMP PARK
BOUNDARY & TOPOGRAPHIC SURVEY

SECTION 21, TOWNSHIP 12 S., RANGE 21 E.
MARION COUNTY, FLORIDA

JOB NO. 10003800GS
SHEET NO. 3 OF 4

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

N
W E
S

BENCHMARK
TOP OF STEEL ROD & CAP
(GFY 021)
ELEVATION =76.39 FEET

MOBILE HOME

MOBILE HOME

ELECTRIC METER

ELECTRIC TRANSFORMER

ELECTRIC BOX

ELECTRIC METER

ELECTRIC METER

LEGEND OF SYMBOLS & ABBREVIATIONS

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- Indicates oak tree (size as indicated)
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MARION COUNTY, FLORIDA

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REVISED	NO.	BY	DATE	DESCRIPTION
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HEAGY–BURRY BOAT RAMP PARK
BOUNDARY & TOPOGRAPHIC SURVEY

SECTION 21, TOWNSHIP 12 S., RANGE 21 E.
MARION COUNTY, FLORIDA

JOB NO. 10003800GS

SHEET NO. 4 OF 4